

HISTORIC AND DESIGN REVIEW COMMISSION

December 05, 2018

HDRC CASE NO: 2018-586
ADDRESS: 140 E HOUSTON ST
124 SOLEDAD ST
130 SOLEDAD ST
134 SOLEDAD ST
LEGAL DESCRIPTION: NCB 106 BLK LOT 3
NCB 106 BLK LOT A
NCB 106 BLK LOT 4
ZONING: D, HE, RIO-3
CITY COUNCIL DIST.: 1
DISTRICT: Main/Military Plaza Historic District
LANDMARK: Book Building, Clegg Building, Veramendi Building, SoloServe Building
APPLICANT: Stephen Williams/Clayton & Little
OWNER: Soleded House, LLC
TYPE OF WORK: Exterior modifications, exterior maintenance, additions
APPLICATION RECEIVED: November 16, 2018
60-DAY REVIEW: January 15, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform rehabilitative scopes of work as well as perform exterior modifications and construct small egress additions to the structures located at 130 and 134 Soledad Street and 140 E Houston Street, commonly known as the Book, Clegg, Kennedy, Veramendi and Solo Serve Buildings.

Request items related to the Book Building (140 E Houston)

1. Repair, restore and replace existing tin cornice and other original façade details with matching profiles and patterns.
2. Repair, restore and replace existing wood windows including storefront windows in like kind at all elevations – wood storefront line at street level will vary from existing for egress clearance.
3. Remove all existing mechanical equipment from roof and replace with new in same locations.
4. Replace existing 1970's steel railing with new railing.
5. Replace existing 1970's paving at "pasao" and dog trot with new paving to be selected.
6. Add new fire rated egress stair at West wall.
7. Repair or replace existing elevated walk at exterior of building with new to match existing – foot bridge from Houston to be removed.
8. At Book building courtyard – existing infill building to be demolished down to structure. Area to be courtyard extension and location of new fire rated egress stair for Clegg Building.

Request items related to the Clegg Building (130 Soledad)

9. Re-roof existing roof with new code compliant TPO roofing.
10. A new exterior fire rated stair will be constructed at the Book courtyard along with new walkways that connect Book to Clegg.
11. The existing windows will be modified at these locations to be a door with the same steel construction as original.
12. A new door for egress to the Riverwalk will be added as required by code.
13. At street level and river level there will be a new opening in the exterior wall below the courtyard walkway. These are no on a primary façade.
14. Existing steel windows will be restored – glazing will be replaced with clear IGU's
15. 15. New signage to be proposed in future package.

Request items related to the Kennedy Building (134 Soledad)

16. Repair, restore and replace existing missing brick detailing to match historic photos along with other original façade details.
17. Repair, restore and replace existing wood windows including storefront windows in like kind at all elevations – wood storefront line at street level will vary from existing for egress clearance.
18. Re-roof existing roof with new code compliant TPO roofing.
19. A new interior terrace at guest rooms will be constructed within the existing perimeter walls.
20. New signage to be proposed in future package

Request items related to the Veramendi Building (130 Soledad)

21. Repair, restore and replace existing missing brick detailing to match historic photos along with other original façade details.
22. Repair, restore and replace existing wood windows including storefront windows in like kind at all elevations – wood storefront line at street level will vary from existing for egress clearance.
23. Re-roof existing roof with new code compliant TPO roofing.
24. A new skylight will be installed in existing roof above new lobby stair.
25. New signage to be proposed in future package

Request items related to the SoloServe Building (124 Soledad)

26. Repair, restore and replace existing and missing stucco detailing at West façade. A new wall will be constructed at the Southern wall. The West and North walls will be restored.
27. Repair and restore existing steel windows – at West façade in former storefront openings decorative gates and screens.
28. Re-roof existing roof with new code compliant TPO roofing.
29. A new interior terrace at guest rooms will be constructed within the existing perimeter walls.
30. New signage to be proposed in future package

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. Paint—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. Clear area—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. Vegetation—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. Cleaning—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Patching—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. Repointing—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. Removing paint—Take care when removing paint from masonry as the paint may be providing a protectant layer or

hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.

iv. Removing stucco—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

i. Regular maintenance and cleaning—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Roof replacement—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. Roof form—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. Roof features—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. Materials: sloped roofs—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. Materials: flat roofs—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

vi. Materials: metal roofs—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

vii. Roof vents—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

4. Materials: Metal

A. MAINTENANCE (PRESERVATION)

i. Cleaning—Use the gentlest means possible when cleaning metal features to avoid damaging the historic finish. Prepare a test panel to determine appropriate cleaning methods before proceeding. Use a wire brush to remove corrosion or paint build up on hard metals like wrought iron, steel, and cast iron.

ii. Repair—Repair metal features using methods appropriate to the specific type of metal.

iii. Paint—Avoid painting metals that were historically exposed such as copper and bronze.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Replacement—Replace missing or significantly damaged metal features in-kind or with a substitute compatible in size, form, material, and general appearance to the historical feature when in-kind replacement is not possible.

- ii. Rust—Select replacement anchors of stainless steel to limit rust and associated expansion that can cause cracking of the surrounding material such as wood or masonry. Insert anchors into the mortar joints of masonry buildings.
- iii. New metal features—Add metal features based on accurate evidence of the original, such as photographs. Base the design on the architectural style of the building and historic patterns if no such evidence exists.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. Openings—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. Doors—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. Windows—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. Screens and shutters—Preserve historic window screens and shutters.
- v. Storm windows—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Doors—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. New entrances—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. Glazed area—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. Window design—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. Muntins—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. Replacement glass—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. Non-historic windows—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. Security bars—Install security bars only on the interior of windows and doors.
- ix. Screens—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. Shutters—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. Character-defining features—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the facade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to perform rehabilitative scopes of work as well as perform exterior modifications and construct small egress additions to the structures located at 130 and 134 Soledad Street and 140 E Houston Street, commonly known as the Book, Clegg, Kennedy, Veramendi and Solo Serve Buildings.
- b. The applicant has noted that signage is to be submitted and reviewed in a separate Historic and Design Review Commission application.
- c. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on June 26, 2018. At that meeting, committee members noted that there were no concerns over the proposed design; however, noted that signage and lighting would be important.
- d. ARCHAEOLOGY- The project area is within the River Improvement Overlay District, the Main and Military Plazas Local Historic District, the Main and Military Plazas National Register of Historic Places District, and is adjacent to the San Antonio River, an area known to contain significant historic and prehistoric archaeological deposits. A review of historic archival maps places structures within the property as early as 1767. Moreover, the project area is within the former location of the Veramendi Palace, a Spanish-Colonial structure and previously recorded archaeological site. In addition, the property is known to be along the route of Ben Milam's march from the Molino Blanco to Main Plaza in 1835 during the Siege of Bexar. Ben Milam was killed during the siege, reportedly interred within the Veramendi Palace grounds, and later exhumed and buried in modern-day Milam Park. A Mexican battery was also reportedly constructed on the Veramendi Palace property in 1836. Therefore, archaeological investigations are required. The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

Findings related to request items #1 through #8 (Book Building, 140 E Houston):

- e. REHABILITATION – The applicant has proposed a number of rehabilitative scopes of work that include the repair to the existing tin cornice, original facade materials wood windows and storefront systems in kind with matching materials. This is consistent with the Guidelines.
- f. MECHANICAL EQUIPMENT – The applicant has noted the replacement of the existing mechanical equipment with new equipment and no location change. This is consistent with the Guidelines.
- g. EGRESS STAIR – On the west facade, the applicant has proposed to construct a rated egress stair. The proposed

egress stair will feature a profile that's consistent with that which exists. Staff finds the addition of this egress stair to be appropriate as it is not on a primary façade.

- h. RAILING, PAVING AND ELEVATED WALK – The applicant has proposed to remove a portion of the elevated walk that connects to E Houston as well as remove a circa 1970's railing and install a new railing. Staff finds the removal of the existing portion of the elevated walk as well as the replacement of the existing railing to be appropriate. Additionally, the applicant has proposed to replace the existing, circa 1970's paving with new paving. Staff finds this replacement to be appropriate.
- i. EXISTING INFILL BUILDING – The applicant has proposed to deconstruct an existing, infill structure down to its structure to incorporate into the proposed courtyard space. Staff finds this to be appropriate.

Findings related to request items #9 through #15 (Clegg Building 130 Soledad):

- j. ROOFING – The applicant has proposed to replacing the existing roof with a new TPO roof. Staff finds this replacement to be appropriate and consistent with the Guidelines.
- k. FIRE STAIR ADDITION – The applicant has proposed to construct an exterior fire stair to courtyard of the Book Building to connect to the Book and Clegg Buildings. Staff finds this addition to be minor in nature and appropriate.
- l. MODIFY EXISTING WINDOW OPENINGS – The applicant has proposed to modify two existing window openings to become egress doors, add a new door for egress at the River Walk levels and create new pedestrian openings at the street and river levels on interior facades. Given that the proposed modifications are occurring to non-primary facades, staff finds them appropriate. The modified window openings that are to become egress doors will feature a profile that matches the existing, steel windows.
- m. WINDOW REPAIR – The applicant has proposed to repair the existing steel windows. This is consistent with the Guidelines.

Findings related to request items #16 through #20 (Kennedy Building, 134 Soledad):

- n. REHABILITATION – The applicant has proposed to perform rehabilitative scopes of work that include the repair of existing brick detailing, repair to wood windows and roof replacement. Each of the proposed scopes of work are appropriate and consistent with the Guidelines.
- o. TERRACES – The applicant has proposed to install guest terraces within the existing perimeter walls. No modifications will be made to existing facades.

Findings related to request items #21 through #25 (Veramendi Building, 130 Soledad):

- p. REHABILITATION - The applicant has proposed rehabilitative scopes of work that include repair to the historic brick facades, repair to historic wood windows and the installation of a new roof. Each of the proposed scopes of work are appropriate and consistent with the Guidelines.
- q. SKYLIGHT – The applicant has proposed to install a skylight in the existing roof above a new lobby stair. Staff finds that this will not negatively impact the historic integrity of the structure and is appropriate.

Findings related to request items #26 through #30 (SoloServe Building, 124 Soledad):

- r. REHABILITATION – The applicant has proposed rehabilitative scopes of work that include stucco repair, the reconstruction of an exterior southern wall, steel window repair and roof repair. Each of the proposed scopes of work are appropriate and consistent with the Guidelines
- s. TERRACES – The applicant has proposed to install guest terraces within the existing perimeter walls. No modifications will be made to existing facades.

RECOMMENDATION:

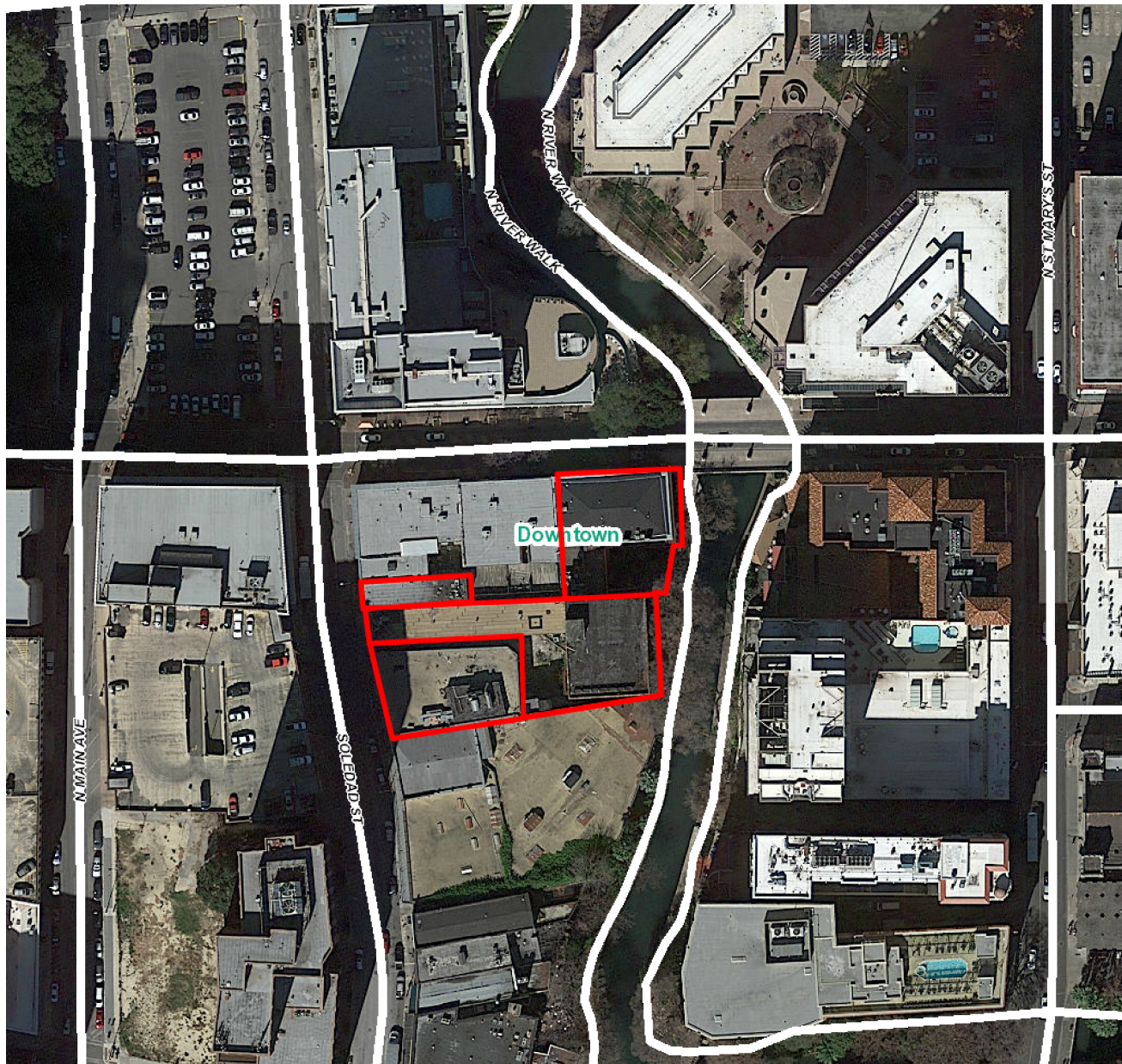
Staff recommends approval of items #1 through #30 based on findings a through s with the following stipulations:

- i. That the applicant return to the Commission with a complete site and architectural lighting plan as well as a signage plan to be reviewed as a new application.
- ii. ARCHAEOLOGY- Archaeological investigations are required for below-ground impacts associated with new building and utility construction activities. The archaeological scope of work should be submitted to the OHP archaeologists for review and approval prior to beginning the archaeological investigation. The development

project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Nov 29, 2018

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CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

**Historic and Design Review Commission
Design Review Committee
Report & Recommendation**

DATE: JUNE 26, 2018 HDRC Case#

ADDRESS: 134, 130 SOLEDAD Meeting Location: 1901 S ALAMO

APPLICANT: STEPHEN WILLIAMS

DRC Members present: SCOTT CARPENTER, CURTIS FISH

Staff present: EDWARD HALL

Others present: ANN MCGLONE

REQUEST: EXTERIOR MODIFICATIONS, ADDITIONS, REHABILITATION

COMMENTS/CONCERNS: AM: OVERVIEW OF BUILDINGS. SW: OVERVIEW
OF PROPOSED REHAB/MODIFICATIONS/ADDITIONS - TOTAL OF 83 HOTEL
ROOMS, 96,000 SQ FT, GROUND LEVEL DETAIL. SW: MATERIALS
WILL REMAIN AS IS - WINDOWS WILL BE REPAIRED. - GENERAL
OVERVIEW, NO CONCERNS OVER DESIGN. SW: DESIGN IS OUT OF THE
FLOOD PLANE. SC: SIGNAGE + SITE LIGHTING WILL BE IMPORTANT.

COMMITTEE RECOMMENDATION: **APPROVE [] DISAPPROVE []**
APPROVE WITH COMMENTS/STIPULATIONS:

Committee Chair Signature (or representative)

6/26/2018

Date

PROJECT DESCRIPTION

Book, Clegg, Kennedy, Veramendi & SoloServe Buildings

Narrative of work:

Book Building – 140 E. Houston St.

1. Repair, restore and replace existing tin cornice and other original façade details with matching profiles and patterns.
2. Repair, restore and replace existing wood windows including storefront windows in like kind at all elevations – wood storefront line at street level will vary from existing for egress clearance.
3. Remove all existing mechanical equipment from roof and replace with new in same locations.
4. Replace existing 1970's steel railing with new railing.
5. Replace existing 1970's paving at "pasao" and dog trot with new paving to be selected.
6. Add new fire rated egress stair at West wall.
7. Repair or replace existing elevated walk at exterior of building with new to match existing – foot bridge from Houston to be removed.
8. At Book building courtyard – existing infill building to be demolished down to structure. Area to be courtyard extension and location of new fire rated egress stair for Clegg Building.

