

HISTORIC AND DESIGN REVIEW COMMISSION

October 17, 2018

HDRC CASE NO: 2018-496
ADDRESS: 122 HEIMAN
LEGAL DESCRIPTION: NCB 679 BLK 1 LOT 38 STAYBRIDGE HOTEL
ZONING: D, HE
CITY COUNCIL DIST.: 2
DISTRICT: St. Paul Square Historic District
LANDMARK: Heimann Bldg / Southern Pacific
APPLICANT: Richard Hope/RC Hope Group, LLC
OWNER: East Commerce Realy, LLC
TYPE OF WORK: Construction of an exterior egress stair, fenestration modifications
APPLICATION RECEIVED: September 19, 2018
60-DAY REVIEW: November 18, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct an exterior stair on the west façade from the third story to the ground level. This addition will require the modification of an existing window opening into a door opening with a transom window.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

2. Massing and Form of Non-Residential and Mixed-Use Additions

A. GENERAL

- i. Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact on the original structure from the public right of way. An addition to the front of a building is inappropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.
- iv. Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- v. Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

FINDINGS:

- a. The historic structure at 122 Heiman is commonly known as the Heiman Building, is located within the St. Paul Square Historic District and is found on the 1912 Sanborn Map, listed as the Imperial Hotel. The Historic and Design Review Commission issued a Certificate of Appropriateness at the November 19, 2018, Historic and Design Review Commission hearing for repair to the structure's façade, roofing, window repair and replacement and a rear addition. At this time, the applicant has proposed a staircase addition to the west façade, above an existing staircase.
- b. **STAIRCASE ADDITION** – On the west façade, the applicant has proposed to install a staircase for egress that will lead from an existing third floor window opening to the street level below. The installation of this staircase would also require the removal of an existing window and the installation of a door. The applicant has noted that the door that will be installed is a door that is original to the building. The applicant has also noted that the existing opening will not be modified and that the transom window detail found on the front façade will be replication in this opening. Generally, staff finds this approach appropriate.
- c. **STAIRCASE ADDITION** – The applicant has proposed for the staircase to be approximately 5 ½" removed from

the historic structure and be supported by brackets that are anchored into the historic structure. Staff finds the proposed distance away from the historic structure appropriate; however, staff finds that the applicant should revise the proposed staircase to feature a structural system that does not require penetrations into the historic façade.

RECOMMENDATION:

Staff recommends approval based on findings a through c with the stipulation that the applicant revise the proposed staircase to feature a structural system that does not require penetrations into the historic façade.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Oct 03, 2018

The City of San Antonio does not guarantee the accuracy, adequacy, completeness or usefulness of any information. The City does not warrant the completeness, timeliness, or positional, thematic, and attribute accuracy of the GIS data. The GIS data, cartographic products, and associated applications are not legal representations of the depicted data. Information shown on these maps is derived from public records that are constantly undergoing revision. Under no circumstances should GIS-derived products be used for final design purposes. The City provides this information on an "as is" basis without warranty of any kind, express or implied, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.



122 Heiman St



123
NORTH MAIN

241

261

G. H. & S. A. R. R. SOUTHERN PACIFIC SUNSET ROUTE PASSENGER DEPOT

WELLS-FARGO & CO EXPRESS

122

242 241

240

239

Scale of Feet
0 50 100 150

EXTERIOR STAIRS

UNIVERSITY OF HOUSTON

CONRAD N. HILTON COLLEGE

PHASE II - SHELL RENOVATION PACKAGE

122 Heiman St.
San Antonio, TX 78205

Bid Issuance Set
December 18, 2014



DOUGLAS ARCHITECTS

PROJECT TEAM

Architect:

Douglas Architects, Inc.

1320 East Houston St., Suite 102
San Antonio, TX 78205
Contact: Rafael Barajas
T: 210.226.5500
F: 210.226.5501
E: rbarajas@douglasarchitects.net
www.douglasarchitects.net

Owner:

Zachry Realty, LLC

12625 Wetmore Rd., Suite 301
San Antonio, TX 78247
Contact: Rene Garcia
T: 210.871.2766
E: rene.garcia@zachrycorp.com

Structural Engineer:

Lundy & Franke Engineering, Inc.

549 Heimer Rd.
San Antonio, TX 78232
Contact: Shawn Franke
T: 210.979.7900
E: franke@lundyfranke.com

MEP Engineer:

RGM Engineering

700 N. St. Mary's, Suite 1225
San Antonio, TX 78205
Contact: Roger Mendez
T: 210.299.4522
E: roger@rgmengineering.net

DRAWING INDEX

Cover Sheet

ARCHITECTURAL

- A0.01 General Information
- A0.11 Code Analysis & Life Safety Plan
- AD1.01 Demolition Photos & Site Plan
- AD2.01 Demolition Photos & Roof Plan
- AD3.01 Exterior Demolition Elevations
- AD3.02 Exterior Demolition Photos
- AD3.03 Exterior Demolition Photos
- A1.01 Site Plan & Details
- A2.01 Shell Floor Plans Level 1, Level 2, & Level 3
- A2.11 Shell Reflected Ceiling Plans Level 1, Level 2, & Level 3
- A2.21 Roof Plan
- A2.22 Roof Details
- A3.01 Exterior Elevations
- A3.02 Exterior South Stair / Elevator Elevations
- A4.01 Transition Details, Door Types, & Schedules
- A4.02 Partition Types
- A4.03 Window Types
- A6.01 Enlarged Restroom Plans & Elevations
- A6.02 South Lobby Enlarged Plans & Elevations
- A8.01 Storefront, Insulated, & Alternate Metal Panel Details
- A8.02 Insulated Metal Panel Details
- A8.03 Alternate Metal Panel Details
- A8.04 North Balcony Section & Details
- A8.05 Enlarged Stair Plans, Sections, & Details

STRUCTURAL

- S1.01 Notes, Sections and Detail
- S1.02 Special Inspection Notes
- S1.03 Special Inspection Notes
- S2.01 Foundation & 2nd Fl. Framing Plan
- S2.02 3rd Floor & Roof Framing Plan
- S3.01 Sections & Detail
- S3.02 Notes, Sections, & Details

MECHANICAL

- M1.00 Mechanical Symbols and Abbreviations
- M1.01 Mechanical Floor Plans
1st & 2nd Floor
- M1.02 Mechanical Floor Plans
3rd Floor & Roof Plan
- M2.01 Mechanical Details
- M3.01 Mechanical Specifications
- M4.01 Mechanical Specifications

ELECTRICAL

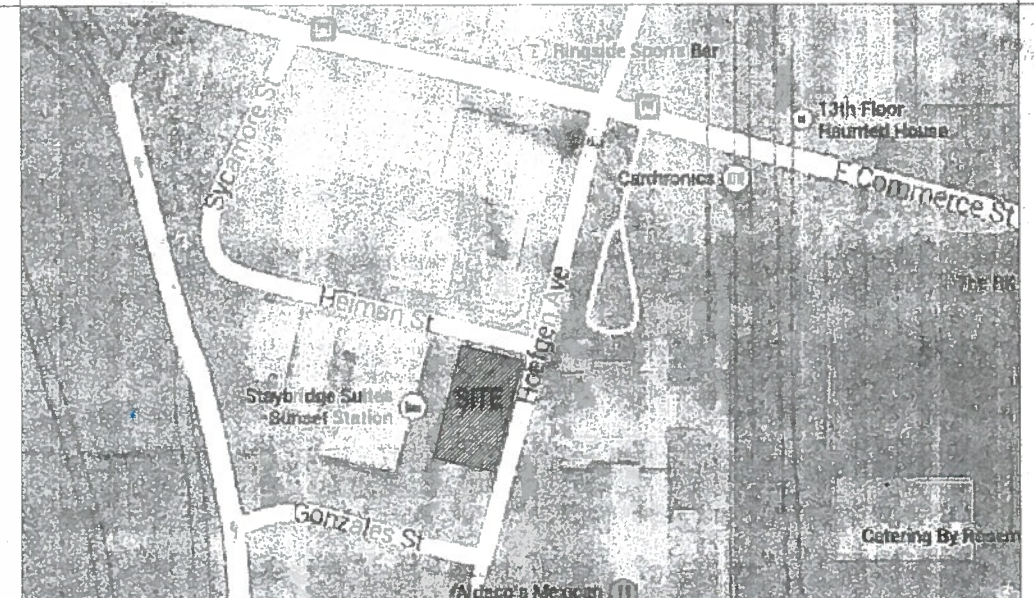
- DE1.01 Demolition Electrical Floor Plan
- E1.00 Electrical Symbols and Abbreviations
- E1.01 Electrical Power Floor Plan
- E2.01 Electrical One Line Riser Diagram
- E3.01 Electrical Specifications

PLUMBING

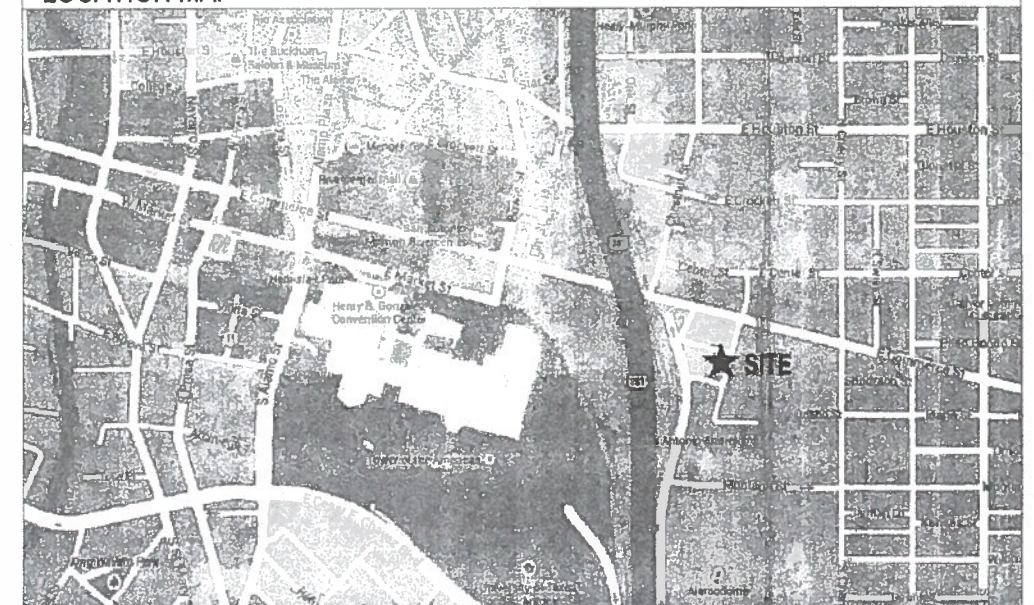
- DP1.01 Demolition Plumbing Floor Plan
- P1.00 Plumbing Symbols and Abbreviations
- P1.01 Plumbing Floor Plan First Floor
- P1.02 Plumbing Floor Plan Second Floor
- P1.03 Plumbing Floor Plan Third Floor
- P2.01 Plumbing Piping Riser Diagrams
- P3.01 Plumbing Schedules and Details
- P4.01 Plumbing Specifications
- P4.02 Plumbing Specifications

