HISTORIC AND DESIGN REVIEW COMMISSION December 05, 2018

HDRC CASE NO: 2018-563

ADDRESS: 401 E HOUSTON ST

106 JEFFERSON ST

LEGAL DESCRIPTION: NCB 417 BLK 19 CIR 6 & W 1.1 FT OF 5 ARB A1

ZONING: D,HS **CITY COUNCIL DIST.:** 1

LANDMARK: Burns Building, Washer Bros Building APPLICANT: Ashley Riley/AREA Real Estate

OWNER: 401 E Houston, LLC
TYPE OF WORK: Historic Tax Verification
APPLICATION RECEIVED: November 12, 2018
60-DAY REVIEW: January 11, 2019

REQUEST:

The applicant is requesting Historic Tax Verification for the property at 401 E Houston.

APPLICABLE CITATIONS:

Sec. 35-618. - Tax Exemption Qualifications.

- (a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:
 - (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
 - (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to

- the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.
- (2) Tax Assessor-Collector Approval. Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.
- (e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.
- (f) Historic Preservation Tax Exemptions.
 - (1) Historic Preservation Tax Exemption for Residences in Need of Substantial Repair. In accordance with the provisions of this chapter, a historically significant residential building, which meets both the definitions of a historically significant site in need of tax relief to encourage preservation and of a residential property in Appendix "A" of this chapter, and is either individually designated or is located within the boundaries of a locally designated historic district which is substantially rehabilitated and is approved by the chief appraiser of the Bexar County Appraisal District, shall have an assessed value for ad valorem taxation as follows:
 - A. A residential property shall have no assessed value for ad valorem taxation for a period of five (5) tax years after verification, as defined in Appendix "A" to this chapter. Thereafter, the exempt property shall be reappraised at current market value and assessed at a fifty (50) percent rate for an additional consecutive five-year period.
 - B. This exemption shall begin on the first day of the first tax year after verification of completion of the substantial rehabilitation by the historic and design review commission, provided compliance with subsection (b) of this section.
- (g) Eligibility.
- (1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

- a. The applicant is requesting Historic Tax Verification for the property at 401 E Houston/106 Jefferson, individually designated as the Burnings Building and Washer Bros Building historic site. The applicant is simultaneously requesting Historic Tax Certification for the property at the December 19, 2018 HDRC hearing.
- b. A number of rehabilitative scopes of work have been approved including: 1) clean masonry, repair, seal and paint windows, 2) repair canopy, paint fascia, paint soffit, 3) replace storefront display lighting and paint exterior millwork, 4) paint north façade facing Tobin Center 5) paint 5th floor masonry veneer, 6) repair first floor retail windows and copper glazing, 7) new entry door on Jefferson St, 8) repair and repaint main Houston street soffit, 9) repair sidewalk and main exterior foyer, 10) new exterior lighting on Houston St & Jefferson St. facades, 11) repair and replace non-original fifth floor windows, 12) add missing additional windows on non-original fifth floor, 13) painting exterior surfaces, 14) installation of conduit, and 15) the installation of modular parklet streetscape. In addition to the previously noted exterior items, a number of interior scopes of work have been planned or completed including electrical and mechanical improvements, interior finishes and framing. The project began in June 2017 and was completed by November 2018.

- c. The applicant submitted an itemized list of cost that meets the threshold to be eligible for Historic Tax Certification.
- d. The requirements for Historic Tax Certification outlined in UDC Section 25-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs, an itemized list of cost, and a timeline of completion.
- e. Approval of Tax Verification by the HDRC in 2018 means that the property owners will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2019.

RECOMMENDATION:

Staff recommends approval of Historic Tax Verification based on findings b through d.

CASE MANAGER:

Huy Pham



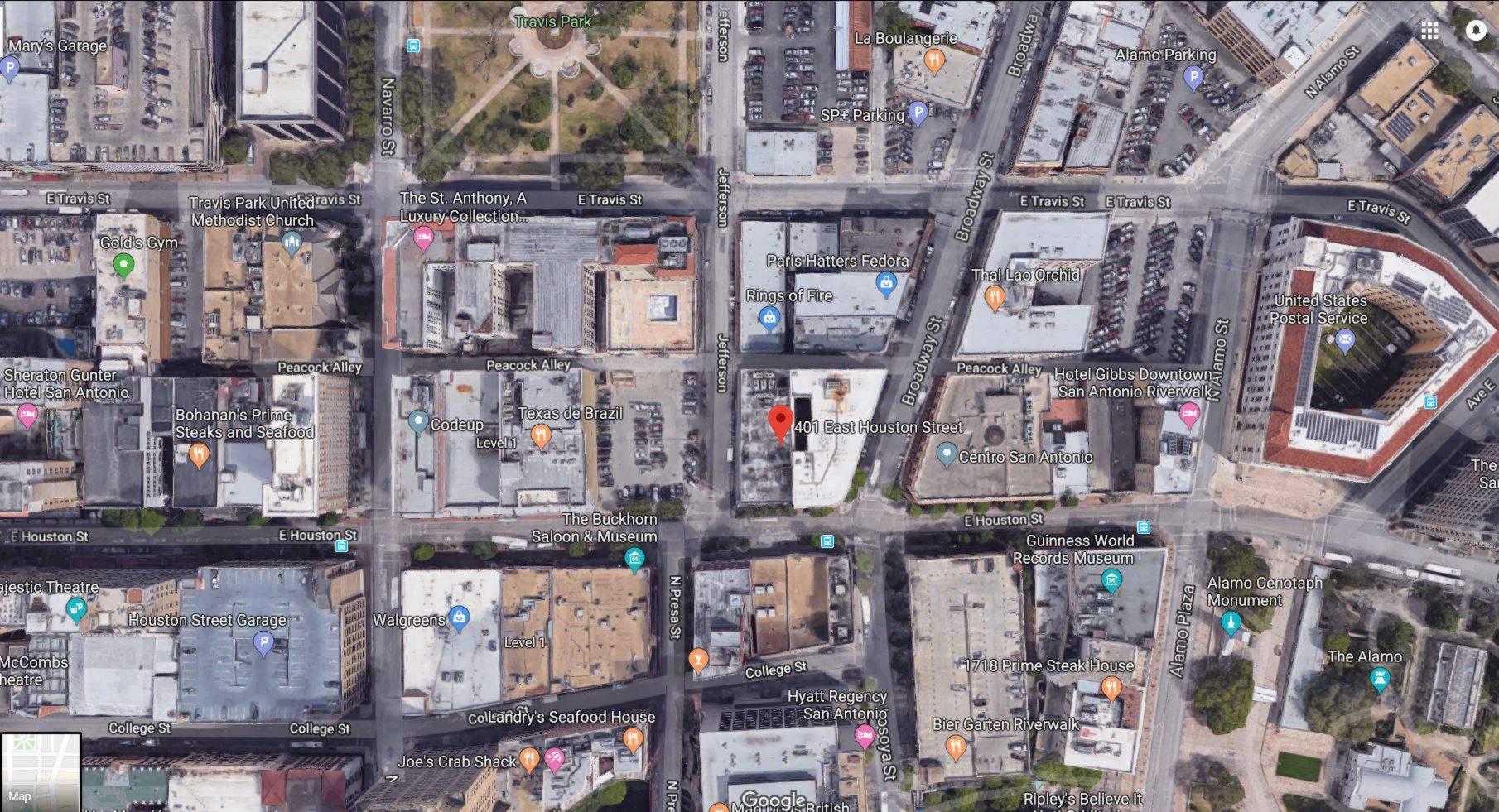


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Printed:Sep 1 , 2018

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NO. IM2308514

CITY OF SAN ANTONIO, TEXAS

DATE: 09/28/2018

DEVELOPMENT SERVICES DEPARTMENT

CERTIFICATE OF OCCUPANCY

THIS IS TO CERTIFY that the building located at:

Address of Location 106 JEF

106 JEFFERSON ST

Lot: 6

Block: 19

NCB: 417

has been inspected and the following occupancy thereof is hereby authorized:

Occupant Group: B

Occupant Load: 295

Occupant: BURNS BUILDING

Description of Business: Office- To include all levels at 106 Jefferson & 401 E Houston

along with shell spaces.

DBA Name: BURNS BUILDING

MIM

DIRECTOR OF DEVELOPMENT SERVICES

PHOTO KEY Burns Building San Antonio, Tx 7 10 8 EXISTING MEZZANNE NEW MEZZANNE Burns Building San Antonio, Tx

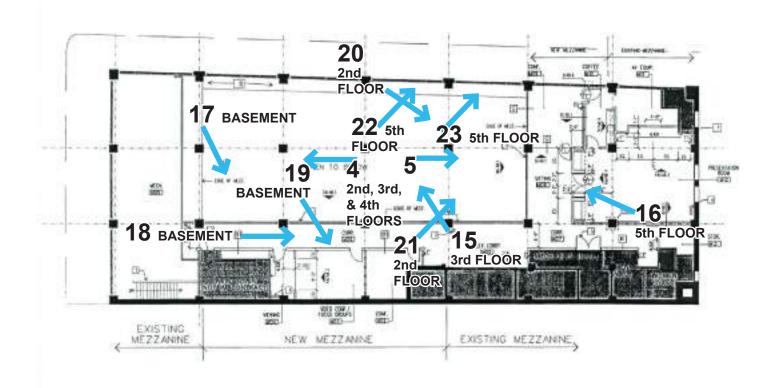




Photo #1: First floor looking North, 6/2017



Photo #1: First floor looking North, 10/18



Photo #2: First floor Southeast corner, 6/2017



Photo #2: First floor Southeast corner, 10/18



Photo #3: First floor column detail, 6/2017



Photo #3: First floor column detail, 10/18



Photo #4: Second floor, typical looking South, 6/2017

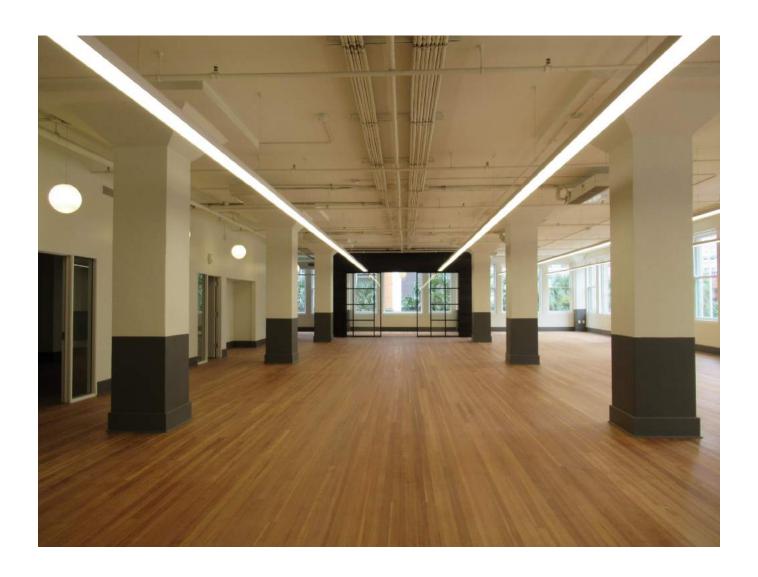


Photo #4: Second floor, new typical looking South, 10/18

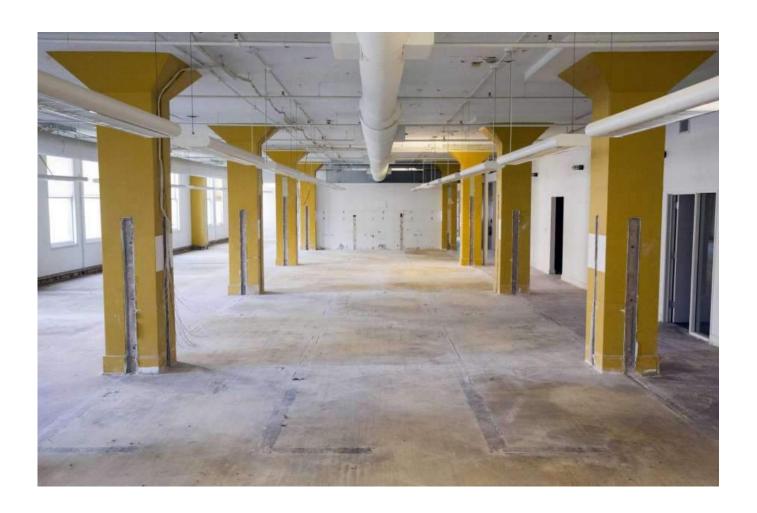


Photo #5: Typical interior floor looking North, 6/2017

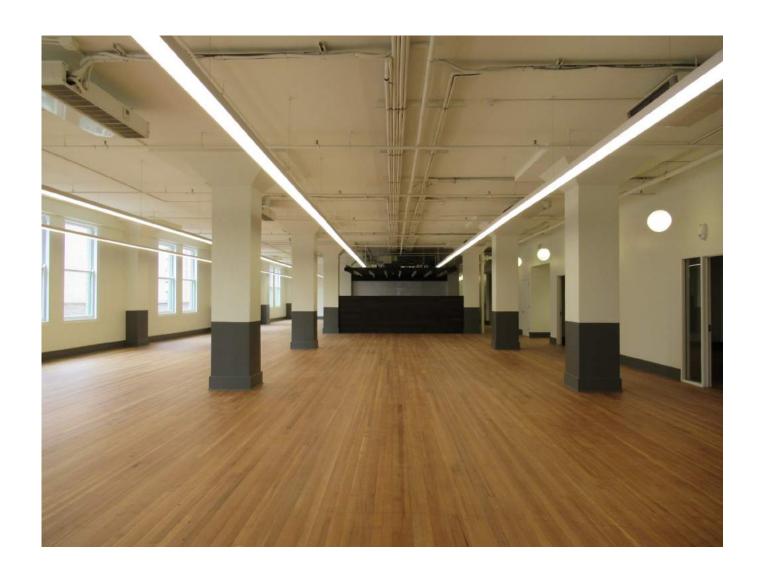


Photo #5: Second floor, new typical interior floor looking North, 10/18



Photo #6: West elevation, 6/2017



Photo #6: West elevation, 10/18

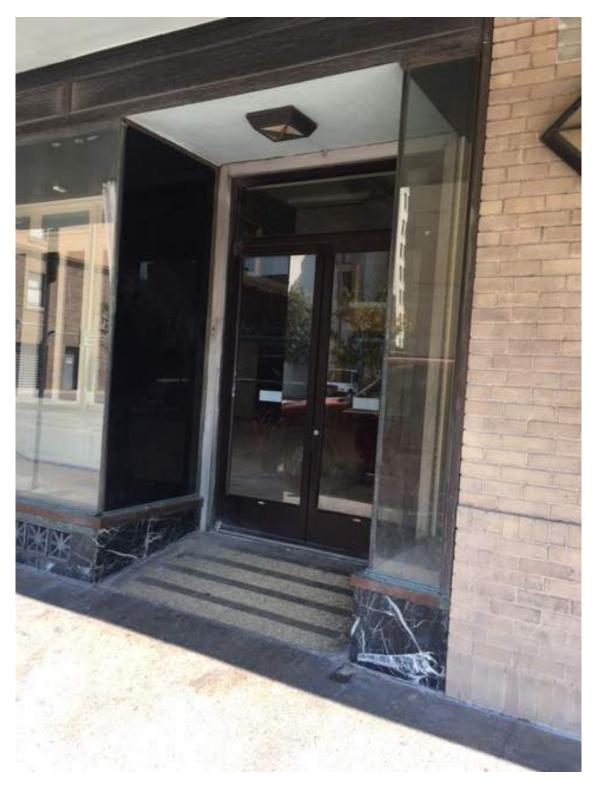


BEFORE

Photo #7: Looking East, exterior elevation, 7/2017



Photo #7: Looking East, exterior elevation, 10/18



BEFORE Photo #8: Jefferson Street elevation, existing door to be replaced, 7/2017



Photo #8: Jefferson Street elevation, door replaced, 10/18



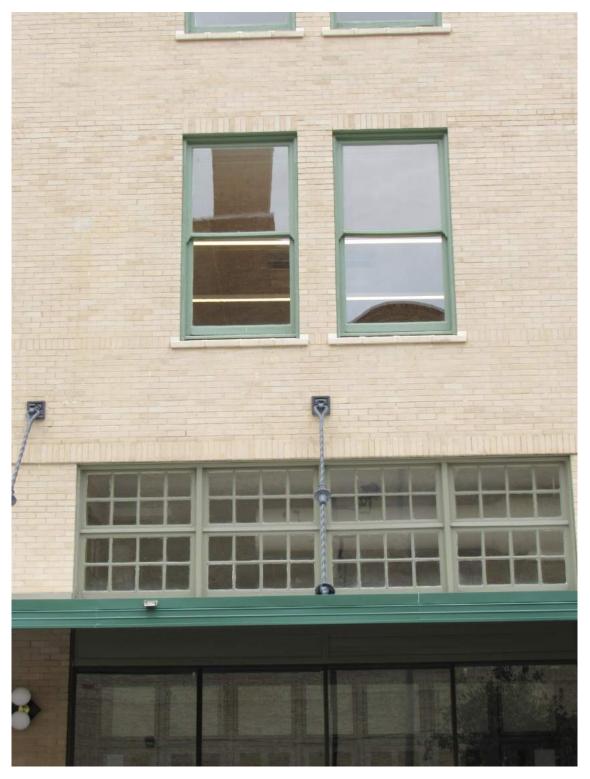
BEFORE Photo #9: 5th floor addition windows Houston Street side, 11/2017



AFTER Photo #9: 5th floor addition windows Houston Street side, 10/18



BEFORE Photo #10: Wood windows typical, Jefferson Street facade, 11/2017



AFTER Photo #10: Wood windows typical, Jefferson Street facade, 10/18



Photo #11: Freestanding display window at Houston Street, looking Northwest, 11/2017



Photo #11: Freestanding display window at Houston Street, looking Northwest, 10/18



Photo #12: Lobby, looking Northeast, 11/2017



Photo #12: New lobby, looking Northeast, 10/18

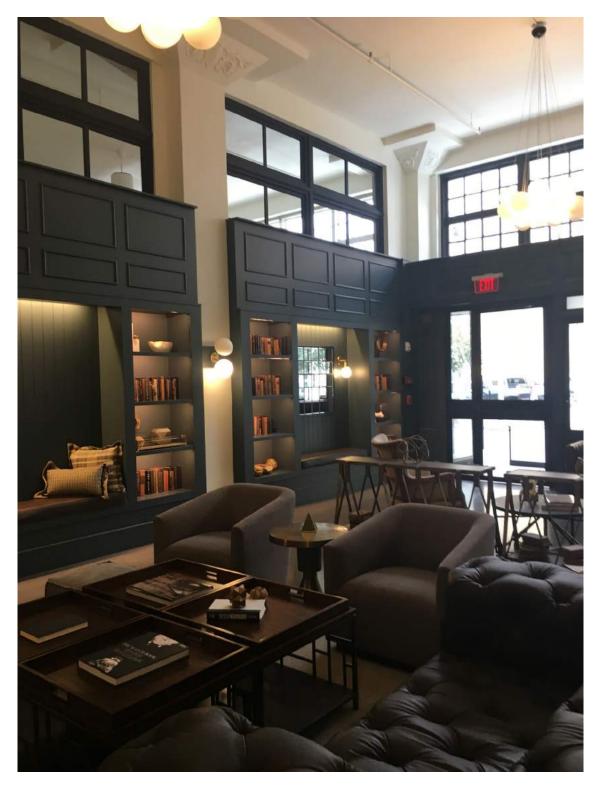


Photo #13: New lobby looking Southwest, 10/18

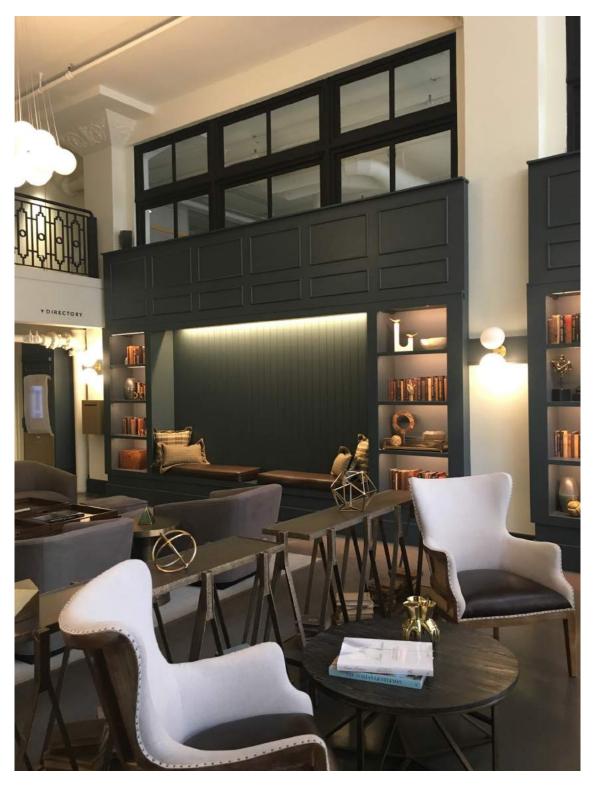
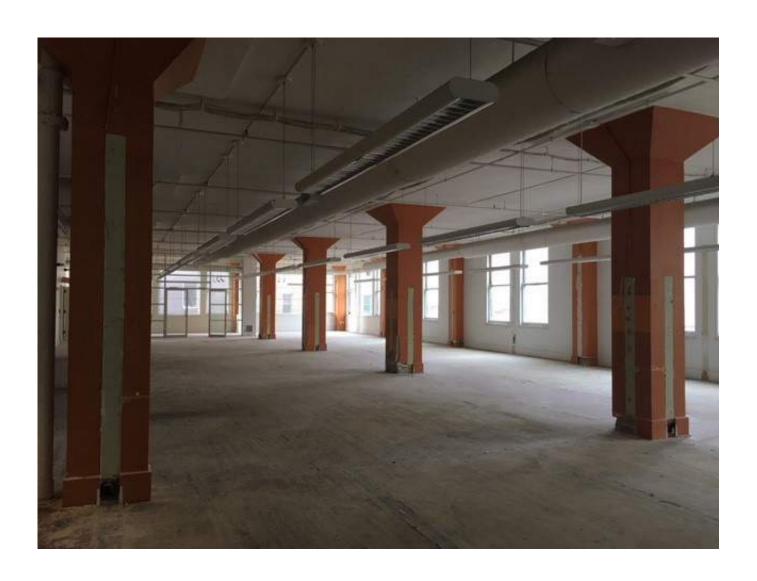
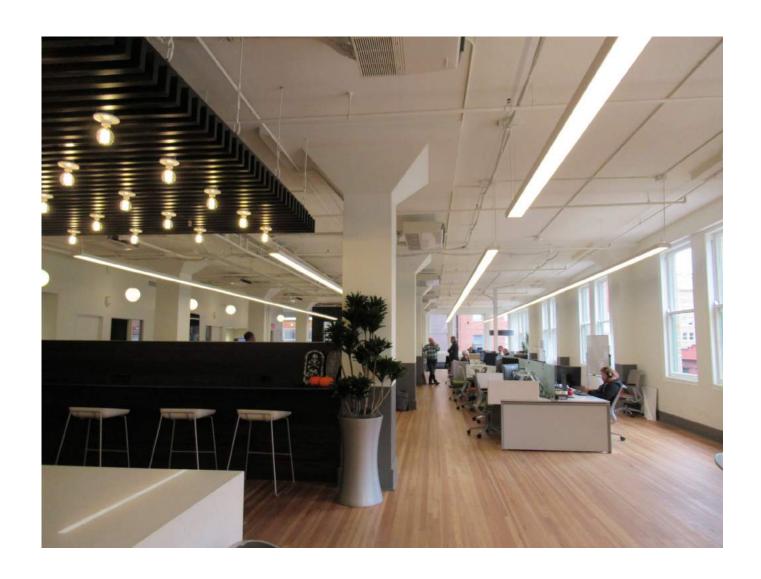


Photo #14: New lobby looking Southeast, 10/18



BEFORE

Photo #15: 3rd floor, looking South, 11/2017



AFTER

Photo #15: 3rd floor, looking South, 10/18



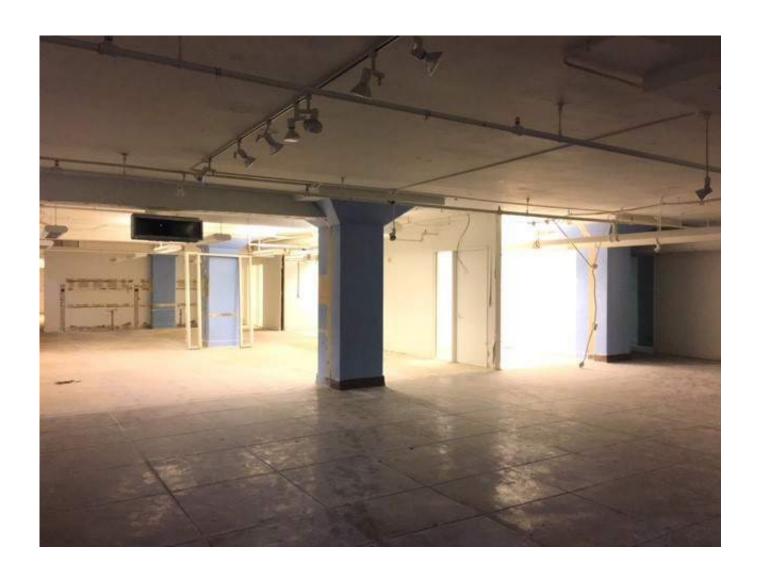
BEFORE

Photo #16: 5th floor, looking South, 11/2017



AFTER

Photo #16: 5th floor, looking South, 10/18



BEFORE

Photo #17: Basement, looking North, 11/2018



AFTER

Photo #17: Basement, looking North, 10/18



Photo #18: New exit corridor in the basement, 10/18



Photo #19: New bike rack room in the basement, 10/18

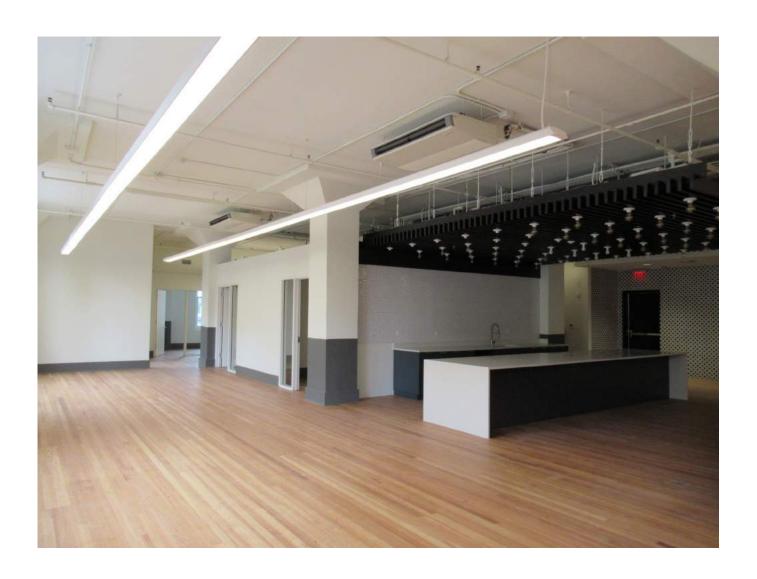


Photo #20: Second floor, new typical office space, 10/18

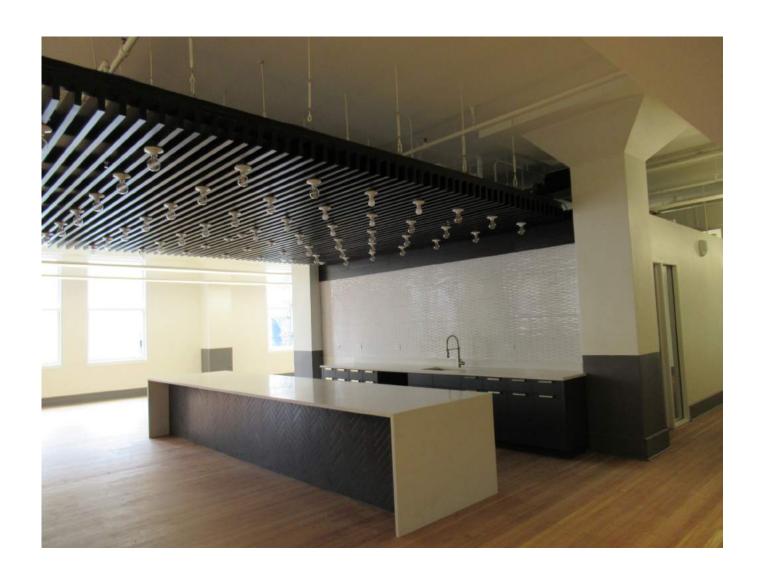


Photo #21: Second floor, new typical office space, 10/18



Photo #22: New windows on the 5th floor, 10/18



Photo #23: Existing 5th floor window, 10/18



PLASTER PLYWOOD PAINT PAIR POINT

RETURN AIR

ROUGH OPENING RIGHT OF WAY

ROUFING
REFLECT(ED), (IVE), (OR)
REFERENCE
REFRIGERATOR
REMOVE
RESILIENT
RETURN
REVISION

SOLID CORE WOOD

STORM DRAIN SCHEDULE(D)

SEALANT SOUNDPROOF

STAINLESS STEEL STREET

TOP OF CURB
TOP OF STRUCTURE
TOILET PAPER DISPENSER
TOILET PARTITION
TOP OF STEEL

TELEPHONE
TEMPERATURE
THICK(NESS)
THRESHOLD
TYPICAL

UNFINISHED

VERTICAL VESTIBULE

WIDTH, WIDE

WATER CLOSET WATER HEATER

WROUGHT IRON WIRE MESH WEATHERSTRIPPING WOOD WINDOW

VINYL VENEER

VAPOR BARRIER VINYL COVE BASE
VINYL COMPOSITION TILE

STEEL STRUCTURAL

STANDARD STORAGE SUSPENDED SYSTEM

THAT IS

PARTITION
PAVE(ING)
POLYVINYL CHLORIDE
PAVEMENT

ABBREVIATIONS

ABV.
A.F.F.
ACOUS.
ADD.
ADH.
ADJ.
AGG.
ALT.
ALUM.
APPD.
APPROX
ARCH.
AVG.

CLO.
CLR.
CNTR.
COL.
COMB.
COMP.
COMPO.
CONC.
CONN.
CONST.
CONT.
CORR.
CPT.
CSMT.
CTR.

FLOOR(ING) FOUNDATION FIREPROOF ADJUSTABLE AGGREGATE ALTERNATE ALUMINUM GALVANIZED IRON GALVANIZED GRADE, GRADING GLASS, GLAZING ARCHITECT(URAL) GYPSUM WALLBOARD GYPSUM GYPSUM DRYWALL BUILT-UP ROOF GYPSUM BOARD HOSE BIB HOLLOW CORE HOLLOW METAL HEAT/VENT/AIR CONDITIONING HOT WATER CAST-IN-PLACE CONCRETE COLD WATER
JT. CONTROL JOINT HEATING HARDWOOD HOT WATER HEATER H.W.H. ILLUSTRATE(ION) INSULATE(D), (ING)

COMPRESS(ED), (ION), (IBLE COMPOSITION (COMPOSITE CONSTRUCTION CONTINUOUS CORRUGATED CARPET (ED) DRAIN DRINKING FOUNTAIN DOUBLE HUNG DEMOLISH, DEMOLITION DIAMETER
DIMENSION
DISPENSER
DIVISION
DOWN
DOOR
DOWNSPOUT

ELECTRICAL PANELBOARD EACH ELEC. ELECTRIC(AL) ELEVATION **EQUIVALENT EQUIPMENT** FIRE ALARM FURNISHED BY OTHERS FINISH FLOOR ELEVATION FIRE RATED
FULL SIZE
FASTEN(ER)
FIBERGLASS
FIGURE
FINISH(ED)
FIXTURE
FLASHING

MISCELLANEOUS MOLDING, MOULDING NOISE REDUCTION ON CENTER OUTSIDE DIAMETER ORIGINAL PAPER TOWEL RECEPTACLE
PARTICLE BOARD
PLASTIC LAMINATE PERFORATE(D)
PERIMETER
PERPENDICULAR
PARKING
PLATE

JANITOR'S CLOSET

LIGHTWEIGHT LIGHTWEIGHT CONCRETE

MANUFACTURER

NOISE REDUCTION COEFFICIENT NOT TO SCALE

SECTION G SECTION C SECTION D SECTION A SECTION M SECTION E SECTION P SECTION L

DRAWINGS

DRAWINGS ARE ORGANIZED ACCORDING TO A "SECTION FORMAT". WITH EACH SECTION DESCRIBING A GENERAL ASPECT OF THE CONSTRUCTION. THE FOLLOWING LISTING ILLUSTRATES A TYPICAL SEQUENCE OF DRAWINGS DEVELOPED FOR A LOGICAL SECTION OF WORK. **GENERAL PROJECT INFORMATION & DRAWINGS** CIVIL DRAWINGS
DEMOLITION DRAWINGS ARCHITECTURAL DRAWING MECHANICAL DRAWINGS ELECTRICAL DRAWINGS PLUMBING DRAWINGS LANDSCAPE DRAWINGS

SHEET A401 REPRESENTS SHEET 401 WITHIN THE ARCHITECTURAL SECTION.

EACH SHEET OF DRAWINGS IS NUMBERED IN THE LOWER RIGHT HAND CORNER. SHEETS ARE NUMBERED FIRST BY SECTION LETTER THEN BY SHEET NUMBER WITHIN THE SECTION. FOR EXAMPLE,

THE FOLLOWING DRAWINGS SYMBOLS INCLUDE, BUT ARE NOT LIMITED TO THOSE TYPICALLY FOUND IN A SET OF CONSTRCTION DOCUMENTS

150 SF Occupancy /

Occupancy Load

A300

THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE ELEVATION. THE NUMBER IS A REFERENCE TO THE ELEVATION DRAWING.