Clegg Building – 130 Soledad

9. Re-roof existing roof with new code compliant TPO roofing.
10. A new exterior fire rated stair will be constructed at the Book courtyard along with new walkways that connect Book to Clegg.
11. The existing windows will be modified at these locations to be a door with the same steel construction as original.
12. A new door for egress to the Riverwalk will be added as required by code.
13. At street level and river level there will be a new opening in the exterior wall below the courtyard walkway. These are no on a primary façade.
14. Existing steel windows will be restored – glazing will be replaced with clear IGU's
15. New signage to be proposed in future package.

Kennedy Building – 134 Soledad

16. Repair, restore and replace existing missing brick detailing to match historic photos along with other original façade details.
17. Repair, restore and replace existing wood windows including storefront windows in like kind at all elevations – wood storefront line at street level will vary from existing for egress clearance.
18. Re-roof existing roof with new code compliant TPO roofing.
19. A new interior terrace at guest rooms will be constructed within the existing perimeter walls.
20. New signage to be proposed in future package

Veramendi Building – 130 Soledad

21. Repair, restore and replace existing missing brick detailing to match historic photos along with other original façade details.
22. Repair, restore and replace existing wood windows including storefront windows in like kind at all elevations – wood storefront line at street level will vary from existing for egress clearance.
23. Re-roof existing roof with new code compliant TPO roofing.
24. A new skylight will be installed in existing roof above new lobby stair.
25. New signage to be proposed in future package

SoloServe Building – 124 Soledad

26. Repair, restore and replace existing and missing stucco detailing at West façade. A new wall will be constructed at the Southern wall. The West and North walls will be restored.
27. Repair and restore existing steel windows – at West façade in former storefront openings decorative gates and screens.
28. Re-roof existing roof with new code compliant TPO roofing.
29. A new interior terrace at guest rooms will be constructed within the existing perimeter walls.
30. New signage to be proposed in future package

END



VERAMENDI HOUSE



1 - VERAMENDI HOUSE

2 - SAVOY BUILDING

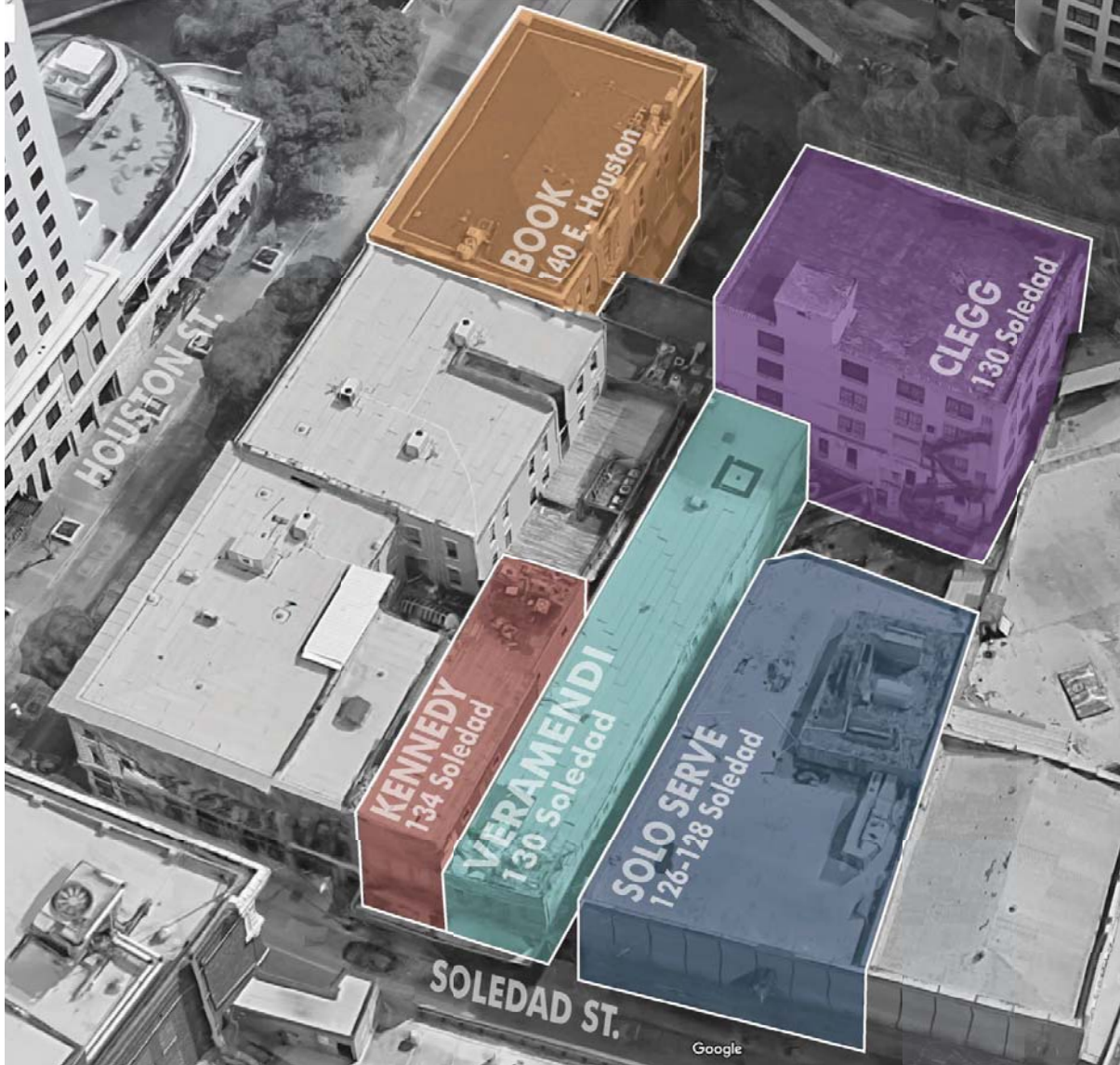
3 - MAJESTIC THEATRE

4 - POTCHERNICKS

5 - MEXICAN MANHATTEN

6 - FROST BANK

7 - RAND BUILDING

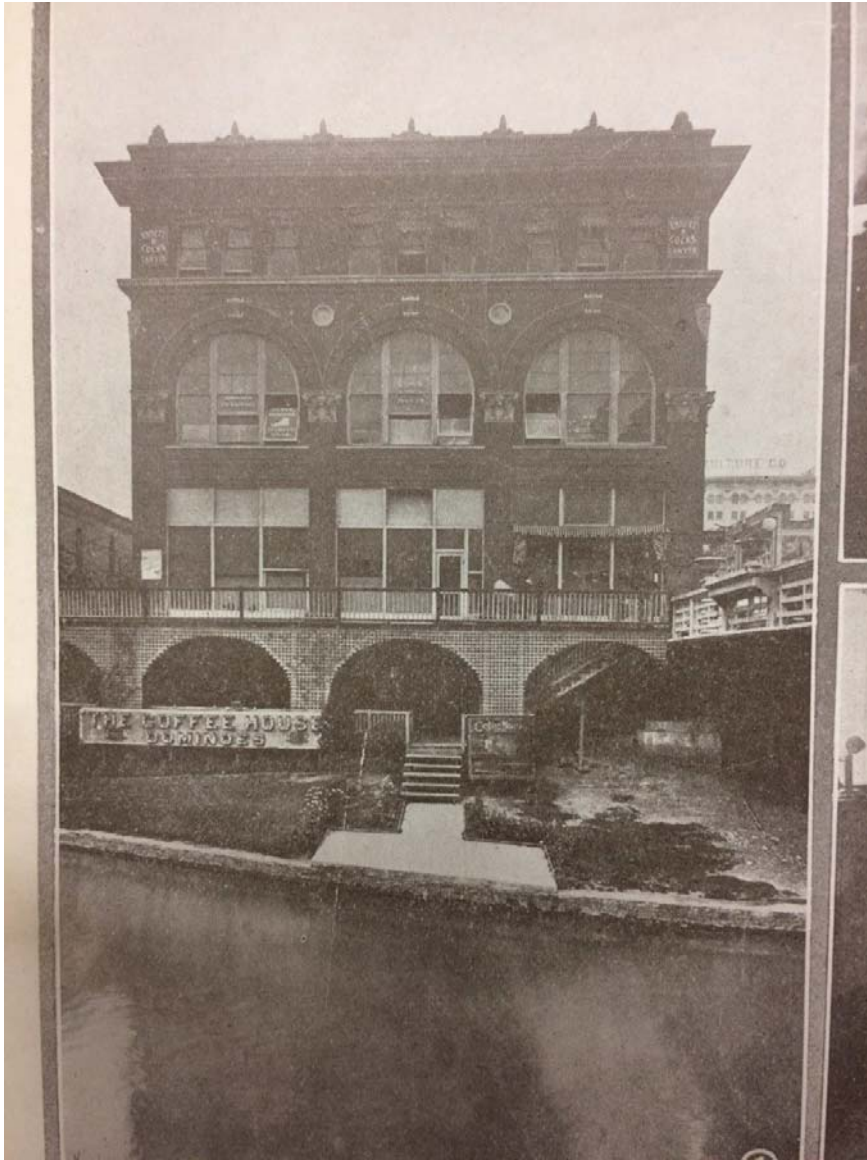


The **Book building** was originally built in 1906 to house a series of small offices above street level retail. The river level was later finished out as one of the first businesses with frontage on the San Antonio river prior to the creation of Robert H.H. Hugmans Riverwalk. This vacant structure will house guest rooms, street level retail and river level food and beverage. While a series of remodels over the last 112 years have removed much of the historic interior of the building, the exterior remains largely intact and will be restored with the existing windows repaired or reconstructed, sills repaired or replaced and all brick repointed to match historic mortar and brick. The Book building is a registered historic structure.

The **Soloserve** building was originally built in 1922 and had a major renovation and expansion performed in the late 1940's that encompassed three additional buildings heading south on Soledad. While these buildings were demolished in 2017, the original SoloServe location remains. This vacant structure will house guest rooms and street level food and beverage facing the Clegg courtyard. The exterior remains largely intact and will be restored with the existing windows repaired or reconstructed, sills repaired or replaced and all brick repointed to match historic mortar and brick or historic stucco repaired. The existing storefront openings will be replaced with a decorative iron gates or panels and the existing canopy will be reskinned to match historic photos.

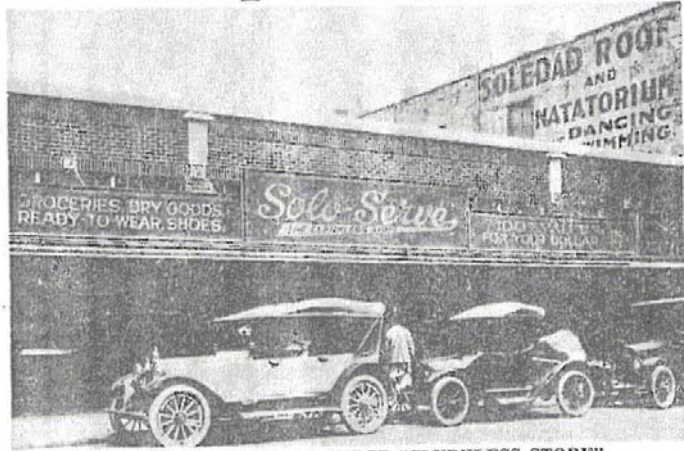
The **Veramendi-Clegg** building was originally built in 1910 to house the San Antonio print company which later became known as the Clegg company and later still, Marshall Clegg and Associates. In 1926, a three story addition was built on a portion of the building nearest to the river. This building is currently undergoing historic registration. This vacant structure will be re-purposed to house guest rooms, retail functions and a variety of food and beverage outlets. Existing windows will be restored to like-new condition, existing exterior walls at the Clegg building will have application of exterior insulation with a new coat of stucco applied that will match existing while existing brick walls at Veramendi will be repointed to match historic mortar and brick.

The **Kennedy** building was originally built in 1880 and over it's life housed a clothing retailer, a shorthand and typing school, a local newspaper and printing office and a Japanese restaurant. In the late 1960's a slipcover facade was placed over the building and the 2nd and 3rd level windows were bricked over. The interior was remodeled into offices for the Marshall Clegg & Associates company. This vacant structure will house guest rooms, street level food & beverage and storage components. While a series of extensive remodels over the last 138 years have removed most of the historic interior & much of the exterior of the building, the exterior that remains will be restored with the existing windows repaired or reconstructed, sills repaired or replaced and all brick repointed to match historic mortar and brick. The original 1910 parapet will be reconstructed on the West and South sides of the building.