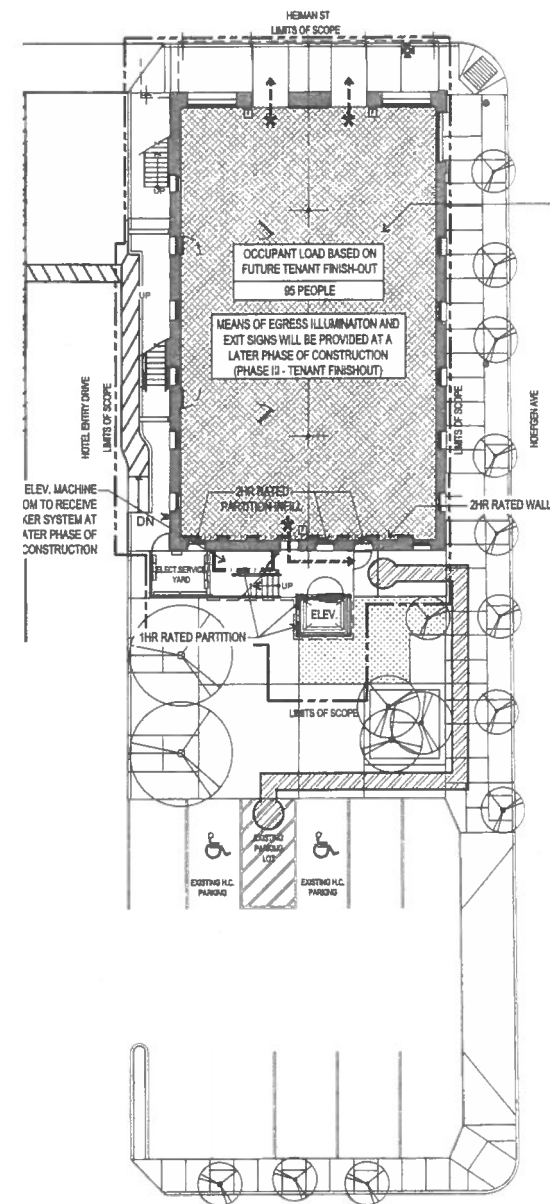


VICINITY MAP



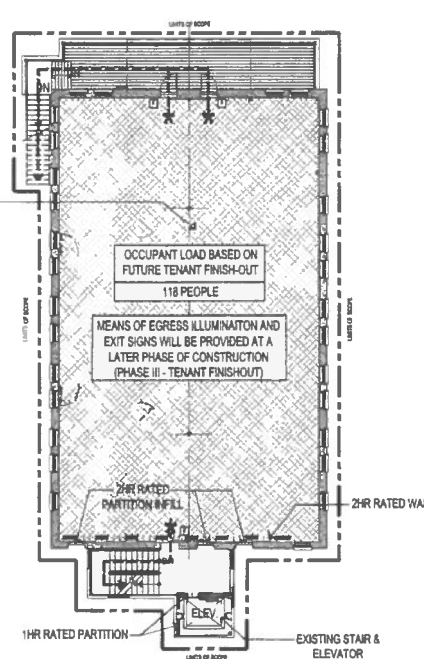
LOCATION MAP





SITE & FIRST FLOOR PLAN

SCALE: 1/16"=1'-0"



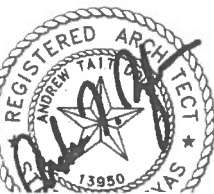
2 SECOND FLOOR PLAN

SCALE: 1/16"=1'-0"

OCCUPANCY LOAD CALCULATION SUMMARY (BASED ON FUTURE TENANT FINISH-OUT)				
NAME	AREA (SF)	OCCUPANT LOAD FACTOR	NET OR GROSS SF	CALCULATED OCCUPANT LOAD
FIRST FLOOR				
CLASSROOM	0	00	NSF	42
BREAK ROOM	0	00	NSF	17
OFFICE SUITE	0	00	NSF	5
CONFERENCE ROOM	0	00	NSF	21
RECEPTION LOBBY	0	00	NSF	2
STORAGE 1	0	00	NSF	1
STORAGE 2	0	00	NSF	1
CORRIDOR	0	00	NSF	5
VESTIBULE	0	00	NSF	1
				95 TOTAL OCCUPANTS
SECOND FLOOR				
CLASSROOM	0	00	NSF	44
OFFICE SUITE 1	0	00	NSF	3
OFFICE SUITE 2	0	00	NSF	3
READING ROOM	0	00	NSF	5
LOUNGE	0	00	NSF	56
CORRIDOR	0	00	NSF	4
VESTIBULE	0	00	NSF	1
STORAGE 1	0	00	NSF	1
STORAGE 2	0	00	NSF	1
				118 TOTAL OCCUPANTS

LEGEND

EXIT PATH	ACCESSIBLE SITE PATH (PARKING TO BUILDING ENTRANCE)	1 HR. RATED PARTITION
EXIT	EXISTING WALL	2 HR. RATED PARTITION
EXISTING FIRE ALARM PULL DEVICE	NEW INTERIOR PARTITION WALL	3 HR. RATED PARTITION



PROJECT: UNIVERSITY OF HOUSTON - HOSPITALITY COLLEGE
 PROJECT LOCATION: 122 HEIMAN ST, SAN ANTONIO, TX 78205
 SCOPE OF WORK: INTERIOR RENOVATION OF FIRST AND SECOND FLOORS, THIRD FLOOR PLUMBING, EXTERIOR SHELL RESTORATION, AND SOUTH STAIR & ELEVATOR ENCLOSURE.

BASIC BUILDING INFORMATION

- The building was constructed in 1910. (Major renovation in the mid 1980's)
- The building is a three story three-story historic structure consisting of load bearing masonry exterior walls with an interior steel frame.
- The building is of type III - B construction.
- The building is equipped with an automatic sprinkler system.
- The building is equipped with an automatic alarm system.

APPLICABLE CODES

- 2012 International Building Code with San Antonio Amendments
- 2012 International Existing Building Code with San Antonio Amendments
- 2012 International Mechanical Code with San Antonio Amendments
- 2012 International Plumbing Code with San Antonio Amendments
- 2012 International Fuel Gas Code with San Antonio Amendments
- 2012 International Fire Code with San Antonio Amendments
- 2009 International Energy Conservation Code
- 2011 National Electrical Code with San Antonio Amendments

CODE SUMMARY

NOTE: DUE TO THE HISTORIC ASSIGNATION OF THIS BUILDING THE DRAWINGS ARE SUBMITTED FOR REVIEW UNDER SECTION 12 OF IEBC 2012 AND SECTION 1203.12 OF THE IEBC 2012.

A. OCCUPANCY REQUIREMENTS

- BUILDING USE: BUSINESS (Secondary Educ.) GROUP B (Section 304.1)
- BUILDING OCCUPANCY: Description of use "Educational occupancies for students above 12th grade"
- BUILDING AREAS / OCCUPANT LOAD: REFER TO ADJACENT OCCUPANT LOAD CALCULATION TABLE.
- AUTOMATIC SPRINKLER SYSTEM: YES
- FIRE ALARM SYSTEM: YES
- STANDPIPE SYSTEM: YES
- STAIR PRESSURIZATION: NONE
- OCCUPANCY SEPARATION: NONE REQUIRED

B. CONSTRUCTION REQUIREMENTS

USING THE PRESCRIPTIVE COMPLIANCE METHOD, LEVEL 3 ALTERATIONS, AND HISTORIC BUILDING IEBC CHAPTER 12 SECTION 1203.

- CONSTRUCTION TYPE: TYPE III-B (Table 601)
- CLASSIFICATION OF WORK: --
- MAXIMUM ALLOWED HEIGHT (IBC TABLE 503): 55 ft. / 3 stories / 19,000 sf (Section 503)
- ALLOWABLE HEIGHT INCREASE (W/ SPRINKLER SYSTEM): 1 story / 20 feet (Section 504.2)
- ALLOWABLE AREA INCREASE (Frontage on 3 sides): FORMULA ... (507.4, 508.2)
- ALLOWABLE AREA INCREASE (w/ Sprinkler System): 200 % (if 3 stories)
- FIRE-RESISTIVE RATINGS (HISTORIC BUILDING IEBC CHAPTER 12 SECTION 1203.2)

a. STRUCTURAL FRAME	0
b. BEARING WALLS- EXTERIOR	2
c. BEARING WALLS- INTERIOR	0
d. NONBEARING WALLS-EXTERIOR	See Table 602 (shows 1 hr.)
e. NONBEARING WALLS-INTERIOR	0
f. FLOOR CONSTRUCTION	0
g. ROOF CONSTRUCTION	0
h. STAIR ENCLOSURES	1
i. VERTICAL OPENINGS	0

C. EGRESS REQUIREMENTS

- MAXIMUM FLOOR AREAS PER OCCUPANT:

FIRST FLOOR TOTAL:	95 PEOPLE
SECOND FLOOR TOTAL:	118 PEOPLE
THIRD FLOOR:	N/A NOT OCCUPIED FLOOR (NOT IN SCOPE OF WORK)
- EGRESS WIDTH: 0.2 INCHES/OCCUPANT (1005.1)

REQUIRED: 118 X .02 = 24"
PROVIDED: 102 AT 3 EXIT DOORS
- STAIR WIDTH: 0.3 INCHES/OCCUPANT (1005.1)

REQUIRED: 118 X 0.3 = 36"
PROVIDED: 86" (WIDTH AT 2 STAIRS)
- MAXIMUM TRAVEL DISTANCE (TABLE 1018.1)

300 FEET W/ SPRINKLER SYSTEM

- DISTANCE BETWEEN EXITS (1015.2.1)

EXCEPTION 2: THE DIAGONAL: 86' - 0"
86' - 0" / 3 = 29 FEET REQUIRED W/ SPRINKLER SYSTEM
75' - 0" FEET PROVIDED
- MAXIMUM DEAD END (1018.4)

B = 50 FEET WITH SPRINKLER SYSTEM

- CORRIDOR FIRE-RESISTANCE RATING (TBL. 1018.1)

A = 0 W/ SPRINKLER SYSTEM

- MINIMUM NUMBER OF EXITS (1021)

2 EXITS REQUIRED (3 PROVIDED)

D. PLUMBING FIXTURES COUNT (PER 2009 INTERNATIONAL PLUMBING CODE, TABLE 403.1)

- OCCUPANT LOAD OF = 213 PEOPLE (BASED ON SCOPE OF WORK)
- OCCUPANT LOAD FOR MEN: 107
- OCCUPANT LOAD FOR WOMEN: 107

IF TOTAL COUNT OF 213 IS USED, THEN 3 WCs, AND 2 LAVS. IS REQUIRED.