THIS SYMBOL IS A KEY TO A DETAIL DRAWN OF THE AREA WITHIN THE DASHED LINES. THE NUMBER IS A REFERENCE TO THE DETAIL DRAWING.

THE SECTION IS TAKEN ALONG THE STRAIGHT LINE OF THE SYMBOL. THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE SECTION. THE

Elevation

REVISION TAG

NORTH ARROW

DOOR TAG

FLOOR LEVEL LINE

SEE ABOVE FOR EXPLANATION

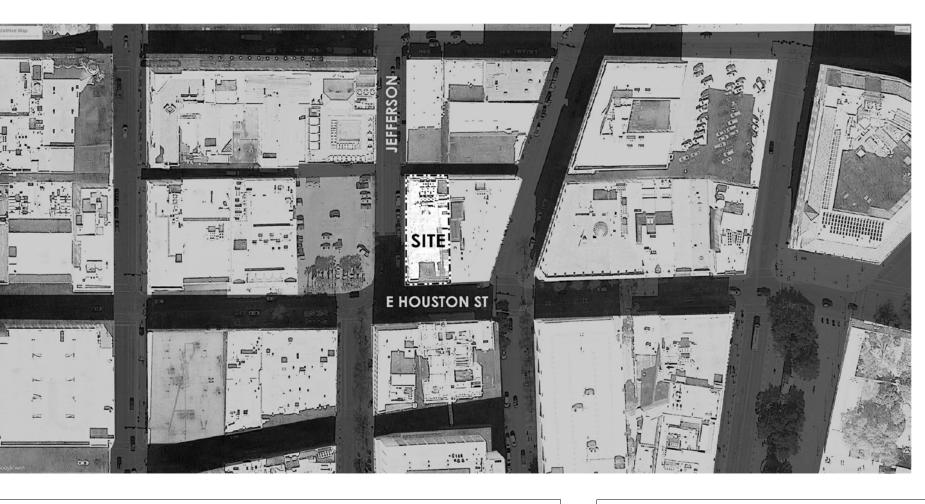
IN THIS EXAMPLE, DRAWING 2 ON SHEET A300

SHEET NUMBERING

ELEVATION TAG

DETAIL KEY

BURNS BUILDING



	DRAWING INDEX			
ent Revision Date	Sheet Number	Sheet Name	Current Revisior Date	
	P205	FLOOR PLAN LEVEL 3 - PLUMBING		
	P206	FLOOR PLAN LEVEL 4- PLUMBING		
	P207	FLOOR PLAN LEVEL 5- PLUMBING		
	P301	PARTIAL FLOOR PLAN- PLUMBING		
	P302	PARTIAL FLOOR PLAN- PLUMBING		
	P401	PLUMBING SECTIONS		
	P402	PLUMBING SECTIONS		
	P501	PLUMBING SCHEDULES & DETAILS		
	P601	PLUMBING RISER DIAGRAMS		
	P602	PLUMBING RISER DIAGRAMS		
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A311 SHELL SPACE - STREET LEVEL A313 SHELL SPACE - STREET LEVEL A314 SHELL SPACE - STREET LEVEL A315 SHELL SPACE - STREET LEVEL A316 LOBBY - MEZZANNE LEVEL A317 OPER SPACE - MEZZANNE LEVEL A318 SHELL SPACE - STREET LEVEL A318 SHELL SPACE - STREET LEVEL A319 LOBBY - MEZZANNE LEVEL A319 SHELL SPACE - STREET LEVEL A320 SHELL SPACE - STREET LEVEL A2 A320 SHELL SPACE - STREET LEVEL A320 SHELL SPACE - STREET LEVEL A2 A320 SHELL SPACE - STREET LEVEL A320 SHELL SPACE - STREET LEVEL A2 A320 SHEL	A310	LOBBY - STREET LEVEL			
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A319 SHELL SADE - STREET LEVEL A316 LOBBY - MEZZANNE LEVEL A316 SHET IS SADE - MEZZANNE LEVEL A317 OFFICE SPACE - MEZZANNE LEVEL A318 DATH-MICOAL - MEZZANNE LEVEL A319 CHARLONG - STREET LEVEL A319 CHARLONG - MEZZANNE LEVEL A310 CHARLONG - MEZZANNE LEVEL A310 CHARLONG - MEZZANNE LEVEL A310 CHARLONG - MEZZANNE LEVEL A311 CHARLONG - MEZZANNE LEVEL A312 CHARLONG - MEZZANNE LEVEL A313 CHARLONG - MEZZANNE LEVEL A314 CHARLONG - MEZZANNE LEVEL A315 CHARLONG - MEZZANNE LEVEL A316 CHARLONG - MEZZANNE LEVEL A317 CHARLONG - MEZZANNE LEVEL A320 CONFERENCE SOON - LEVEL 24 A321 CONFERENCE SOON - LEVEL 24 A322 CONFERENCE ROOM - LEVEL 24 A326 BATHROOM - LEVEL 24 A326 BATHROOM - LEVEL 24 A326 BATHROOM - LEVEL 24 A326 SANE MEZ MEZNAN BATHROOM - LEVEL 24 A326 SANE MEZNAM BATHROOM - LEVEL 24 A326 SANE MEZNAM BATHROOM - LEVEL 24 A326 SANE MEZNAM BATHROOM - LEVEL 24 A327 CHARLONG - LEVEL 24 A328 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A320 SANE MEZNAM BATHROOM - LEVEL 24 A320 SANE MEZNAM BATHROOM - LEVEL 24 A320 SANE MEZNAM BATHROOM - LEVEL 24 A321 CHARLONG BATHROOM - LEVEL 24 A322 SANE MEZNAM BATHROOM - LEVEL 24 A323 SANE MEZNAM BATHROOM - LEVEL 24 A324 SANE MEZNAM BATHROOM - LEVEL 24 A326 BATHROOM - LEVEL 24 A327 SANE MEZNAM BATHROOM - LEVEL 24 A328 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A320 SANE MEZNAM BATHROOM - LEVEL 24 A320 LOBERY MINDOW SCHEDUL BATT I HAVE LOOK FRAN BATHROOM - LEVEL 24 A321 SANE MEZNAM BATHROOM - LEVEL 24 A326 BATHROOM - LEVEL 24 A327 SANE MEZNAM BATHROOM - LEVEL 24 A328 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A329 SANE MEZNAM BATHROOM - LEVEL 24 A320 LOBERY MINDOW SCHEDUL BATHROOM - LEVEL 24 A320 LOBERY MEZNAM BATHROOM - LEVEL 24 A320 LOBERY MEZNAM BATHROOM - LEVEL 24 A320				an non-zonan noor coming accomizing.	
ANTHOROUGH STREET LEVEL ASTA STRENGOG STREET LEVEL ASTA STREET LEVEL LEV				ng to increase. Changed occupancy type doesn't affect area limitation for each floor and	combined.
SORDY MIL ZANGEL LAVE					
SHELL SPACE - MEZZANNE LEVEL			Existing 6-Stories above		
A319 BATHROOM MEZZANNE LEVEL A321 ELEVATOR LOBBY & WET BAR . LEVEL 2-4 A322 OLDO OFFICES - LEVEL 2-4 A323 CORNER OFFICE - LEVEL 2-4 A324 CORFERENCE ROOM. LEVEL 2-4 A325 WORK RM. MEETING RM & PHONE BOOTH - LEVEL 2-4 A326 BATHROOM . LEVEL 2-4 A326 BATHROOM . LEVEL 2-4 A327 NORTHERN STAR . A328 NORTH ROOM LEVEL 2-4 A340 SATHROOM LEVEL 2-4 A340 BATHROOM LEVEL 2-4 A340 BATHROOM LEVEL 2-4 A340 NORTHERN STAR . A341 NORTHERN STAR . A347 NORTHERN STAR . A347 NORTHERN STAR . A347 NORTHERN STAR . A348 NORTHERN STAR . A349 NORTHERN STAR . A340 NORTHERN STAR . A	A315	LOBBY - MEZZANINE LEVEL	occupancies are propo	sed, and Group A-2 is limited to not higher than the 3rd floor above grade plane as allow	ed for Type IIA constructi
AST OFFICE SPACE - MEZZANNE LEVEL AST BETATROOM - MEZZANNE LEVEL AST ELEVATOR LOBBY & WET BAR - LEVEL 2-4 AST COMMERCOPTICE - LEVEL 2-4 AST COMMERCOPTI	A316	SHELL SPACE - MEZZANINE LEVEL	BUILDING OCCUPAN	T LOAD:	Ch - II /O - I I - t I fr
A318 BATHROOM - MEZZANINE LEVEL 24 A321 ELEVATOR LOBBY WET BART - LEVEL 24 A322 OUAD-OFFICES - LEVEL 24 A323 CONFERENCE ROOM - LEVEL 24 A324 CONFERENCE ROOM - LEVEL 24 A325 WORK RM. MEET IN RM RM PHONE BOTH - LEVEL 24 A326 BATHROOM - LEVEL 24 A326 BATHROOM - LEVEL 24 A327 CONFERENCE ROOM - LEVEL 24 A328 SOUTHERN STAR R A329 SOUTHERN STAR R A320 SOUTHERN STAR R A320 SOUTHERN STAR R A320 SOUTHERN STAR R A320 WORK RN MEET IN LEVEL 24 A321 SOUTHERN STAR R A320 SOUTHER	A317	OFFICE SPACE - MEZZANINE LEVEL			or. Sneil. (Calculated from
A222 OLAD OFFICES LEVEL 24	A318	BATHROOM - MEZZANINE LEVEL			
A222 OUAD-OFFICES -LEVEL 2-4 A232 OONER OFFICES -LEVEL 2-4 A232 OONER OFFICES -LEVEL 2-4 A232 OONER OFFICES -LEVEL 2-4 A232 WORK RIM MEETING RIV & PRONE BOOTH - LEVEL 2-1 A233 BATHROOM - LEVEL 2-4 A234 BATHROOM - LEVEL 4-5 A236 NORTHERN STAIR A237 OONER SOME DEVEL 4-7 A237 ROOM FINISH SCHEDULE PART 1 A236 OONER SOMEDULE PART 1 A237 OONER SOMEDULE PART 1 A237 OONER SOMEDULE PART 1 A237 OONER SOMEDULE PART 1 A238 OONER SOMEDULE PART 1 A239 OONER SOMEDULE PART 1 A230 OONER SOMEDULE PART 1 A230 OONER SOMEDULE PART 2 A230 OONER SOMEDULE PART 1 A230 OONER SOMEDULE PART 1 A230 OONER SOMEDULE PART 2 A240 OONER SOMEDULE PART 2 A250 OONER SOMED			Level 1: (existing: 4 fixt	ures and 2 lavatories)	,
A323 ORNER OFFICE - LEVEL 2-4 A326 WORK RM, MEETING RM & PHONE BOOTH - LEVEL 2-4 A326 SATHROOM - LEVEL 2-4 A326 SATHROOM - LEVEL 2-4 A327 SATHROOM - LEVEL 2-4 A327 SOUTHERN STAIR A328 OUTHERN STAIR A329 OOR FINISH SCHEDULE PART 1 A701 ROOM FINISH SCHEDULE PART 1 A702 OOR SCHEDULE PART 1 A703 OOR SCHEDULE PART 1 A705 OOR SCHEDULE PART 2 A705 OOR SCHEDULE PART 2 A706 WINDOW SCHEDULE PART 2 A706 WINDOW SCHEDULE PART 2 A706 OOR SCHEDULE PART 3 A706 OOR SCHEDULE PART 2 A706 OOR SCHEDULE PART 3 A706 OOR SCHEDULE PART 2 A706 OOR SCHEDULE PART 3 A706 OOR SCHEDULE PART 2 A706 OOR SCHEDULE PART 3 A7					
A326 CONFERENCE ROOM - LEVEL 2-4 A326 BATHROOM - LEVEL 2-4 A326 BATHROOM - LEVEL 2-4 A326 BATHROOM - LEVEL 3-6 A327 CONFERENCE ROOM - LEVEL 3-6 A328 BATHROOM - LEVEL 3-6 A329 SOUTHERN STAIR A329 CONFERENCE ROOM - LEVEL 3-6 A329 SOUTHERN STAIR A320 CONFERENCE ROOM - LEVEL 3-6 A320 CONF		Q0/12 01 1020 12 12 12 1			
A326 MORR RM. MEETING RM. SPHONE BOOTH - LEVEL 2.4 A346 SATHROOM - LEVEL 2.4 & 5 A346 SATHROOM - LEVEL 2.4 & 5 A346 NORTHERN STAIR A362 SOUTHERN STAIR A362 SOUTHERN STAIR A701 ROOM FINISH SCHEDULE PART 1 A704 DOOR SCHEDULE PART 1 A704 DOOR SCHEDULE PART 1 A708 DOOR SCHEDULE PART 1 A708 WINDOW SCHEDULE PART 1 A709 WINDOW SCHEDULE A709 WINDOW SC					
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A346 BATHROOM - LEVEL 24 5 5 1 1. Contention of air disk light big in the and become first with the critic prigat are all \$1 kgs polarity in the scenario of a 1 kgs polarity in the scenario and a 1 kgs polarity in the scenario of the polarity in the polarity in the scenario of the	A325	WORK RM, MEETING RM & PHONE BOOTH - LEVEL 2-4	GENERAL	REQUIREMENTS	
ASSE SOUTHERN STAR 3.02 SOUTHERN STAR 4.793 SOUTHERN STAR 5.02 SOUTHERN STAR 5	A326	BATHROOM - LEVEL 2-4			
A361 NORTHERN STAIR A362 SOUTHERN STAIR A7704 NOOM FINISH SCHEDULE PART 1 A7705 ODOR SCHEDULE PART 1 A7706 WINDOW SCHEDULE PART 2 A8706 WINDOW SCHEDULE FART 3 A8707 LOBBY WINDOW DETAILS A8707 LOBBY WINDOW DETAILS A8708 HYAO FLOOR PLAN MED 101 HYAO FLOOR PLAN MED 102 HYAO FLOOR PLAN MED 103 HYAO FLOOR PLAN MED 101 HYAO FLOOR PLAN MED 101 HYAO FLOOR PLAN MED 101 HYAO FLOOR PLAN MED 102 HYAO FLOOR PLAN MED 103 HYAO FLOOR PLAN MED 103 HYAO FLOOR PLAN MED 104 HYAO FLOOR PLAN MED 105 HYAO FLOOR PLAN MED 105 HYAO FLOOR PLAN MED 106 HYAO FLOOR PLAN MED 107 HYAO FLOOR PLAN MED 107 HYAO FLOOR PLAN MED 108 HYAO FLOOR PLAN MED 109 HYAO FLOOR PLAN MED 100 HYAO FLOOR PLAN HEECTRICAL MED 100 HYAO FLOOR PLAN HEE	A346	BATHROOM - LEVEL 4 & 5			ecution and
A392 SOUTHERN STAIR A701 ROOM FINISH SCHEDULE PART 1 A705 DOOR SCHEDULE PART 2 A706 WINDOW SCHEDULE PART 3 A706 WINDOW SCHEDULE PART 3 A706 WINDOW SCHEDULE PART 2 A707 WINDOW SCHEDULE PART 2 A708 WINDOW SCHEDULE PART 3 A708 WINDOW SCHEDULE PART 3 A709 WINDOW SCHEDULE	A361	NORTHERN STAIR	completion of the work.		
A701 ROOM FINISH SCHEDULE PART 1 2,000R SCHEDULE PART					sistencies shall be
A706 DOOR SCHEDULE PART 1 A706 WINDOW SCHEDULE A706 WINDOW SCHEDULE A800 LOBBY WINDOW SCHEDULE M1 HVAC FLOOR PLAN M2 HAVE FLOOR PLAN M3 HVAC FLOOR PLAN M4 HVAC FLOOR PLAN M5 SCHEDULES A800 LOBBY WINDOW SCHEDULE A800 LOBBY WINDOW SCHEDULE M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN ELECTRICAL M6 HVAC FLOOR PLAN HCHANICAL POWER M6 HVAC FLOOR PLAN M6 HCHANICAL POWER M6 HVAC FLOOR				'	
A706 DOOR SCHEDULE PART 2 A706 WINDOW SCHEDULE 5. Contractor and levels possess and/or sharpes shall be approved by the architect part to account and affine part of the part					
A 700 BOWN SHEDULE S SCHEDULES 6. Contractor shall verify locations of, and protect all easiling alliline during all ownsides. 4,800 LOBBY WINDOW DETAILS 6. Choose sectioned shahmers, and or discress wall became be provely after accurated and state to remove from the public of th			,		
ABOOD LOBBY WINDOW DETAILS ABOOD LOBBY WINDOW DETAILS ABOOD LOBBY WINDOW DETAILS 4. (A lobby same property of the contractor and shall be removed from the job tale on a college part of the contractor and shall be removed from the job tale on a college part of the contractor and shall be removed from the job tale on a college part of the contractor and shall be removed from the job tale on a college part of the contractor and shall be contracted and the sound the project. Centerator and the search of the contractor and the sound the state of the part of the contractor and the sound the state of the part of the contractor and the sound the state of the part of the contractor and the sound the state of the part of the contractor and the sound the state of the part of the contractor and the sound the state of the part of the contractor and the sound the state of the part of the contractor and the sound the state of the search of	A705	DOOR SCHEDULE PART 2			
A801 LOBBY MILLWORK DETAILS M1 HVAC FLOOR PLAN M2 HVAC FLOOR PLAN M3 HVAC FLOOR PLAN M4 HVAC FLOOR PLAN M5 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M7 HVAC FLOOR PLAN M8 HVAC FLOOR PLAN M9 HVAC FLOOR PLAN HELECTRICAL M9 HV	A706	WINDOW SCHEDULE	5. Contractor shall veri	fy locations of, and protect all existing utilities during all operations.	
ABOI LOBBY MILLWORK DETAILS F. Contractor shall compile, with all times codes and otherwise applicable to the proof. Compiled shall seed for fire all provided in the seasons and composition of the proof. Compiled shall seed for five feel provided in contraction with an examination of the proof. Compiled shall seed for feel period. F. Contractor shall provide an examination of the proof. Compiled shall seed for feel period. Contractor in separation of the proof. Compiled shall seed from the proof. Compiled shall seed for feel period. P. Contractor shall provide shall provide the proof. Compiled shall seed from the shall shall seed from the proof. Compiled shall seed from the shall shall shall seed from the shall shall shall seed from the shall s	A800	LOBBY WINDOW DETAILS		erwise, all debris shall become the property of the contractor and shall be removed from	the job site on a
M1 HVAC FLOOR PLAN M2 HVAC FLOOR PLAN M3 HVAC FLOOR PLAN M4 HVAC FLOOR PLAN M5 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M7 HVAC FLOOR PLAN M8 HVAC FLOOR PLAN M8 HVAC FLOOR PLAN M8 HVAC FLOOR PLAN M9 HVAC FLOOR PLAN HVAC FLOOR PLAN M9 HVAC FLOOR PLAN HVAC FLOOR FLOOR PLAN HVAC FLOOR	A801	LOBBY MILLWORK DETAILS	,		
M1 HAG FLOOR PLAN M2 HAG FLOOR PLAN M3 HYAC FLOOR PLAN M4 HYAC FLOOR PLAN M5 HYAC FLOOR PLAN M6 HYAC FLOOR PLAN M7 HYAC FLOOR PLAN M6 HYAC FLOOR PLAN HELECTRICAL M6 LEVEL 3 FLOOR PLAN-ELECTRICAL M6 LEVEL 3 FLOOR PLAN-ELECTRIC					
HVAC FLOOR PLAN M3 HVAC FLOOR PLAN HVAC FLOOR PLAN M5 SCHEDULES CONTINUED TO PLAN M5 SCHEDULES CONTINUED TO PLAN M6 HVAC FLOOR PLAN M6 HVAC FLOOR PLAN M7 FLOOR PLAN M8 P101 HVAC FLOOR PLAN M8 P102 HVAC FLOOR PLAN M8 P102 HVAC FLOOR PLAN M8 P103 HVAC FLOOR PLAN M8 P104 HVAC FLOOR PLAN M8 P105 HVAC FLOOR PLAN M8 P105 HVAC FLOOR PLAN M8 P106 HVAC FLOOR PLAN M8 P108 HVAC FLOOR PLAN M8 P109 HVAC FLOOR PLAN M8 P100 HVAC FLOOR PLAN HELECTRICAL M9 P100 H	M1	HVAC FLOOR PLAN	Contractor is responsib	le and liable for securing any and all inspections required.	na 1000 roquirou.
HVAC FLOOR PLAN M4 HVAC FLOOR PLAN M5 SCHEDULES 10. Contractor that all provide temproarry searchy finding and any other necessary barriers around the critic area of operations. Control of Finding and one: 11. All soot shall provide temproarry search from gand any other necessary barriers around the critic area of operations. Control of Finding and one: 10. Control one shall provide temproarry search of finding and one: 11. All soot shall control the label to the control of t			8. Provide any necessa	ary preparation, blocking, substrates, etc. required to install and finish the work.	
MA HVAC FLOOR PLAN M5 SCHEDULES MPP 101 HVAC FLOOR PLAN M6P 102 HVAC FLOOR PLAN M6P 103 HVAC FLOOR PLAN M6P 104 HVAC FLOOR PLAN M6P 105 HVAC FLOOR PLAN M6P 105 HVAC FLOOR PLAN M6P 106 HVAC FLOOR PLAN M6P 107 HVAC FLOOR PLAN M6P 108 HVAC FLOOR PLAN HCAD HVAC FLOOR F			9. Contractor shall prov	vide temporary encurity fencing and any other necessary barriers around the entire area	of operations
MEP 101 HVAC FLOOR PLAN MEP 102 HVAC FLOOR PLAN MEP 103 HVAC FLOOR PLAN MEP 103 HVAC FLOOR PLAN MEP 104 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 106 HVAC FLOOR PLAN MEP 107 HVAC FLOOR PLAN MEP 108 HVAC FLOOR PLAN MEP 109 HVAC FLOOR PLAN MEP 109 HVAC FLOOR PLAN MEP 100 HVAC FLOOR PLAN ELECTRICAL MEP 100 BASEMENT FLOOR PLAN ELECTRICAL MEZANINE FLOOR PLAN MECHANICAL POWER MEZANICE FLOOR PLAN MECHANICAL POWER MEZANICE FLOOR PLAN MECHANICAL POWER MEZANICE FLOOR PLAN MECHANICAL POWER			Coordinate extent and	location of fencing with owner.	эт орстанопа.
MSP 101 HVAC FLOOR PLAN MEP 102 HVAC FLOOR PLAN MEP 103 HVAC FLOOR PLAN MEP 104 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 106 HVAC FLOOR PLAN MEP 107 HVAC FLOOR PLAN MEP 108 HVAC FLOOR PLAN MEP 108 HVAC FLOOR PLAN MEP 108 HVAC FLOOR PLAN MEP 109 HVAC FLOOR PLAN MEP 100 ELECTRICAL NOTES E100 BASEMENT FLOOR PLAN-ELECTRICAL E201 LEVEL 1 FLOOR PLAN-ELECTRICAL E202 MEZZANINE FLOOR PLAN-ELECTRICAL E203 LEVEL 2 FLOOR PLAN-ELECTRICAL E204 LEVEL 3 FLOOR PLAN-ELECTRICAL E205 LEVEL 4 FLOOR PLAN-ELECTRICAL E206 LEVEL 5 FLOOR PLAN-ELECTRICAL E207 ROOF FLOOR PLAN-ELECTRICAL E208 LEVEL 5 FLOOR PLAN-ELECTRICAL E209 LEVEL 5 FLOOR PLAN-ELECTRICAL E200 LEVEL 5 FLOOR PLAN-ELECTRICAL E201 LEVEL 1 FLOOR PLAN-ELECTRICAL E202 MEZZANINE FLOOR PLAN-ELECTRICAL E203 LEVEL 6 FLOOR PLAN-ELECTRICAL E204 LEVEL 3 FLOOR PLAN-ELECTRICAL E205 LEVEL 6 FLOOR PLAN-ELECTRICAL E206 LEVEL 7 FLOOR PLAN-ELECTRICAL E207 ROOF FLOOR PLAN-ELECTRICAL E208 LEVEL 5 FLOOR PLAN-ELECTRICAL E209 MEZZANINE FLOOR PLAN-ELECTRICAL E209 LEVEL 5 FLOOR PLAN-ELECTRICAL E200 LEVEL 5 FLOOR PLAN-ELECTRICAL E201 LEVEL 6 FLOOR PLAN-ELECTRICAL E202 MEZZANINE FLOOR PLAN-ELECTRICAL E203 LEVEL 6 FLOOR PLAN-ELECTRICAL E204 LEVEL 5 FLOOR PLAN-ELECTRICAL E205 LEVEL 5 FLOOR PLAN-ELECTRICAL E206 LEVEL 5 FLOOR PLAN-ELECTRICAL E207 ROOF FLOOR PLAN-ELECTRICAL E208 MEZZANINE FLOOR PLAN-ELECTRICAL E209 MEZZANINE FLOOR PLAN-ELECTRICAL E209 MEZZANINE FLOOR PLAN-MECHANICAL POWER E300 MEZZANINE FLOOR PLAN-MECHANICAL POWER E301 LEVEL 1 FLOOR PLAN-MECHANICAL POWER E302 MEZZANINE FLOOR PLAN-MECHANICAL POWER E303 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E304 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E305 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E307 MEZZANINE FLOOR PLAN-MECHANICAL POWER E308 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E309 MEZZANINE FLOOR PLAN-MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E301 LEVEL 1 FLOOR PLAN-MECHANICAL POWER E302 MEZZANINE FLO	****		10. Contractor shall co	ordinate with the owner for access to the site, such access shall include a haul route for	materials, parking
MEP 101 HVAC FLOOR PLAN MEP 102 HVAC FLOOR PLAN MEP 103 HVAC FLOOR PLAN MEP 104 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 106 HVAC FLOOR PLAN MEP 107 HVAC FLOOR PLAN MEP 107 HVAC FLOOR PLAN MEP 108 HVAC FLOOR PLAN MED 108 HVAC FLOOR	M5	SCHEDULES			, pg
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MEP 102 HVAC FLOOR PLAN MEP 103 HVAC FLOOR PLAN MEP 104 HVAC FLOOR PLAN MEP 105 HVAC FLOOR PLAN MEP 106 HVAC FLOOR PLAN MEP 107 HVAC FLOOR PLAN MEP 108 HVAC FLOOR PLAN MEP 109 HVAC FLOOR PLAN MED 109 ELECTRICAL NOTES E100 ELECTRICAL NOTES E200 BASEMENT FLOOR PLAN ELECTRICAL E201 LEVEL 1 FLOOR PLAN ELECTRICAL E202 MEZZANINE FLOOR PLAN ELECTRICAL E203 LEVEL 2 FLOOR PLAN- ELECTRICAL E204 LEVEL 3 FLOOR PLAN- ELECTRICAL E205 LEVEL 5 FLOOR PLAN- ELECTRICAL E206 LEVEL 5 FLOOR PLAN- ELECTRICAL E207 ROOF FLOOR PLAN- ELECTRICAL E208 LEVEL 5 FLOOR PLAN- ELECTRICAL E209 LEVEL 5 FLOOR PLAN- ELECTRICAL E200 LEVEL 5 FLOOR PLAN- ELECTRICAL E201 LEVEL 5 FLOOR PLAN- ELECTRICAL E202 LEVEL 5 FLOOR PLAN- ELECTRICAL E203 LEVEL 5 FLOOR PLAN- ELECTRICAL E204 LEVEL 5 FLOOR PLAN- ELECTRICAL E205 LEVEL 5 FLOOR PLAN- ELECTRICAL E206 LEVEL 5 FLOOR PLAN- ELECTRICAL E207 ROOF FLOOR PLAN- ELECTRICAL E208 MEZZANINE FLOOR PLAN- MECHANICAL POWER E309 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN- MECHANICAL POWER	MFP 101	HVAC FLOOR PLAN			tion
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MEP 104 HVAC FLOOR PLAN ELECTRICAL NOTES			13. Do not scale drawir	ngs. All dimensions indicated shall govern any larger scale details of lesser scale drawin	gs.
E100 ELECTRICAL NOTES E200 BASEMENT FLOOR PLAN-ELECTRICAL E201 LEVEL 1 FLOOR PLAN-ELECTRICAL E202 MEZZANINE FLOOR PLAN-ELECTRICAL E203 LEVEL 2 FLOOR PLAN-ELECTRICAL E204 LEVEL 3 FLOOR PLAN-ELECTRICAL E205 LEVEL 4 FLOOR PLAN-ELECTRICAL E206 LEVEL 5 FLOOR PLAN-ELECTRICAL E207 ROOF FLOOR PLAN-ELECTRICAL E208 LEVEL 3 FLOOR PLAN-ELECTRICAL E209 LEVEL 3 FLOOR PLAN-ELECTRICAL E209 LEVEL 3 FLOOR PLAN-ELECTRICAL E200 LEVEL 4 FLOOR PLAN-ELECTRICAL E201 LEVEL 5 FLOOR PLAN-ELECTRICAL E202 MEZZANINE FLOOR PLAN-ELECTRICAL E203 LEVEL 4 FLOOR PLAN-ELECTRICAL E204 LEVEL 5 FLOOR PLAN-ELECTRICAL E205 LEVEL 4 FLOOR PLAN-ELECTRICAL E206 LEVEL 5 FLOOR PLAN-ELECTRICAL E207 ROOF FLOOR PLAN-ELECTRICAL E300 BASEMENT PLAN-MECHANICAL POWER E301 LEVEL 1 FLOOR PLAN-MECHANICAL POWER E302 MEZZANINE FLOOR PLAN-MECHANICAL POWER E303 LEVEL 2 FLOOR PLAN-MECHANICAL POWER E304 LEVEL 3 FLOOR PLAN-MECHANICAL POWER E305 LEVEL 4 FLOOR PLAN-MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E307 MEZZANINE FLOOR PLAN-MECHANICAL POWER E308 LEVEL 5 FLOOR PLAN-MECHANICAL POWER E309 LEVEL 5 FLOOR PLAN-BECHANICAL POWER E309 LEVEL 5 FLOOR PLAN-BECHANICAL POWER E309 LECTRICAL SCHEDULES E400 ELECTRICAL SCHEDULES E400 ELECTRICAL SCHEDULES E401 ELECTRICAL SCHEDULES E402 ELECTRICAL SCHEDULES E403 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES					shall by approved by
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E201 LEVEL 1 FLOOR PLAN ELECTRICAL E202 MEZZANINE FLOOR PLAN- ELECTRICAL E203 LEVEL 2 FLOOR PLAN- ELECTRICAL E204 LEVEL 3 FLOOR PLAN- ELECTRICAL E205 LEVEL 4 FLOOR PLAN- ELECTRICAL E206 LEVEL 5 FLOOR PLAN- ELECTRICAL E207 ROOF FLOOR PLAN- ELECTRICAL E208 MEZZANINE FLOOR PLAN- ELECTRICAL E209 LEVEL 5 FLOOR PLAN- ELECTRICAL E209 LEVEL 5 FLOOR PLAN- ELECTRICAL E200 MEZZANINE FLOOR PLAN- ELECTRICAL E201 LEVEL 5 FLOOR PLAN- ELECTRICAL E202 ROOF FLOOR PLAN- ELECTRICAL E203 MEZZANINE FLOOR PLAN- MECHANICAL POWER E304 LEVEL 1 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 2 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 3 FLOOR PLAN- MECHANICAL POWER E307 MEZZANINE FLOOR PLAN- MECHANICAL POWER E308 LEVEL 2 FLOOR PLAN- MECHANICAL POWER E309 LEVEL 3 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN- ELECTRICAL E401 ELECTRICAL SCHEDULES E402 ELECTRICAL SCHEDULES E403 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES E405 LECTRICAL SCHEDULES E406 ELECTRICAL SCHEDULES	E100	ELECTRICAL NOTES	16. Site access and ho	urs/days of construction shall be coordinated with the owner.	
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E202 MEZZANINE FLOOR PLAN- ELECTRICAL E203 LEVEL 2 FLOOR PLAN- ELECTRICAL E204 LEVEL 3 FLOOR PLAN- ELECTRICAL E205 LEVEL 4 FLOOR PLAN- ELECTRICAL E206 LEVEL 5 FLOOR PLAN- ELECTRICAL E207 ROOF FLOOR PLAN- ELECTRICAL E300 BASEMENT PLAN- MECHANICAL POWER E301 LEVEL 1 FLOOR PLAN- MECHANICAL POWER E302 MEZZANINE FLOOR PLAN- MECHANICAL POWER E303 LEVEL 2 FLOOR PLAN- MECHANICAL POWER E304 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E307 MEZZANINE FLOOR PLAN- MECHANICAL POWER E308 MEZZANINE FLOOR PLAN- MECHANICAL POWER E309 LEVEL 3 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E301 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E302 MEZZANINE FLOOR PLAN- MECHANICAL POWER E303 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E304 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E307 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E308 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E309 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E309 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E301 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E302 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E303 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E304 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E307 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E308 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E309 LEVEL 5 FLO	E201	LEVEL 1 FLOOR PLAN ELECTRICAL	18 Construction stagin	g area shall remain within the limits of construction fence. Location of the construction f	ance and
E203 LEVEL 2 FLOOR PLAN- ELECTRICAL	F202	MEZZANINE FLOOR PLAN- FLECTRICAL	construction field office	shall be determined in pre construction conference.	crice and
E204 LEVEL 3 FLOOR PLAN- ELECTRICAL E205 LEVEL 4 FLOOR PLAN- ELECTRICAL E206 LEVEL 5 FLOOR PLAN- ELECTRICAL E207 ROOF FLOOR PLAN- ELECTRICAL E300 BASEMENT PLAN- MECHANICAL POWER E301 LEVEL 1 FLOOR PLAN- MECHANICAL POWER E302 MEZZANINE FLOOR PLAN- MECHANICAL POWER E303 LEVEL 2 FLOOR PLAN- MECHANICAL POWER E304 LEVEL 3 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN- MECHANICAL POWER E307 MEZZANINE FLOOR PLAN- MECHANICAL POWER E308 LEVEL 6 FLOOR PLAN- MECHANICAL POWER E309 LEVEL 7 FLOOR PLAN- MECHANICAL POWER E309 LEVEL 7 FLOOR PLAN- MECHANICAL POWER E300 LEVEL 8 FLOOR PLAN- MECHANICAL POWER E301 LEVEL 9 FLOOR PLAN- MECHANICAL POWER E302 LEVEL 9 FLOOR PLAN- MECHANICAL POWER E303 LEVEL 9 FLOOR PLAN- ELECTRICAL E401 ELECTRICAL SCHEDULES E402 ELECTRICAL SCHEDULES E403 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES					ouildings, utilities.
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E207 ROOF FLOOR PLAN- ELECTRICAL E300 BASEMENT PLAN- MECHANICAL POWER E301 LEVEL 1 FLOOR PLAN- MECHANICAL POWER E302 MEZZANINE FLOOR PLAN- MECHANICAL POWER E303 LEVEL 2 FLOOR PLAN- MECHANICAL POWER E304 LEVEL 3 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN- ELECTRICAL E401 ELECTRICAL SCHEDULES E402 ELECTRICAL SCHEDULES E403 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES			during construction.		
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E301 LEVEL 1 FLOOR PLAN- MECHANICAL POWER E302 MEZZANINE FLOOR PLAN- MECHANICAL POWER E303 LEVEL 2 FLOOR PLAN- MECHANICAL POWER E304 LEVEL 3 FLOOR PLAN- MECHANICAL POWER E305 LEVEL 4 FLOOR PLAN- MECHANICAL POWER E306 LEVEL 5 FLOOR PLAN- ELECTRICAL E401 ELECTRICAL SCHEDULES E402 ELECTRICAL SCHEDULES E403 ELECTRICAL SCHEDULES E404 ELECTRICAL SCHEDULES					
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E404 ELECTRICAL SCHEDULES					
E405 ELECTRICAL SCHEDULES					
	E405	ELECTRICAL SCHEDULES			

