

HISTORIC AND DESIGN REVIEW COMMISSION

November 07, 2018

HDRC CASE NO: 2018-496
ADDRESS: 122 HEIMAN
LEGAL DESCRIPTION: NCB 679 BLK 1 LOT 38 STAYBRIDGE HOTEL
ZONING: D, HE
CITY COUNCIL DIST.: 2
DISTRICT: St. Paul Square Historic District
LANDMARK: Heimann Bldg / Southern Pacific
APPLICANT: Richard Hope/RC Hope Group, LLC
OWNER: East Commerce Realy, LLC
TYPE OF WORK: Construction of an exterior egress stair, fenestration modifications
APPLICATION RECEIVED: September 19, 2018
60-DAY REVIEW: November 18, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct an exterior stair on the west façade from the third story to the ground level. This addition will require the modification of an existing window opening into a door opening with a transom window.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

2. Massing and Form of Non-Residential and Mixed-Use Additions

A. GENERAL

- i. Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact on the original structure from the public right of way. An addition to the front of a building is inappropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.
- iv. Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- v. Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

FINDINGS:

- a. The historic structure at 122 Heiman is commonly known as the Heiman Building, is located within the St. Paul Square Historic District and is found on the 1912 Sanborn Map, listed as the Imperial Hotel. The Historic and Design Review Commission issued a Certificate of Appropriateness at the November 19, 2018, Historic and Design Review Commission hearing for repair to the structure's façade, roofing, window repair and replacement and a rear addition. At this time, the applicant has proposed a staircase addition to the west façade, above an existing staircase.
- b. **STAIRCASE ADDITION** – On the west façade, the applicant has proposed to install a staircase for egress that will lead from an existing third floor window opening to the street level below. The installation of this staircase would also require the removal of an existing window and the installation of a door. The applicant has noted that the door that will be installed is a door that is original to the building. The applicant has also noted that the existing opening will not be modified and that the transom window detail found on the front façade will be replication in this opening. Generally, staff finds this approach appropriate.
- c. **STAIRCASE ADDITION** – The applicant has proposed for the staircase to be approximately 5 ½" removed from

the historic structure and be supported by brackets that are anchored into the historic structure. Staff finds the proposed distance away from the historic structure appropriate; however, staff finds that the applicant should revise the proposed staircase to feature a structural system that does not require penetrations into the historic façade.

RECOMMENDATION:

Staff recommends approval based on findings a through c with the stipulation that the applicant revise the proposed staircase to feature a structural system that does not require penetrations into the historic façade.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Oct 03, 2018

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122 Heiman St



123
NORTH MAIN

241

261

G. H. & S. A. R. R. SOUTHERN PACIFIC SUNSET ROUTE PASSENGER DEPOT

WELLS-FARGO & CO EXPRESS

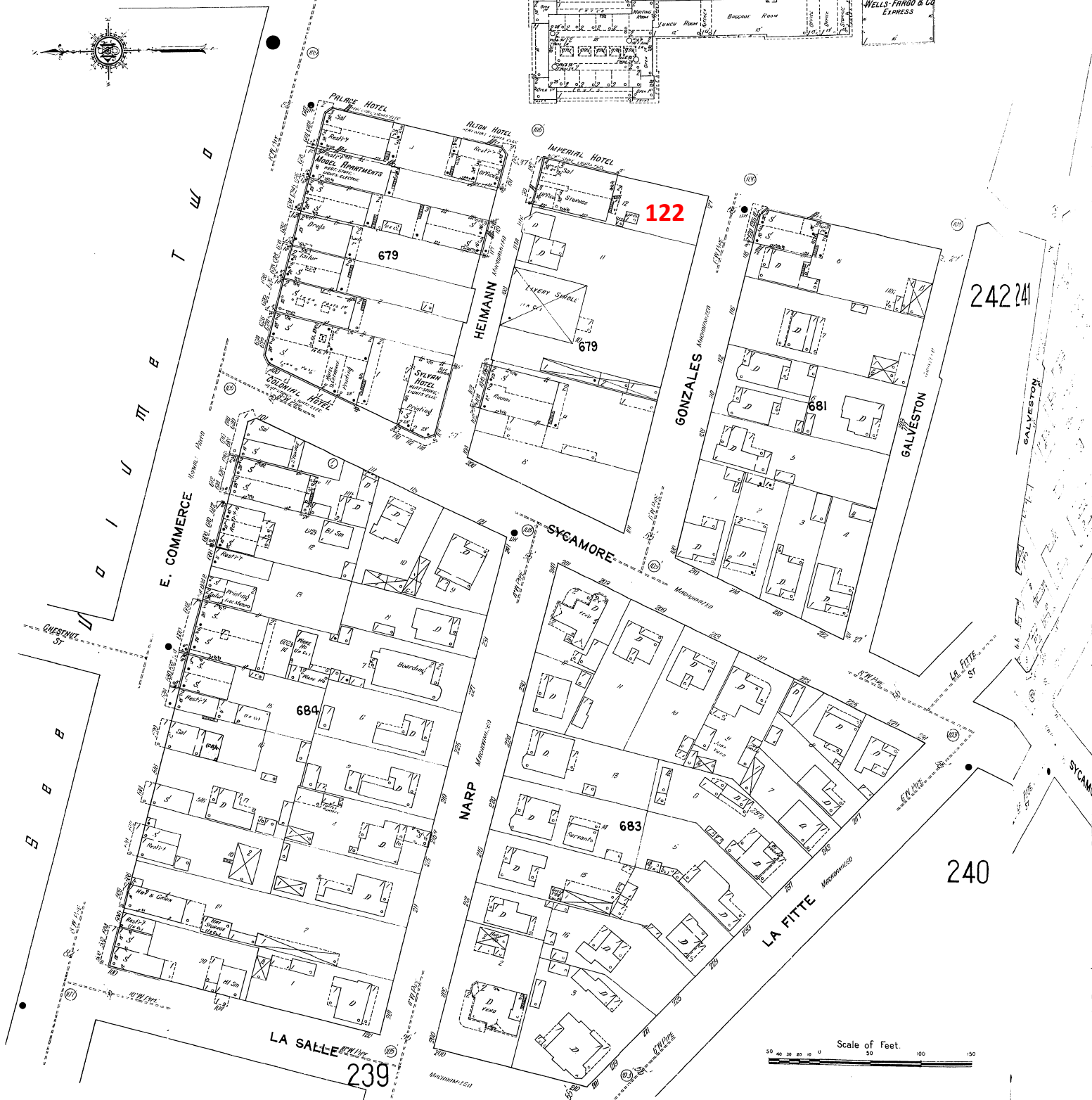
122

242 241

240

239

Scale of Feet
0 50 100 150



EXTERIOR STAIRS

UNIVERSITY OF HOUSTON

CONRAD N. HILTON COLLEGE

PHASE II - SHELL RENOVATION PACKAGE

122 Heiman St.
San Antonio, TX 78205

Bid Issuance Set
December 18, 2014



DOUGLAS ARCHITECTS

PROJECT TEAM

Architect:

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Owner:

Zachry Realty, LLC

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Structural Engineer:

Lundy & Franke Engineering, Inc.

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MEP Engineer:

RGM Engineering

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DRAWING INDEX

Cover Sheet

ARCHITECTURAL

- A0.01 General Information
- A0.11 Code Analysis & Life Safety Plan
- AD1.01 Demolition Photos & Site Plan
- AD2.01 Demolition Photos & Roof Plan
- AD3.01 Exterior Demolition Elevations
- AD3.02 Exterior Demolition Photos
- AD3.03 Exterior Demolition Photos
- A1.01 Site Plan & Details
- A2.01 Shell Floor Plans Level 1, Level 2, & Level 3
- A2.11 Shell Reflected Ceiling Plans Level 1, Level 2, & Level 3
- A2.21 Roof Plan
- A2.22 Roof Details
- A3.01 Exterior Elevations
- A3.02 Exterior South Stair / Elevator Elevations
- A4.01 Transition Details, Door Types, & Schedules
- A4.02 Partition Types
- A4.03 Window Types
- A6.01 Enlarged Restroom Plans & Elevations
- A6.02 South Lobby Enlarged Plans & Elevations
- A8.01 Storefront, Insulated, & Alternate Metal Panel Details
- A8.02 Insulated Metal Panel Details
- A8.03 Alternate Metal Panel Details
- A8.04 North Balcony Section & Details
- A8.05 Enlarged Stair Plans, Sections, & Details

STRUCTURAL

- S1.01 Notes, Sections and Detail
- S1.02 Special Inspection Notes
- S1.03 Special Inspection Notes
- S2.01 Foundation & 2nd Fl. Framing Plan
- S2.02 3rd Floor & Roof Framing Plan
- S3.01 Sections & Detail
- S3.02 Notes, Sections, & Details

MECHANICAL

- M1.00 Mechanical Symbols and Abbreviations
- M1.01 Mechanical Floor Plans
1st & 2nd Floor
- M1.02 Mechanical Floor Plans
3rd Floor & Roof Plan
- M2.01 Mechanical Details
- M3.01 Mechanical Specifications
- M4.01 Mechanical Specifications

ELECTRICAL

- DE1.01 Demolition Electrical Floor Plan
- E1.00 Electrical Symbols and Abbreviations
- E1.01 Electrical Power Floor Plan
- E2.01 Electrical One Line Riser Diagram
- E3.01 Electrical Specifications

PLUMBING

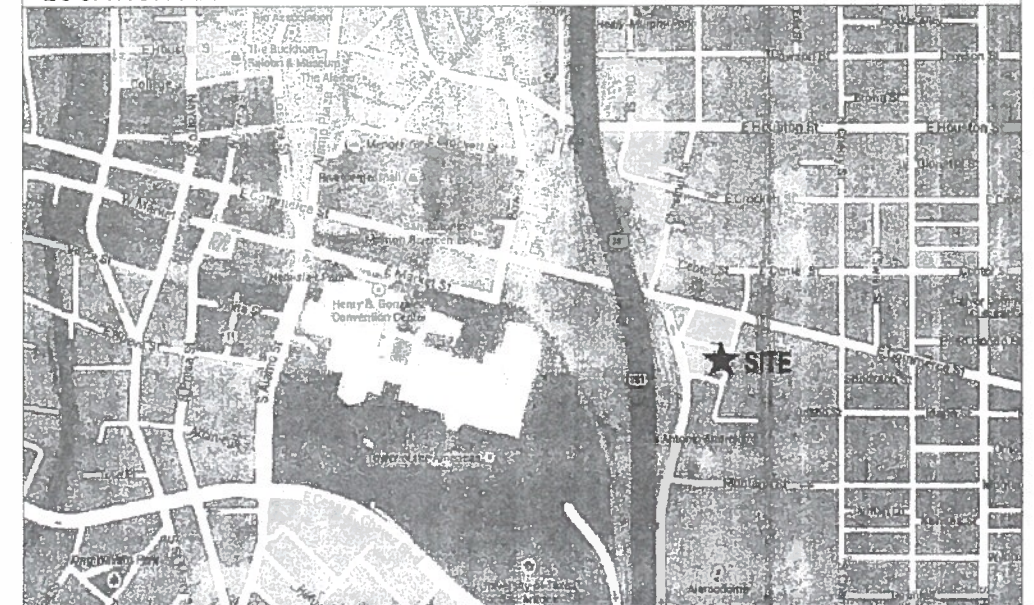
- DP1.01 Demolition Plumbing Floor Plan
- P1.00 Plumbing Symbols and Abbreviations
- P1.01 Plumbing Floor Plan First Floor
- P1.02 Plumbing Floor Plan Second Floor
- P1.03 Plumbing Floor Plan Third Floor
- P2.01 Plumbing Piping Riser Diagrams
- P3.01 Plumbing Schedules and Details
- P4.01 Plumbing Specifications
- P4.02 Plumbing Specifications



VICINITY MAP



LOCATION MAP



CONSTRUCTION DOCUMENT ORGANIZATION

This set of CONSTRUCTION DOCUMENTS is presented in two parts - a set of technical SPECIFICATIONS and a set of DRAWINGS on 24" x 36" sheets.