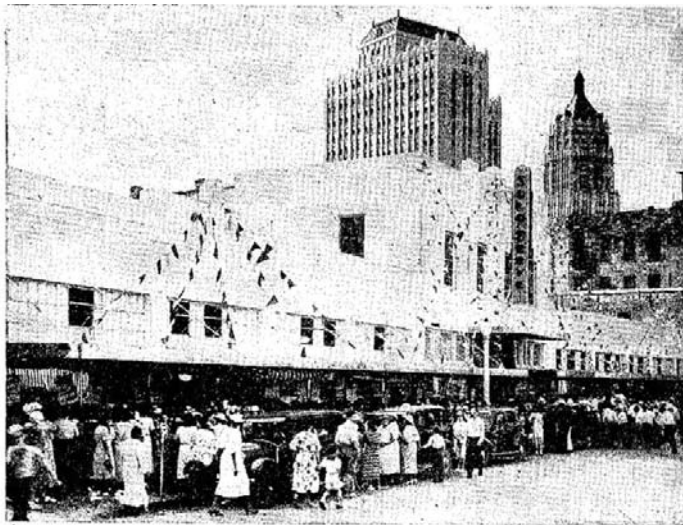




Serve Unique S. A. First

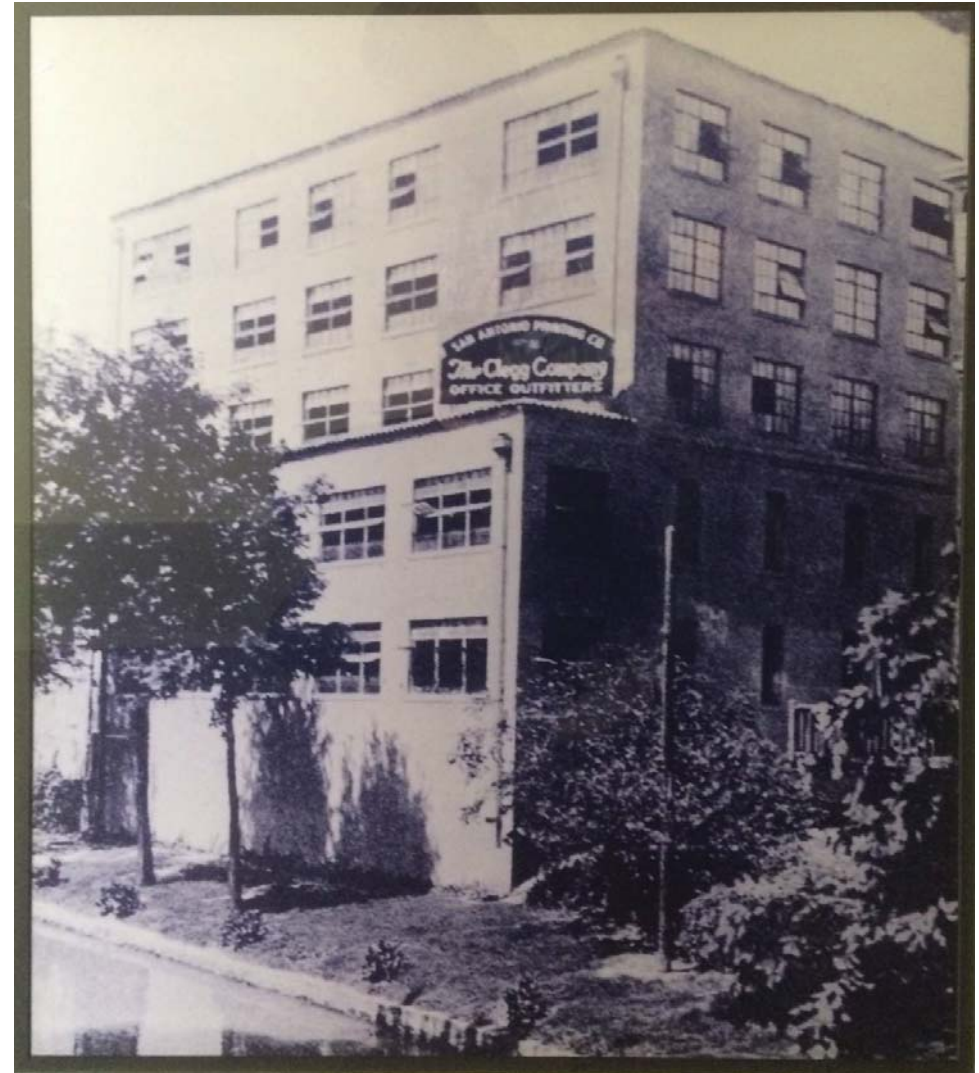


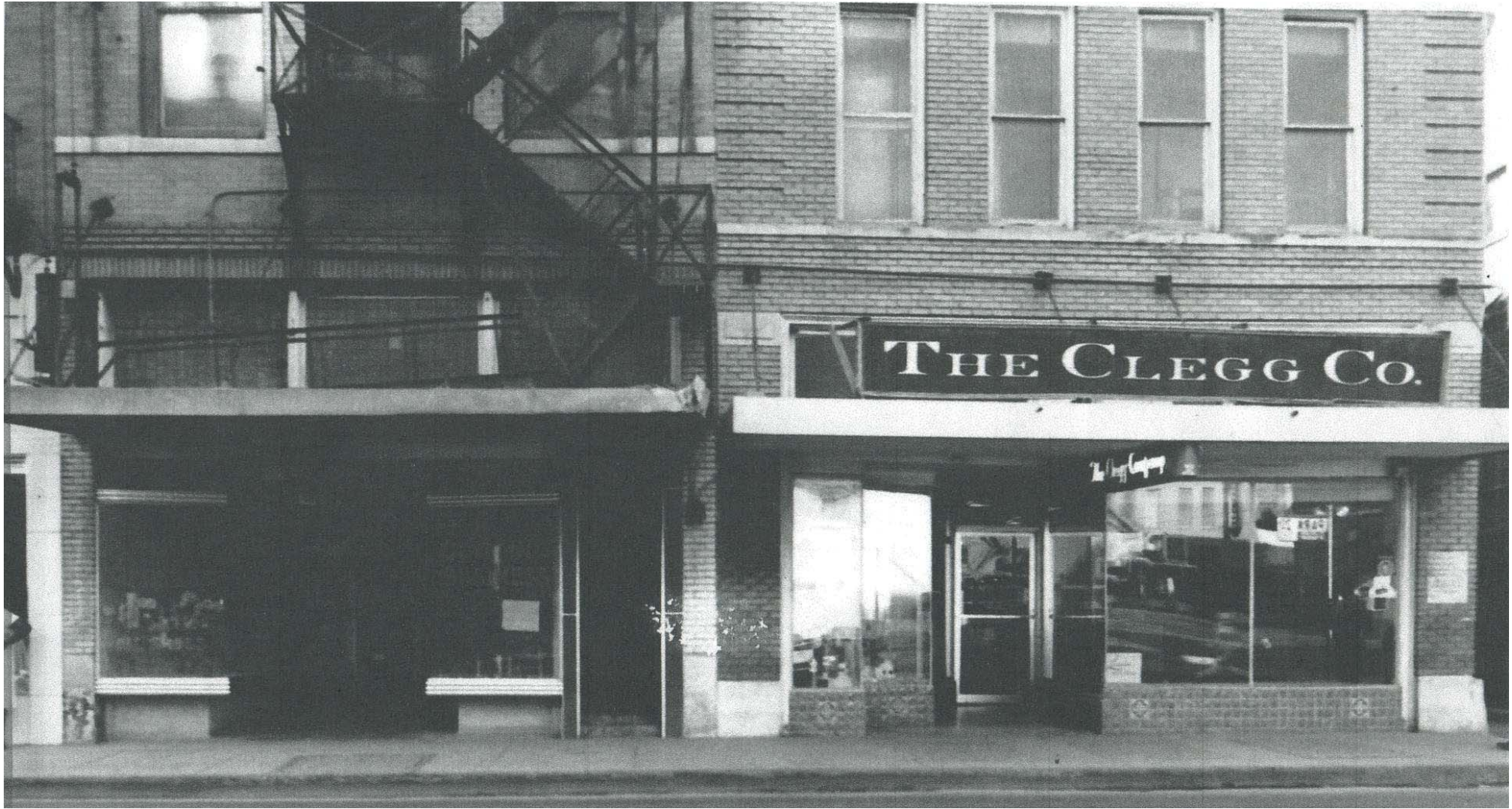
SOLO-SERVE WAS S. A.'s FIRST "CLERKLESS STORE"
Self-service, unique merchandising idea introduced 46 years ago.



Above is pictured a partial view of the crowds that were waiting for the doors to open to Solo-Serve's Sale of Progress last year. Because this year preparations and advertising are greater, even larger crowds are expected to be waiting at 9:00 a. m. Thursday when the doors open.







KENNEDY | VERAMENDI-CLEGG

KENNEDY



MISSING PARAPET TO BE
RECONSTRUCTED

KENNEDY



CLAYTON
& LITTLE

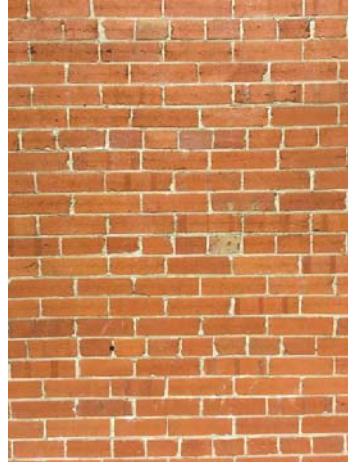
HISTORIC PHOTOS - KENNEDY 1923, 1932 | **VERAMENDI HOUSE**

124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205

PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 10 of 47



EXISTING & NEW STUCCO ON MASONRY &
STUCCO ON EIFS



EXISTING BRICK



EXISTING BRICK



EXISTING WOOD STOREFRONT / WINDOWS
OR NEW TO MATCH EXISTING



EXISTING STEEL STOREFRONT / WINDOWS OR NEW
TO MATCH EXISTING



EXISTING CLAY BLOCK















VERAMENDI-CLEGG

1910 | 1926

BOOK BUILDING

1906

**CLAYTON
& LITTLE**

RENDERED ELEVATIONS - EAST | VERAMENDI HOUSE

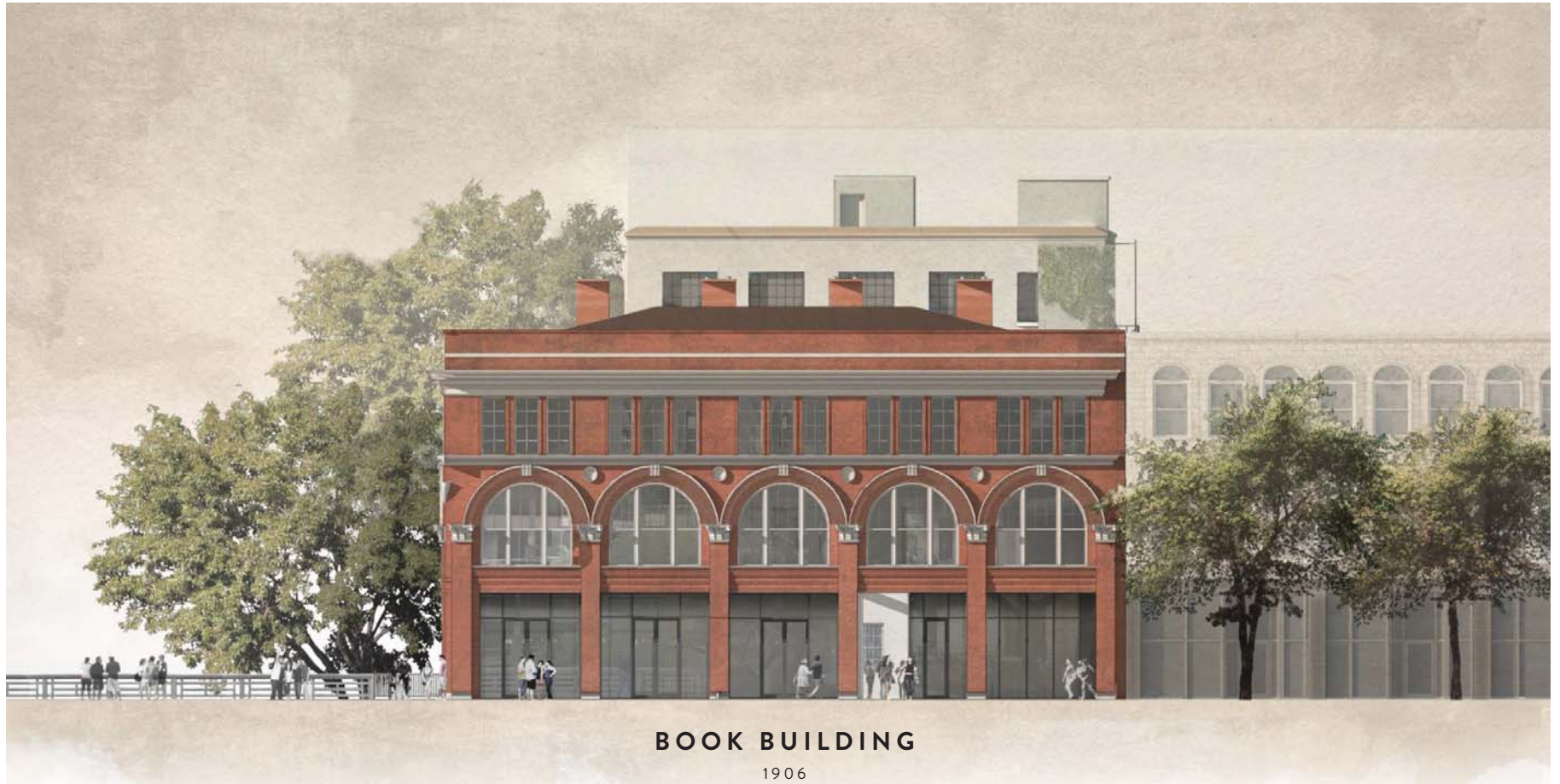
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205

PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 18 of 47



CLAYTON
& LITTLE

RENDERED ELEVATIONS - WEST | **VERAMENDI HOUSE**
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205
PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 19 of 47



BOOK BUILDING

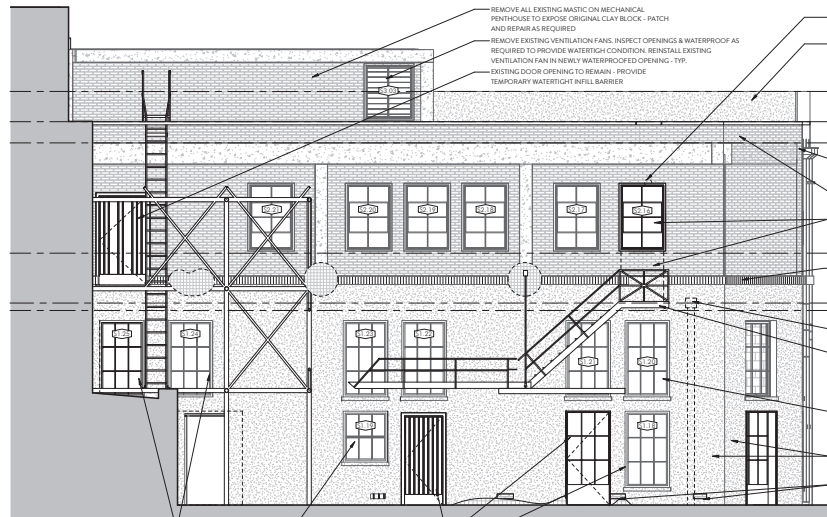
1906

**CLAYTON
& LITTLE**

RENDERED ELEVATIONS - NORTH | **VERAMENDI HOUSE**

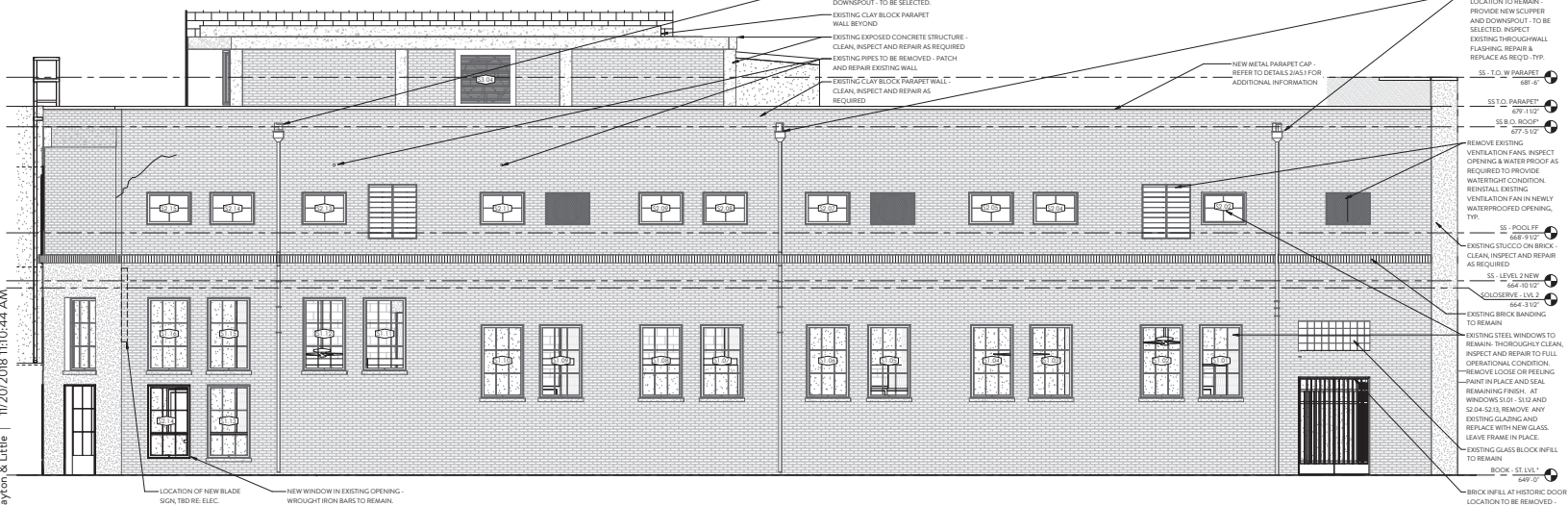
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205

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2 EAST ELEVATION - SOLOSERVE

1/4" = 1'-0"



1 NORTH ELEVATION - SOLOSERVE
N.T.S.

EXTERIOR CLEANING & REPAIR LEGEND

SYMBOL	ITEM	SPEC.	DESCRIPTION OF DAMAGE	LOCATION	NOTES
■	WALL REPAIR - MASONRY	1	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	1. EXTERIOR MASONRY IS TO BE REPAIRED TO MATCH EXISTING. REPAIRS TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	DAMAGED ELEMENT	2	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	2. DAMAGED ELEMENTS ARE TO BE REPAIRED TO MATCH EXISTING. REPAIRS TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CONCRETE CRACK	3	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	3. CONCRETE CRACKS ARE TO BE REPAIRED TO MATCH EXISTING. REPAIRS TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	4	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	4. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	5	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	5. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	6	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	6. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	7	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	7. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	8	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	8. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	9	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	9. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.
■	CRACK REPAIR	10	REPAIR AND PATCH TO MATCH EXISTING	THROUGHOUT EXTERIOR	10. CRACK REPAIRS ARE TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS. PATCHES TO BE MADE WITH COMPATIBLE MATERIALS.

GENERAL NOTES

1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEAR PENETRATING SEALER. RE SPECIFICATION.
2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND, THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, REPAIR AND REPLACEMENT SCOPE OF WORK.
3. DAMAGED/BROKEN CAST STONE WINDOW SILL ARE TO BE REPLACED IN KIND.
4. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORING TO BE REPLACED IN KIND.
5. SEE DETAILS ON SHEET A6.5 AND SCHEDULE ON SHEET A6.5 FOR PROPOSED WINDOW SCOPE OF WORK.
6. RE DEMOLITION SET ISSUED 12/17 FOR ADDITIONAL INFORMATION.
7. AT LOCATIONS MARKED **REPAIR** AT BOOK BUILDING, CONTRACTOR TO THOROUGHLY INSPECT ALL EXISTING FACADES FOR REPAIR LOCATIONS - COORDINATE WITH ARCHITECT.
8. REMOVE ALL EXTERIOR VINES OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS. AT VEGETATION THAT ORIGINATES IN DEDICATED PLANTERS, CUT BACK TO LIMIT OF PLANTER AND PROTECT DURING CONSTRUCTION.
9. REMOVE ALL EXISTING GRAFTIT AND TAGGING ON EXTERIOR OF BUILDING.