BASEMENT UNDER FLOOR PLAN- PLUMBING

BASEMENT FLOOR PLAN- PLUMBING

FLOOR PLAN LEVEL 1 - PLUMBING FLOOR PLAN LEVEL 1.5- PLUMBING FLOOR PLAN LEVEL 2- PLUMBING

DRAWING INDEX

Sheet Name

Number

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PA012 PARTIAL FLOOR PLAN-PLUMBING PA014 PLUMBING SECTIONS P501 PLUMBING SECTIONS P501 PLUMBING SISER DIAGRAMS P602 PLUMBING RISER DIAGRAMS P602 PLUMBING RISER DIAGRAMS P602 PLUMBING RISER DIAGRAMS P602 PLUMBING RISER DIAGRAMS BUILDING CODE INFORMATION BUILDING C	P207	FLOOR PLAN LEVEL 5- PLUMBING
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P402 PLUMBING SECTIONS P501 PLUMBING SISER DIAGRAMS P602 PLUMBING RISER DIAGRAMS P602 PLUMBING RISER DIAGRAMS P603 PLUMBING RISER DIAGRAMS P604 PLUMBING RISER DIAGRAMS P605 PLUMBING RISER DIAGRAMS P606 PLUMBING CODE INFORMATION BUILDING	P302	PARTIAL FLOOR PLAN- PLUMBING
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P601 PLUMBING RISER DIAGRAMS BUILDING CODE INFORMATION CODE INFORMATION See Judge 1 see	P402	PLUMBING SECTIONS
BUILDING CODE INFORMATION MILDING CODES 15 international Building Oxode 15 international Energy Conservation Code* 15 international Code Security Code* 15 international Cod	P501	PLUMBING SCHEDULES & DETAILS
BUILDING CODE INFORMATION BUILDING CODE INFORMATION BUILDING CODES BUT International Pulliding Code 1015 International Pulliding Interior renovation project. Work Includes: refinish and redivide existing space for future ternant space, 2nd, 3rd and 4th level at tuter of files & International Pulliding Interior renovation project. Work Includes: refinish and redivide existing space for future ternant space, 2nd, 3rd and 4th level at tuter of files & International Pulliding Interior renovation project. Work Includes: refinish and redivide existing space for future ternant space, 2nd, 3rd and 4th level at tuter of files & International Pulliding Interior International Pulliding Interior International Pulliding Interior International Pulliding Interior	P601	PLUMBING RISER DIAGRAMS
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AREA LIMITATION: Suiting area is not going to increase. Changed occupancy type doesn't affect area limitation for each floor and combined. **EIGHT LIMITATION: Existing 6-Stories above grade. Existing height is not changing. Introduction of Group A-2 occupancy does not affect allowable height, because separated occupancies are proposed, and Group A-2 is limited to not higher than the 3rd floor above grade plane as allowed for Type IIA construction. (Table 503) **SUILDING OCCUPANT LODD:** Total: 405. Basement: 43, Street Level: 15; Mezzanine Level: 43; 2nd-4th Floor: 102 occupants (each); 5th Floor: Shell. (Calculated from Table 1004.1.2) **PLINBING FIXTURE COUNT:** **Basement: 43 Business occupants, 4 fixtures and 2 lavatories needed. (existing: 4 fixtures and 2 lavatories) **Level Mazzania:** 41 Business occupants, 2 fixtures and 2 lavatories needed. (existing: 4 fixtures and 2 lavatories) **Level Level 102 Business occupants, 2 fixtures and 2 lavatories needed per floor. (existing: 4 fixture and 2 lavatories) **Level Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed per floor. (existing: 4 fixture and 2 lavatories) **Level Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed per floor. (existing: 4 fixture and 2 lavatories) **Level Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed per floor. (existing: 4 fixture and 2 lavatories) **Level Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed per floor. (existing: 4 fixture and 2 lavatories) **Level Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed per floor. (existing: 4 fixture and 2 lavatories) **Level Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed. (existing: 4 fixtures and 2 lavatories) **Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed. (existing: 4 fixtures and 2 lavatories) **Level 102 Business occupants per floor, 3 fixtures and 2 lavatories needed. (existing: 4 fixtures	Type IIA The building is equi DCCUPANCY TYP Group B and Shell.	(Section 602.5 and Table 601). iped with automatic fire sprinkler system and manual fire alarm system w/ occupant notification. <u>E:</u> Future Non-separated Group A-2 and B at Basement, Street and Mezzanine Levels separated from Group B at floors above (2nd-5th) b
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		provide temporary security fencing and any other necessary harriers around the entire area of operations







Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

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HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656-9027

LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

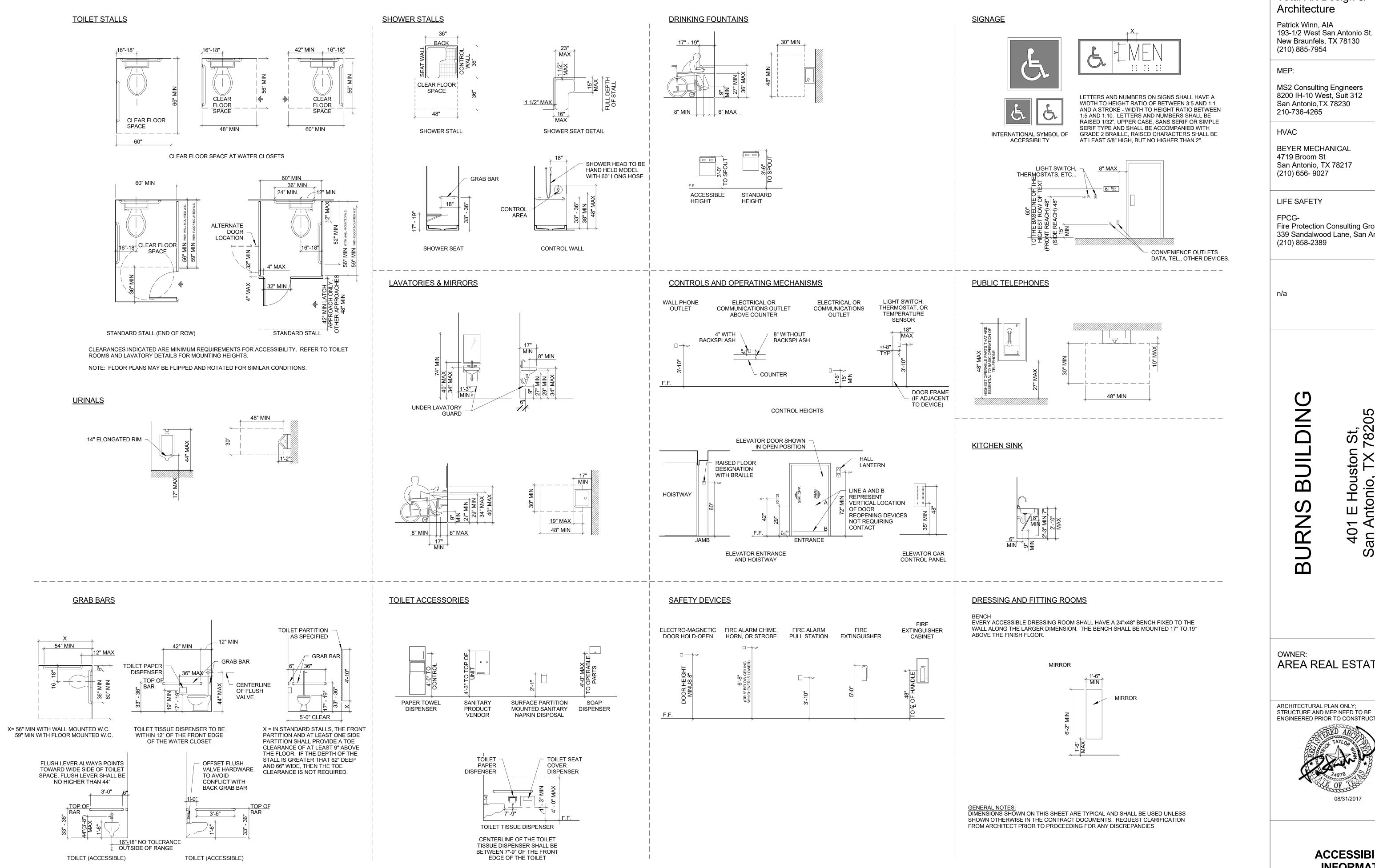
AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



08/31/2017

Project Number:







Total Art Design &

Architecture Patrick Winn, AIA

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DING BURNS

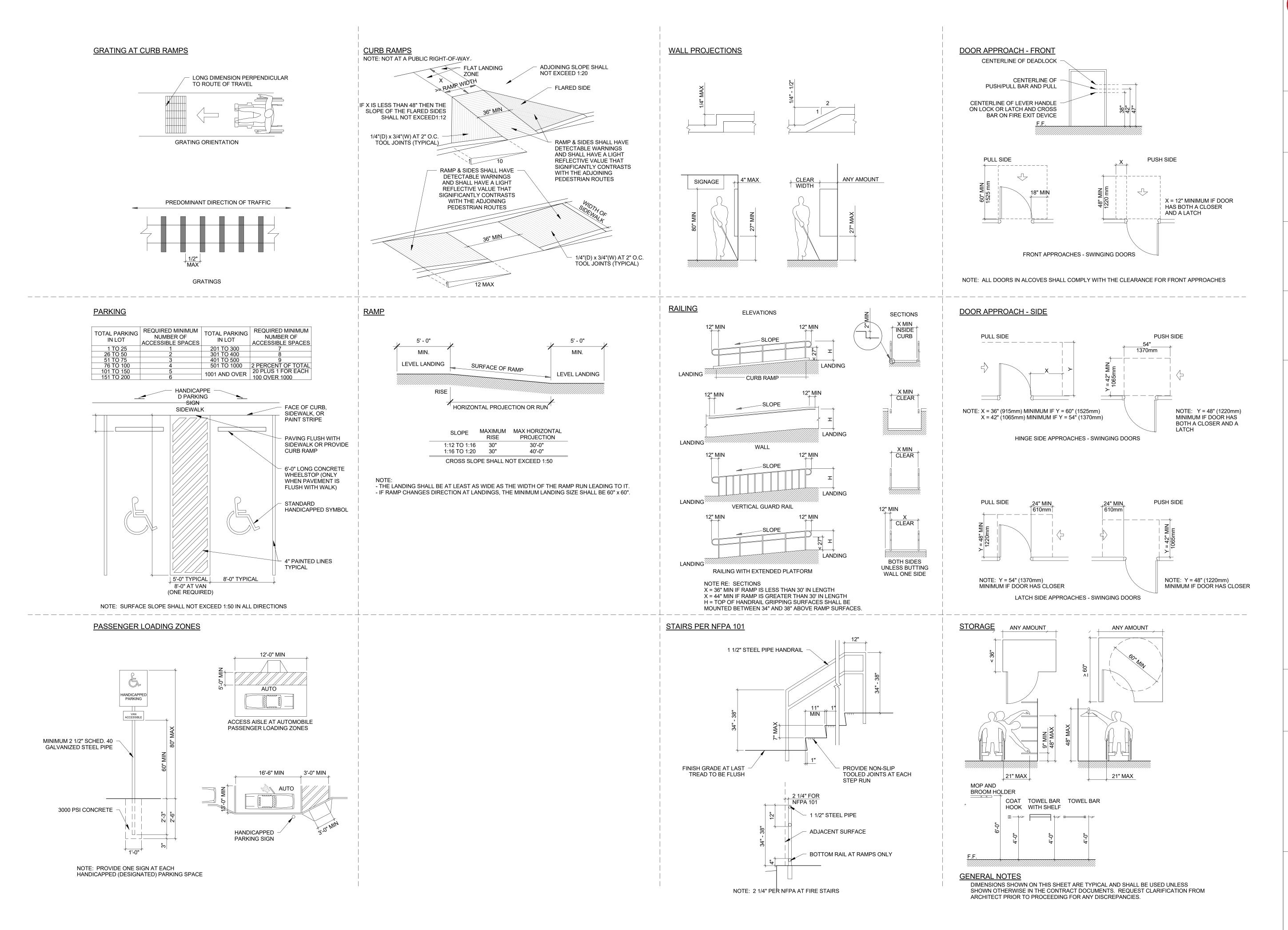
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ACCESSIBILITY INFORMATION

08/31/2017

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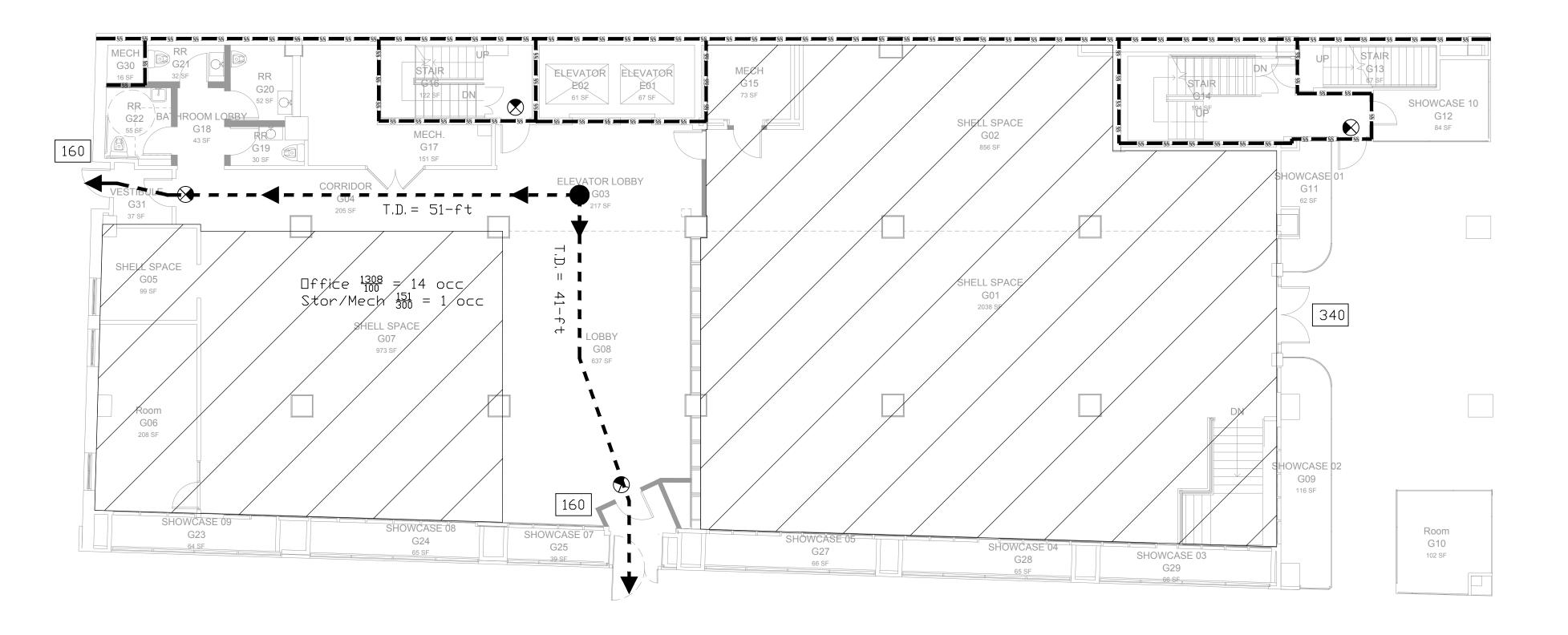
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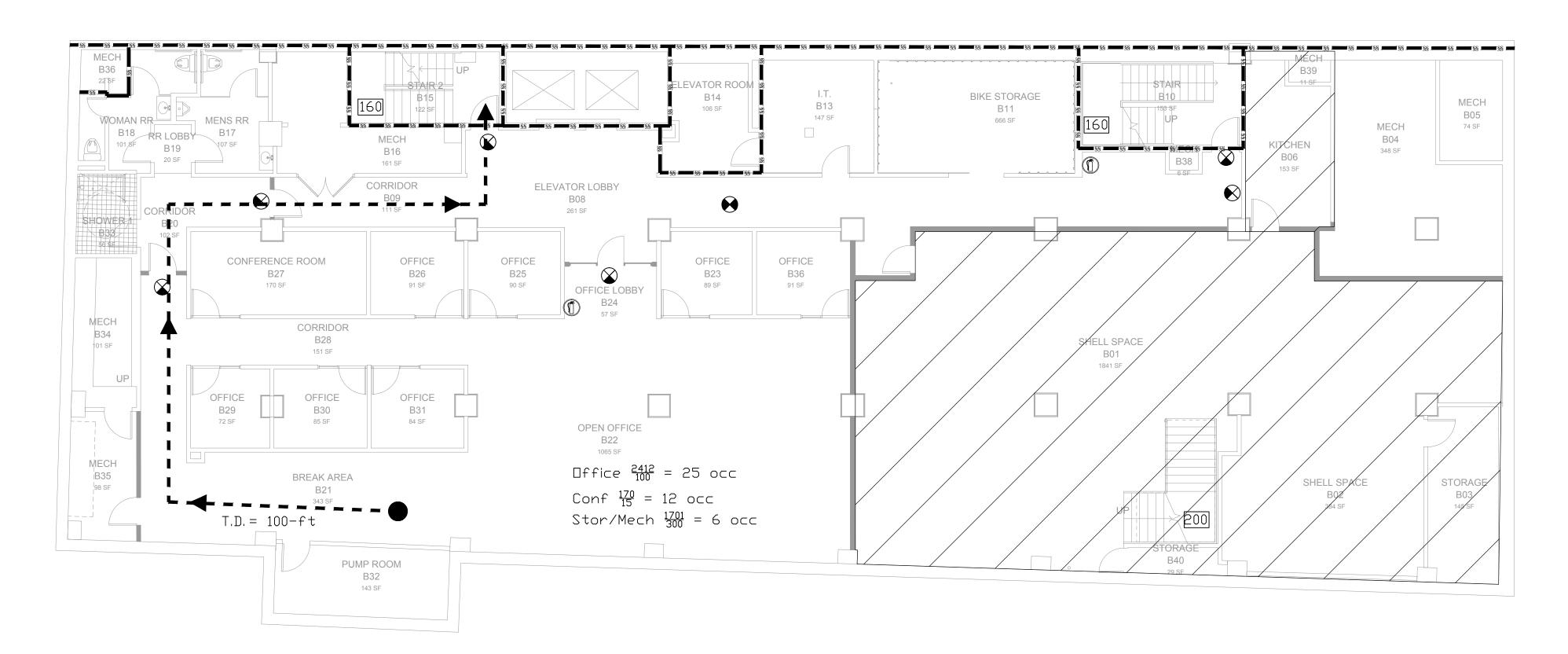
ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION

> **ACCESSIBILITY INFORMATION**

Project Number:



2 LIFE SAFETY PLAN - STREET LEVEL
SCALE: 1/8" = 1'-0"



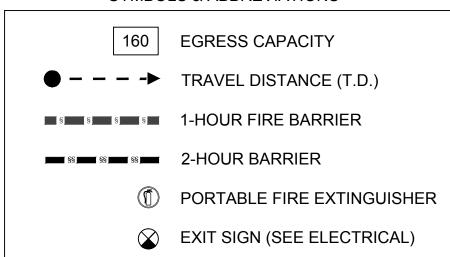
LIFE SAFETY PLAN - BASEMENT LEVEL SCALE: 1/8" = 1'-0"

APPLICABLE CODES

- 2015 International Existing Building Code
- 2. 2015 International Building Code
- 3. 2015 International Fire Code
- 4. 2015 International Plumbing Code
- 5. 2015 International Mechanical Code
- 6. 2014 National Electric Code 7. 2015 International Energy Conservation Code
- 8. 2015 International Fuel Gas Code
- 9. COSA Amendments
- 10. 2013 NFPA 13

11. 2013 NFPA 72

SYMBOLS & ABBREVIATIONS



SHELL SPACE

GENERAL NOTES

- Existing building was previously Group B occupancy. Scope of work includes interior remodel and conversion of some spaces to "Shell" space for future tenant finish out. Anticipated that partial change of occupancy from Group B to Group A-2 at Basement, Street and Mezzanine Levels will take place in future. The future Group A-2 occupancy at Basement, Street, and Mezzanine Levels is separated from the floors above by an existing 10-inch thick minimum 1-hour rated (IBC Table 721.1(3) 2-1.1) concrete floor system with minimum 1-hour rated supporting construction (Min. 10-in concrete columns IBC Table 722.2.4) as necessary to comply with separated occupancy provisions of IBC 508.
- 2. Levels 2 5 to continue to be Group B occupancy.
- 3. Building is equipped with an existing automatic sprinkler system. System to be extended/modified as necessary based on renovation to ensure that, upon completion of renovation, sprinkler system is in compliance with IBC 903 and NFPA 13.
- System to be extended/modified as necessary based on renovation to ensure that, upon completion of renovation, fire alarm system is in compliance with IBC 907 and NFPA 72.

4. Building is equipped with an existing manual fire alarm system and occupant notification.

- 5. Portable fire extinguishers to be minimum 2A:10BC and located such that the maximum travel distance to an extinguisher does not exceed 75-ft.
- 6. Modifications to structural members to be as required for Type IIA construction IBC Chp 6.
- 7. Safeguards during construction to comply with IBC Chapter 33.
- 8. Penetrations of fire resistance rated wall or horizontal assemblies to be protected with either a shaft, damper, or through penetration fire stop as required for specific penetration in accordance with IBC Chapter 7

BUILDING INFORMATION

- Existing Height: 6-stories above grade; 1story below
- 2. Existing Area: 45,628 sf
- 3. Existing Fire Protection: Automatic sprinkler system
- 4. Existing Fire Alarm: Manual fire alarm system w/ occupant notification
- 5. Type of Construction: IIA
- 6. Occupancy: Group B and Shell. Future Non-separated Group A-2 and B at Basement, Street and Mezzanine Levels separated from Group B at floors above (2nd - 5th) by existing minimum 1-hour horizontal floor ceiling assembly.
- 7. Occupant Load: 405 Occupants
- 7.1. Basement: 43 occupants
- 7.2. Street: 15 occupants
- Mezzanine: 41 occupants 2nd - 4th: 102 occupants (each)
- 7.5. 5th: Shell

ALLOWABLE HEIGHT & AREA

- 1. Occupancy: B and Shell (Future Separated Groups A-2 and B)
- 2. Construction Type: IIA
- 3. Fire Protection: Fully sprinklered
- 4. Height: 6-stories above grade.
- a. Existing height is not changing. Introduction of Group A-2 occupancy does not affect allowable height, because separated occupancies are proposed, and Group A-2 is limited to not higher than the 3rd floor above grade plane.

5. Base Allowable:

- a. Group A-2: 15,500 sqft (Future Basement, 1st and Mezzanine Levels)
- b. Group B: 37,500 sqft
- 6. Frontage Increase: Not needed

7. Sprinkler Increase:

- a. Group A-2: 200%; 31,000 sqft
- b. Group B: 200%; 75,000 sqft
- 8. Allowable Per Floor Area: Group A-2: 46,500 sqft; Group B: 112,500 sqft

9. Total Building Allowable Area:

- a. Street Level A-2: 8,230 / 75,000 = 0.109
- b. Mezzanine Level A-2: 4,910 / 75,000 = 0.065
- c. 2nd Level B: 8,122 / 112,500 = 0.072
- d. 3rd Level B: 8,122 / 112,500 = 0.072
- e. 4th Level B: 8,122 / 112,500 = 0.072
- f. 5th Level B: 8,122 / 112,500 = 0.072
- i. Sum of Ratios all Floors: 0.462< 3



Total Art Design & Architecture

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HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

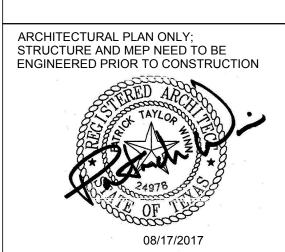
FPCG-

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

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AREA REAL ESTATE, LLC

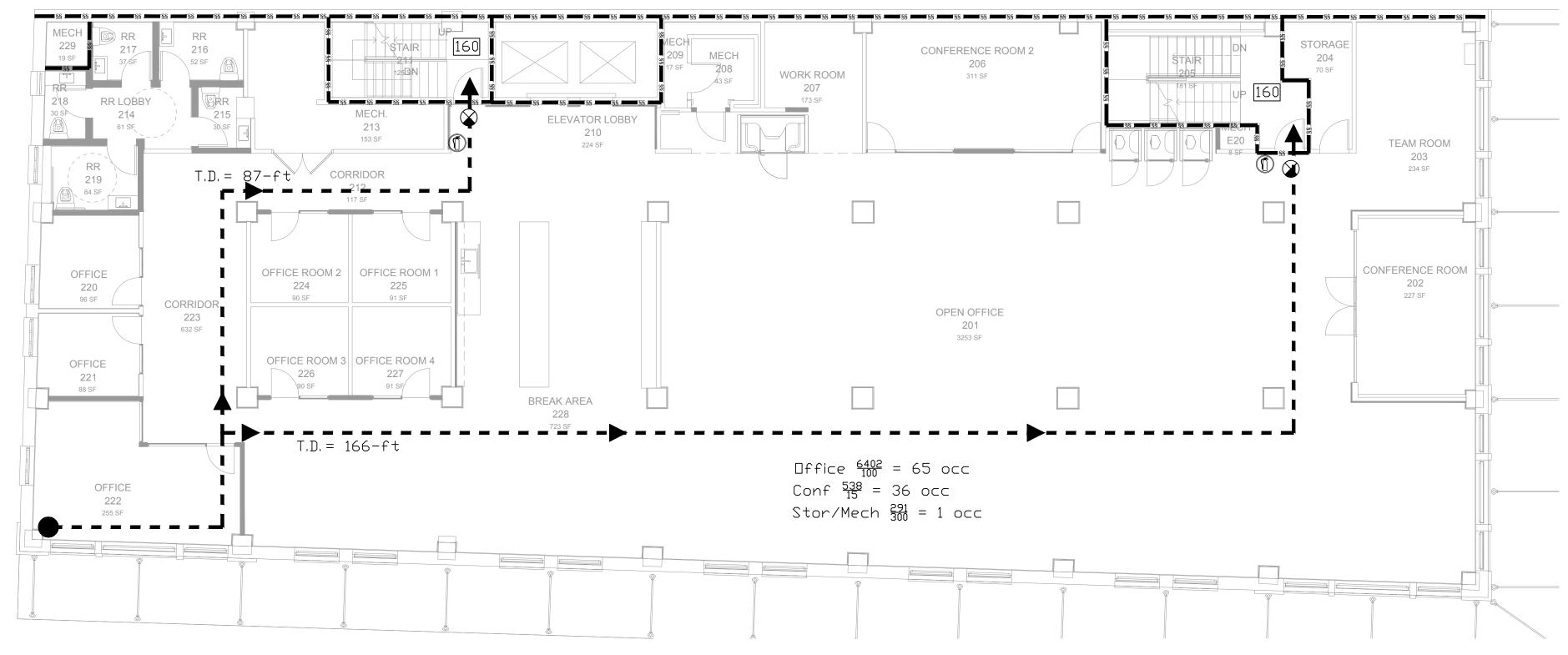
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BASEMENT & STREET LEVEL LIFE SAFETY PLAN

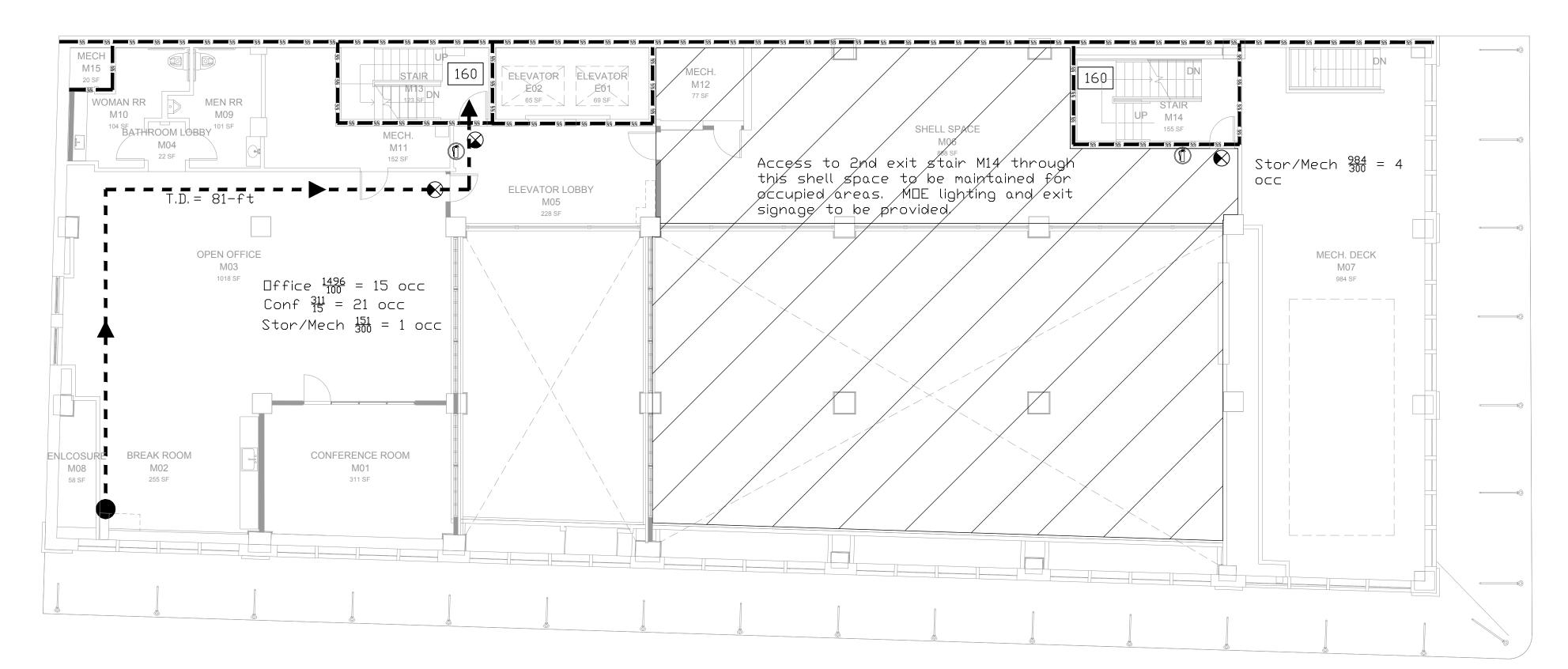


08/30/2017



2 LIFE SAFETY PLAN - 2ND - 4TH LEVEL (TYPICAL)

SCALE: 1/8" = 1'-0"



1 LIFE SAFETY PLAN - MEZZANINE LEVEL
SCALE: 1/8" = 1'-0"

APPLICABLE CODES

- 1. 2015 International Existing Building Code
- 2. 2015 International Building Code
- 3. 2015 International Fire Code
- 4. 2015 International Plumbing Code
- 5. 2015 International Mechanical Code
- 5. 2013 International Mechanical Cou
- 6. 2014 National Electric Code
- 7. 2015 International Energy Conservation Code
- 8. 2015 International Fuel Gas Code
- 9. COSA Amendments
- 9. COSA Amendm 10. 2013 NFPA 13

11. 2013 NFPA 72

SYMBOLS & ABBREVIATIONS

160 EGRESS CAPACITY

- - → TRAVEL DISTANCE (T.D.)