1. SPECIFICATIONS

Specifications are organized according to the 16 Divisions of the UNIFORM CONSTRUCTION INDEX as follows:

Division 1	General Requirements
Division 2	Existing Conditions
Division 3	Concrete
Division 4	Masonry
Division 5	Metals
Division 6	Wood, Plastics, & Composites
Division 7	Thermal & Moisture Protection
Division 8	Openings
Division 9	Finishes
Division 10	Specialties
Division 11	Equipment
Division 12	Furnishings
Division 13	Special Construction
Division 14	Conveying Systems
Division 21	Fire Suppression
Division 22	Plumbing
Division 23	Heating, Ventilation, & Air Conditioning
Division 25	Integrated Automation
Division 26	Electrical
Division 27	Communications
Division 28	Electronic, Safety, & Security
Division 31	Earthwork
Division 32	Exterior Improvements
Division 33	Utilities
Division 34	Transportation
Division 35	Waterways and Marine Construction
Division 40	Process Integration
Division 41	Material Processing and Handling Equipment
Division 42	Process Heating, Cooling, & Drying Equipment
Division 43	Process Gas & Liquid Handling, Purification, & Storage Equipment
Division 44	Pollution Control Equipment
Division 45	Industry-Specific Manufacturing Equipment
Division 46	Water & Wastewater Equipment
Division 48	Electrical Power Generation

2. DRAWINGS

DRAWINGS are organized according to disciplines, with each discipline describing a general aspect of the construction. Disciplines are arranged as follows:

A - ARCHITECTURAL

Work required to produce site improvements and the basic building envelope and finishes, including: site plan, floor plan(s), roof plan(s), exterior elevations, building sections, wall sections, stair details, exterior enclosure details, interior floor plan(s), enlarged plans, interior elevations, interior sections, interior details, cabinets, millwork, equipment details, ceiling and roof finishes.

M - MECHANICAL

Work related to heating, ventilating, cooling and plumbing systems.

E - ELECTRICAL

Work related to the electrical systems.

P - PLUMBING

Work related to the plumbing systems.

3. SHEET NUMBERING

A8.02

Each sheet of drawings is numbered in the lower right hand corner. Sheets are numbered sequentially.

4. DRAWING NUMBERING



Each drawing is numbered preceding the drawing title.

5. SYMBOLS



This symbol represents the direction of plan north.

SECTION # 0/A/0

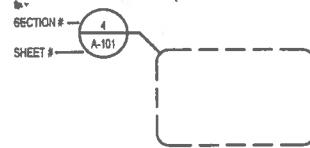
SHEET #

This symbol is a key to a building section taken along the straight line of the symbol. The arrow points in the direction of the view for the section. The number is a reference to the section drawing.

SECTION # 1

SHEET # A1.01

This symbol is a key to a wall section or section detail taken along the straight line of the symbol. The arrow points in the direction of the view for the section. The number is a reference to the section drawing.

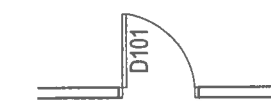


This symbol is a key to a detail drawing of the area within the circle. The number is a reference to the detail drawing.

SECTION # 1/A1.01

SHEET #

This symbol is a key to an elevation drawing. The arrow points in the direction of the view for the elevation. The number is a reference to the elevation drawing.



This symbol is a key to the door schedule. All doors are keyed with a letter prefix followed by door number.

1 1.2

This symbol is a key for a column grid. Square column grid symbols are used to signify end panels for concrete tilt-wall construction.

6. KEYNOTES

0.00

A system of KEY NOTES containing written description and notation is used for all architectural drawings. KEY NOTES are located in a column along the right side of each sheet. Each note is numbered and keyed to a corresponding number on the appropriate drawing.

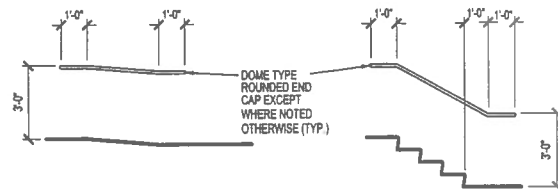
7. PARTITION TYPE



A system of identifying different construction types of partitions. Symbol contains a number and letter which is indicated on floor plans and the corresponding partition type is described as section detail in the partition type sheet.

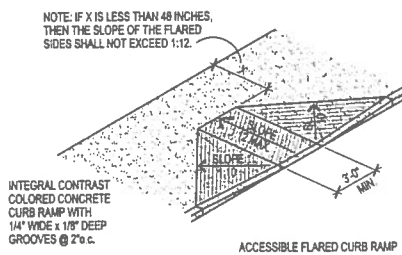
8. DIMENSIONS

All plan dimensions are to the face of wall finish or face of masonry unless noted otherwise. All vertical dimensions are nominal and assume a level finish floor condition. Run all horizontal reversals level. Field verify exact vertical dimension.



RAMP HANDRAILS

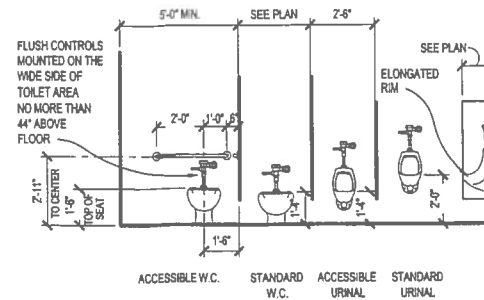
STAIR HANDRAILS



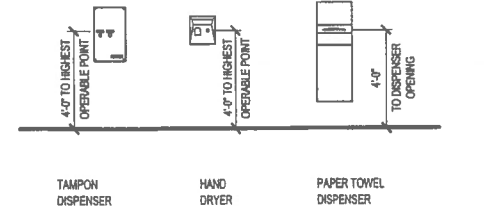
ACCESSIBLE FLARED CURB RAMP

ACCESSIBILITY STANDARDS

ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE TEXAS ACCESSIBILITY STANDARDS (TAS) OF THE ARCHITECTURAL BARRIERS ACT, ARTICLE 9102, TEXAS CIVIL STATUTES EFFECTIVE MARCH 5, 2012, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:



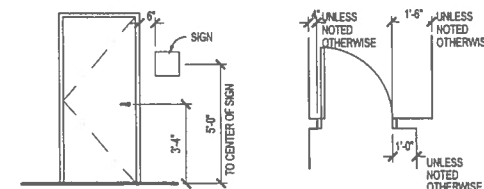
ACCESSIBLE W.C. STANDARD W.C. ACCESSIBLE URINAL STANDARD URINAL



TAMPER DISPENSER

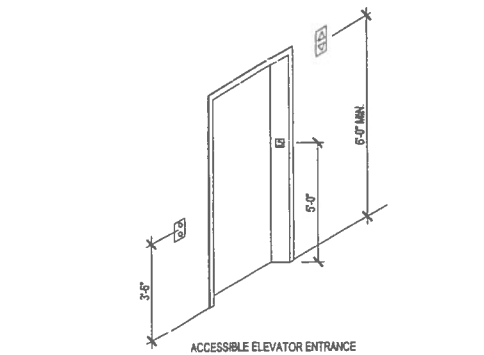
HAND DRYER

PAPER TOWEL DISPENSER



ACCESSIBLE DOOR SIGN

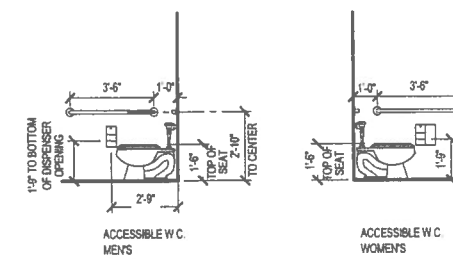
MINIMUM DOOR CLEARANCES



ACCESSIBLE ELEVATOR ENTRANCE

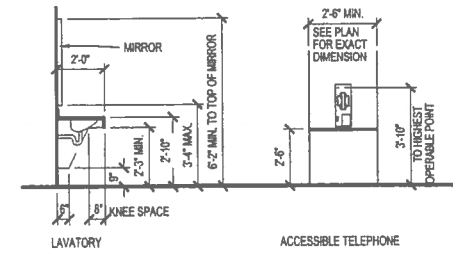
ACCESSIBILITY STANDARDS GENERAL NOTES

- ALL EXPOSED PIPES AND SURFACES MUST BE INSULATED
- ALL DOOR HARDWARE AND LAVATORY FAUCETS MUST BE LEVERS / NO ROUND KNOBS
- ALL HANDRAILS, GRAB BARS, AND TUB AND SHOWER SEATS MUST HOLD 250 LBS
- ALL DOOR CLOSERS WILL BE ADJUSTED TO A MIN. OF 3 SECONDS
- DOOR OPENING FORCE FOR INTERIOR DOORS WILL BE ADJUSTED TO 5 LBS MAX.



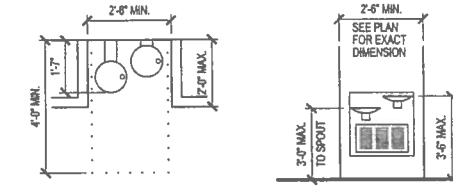
ACCESSIBLE W.C. MEN'S

ACCESSIBLE W.C. WOMEN'S



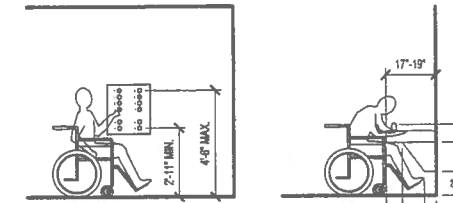
LAVATORY

ACCESSIBLE TELEPHONE



ACCESSIBLE DRINKING FOUNTAIN

ACCESSIBLE DRINKING FOUNTAIN



ACCESSIBLE CAR CONTROL HEIGHT

ACCESSIBLE SPOUT HEIGHT AND KNEE CLEARANCE FOR DRINKING FOUNTAIN

GENERAL NOTES

- VERIFY AND DOCUMENT ALL EXISTING CONSTRUCTION BEGINS. NOTIFY ARCHITECT OF ANY VARIATIONS.
- KEEP PREMISES AND SURROUNDINGS FREE OF OBSTRUCTIONS UNDER THE CONTRACT. REMOVE FROM AND ABOUT MATERIALS, RUBBISH, THE CONTRACTOR'S EQUIPMENT, MACHINERY, AND SUPPLIES.
- VERIFY LOCATION OF ALL STRUCTURAL CUTTING OR CORING.
- DO NOT SCALE DRAWINGS. WRITE ALL DIMENSIONS ON THE CONSTRUCTION PLAN TAKES PRECEDENCE OVER DIMENSIONS ON THE DRAWINGS. MAINTAINED AND SHALL ALLOW FOR FINISHES.
- PLUS OR MINUS DIMENSIONS SHALL BE WITHIN TOLERANCES WITHOUT APPROVAL BY ARCHITECT.
- WALL ANGLES ARE EITHER 90 DEGREES OR NOTED OTHERWISE.
- SHOP DRAWINGS - PRIOR TO FABRICATION, CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- SUBMITTALS - PRIOR TO FABRICATION, CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- PROJECT REQUIREMENTS - CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- PROCEDURES FOR THE CONSTRUCTION OF THE PROJECT SHALL BE IN A WRITTEN FORMAT. CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- FIRE PROTECTION - CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- PROTECT EXISTING SITE TREES DURING CONSTRUCTION. CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- REFER TO STRUCTURAL FOR REVISIONS. CONTRACTOR TO PROVIDE TO ARCHITECT FOR REVIEW AND APPROVAL.
- ALL EXPOSED END-GRAIN CUTS TO BE PROTECTED.
- ALL INTERIOR FINISHES TO BE ISSUED.

DOUGLAS ARCHITECTS

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Project Manager: Rafael Barajas

OWNER

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E rene.garcia@zachrycorp.com

STRUCTURAL ENGINEER

LUNDY & FRANKE ENGINEERING, INC.