- MEN'S RESTROOM COUNT

a. WATER CLOSET	REQUIRED: 2	PROVIDED: 2
b. URINALS	ALLOWED: 67%	PROVIDED: 4
c. LAVATORIES	REQUIRED: 1	PROVIDED: 4
- WOMEN'S RESTROOM COUNT

a. WATER CLOSET	REQUIRED: 2	PROVIDED: 6
b. LAVATORIES	REQUIRED: 2	PROVIDED: 4
- DRINKING FOUNTAINS PER IPC 2009

REQUIRED: 1	PROVIDED: 4
-------------	-------------
- SERVICE SINK PER IPC 2009

REQUIRED: 1	PROVIDED: 2
-------------	-------------

KLASARCHITECTS

OWNER
 ZACHRY REALTY, LLC
 Contact: Rene Garcia
 12825 Wetmore Road, Suite 301
 San Antonio, TX 78247
 T: 210.871.2768
 E: rene.garcia@zachrycorp.com

STRUCTURAL ENGINEER
 LUNDY & FRANKS ENGINEERING, INC.
 Contact: Shaun Franks

M.E.P. ENGINEER
 R.G.M. ENGINEERING
 Contact: Roger Mendez
 700 N. St. Mary's, Suite 1225
 San Antonio, TX 78205
 T: 210.289.4522
 E: roger@rgmenengineering.net

SEAL

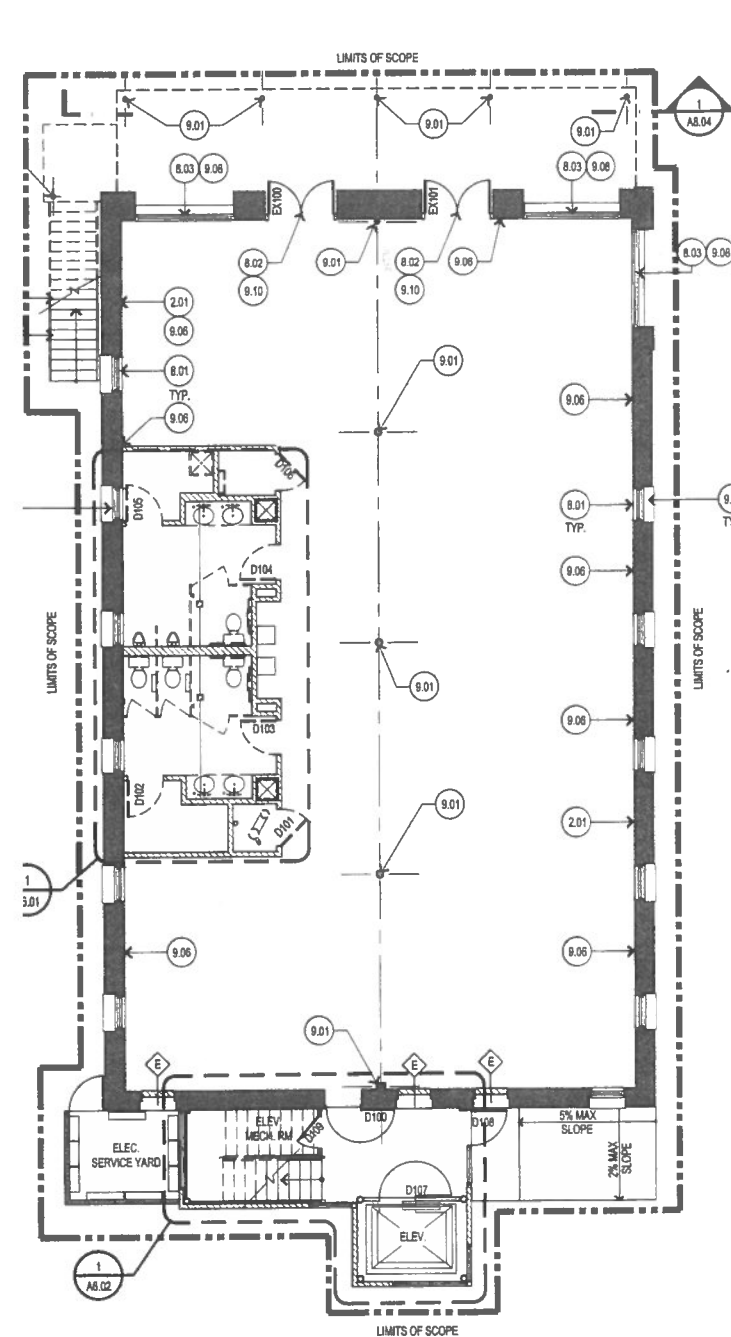
NO. DATE ISSUANCE
 1 November 21, 2014 PERMIT SET
 2 December 18, 2014 BID SET