1-HOUR FIRE BARRIER

■ S ■ S ■ 2-HOUR BARRIER

PORTABLE FIRE EXTINGUISHER

EXIT SIGN (SEE ELECTRICAL)

SHELL SPACE

GENERAL NOTES

- 1. Existing building was previously Group B occupancy. Scope of work includes interior remodel and conversion of some spaces to "Shell" space for future tenant finish out. Anticipated that partial change of occupancy from Group B to Group A-2 at Basement, Street and Mezzanine Levels will take place in future. The future Group A-2 occupancy at Basement, Street, and Mezzanine Levels is separated from the floors above by an existing 10-inch thick minimum 1-hour rated (IBC Table 721.1(3) 2-1.1) concrete floor system with minimum 1-hour rated supporting construction (Min. 10-in concrete columns IBC Table 722.2.4) as necessary to comply with separated occupancy provisions of IBC 508.
- 2. Levels 2 5 to continue to be Group B occupancy.
- 3. Building is equipped with an existing automatic sprinkler system. System to be extended/modified as necessary based on renovation to ensure that, upon completion of renovation, sprinkler system is in compliance with IBC 903 and NFPA 13.
- System to be extended/modified as necessary based on renovation to ensure that, upon completion of renovation, fire alarm system is in compliance with IBC 907 and NFPA 72.

 5. Portable fire extinguishers to be minimum 2A:10BC and located such that the maximum

4. Building is equipped with an existing manual fire alarm system and occupant notification.

- travel distance to an extinguisher does not exceed 75-ft.
- 6. Modifications to structural members to be as required for Type IIA construction IBC Chp 6.
- 7. Safeguards during construction to comply with IBC Chapter 33.
- 8. Penetrations of fire resistance rated wall or horizontal assemblies to be protected with either a shaft, damper, or through penetration fire stop as required for specific penetration in accordance with IBC Chapter 7.

BUILDING INFORMATION

- 1. Existing Height: 6-stories above grade; 1story below
- 2. Existing Area: 45,628 sf
- 3. Existing Fire Protection: Automatic sprinkler system
- 4. Existing Fire Alarm: Manual fire alarm system w/ occupant notification
- 5. Type of Construction: IIA
- 6. Occupancy: Group B and Shell. Future Non-separated Group A-2 and B at Basement, Street and Mezzanine Levels separated from Group B at floors above (2nd 5th) by existing minimum 1-hour horizontal floor ceiling assembly.
- 7. Occupant Load: 405 Occupants
- 7.1. Basement: 43 occupants
- 7.2. Street: 15 occupants
- 7.3. Mezzanine: 41 occupants
- 7.4. 2nd 4th: 102 occupants (each)
- 7.5. 5th: Shell

ALLOWABLE HEIGHT & AREA

- 1. Occupancy: B and Shell (Future Separated Groups A-2 and B)
- 2. Construction Type: IIA
- 3. Fire Protection: Fully sprinklered4. Height: 6-stories above grade.
- a. Existing height is not changing. Introduction of Group A-2 occupancy does not affect allowable height, because separated occupancies are proposed, and Group A-2 is limited to not higher than the 3rd floor above grade plane.

5. Base Allowable:

- a. Group A-2: 15,500 sqft (Future Basement, 1st and Mezzanine Levels)
- b. Group B: 37,500 sqft
- 6. Frontage Increase: Not needed
- 7. Sprinkler Increase:
 - a. Group A-2: 200%; 31,000 sqft
- b. Group B: 200%; 75,000 sqft
- 8. Allowable Per Floor Area: Group A-2: 46,500 sqft; Group B: 112,500 sqft
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- 4th Level B: 8,122 / 112,500 = 0.072
- f. 5th Level B: 8,122 / 112,500 = 0.072 i. Sum of Ratios all Floors: 0.462< 3

Total Art Design & Architecture Patrick Winn, AIA

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LIFE SAFETY

FPCG-

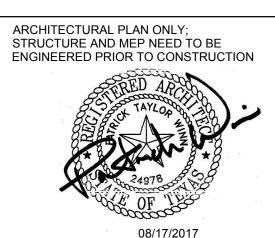
Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

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BURNS BUILDING

OWNER: AREA REAL ESTATE, LLC

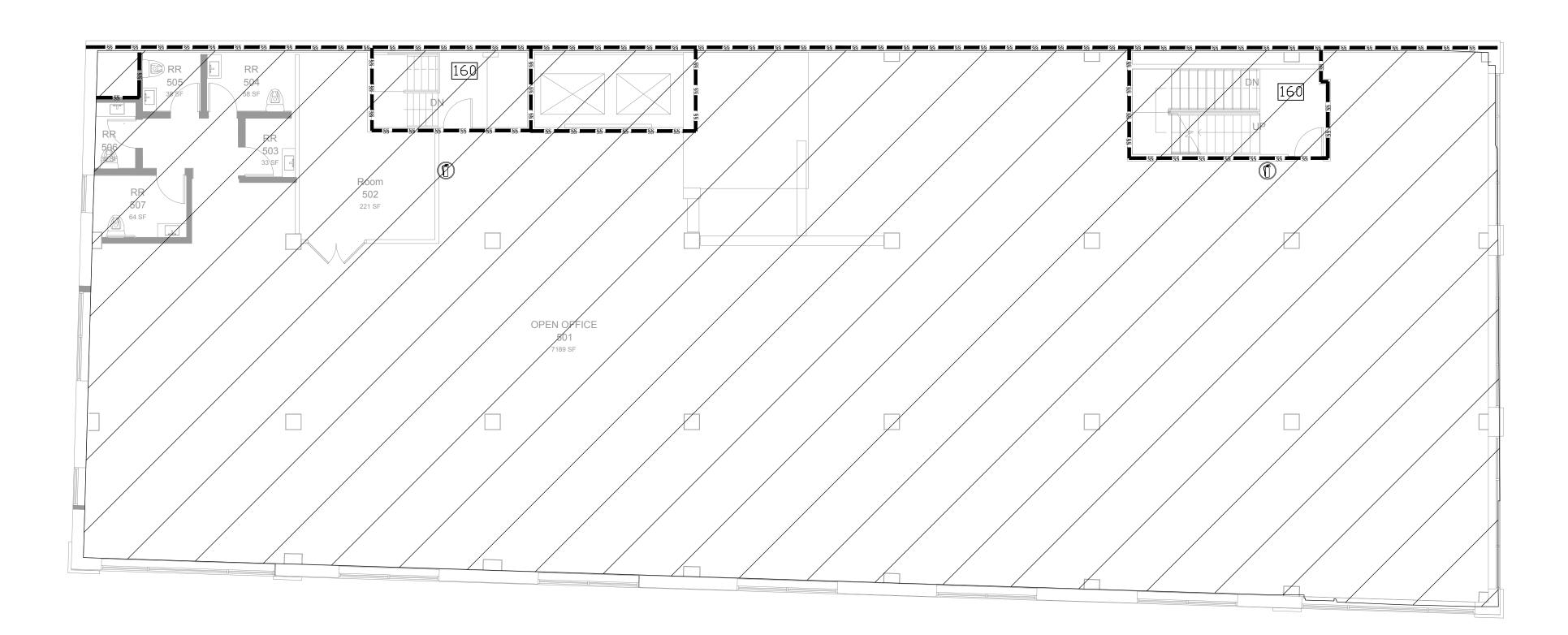
401 E Hous San Antonio, ⁻



MEZZANINE & 2ND LEVEL LIFE SAFETY PLAN



1712 08/30/2017



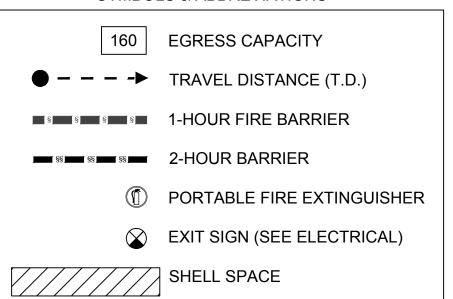
1 LIFE SAFETY PLAN - 5TH LEVEL (SHELL)

SCALE: 1/8" = 1'-0"

APPLICABLE CODES

- 1. 2015 International Existing Building Code
- 2. 2015 International Building Code
- 3. 2015 International Fire Code
- 4. 2015 International Plumbing Code
- 5. 2015 International Mechanical Code
- 6. 2014 National Electric Code
- 7. 2015 International Energy Conservation Code
- 8. 2015 International Fuel Gas Code
- 9. COSA Amendments
- 10. 2013 NFPA 13
- 11. 2013 NFPA 72

SYMBOLS & ABBREVIATIONS



GENERAL NOTES

- Existing building was previously Group B occupancy. Scope of work includes interior remodel and conversion of some spaces to "Shell" space for future tenant finish out. Anticipated that partial change of occupancy from Group B to Group A-2 at Basement, Street and Mezzanine Levels will take place in future. The future Group A-2 occupancy at Basement, Street, and Mezzanine Levels is separated from the floors above by an existing 10-inch thick minimum 1-hour rated (IBC Table 721.1(3) 2-1.1) concrete floor system with minimum 1-hour rated supporting construction (Min. 10-in concrete columns IBC Table 722.2.4) as necessary to comply with separated occupancy provisions of IBC 508.
- 2. Levels 2 5 to continue to be Group B occupancy.
- 3. Building is equipped with an existing automatic sprinkler system. System to be extended/modified as necessary based on renovation to ensure that, upon completion of renovation, sprinkler system is in compliance with IBC 903 and NFPA 13.
- Building is equipped with an existing manual fire alarm system and occupant notification. System to be extended/modified as necessary based on renovation to ensure that, upon completion of renovation, fire alarm system is in compliance with IBC 907 and NFPA 72.
- 5. Portable fire extinguishers to be minimum 2A:10BC and located such that the maximum travel distance to an extinguisher does not exceed 75-ft.
- 6. Modifications to structural members to be as required for Type IIA construction IBC Chp 6.
- Safeguards during construction to comply with IBC Chapter 33.
- 8. Penetrations of fire resistance rated wall or horizontal assemblies to be protected with either a shaft, damper, or through penetration fire stop as required for specific penetration in accordance with IBC Chapter 7.

BUILDING INFORMATION

- 1. Existing Height: 6-stories above grade; 1story below
- 2. Existing Area: 45,628 sf
- 3. Existing Fire Protection: Automatic sprinkler system
- 4. Existing Fire Alarm: Manual fire alarm system w/ occupant notification
- 5. Type of Construction: IIA
- 6. Occupancy: Group B and Shell. Future Non-separated Group A-2 and B at Basement, Street and Mezzanine Levels separated from Group B at floors above (2nd - 5th) by existing minimum 1-hour horizontal floor ceiling assembly.
- 7. Occupant Load: 405 Occupants
- 7.1. Basement: 43 occupants
- 7.2. Street: 15 occupants
- 7.3. Mezzanine: 41 occupants 7.4. 2nd - 4th: 102 occupants (each)
- 7.5. 5th: Shell

ALLOWABLE HEIGHT & AREA

- 1. Occupancy: B and Shell (Future Separated Groups A-2 and B)
- 2. Construction Type: IIA
- 3. Fire Protection: Fully sprinklered
- 4. Height: 6-stories above grade.
 - a. Existing height is not changing. Introduction of Group A-2 occupancy does not affect allowable height, because separated occupancies are proposed, and Group A-2 is limited to not higher than the 3rd floor above grade plane.
- 5. Base Allowable:
- a. Group A-2: 15,500 sqft (Future Basement, 1st and Mezzanine Levels)
- b. Group B: 37,500 sqft
- 6. Frontage Increase: Not needed
- 7. Sprinkler Increase:
- a. Group A-2: 200%; 31,000 sqft
- b. Group B: 200%; 75,000 sqft
- 8. Allowable Per Floor Area: Group A-2: 46,500 sqft; Group B: 112,500 sqft
- 9. Total Building Allowable Area:
 - a. Street Level A-2: 8,230 / 75,000 = 0.109
 - c. 2nd Level B: 8,122 / 112,500 = 0.072

b. Mezzanine Level A-2: 4,910 / 75,000 = 0.065

- d. 3rd Level B: 8,122 / 112,500 = 0.072
- e. 4th Level B: 8,122 / 112,500 = 0.072
- f. 5th Level B: 8,122 / 112,500 = 0.072
- i. Sum of Ratios all Floors: 0.462< 3



Total Art Design & Architecture

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MEP:

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HVAC

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LIFE SAFETY

FPCG-

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\Box URNS

AREA REAL ESTATE, LLC



5TH LEVEL LIFE SAFETY PLAN



08/30/2017

DEMOLITION GENERAL NOTE: 1. CONTRACTOR TO IDENTIFY HISTORICAL ELEMENTS WITH OWNER PRIOR TO DEMO WORK TO PREVENT DAMAGE TO THEM. 2. SAVE ALL THE DOORS & LIGHT FIXTURES THAT NOTED FOR DEMOLITION FOR FUTURE USE. 3. KEEP EXISTING LIGHT FIXTURES AND REPLACE LIGHT BULBS WITH LED, UNLESS OTHERWISE NOTED. G В DEMO CEILINGS & REMOVE LIGHTS REPLACE CEILINGS PANELS ... - = = = = = = · _ • 0 _____0 o _____o · · · _ · ㄷᆜ느ㅋ 2 DEMO RCP - BASEMENT 1/8" = 1'-0" G Н 4 A361 A362 B14 DEMO WALLS **DEMO COUNTERS** & CABINET REMOVE DOOR & GLASS REMOVE DOOR **DEMO WALLS** B26 B25 DEMO WALL, B30 B31 REMOVE DOOR REMOVE DOOR & GLASS REMOVE DOOR B02 = = = B34 A203 \vdash \vdash \vdash \vdash \vdash DEMO SHELF & **DEMO SHELF DEMO WALL** WALL\$ 1 A204 \vdash ' \dashv ' \dashv DEMO SHELF (B39) A206





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n/a

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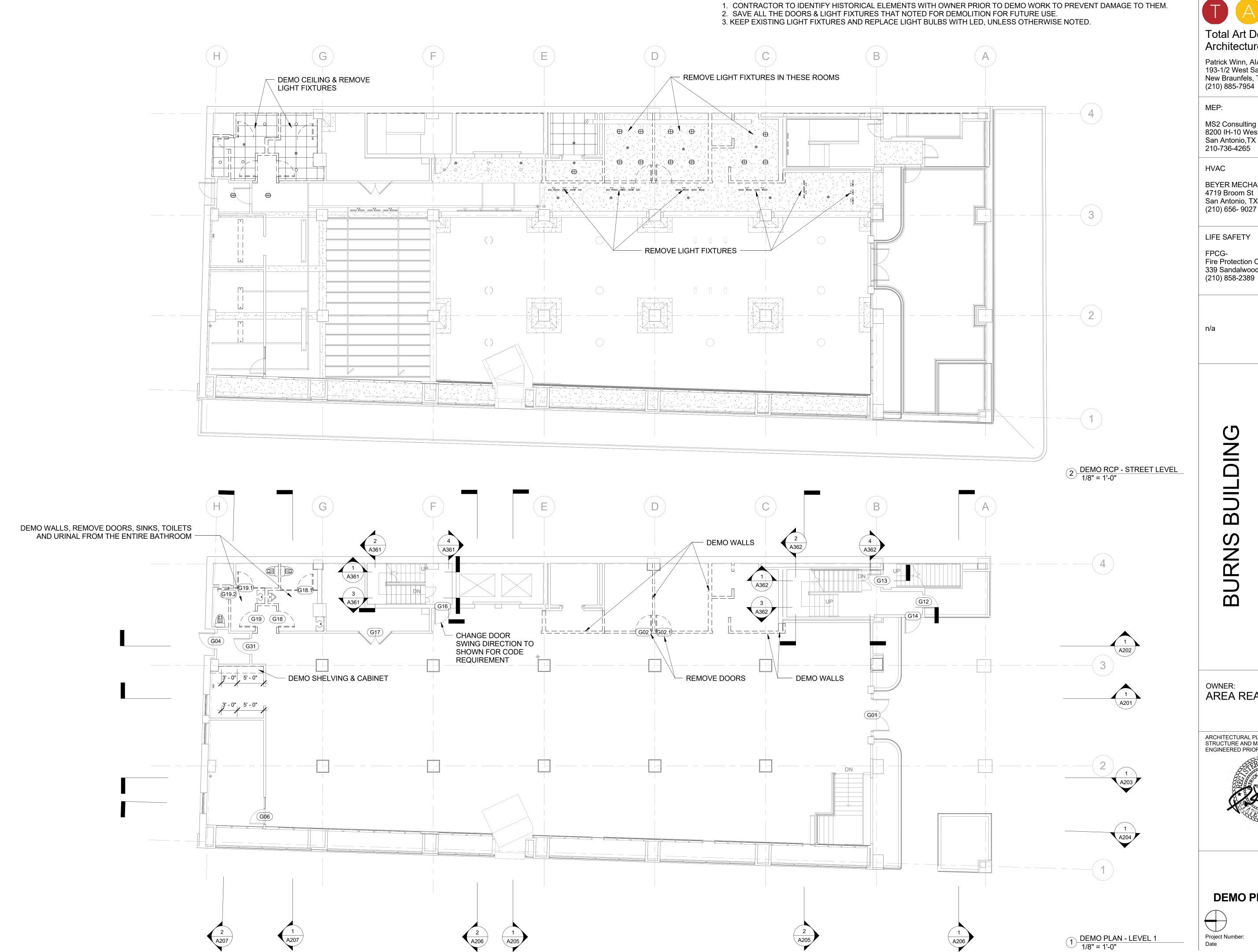
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DEMO PLAN BASEMENT

Project Number:

1 DEMO PLAN - BASEMENT 1/8" = 1'-0"



DEMOLITION GENERAL NOTE:





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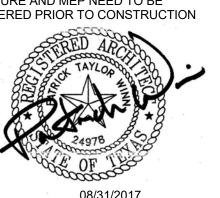
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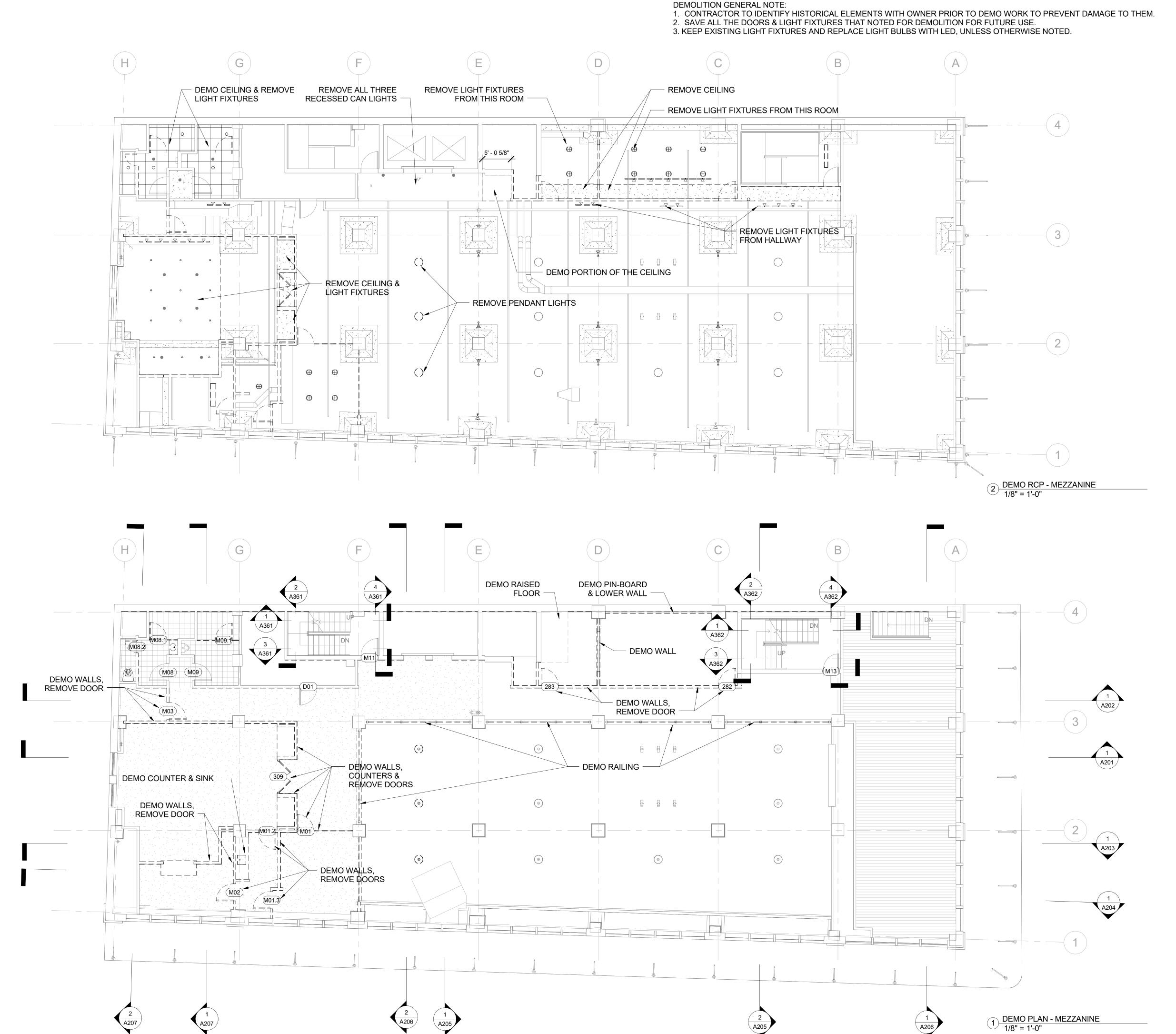
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DEMO PLAN LEVEL 1





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San Antonio, TX 78217

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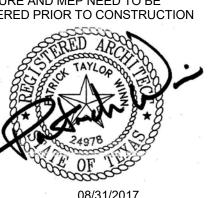
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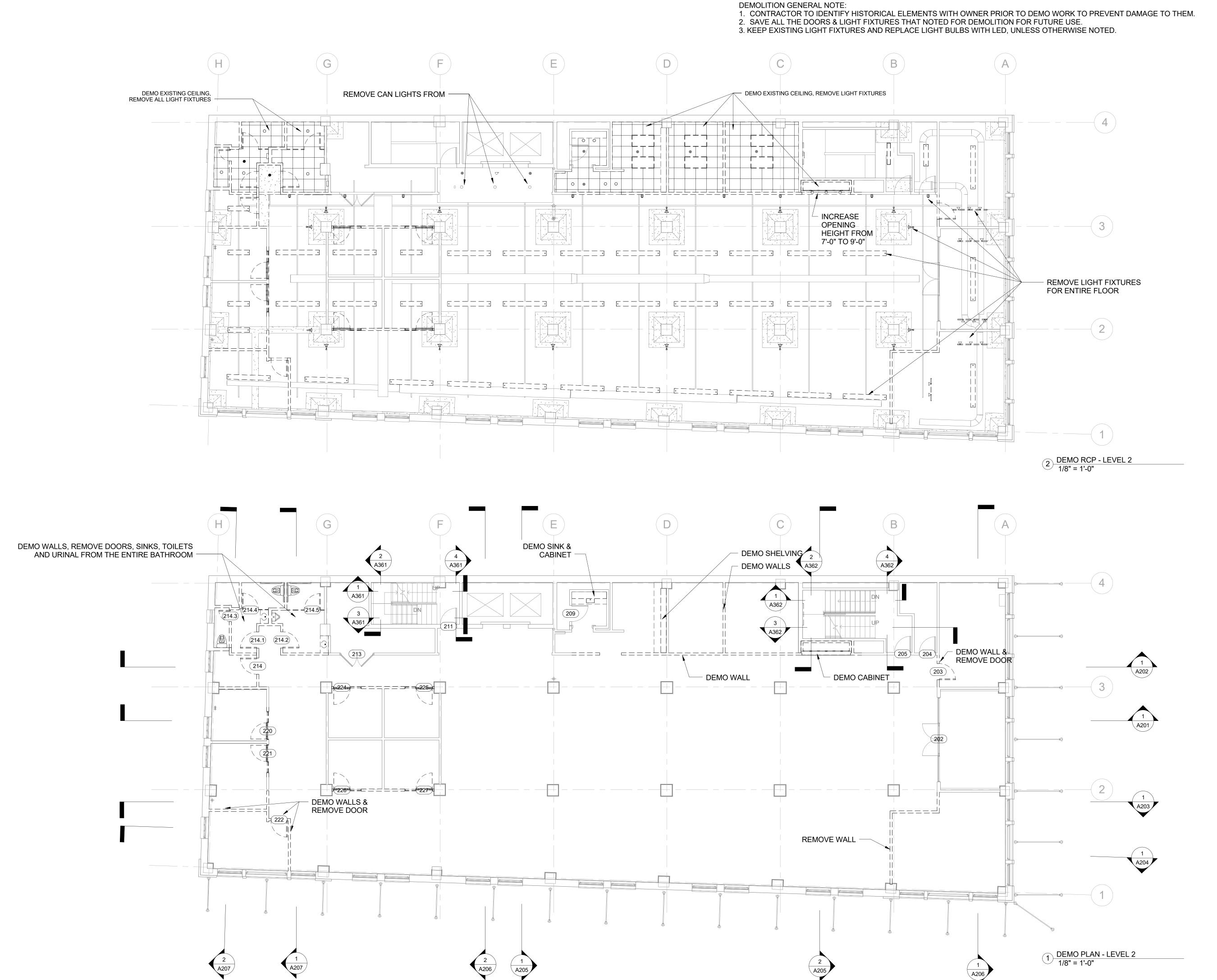
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DEMO PLAN MEZZANINE











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HVAC

BEYER MECHANICAL

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San Antonio, TX 78217

LIFE SAFETY

(210) 656- 9027

FPCG-

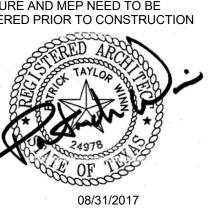
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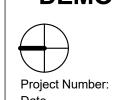
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DEMO PLAN LEVEL 2







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LIFE SAFETY

(210) 858-2389

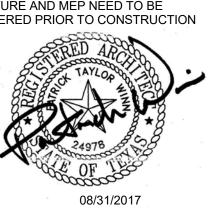
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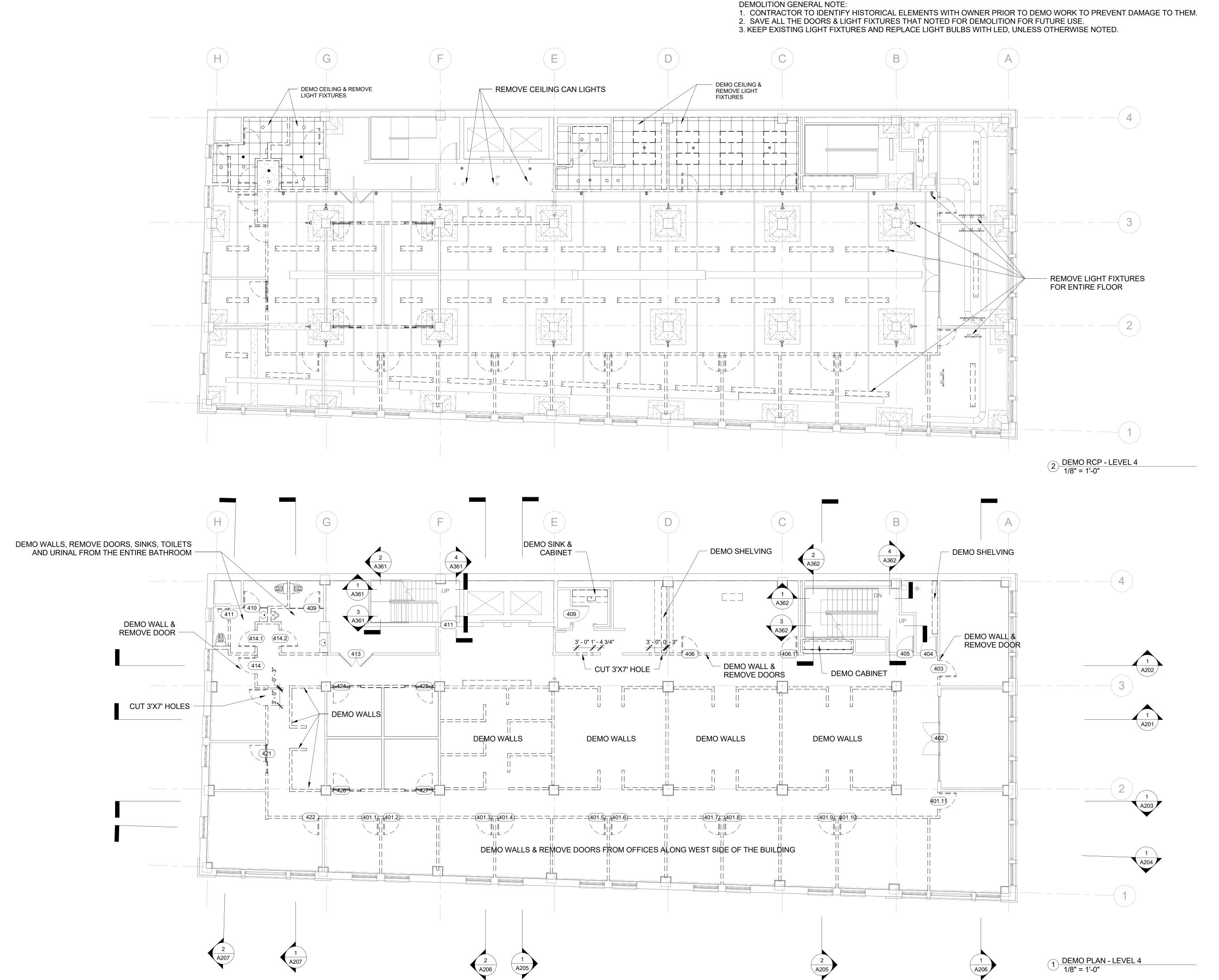
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DEMO PLAN LEVEL 3

Project Number:







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HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

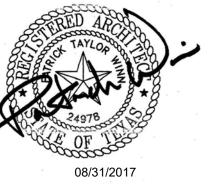
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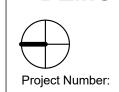
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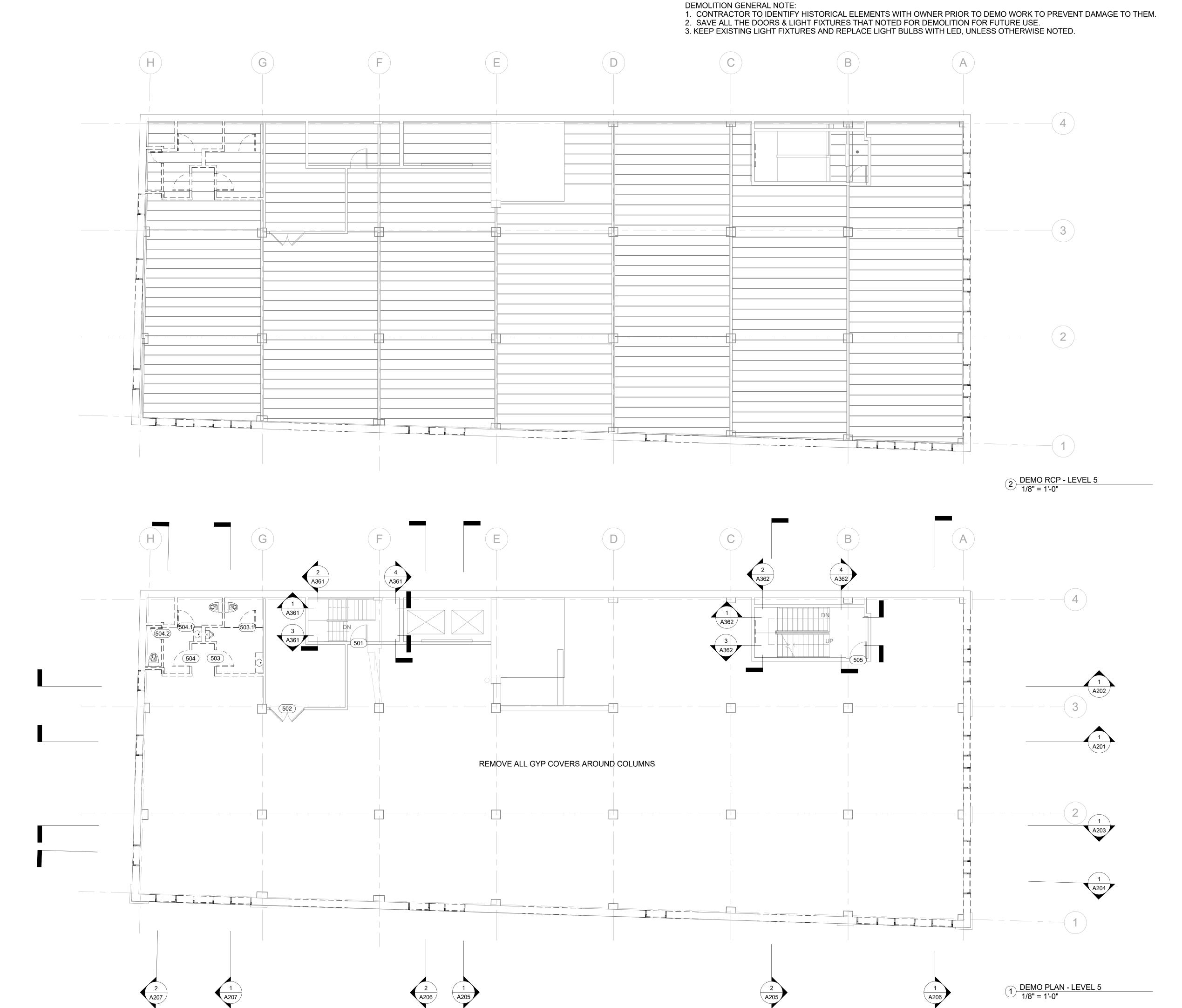
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DEMO PLAN LEVEL 4









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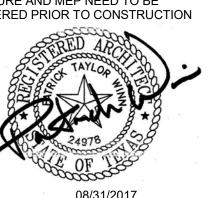
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ILDING

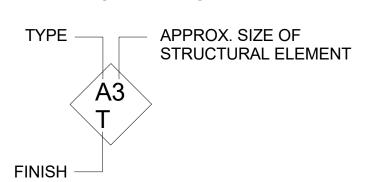
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DEMO PLAN LEVEL 5

PARTITION TYPE TAG



A GLASS WALL SYSTEM	A3 GLASS WALL SYSTEM PICKED BY OWNER AND ARCHITECT.
B STANDARD WALL	B4 5/8" GYP, 4" METAL STUD, 5/8" GYP. B4 W 3/4" WOOD, 5/8" GYP, 4" METAL STUD, 5/8" GYP. B4 1HR (1HOUR FIRE RATED) 5/8" GYP, 5/8" GYP, 4" METAL STUD, 5/8" GYP, 5/8" GYP.
C TILE WALL	C4 T 1/4" CERAMIC TILE, 1/2" MORTAR BED, 1/2" CEMENTITIOUS BACKER BOARD, 4" METAL STUD, 5/8" GYP. C4 TT 1/4" CERAMIC TILE, 1/2" MORTAR BED, 1/2" CEMENTITIOUS BACKER BOARD, 4" METAL STUD, 1/2" CEMENTITIOUS BACKER BOARD, 1/2" MORTAR BED, 1/4" CERAMIC TILE.