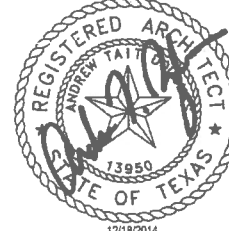
Contact: Shawn Franke
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M.E.P. ENGINEER

R.G.M. ENGINEERING

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E roger@rgmengeering.net

SEAL



NO. DATE ISSUANCE

1 November 21, 2014 PERMIT SET

2 December 18, 2014 BID SET

PROJECT

UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE
PHASE II - BASE SHELL PACKAGE

122 HEIMAN ST.
SAN ANTONIO, TX 78205

PROJECT STATUS

Bid Issuance Set

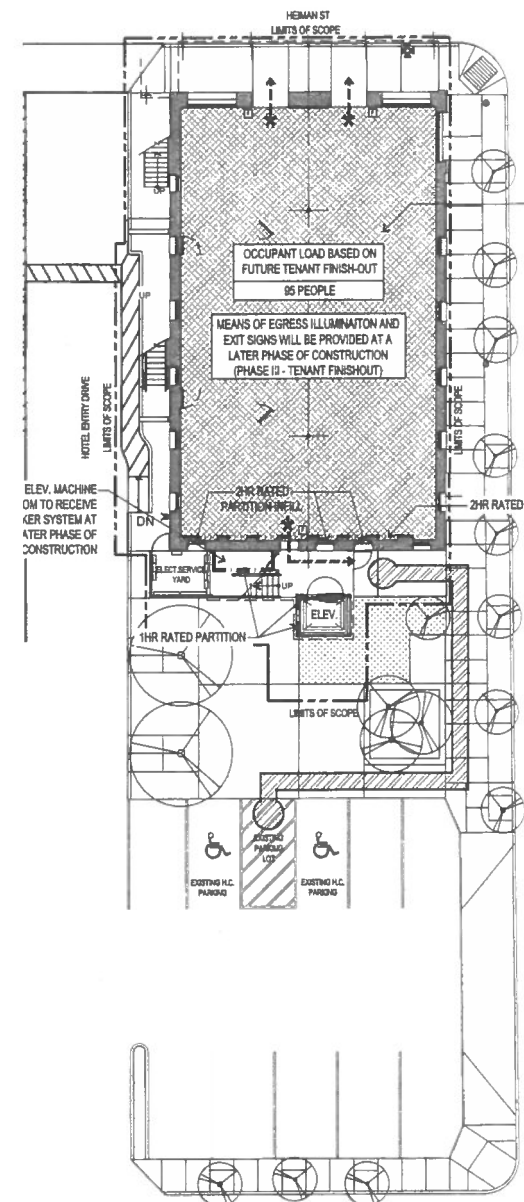
December 18, 2014

SHEET NAME

GENERAL INFORMATION

SHEET NUMBER

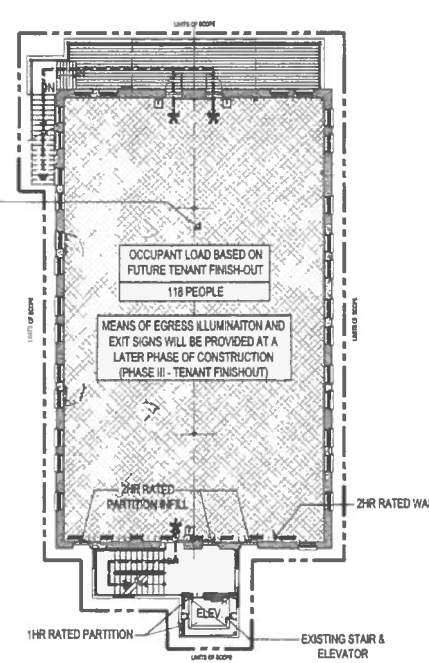
AC



SITE & FIRST FLOOR PLAN

SCALE: 1/16"=1'-0"

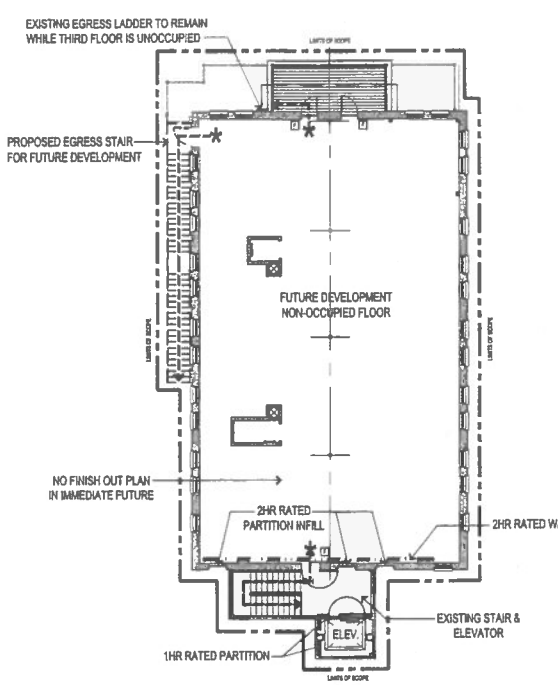
LEVEL 1 & 2 TENANT FINISH OUT TO BE PROVIDED UNDER SEPARATE PERMIT PACKAGE.



2 SECOND FLOOR PLAN

SCALE: 1/16"=1'-0"

OCCUPANCY LOAD CALCULATION SUMMARY (BASED ON FUTURE TENANT FINISH-OUT)				
NAME	AREA (SF)	OCCUPANT LOAD FACTOR	NET OR GROSS SF	CALCULATED OCCUPANT LOAD
FIRST FLOOR				
CLASSROOM	0	00	NSF	42
BREAK ROOM	0	00	NSF	17
OFFICE SUITE	0	00	NSF	5
CONFERENCE ROOM	0	00	NSF	21
RECEPTION LOBBY	0	00	NSF	2
STORAGE 1	0	00	NSF	1
STORAGE 2	0	00	NSF	1
CORRIDOR	0	00	NSF	5
VESTIBULE	0	00	NSF	1
				95 TOTAL OCCUPANTS
SECOND FLOOR				
CLASSROOM	0	00	NSF	44
OFFICE SUITE 1	0	00	NSF	3
OFFICE SUITE 2	0	00	NSF	3
READING ROOM	0	00	NSF	5
LOUNGE	0	00	NSF	56
CORRIDOR	0	00	NSF	4
VESTIBULE	0	00	NSF	1
STORAGE 1	0	00	NSF	1
STORAGE 2	0	00	NSF	1
				118 TOTAL OCCUPANTS

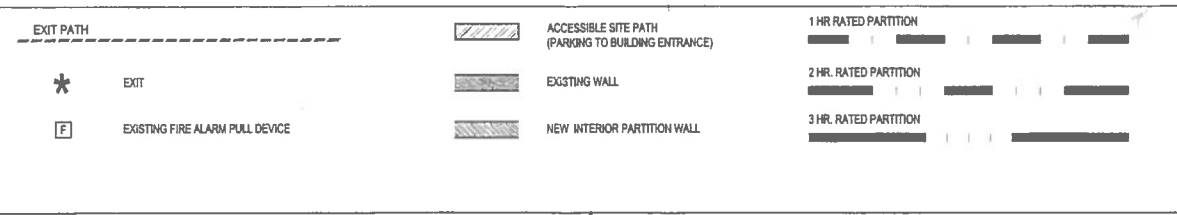


3 THIRD FLOOR PLAN

SCALE: 1/16"=1'-0"

PLUMBING CALCULATIONS (BASED ON FUTURE TENANT FINISH-OUT)			
GENDER	OCCUPANT LOAD	FACTOR	CALCULATED COUNT
FIRST FLOOR			
MEN	48	1/75	1
WOMEN	48	1/75	1
FIRST FLOOR			
MEN	48	1/200	1
WOMEN	48	1/200	1
SECOND FLOOR			
MEN	59	1/200	1
WOMEN	59	1/200	1
SECOND FLOOR			
MEN	59	1/200	1
WOMEN	59	1/200	1
THIRD FLOOR			
N/A - NON-OCCUPIED FLOOR			
TOTAL PLUMBING FIXTURES			
GENDER	REQUIRED	PROVIDED	
MEN	2 WC	2 WC / 4 URINALS	
WOMEN	2 WC	8 WC	
MEN	2 LAVS	4 LAVS	
WOMEN	2 LAVS	4 LAVS	

LEGEND



PROJECT: UNIVERSITY OF HOUSTON - HOSPITALITY COLLEGE
PROJECT LOCATION: 122 HEIMAN ST, SAN ANTONIO, TX 78205
SCOPE OF WORK: INTERIOR RENOVATION OF FIRST AND SECOND FLOORS, THIRD FLOOR PLUMBING, EXTERIOR SHELL RESTORATION, AND SOUTH STAIR & ELEVATOR ENCLOSURE.

BASIC BUILDING INFORMATION

- The building was constructed in 1910. (Major renovation in the mid 1980's)
- The building is a three story three-story historic structure consisting of load bearing masonry exterior walls with an interior steel frame.
- The building is of type III - B construction.
- The building is equipped with an automatic sprinkler system.
- The building is equipped with an automatic alarm system.

APPLICABLE CODES

- 2012 International Building Code with San Antonio Amendments
- 2012 International Existing Building Code with San Antonio Amendments
- 2012 International Mechanical Code with San Antonio Amendments
- 2012 International Plumbing Code with San Antonio Amendments
- 2012 International Fuel Gas Code with San Antonio Amendments
- 2012 International Fire Code with San Antonio Amendments
- 2009 International Energy Conservation Code
- 2011 National Electrical Code with San Antonio Amendments

CODE SUMMARY

NOTE: DUE TO THE HISTORIC ASSIGNATION OF THIS BUILDING THE DRAWINGS ARE SUBMITTED FOR REVIEW UNDER SECTION 12 OF IEBC 2012 AND SECTION 1203.12 OF THE IEBC 2012.

A. <u>OCCUPANCY REQUIREMENTS</u>		BUSINESS (Secondary Educ.) GROUP B (Section 304.1)
1. BUILDING USE		
2. BUILDING OCCUPANCY	Description of use "Educational occupancies for students above 12th grade"	
3. BUILDING AREAS / OCCUPANT LOAD	REFER TO ADJACENT OCCUPANT LOAD CALCULATION TABLE.	
4. AUTOMATIC SPRINKLER SYSTEM		YES
5. FIRE ALARM SYSTEM		YES
6. STANDPIPE SYSTEM		YES
7. STAIR PRESSURIZATION		NONE
8. OCCUPANCY SEPARATION		NONE REQUIRED

B. CONSTRUCTION REQUIREMENTS

USING THE PRESCRIPTIVE COMPLIANCE METHOD, LEVEL 3 ALTERATIONS, AND HISTORIC BUILDING IEBC CHAPTER 12 SECTION 1203.1

1. CONSTRUCTION TYPE	TYPE III-B (Table 601)
2. CLASSIFICATION OF WORK	...
3. MAXIMUM ALLOWED HEIGHT (IBC TABLE 503)	55 ft. / 3 stories / 19,000 sf (Section 503)
4. ALLOWABLE HEIGHT INCREASE (W/ SPRINKLER SYSTEM)	1 story / 20 feet (Section 504.2)
5. ALLOWABLE AREA INCREASE (Frontage on 3 sides)	FORMULA ... (507.4, 508.2)
5.a. ALLOWABLE AREA INCREASE (w/ Sprinkler System)	200 % (if 3 stories)

Single use occupancy allows for 3 times the maximum of allowed by floor. (Section 506.4)

6. FIRE-RESISTIVE RATINGS (HISTORIC BUILDING IEBC CHAPTER 12 SECTION 1203.2)

a. STRUCTURAL FRAME	0
b. BEARING WALLS- EXTERIOR	2
c. BEARING WALLS- INTERIOR	0
d. NONBEARING WALLS-EXTERIOR	See Table 602 (shows 1 hr.)
e. NONBEARING WALLS-INTERIOR	0
f. FLOOR CONSTRUCTION	0
g. ROOF CONSTRUCTION	0
h. STAIR ENCLOSURES	1
i. VERTICAL OPENINGS	0