PROJECT
 UNIVERSITY OF HOUSTON
 CONRAD N. HILTON COLLEGE
 PHASE II - BASE SHELL PACKAGE

122 HEIMAN ST.
 SAN ANTONIO, TX 78205

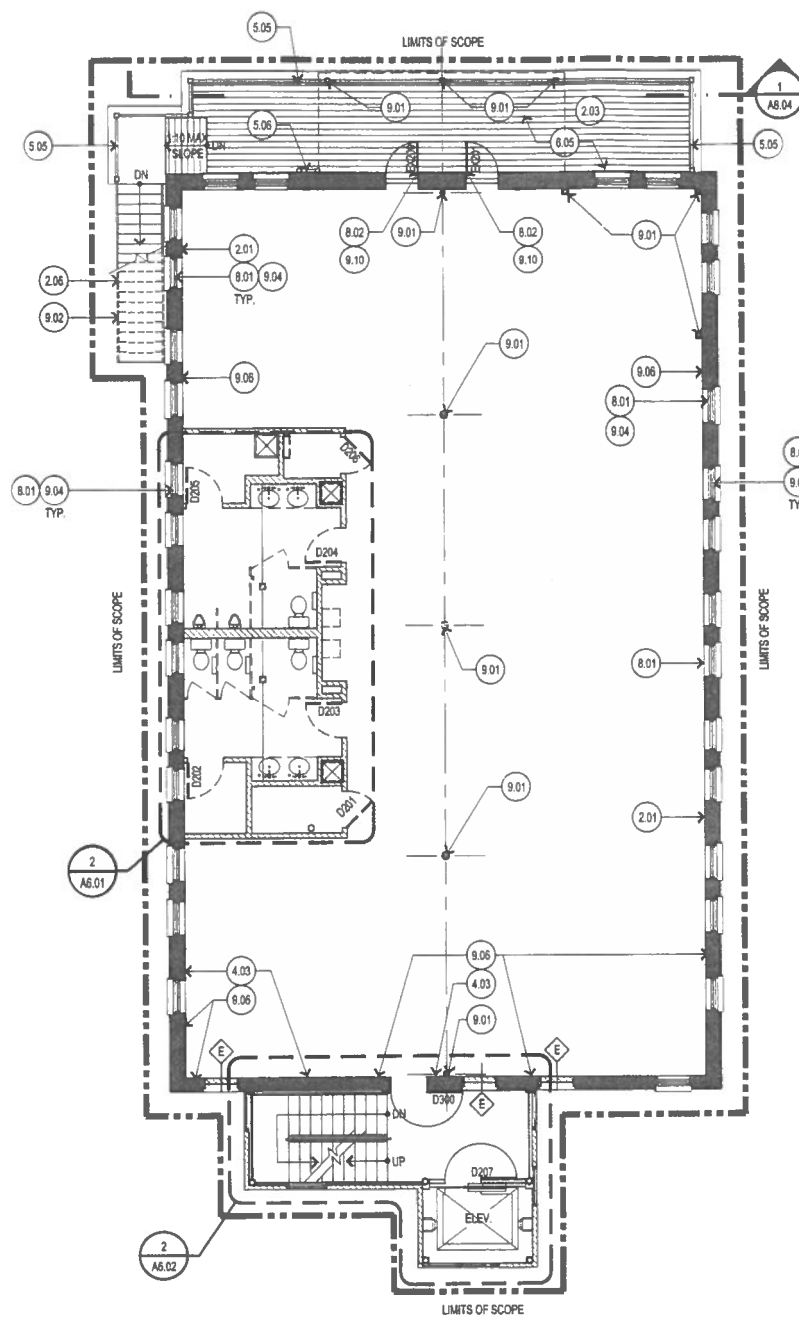
SHEET NAME

CODE ANALYSIS &
 LIFE SAFETY PLAN



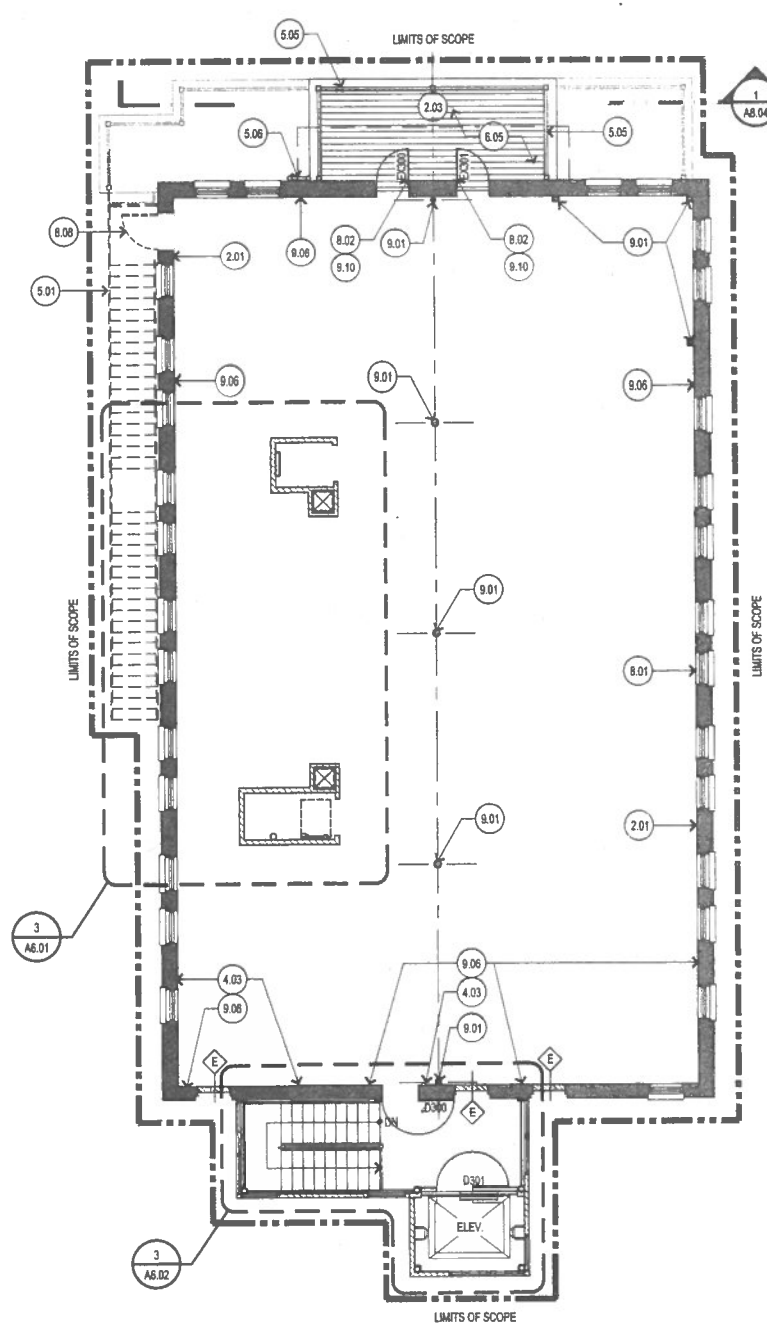
FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



FLOOR PLAN LEGEND

- LIMITS OF SCOPE
- EXISTING WALL TO REMAIN
- NEW PARTITION WALL
- NEW BALCONY DECKING

KEYNOTES

- DIVISION 02 EXISTING CONDITION**
- 2.01 INTERIOR SHELL FINISHES TO REMAIN, INCLUDING ALL BASE, WINDOW & DOOR TRIMS.
 - 2.02 PROVIDE ALLOWANCE FOR NEW LANDSCAPING. REGRADE FOR POSITIVE DRAINAGE.
 - 2.03 PREP EXISTING CONCRETE SLAB AS REQ'D. FOR NEW COMPOSITE DECKING.
 - 2.04 EXISTING PLANTER AND LANDSCAPE TO REMAIN. PROTECT AS REQ'D.
 - 2.05 EXISTING PLANTER TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.06 EXISTING METAL PAN AND CONCRETE STAIR TO REMAIN.
 - 2.07 EXISTING STEEL BEAM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.08 EXISTING METAL DECKING TO REMAIN.
 - 2.09 EXISTING LANDING TO REMAIN.
 - 2.10 NEW ASPHALT W/ PAINTED STRIPES FOR ADA R.O.W.
- DIVISION 03 CONCRETE**
- 3.01 NEW SIDEWALK (REF. 1A1.01).
 - 3.02 NEW CONCRETE SLAB (REF. STRUCTURAL).
 - 3.03 NOT USED
 - 3.04 CLEAN EXISTING CONCRETE STRUCTURE. PROVIDE PENETRATING SEALER.
 - 3.05 NEW FOUNDATION MODIFICATIONS TO CORRECT MISALIGNMENT/MOVEMENT OF EXISTING REAR STAIR/ELEVATOR. (REF. STRUCTURAL)
 - 3.06 COLD FORM METAL FRAMING.
 - 3.07 CONTRACTION JOINT (REF. 4/A1.01)
- DIVISION 04 MASONRY**
- 4.01 CLEAN EXISTING BRICK MASONRY. REPAIR AND RE-POINT. PROVIDE PENETRATING SEALER.
 - 4.02 RE-GROUT EXISTING MORTAR THAT DOES NOT MATCH.
 - 4.03 RESET AND REPAIR ANY DAMAGED / LOOSE INTERIOR SHELL MASONRY.
- DIVISION 05 METALS**
- 5.01 FUTURE EGRESS STAIR.
 - 5.02 NEW 1 1/2" DIA STL HANDRAIL. PAINTED.
 - 5.03 NEW 1 1/2" DIA STL HANDRAIL SUPPORT POST. PAINTED.
 - 5.04 NEW GALVANIZED METAL GUTTER COVER PLATE. MATCH EXISTING.
 - 5.05 PROVIDE NEW TENSION CABLES AT EXISTING GUARDRAIL TO MEET BUILDING CODE.
 - 5.06 EXISTING EGRESS LADDER TO REMAIN WHILE THIRD FLOOR IS UNOCCUPIED. SECURE AND STABILIZE AS REQ'D. PAINTED.
 - 5.07 MODIFIED EXISTING STL GUARDRAIL. PAINTED.
- DIVISION 06 WOOD, PLASTICS AND COMPOSITES**
- 6.01 EXISTING WOOD JOIST STRUCTURE TO REMAIN. PROTECT AS REQ'D.
 - 6.02 PROVIDE NEW WOOD DECKING AS REQ'D. DECKING SIZE AND PROFILE TO MATCH EXISTING. PAINTED
 - 6.03 PROVIDE NEW RAFTER TAILS TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE NEW PAINT.
 - 6.04 NEW WOOD COLUMN TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE PAINT.
 - 6.05 NEW COMPOSITE WOOD DECKING
- DIVISION 07 THERMAL AND MOISTURE PROTECTION**
- 7.01 METAL WALL PANEL
 - 7.02 STYRENE-BUTADIENE-STYRENE MODIFIED BITUMINOUS ROOFING (SBS).
 - 7.03 NEW ROOF HATCH AND ACCESS LADDER. (VERIFY LOCATION)
 - 7.04 NEW "ICE & WATER SHIELD" PEEL & STICK MEMBRANE TO BE ADDED PRIOR TO REINSTALLATION OF SHINGLE ROOFING.
 - 7.05 BITUMINOUS DAMP PROOFING.
 - 7.06 POLYSTYRENE BOARD INSULATION.
 - 7.07 GLASS FIBER BATT INSULATION.
 - 7.08 MINERAL FIBER BATT INSULATION.
 - 7.09 SHEET METAL FLASHING AND TRIM.
 - 7.10 METAL DOWNSPOUT.
 - 7.11 METAL GUTTER.
 - 7.12 FIRESTOPPING.
 - 7.13 JOINT SEALANT
- DIVISION 08 OPENINGS**
- 8.01 NEW ALUM. CLAD WOOD WINDOW.
 - 8.02 EXISTING DOOR TO REMAIN. CLEAN & PREP FOR NEW FINISH & HARDWARE. HARDWARE TO COMPLY WITH ADA & EGRESS REQUIREMENTS.
 - 8.03 EXISTING WINDOW TO REMAIN. CLEAN & PREP FOR NEW FINISH.
 - 8.04 METAL PANEL.
 - 8.05 NEW ALUMINUM - FRAMED STOREFRONT.
 - 8.06 NEW DOOR AS SCHEDULED ON MAGNETIC HOLD OPEN.
 - 8.07 NEW FIRE RATED ELEVATOR SHAFT DOOR.
 - 8.08 FUTURE FIRE RATED EGRESS DOOR. (REF. PHASE III PACKAGE)
 - 8.09 NEW PLASTER TO MATCH EXISTING.
 - 8.10 GLASS UNIT.
 - 8.11 NEW FIRE RATED DOOR AND FRAME.
 - 8.12 1 HR. FIRE RATED WALL ASSEMBLY.
 - 8.13 1 HR. FIRE RATED CEILING ASSEMBLY.
- DIVISION 09 FINISHES**
- 9.01 PAINT EXISTING STEEL COLUMN.
 - 9.02 PAINT EXISTING STAIR / STEEL STRUCTURE.
 - 9.03 PAINT EXISTING ELEVATOR STRUCTURE.
 - 9.04 RE-PLASTER WINDOW SILLS AND BRICK LEDGES. ASSUME ALL WINDOWS BEING REPLACED TO RECEIVE NEW PLASTER SILL. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 - 9.05 NEW MORTAR CAP W/ ELASTOMERIC COATING.
 - 9.06 PROVIDE NEW PLASTER AT INTERIOR OF SHELL WALL AS REQ'D. TEXTURE TO MATCH EXISTING ADJACENT.
 - 9.07 PROVIDE COMPREHENSIVE MANUFACTURE 10-YEAR WARRANTY SEALANT AND ELASTOMERIC COATING SYSTEM AT ALL EXTERIOR CEMENT PLASTER.
 - 9.08 PAINT AT EXISTING WOOD WINDOWS AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.09 PAINT EXISTING FLAGPOLE STRUCTURE.
 - 9.10 PAINT EXISTING DOOR AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.11 PAINT EXISTING METAL DOWNSPOUT AND SCUPPER.
 - 9.12 CHASE OPENING (REF. MECH).
 - 9.13 RATED PARTITION AT PREVIOUS WINDOW OPENING.
 - 9.14 PAINT EXISTING PLANTER.
 - 9.15 PAINT EXISTING WOOD.
 - 9.16 PAINTED METAL ROOF SYSTEM.
- DIVISION 14 CONVEYING EQUIPMENT**
- 14.01 PROVIDE COMPLETE REFURBISHMENT OF EXISTING ELEVATOR. FINISHES TO BE ISSUED IN A SEPARATE PACKAGE.
 - 14.02 NEW ELEVATOR SIGNALS AND CALL BUTTON.
- DIVISION 21 FIRE SUPPRESSION**
- 21.01 NEW LOCATION OF EXISTING FIRE SPRINKLER MAIN. (VERIFY LOCATION)
 - 21.02 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 21.03 EXISTING FIRE SPRINKLER STAND PIPE TO BE RELOCATED AS REQ'D.
- DIVISION 22 PLUMBING**
- 22.01 NEW PLUMBING FIXTURES. FINAL SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 22.02 NEW FLOOR DRAIN.
 - 22.03 NEW WATER FOUNTAIN (PAIR).
- DIVISION 23 HVAC**
- 23.01 NEW HVAC UNIT PACKAGE UNIT.
- DIVISION 26 ELECTRICAL**
- 26.01 EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED EMERGENCY LIGHT FIXTURES. FINAL LIGHT FIXTURE SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 26.02 NEW LOCATION OF EXISTING ELECTRICAL PANEL.