1 WALL TYPE 1/2" = 1'-0"







Total Art Design & Architecture

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ILDING

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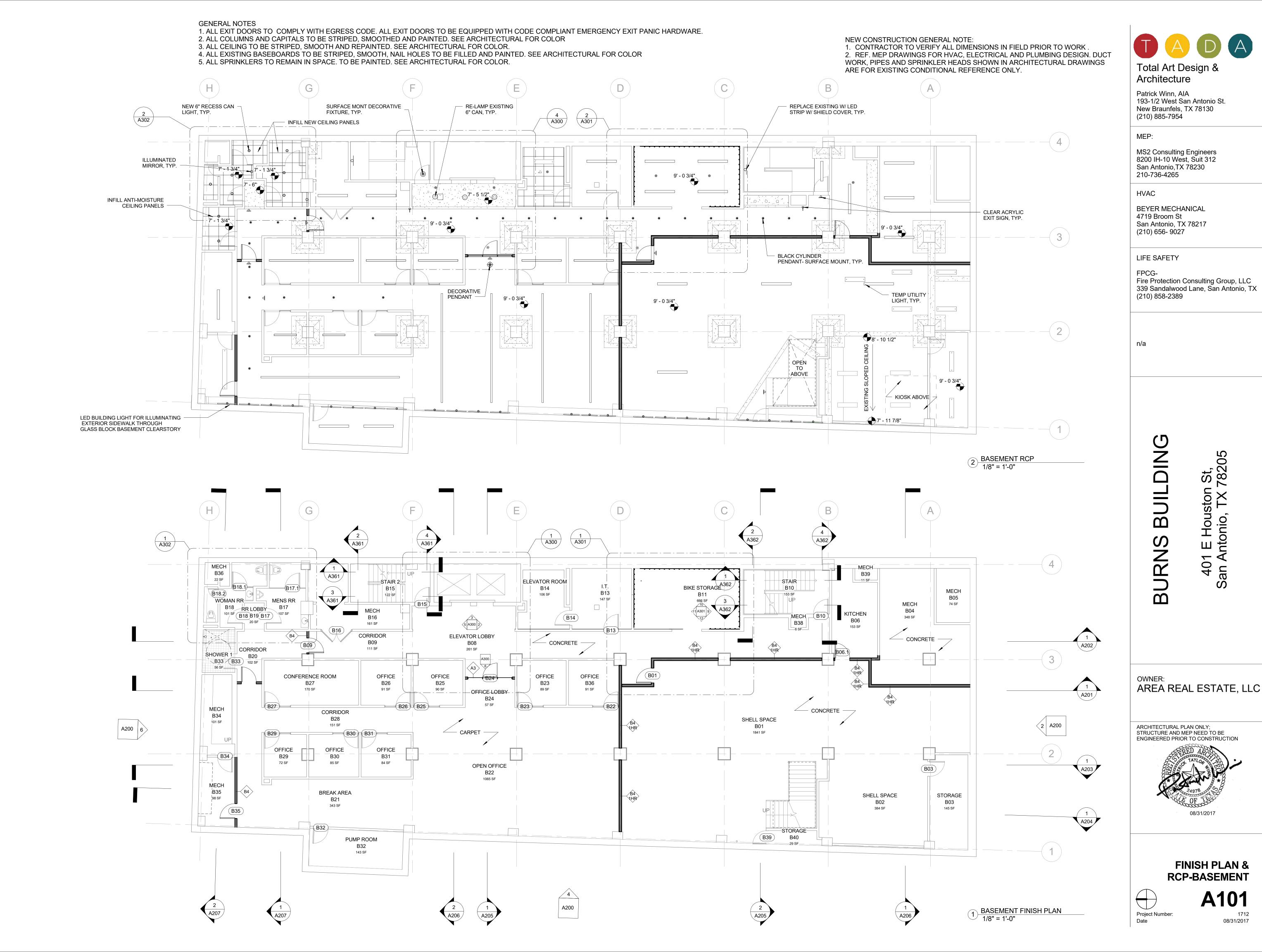
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GENERAL NOTES







GENERAL NOTES 1. ALL EXIT DOORS TO COMPLY WITH EGRESS CODE. ALL EXIT DOORS TO BE EQUIPPED WITH CODE COMPLIANT EMERGENCY EXIT PANIC HARDWARE. **NEW CONSTRUCTION GENERAL NOTE:** 2. ALL COLUMNS AND CAPITALS TO BE STRIPED, SMOOTHED AND PAINTED. SEE ARCHITECTURAL FOR COLOR 1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK. 3. ALL CEILING TO BE STRIPED, SMOOTH AND REPAINTED. SEE ARCHITECTURAL FOR COLOR. 2. REF. MEP DRAWINGS FOR HVAC, ELECTRICAL AND PLUMBING DESIGN. DUCT 4. ALL EXISTING BASEBOARDS TO BE STRIPED, SMOOTH, NAIL HOLES TO BE FILLED AND PAINTED. SEE ARCHITECTURAL FOR COLOR WORK, PIPES AND SPRINKLER HEADS SHOWN IN ARCHITECTURAL DRAWINGS 5. ALL SPRINKLERS TO REMAIN IN SPACE. TO BE PAINTED. SEE ARCHITECTURAL FOR COLOR. ARE FOR EXISTING CONDITIONAL REFERENCE ONLY. REPLACE EXISTING REPLACE ELEVATOR LIGHT W/ CONCEALED 2 A314 NEW 6" RECESS CAN BLACK CYLINDER W/ LED STRIP W/ PENDANT- SURFACE MOUNT, TYP. LIGHT, TYP. SHIELD COVER, TYP. LED STRIP LIGHT. SURFACE MONT DECORATIVE **RE-LAMP EXISTING 6"** FIXTURE, TYP. CAN, TYP. ILLUMINATED MIRROR, TYP. ILLUMINATED OCCUPIED SIGN, TYP. CLEAR ACRYLIC EXIT SIGN, TYP. REPLACE EXISTING SURFACE MOUNT DECORATIVE FIXTURE, TYP. TEMP UTILITY SEE A103 -LIGHT, TYP. _EXISTING_ SEE A103 -EXPOSED STEEL __STRUCTURE_ OPEN TO ABOVE OPEN TO ABOVE REPLACE EXISTING ADD- ALTERNATE: NEW COLOR- CHANGE WALL SCONCE, TYP. LED LIGHT FOR ILLUMINATING GLASS WINDOW DISPLAY, TYP. 2 STREET LEVEL RCP 1/8" = 1'-0" 4 A361 1 A314 STAIR G13 G15 E02 61 SF SHOWCASE 10 G12 SHELL SPACE ■ B36 **=** G02 856 SF (G03) SHOWCASE 0 **ELEVATOR LOBBY** G11 G03 ___G31__-217 SF 205 SF 37 SF SHELL SPACE BOOK SHELF SHELL SPACE 4 A310 3 SHELL SPACE LOBBY G08 A200 6 681 SF CONCRETE CONCRETE WOOD INLAY G06 SHOWCASE 02 G09 SHOWCASE 09 SHOWCASE 08 A204 Room G23 SHOWCASE 07 SHOWCASE 05 G24 G10 64 SF G25 SHOWCASE 04 G27 SHOWCASE 03 102 SF G28 G29 3'6" GATE WITH (1) (A312) PANIC HARDWARE A200 A206 1 LEVEL 1 FINISH PLAN
1/8" = 1'-0"





Total Art Design & Architecture

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LIFE SAFETY

HVAC

FPCG-

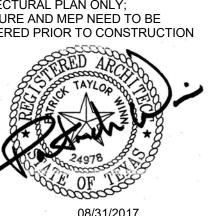
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BURNS BUILDING

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



FINISH PLAN & RCP-LEVEL 1

Project Number: 1712
Date 08/31/2017

GENERAL NOTES 1. ALL EXIT DOORS TO COMPLY WITH EGRESS CODE. ALL EXIT DOORS TO BE EQUIPPED WITH CODE COMPLIANT EMERGENCY EXIT PANIC HARDWARE. **NEW CONSTRUCTION GENERAL NOTE:** 2. ALL COLUMNS AND CAPITALS TO BE STRIPED, SMOOTHED AND PAINTED. SEE ARCHITECTURAL FOR COLOR 1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO WORK. 3. ALL CEILING TO BE STRIPED, SMOOTH AND REPAINTED. SEE ARCHITECTURAL FOR COLOR. 2. REF. MEP DRAWINGS FOR HVAC, ELECTRICAL AND PLUMBING DESIGN. DUCT 4. ALL EXISTING BASEBOARDS TO BE STRIPED, SMOOTH, NAIL HOLES TO BE FILLED AND PAINTED. SEE ARCHITECTURAL FOR COLOR WORK, PIPES AND SPRINKLER HEADS SHOWN IN ARCHITECTURAL DRAWINGS 5. ALL SPRINKLERS TO REMAIN IN SPACE. TO BE PAINTED. SEE ARCHITECTURAL FOR COLOR. ARE FOR EXISTING CONDITIONAL REFERENCE ONLY. DECORATIVE FIXTURE, EXISTING ELEVATOR / LIGHTS NEW 6" RECESS CAN RE- LAMP CLEAR ACRYLIC. MECH ROOM 6 A318 REPLACE EXISTING W/ LIGHT, TYP. EXISTING 6" CAN, UTILITY LIGHT, TYP. EXIT SIGN, TYP. LED STRIP W/ SHIELD COVER, TYP. ILLUMINATED OCCUPIED SIGN, TYP. CLEAR ACRYLIC EXIT SIGN, TYP. TEMP UTILITY ILLUMINATED LIGHT, TYP. MIRROR, TYP. REPLACE EXISTING WALL SCONCE, TYP. NEO-RAY DEFINE 4 LIGHT FIXTURE EXISTING LARGE CYLINDER
PENDANT TO REMAIN AS A TEMP SHELL FIXTURE, TYP. LARGE CUSTOM CHANDELIER' NEW BUILDING UP-LIGHTS REPLACE EXISTING & ADD NEW AT EACH COLUMN BAY, TYP. 2 LEVEL 1.5 MEZZININE RCP 1/8" = 1'-0" 5 A318 \ A361 STAIR_ ELEVATOR ELEVATOR STAIR UP M14 A362 SHELL SPACE M06 CONCRETE M05 228 SF OPEN OFFICE MECH. DECK OPEN TO BELOW OPEN TO BELOW A200 6 MECH EQUIPMENT ENLCOSURE BREAK ROOM CONFERENCE ROOM M08 58 SF M02 A204 1 A317 A200 A206 1 LEVEL 1.5 MEZZININE FINISH PLAN 1/8" = 1'-0"

Total Art Design &

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San Antonio, TX 78217

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Architecture

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4719 Broom St

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LIFE SAFETY

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BURNS

OWNER:

Project Number:

AREA REAL ESTATE, LLC

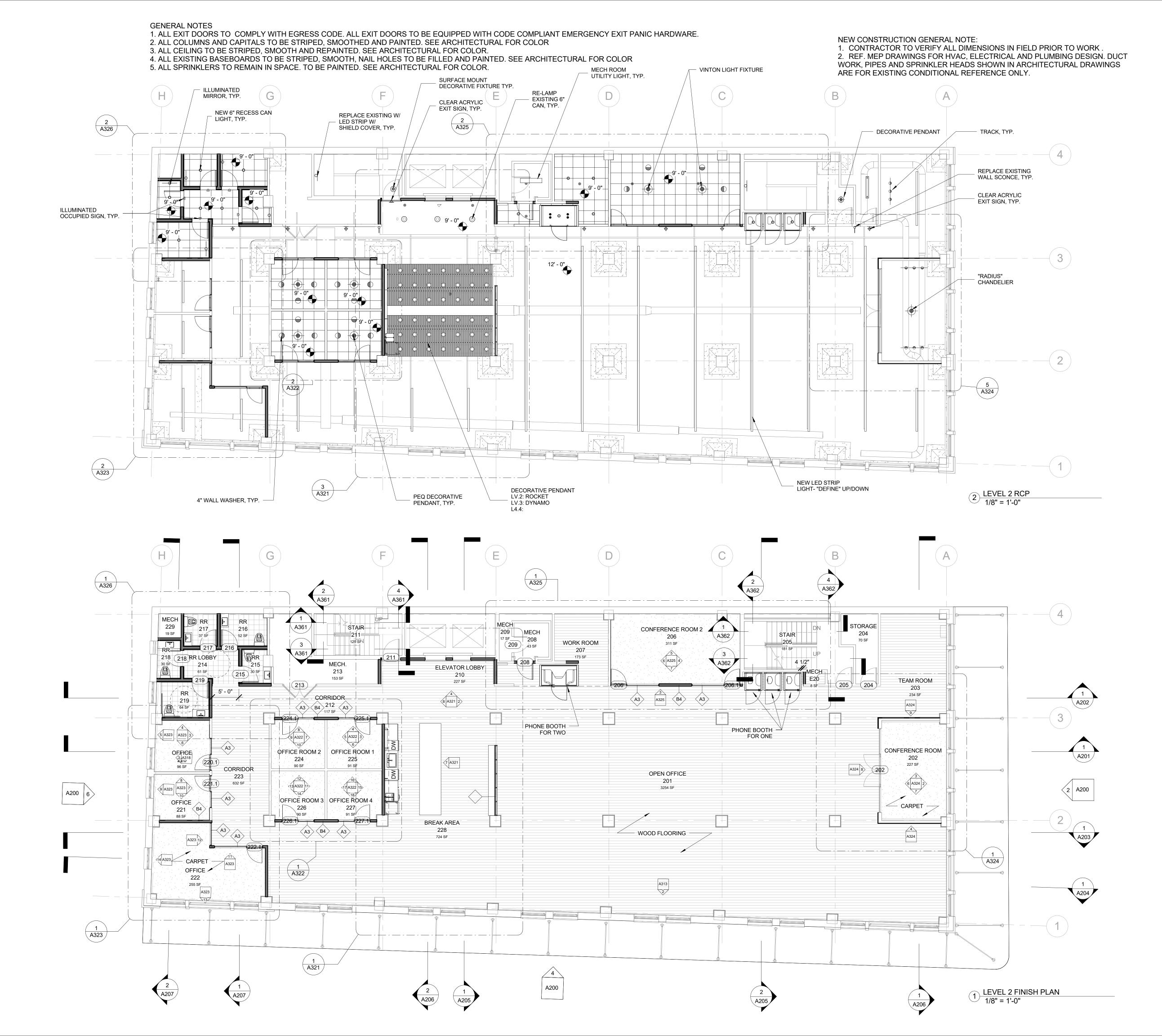
FINISH PLAN &

RCP-MEZZANINE

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MEP:

HVAC









Total Art Design &

Architecture

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LIFE SAFETY

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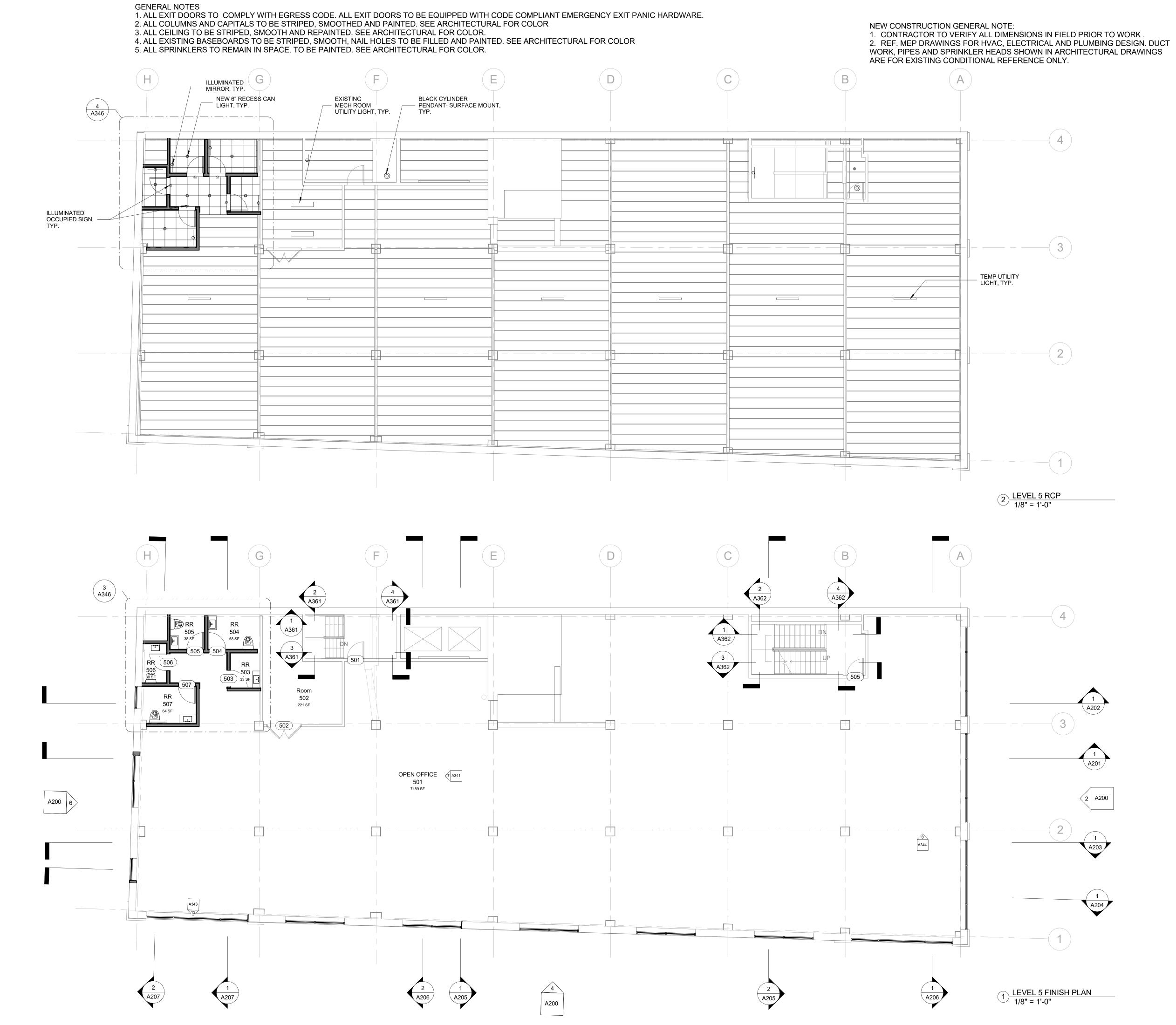
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FINISH PLAN & RCP-LEVEL 2,3,4



A104 08/31/2017







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BEYER MECHANICAL
4719 Broom St

San Antonio, TX 78217

LIFE SAFETY

(210) 656- 9027

CG-

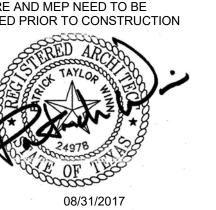
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BURNS BUILDING

OWNER: AREA REAL ESTATE, LLC

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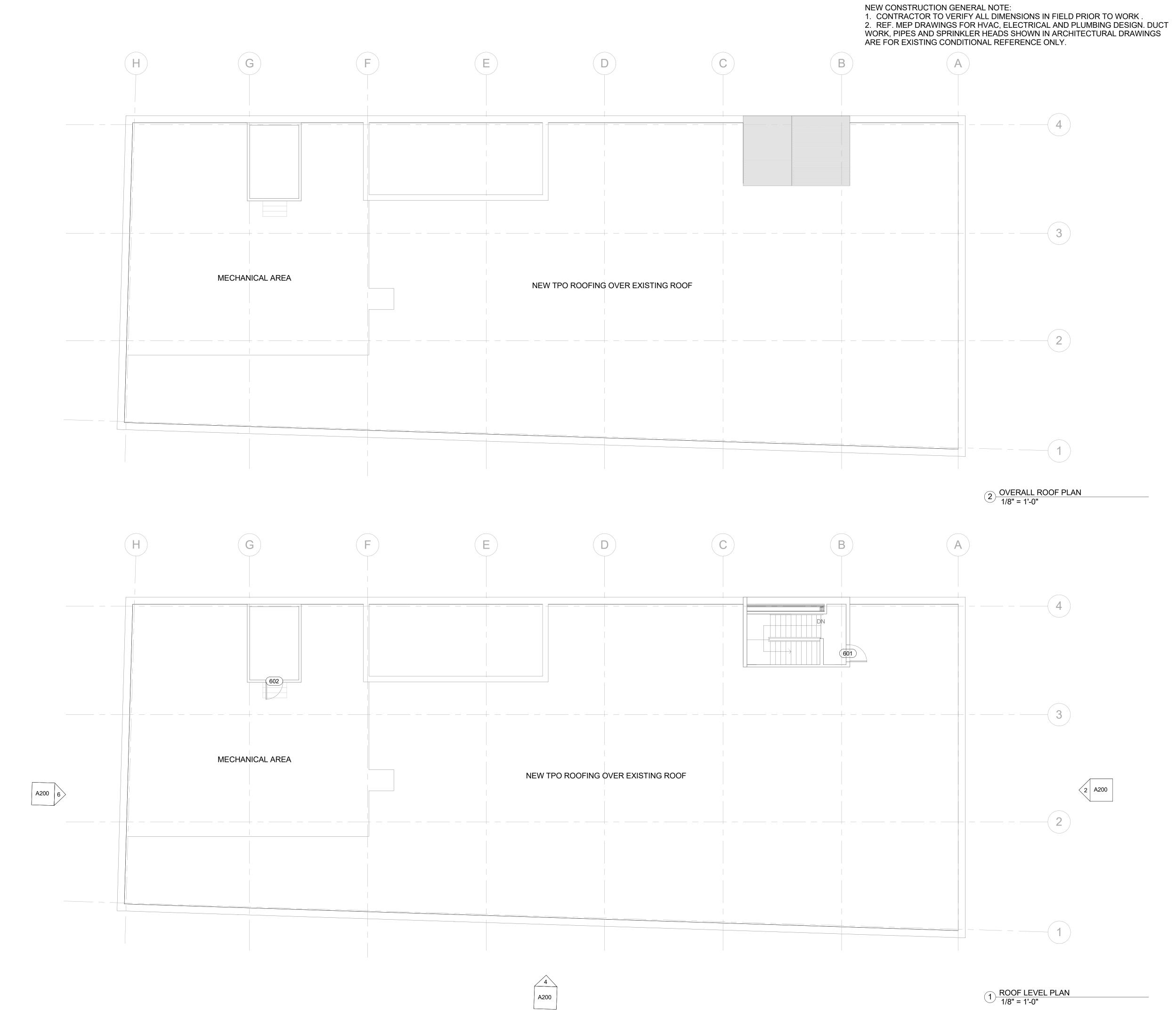


FINISH PLAN & RCP-LEVEL 5



A107

1712
08/31/2017







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New Braunfels, TX 78130 (210) 885-7954

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LIFE SAFETY

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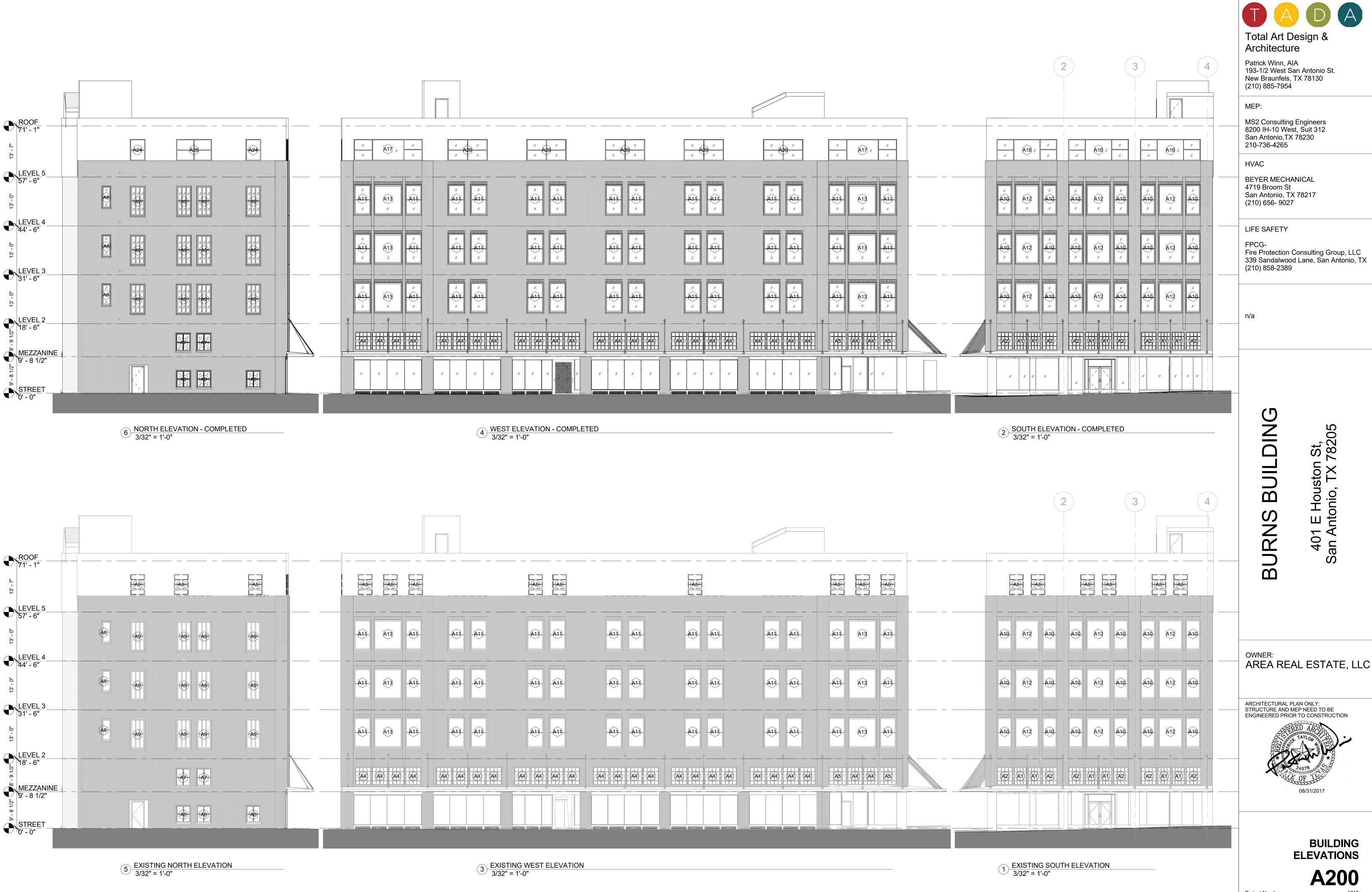
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ROOF PLANS







A200 1712 08/31/2017 Project Number: Date

08/31/2017

BUILDING

ELEVATIONS

401 E Houston St, San Antonio, TX 78205









Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

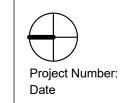
Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING BUI BURNS

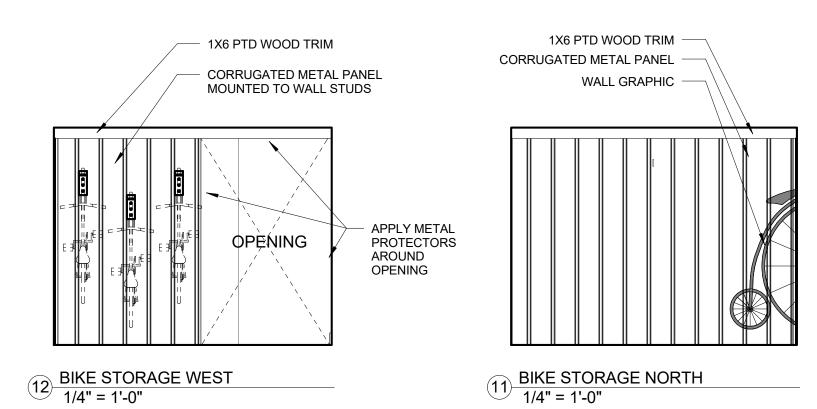
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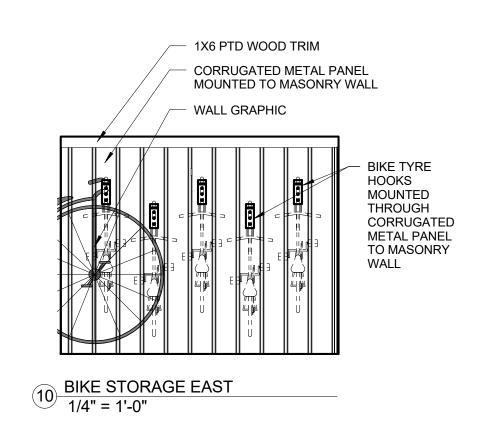
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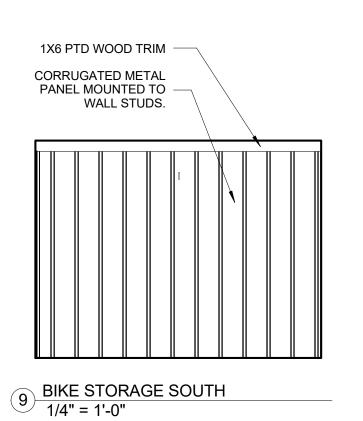
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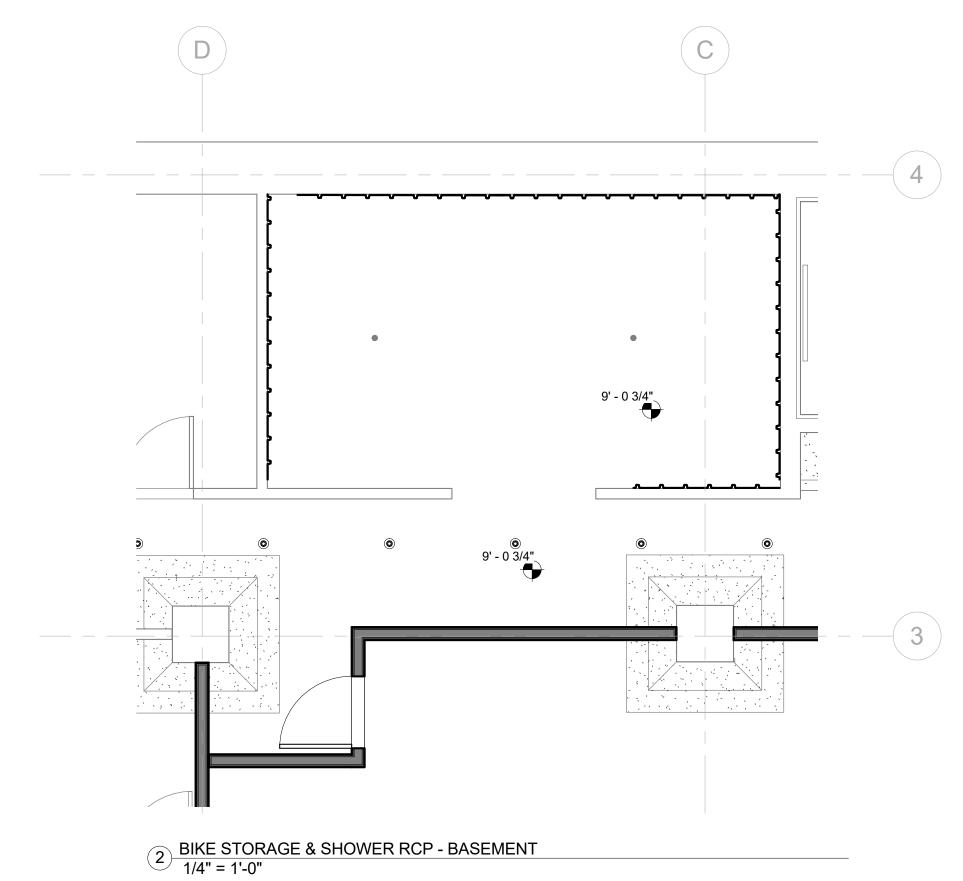