CLAYTON
& LITTLE

PRELIMINARY
NOT FOR CONSTRUCTION
This drawing was prepared under
the supervision of Paul Clayton. It
is not to be used for regulatory
approval, permitting, or
construction purposes.

ISSUED DATE 10-30-2018
PROJECT NUMBER 1647

PERMIT SET

VERAMENDI HOUSE
100 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

A2.0
EXTERIOR
ELEVATIONS -
SOLOSERVE

EXTERIOR ELEVATIONS - SOLOSERVE WEST + NORTHEAST | VERAMENDI
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205
PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 22 of 47

[illegible]

A2.2

EXTERIOR ELEVATIONS - SOLOSERVE

PRELIMINARY
NOT FOR CONSTRUCTION
This drawing was prepared under
the supervision of Paul Clayton. It
is not to be used for regulatory
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construction purposes.

ISSUED DATE 10-30-2018
PROJECT NUMBER 1647

PERMIT SET

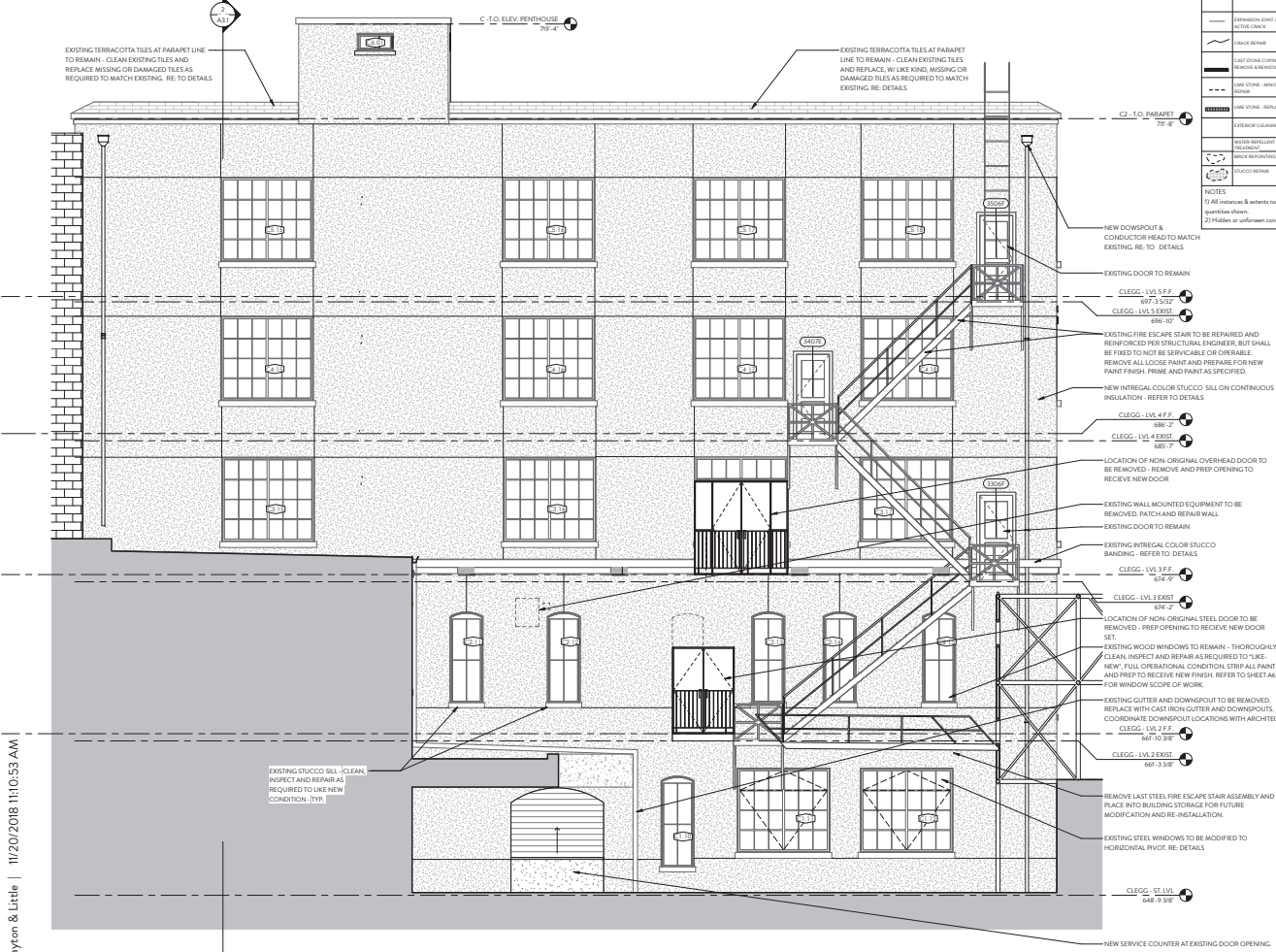
EXTERIOR CLEANING & REPAIR LEGEND

SYMBOL	ITEM	REMARKS	REPAIRS	NOTES
1	CRACK REPAIR - MORTAR	1. CRACK REPAIR - MORTAR	CRACK REPAIR - MORTAR	CRACK REPAIR - MORTAR
2	CRACK REPAIR - CONCRETE	2. CRACK REPAIR - CONCRETE	CRACK REPAIR - CONCRETE	CRACK REPAIR - CONCRETE
3	CRACK REPAIR - BRICK	3. CRACK REPAIR - BRICK	CRACK REPAIR - BRICK	CRACK REPAIR - BRICK
4	CRACK REPAIR - STONE	4. CRACK REPAIR - STONE	CRACK REPAIR - STONE	CRACK REPAIR - STONE
5	CRACK REPAIR - METAL	5. CRACK REPAIR - METAL	CRACK REPAIR - METAL	CRACK REPAIR - METAL
6	CRACK REPAIR - GLASS	6. CRACK REPAIR - GLASS	CRACK REPAIR - GLASS	CRACK REPAIR - GLASS
7	CRACK REPAIR - ROOF	7. CRACK REPAIR - ROOF	CRACK REPAIR - ROOF	CRACK REPAIR - ROOF
8	CRACK REPAIR - FLOOR	8. CRACK REPAIR - FLOOR	CRACK REPAIR - FLOOR	CRACK REPAIR - FLOOR
9	CRACK REPAIR - WALL	9. CRACK REPAIR - WALL	CRACK REPAIR - WALL	CRACK REPAIR - WALL
10	CRACK REPAIR - CEILING	10. CRACK REPAIR - CEILING	CRACK REPAIR - CEILING	CRACK REPAIR - CEILING
11	CRACK REPAIR - DOOR	11. CRACK REPAIR - DOOR	CRACK REPAIR - DOOR	CRACK REPAIR - DOOR
12	CRACK REPAIR - WINDOW	12. CRACK REPAIR - WINDOW	CRACK REPAIR - WINDOW	CRACK REPAIR - WINDOW
13	CRACK REPAIR - PORCH	13. CRACK REPAIR - PORCH	CRACK REPAIR - PORCH	CRACK REPAIR - PORCH
14	CRACK REPAIR - BALCONY	14. CRACK REPAIR - BALCONY	CRACK REPAIR - BALCONY	CRACK REPAIR - BALCONY
15	CRACK REPAIR - STAIR	15. CRACK REPAIR - STAIR	CRACK REPAIR - STAIR	CRACK REPAIR - STAIR
16	CRACK REPAIR - RAMP	16. CRACK REPAIR - RAMP	CRACK REPAIR - RAMP	CRACK REPAIR - RAMP
17	CRACK REPAIR - DRIVEWAY	17. CRACK REPAIR - DRIVEWAY	CRACK REPAIR - DRIVEWAY	CRACK REPAIR - DRIVEWAY
18	CRACK REPAIR - PAVEMENT	18. CRACK REPAIR - PAVEMENT	CRACK REPAIR - PAVEMENT	CRACK REPAIR - PAVEMENT
19	CRACK REPAIR - CURB	19. CRACK REPAIR - CURB	CRACK REPAIR - CURB	CRACK REPAIR - CURB
20	CRACK REPAIR - GUTTER	20. CRACK REPAIR - GUTTER	CRACK REPAIR - GUTTER	CRACK REPAIR - GUTTER
21	CRACK REPAIR - DOWNSPOUT	21. CRACK REPAIR - DOWNSPOUT	CRACK REPAIR - DOWNSPOUT	CRACK REPAIR - DOWNSPOUT
22	CRACK REPAIR - ROOF FLASHING	22. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING
23	CRACK REPAIR - WALL FLASHING	23. CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING
24	CRACK REPAIR - WINDOW FLASHING	24. CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING
25	CRACK REPAIR - DOOR FLASHING	25. CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING
26	CRACK REPAIR - PORCH FLASHING	26. CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING
27	CRACK REPAIR - BALCONY FLASHING	27. CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING
28	CRACK REPAIR - STAIR FLASHING	28. CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING
29	CRACK REPAIR - RAMP FLASHING	29. CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING
30	CRACK REPAIR - DRIVEWAY FLASHING	30. CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING
31	CRACK REPAIR - PAVEMENT FLASHING	31. CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING
32	CRACK REPAIR - CURB FLASHING	32. CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING
33	CRACK REPAIR - GUTTER FLASHING	33. CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING
34	CRACK REPAIR - DOWNSPOUT FLASHING	34. CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING
35	CRACK REPAIR - ROOF FLASHING	35. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING
36	CRACK REPAIR - WALL FLASHING	36. CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING
37	CRACK REPAIR - WINDOW FLASHING	37. CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING
38	CRACK REPAIR - DOOR FLASHING	38. CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING
39	CRACK REPAIR - PORCH FLASHING	39. CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING
40	CRACK REPAIR - BALCONY FLASHING	40. CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING
41	CRACK REPAIR - STAIR FLASHING	41. CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING
42	CRACK REPAIR - RAMP FLASHING	42. CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING
43	CRACK REPAIR - DRIVEWAY FLASHING	43. CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING
44	CRACK REPAIR - PAVEMENT FLASHING	44. CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING
45	CRACK REPAIR - CURB FLASHING	45. CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING
46	CRACK REPAIR - GUTTER FLASHING	46. CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING
47	CRACK REPAIR - DOWNSPOUT FLASHING	47. CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING
48	CRACK REPAIR - ROOF FLASHING	48. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING
49	CRACK REPAIR - WALL FLASHING	49. CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING
50	CRACK REPAIR - WINDOW FLASHING	50. CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING
51	CRACK REPAIR - DOOR FLASHING	51. CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING
52	CRACK REPAIR - PORCH FLASHING	52. CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING
53	CRACK REPAIR - BALCONY FLASHING	53. CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING
54	CRACK REPAIR - STAIR FLASHING	54. CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING
55	CRACK REPAIR - RAMP FLASHING	55. CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING
56	CRACK REPAIR - DRIVEWAY FLASHING	56. CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING
57	CRACK REPAIR - PAVEMENT FLASHING	57. CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING
58	CRACK REPAIR - CURB FLASHING	58. CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING
59	CRACK REPAIR - GUTTER FLASHING	59. CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING
60	CRACK REPAIR - DOWNSPOUT FLASHING	60. CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING
61	CRACK REPAIR - ROOF FLASHING	61. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING
62	CRACK REPAIR - WALL FLASHING	62. CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING
63	CRACK REPAIR - WINDOW FLASHING	63. CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING
64	CRACK REPAIR - DOOR FLASHING	64. CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING
65	CRACK REPAIR - PORCH FLASHING	65. CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING
66	CRACK REPAIR - BALCONY FLASHING	66. CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING
67	CRACK REPAIR - STAIR FLASHING	67. CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING
68	CRACK REPAIR - RAMP FLASHING	68. CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING
69	CRACK REPAIR - DRIVEWAY FLASHING	69. CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING
70	CRACK REPAIR - PAVEMENT FLASHING	70. CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING
71	CRACK REPAIR - CURB FLASHING	71. CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING
72	CRACK REPAIR - GUTTER FLASHING	72. CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING
73	CRACK REPAIR - DOWNSPOUT FLASHING	73. CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING
74	CRACK REPAIR - ROOF FLASHING	74. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING
75	CRACK REPAIR - WALL FLASHING	75. CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING
76	CRACK REPAIR - WINDOW FLASHING	76. CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING
77	CRACK REPAIR - DOOR FLASHING	77. CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING
78	CRACK REPAIR - PORCH FLASHING	78. CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING
79	CRACK REPAIR - BALCONY FLASHING	79. CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING
80	CRACK REPAIR - STAIR FLASHING	80. CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING
81	CRACK REPAIR - RAMP FLASHING	81. CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING
82	CRACK REPAIR - DRIVEWAY FLASHING	82. CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING
83	CRACK REPAIR - PAVEMENT FLASHING	83. CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING
84	CRACK REPAIR - CURB FLASHING	84. CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING
85	CRACK REPAIR - GUTTER FLASHING	85. CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING
86	CRACK REPAIR - DOWNSPOUT FLASHING	86. CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING
87	CRACK REPAIR - ROOF FLASHING	87. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING
88	CRACK REPAIR - WALL FLASHING	88. CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING	CRACK REPAIR - WALL FLASHING
89	CRACK REPAIR - WINDOW FLASHING	89. CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING	CRACK REPAIR - WINDOW FLASHING
90	CRACK REPAIR - DOOR FLASHING	90. CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING	CRACK REPAIR - DOOR FLASHING
91	CRACK REPAIR - PORCH FLASHING	91. CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING	CRACK REPAIR - PORCH FLASHING
92	CRACK REPAIR - BALCONY FLASHING	92. CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING	CRACK REPAIR - BALCONY FLASHING
93	CRACK REPAIR - STAIR FLASHING	93. CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING	CRACK REPAIR - STAIR FLASHING
94	CRACK REPAIR - RAMP FLASHING	94. CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING	CRACK REPAIR - RAMP FLASHING
95	CRACK REPAIR - DRIVEWAY FLASHING	95. CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING	CRACK REPAIR - DRIVEWAY FLASHING
96	CRACK REPAIR - PAVEMENT FLASHING	96. CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING	CRACK REPAIR - PAVEMENT FLASHING
97	CRACK REPAIR - CURB FLASHING	97. CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING	CRACK REPAIR - CURB FLASHING
98	CRACK REPAIR - GUTTER FLASHING	98. CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING	CRACK REPAIR - GUTTER FLASHING
99	CRACK REPAIR - DOWNSPOUT FLASHING	99. CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING	CRACK REPAIR - DOWNSPOUT FLASHING
100	CRACK REPAIR - ROOF FLASHING	100. CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING	CRACK REPAIR - ROOF FLASHING

NOTES:
1) All surfaces & materials not necessarily shown in their entirety. Contractor to review existing conditions on site and verify scope of work and quantities shown.
2) Hidden or unknown conditions are to be covered with the Architect for determination of treatment.

GENERAL NOTES

1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEAR PENETRATING SEALER, RE-SPECIFICATION
2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND, THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, REPAIR AND REPLACEMENT SCOPE OF WORK.
3. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORNICE TO BE REPLACED IN KIND.
4. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORNICE TO BE REPLACED IN KIND.
5. SEE DETAILS ON SHEET 1647-B-1 AND SCHEDULE 10 ON SHEET 1647-C FOR PROPOSED WINDOW SCOPE OF WORK.
7. RE. DEMOLITION SET ISSUED 12/17 FOR ADDITIONAL INFORMATION.
8. AT LOCATIONS MARKED **REPAIR** AT BOOK BUILDING, CONTRACTOR TO THOROUGHLY INSPECT ALL EXISTING FACADE FOR REPAIR LOCATIONS. COORDINATE WITH ARCHITECT.
9. REMOVE ALL EXTERIOR VINES OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS AT VEGETATION THAT ORIGINATES IN DEDICATED PLANTERS, CUT BACK TO LIMIT OF PLANTER AND PROTECT DURING CONSTRUCTION.
10. REMOVE ALL EXISTING GRAPES AND TAGGING ON EXTERIOR OF BUILDING.