LASARCHITECTS

OWNER
ZACHRY REALTY, LLC
Contact: Rene Garcia
12625 Wetmore Road, Suite 301
San Antonio, TX 78247
T: 210.871.2766
E: rene.garcia@zachrycorp.com

STRUCTURAL ENGINEER
LUNDY & FRANKS ENGINEERING, INC.
Contact: Shawn Frankie
610 Islander Blvd

M.E.P. ENGINEER
R.G.M. ENGINEERING
Contact: Roger Mendez
700 W. St. Mary's Suite 1225
San Antonio, TX 78205
T: 210.299.4522
E: roger@rgmenengineering.net

SEAL



NO	DATE	ISSUANCE
1	November 21, 2014	PERMIT SET
2	December 18, 2014	BID SET

PROJECT
UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE
PHASE II - BASE SHELL PACKAGE

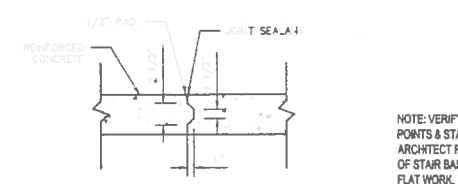
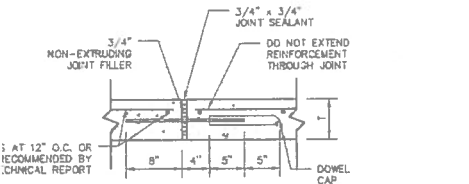
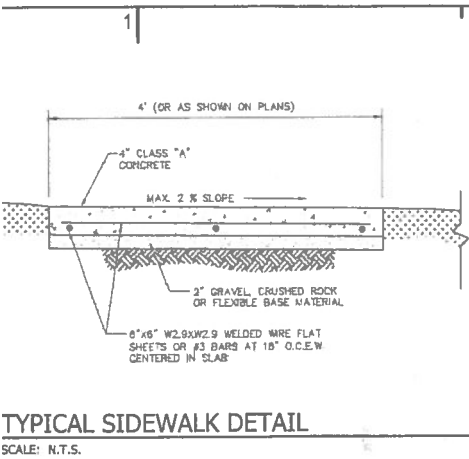
122 HEIMAN ST.
SAN ANTONIO, TX 78205

PROJECT STATUS

SHEET NAME

SHELL FLOOR PLANS
LEVEL 1, LEVEL 2 &
LEVEL 3

SHEET NUMBER



NOTE: IN THIS LOCALITY, DRYING SHRINKAGE OF CONCRETE TYPICALLY EXCEEDS ANTICIPATED EXPANSION DUE TO THERMAL EFFECTS. AS A RESULT, THE NEED FOR EXPANSION JOINTS IS INCREASED. PROVIDE ALL JOINTS (INCLUDING SAWCUTS) ARE SEALED. INSTRUCTION OF AN UNNECESSARY JOINT MAY ALSO BECOME A MAINTENANCE PROBLEM. ALL JOINTS SHOULD BE SEALED. IF ALL JOINTS, INCLUDING SAWCUTS, ARE NOT SEALED THEN EXPANSION JOINTS SHOULD BE INSTALLED.

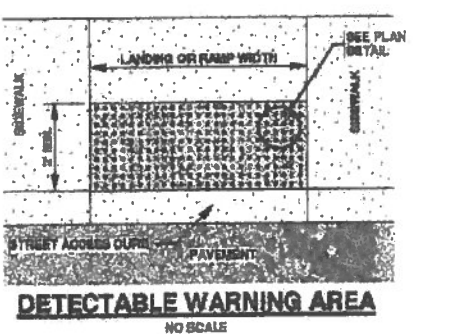
NOTE: CONTRACTION JOINT MAY BE SAVED, HAND FORMED, OR CREATED BY USE OF PREMOULDED JOINT FILLER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT CONCRETE PAVEMENT MEETS ALL FINISHING REQUIREMENTS AFTER INSTALLATION OF CONTRACTION JOINT.

NOTE: VERIFY ALL ELEVATION POINTS & STAIR LOCATION WITH ARCHITECT PRIOR TO INSTALLATION OF STAIR BASE OR PROPOSED FLAT WORK.

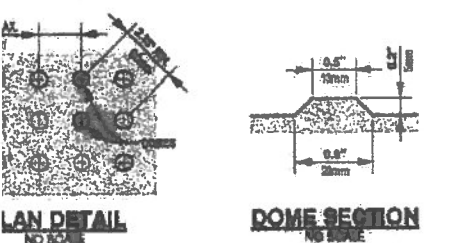
TYP. EXPANSION JOINT
SCALE: N.T.S.

TYP. CONTRACTION JOINT
SCALE: N.T.S.

LONGITUDINAL JOINT
SCALE: N.T.S.



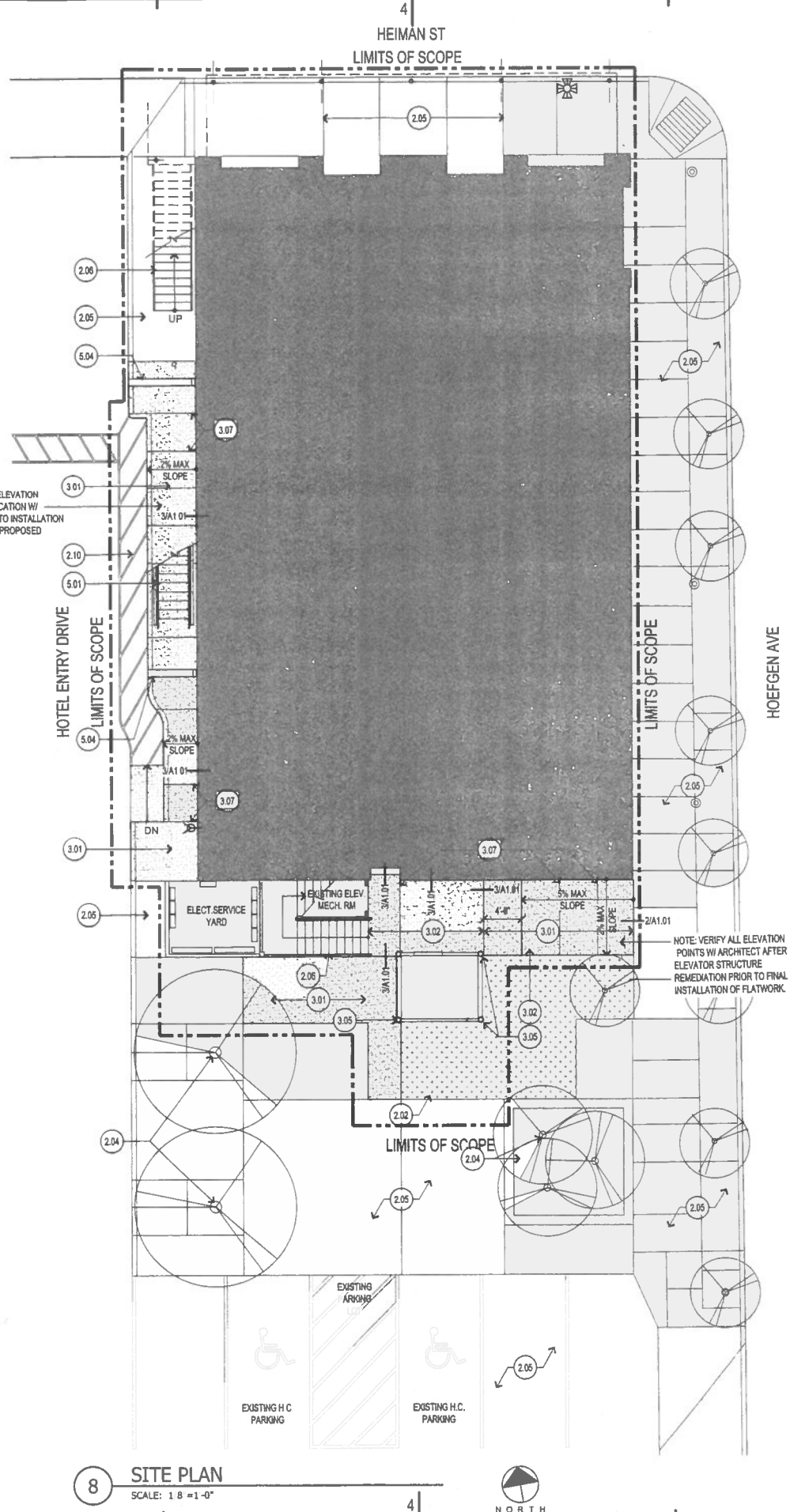
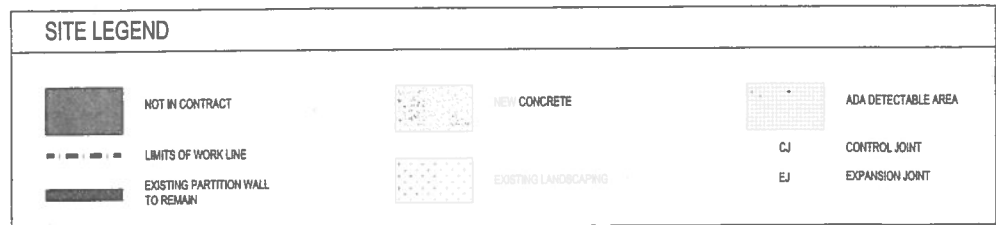
NOTE: TYPED CONCRETE TRUNCATED DOMES WILL NOT BE ALLOWED TO BE USED FOR DETECTABLE WARNING ON WHEELCHAIR RAMP. CONTRACTOR MUST SUBMIT UNCLIPPED COLOR INFORMATION THAT IS TO BE USED ON WHEELCHAIR RAMPS TO THE PROJECT MANAGER FOR APPROVAL AT LEAST 30 DAYS PRIOR TO INSTALLATION.



DETECTABLE WARNING AREA
SCALE: N.T.S.

- PAVEMENT NOTES:**
- ALL MATERIAL AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF WORK WHERE NOT SPECIFICALLY ORDERED IN THE SPECIFICATIONS OR CITY/COUNTY OR TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
 - THE CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITY AND STORM DRAIN SYSTEMS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING TREES, BOLLARDS, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
 - THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF EXISTING ADJUSTERS AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - ALL PAVEMENT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
 - NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
 - ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.
 - THE CONTRACTOR SHALL SAW CUT EXISTING PAVING, CURB, AND SIDEWALKS TO PROVIDE A SMOOTH TRANSITION. NO JAGGED OR IRREGULAR EDGES WILL BE ALLOWED.