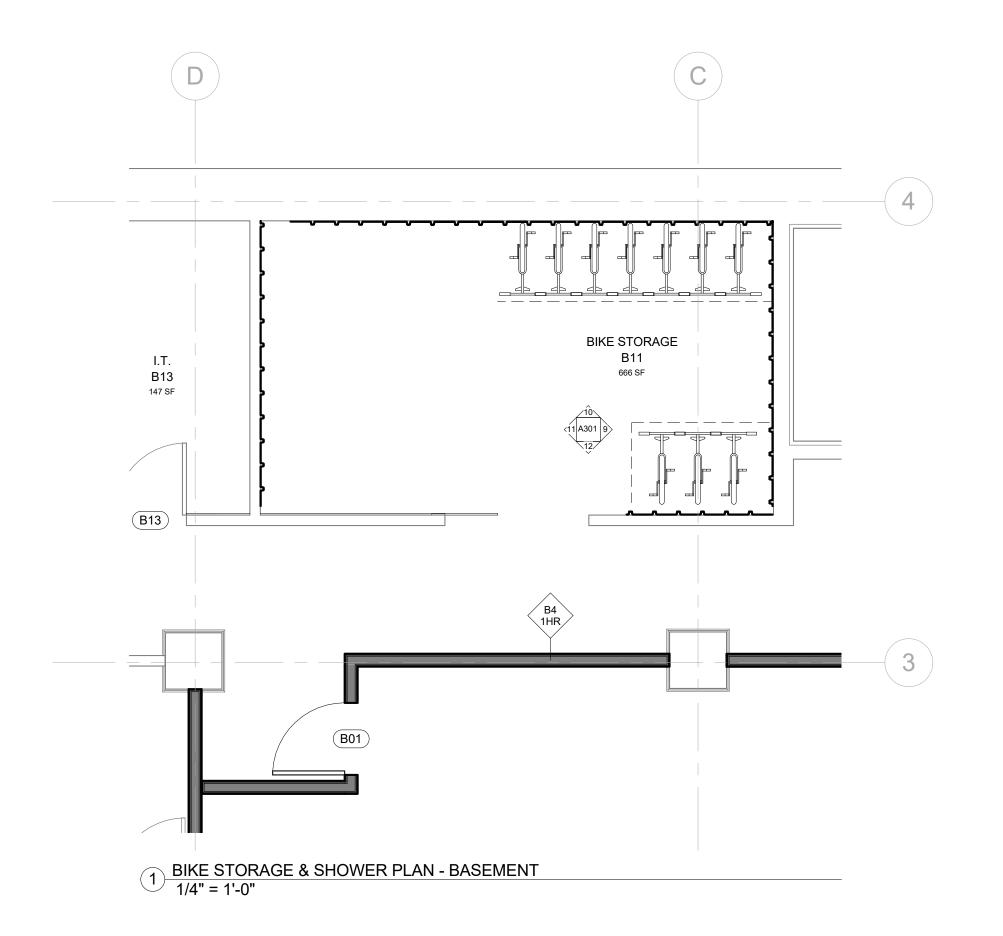
A300 1712 08/31/2017

















Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

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HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

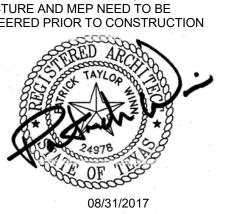
Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

LDING

BURNS

OWNER: AREA REAL ESTATE, LLC

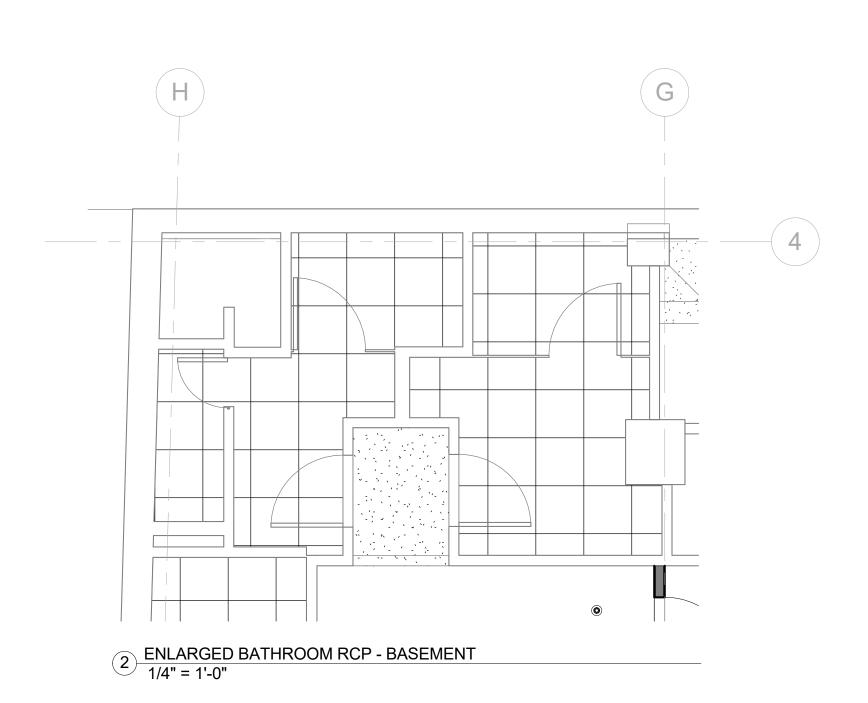
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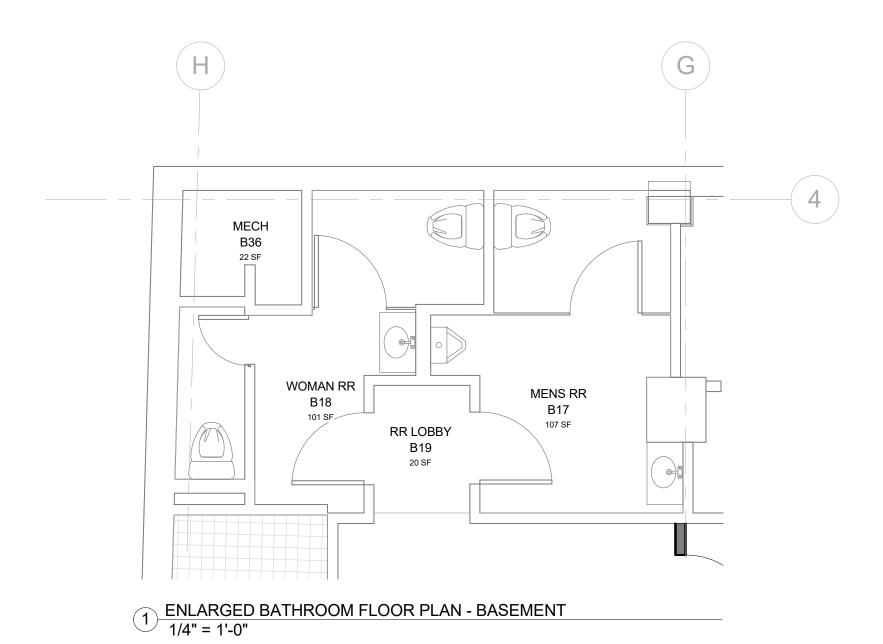


BIKE STORAGE & SHOWER



A301 1712 08/31/2017











Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

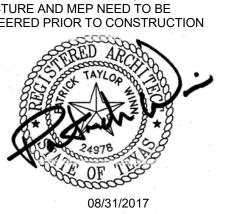
Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

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ILDING BUI BURNS

OWNER: AREA REAL ESTATE, LLC

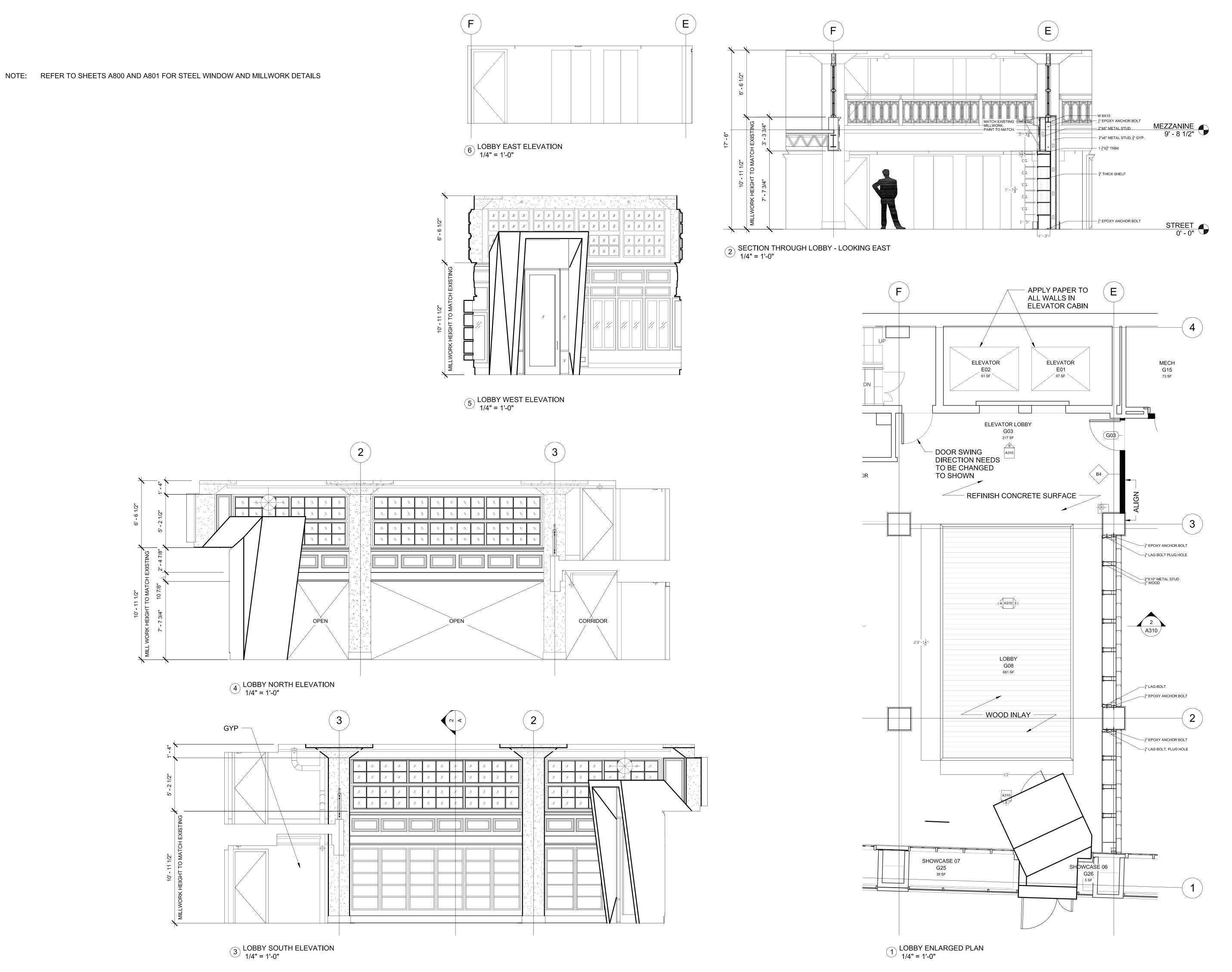
ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



BATHROOM -**BASEMENT**

1712 08/31/2017

Project Number:





Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

10 100

HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

PCG-

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

n/a

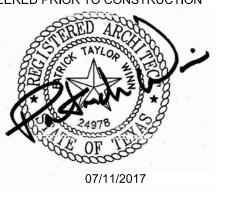
BUILDING

BURNS

401 E Houston St, San Antonio, TX 78205

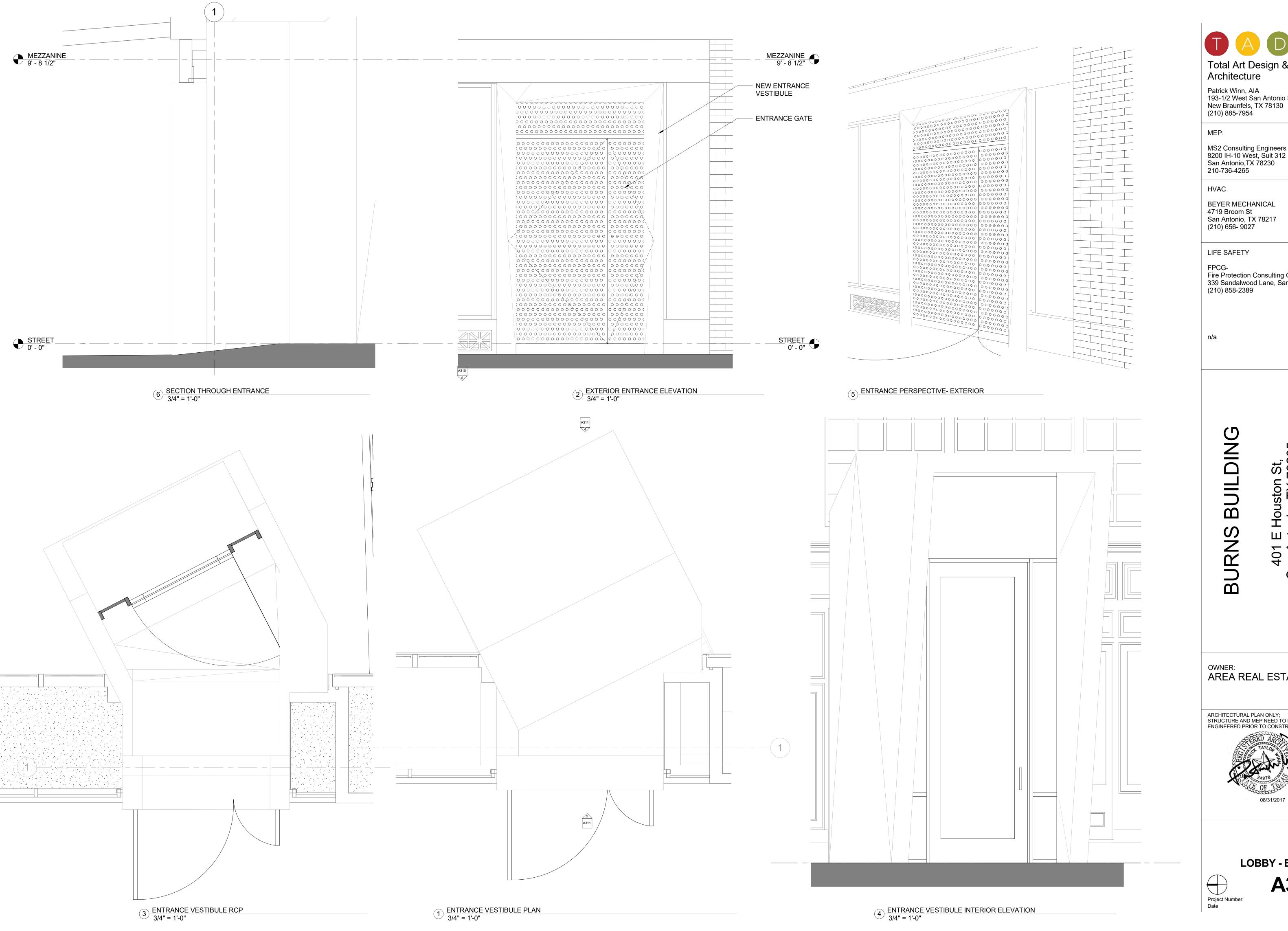
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STRUCTURE AND MEP NEED TO BE
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LOBBY - STREET LEVEL











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Architecture Patrick Winn, AIA 193-1/2 West San Antonio St.

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217

LIFE SAFETY

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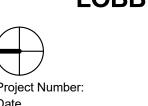
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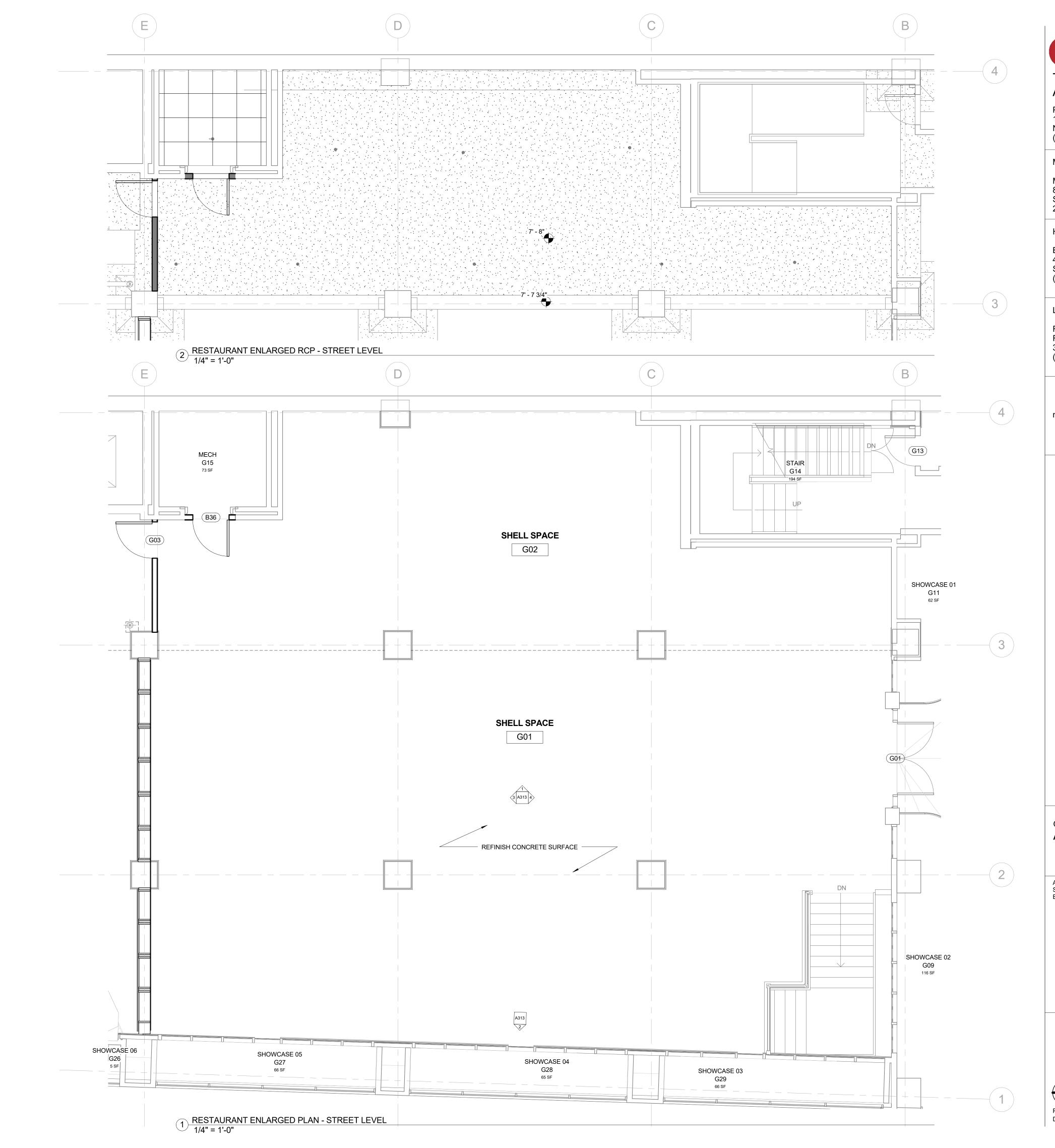
OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



LOBBY - ENTRY











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MEP:

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HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

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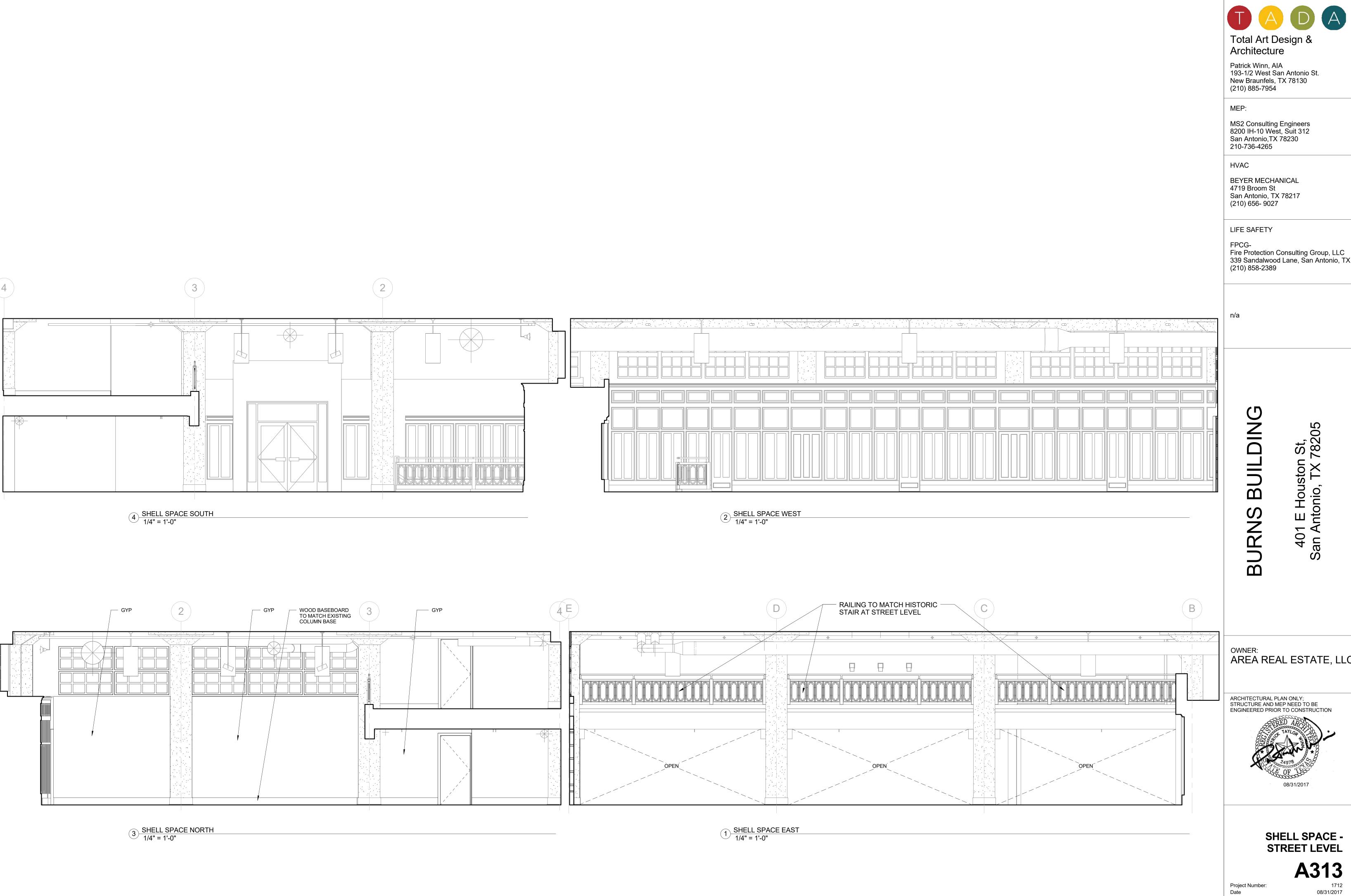
ILDING

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION

SHELL SPACE -STREET LEVEL









MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

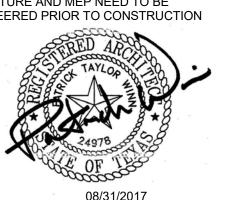
BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217

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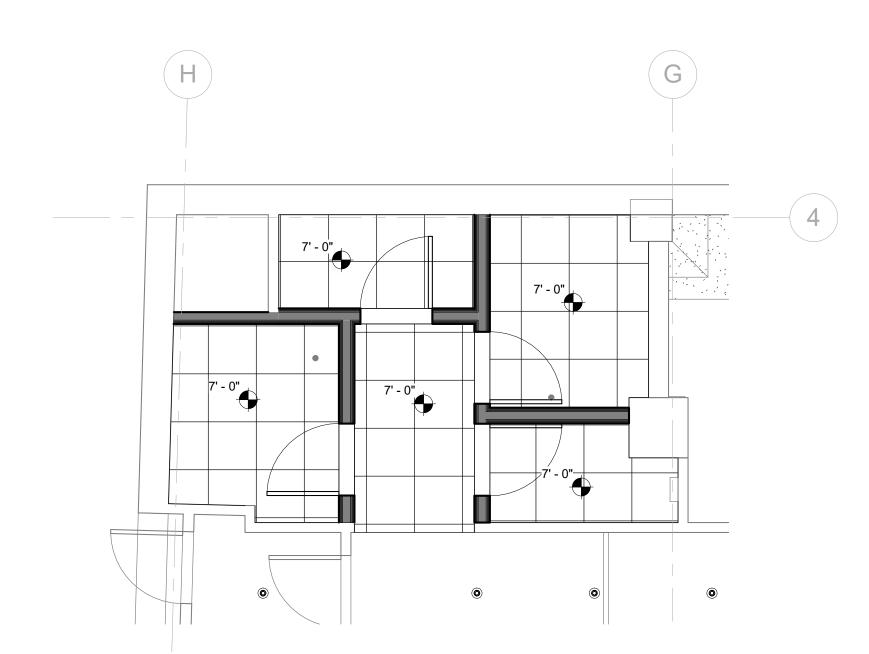
AREA REAL ESTATE, LLC

401 E Houston St, San Antonio, TX 78205

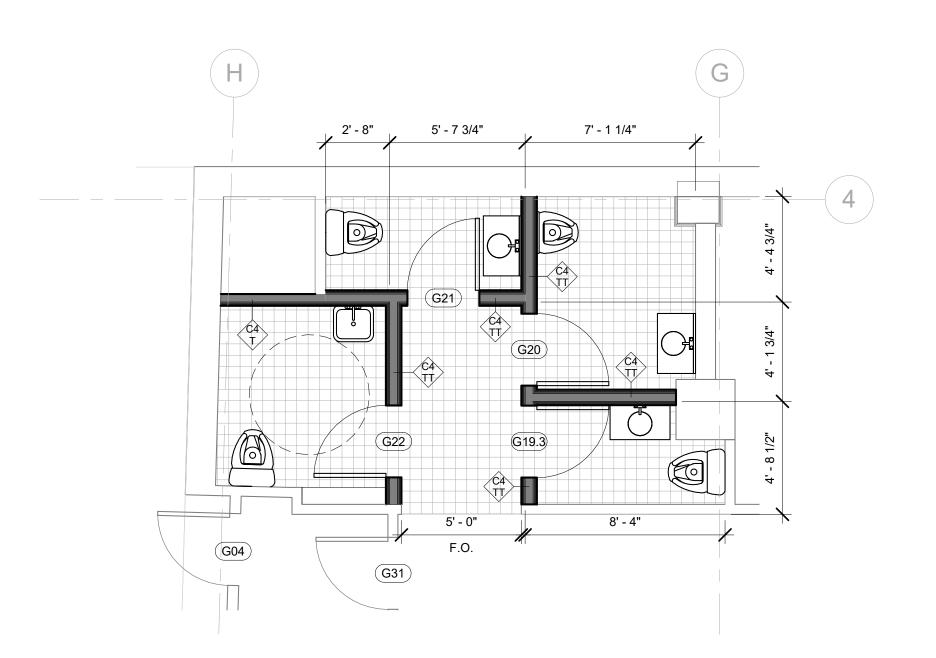
ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



SHELL SPACE -STREET LEVEL



2 ENLARGED BATHROOM RCP - STREET LEVEL 1/4" = 1'-0"



1) ENLARGED BATHROOM PLAN - STREET LEVEL 1/4" = 1'-0"





Total Art Design &

Architecture Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING BURNS

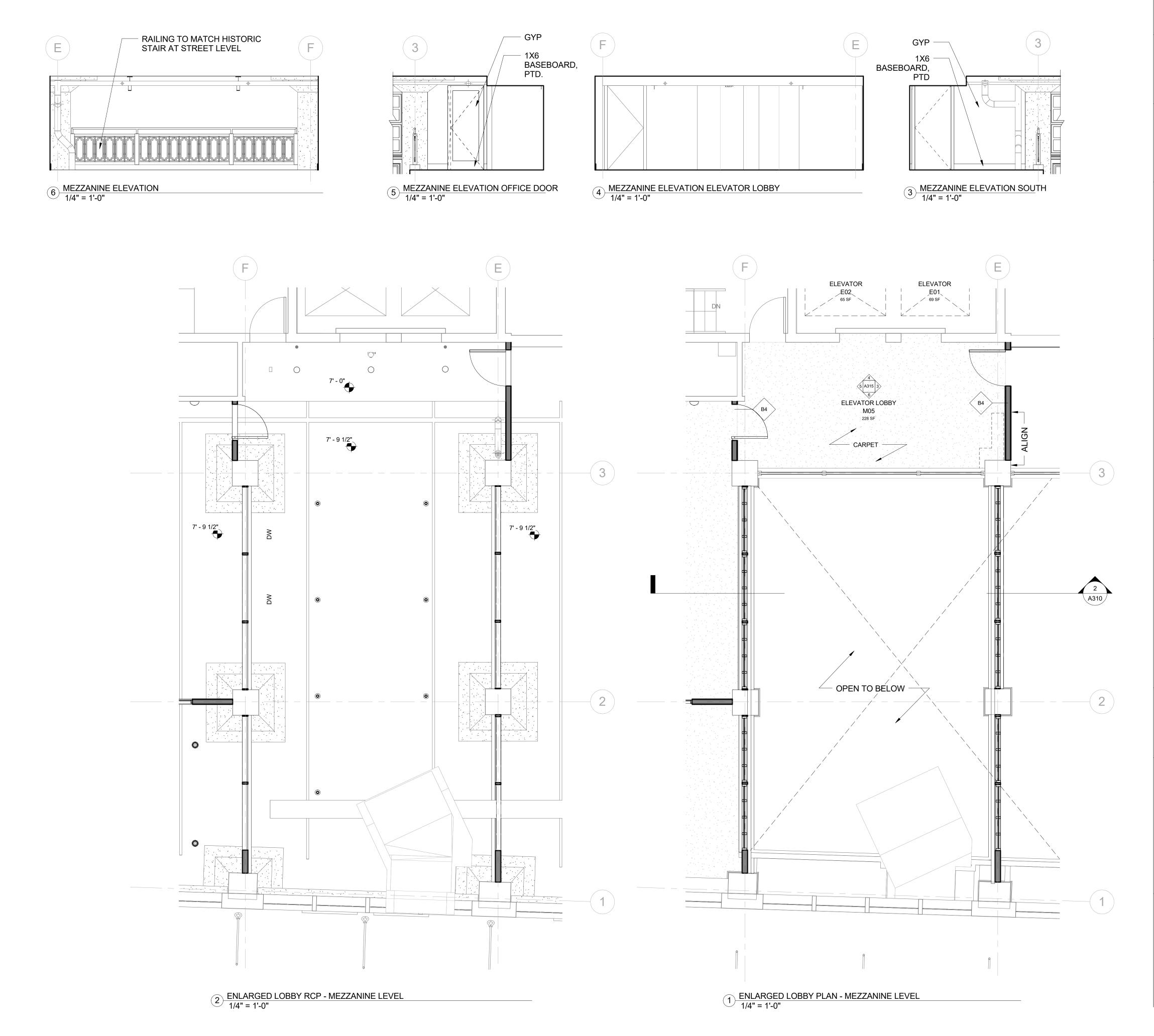
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BATHROOM - STREET LEVEL











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HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