C. EGRESS REQUIREMENTS

1. MAXIMUM FLOOR AREAS PER OCCUPANT:	
FIRST FLOOR TOTAL:	95 PEOPLE
SECOND FLOOR TOTAL:	118 PEOPLE
THIRD FLOOR:	N/A NOT OCCUPIED FLOOR (NOT IN SCOPE OF WORK)
2. EGRESS WIDTH: 0.2 INCHES/OCCUPANT (1005.1)	REQUIRED: 118 X .02 = 24" PROVIDED: 102 (AT 3 EXIT DOORS)
3. STAIR WIDTH: 0.3 INCHES/OCCUPANT (1005.1)	REQUIRED: 118 X 0.3 = 36" PROVIDED: 86" (WIDTH AT 2 STAIRS)
4. MAXIMUM TRAVEL DISTANCE (TABLE 1018.1)	300 FEET W/ SPRINKLER SYSTEM
5. DISTANCE BETWEEN EXITS (1015.2.1)	EXCEPTION 2: THE DIAGONAL: 86' - 0" 86' - 0" / 3 = 28 FEET REQUIRED W/ SPRINKLER SYSTEM 75' - 0" FEET PROVIDED
6. MAXIMUM DEAD END (1018.4)	B = 50 FEET WITH SPRINKLER SYSTEM
7. CORRIDOR FIRE-RESISTANCE RATING (TBL. 1018.1)	A = 0 W/ SPRINKLER SYSTEM
8. MINIMUM NUMBER OF EXITS (1021)	2 EXITS REQUIRED (3 PROVIDED)

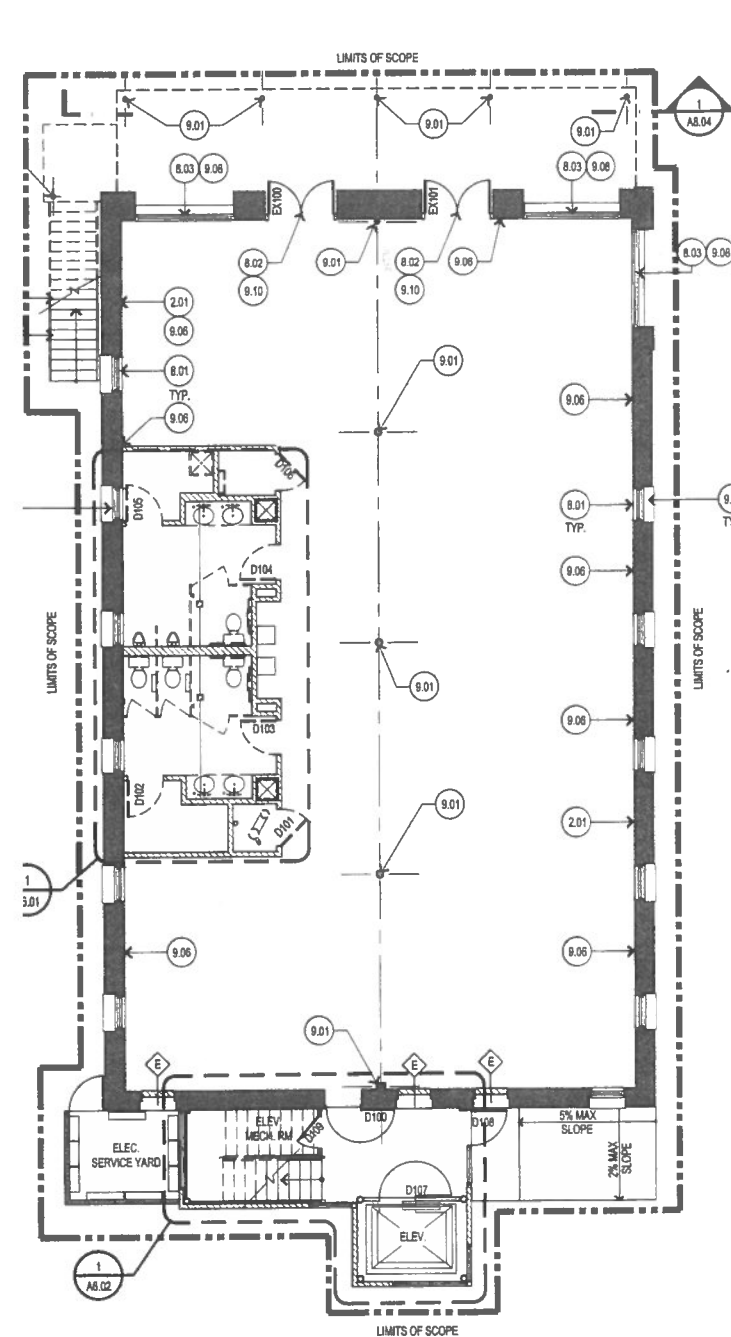
D. PLUMBING FIXTURES COUNT (PER 2009 INTERNATIONAL PLUMBING CODE, TABLE 403.1)

OCCUPANT LOAD OF = 213 PEOPLE (BASED ON SCOPE OF WORK)

- OCCUPANT LOAD FOR MEN: 107
- OCCUPANT LOAD FOR WOMEN: 107

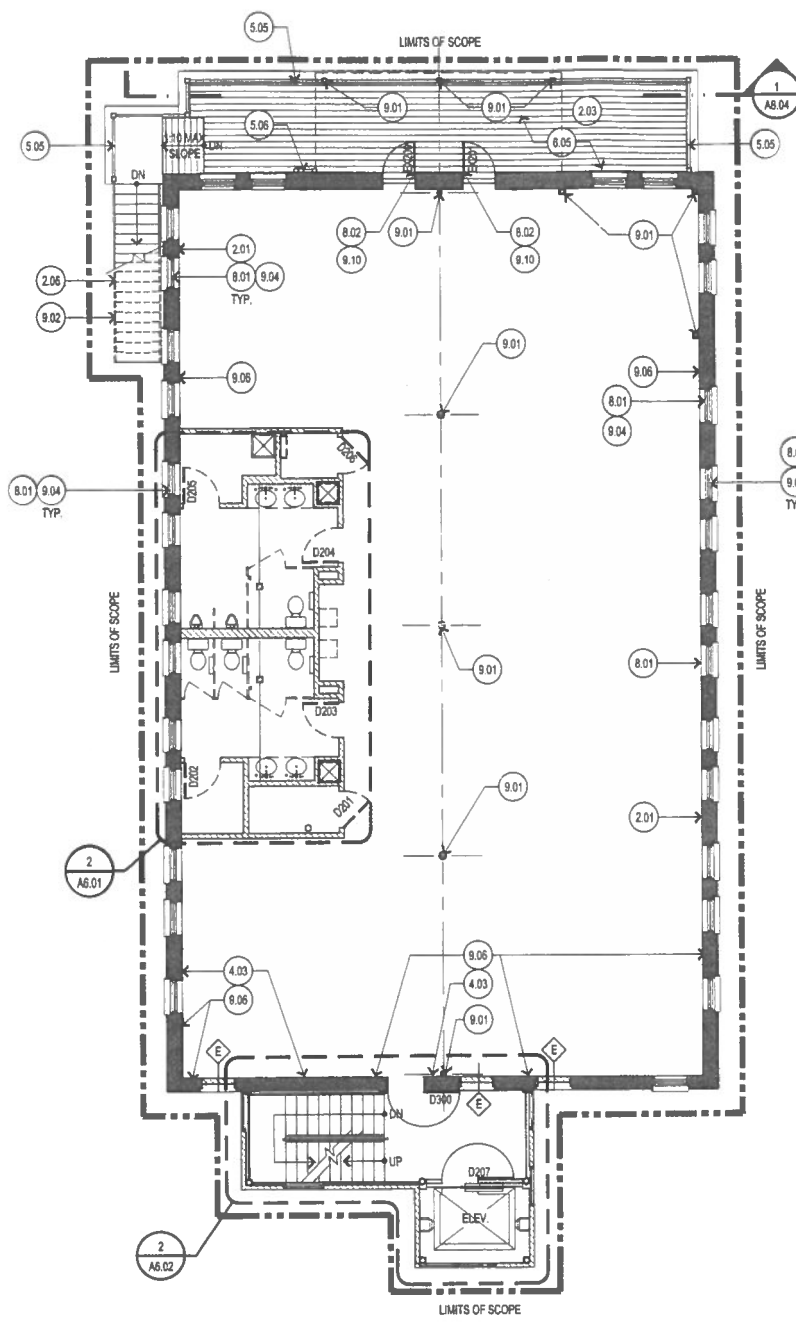
IF TOTAL COUNT OF 213 IS USED, THEN 3 WCs, AND 2 LAVS. IS REQUIRED.

3. MEN'S RESTROOM COUNT		
a. WATER CLOSET	REQUIRED: 2	PROVIDED: 2
b. URINALS	ALLOWED: 67%	PROVIDED: 4
c. LAVATORIES	REQUIRED: 1	PROVIDED: 4
4. WOMEN'S RESTROOM COUNT		
a. WATER CLOSET	REQUIRED: 2	PROVIDED: 6
b. LAVATORIES	REQUIRED: 2	PROVIDED: 4
5. DRINKING FOUNTAINS PER IPC 2009	REQUIRED: 1	PROVIDED: 4
6. SERVICE SINK PER IPC 2009	REQUIRED: 1	PROVIDED: 2



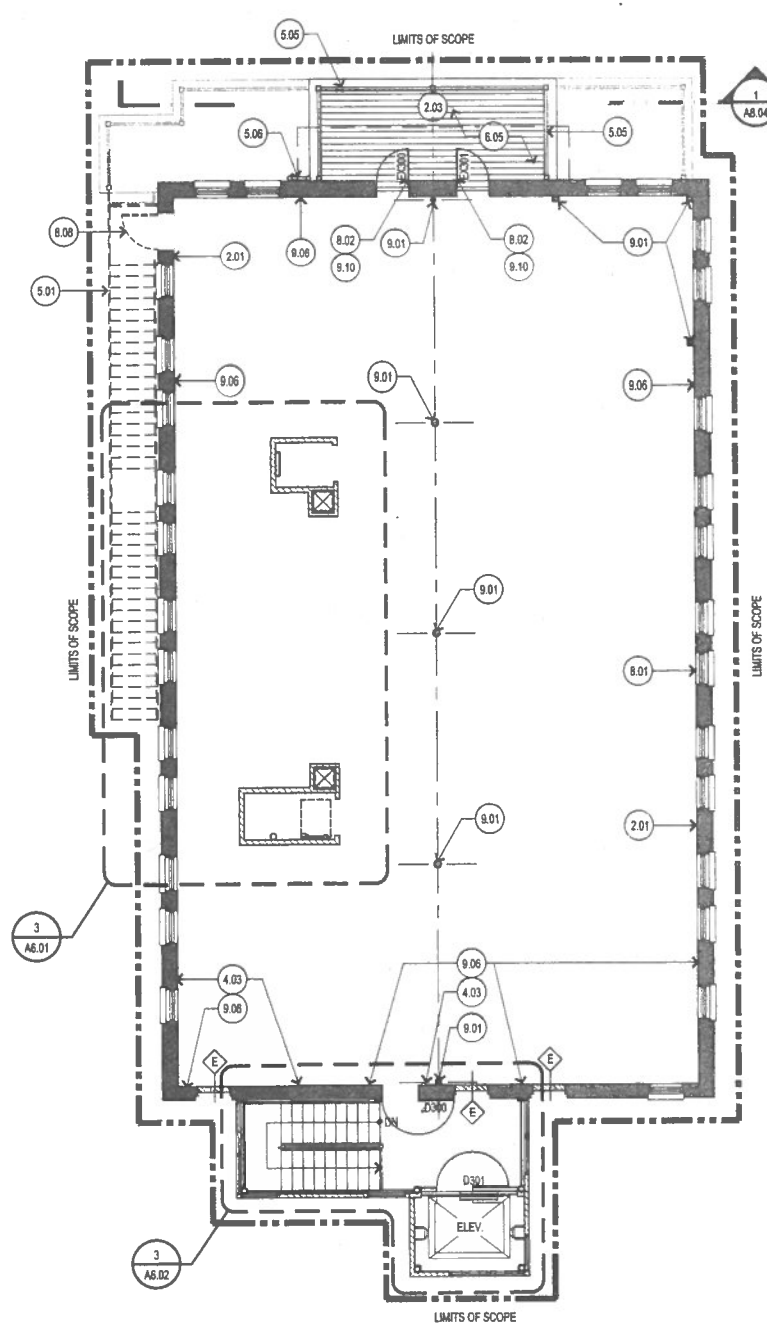
FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