- DIMENSIONAL CONTROL NOTES:**
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, LIMITS OF DIMENSIONS NECESSARY OR CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL PRESERVE ALL CONTROL POINTS, PROPERTY PINS, BENCH MARKS, HUBS OR OTHER MONUMENT POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE. THE EVENT THEY ARE REMOVE.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL POINTS FOR CONSTRUCTION DRAWINGS.
 - UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
 - COORDINATES FOR HORIZONTAL CONTROL POINTS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83(98) DISPLAYED IN SURFACE VALUES. SURFACE ADJUSTMENT FACTOR FOR EACH COUNTY. THE SURFACE ADJUSTMENT FACTOR FOR BEXAR COUNTY IS 1.0017. OTHER COUNTIES WILL HAVE A DIFFERENT FACTOR. CHECK WITH THE SURVEYOR TO OBTAIN THE CORRECT SURFACE ADJUSTMENT FACTOR OR PROJECTS LOCATED OUTSIDE OF BEXAR COUNTY.
 - BENCHMARK ELEVATIONS ARE BASED ON NAVD 88, GEOID 03.
 - ALL DIMENSIONAL CONTROL POINTS OR DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
 - REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.
 - CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.



- KEYNOTES**
- DIVISION 02 EXISTING CONDITION**
- 2.01 INTERIOR SHELL FINISHES TO REMAIN, INCLUDING ALL BASE, WINDOW & DOOR TRIMS.
 - 2.02 PROVIDE ALLOWANCE FOR NEW LANDSCAPING. REGRADE FOR POSITIVE DRAINAGE.
 - 2.03 PREP EXISTING CONCRETE SLAB AS REQ'D. FOR NEW COMPOSITE DECKING.
 - 2.04 EXISTING PLANTER AND LANDSCAPE TO REMAIN. PROTECT AS REQ'D.
 - 2.05 EXISTING FLATWORK TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.06 EXISTING METAL PAN AND CONCRETE STAIR TO REMAIN.
 - 2.07 EXISTING STEEL BEAM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.08 EXISTING METAL DECKING TO REMAIN.
 - 2.09 EXISTING LANDING TO REMAIN.
 - 2.10 NEW ASPHALT W/PAINTED STRIPES FOR ADA R.O.W.
- DIVISION 03 CONCRETE**
- 3.01 NEW SIDEWALK (REF. 11A1.01).
 - 3.02 NEW CONCRETE SLAB (REF. STRUCTURAL).
 - 3.03 NOT USED.
 - 3.04 CLEAN EXISTING CONCRETE STRUCTURE. PROVIDE PENETRATING SEALER.
 - 3.05 NEW FOUNDATION MODIFICATIONS TO CORRECT MISALIGNMENT/MOVEMENT OF EXISTING REAR STAIR/ELEVATOR. (REF. STRUCTURAL).
 - 3.06 COLD FORM METAL FRAMING.
 - 3.07 CONTRACTION JOINT (REF. 41A1.01).
- DIVISION 04 MASONRY**
- 4.01 CLEAN EXISTING BRICK MASONRY, REPAIR AND RE-POINT. PROVIDE PENETRATING SEALER.
 - 4.02 RE-GROUT EXISTING MORTAR THAT DOES NOT MATCH.
 - 4.03 RESET AND REPAIR ANY DAMAGED / LOOSE INTERIOR SHELL MASONRY.
- DIVISION 05 METALS**
- 5.01 FUTURE EGRESS STAIR.
 - 5.02 NEW 1 1/2" DIA. STL. HANDRAIL. PAINTED.
 - 5.03 NEW 1 1/2" DIA. STL. HANDRAIL SUPPORT POST. PAINTED.
 - 5.04 NEW GALVANIZED METAL GUTTER COVER PLATE. MATCH EXISTING.
 - 5.05 PROVIDE NEW TENSION CABLES AT EXISTING GUARDRAIL TO MEET BUILDING CODE.
 - 5.06 EXISTING EGRESS LADDER TO REMAIN WHILE THIRD FLOOR IS UNOCCUPIED. SECURE AND STABILIZE AS REQ'D. PAINTED.
 - 5.07 MODIFIED EXISTING STL. GUARDRAIL. PAINTED.
- DIVISION 06 WOOD, PLASTICS AND COMPOSITES**
- 6.01 EXISTING WOOD JOIST STRUCTURE TO REMAIN. PROTECT AS REQ'D.
 - 6.02 PROVIDE NEW WOOD DECKING AS REQ'D. DECKING SIZE AND PROFILE TO MATCH EXISTING. PAINTED.
 - 6.03 PROVIDE NEW RAFTER TAILS TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE NEW PAINT.
 - 6.04 NEW WOOD COLUMN TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE PAINT.
 - 6.05 NEW COMPOSITE WOOD DECKING.
- DIVISION 07 THERMAL AND MOISTURE PROTECTION**
- 7.01 METAL WALL PANEL.
 - 7.02 STYRENE-BUTADIENE-STYRENE MODIFIED BITUMINOUS ROOFING (SBS).
 - 7.03 NEW ROOF HATCH AND ACCESS LADDER. (VERIFY LOCATION).
 - 7.04 NEW "ICE & WATER SHIELD" PEEL & STICK MEMBRANE TO BE ADDED PRIOR TO REINSTALLATION OF SHINGLE ROOFING.
 - 7.05 BITUMINOUS DAMP PROOFING.
 - 7.06 POLYSTYRENE BOARD INSULATION.
 - 7.07 GLASS FIBER BATT INSULATION.
 - 7.08 MINERAL FIBER BATT INSULATION.
 - 7.09 SHEET METAL FLASHING AND TRIM.
 - 7.10 METAL DOWNSPOUT.
 - 7.11 METAL GUTTER.
 - 7.12 FIRESTOPPING.
 - 7.13 JOINT SEALANT.
- DIVISION 08 OPENINGS**
- 8.01 NEW ALUM. CLAD WOOD WINDOW.
 - 8.02 EXISTING DOOR TO REMAIN. CLEAN & PREP FOR NEW FINISH & HARDWARE. HARDWARE TO COMPLY WITH ADA & EGRESS REQUIREMENTS.
 - 8.03 EXISTING WINDOW TO REMAIN. CLEAN & PREP FOR NEW FINISH.
 - 8.04 METAL PANEL.
 - 8.05 NEW ALUMINUM - FRAMED STOREFRONT.
 - 8.06 NEW DOOR AS SCHEDULED ON MAGNETIC HOLD OPEN.
 - 8.07 NEW FIRE RATED ELEVATOR SHAFT DOOR.
 - 8.08 FUTURE FIRE RATED EGRESS DOOR. (REF. PHASE III PACKAGE).
 - 8.09 NEW PLASTER TO MATCH EXISTING.
 - 8.10 GLASS UNIT.
 - 8.11 NEW FIRE RATED DOOR AND FRAME.
 - 8.12 1 HR. FIRE RATED WALL ASSEMBLY.
 - 8.13 1 HR. FIRE RATED CEILING ASSEMBLY.
- DIVISION 09 FINISHES**
- 9.01 PAINT EXISTING STEEL COLUMN.
 - 9.02 PAINT EXISTING STAIR / STEEL STRUCTURE.
 - 9.03 PAINT EXISTING ELEVATOR STRUCTURE.
 - 9.04 RE-PLASTER WINDOW SILLS AND BRICK LEDGES. ASSUME ALL WINDOWS BEING REPLACED TO RECEIVE NEW PLASTER SILL. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 - 9.05 NEW MORTAR CAP W/ ELASTOMERIC COATING.
 - 9.06 PROVIDE NEW PLASTER AT INTERIOR OF SHELL WALL AS REQ'D. TEXTURE TO MATCH EXISTING ADJACENT.
 - 9.07 PROVIDE COMPREHENSIVE MANUFACTURE 10-YEAR WARRANTY SEALANT AND ELASTOMERIC COATING SYSTEM AT ALL EXTERIOR CEMENT PLASTER.
 - 9.08 PAINT AT EXISTING WOOD WINDOWS AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.09 PAINT EXISTING FLAGPOLE STRUCTURE.
 - 9.10 PAINT EXISTING DOOR AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.11 PAINT EXISTING METAL DOWNSPOUT AND SCUPPER.
 - 9.12 CHASE OPENING (REF. MECH.).
 - 9.13 RATED PARTITION AT PREVIOUS WINDOW OPENING.
 - 9.14 PAINT EXISTING PLANTER.
 - 9.15 PAINT EXISTING WOOD.
 - 9.16 PAINTED METAL ROOF SYSTEM.
- DIVISION 14 CONVEYING EQUIPMENT**
- 14.01 PROVIDE COMPLETE REFURBISHMENT OF EXISTING ELEVATOR. FINISHES TO BE ISSUED IN A SEPARATE PACKAGE.
 - 14.02 NEW ELEVATOR SIGNALS AND CALL BUTTON.
- DIVISION 21 FIRE SUPPRESSION**
- 21.01 NEW LOCATION OF EXISTING FIRE SPRINKLER MAIN. (VERIFY LOCATION).
 - 21.02 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 21.03 EXISTING FIRE SPRINKLER STAND PIPE TO BE RELOCATED AS REQ'D.
- DIVISION 22 PLUMBING**
- 22.01 NEW PLUMBING FIXTURES. FINAL SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 22.02 NEW FLOOR DRAIN.
 - 22.03 NEW WATER FOUNTAIN (PAIR).
- DIVISION 23 HVAC**
- 23.01 NEW HVAC MINI PACKAGE UNIT.
- DIVISION 26 ELECTRICAL**
- 26.01 EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED EMERGENCY LIGHT FIXTURES. FINAL LIGHT FIXTURE SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 26.02 NEW LOCATION OF EXISTING ELECTRICAL PANEL.