FPCG-Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

n/a

ILDING BURNS

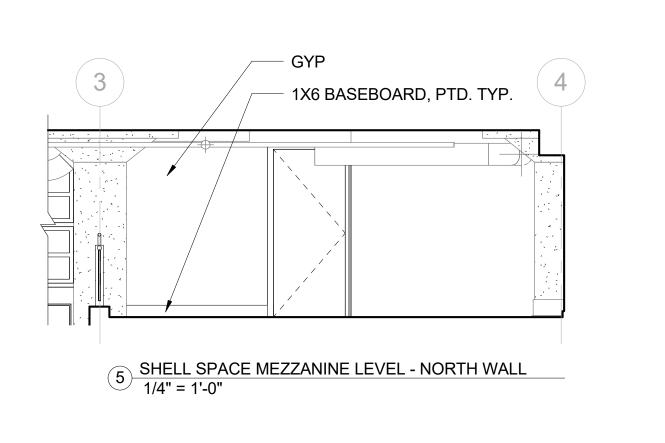
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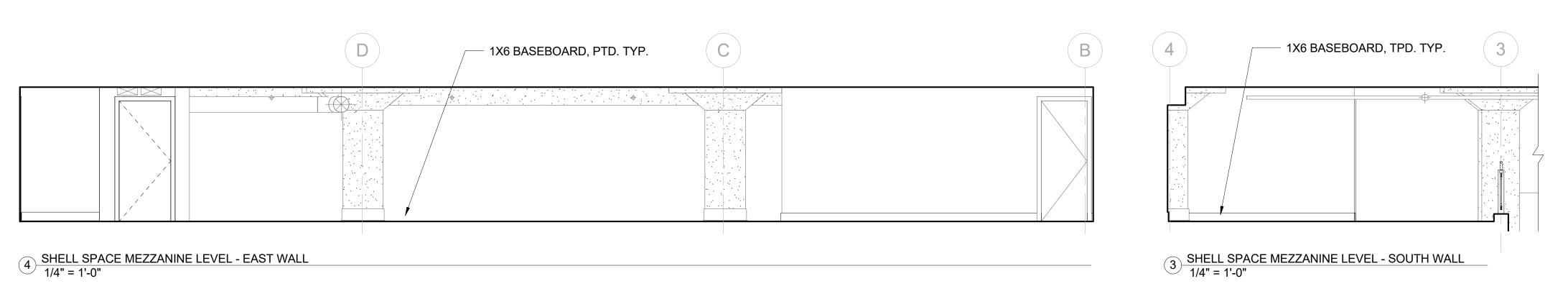
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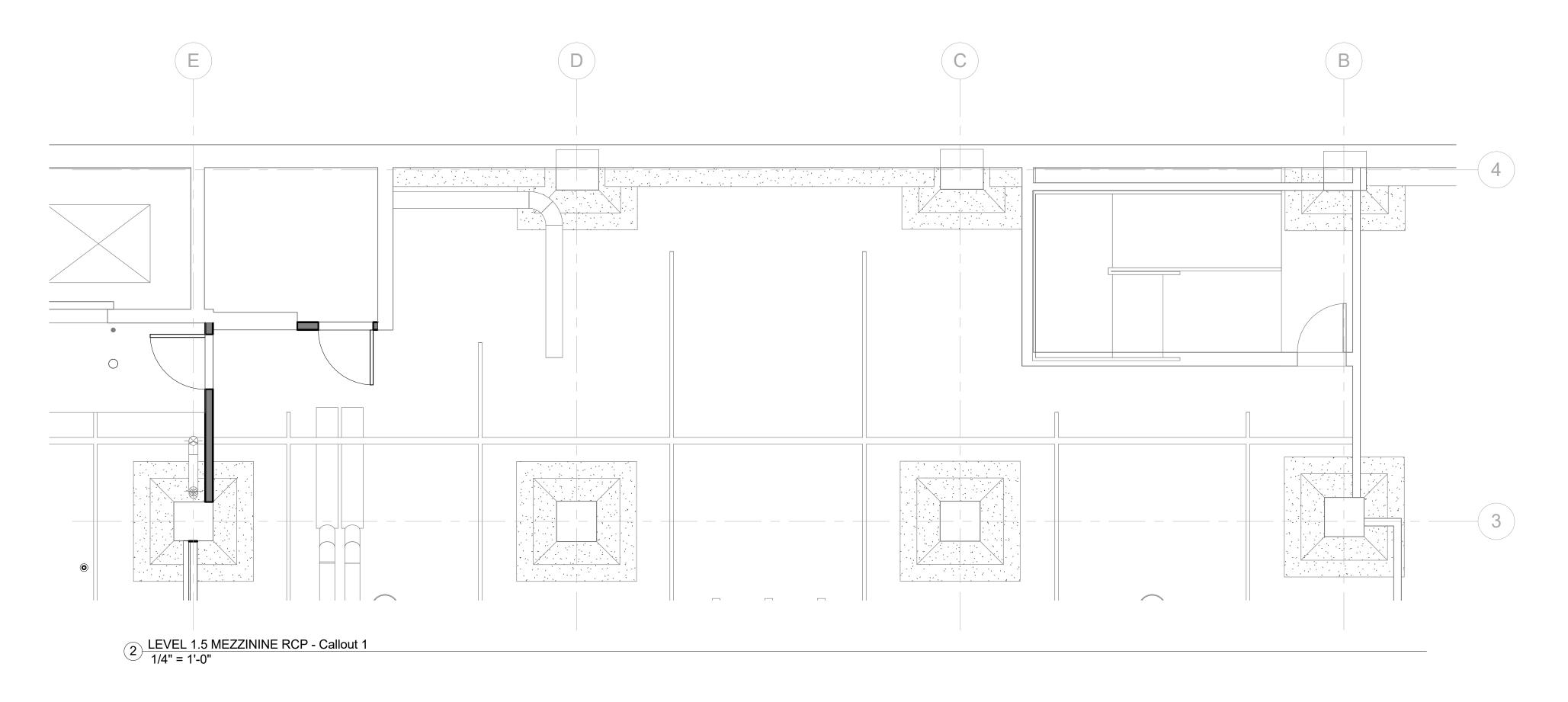


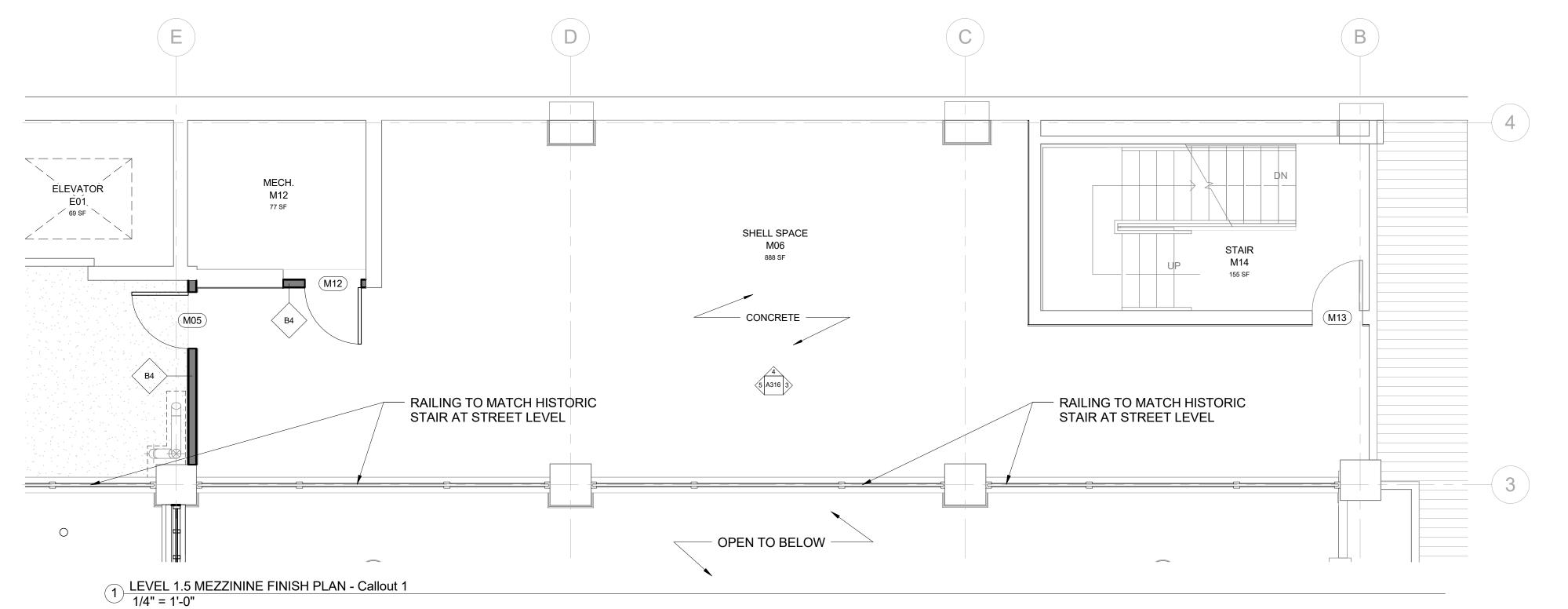
LOBBY - MEZZANINE LEVEL

















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Architecture Patrick Winn, AIA 193-1/2 West San Antonio St.

New Braunfels, TX 78130 (210) 885-7954

MEP:

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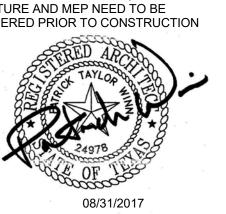
(210) 858-2389

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX

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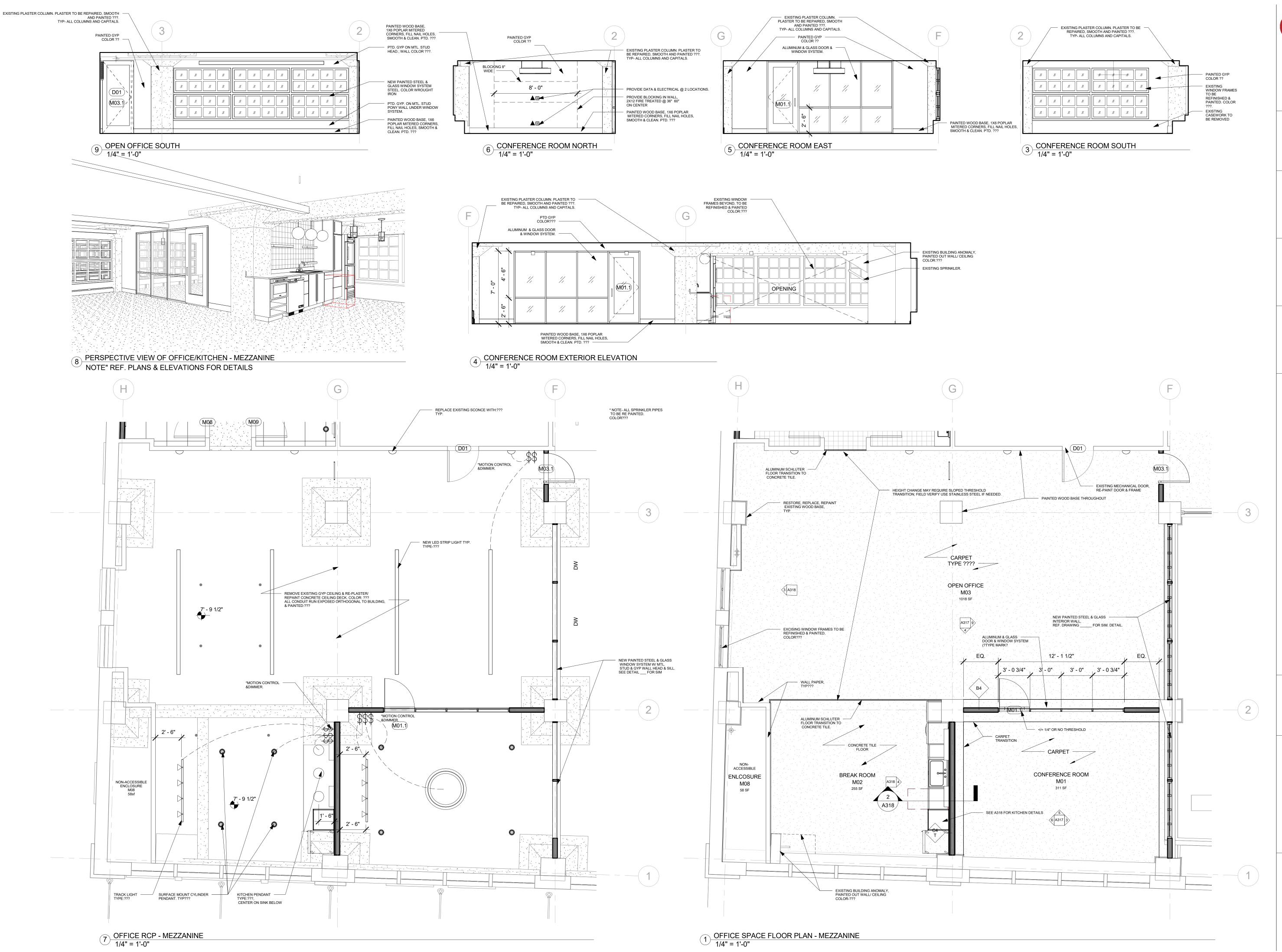
OWNER: AREA REAL ESTATE, LLC

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SHELL SPACE -**MEZZANINE LEVEL**











Patrick Winn, AIA

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MEP:

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HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

FPCG-

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

n/a

DING **BURNS**

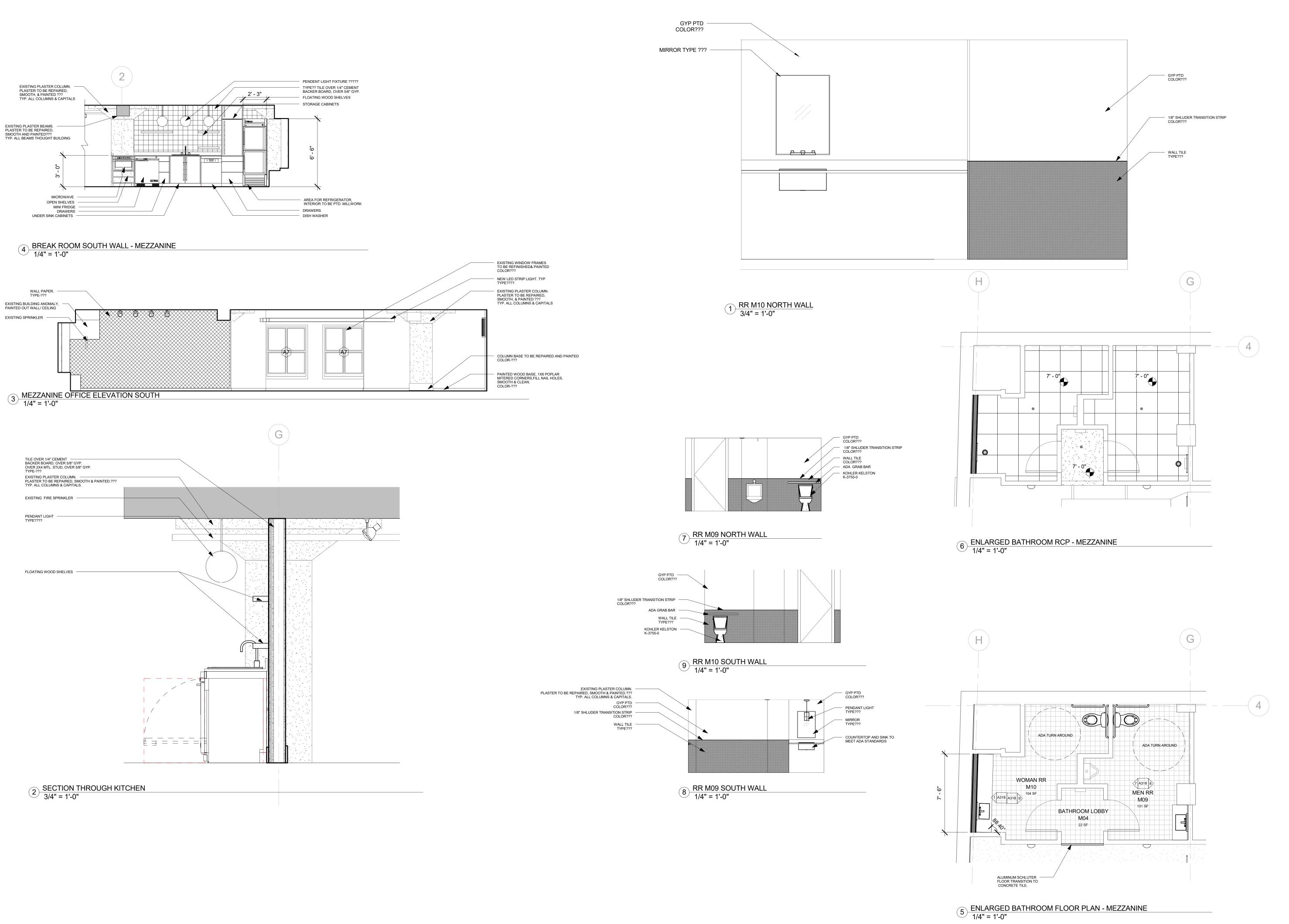
AREA REAL ESTATE, LLC

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OFFICE SPACE -MEZZANINE LEVEL











Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING BUI BURNS

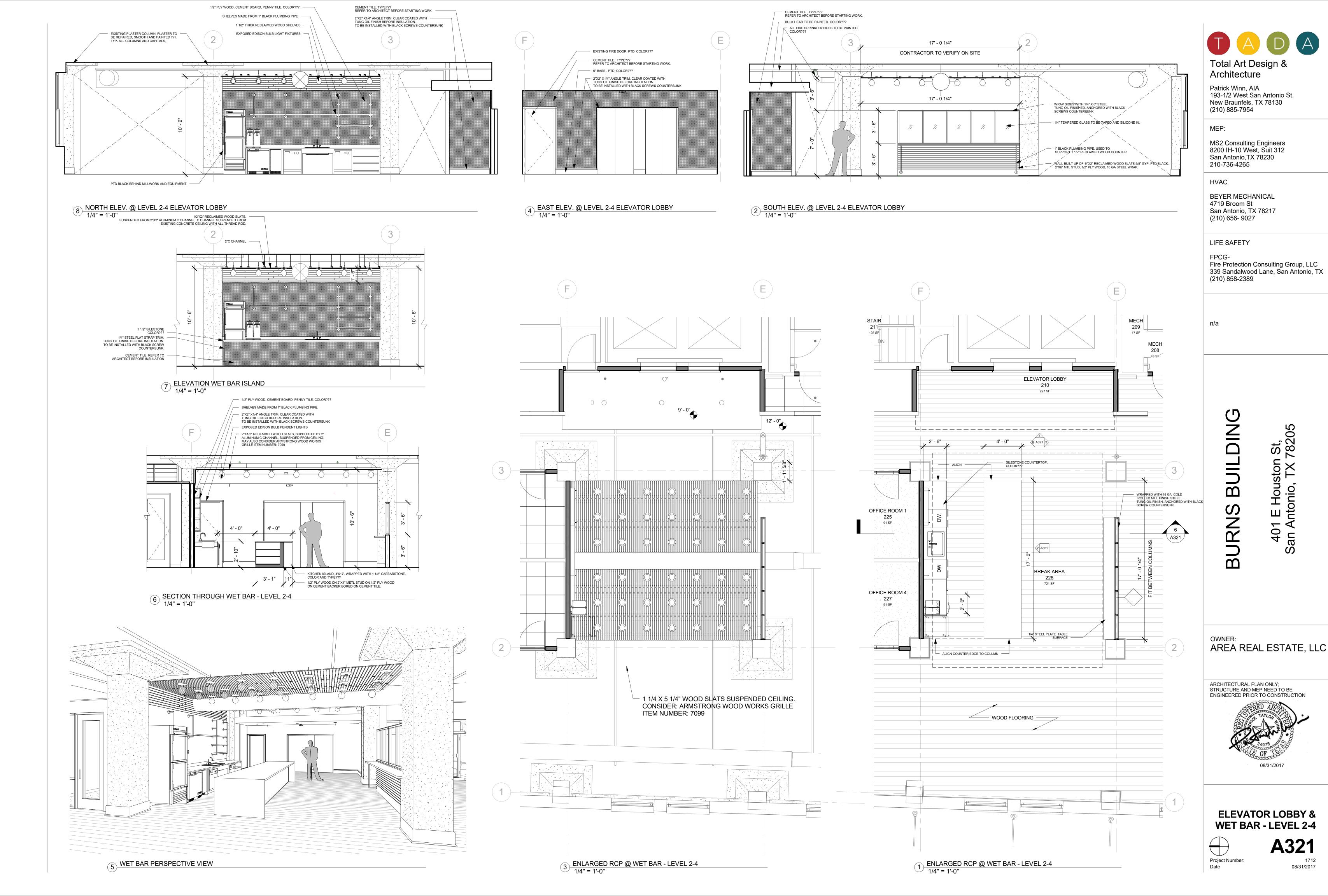
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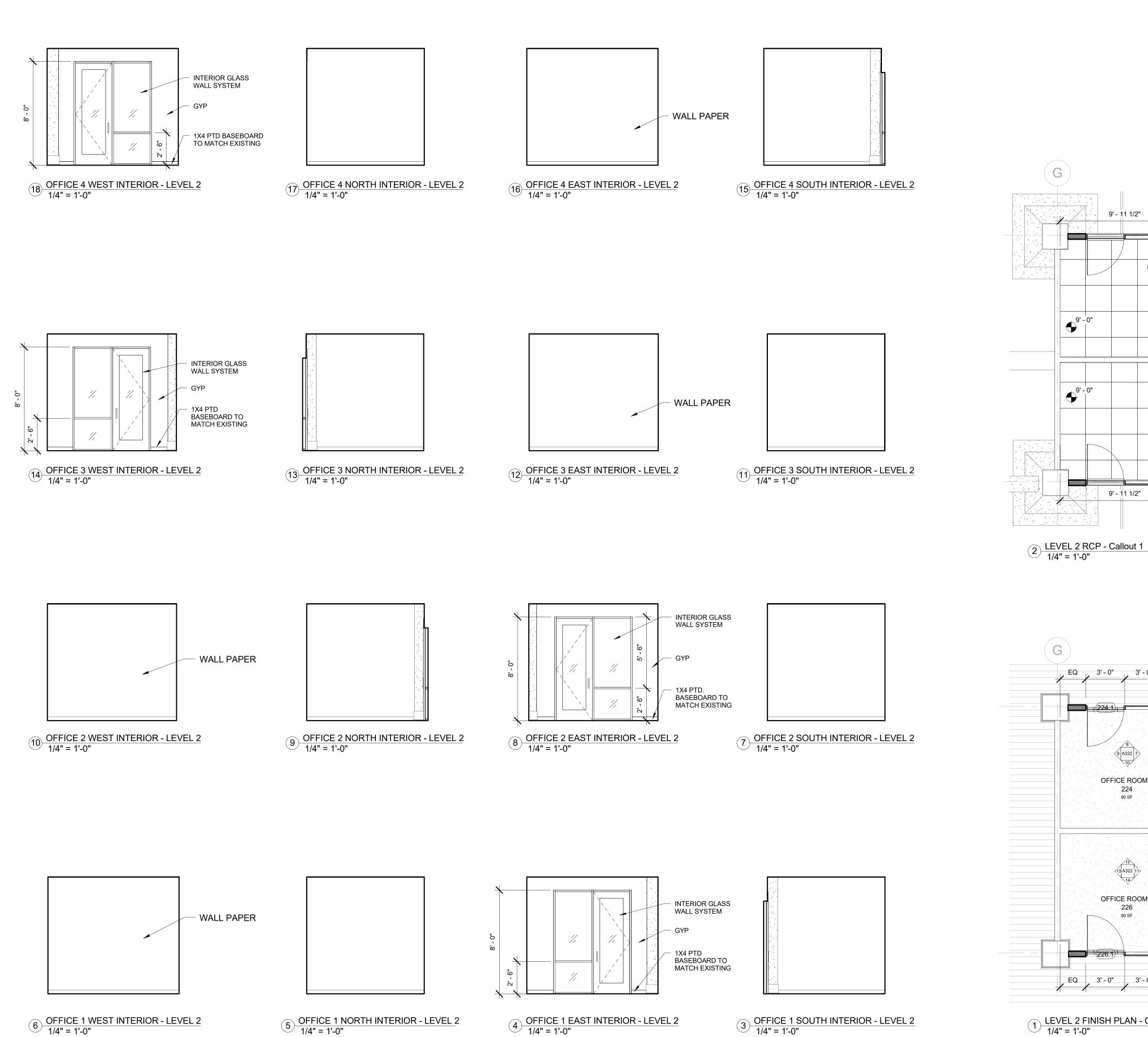
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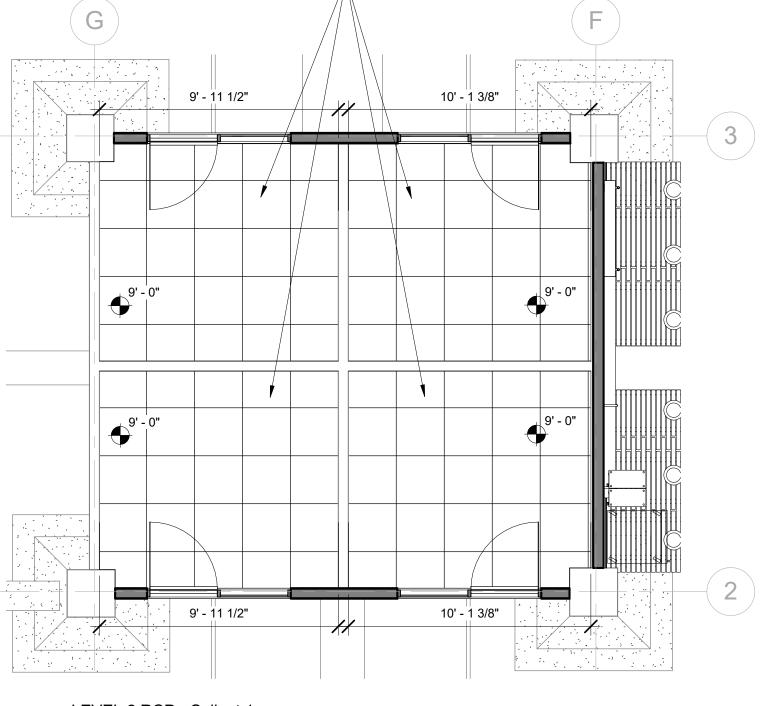


BATHROOM -**MEZZANINE LEVEL**

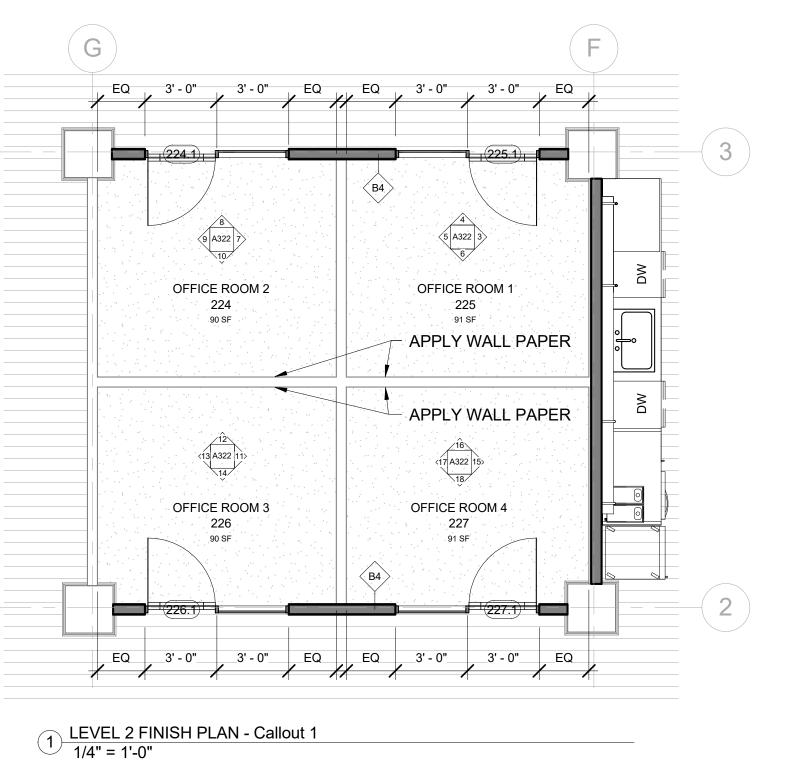








- 2x2 SUSPENDED ACOUSTICAL CEILING











Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

n/a

LDING BUI BURNS

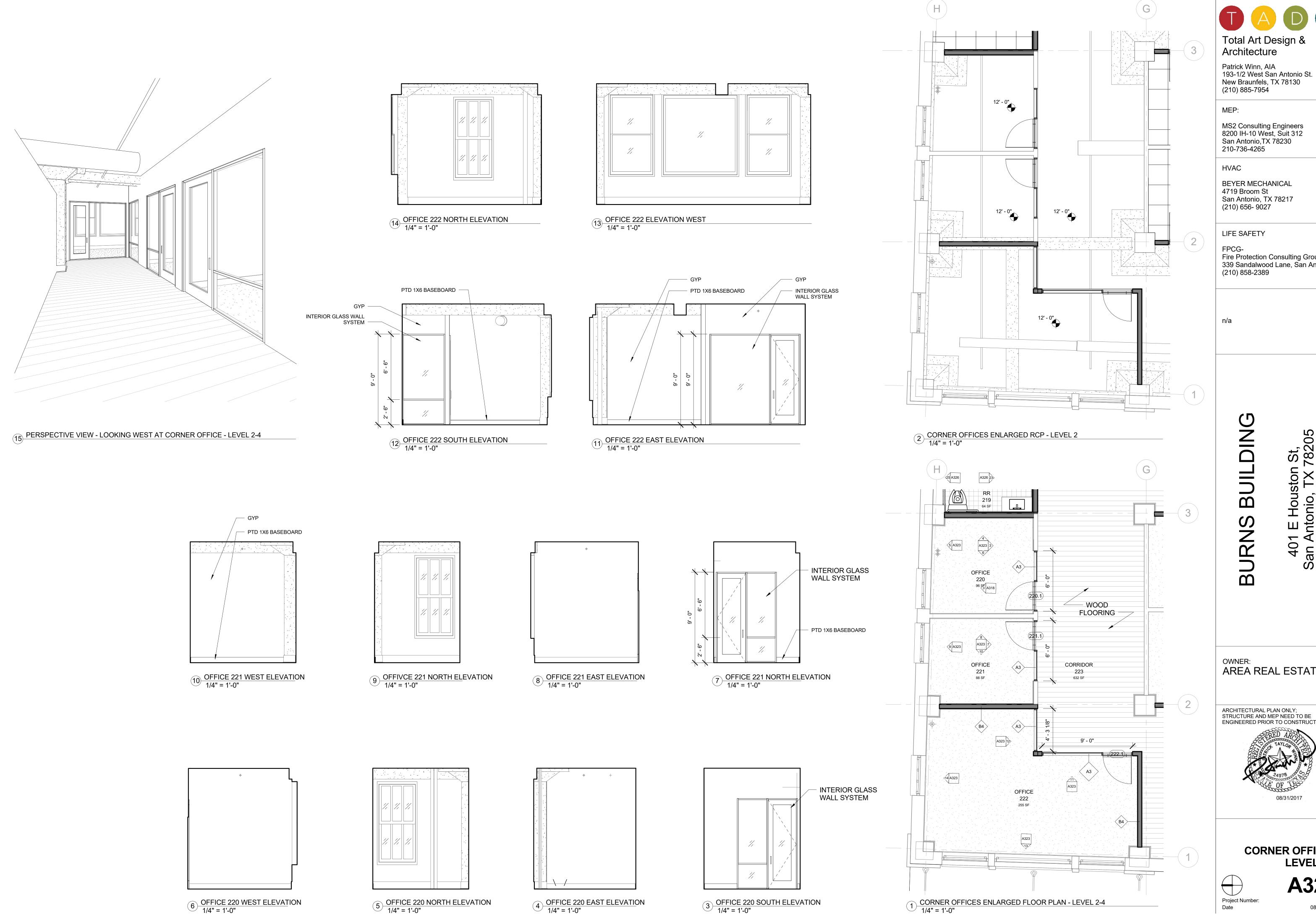
OWNER: AREA REAL ESTATE, LLC

401 E Houston St, San Antonio, TX 78205

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QUAD-OFFICES -LEVEL 2-4











Total Art Design &

Architecture

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BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX

DING. BUI

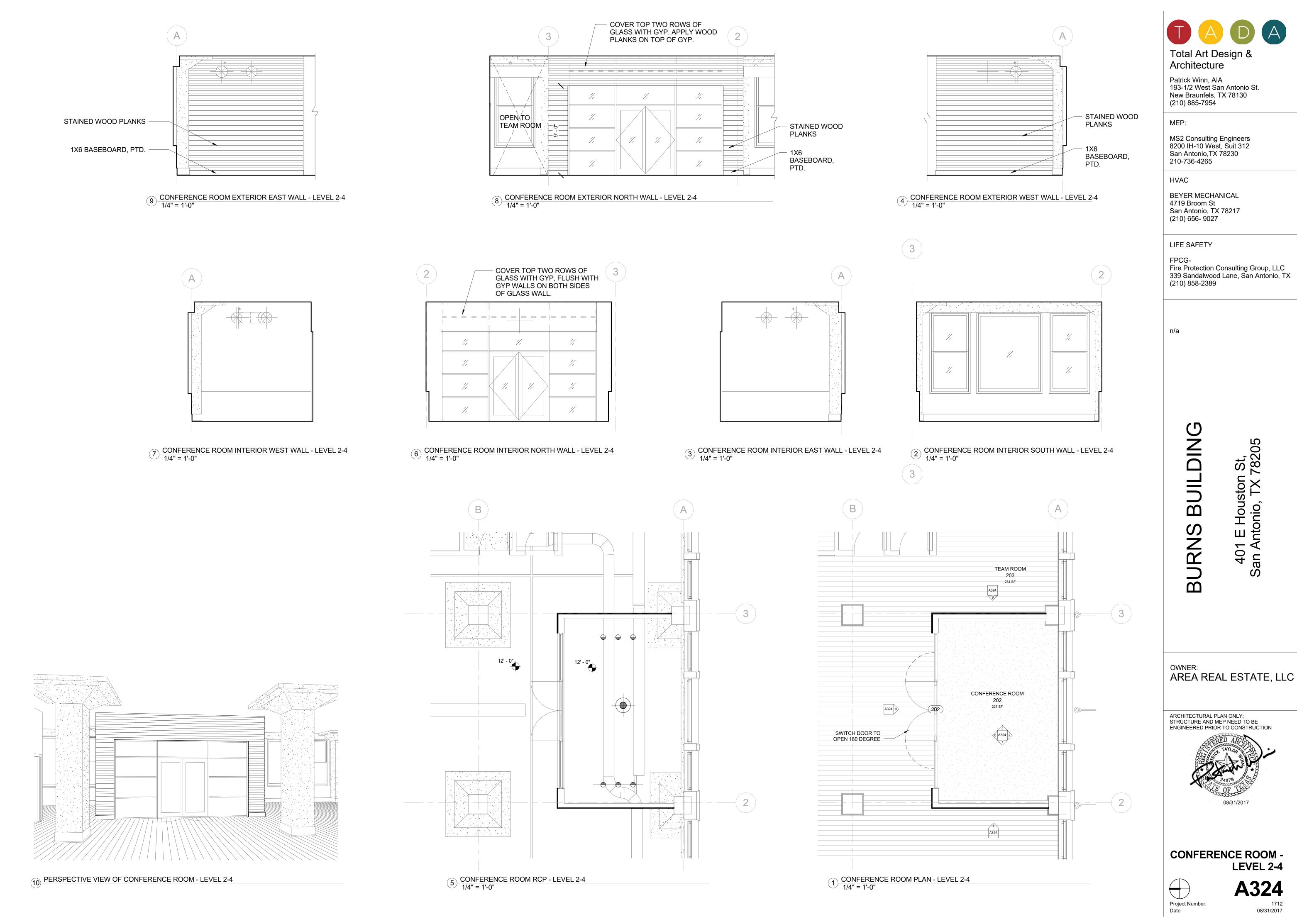
OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



CORNER OFFICE -LEVEL 2-4







San Antonio, TX 78217

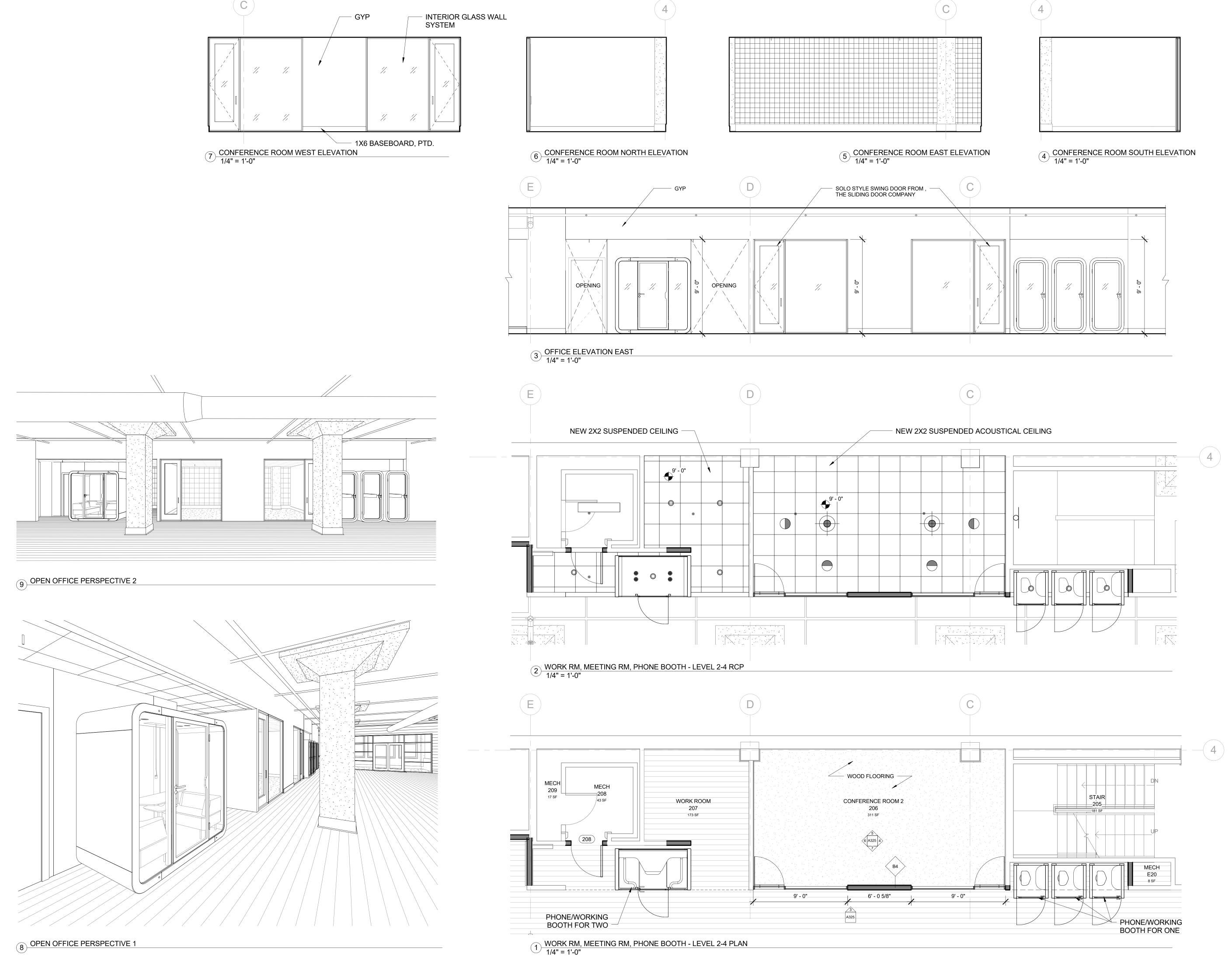
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LDING

BURNS



LEVEL 2-4 1712 08/31/2017



MEP:

HVAC



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Patrick Winn, AIA 193-1/2 West San Antonio St.