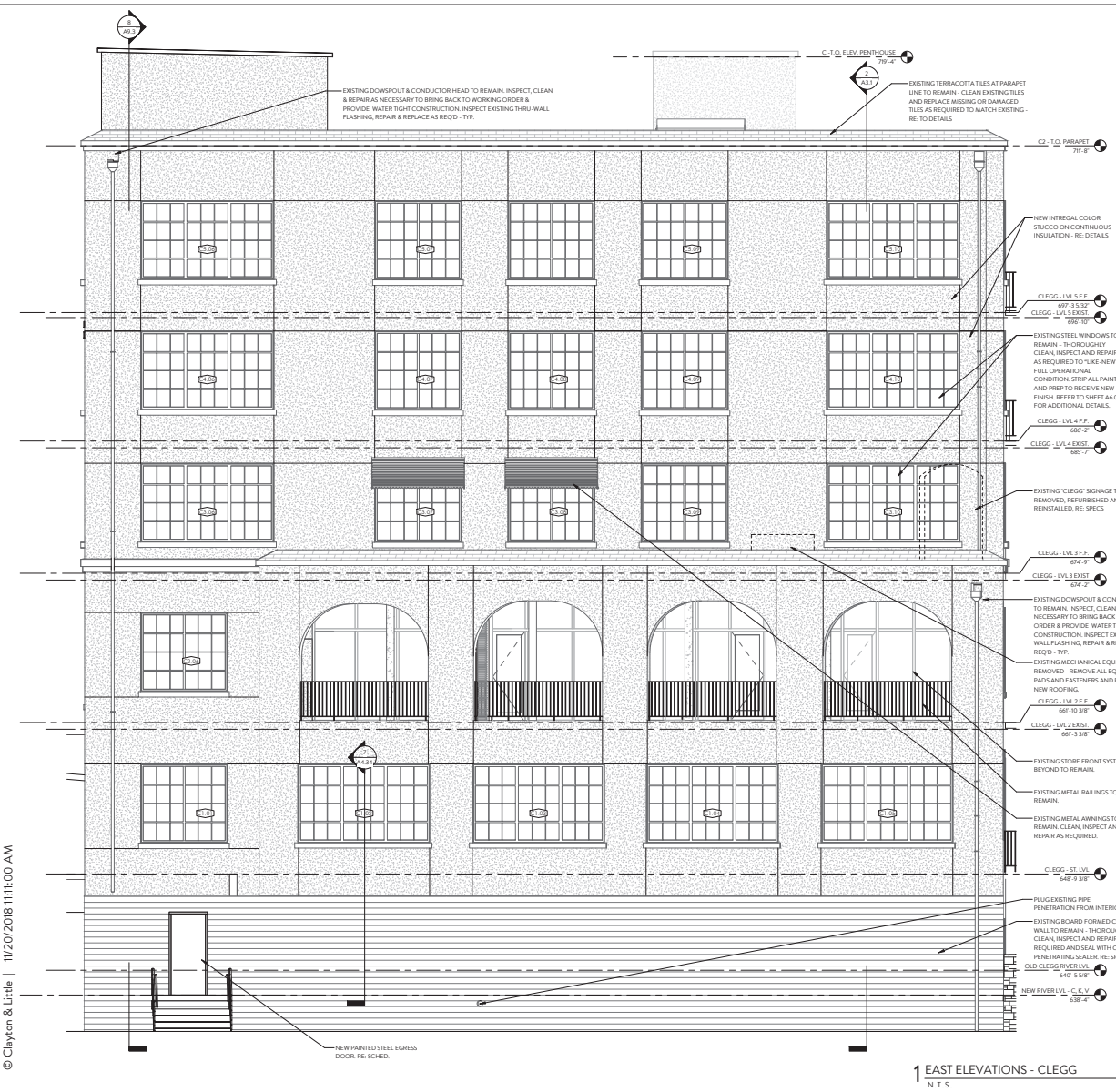


1 WEST ELEVATION - CLEGG
N.T.S.

VERAMENDI HOUSE
100 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

A2.3
EXTERIOR ELEVATIONS - CLEGG

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EXTERIOR CLEANING & REPAIR LEGEND					
SYMBOL	ITEM	REPAIR	REMARKS	LOCATION	NOTES
1	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
2	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
3	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
4	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
5	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
6	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
7	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
8	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
9	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED
10	EXISTING TERRAZZO	REPAIR	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED	REPAIR AS SPECIFIED

GENERAL NOTES

1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEAR PENETRATING SEALER, RE. SPECIFICATION.

2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND, THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, REPAIR AND REPLACEMENT SCOPE OF WORK.

3. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORPINGS TO BE REPLACED IN KIND.

4. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORPINGS TO BE REPLACED IN KIND.

5. SEE DETAILS ON SHEET A2.80 & A2.81 AND SCHEDULE ON SHEET A2.3 FOR PROPOSED WINDOW SCOPE OF WORK.

6. DEMOLITION SET ISSUED 12/17 FOR ADDITIONAL INFORMATION.

7. AT LOCATION MARKED WITH "X" IN BOOK BUILDING, CONTRACTOR TO THOROUGHLY INSPECT ALL EXISTING FACADE FOR REPAIR LOCATIONS. COORDINATE WITH ARCHITECT.

8. REMOVE ALL EXTERIOR VINES OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS AT VEGETATION THAT ORIGINATES IN DEDICATED PLANTERS, CUT BACK TO LIMIT OF PLANTER AND PROTECT DURING CONSTRUCTION.

9. REMOVE ALL EXISTING GRAFFITI AND TAGGING ON EXTERIOR OF BUILDINGS.

CLAYTON & LITTLE

PRELIMINARY
NOT FOR CONSTRUCTION

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ISSUED DATE 10-30-2018
PROJECT NUMBER 1647

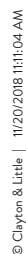
PERMIT SET

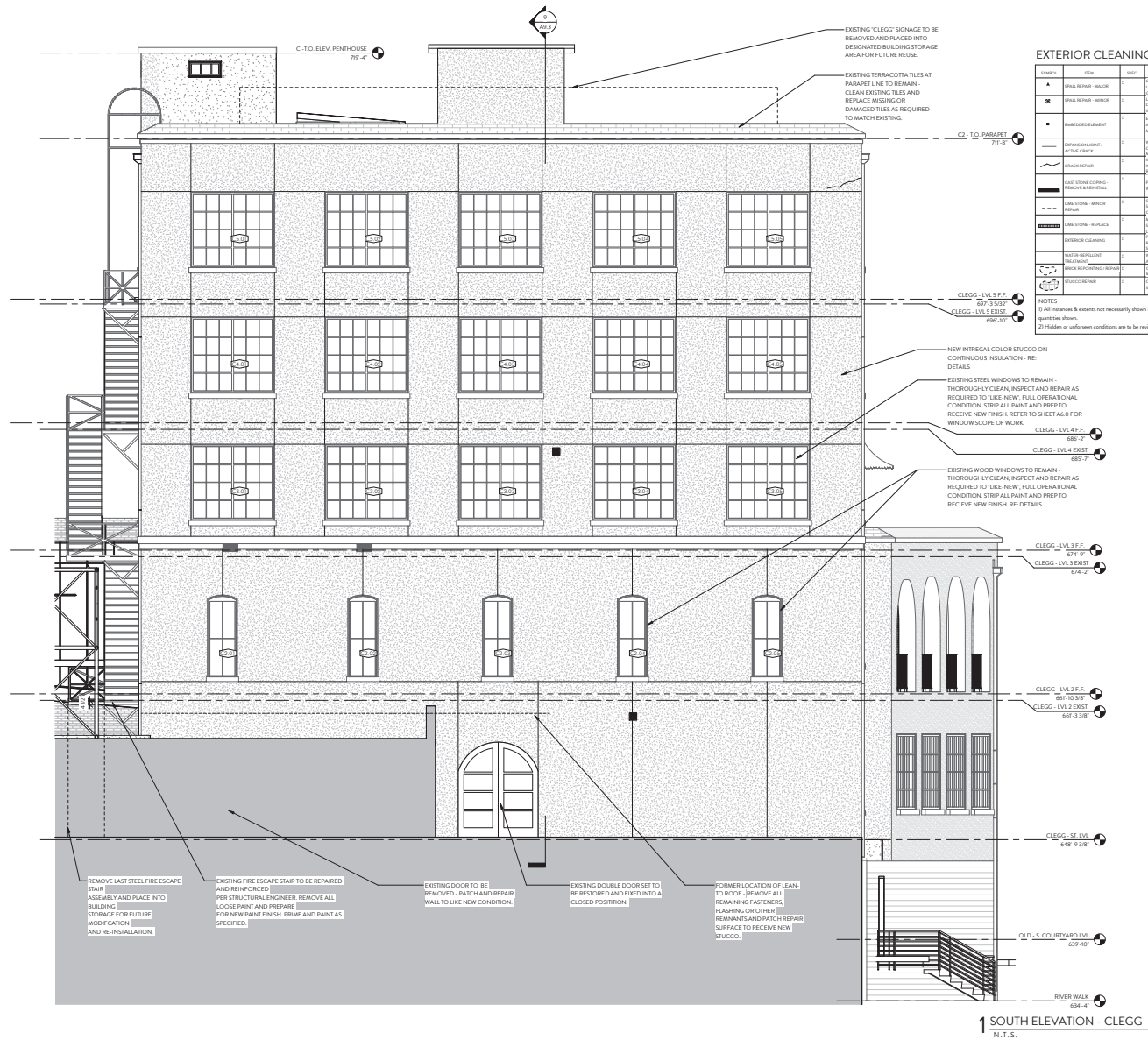
VERAMENDI HOUSE
130 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

A2.4
EXTERIOR ELEVATIONS - CLEGG

A2.5

EXTERIOR
ELEVATIONS -
CLEGG





EXTERIOR CLEANING & REPAIR LEGEND					
SYMBOL	ITEM	APPL.	DESCRIPTION OF DAMAGE	REPAIRS	NOTES
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME
■	CRACK REPAIR - WINDOW	X	CRACKS IN WINDOW FRAME	REPAIR CRACKS WITH EPOXY RESIN	CRACK REPAIR - WINDOW FRAME

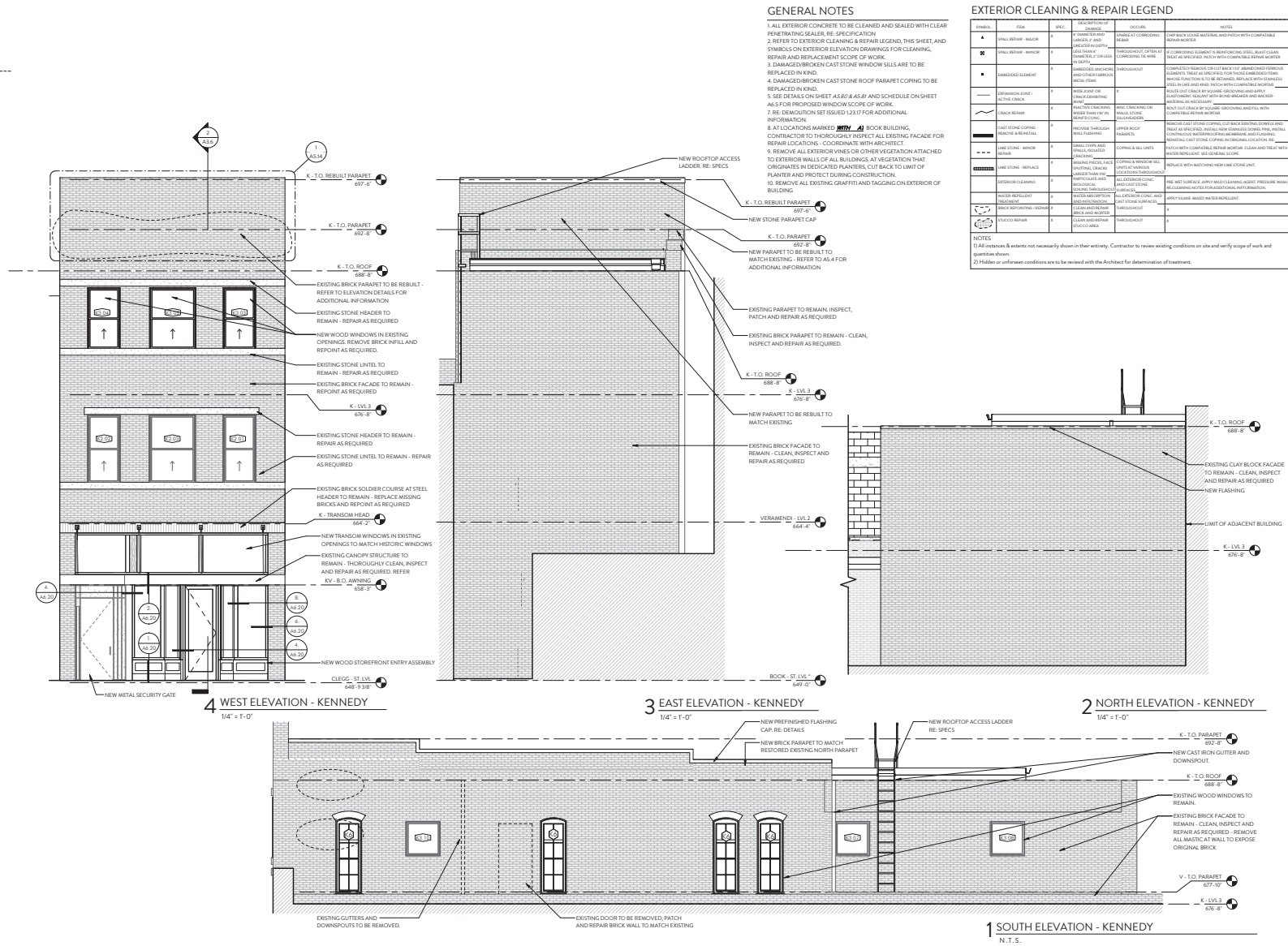
- GENERAL NOTES
1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEAR PENETRATING SEALER, RE: SPECIFICATION
 2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND, THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, REPAIR AND REPLACEMENT SCOPE OF WORK
 3. DAMAGED/BROKEN CAST STONE WINDOW SILL ARE TO BE REPLACED IN KIND
 4. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORING TO BE REPLACED IN KIND
 5. SEE DETAILS ON SHEET AS.0 & AS.01 AND SCHEDULE ON SHEET AS.0 FOR PROPOSED WINDOW SCOPE OF WORK
 6. RE: DEMOLITION SET ISSUED 12.17 FOR ADDITIONAL INFORMATION
 7. AT LOCATIONS MARKED WITH 'X' FOR ADDITIONAL INFORMATION, CONTRACTOR TO THOROUGHLY INSPECT ALL EXISTING FACADE FOR REPAIR LOCATIONS - COORDINATE WITH ARCHITECT
 8. REMOVE ALL EXTERIOR VINES OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS, AT VEGETATION THAT ORIGINATES IN DESIGNATED PLANTERS, CUT BACK TO LIMIT OF PLANTER AND PROTECT DURING CONSTRUCTION
 9. REMOVE ALL EXISTING GRAFFITI AND TAGGING ON EXTERIOR OF BUILDING

CLAYTON & LITTLE

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ISSUED DATE 10-30-2018
PROJECT NUMBER 1647
PERMIT SET