FLOOR PLAN LEGEND

- LIMITS OF SCOPE
- EXISTING WALL TO REMAIN
- NEW PARTITION WALL
- NEW BALCONY DECKING

KEYNOTES

- DIVISION 02 EXISTING CONDITION**
- 2.01 INTERIOR SHELL FINISHES TO REMAIN, INCLUDING ALL BASE, WINDOW & DOOR TRIMS.
 - 2.02 PROVIDE ALLOWANCE FOR NEW LANDSCAPING. REGRADE FOR POSITIVE DRAINAGE.
 - 2.03 PREP EXISTING CONCRETE SLAB AS REQ'D. FOR NEW COMPOSITE DECKING.
 - 2.04 EXISTING PLANTER AND LANDSCAPE TO REMAIN. PROTECT AS REQ'D.
 - 2.05 EXISTING PLANTER TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.06 EXISTING METAL PAN AND CONCRETE SLAB TO REMAIN.
 - 2.07 EXISTING STEEL BEAM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.08 EXISTING METAL DECKING TO REMAIN.
 - 2.09 EXISTING LANDING TO REMAIN.
 - 2.10 NEW ASPHALT W/ PAINTED STRIPES FOR ADA R.O.W.
- DIVISION 03 CONCRETE**
- 3.01 NEW SIDEWALK (REF. 1A1.01).
 - 3.02 NEW CONCRETE SLAB (REF. STRUCTURAL).
 - 3.03 NOT USED
 - 3.04 CLEAN EXISTING CONCRETE STRUCTURE. PROVIDE PENETRATING SEALER.
 - 3.05 NEW FOUNDATION MODIFICATIONS TO CORRECT MISALIGNMENT/MOVEMENT OF EXISTING REAR STAIR/ELEVATOR. (REF. STRUCTURAL)
 - 3.06 COLD FORM METAL FRAMING.
 - 3.07 CONTRACTION JOINT (REF. 4/A1.01)
- DIVISION 04 MASONRY**
- 4.01 CLEAN EXISTING BRICK MASONRY. REPAIR AND RE-POINT. PROVIDE PENETRATING SEALER.
 - 4.02 RE-GROUT EXISTING MORTAR THAT DOES NOT MATCH.
 - 4.03 RESET AND REPAIR ANY DAMAGED / LOOSE INTERIOR SHELL MASONRY.
- DIVISION 05 METALS**
- 5.01 FUTURE EGRESS STAIR.
 - 5.02 NEW 1 1/2" DIA STL HANDRAIL. PAINTED.
 - 5.03 NEW 1 1/2" DIA STL HANDRAIL SUPPORT POST. PAINTED.
 - 5.04 NEW GALVANIZED METAL GUTTER COVER PLATE. MATCH EXISTING.
 - 5.05 PROVIDE NEW TENSION CABLES AT EXISTING GUARDRAIL TO MEET BUILDING CODE.
 - 5.06 EXISTING EGRESS LADDER TO REMAIN WHILE THIRD FLOOR IS UNOCCUPIED. SECURE AND STABILIZE AS REQ'D. PAINTED.
 - 5.07 MODIFIED EXISTING STL GUARDRAIL. PAINTED.
- DIVISION 06 WOOD, PLASTICS AND COMPOSITES**
- 6.01 EXISTING WOOD JOIST STRUCTURE TO REMAIN. PROTECT AS REQ'D.
 - 6.02 PROVIDE NEW WOOD DECKING AS REQ'D. DECKING SIZE AND PROFILE TO MATCH EXISTING. PAINTED
 - 6.03 PROVIDE NEW RAFTER TAILS TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE NEW PAINT.
 - 6.04 NEW WOOD COLUMN TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE PAINT.
 - 6.05 NEW COMPOSITE WOOD DECKING
- DIVISION 07 THERMAL AND MOISTURE PROTECTION**
- 7.01 METAL WALL PANEL
 - 7.02 STYRENE-BUTADIENE-STYRENE MODIFIED BITUMINOUS ROOFING (SBS).
 - 7.03 NEW ROOF HATCH AND ACCESS LADDER. (VERIFY LOCATION)
 - 7.04 NEW "ICE & WATER SHIELD" PEEL & STICK MEMBRANE TO BE ADDED PRIOR TO REINSTALLATION OF SHINGLE ROOFING.
 - 7.05 BITUMINOUS DAMP PROOFING.
 - 7.06 POLYSTYRENE BOARD INSULATION.
 - 7.07 GLASS FIBER BATT INSULATION.
 - 7.08 MINERAL FIBER BATT INSULATION.
 - 7.09 SHEET METAL FLASHING AND TRIM.
 - 7.10 METAL DOWNSPOUT.
 - 7.11 METAL GUTTER.
 - 7.12 FIRESTOPPING.
 - 7.13 JOINT SEALANT
- DIVISION 08 OPENINGS**
- 8.01 NEW ALUM. CLAD WOOD WINDOW.
 - 8.02 EXISTING DOOR TO REMAIN. CLEAN & PREP FOR NEW FINISH & HARDWARE. HARDWARE TO COMPLY WITH ADA & EGRESS REQUIREMENTS.
 - 8.03 EXISTING WINDOW TO REMAIN. CLEAN & PREP FOR NEW FINISH.
 - 8.04 METAL PANEL.
 - 8.05 NEW ALUMINUM - FRAMED STOREFRONT.
 - 8.06 NEW DOOR AS SCHEDULED ON MAGNETIC HOLD OPEN.
 - 8.07 NEW FIRE RATED ELEVATOR SHAFT DOOR.
 - 8.08 FUTURE FIRE RATED EGRESS DOOR. (REF. PHASE III PACKAGE)
 - 8.09 NEW PLASTER TO MATCH EXISTING.
 - 8.10 GLASS UNIT.
 - 8.11 NEW FIRE RATED DOOR AND FRAME.
 - 8.12 1 HR. FIRE RATED WALL ASSEMBLY.
 - 8.13 1 HR. FIRE RATED CEILING ASSEMBLY
- DIVISION 09 FINISHES**
- 9.01 PAINT EXISTING STEEL COLUMN.
 - 9.02 PAINT EXISTING STAIR / STEEL STRUCTURE.
 - 9.03 PAINT EXISTING ELEVATOR STRUCTURE.
 - 9.04 RE-PLASTER WINDOW SILLS AND BRICK LEDGES. ASSUME ALL WINDOWS BEING REPLACED TO RECEIVE NEW PLASTER SILL. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 - 9.05 NEW MORTAR CAP W/ ELASTOMERIC COATING.
 - 9.06 PROVIDE NEW PLASTER AT INTERIOR OF SHELL WALL AS REQ'D. TEXTURE TO MATCH EXISTING ADJACENT.
 - 9.07 PROVIDE COMPREHENSIVE MANUFACTURE 10-YEAR WARRANTY SEALANT AND ELASTOMERIC COATING SYSTEM AT ALL EXTERIOR CEMENT PLASTER.
 - 9.08 PAINT AT EXISTING WOOD WINDOWS AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.09 PAINT EXISTING FLAGPOLE STRUCTURE.
 - 9.10 PAINT EXISTING DOOR AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.11 PAINT EXISTING METAL DOWNSPOUT AND SCUPPER.
 - 9.12 CHASE OPENING (REF. MECH).
 - 9.13 RATED PARTITION AT PREVIOUS WINDOW OPENING.
 - 9.14 PAINT EXISTING PLANTER.
 - 9.15 PAINT EXISTING WOOD.
 - 9.16 PAINTED METAL ROOF SYSTEM.
- DIVISION 14 CONVEYING EQUIPMENT**
- 14.01 PROVIDE COMPLETE REFURBISHMENT OF EXISTING ELEVATOR. FINISHES TO BE ISSUED IN A SEPARATE PACKAGE.
 - 14.02 NEW ELEVATOR SIGNALS AND CALL BUTTON.
- DIVISION 21 FIRE SUPPRESSION**
- 21.01 NEW LOCATION OF EXISTING FIRE SPRINKLER MAIN. (VERIFY LOCATION)
 - 21.02 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 21.03 EXISTING FIRE SPRINKLER STAND PIPE TO BE RELOCATED AS REQ'D.
- DIVISION 22 PLUMBING**
- 22.01 NEW PLUMBING FIXTURES. FINAL SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 22.02 NEW FLOOR DRAIN.
 - 22.03 NEW WATER FOUNTAIN (PAIR).
- DIVISION 23 HVAC**
- 23.01 NEW HVAC UNIT PACKAGE UNIT.
- DIVISION 26 ELECTRICAL**
- 26.01 EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED EMERGENCY LIGHT FIXTURES. FINAL LIGHT FIXTURE SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 26.02 NEW LOCATION OF EXISTING ELECTRICAL PANEL.

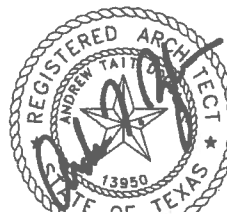
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San Antonio, TX 78205
T: 210.299.4522
E: roger@rgmenengineering.net

SEAL



NO	DATE	ISSUANCE
1	November 21, 2014	PERMIT SET
2	December 18, 2014	BID SET

PROJECT
UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE
PHASE II - BASE SHELL PACKAGE

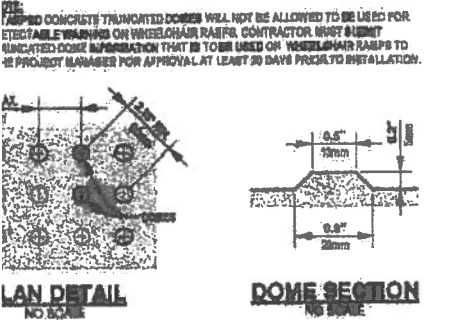
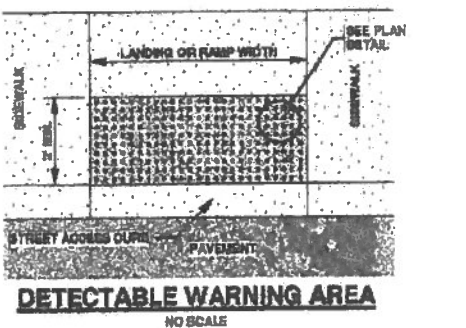
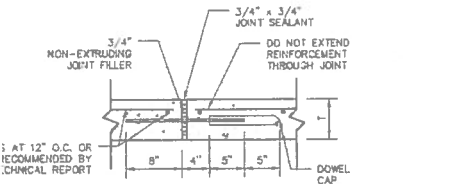
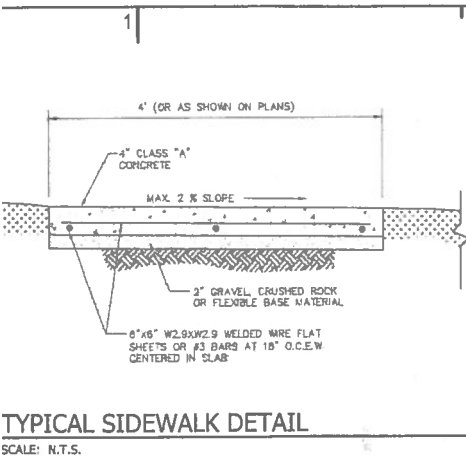
122 HEIMAN ST.
SAN ANTONIO, TX 78205