LASARCHITECTS

OWNER
ZACHRY REALTY, LLC
Contact: Rene Garcia
12825 Wetmore Road, Suite 301
San Antonio, TX 78247
T: 210.871.2766
E: rene.garcia@zachrycorp.com

STRUCTURAL ENGINEER
LUNDY & FRANK ENGINEERING, INC.
Contact: Shawn Franke
549 Heimer Rd

M.E.P. ENGINEER
R.G.M. ENGINEERING
Contact: Roger Mendez
700 N. St. Mary's, Suite 1225
San Antonio, TX 78205
T: 210.299.4522
E: roger@rgmengeering.net

REGISTERED ARCHITECT
ANDREW TAYLOR
13950
STATE OF TEXAS

NO	DATE	SUANCE
1	November 21, 2014	PERMIT SET
2	December 18, 2014	BID SET

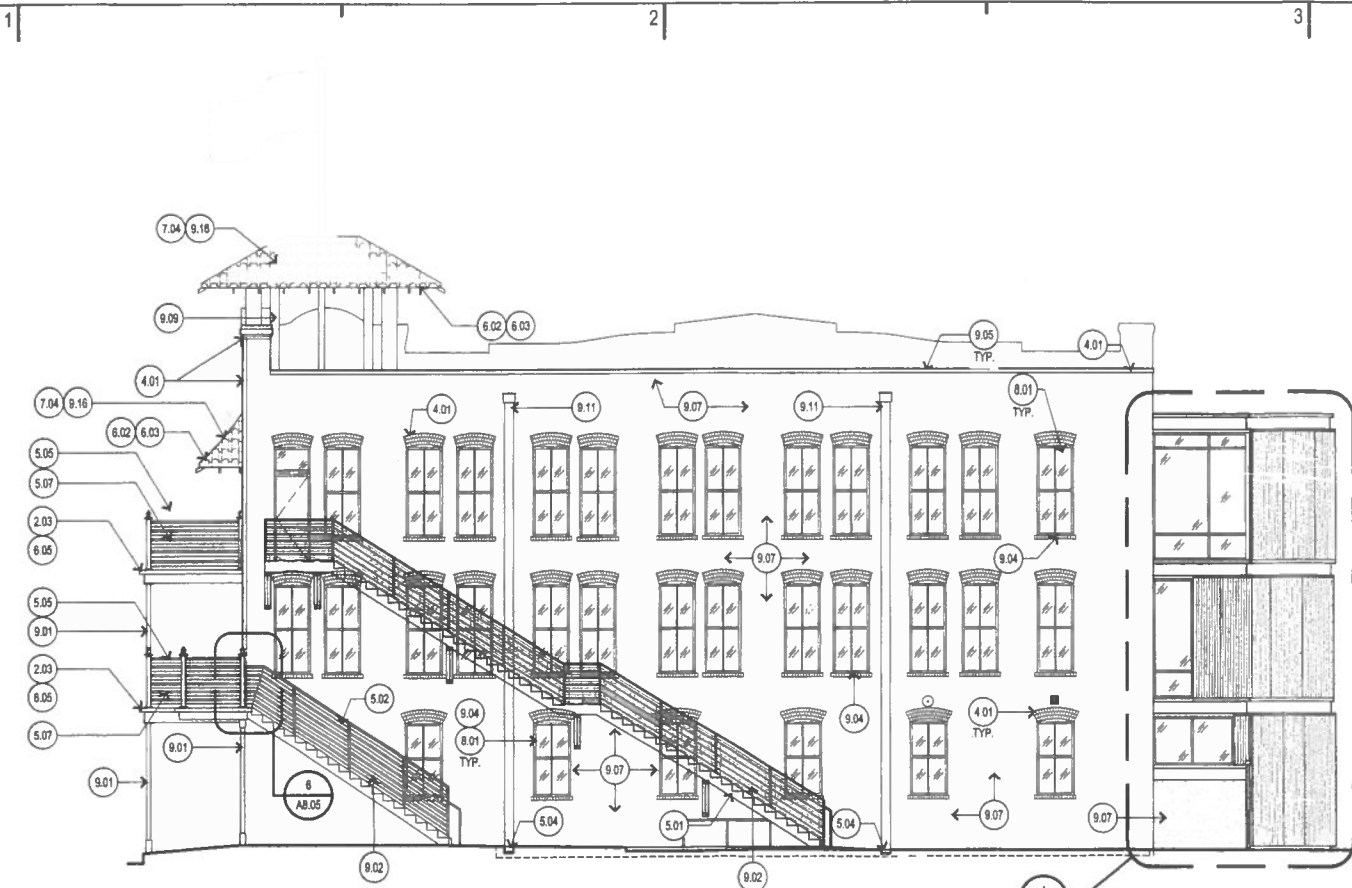
PROJECT
**UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE**
PHASE II - BASE SHELL PACKAGE

122 HEIMAN ST
SAN ANTONIO, TX 78205

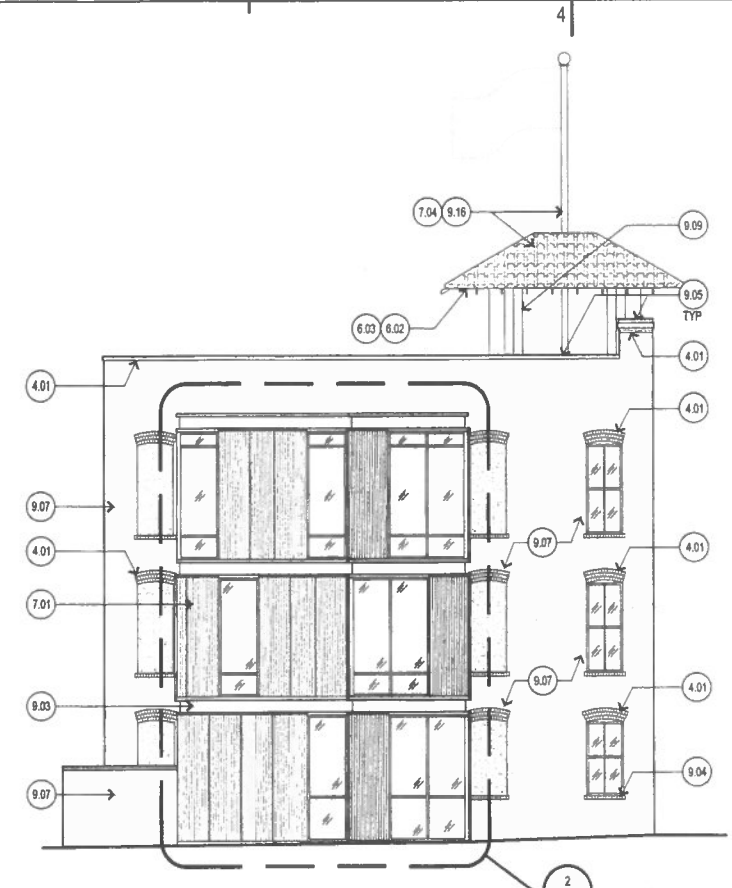
PROJECT STATUS

SHEET NAME
SITE PLAN & DETAILS

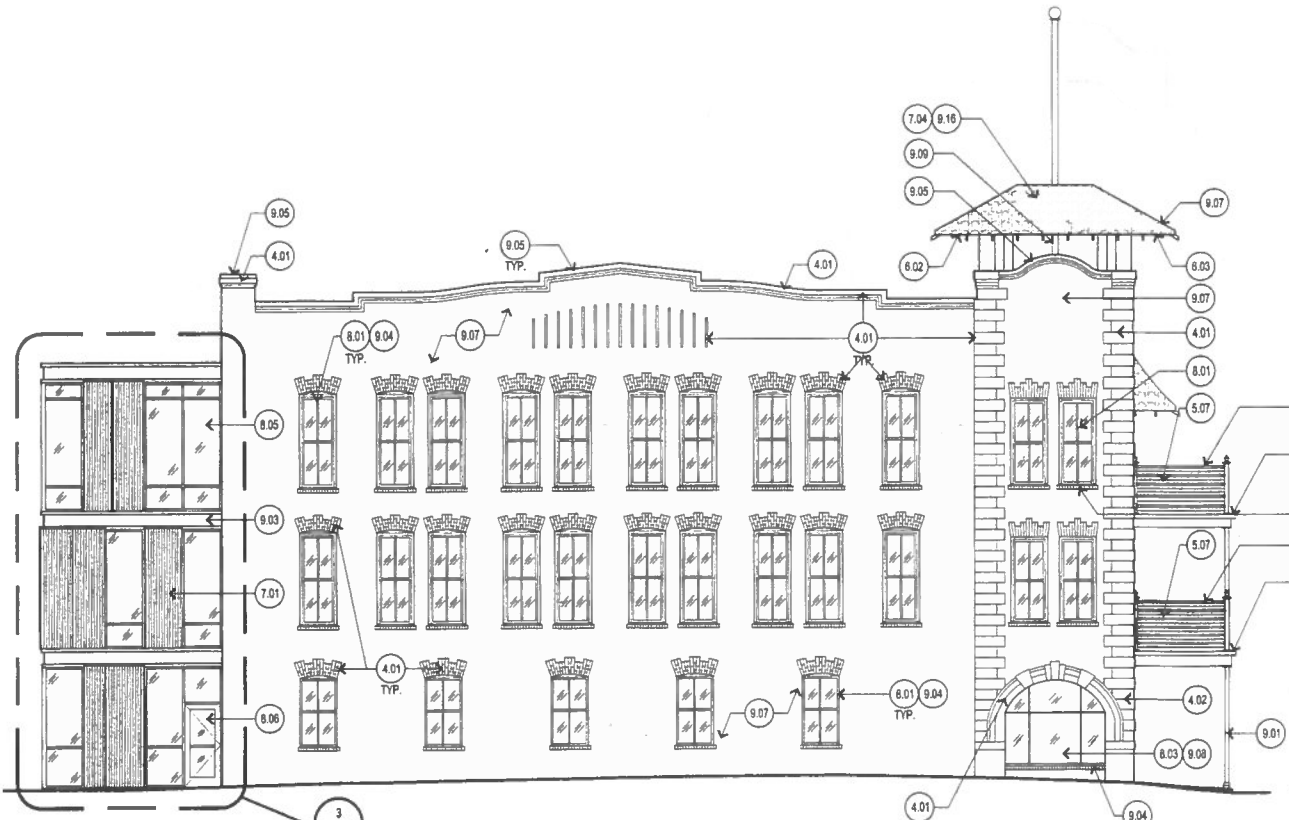
SHEET NUMBER



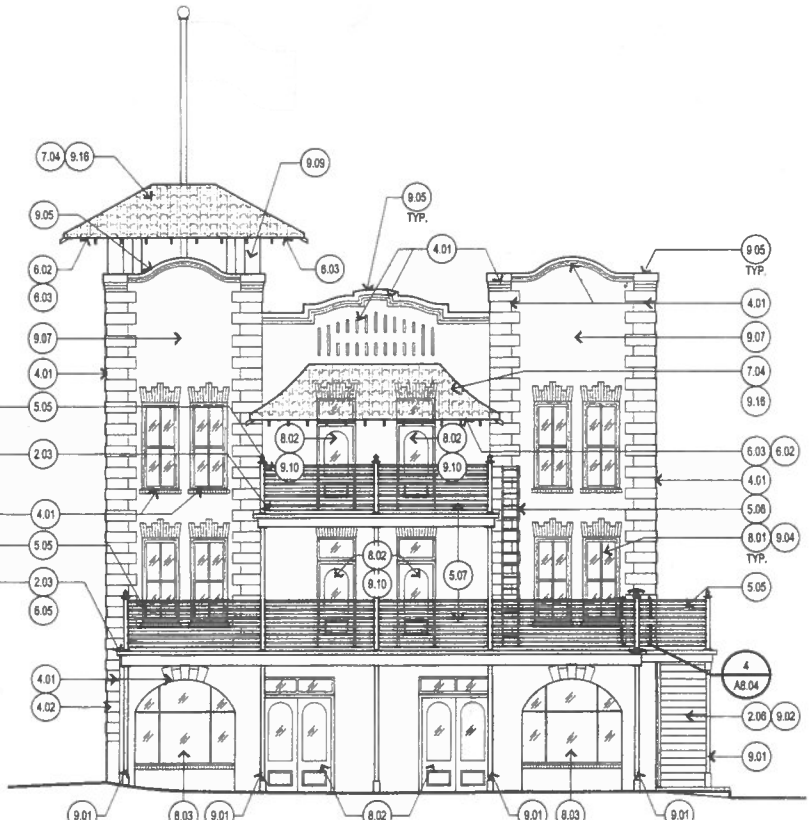
1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"
w/ Stair & Elevator