VERAMENDI HOUSE
130 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

A2.6
EXTERIOR ELEVATIONS - CLEGG

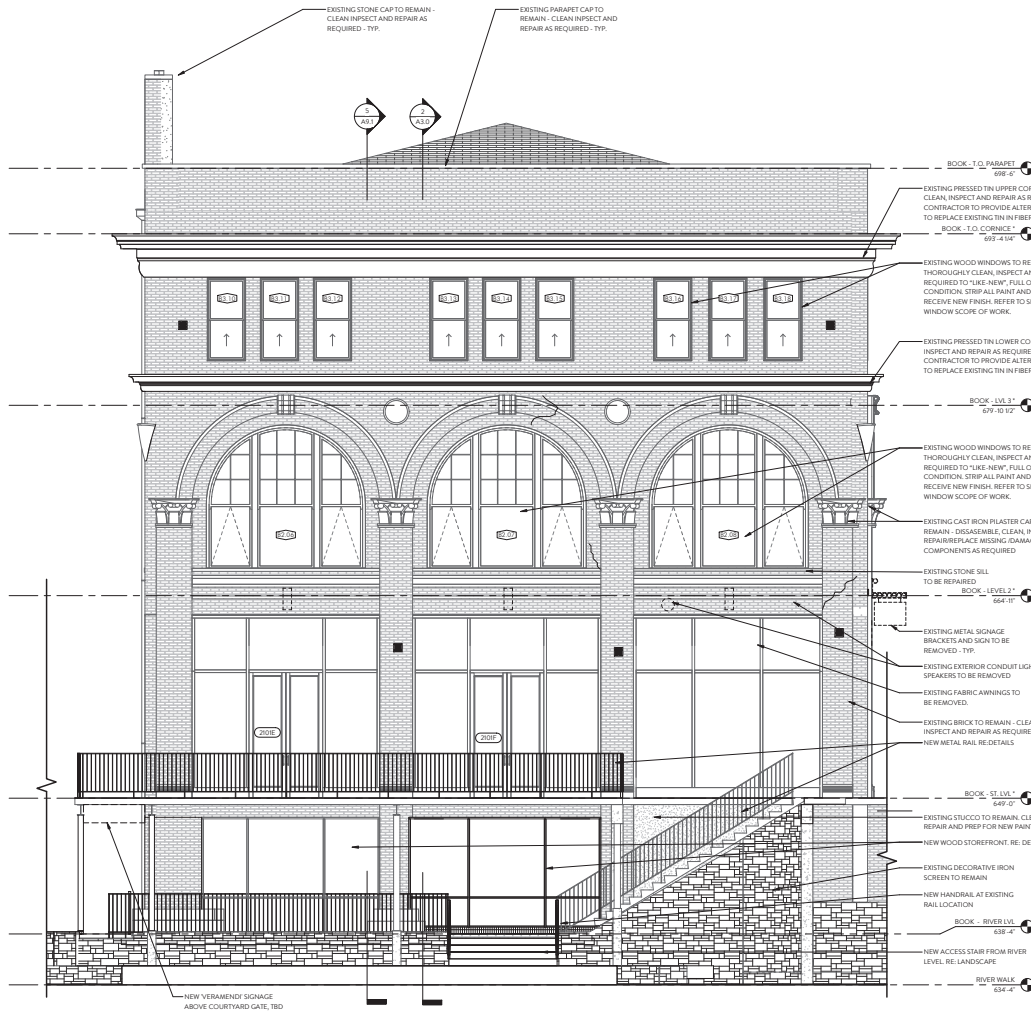


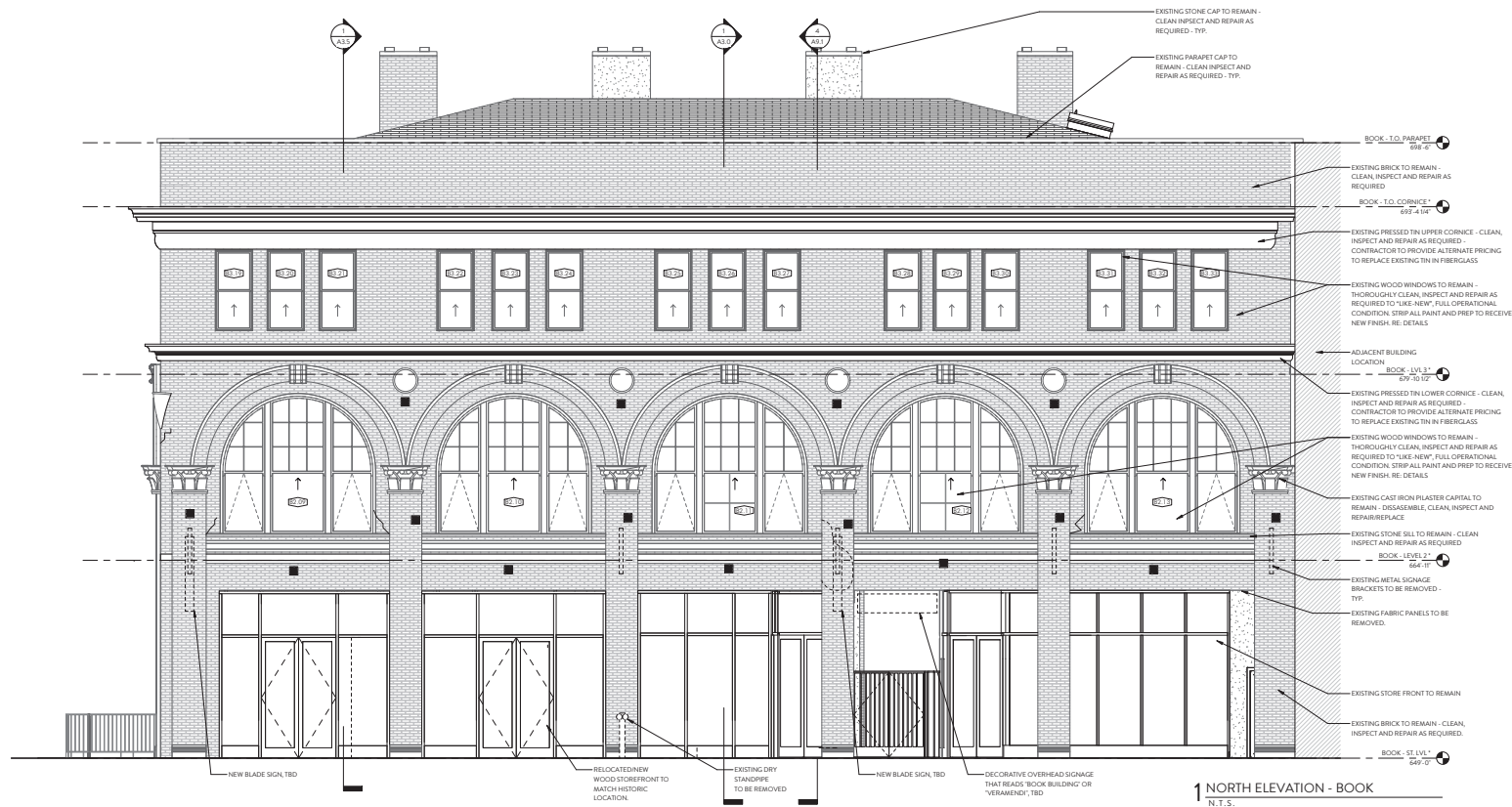
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ISSUED DATE 10-30-2018
PROJECT NUMBER 1647

PERMIT SET





GENERAL NOTES

1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEAR PENETRATING SEALER. RE-SPECIFICATION.
2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND, THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, REPAIR AND REPLACEMENT SCOPE OF WORK.
3. DAMAGED/BROKEN CAST STONE WINDOW SILLS ARE TO BE REPLACED IN KIND.
4. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORING TO BE REPLACED IN KIND.
5. SEE DETAILS ON SHEET A-500 & A-501 AND SCHEDULE ON SHEET A-5 FOR PROPOSED WINDOW SCOPE OF WORK.
7. RE DEMOLITION SET ISSUED 12/17 FOR ADDITIONAL INFORMATION.
8. AT LOCATIONS MARKED **NOTED**, A BOOK BUILDING, CONTRACTOR TO THOROUGHLY INSPECT ALL EXISTING FACADE FOR REPAIR LOCATIONS - COORDINATE WITH ARCHITECT.
9. REMOVE ALL EXTERIOR VINES OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS. AT VEGETATION THAT ORIGINATES IN DEDICATED PLANTERS, CUT BACK TO LIMIT OF PLANTER AND PROTECT DURING CONSTRUCTION.
10. REMOVE ALL EXISTING GRAFT AND TAGGING ON EXTERIOR OF BUILDING.

EXTERIOR CLEANING & REPAIR LEGEND

SYMBOL	ITEM	SPEC.	DESCRIPTION OF DAMAGE	LOCATION	NOTES
A	SMALL REPAIR - BRICK	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
B	SMALL REPAIR - BRICK	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
C	DAMAGED/BROKEN	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
D	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
E	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
F	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
G	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
H	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
I	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
J	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
K	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
L	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
M	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
N	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
O	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
P	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
Q	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
R	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
S	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
T	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
U	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
V	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
W	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
X	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
Y	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION
Z	REPAIR CRACKS AND DISCOLORATION	X	REPAIR CRACKS AND DISCOLORATION	BRICK - CORNER	REPAIR CRACKS AND DISCOLORATION

CLAYTON & LITTLE

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ISSUED DATE 10-30-2018
PROJECT NUMBER 1647

PERMIT SET

VERAMENDI HOUSE
180 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

A2.9
EXTERIOR
ELEVATIONS -
BOOK

A2.10

EXTERIOR ELEVATIONS - BOOK

[illegible]

1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEANER AND SEALER, SEE SPECIFICATIONS.
2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND, THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, REPAIR, AND SEALING.
3. DAMAGED/BROKEN CAST STONE WINDOW SILLS ARE TO BE REPLACED IN KIND.
4. DAMAGED/BROKEN CAST STONE ROOF PARAPET CORNICES TO BE REPLACED IN KIND.
5. SEE DETAILS ON SHEET A-8.0 & A-8.1P AND SCHEDULE ON SHEET A-9.0 FOR PROPOSED WINDOW SCREED OF WORK.
6. SEE DEMOLITION SET ISSUED 12/31 FOR ADDITIONAL INFORMATION.
7. ALL LOCATIONS MARKED **HPD** = BOOK BUILDING CONSTRUCTION CONTRACTOR TO PROVIDE TACKLING FACED FOR REPAIR LOCATIONS. **COORDINATE** WITH ARCHITECT.
8. REMOVE ALL EXTERIOR VINES OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS. ATTENTION THAT THIS SIGNATURE IS NOT TO BE USED TO GO BACK TO LIMIT OF PLANTER AND PROTECT DURING CONSTRUCTION.
9. REMOVE ALL EXISTING GRATING AND TAGGING ON EXTERIOR OF BUILDING.

— EXISTING STONE CAP TO REMAIN -
CLEAN INPSECT AND REPAIR AS
REQUIRED - TYP.

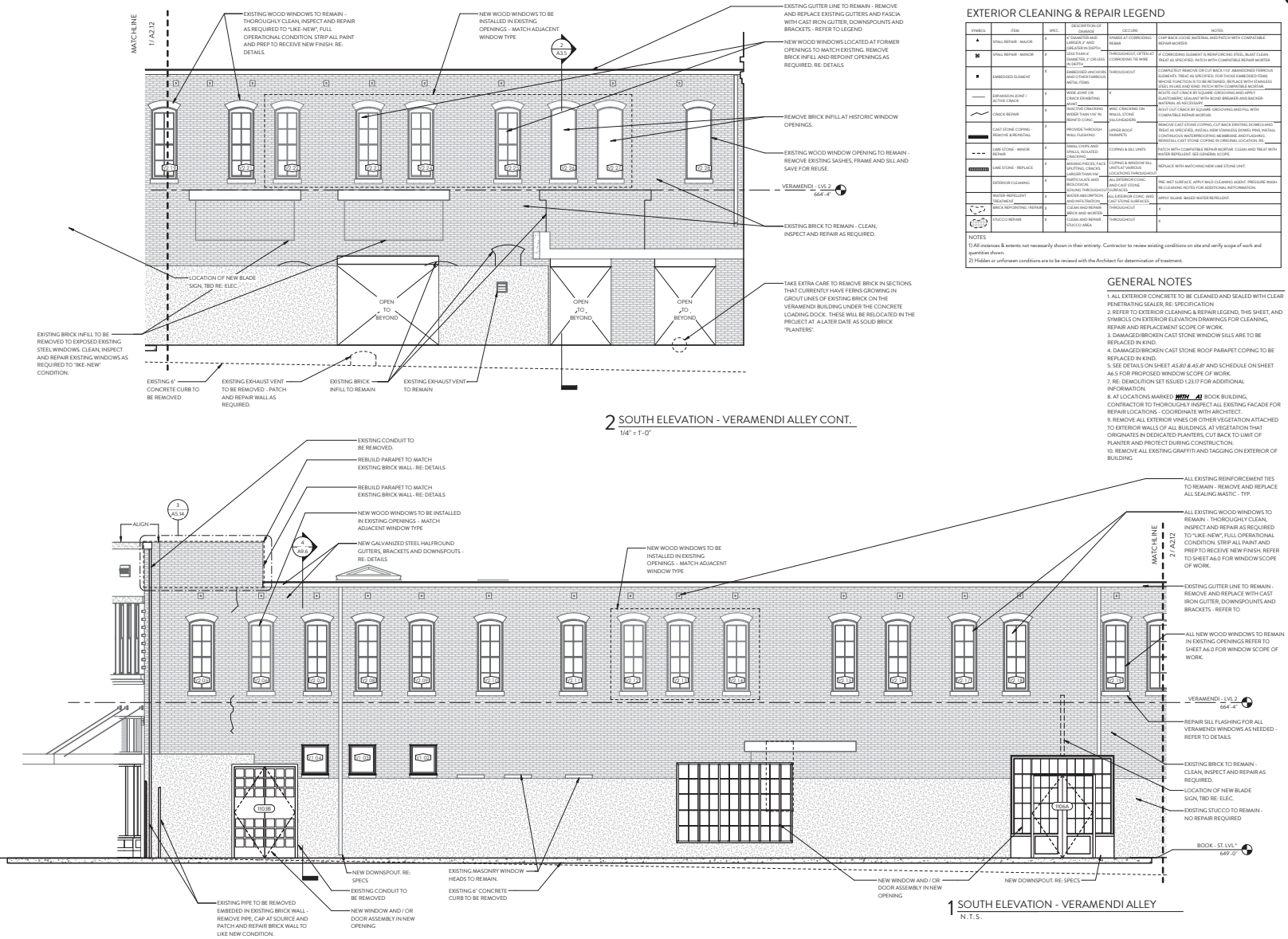
EXISTING STOREFRONT TC

1 SOUTH ELEVATION BOOK
N.T.S.

A2.11

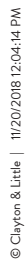
[illegible]

1. ALL EXTERIOR CONCRETE TO BE CLEANED AND SEALED WITH CLEAR PENETRATING SEALER. SEE SPECIFICATION
2. REFER TO EXTERIOR CLEANING & REPAIR LEGEND. THIS SHEET, AND SYMBOLS ON EXTERIOR ELEVATION DRAWINGS FOR CLEANING, AND REPAIR AND FINISHING OF EXTERIOR SURFACES.
3. DAMAGED BROKEN CAST STONE WINDOW SILL/SAFE TO BE REPLACED IN KIND.
4. DAMAGED BROKEN CAST STONE ROOF PARAPET CONTING TO BE REPLACED IN KIND.
5. SEE DETAILS ON SHEET 5.8.0 AS A/R AND SCHEDULE ON SHEET 5.6.5 FOR PROPOSED WINDOW SCHEME OF WORK.
7. THE DEDICATION SET ISSUED 23 OF FOR ADDITIONAL INFORMATION.
8. B/L LOCATIONS MARKED **INTX** A/B BOOK BUILDING, CONTAINING TO THOROUGHLY INSPECT ALL EXISTING FACADE FOR DEFECTS AND COORDINATE WITH ARCHITECT.
9. REMOVE ALL EXTERIOR WOODS OR OTHER VEGETATION ATTACHED TO EXTERIOR WALLS OF ALL BUILDINGS. AT VEGETATION THAT ORIGINATES IN DEDICATED PLANTINGS, CUT BACK TO LIMIT OF PLANTING AREA.
10. REMOVE ALL EXISTING GRAFFITI AND TAGGING ON EXTERIOR SURFACES.