PROJECT STATUS

SHEET NAME

SHELL FLOOR PLANS
LEVEL 1, LEVEL 2 &
LEVEL 3

SHEET NUMBER

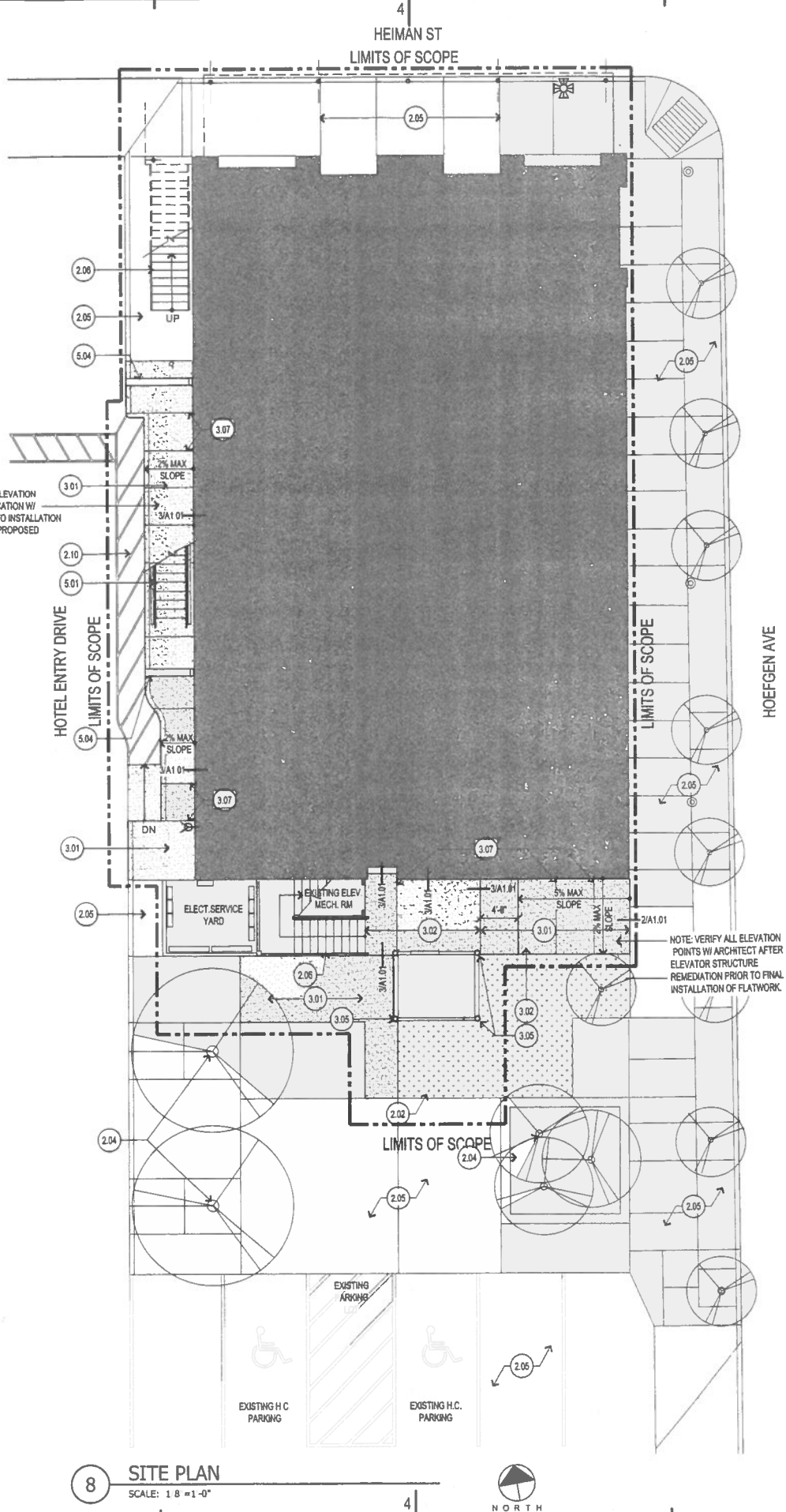
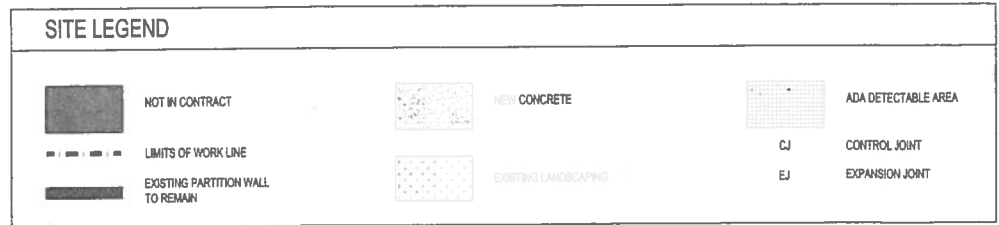


PAVEMENT NOTES:

1. ALL MATERIAL AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF WORK SHALL BE SPECIFICALLY DETAILED IN THE SPECIFICATIONS OR CITY, COUNTY OR TxDOT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. THE CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING UTILITY AND STORM DRAIN SYSTEMS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING TREES, BOLLARDS, FENCES, PAVEMENT, CURBS, OR DRIVEWAYS (NO SEPARATE PAY ITEMS).
4. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND LOCATIONS OF EXISTING ADJUSTERS AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
5. ALL PAVEMENT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
6. ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
7. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.
8. ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.
9. THE CONTRACTOR SHALL SAW CUT EXISTING PAVING, CURB, AND SIDEWALKS TO PROVIDE A SMOOTH TRANSITION. NO JAGGED OR IRREGULAR EDGES WILL BE ALLOWED.

DIMENSIONAL CONTROL NOTES:

1. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, LIMITS OF DIMENSIONS NECESSARY OR CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL PRESERVE ALL CONTROL POINTS, PROPERTY PINS, BENCH MARKS, HUBS OR OTHER MONUMENT POINTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH ANY SUCH POINTS AT THEIR OWN EXPENSE. THE ENGINEER SHALL REMOVE.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL POINTS FOR CONSTRUCTION DRAWINGS.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
6. COORDINATES FOR HORIZONTAL CONTROL POINTS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83(98) DISPLAYED IN SURFACE VALUES. SURFACE ADJUSTMENT FACTOR FOR EACH COUNTY: THE SURFACE ADJUSTMENT FACTOR FOR BEXAR COUNTY IS 1.0017. OTHER COUNTIES WILL HAVE A DIFFERENT FACTOR. CHECK WITH THE SURVEYOR TO OBTAIN THE CORRECT SURFACE ADJUSTMENT FACTOR OR PROJECTS LOCATED OUTSIDE OF BEXAR COUNTY.
7. BENCHMARK ELEVATIONS ARE BASED ON NAVD 88, GEOID 03.
8. ALL DIMENSIONAL CONTROL POINTS OR DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
9. REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.
10. CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.



- KEYNOTES**
- DIVISION 02 EXISTING CONDITION**
- 2.01 INTERIOR SHELL FINISHES TO REMAIN, INCLUDING ALL BASE, WINDOW & DOOR TRIMS.
 - 2.02 PROVIDE ALLOWANCE FOR NEW LANDSCAPING. REGRADE FOR POSITIVE DRAINAGE.
 - 2.03 PREP EXISTING CONCRETE SLAB AS REQ'D. FOR NEW COMPOSITE DECKING.
 - 2.04 EXISTING PLANTER AND LANDSCAPE TO REMAIN. PROTECT AS REQ'D.
 - 2.05 EXISTING FLATWORK TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.06 EXISTING METAL PAN AND CONCRETE STAIR TO REMAIN.
 - 2.07 EXISTING STEEL BEAM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.08 EXISTING METAL DECKING TO REMAIN.
 - 2.09 EXISTING LANDING TO REMAIN.
 - 2.10 NEW ASPHALT W/PAINTED STRIPES FOR ADA R.O.W.
- DIVISION 03 CONCRETE**
- 3.01 NEW SIDEWALK (REF. 11A1.01).
 - 3.02 NEW CONCRETE SLAB (REF. STRUCTURAL).
 - 3.03 NOT USED.
 - 3.04 CLEAN EXISTING CONCRETE STRUCTURE. PROVIDE PENETRATING SEALER.
 - 3.05 NEW FOUNDATION MODIFICATIONS TO CORRECT MISALIGNMENT/MOVEMENT OF EXISTING REAR STAIR/ELEVATOR. (REF. STRUCTURAL).
 - 3.06 COLD FORM METAL FRAMING.
 - 3.07 CONTRACTION JOINT (REF. 41A1.01).
- DIVISION 04 MASONRY**
- 4.01 CLEAN EXISTING BRICK MASONRY, REPAIR AND RE-POINT. PROVIDE PENETRATING SEALER.
 - 4.02 RE-GROUT EXISTING MORTAR THAT DOES NOT MATCH.
 - 4.03 RESET AND REPAIR ANY DAMAGED / LOOSE INTERIOR SHELL MASONRY.
- DIVISION 05 METALS**
- 5.01 FUTURE EGRESS STAIR.
 - 5.02 NEW 1 1/2" DIA. STL. HANDRAIL. PAINTED.
 - 5.03 NEW 1 1/2" DIA. STL. HANDRAIL SUPPORT POST. PAINTED.
 - 5.04 NEW GALVANIZED METAL GUTTER COVER PLATE. MATCH EXISTING.
 - 5.05 PROVIDE NEW TENSION CABLES AT EXISTING GUARDRAIL TO MEET BUILDING CODE.
 - 5.06 EXISTING EGRESS LADDER TO REMAIN WHILE THIRD FLOOR IS UNOCCUPIED. SECURE AND STABILIZE AS REQ'D. PAINTED.
 - 5.07 MODIFIED EXISTING STL. GUARDRAIL. PAINTED.
- DIVISION 06 WOOD, PLASTICS AND COMPOSITES**
- 6.01 EXISTING WOOD JOIST STRUCTURE TO REMAIN. PROTECT AS REQ'D.
 - 6.02 PROVIDE NEW WOOD DECKING AS REQ'D. DECKING SIZE AND PROFILE TO MATCH EXISTING. PAINTED.
 - 6.03 PROVIDE NEW RAFTER TAILS TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE NEW PAINT.
 - 6.04 NEW WOOD COLUMN TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE PAINT.
 - 6.05 NEW COMPOSITE WOOD DECKING.
- DIVISION 07 THERMAL AND MOISTURE PROTECTION**
- 7.01 METAL WALL PANEL.
 - 7.02 STYRENE-BUTADIENE-STYRENE MODIFIED BITUMINOUS ROOFING (SBS).
 - 7.03 NEW ROOF HATCH AND ACCESS LADDER. (VERIFY LOCATION).
 - 7.04 NEW 'ICE & WATER SHIELD' PEEL & STICK MEMBRANE TO BE ADDED PRIOR TO REINSTALLATION OF SHINGLE ROOFING.
 - 7.05 BITUMINOUS DAMP PROOFING.
 - 7.06 POLYSTYRENE BOARD INSULATION.
 - 7.07 GLASS FIBER BATT INSULATION.
 - 7.08 MINERAL FIBER BATT INSULATION.
 - 7.09 SHEET METAL FLASHING AND TRIM.
 - 7.10 METAL DOWNSPOUT.
 - 7.11 METAL GUTTER.
 - 7.12 FIRESTOPPING.
 - 7.13 JOINT SEALANT.
- DIVISION 08 OPENINGS**
- 8.01 NEW ALUM. CLAD WOOD WINDOW.
 - 8.02 EXISTING DOOR TO REMAIN. CLEAN & PREP FOR NEW FINISH & HARDWARE. HARDWARE TO COMPLY WITH ADA & EGRESS REQUIREMENTS.
 - 8.03 EXISTING WINDOW TO REMAIN. CLEAN & PREP FOR NEW FINISH.
 - 8.04 METAL PANEL.
 - 8.05 NEW ALUMINUM - FRAMED STOREFRONT.
 - 8.06 NEW DOOR AS SCHEDULED ON MAGNETIC HOLD OPEN.
 - 8.07 NEW FIRE RATED ELEVATOR SHAFT DOOR.
 - 8.08 FUTURE FIRE RATED EGRESS DOOR. (REF. PHASE III PACKAGE).
 - 8.09 NEW PLASTER TO MATCH EXISTING.
 - 8.10 GLASS UNIT.
 - 8.11 NEW FIRE RATED DOOR AND FRAME.
 - 8.12 1 HR. FIRE RATED WALL ASSEMBLY.
 - 8.13 1 HR. FIRE RATED CEILING ASSEMBLY.
- DIVISION 09 FINISHES**
- 9.01 PAINT EXISTING STEEL COLUMN.
 - 9.02 PAINT EXISTING STAIR / STEEL STRUCTURE.
 - 9.03 PAINT EXISTING ELEVATOR STRUCTURE.
 - 9.04 RE-PLASTER WINDOW SILLS AND BRICK LEDGES. ASSUME ALL WINDOWS BEING REPLACED TO RECEIVE NEW PLASTER SILL. CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 - 9.05 NEW MORTAR CAP W/ ELASTOMERIC COATING.
 - 9.06 PROVIDE NEW PLASTER AT INTERIOR OF SHELL WALL AS REQ'D. TEXTURE TO MATCH EXISTING ADJACENT.
 - 9.07 PROVIDE COMPREHENSIVE MANUFACTURE 10-YEAR WARRANTY SEALANT AND ELASTOMERIC COATING SYSTEM AT ALL EXTERIOR CEMENT PLASTER.
 - 9.08 PAINT AT EXISTING WOOD WINDOWS AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.09 PAINT EXISTING FLAGPOLE STRUCTURE.
 - 9.10 PAINT EXISTING DOOR AND FRAME. RESEAL PERIMETER OF OPENING.
 - 9.11 PAINT EXISTING METAL DOWNSPOUT AND SCUPPER.
 - 9.12 CHASE OPENING (REF. MECH.).
 - 9.13 RATED PARTITION AT PREVIOUS WINDOW OPENING.
 - 9.14 PAINT EXISTING PLANTER.
 - 9.15 PAINT EXISTING WOOD.
 - 9.16 PAINTED METAL ROOF SYSTEM.
- DIVISION 14 CONVEYING EQUIPMENT**
- 14.01 PROVIDE COMPLETE REFURBISHMENT OF EXISTING ELEVATOR. FINISHES TO BE ISSUED IN A SEPARATE PACKAGE.
 - 14.02 NEW ELEVATOR SIGNALS AND CALL BUTTON.
- DIVISION 21 FIRE SUPPRESSION**
- 21.01 NEW LOCATION OF EXISTING FIRE SPRINKLER MAIN. (VERIFY LOCATION).
 - 21.02 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 21.03 EXISTING FIRE SPRINKLER STAND PIPE TO BE RELOCATED AS REQ'D.
- DIVISION 22 PLUMBING**
- 22.01 NEW PLUMBING FIXTURES. FINAL SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 22.02 NEW FLOOR DRAIN.
 - 22.03 NEW WATER FOUNTAIN (PAIR).
- DIVISION 23 HVAC**
- 23.01 NEW HVAC MINI PACKAGE UNIT.
- DIVISION 26 ELECTRICAL**
- 26.01 EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED EMERGENCY LIGHT FIXTURES. FINAL LIGHT FIXTURE SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 26.02 NEW LOCATION OF EXISTING ELECTRICAL PANEL.