3 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

- ### KEYNOTES
- DIVISION 02 EXISTING CONDITION**
- 2.01 INTERIOR SHELL FINISHES TO REMAIN, INCLUDING ALL BASE, WINDOW & DOOR TRIMS.
 - 2.02 PROVIDE ALLOWANCE FOR NEW LANDSCAPING, REGRADE FOR POSITIVE DRAINAGE.
 - 2.03 PREP EXISTING CONCRETE SLAB AS REQ'D. FOR NEW COMPOSITE DECKING.
 - 2.04 EXISTING PLANTER AND LANDSCAPE TO REMAIN, PROTECT AS REQ'D.
 - 2.05 EXISTING FLATWORK TO REMAIN, PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.06 EXISTING METAL PAN AND CONCRETE STAIR TO REMAIN.
 - 2.07 EXISTING STEEL BEAM TO REMAIN, PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.08 EXISTING METAL DECKING TO REMAIN.
 - 2.09 EXISTING LANDING TO REMAIN.
 - 2.10 NEW ASPHALT W/ PARKED STRIPES FOR ADA R.O.W.
- DIVISION 03 CONCRETE**
- 3.01 NEW SIDEWALK (REF. 1A1.01).
 - 3.02 NEW CONCRETE SLAB (REF. STRUCTURAL).
 - 3.03 NOT USED.
 - 3.04 CLEAN EXISTING CONCRETE STRUCTURE, PROVIDE PENETRATING SEALER.
 - 3.05 NEW FOUNDATION MODIFICATIONS TO CORRECT MISALIGNMENT/MOVEMENT OF EXISTING REAR STAIR/ELEVATOR. (REF. STRUCTURAL).
- DIVISION 04 MASONRY**
- 4.01 CLEAN EXISTING BRICK MASONRY, REPAIR AND RE-POINT, PROVIDE PENETRATING SEALER.
 - 4.02 RE-GROUT EXISTING MORTAR THAT DOES NOT MATCH.
 - 4.03 RESET AND REPAIR ANY DAMAGED / LOOSE INTERIOR SHELL MASONRY.
- DIVISION 05 METALS**
- 5.01 FUTURE EGRESS STAIR.
 - 5.02 NEW 1 1/2" DIA STL HANDRAIL, PAINTED.
 - 5.03 NEW 1 1/2" DIA STL HANDRAIL SUPPORT POST, PAINTED.
 - 5.04 NEW GALVANIZED METAL GUTTER COVER PLATE, MATCH EXISTING.
 - 5.05 PROVIDE NEW TENSION CABLES AT EXISTING GUARDRAIL TO MEET BUILDING CODE.
 - 5.06 EXISTING EGRESS LADDER TO REMAIN WHILE THIRD FLOOR IS UNOCCUPIED, SECURE AND STABILIZE AS REQ'D, PAINTED.
 - 5.07 MODIFIED EXISTING STL GUARDRAIL, PAINTED.
- DIVISION 06 WOOD, PLASTICS AND COMPOSITES**
- 6.01 EXISTING WOOD JOIST STRUCTURE TO REMAIN, PROTECT AS REQ'D.
 - 6.02 PROVIDE NEW WOOD DECKING AS REQ'D. DECKING SIZE AND PROFILE TO MATCH EXISTING, PAINTED.
 - 6.03 PROVIDE NEW RAFTER TAILS TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE NEW PAINT.
 - 6.04 NEW WOOD COLUMN TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE PAINT.
 - 6.05 NEW COMPOSITE WOOD DECKING.
- DIVISION 07 THERMAL AND MOISTURE PROTECTION**
- 7.01 METAL WALL PANEL.
 - 7.02 STYRENE-BUTADIENE-STYRENE MODIFIED BITUMINOUS ROOFING (SBS).
 - 7.03 NEW ROOF HATCH AND ACCESS LADDER, (VERIFY LOCATION).
 - 7.04 NEW "ICE & WATER SHIELD" PEEL & STICK MEMBRANE TO BE ADDED PRIOR TO REINSTALLATION OF SHINGLE ROOFING.
 - 7.05 BITUMINOUS DAMP PROOFING.
 - 7.06 POLYSTYRENE BOARD INSULATION.
 - 7.07 GLASS FIBER BATT INSULATION.
 - 7.08 MINERAL FIBER BATT INSULATION.
 - 7.09 SHEET METAL FLASHING AND TRIM.
 - 7.10 METAL DOWNSPOUT.
 - 7.11 METAL GUTTER.
 - 7.12 FIRESTOPPING.
 - 7.13 JOINT SEALANT.
- DIVISION 08 OPENINGS**
- 8.01 NEW ALUM. CLAD WOOD WINDOW.
 - 8.02 EXISTING DOOR TO REMAIN, CLEAN & PREP FOR NEW FINISH & HARDWARE. HARDWARE TO COMPLY WITH ADA & EGRESS REQUIREMENTS.
 - 8.03 EXISTING WINDOW TO REMAIN, CLEAN & PREP FOR NEW FINISH.
 - 8.04 METAL PANEL.
 - 8.05 NEW ALUMINUM - FRAMED STOREFRONT.
 - 8.06 NEW DOOR AS SCHEDULED ON MAGNETIC HOLD OPEN.
 - 8.07 NEW FIRE RATED ELEVATOR SHAFT DOOR.
 - 8.08 FUTURE FIRE RATED EGRESS DOOR, (REF. PHASE III PACKAGE).
 - 8.09 NEW PLASTER TO MATCH EXISTING.
 - 8.10 GLASS UNIT.
 - 8.11 NEW FIRE RATED DOOR AND FRAME.
 - 8.12 1 HR. FIRE RATED WALL ASSEMBLY.
 - 8.13 1 HR. FIRE RATED CEILING ASSEMBLY.
- DIVISION 09 FINISHES**
- 9.01 PAINT EXISTING STEEL COLUMN.
 - 9.02 PAINT EXISTING STAIR / STEEL STRUCTURE.
 - 9.03 PAINT EXISTING ELEVATOR STRUCTURE.
 - 9.04 RE-PLASTER WINDOW SILL AND BRICK LEDGES, ASSUME ALL WINDOWS BEING REPLACED TO RECEIVE NEW PLASTER SILL. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 - 9.05 NEW MORTAR CAP W/ ELASTOMERIC COATING.
 - 9.06 PROVIDE NEW PLASTER AT INTERIOR OF SHELL WALL AS REQ'D. TEXTURE TO MATCH EXISTING ADJACENT.
 - 9.07 PROVIDE COMPREHENSIVE MANUFACTURE 10-YEAR WARRANTY SEALANT AND ELASTOMERIC COATING SYSTEM AT ALL EXTERIOR CEMENT PLASTER.
 - 9.08 PAINT AT EXISTING WOOD WINDOWS AND FRAME, RESEAL PERIMETER OF OPENING.
 - 9.09 PAINT EXISTING FLAGPOLE STRUCTURE.
 - 9.10 PAINT EXISTING DOOR AND FRAME, RESEAL PERIMETER OF OPENING.
 - 9.11 PAINT EXISTING METAL DOWNSPOUT AND SCUPPER.
 - 9.12 CHASE OPENING (REF. MECH.).
 - 9.13 RATED PARTITION AT PREVIOUS WINDOW OPENING.
 - 9.14 PAINT EXISTING PLASTER.
 - 9.15 PAINT EXISTING WOOD.
 - 9.16 PAINTED METAL ROOF SYSTEM.
- DIVISION 14 CONVEYING EQUIPMENT**
- 14.01 PROVIDE COMPLETE REFURBISHMENT OF EXISTING ELEVATOR, FINISHES TO BE ISSUED IN A SEPARATE PACKAGE.
 - 14.02 NEW ELEVATOR SIGNALS AND CALL BUTTON.
- DIVISION 21 FIRE SUPPRESSION**
- 21.01 NEW LOCATION OF EXISTING FIRE SPRINKLER MAIN, (VERIFY LOCATION).
 - 21.02 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN, PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 21.03 EXISTING FIRE SPRINKLER STAND PIPE TO BE RELOCATED AS REQ'D.
- DIVISION 22 PLUMBING**
- 22.01 NEW PLUMBING FIXTURES, FINAL SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 22.02 NEW FLOOR DRAIN.
 - 22.03 NEW WATER FOUNTAIN (PAIR).
- DIVISION 23 HVAC**
- 23.01 NEW HVAC MINI PACKAGE UNIT.
- DIVISION 26 ELECTRICAL**
- 26.01 EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED EMERGENCY LIGHT FIXTURES, FINAL LIGHT FIXTURE SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 26.02 NEW LOCATION OF EXISTING ELECTRICAL PANEL.

PLASARCHITECTS

OWNER
ZACHRY REALTY, LLC
Contact: Rene Garcia
12625 Wetmore Road, Suite 301
San Antonio, TX 78247
T: 210.871.2766
E: rene.garcia@zachrycorp.com

STRUCTURAL ENGINEER
LUNDY & FRANK ENGINEERING, INC.
Contact: Shawn Franke

M.E.P. ENGINEER
R.G.M. ENGINEERING
Contact: Roger Mendez
700 N. St. Mary's, Suite 1225
San Antonio, TX 78205
T: 210.299.4522
E: roger@rgmengeering.net

SEAL



NO.	DATE	ISSUANCE
1	November 21, 2014	PERMIT SET
2	December 18, 2014	BID SET

PROJECT
UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE
PHASE II - BASE SHELL PACKAGE
122 HEIMAN ST
SAN ANTONIO, TX 78205

SHEET NAME
EXTERIOR ELEVATIONS