CLAYTON & LITTLE

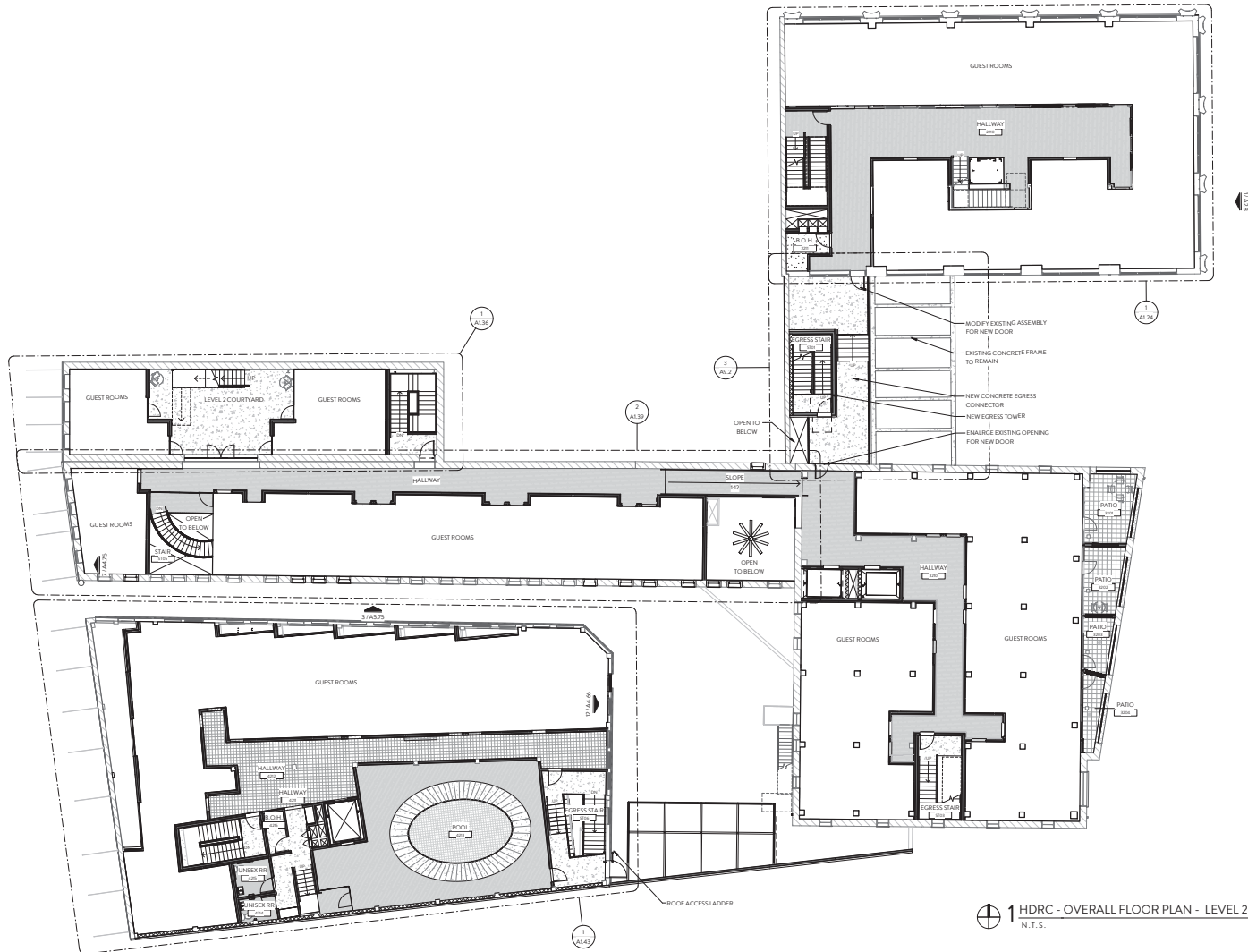
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ISSUED DATE 10-30-2018
PROJECT NUMBER 1647

PERMIT SET

VERAMENDI HOUSE
180 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

H1.03
Overall Floor Plan
Level 2



1 HDRC - OVERALL FLOOR PLAN - LEVEL 2
N.T.S.

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LEVEL TWO PLAN | VERAMENDI HOUSE
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205
PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 37 of 47

CLAYTON & LITTLE

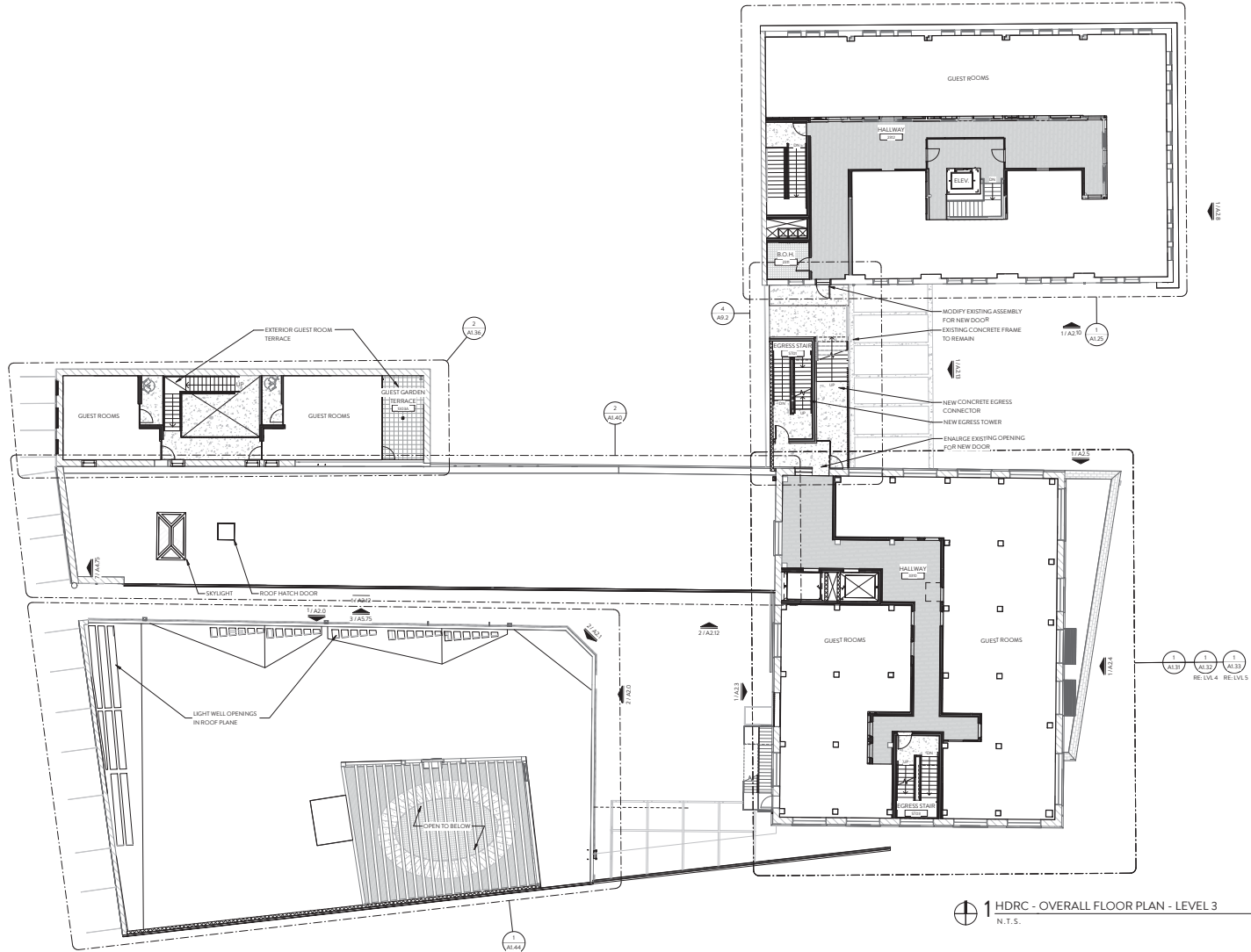
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ISSUED DATE Δ
PROJECT NUMBER 1647

PERMIT SET

VERAMENDI HOUSE
130 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

H1.04
Overall Floor Plan
Level 3



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LEVEL THREE PLAN | VERAMENDI HOUSE
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205
PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 38 of 47

CLAYTON & LITTLE

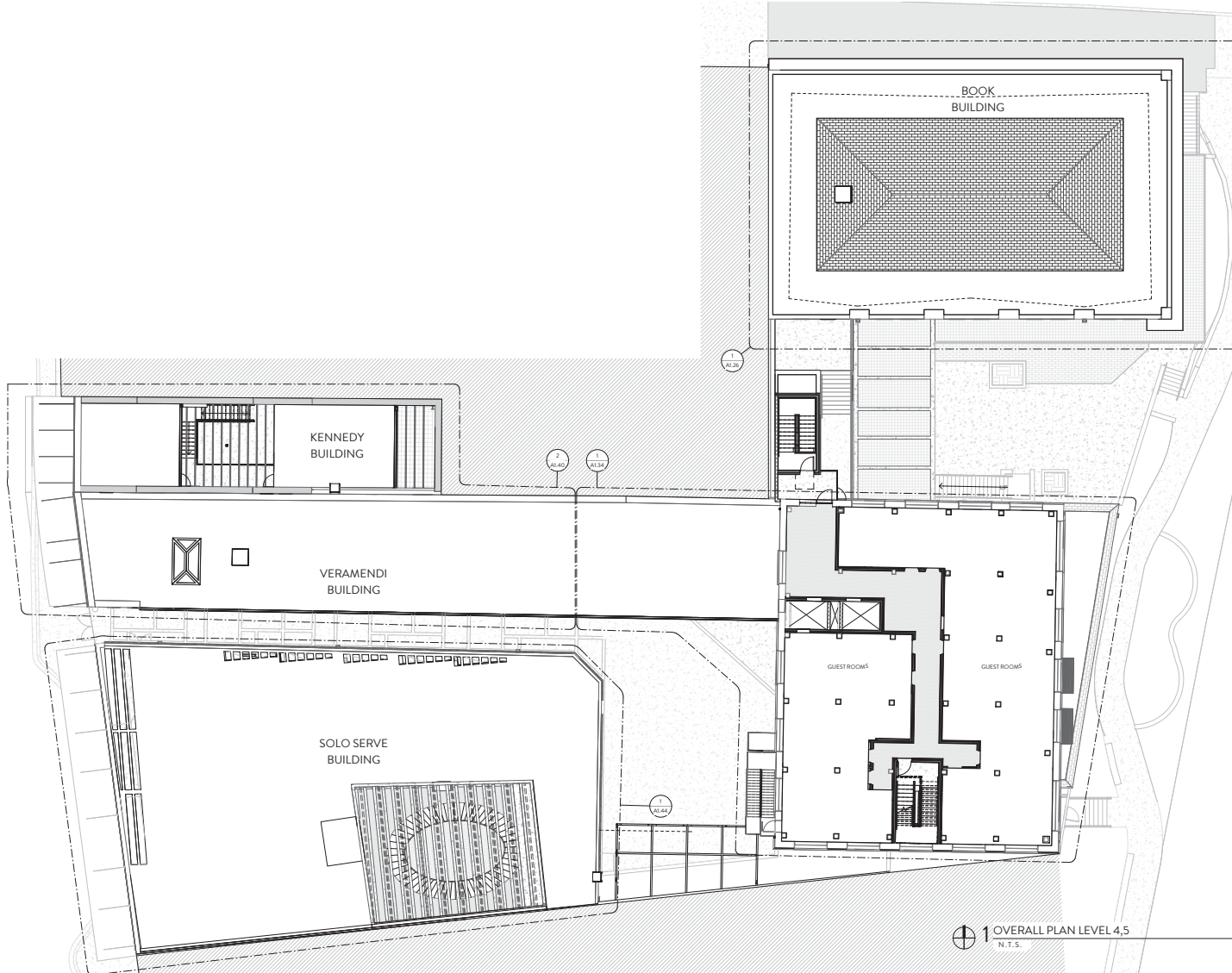
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construction purposes.

ISSUED DATE 
PROJECT NUMBER 1647

PERMIT SET

VERAMENDI HOUSE
130 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

H1.05
Overall Floor Plan
Level 4,5



1 OVERALL PLAN LEVEL 4,5
N.T.S.

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& LITTLE

LEVEL FOUR & FIVE PLAN | VERAMENDI HOUSE
124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205
PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 39 of 47

CLAYTON & LITTLE

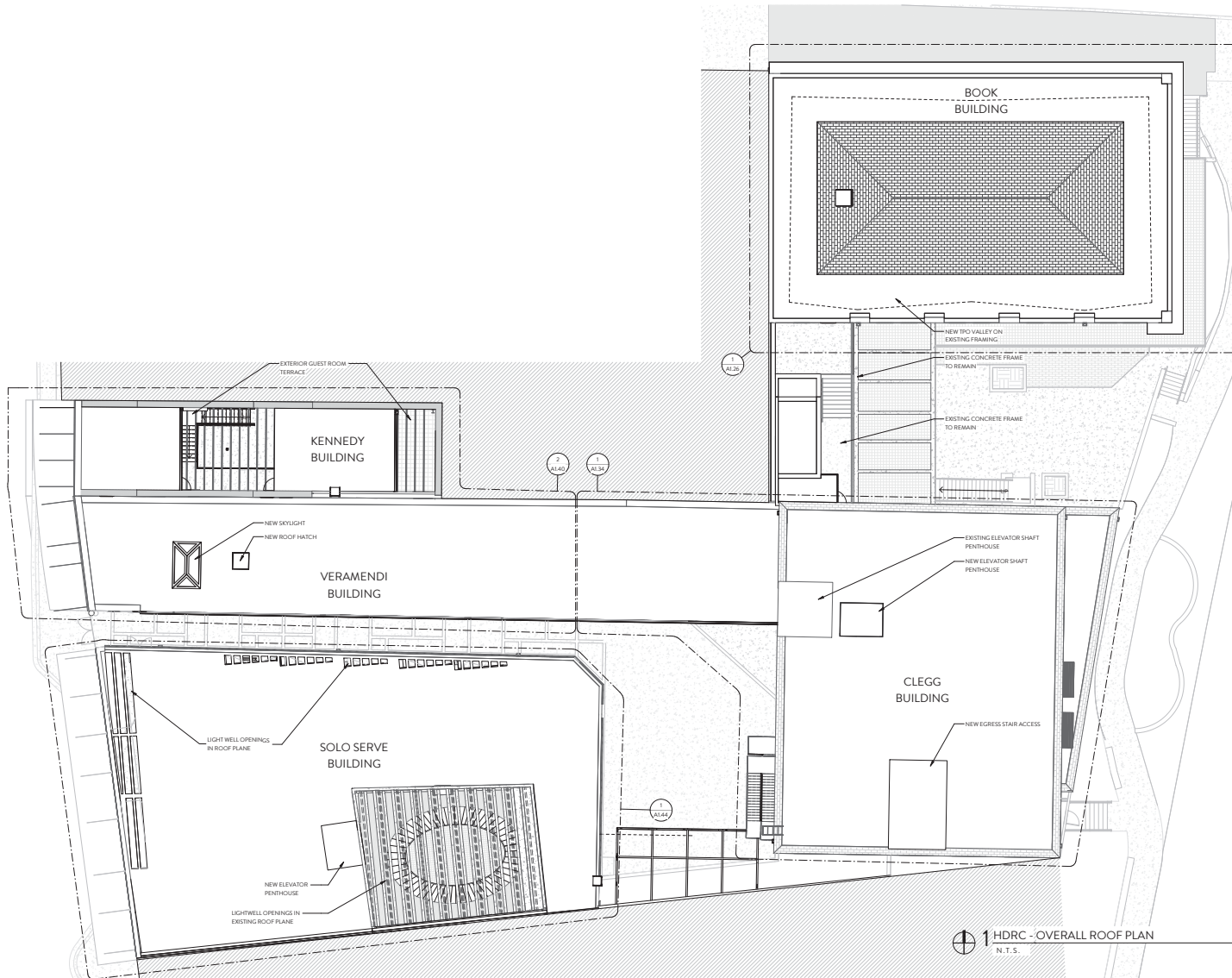
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construction purposes.

ISSUED DATE: 11/16/18
PROJECT NUMBER: 1647

PERMIT SET

VERAMENDI HOUSE
130 SOLEDAD STREET
SAN ANTONIO, TEXAS 78205

H1.06
Overall Roof Plan



1" = 10' - 0"
N.T.S.