LASARCHITECTS

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REGISTERED ARCHITECT
ANDREW TAYLOR
13950
STATE OF TEXAS

NO	DATE	SUANCE
1	November 21, 2014	PERMIT SET
2	December 18, 2014	BID SET

PROJECT
UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE
PHASE II - BASE SHELL PACKAGE

122 HEIMAN ST
SAN ANTONIO, TX 78205

PROJECT STATUS

SHEET NAME
SITE PLAN & DETAILS

SHEET NUMBER

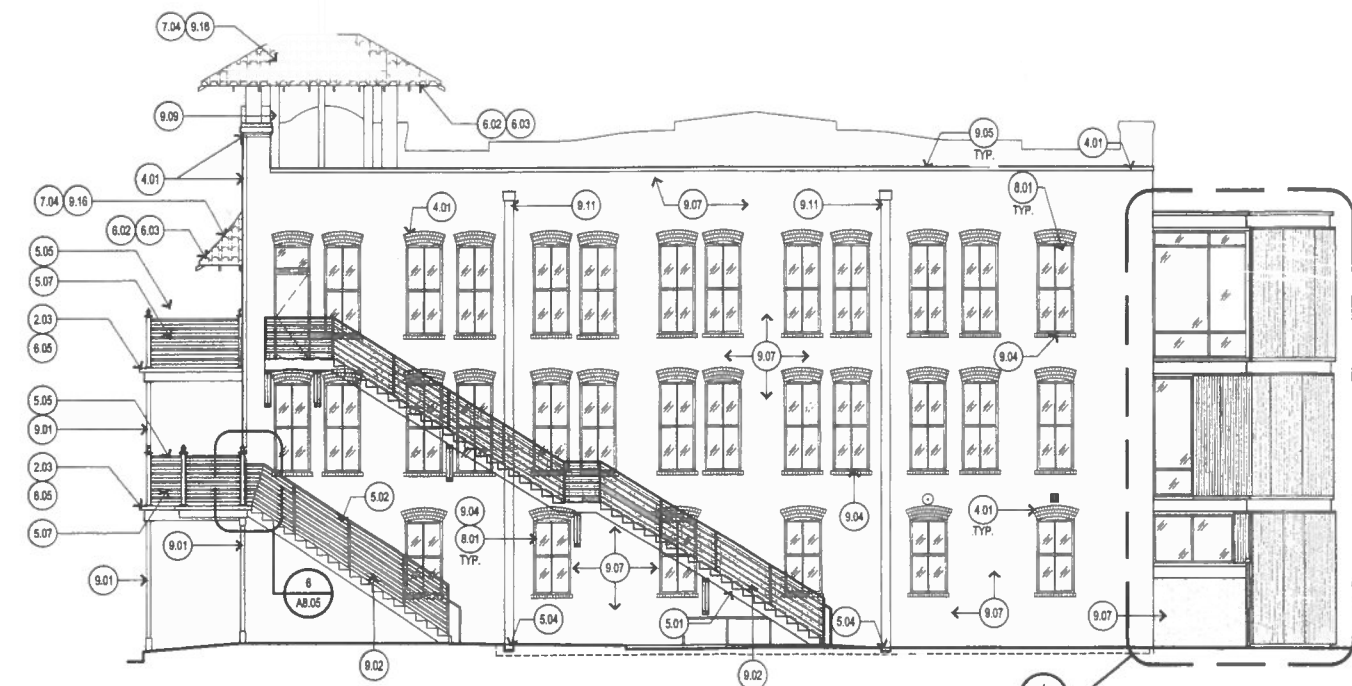
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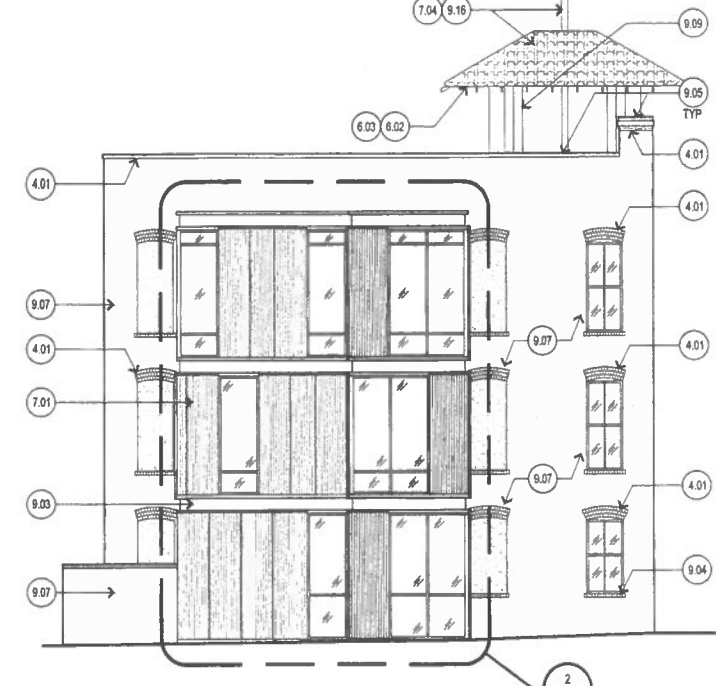
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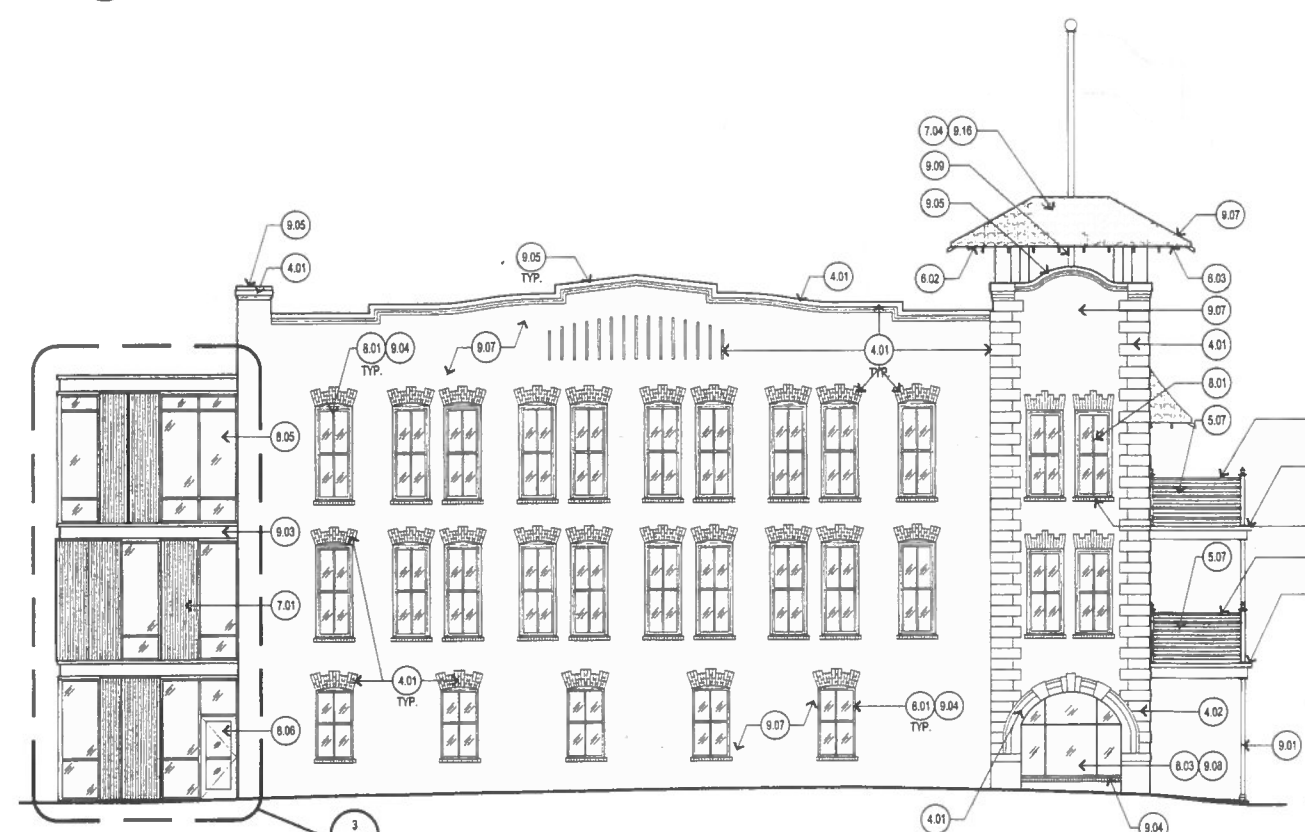
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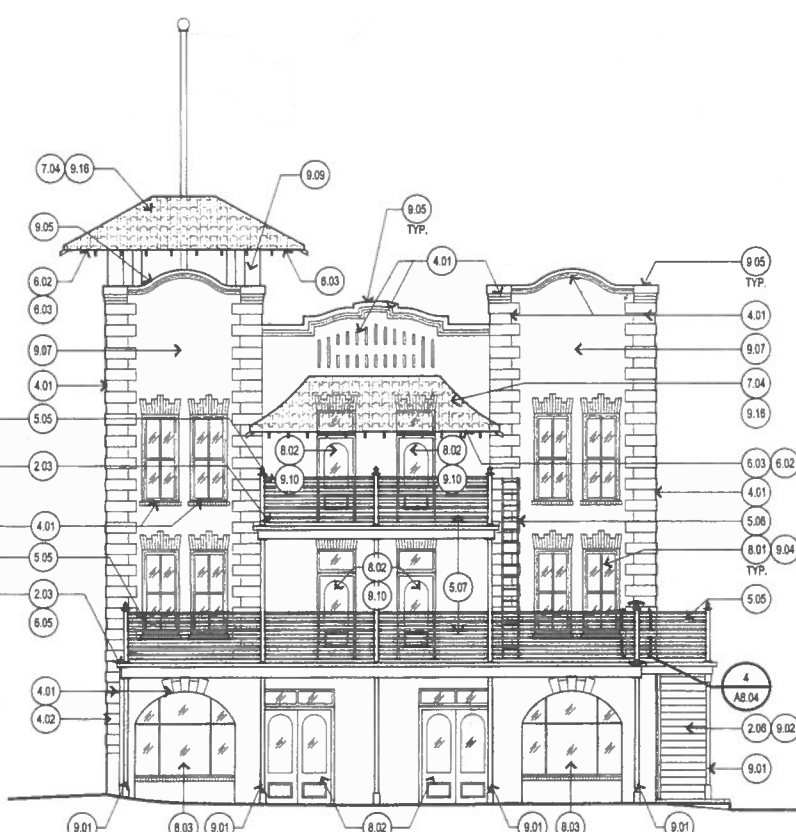
1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"
w/ Stair & Elevator



3 EAST ELEVATION
SCALE: 1/8"=1'-0"



4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

KEYNOTES

- DIVISION 02 EXISTING CONDITION**
- 2.01 INTERIOR SHELL FINISHES TO REMAIN, INCLUDING ALL BASE, WINDOW & DOOR TRIMS.
 - 2.02 PROVIDE ALLOWANCE FOR NEW LANDSCAPING, REGRADE FOR POSITIVE DRAINAGE.
 - 2.03 PREP EXISTING CONCRETE SLAB AS REQ'D. FOR NEW COMPOSITE DECKING.
 - 2.04 EXISTING PLANTER AND LANDSCAPE TO REMAIN, PROTECT AS REQ'D.
 - 2.05 EXISTING FLATWORK TO REMAIN, PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.06 EXISTING METAL PAN AND CONCRETE STAIR TO REMAIN.
 - 2.07 EXISTING STEEL BEAM TO REMAIN, PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 2.08 EXISTING METAL DECKING TO REMAIN.
 - 2.09 EXISTING LANDING TO REMAIN.
 - 2.10 NEW ASPHALT W/ PARKED STRIPES FOR ADA R.O.W.
- DIVISION 03 CONCRETE**
- 3.01 NEW SIDEWALK (REF. 1A1.01).
 - 3.02 NEW CONCRETE SLAB (REF. STRUCTURAL).
 - 3.03 NOT USED.
 - 3.04 CLEAN EXISTING CONCRETE STRUCTURE, PROVIDE PENETRATING SEALER.
 - 3.05 NEW FOUNDATION MODIFICATIONS TO CORRECT MISALIGNMENT/MOVEMENT OF EXISTING REAR STAIR/ELEVATOR. (REF. STRUCTURAL).
- DIVISION 04 MASONRY**
- 4.01 CLEAN EXISTING BRICK MASONRY, REPAIR AND RE-POINT, PROVIDE PENETRATING SEALER.
 - 4.02 RE-GROUT EXISTING MORTAR THAT DOES NOT MATCH.
 - 4.03 RESET AND REPAIR ANY DAMAGED / LOOSE INTERIOR SHELL MASONRY.
- DIVISION 05 METALS**
- 5.01 FUTURE EGRESS STAIR.
 - 5.02 NEW 1 1/2" DIA STL HANDRAIL, PAINTED.
 - 5.03 NEW 1 1/2" DIA STL HANDRAIL SUPPORT POST, PAINTED.
 - 5.04 NEW GALVANIZED METAL GUTTER COVER PLATE, MATCH EXISTING.
 - 5.05 PROVIDE NEW TENSION CABLES AT EXISTING GUARDRAIL TO MEET BUILDING CODE.
 - 5.06 EXISTING EGRESS LADDER TO REMAIN WHILE THIRD FLOOR IS UNOCCUPIED, SECURE AND STABILIZE AS REQ'D, PAINTED.
 - 5.07 MODIFIED EXISTING STL GUARDRAIL, PAINTED.
- DIVISION 06 WOOD, PLASTICS AND COMPOSITES**
- 6.01 EXISTING WOOD JOIST STRUCTURE TO REMAIN, PROTECT AS REQ'D.
 - 6.02 PROVIDE NEW WOOD DECKING AS REQ'D. DECKING SIZE AND PROFILE TO MATCH EXISTING, PAINTED.
 - 6.03 PROVIDE NEW RAFTER TAILS TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE NEW PAINT.
 - 6.04 NEW WOOD COLUMN TO MATCH EXISTING IN SIZE AND PROFILE. PREP TO RECEIVE PAINT.
 - 6.05 NEW COMPOSITE WOOD DECKING.
- DIVISION 07 THERMAL AND MOISTURE PROTECTION**
- 7.01 METAL WALL PANEL.
 - 7.02 STYRENE-BUTADIENE-STYRENE MODIFIED BITUMINOUS ROOFING (SBS).
 - 7.03 NEW ROOF HATCH AND ACCESS LADDER, (VERIFY LOCATION).
 - 7.04 NEW "ICE & WATER SHIELD" PEEL & STICK MEMBRANE TO BE ADDED PRIOR TO REINSTALLATION OF SHINGLE ROOFING.
 - 7.05 BITUMINOUS DAMP PROOFING.
 - 7.06 POLYSTYRENE BOARD INSULATION.
 - 7.07 GLASS FIBER BATT INSULATION.
 - 7.08 MINERAL FIBER BATT INSULATION.
 - 7.09 SHEET METAL FLASHING AND TRIM.
 - 7.10 METAL DOWNSPOUT.
 - 7.11 METAL GUTTER.
 - 7.12 FIRESTOPPING.
 - 7.13 JOINT SEALANT.
- DIVISION 08 OPENINGS**
- 8.01 NEW ALUM. CLAD WOOD WINDOW.
 - 8.02 EXISTING DOOR TO REMAIN, CLEAN & PREP FOR NEW FINISH & HARDWARE. HARDWARE TO COMPLY WITH ADA & EGRESS REQUIREMENTS.
 - 8.03 EXISTING WINDOW TO REMAIN, CLEAN & PREP FOR NEW FINISH.
 - 8.04 METAL PANEL.
 - 8.05 NEW ALUMINUM - FRAMED STOREFRONT.
 - 8.06 NEW DOOR AS SCHEDULED ON MAGNETIC HOLD OPEN.
 - 8.07 NEW FIRE RATED ELEVATOR SHAFT DOOR.
 - 8.08 FUTURE FIRE RATED EGRESS DOOR, (REF. PHASE III PACKAGE).
 - 8.09 NEW PLASTER TO MATCH EXISTING.
 - 8.10 GLASS UNIT.
 - 8.11 NEW FIRE RATED DOOR AND FRAME.
 - 8.12 1 HR. FIRE RATED WALL ASSEMBLY.
 - 8.13 1 HR. FIRE RATED CEILING ASSEMBLY.
- DIVISION 09 FINISHES**
- 9.01 PAINT EXISTING STEEL COLUMN.
 - 9.02 PAINT EXISTING STAIR / STEEL STRUCTURE.
 - 9.03 PAINT EXISTING ELEVATOR STRUCTURE.
 - 9.04 RE-PLASTER WINDOW SILL AND BRICK LEDGES, ASSUME ALL WINDOWS BEING REPLACED TO RECEIVE NEW PLASTER SILL, CONTRACTOR TO VERIFY EXISTING CONDITIONS.
 - 9.05 NEW MORTAR CAP W/ ELASTOMERIC COATING.
 - 9.06 PROVIDE NEW PLASTER AT INTERIOR OF SHELL WALL AS REQ'D, TEXTURE TO MATCH EXISTING ADJACENT.
 - 9.07 PROVIDE COMPREHENSIVE MANUFACTURE 10-YEAR WARRANTY SEALANT AND ELASTOMERIC COATING SYSTEM AT ALL EXTERIOR CEMENT PLASTER.
 - 9.08 PAINT AT EXISTING WOOD WINDOWS AND FRAME, RESEAL PERIMETER OF OPENING.
 - 9.09 PAINT EXISTING FLAGPOLE STRUCTURE.
 - 9.10 PAINT EXISTING DOOR AND FRAME, RESEAL PERIMETER OF OPENING.
 - 9.11 PAINT EXISTING METAL DOWNSPOUT AND SCUPPER.
 - 9.12 CHASE OPENING (REF. MECH).
 - 9.13 RATED PARTITION AT PREVIOUS WINDOW OPENING.
 - 9.14 PAINT EXISTING PLASTER.
 - 9.15 PAINT EXISTING WOOD.
 - 9.16 PAINTED METAL ROOF SYSTEM.
- DIVISION 14 CONVEYING EQUIPMENT**
- 14.01 PROVIDE COMPLETE REFURBISHMENT OF EXISTING ELEVATOR, FINISHES TO BE ISSUED IN A SEPARATE PACKAGE.
 - 14.02 NEW ELEVATOR SIGNALS AND CALL BUTTON.
- DIVISION 21 FIRE SUPPRESSION**
- 21.01 NEW LOCATION OF EXISTING FIRE SPRINKLER MAIN, (VERIFY LOCATION).
 - 21.02 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN, PROTECT AS REQ'D. DURING CONSTRUCTION.
 - 21.03 EXISTING FIRE SPRINKLER STAND PIPE TO BE RELOCATED AS REQ'D.
- DIVISION 22 PLUMBING**
- 22.01 NEW PLUMBING FIXTURES, FINAL SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 22.02 NEW FLOOR DRAIN.
 - 22.03 NEW WATER FOUNTAIN (PAIR).
- DIVISION 23 HVAC**
- 23.01 NEW HVAC MINI PACKAGE UNIT.
- DIVISION 26 ELECTRICAL**
- 26.01 EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED EMERGENCY LIGHT FIXTURES, FINAL LIGHT FIXTURE SELECTION TO BE ISSUED IN A SEPARATE PACKAGE.
 - 26.02 NEW LOCATION OF EXISTING ELECTRICAL PANEL.

PLASARCHITECTS

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SEAL



NO.	DATE	ISSUANCE
1	November 21, 2014	PERMIT SET
2	December 18, 2014	BID SET

PROJECT
UNIVERSITY OF HOUSTON
CONRAD N. HILTON COLLEGE
PHASE II - BASE SHELL PACKAGE
122 HEIMAN ST
SAN ANTONIO, TX 78205

PROJECT STATUS

SHEET NAME

EXTERIOR ELEVATIONS

SHEET NUMBER