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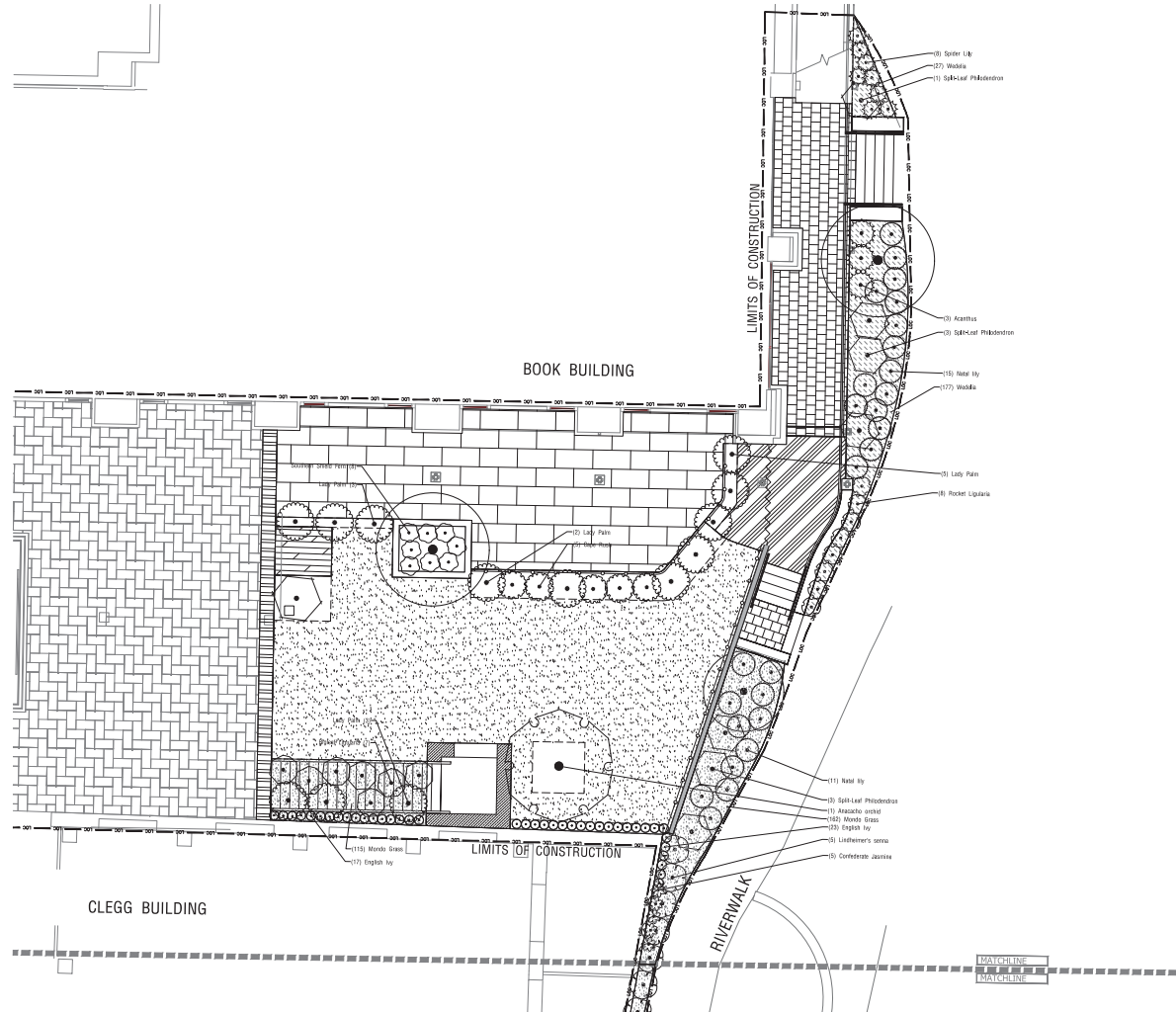
CLAYTON
& LITTLE

ROOF PLAN | VERAMENDI HOUSE

124, 130, 134 SOLEDAD + 140 E. HOUSTON ST. | SAN ANTONIO, TEXAS 78205
PRELIMINARY - NOT FOR CONSTRUCTION | NOVEMBER 16, 2018 | 40 of 47

PLANT SCHEDULE RIVER LEVEL

TREES	COMMON NAME
	Anacacho orchid
	Texas Mountain Laurel
SHRUBS	COMMON NAME
	Acanthus
	Bigleaf Ligularia
	Cape Rush
	English Ivy
	Lady Palm
	Lindheimer's senna
	Natal Ivy
	New Zealand Flax
	Rock Ligularia
	Southern Shrub Fern
	Spider Lily
	Spoke-Leaf Philodendron
VINES/SPANIER	COMMON NAME
	Confederate Jasmine
SHRUB AREAS	COMMON NAME
	Cross Vine
GROUND COVERS	COMMON NAME
	Mondo Grass
	Wedelia



PHARIS DESIGN
PLANNING & LANDSCAPE ARCHITECTURE
1800 E. LAMAR BL., AUSTIN, TX 78704
512-453-6882 www.pharisdsgn.com



VERAMENDI HOUSE

OWNER
SOLEDAD HOUSE, LLC



















DEVELOPER
SOLEDAD HOUSE, LLC

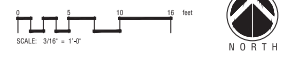
RIVER LEVEL: PLANTING PLAN

PLAN SET
DATE 9/25/18 DESCRIPTION PERMIT SET

SHEET NO. **L1.1**

PLANT SCHEDULE RIVER LEVEL

TREES	COMMON NAME
	Anacacho orchid
	Texas Mountain Laurel
SHRUBS	COMMON NAME
	Acanthus
	Bigleaf Ligularia
	Cape Ruah
	English Ivy
	Lady Palm
	Lindheimer's semina
	Natally
	New Zealand Flax
	Rocket Ligularia
	Southern Shield Fern
	Spider Lily
	Split-leaf Philodendron
VINE/SPALIER	COMMON NAME
	Confederate Jasmine
SHRUB AREAS	COMMON NAME
	Cross Vine
GROUND COVERS	COMMON NAME
	Mondo Grass
	Wedelia



PHARIS DESIGN
PLANNING & LANDSCAPE ARCHITECTURE
1800 E. Lamar St., Austin, TX 78704
512-453-6882 www.pharisdesign.com

VERAMENDI HOUSE

OWNER: SOLEDAD HOUSE, LLC
DEVELOPER: SOLEDAD HOUSE, LLC
134 SOLEDAD STREET AND E. HOUSTON STREET
SAN ANTONIO, TX 78205

RIVER LEVEL: PLANTING PLAN

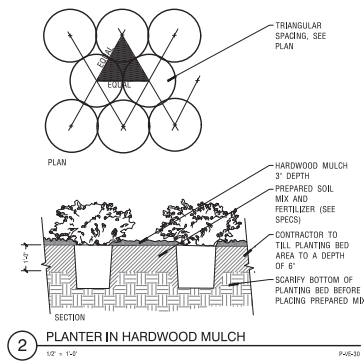
PLAN SET
DATE: 9/25/18 DESCRIPTION: PERMIT SET

SHEET NO. **L1.2**

PLAN SET	
DATE	DESCRIPTION
3/25/18	PERMIT SET

RAMENDI HOUSE
SAN ANTONIO, TEXAS 78205
OCTOBER 16, 2018 | 43 of 47









1. LAZY SLOES
2. A CLAY CONCRET
3. DO NOT HEAVILY PRUNE THE TREE AT PLANTING, PRUNE ONLY CRASSER, LEAVE CROWN AND BRANCHES UNPRUNED ON DEAD BRANCHES, USE BYPASS WINGS AND LEXTER BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
4. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND REORIENT THAT TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
5. TENDER BRUCKLE
6. LEOP CLOSE END OF BRANCHES AROUND LEADING BRANCH OF TREE, 100 100
7. BRUSH DIRT BACKWARDS FROM BRUCKLE, PULL BRUCKLE TOWARDS ABRASION TOP
8. STRAP PLACEMENT
9. EACH TREE MUST BE PLANTED SUCH THAT THE THINKE BALL IS LEVEL AT THE TOP OF THE ROOT BALL, THREE WHERE THE THINKE BALL IS NOT VISIBLE SHALL BE REJECTED, DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
10. 100 MM (4 IN) HARD EARTH SAUNDER BEYOND EDGE OF ROOT BALL.
11. REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL.
12. TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE DO NOT ROOT BALL OVER HOT SPOT.
13. PLACE ROOT BALL ON UNDEVELOPED OR TAMPED SOIL.

VERAMENDI HOUSE	SOLEDAD STREET AND E HOUSTON STREET SAN ANTONIO, TX 78205	PLANTING DETAILS
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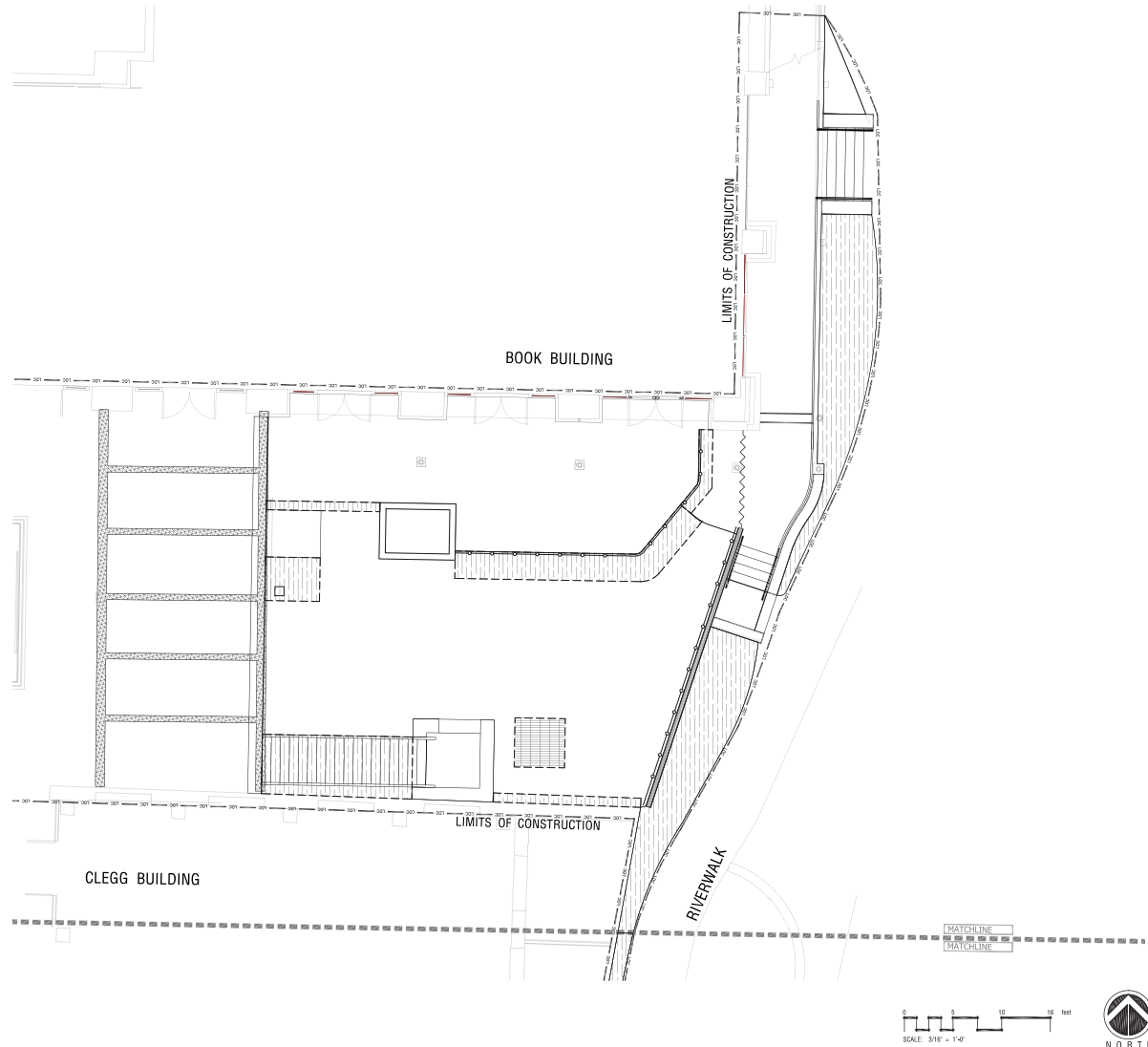
SHEET NO. **L1.4**

LEGEND

-  UNDERGROUND PLANTER IRRIGATION
-  DRIP IRRIGATION
-  SPAGHETTI TUBING EMITTERS FOR POTTED PLANTS
-  SPRAY HEADS - SEE LIVE ROOF IMAGE BELOW



SPRAY HEAD MODULES
APPLICATION FOR LIVEROOF



PHARIS DESIGN
PLANNING | LANDSCAPE ARCHITECTURE
1800 E. Lamar St., Austin, TX 78704
512-453-6882 www.pharisdsgn.com



VERAMENDI HOUSE

OWNER
SOLEDAD HOUSE, LLC

DEVELOPER
SOLEDAD HOUSE, LLC

RIVER LEVEL: IRRIGATION PLAN

PLAN SET
DATE 9/25/18 DESCRIPTION PERMIT SET

SHEET NO. **L1.5**

LEGEND



UNDERGROUND PLANTER
IRRIGATION



DRIP IRRIGATION



SPAGHETTI TUBING EMITTERS
FOR POTTED PLANTS



SPRAY HEADS - SEE LIVE ROOF
IMAGE BELOW



SPRAY HEAD MODULES
APPLICATION FOR LIVEROOFTOP



SCALE: 3/16" = 1'-0"



VERAMENDI HOUSE

OWNER
SOLEDAD HOUSE, LLC

DEVELOPER
SOLEDAD STREET AND E. HOUSTON STREET
SAN ANTONIO, TX 78205

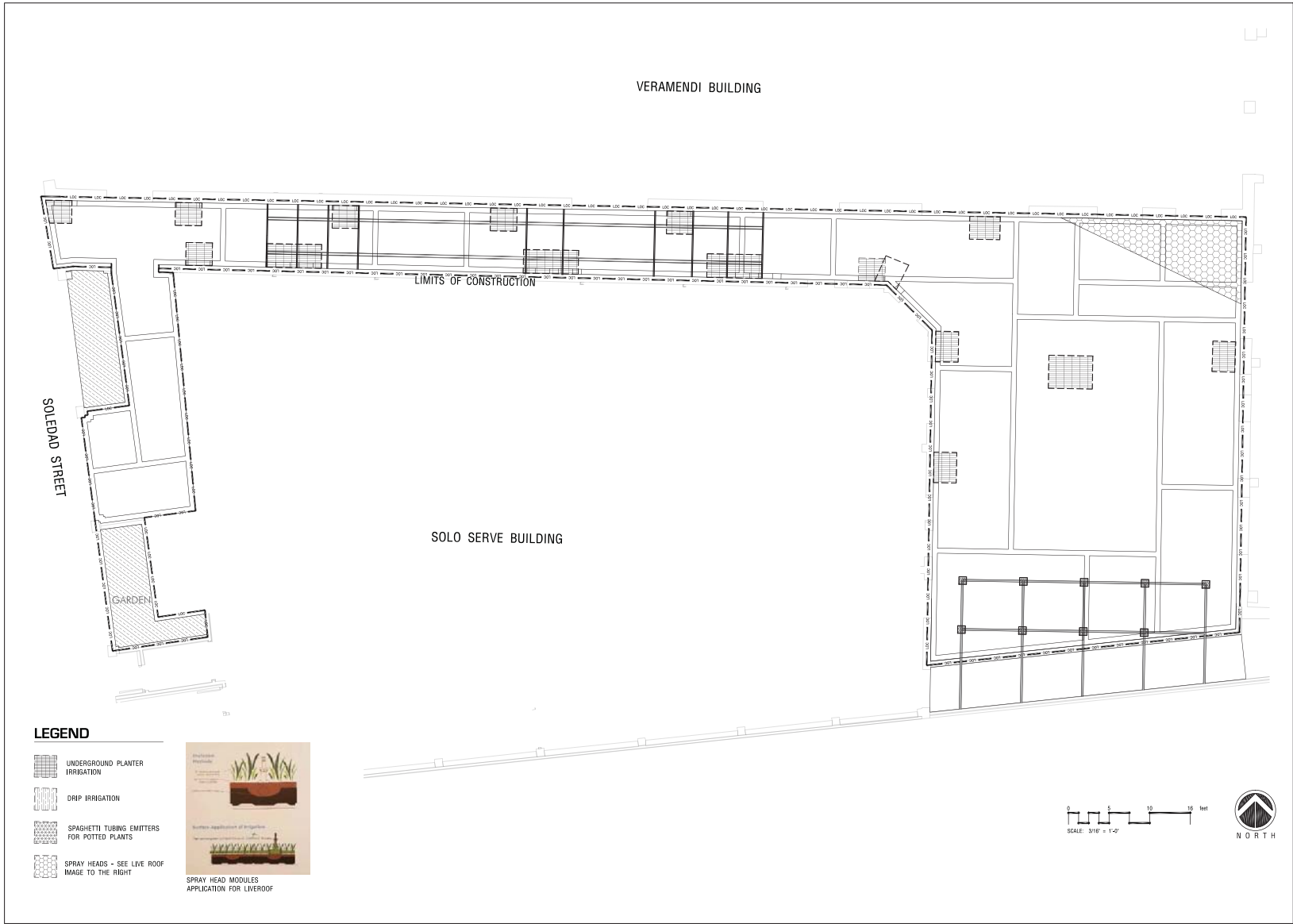
RIVER LEVEL: IRRIGATION PLAN

PLAN SET
DATE 9/25/18 DESCRIPTION PERMIT SET

SHEET NO. **L1.6**

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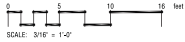


LEGEND

- UNDERGROUND PLANTER IRRIGATION
- DRIP IRRIGATION
- SPAGHETTI TUBING EMITTERS FOR POTTED PLANTS
- SPRAY HEADS - SEE LIVE ROOF IMAGE TO THE RIGHT



SPRAY HEAD MODULES APPLICATION FOR LIVEROOF



VERAMENDI HOUSE

OWNER
SOLEDAD HOUSE, LLC

DEVELOPER
SOLEDAD HOUSE, LLC

SOLEDAD STREET AND E HOUSTON STREET
SAN ANTONIO, TX 78205

SOLEDAD STREET LEVEL: IRRIGATION PLAN

PLAN SET
DATE
9/25/18

SHEET NO. **L1.7**



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2005 S. Lamar Rd., Austin, TX 78704
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