New Braunfels, TX 78130 (210) 885-7954

MS2 Consulting Engineers 8200 IH-10 West, Suit 312

San Antonio,TX 78230

BEYER MECHANICAL

San Antonio, TX 78217

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX

210-736-4265

4719 Broom St

(210) 656- 9027

LIFE SAFETY

(210) 858-2389

DING.

BURNS

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION

WORK RM, MEETING

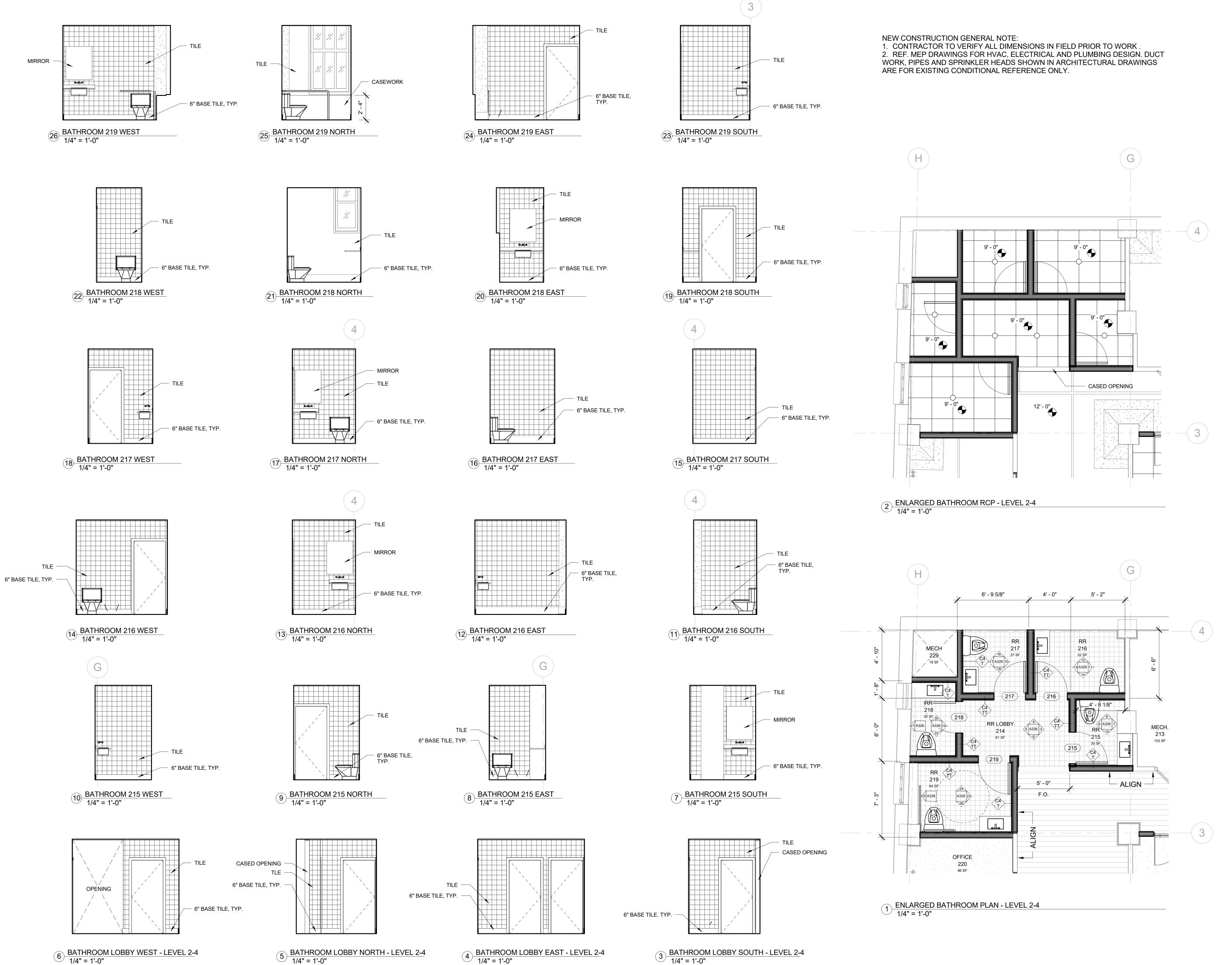
RM & PHONE BOOTH -

Project Number: Date

Architecture

LEVEL 2-4
A325

1712
08/31/2017









Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130

(210) 885-7954 MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230

210-736-4265 HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

n/a

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OWNER:

AREA REAL ESTATE, LLC

401 E Houston St, San Antonio, TX 78205

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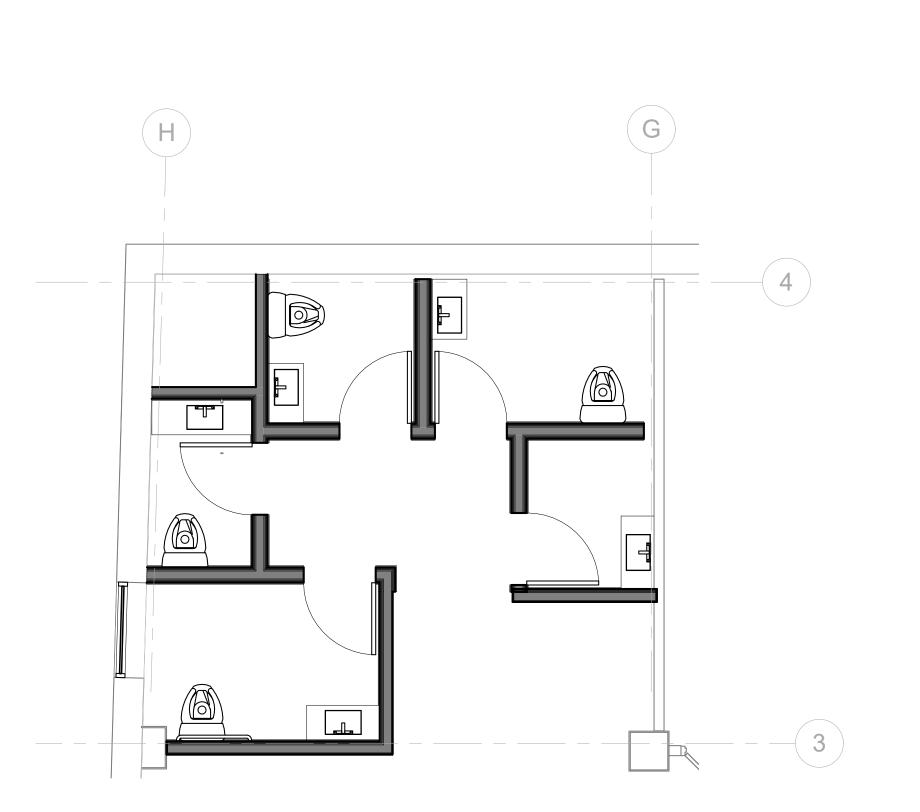


BATHROOM - LEVEL



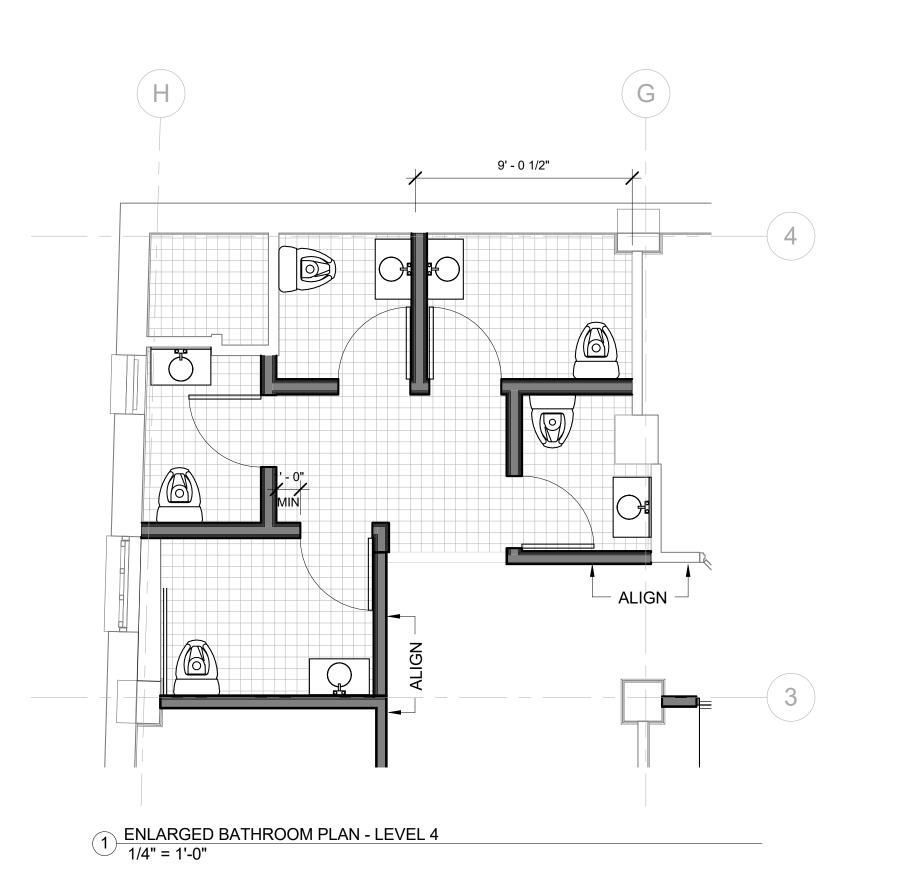
2 ENLARGED BATHROOM RCP - LEVEL 4
1/4" = 1'-0"

G



4 ENLARGED BATHROOM RCP - LEVEL 5 1/4" = 1'-0"

3 ENLARGED BATHROOM PLAN - LEVEL 5 1/4" = 1'-0"









Total Art Design &

Architecture

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MEP:

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HVAC BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

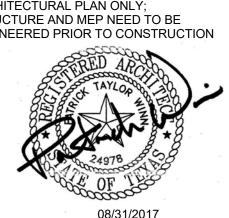
LIFE SAFETY

FPCG-Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING BURNS

OWNER: AREA REAL ESTATE, LLC

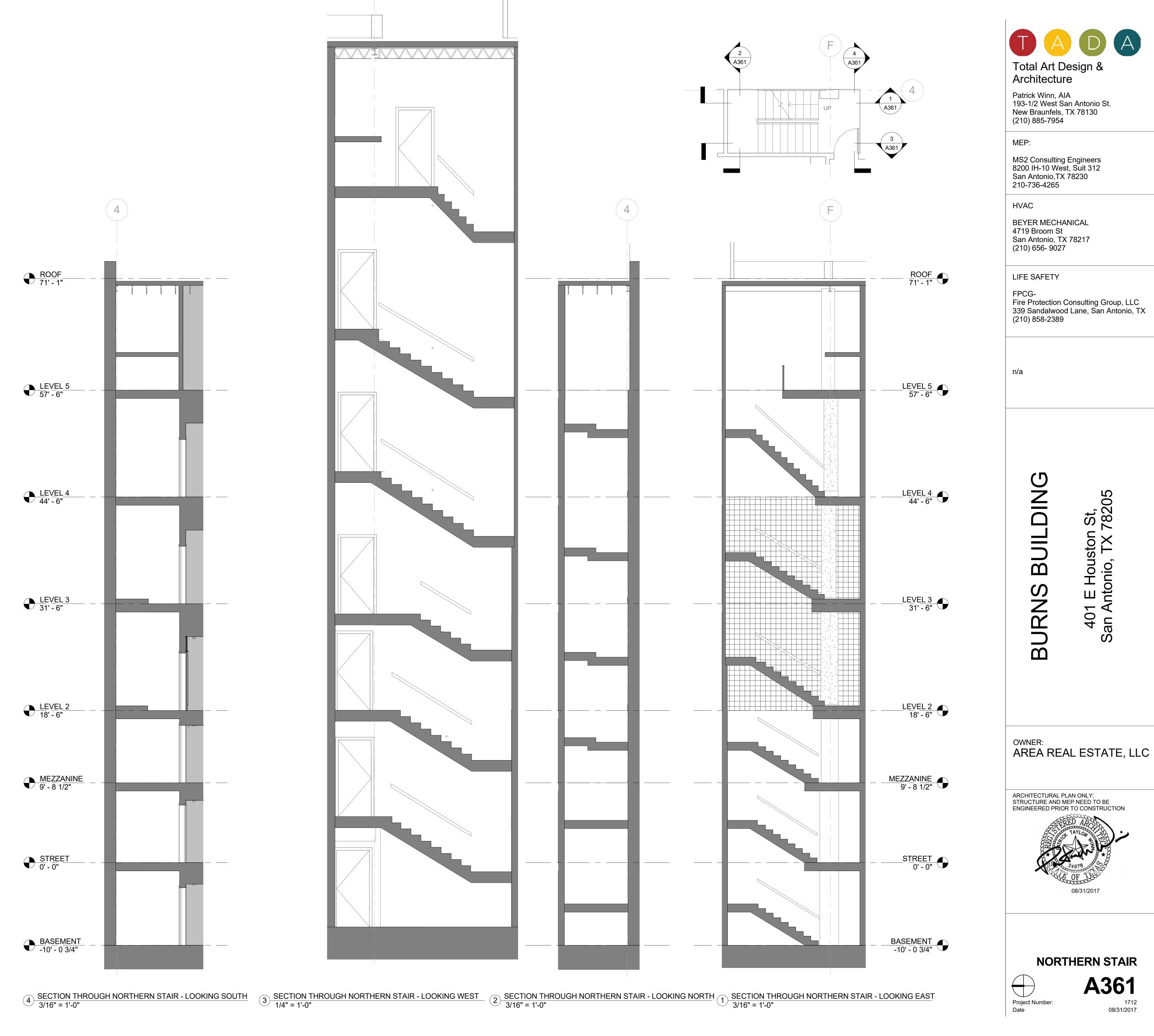
ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



BATHROOM - LEVEL 4 & 5



A346



ILDING

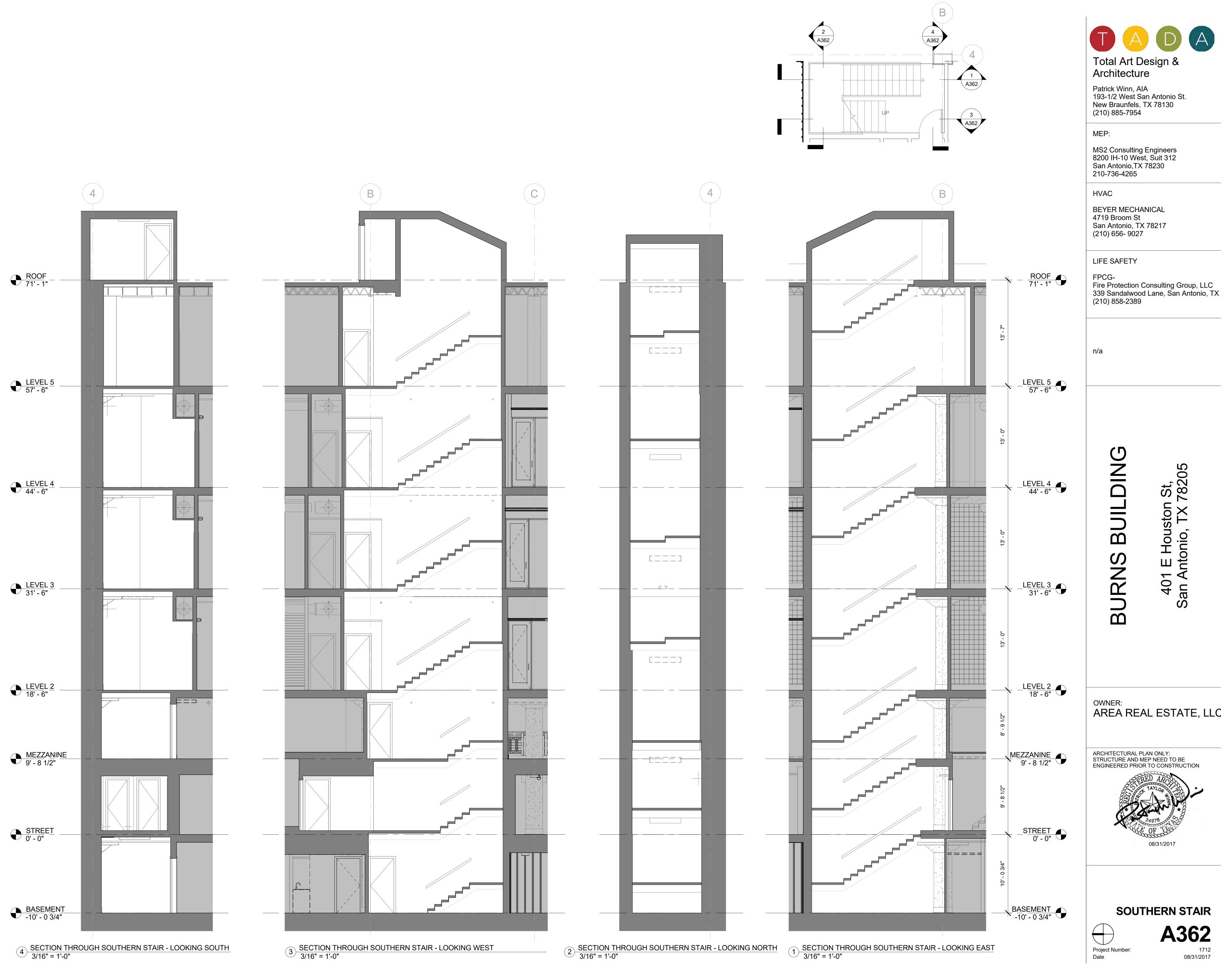
BUI

BURNS

A361 1712 08/31/2017

NORTHERN STAIR

Project Number:









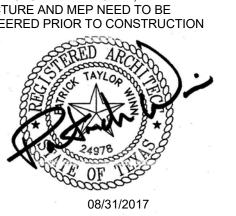
BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

FPCG-Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

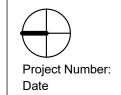
BURNS

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



SOUTHERN STAIR



A362 1712 08/31/2017

	FINISH SPECIFICATIONS: BURNS BUILDING														
EM SE	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
\prod	B1	CFCI	WOOD BASE												
	B2	CFCI	RUBBER BASE												
	В3	CFCI	STEEL BASE												
M ING F	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
+	PERF MTL	CFCI	PERFORATED ALUMINUM PANEL												
	EXP	CFCI	EXPOSED CEILING												
+	AC1	CFCI	ACOUSTICAL CEILING TILE												
_	GYP1	CFCI	GYPSUM BOARD CEILING												
\dashv	WD5	CFCI	WOOD SLAT CEILING	LEVEL 2- BREAK AREA 228						TBD	HARDWOOD MAPLE	2" X 4"	CLEAR	N/A	
-EM	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
		RETE (NOT USED)	DESCRIPTION	LOCATION	NORTH	EASI	SOUTH	WEST	PLOOR	MANUFACTURER	PATTERN LINE	5120	COLOR	GROUT	NOTES
	SC1	CFCI	SEALED CONCRETE- DIAMOND POLISHED												
ЕМ	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
ORCO	VERING-TILE														
_	T1	CFCI	FLOOR TILE	ALL RESTROOMS UNLESS NOTED OTHERWISE						HOME DEPOT- MARAZZI	STUDIO LIFE	12" X 24" X 10MM THICK	MANHATTAN	3/16* GROUT THICKNESS	\$3.88 EA
	T2	CFCI	FLOOR TILE												
	Т3	CFCI	FLOOR TILE												
	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
URCO	OVERING- WOO														
	WD4	CFCI	ENGINEERED WOOD FLOORS												
	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
3S - S	SPECIALTY														
	GL1	CFCI													
	GL2	CFCI													
	GL3	CFCI													
EM	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
	ALLS AND CEIL			200,000				11227							
+	PT1	CFCI	PAINT	TYPICAL UNLESS NOTED OTHERWISE ELEVATOR DOORS, ELEVATOR VESTIBULE BULKHEAD CEILING,						BENJAMIN MOORE			OC-17 WHITE DOVE	N/A	FINISH: EGGSHELL
+	PT2	CFCI	PAINT	COLUMNS, COLUMN BASES, COLUMN CAPITALS, WALL BASEBOARDS STEEL TRIM AT ELEVATOR	5.					BENJAMIN MOORE			2134-30 IRON MOUNTAIN	N/A	FINISH: EGGSHELL
	PT3	CECI	PAINT-ACCENT	LEVEL 2. CONSERENCE BOOM 2.CRAS						SHERWIN WILLIAMS			SW7674 PEPPERCORN	N/A	EINIGH EAAGUEU
	PIS	CFCI	PAINT-ACCENT	LEVEL 2- CONFERENCE ROOM 2 (206)						SPIERWIN WILLIAMS			SW/6/4 PEPPERCORN	N/A	FINISH: EGGSHELL
	PT4	CFCI	PAINT-ACCENT	LEVEL 2- OFFICE ROOM 1 (225)						SHERWIN WILLIAMS			SW6566 FRAMBOISE	N/A	FINISH: EGGSHELL
	PT5	CFCI	PAINT-ACCENT	LEVEL 2- OFFICE ROOM 2 (224)						SHERWIN WILLIAMS			SW6229 TEMPE STAR	N/A	FINISH: EGGSHELL
\dashv	PT6	CFCI	PAINT-ACCENT	LEVEL 2- OFFICE ROOM 3 (226)						SHERWIN WILLIAMS			SW0064 BLUE PEACOCK	N/A	FINISH: EGGSHELL
	PT7	CFCI	PAINT-ACCENT	LEVEL 2- OFFICE ROOM 4 (227)						SHERWIN WILLIAMS			SW6396 DIFFERENT GOLD	N/A	FINISH: EGGSHELL
	PT8	CFCI	PAINT-ACCENT	LEVEL 3- CONFERENCE ROOM 2 (306)						SHERWIN WILLIAMS			SW6272 PLUM BROWN	N/A	FINISH: EGGSHELL
\dashv	PT9	CFCI	PAINT-ACCENT	LEVEL 3- OFFICE ROOM 1 (325)						BENJAMIN MOORE			OC-17 WHITE DOVE	N/A	FINISH: EGGSHELL
	PT10	CFCI	PAINT-ACCENT	LEVEL 3- OFFICE ROOM 2 (324)						BENJAMIN MOORE			2134-30 IRON MOUNTAIN	N/A	FINISH: EGGSHELL
\dashv	PT1	CFCI	PAINT-ACCENT	LEVEL 3- OFFICE ROOM 3 (326)						SHERWIN WILLIAMS			SW6272 PLUM BROWN	N/A	FINISH: EGGSHELL
	PT12	CFCI	PAINT-ACCENT	LEVEL 3- OFFICE ROOM 4 (327)						SHERWIN WILLIAMS			SW6229 TEMPE STAR	N/A	FINISH: EGGSHELL
	PT13	CFCI	PAINT-ACCENT	LEVEL 4- CONFERENCE ROOM 2 (406)						SHERWIN WILLIAMS			SE6222 RIVERWAY	N/A	FINISH: EGGSHELL
	PT14	CFCI	PAINT-ACCENT	LEVEL 4- OFFICE ROOM 1 (425)						SHERWIN WILLIAMS			SW6222 RIVERWAY	N/A	FINISH: EGGSHELL
	PT15	CFCI	PAINT-ACCENT	LEVEL 4- OFFICE ROOM 2 (424)						SHERWIN WILLIAMS			SW6132 RELIC BRONZE	N/A	FINISH: EGGSHELL
	PT16	CFCI	PAINT-ACCENT	LEVEL 4- OFFICE ROOM 3 (426)						SHERWIN WILLIAMS			SW6464 ALOE	N/A	FINISH: EGGSHELL
	PT17	CFCI	PAINT-ACCENT	LEVEL 4- OFFICE ROOM 4 (427)						SHERWIN WILLIAMS			SW6286 MATURE GRAPE	N/A	FINISH: EGGSHELL
	PT18	CFCI	PAINT	EXTERIOR WINDOW TRIM						SHERWIN WILLIAMS	HISTORIC		SW0017 CALICO OR SW6222 RIVERWAY	N/A	FINISH: OIL BASE SEMI GLOSS
					I	1				1			1		I
-															
	FINISH CODE	SUPPLIER / INSTALLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
	ONS			LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR					GROUT	NOTES
		SUPPLIER / INSTALLER	DESCRIPTION FLOOR TRANSITION STRIP	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER SCHLUTER SYSTEMS	PATTERN LINE SCHIENE	SIZE 1/8"	COLOR SOLID BRASS	GROUT	NOTES
NSITIO	ONS	CFCI		LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR					GROUT	NOTES
EM	SCHLUTER	CFCI SUPPLIER / INSTALLER	FLOOR TRANSITION STRIP							SCHLUTER SYSTEMS	SCHIENE	1/8"	SOLID BRASS		
EM	SCHLUTER FINISH CODE	CFCI SUPPLIER / INSTALLER	FLOOR TRANSITION STRIP							SCHLUTER SYSTEMS	SCHIENE	1/8"	SOLID BRASS		
EM	SCHLUTER SCHLUTER FINISH CODE RFACE COUNT	SUPPLIER / INSTALLER	FLOOR TRANSITION STRIP DESCRIPTION	LOCATION						SCHLUTER SYSTEMS MANUFACTURER	SCHIENE PATTERN LINE	1/8" SIZE	SOLID BRASS COLOR	GROUT	
NSITIO	SCHLUTER SCHLUTER FINISH CODE RFACE COUNT SS1	SUPPLIER / INSTALLER ERTOPS	FLOOR TRANSITION STRIP DESCRIPTION QUARTZ COUNTERTOPS	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR)						SCHLUTER SYSTEMS MANUFACTURER SILESTONE	SCHIENE PATTERN LINE BLANCO MAPLE	1/8° SIZE	SOLID BRASS COLOR BLANCO MAPLE	GROUT N/A	
EM	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2	SUPPLIER / INSTALLER ERTOPS CFCI CFCI CFCI	FLOOR TRANSITION STRIP DESCRIPTION QUARTZ COUNTERTOPS	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR)						SCHLUTER SYSTEMS MANUFACTURER SILESTONE	SCHIENE PATTERN LINE BLANCO MAPLE	1/8° SIZE	SOLID BRASS COLOR BLANCO MAPLE	GROUT N/A	
NSITIO	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2	CFCI SUPPLIER / INSTALLER ERTOPS CFCI CFCI CFCI SUPPLIER /	FLOOR TRANSITION STRIP DESCRIPTION QUARTZ COUNTERTOPS	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR)						SCHLUTER SYSTEMS MANUFACTURER SILESTONE	SCHIENE PATTERN LINE BLANCO MAPLE	1/8° SIZE	SOLID BRASS COLOR BLANCO MAPLE	GROUT N/A	
NSITIO	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2 SS3	SUPPLIER / INSTALLER ERTOPS CFCI CFCI CFCI	PLOOR TRANSITION STRIP DESCRIPTION QUARTZ COUNTERTOPS QUARTZ COUNTERTOPS	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR) LEVEL 3- BREAK AREA 328 (ISLAND AND BACK BAR)	NORTH	EAST	SOUTH	WEST	FLOOR	SCHLUTER SYSTEMS MANUFACTURER SILESTONE SILESTONE	PATTERN LINE BLANCO MAPLE GREY EXPO	1/8" SIZE 3CM 3CM	SOLIO BRASS COLOR BLANCO MAPLE GREY EXPO	GROUT N/A N/A	NOTES
EM ID SU	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2 SS3 FINISH CODE	SUPPLIER / INSTALLER ERTOPS CFCI CFCI SUPPLIER / INSTALLER	DESCRIPTION QUARTZ COUNTERTOPS QUARTZ COUNTERTOPS DESCRIPTION STEEL DOOR SURROUND	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR) LEVEL 3- BREAK AREA 328 (ISLAND AND BACK BAR) LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	SCHLUTER SYSTEMS MANUFACTURER SILESTONE SILESTONE	PATTERN LINE BLANCO MAPLE GREY EXPO	1/8" SIZE 3CM 3CM	SOLIO BRASS COLOR BLANCO MAPLE GREY EXPO	GROUT N/A N/A	NOTES
EM LID SU	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2 SS3 FINISH CODE ST1 ST2	SUPPLIER / INSTALLER ERTOPS CFCI CFCI SUPPLIER / INSTALLER CFCI CFCI CFCI CFCI	DESCRIPTION QUARTZ COUNTERTOPS QUARTZ COUNTERTOPS DESCRIPTION STEEL DOOR SURROUND	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR) LEVEL 3- BREAK AREA 328 (ISLAND AND BACK BAR) LOCATION LOCATION LEVEL 4- BREAK ROOM 428 (BACK BAR)	NORTH	EAST	SOUTH	WEST	FLOOR	SCHLUTER SYSTEMS MANUFACTURER SILESTONE SILESTONE	PATTERN LINE BLANCO MAPLE GREY EXPO	1/8" SIZE 3CM 3CM	SOLIO BRASS COLOR BLANCO MAPLE GREY EXPO	GROUT N/A N/A	NOTES
ANSITION TEEM	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2 SS3 FINISH CODE ST1 ST2 ST3	SUPPLIER / INSTALLER ERTOPS CFCI CFCI	DESCRIPTION QUARTZ COUNTERTOPS QUARTZ COUNTERTOPS DESCRIPTION STEEL DOOR SURROUND STEEL COUNTERTOPS	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR) LEVEL 3- BREAK AREA 328 (ISLAND AND BACK BAR) LOCATION LOCATION LEVEL 4- BREAK ROOM 428 (BACK BAR) LEVEL 4- BREAK ROOM 428	NORTH	EAST	SOUTH	WEST	FLOOR	SCHLUTER SYSTEMS MANUFACTURER SILESTONE SILESTONE	PATTERN LINE BLANCO MAPLE GREY EXPO	1/8" SIZE 3CM 3CM	SOLIO BRASS COLOR BLANCO MAPLE GREY EXPO	GROUT N/A N/A	NOTES
EM LID SU	SCHLUTER FINISH CODE RFACE COUNT SS1 SS2 SS3 FINISH CODE ST1 ST2	SUPPLIER / INSTALLER ERTOPS CFCI CFCI SUPPLIER / INSTALLER CFCI CFCI CFCI CFCI	DESCRIPTION QUARTZ COUNTERTOPS QUARTZ COUNTERTOPS DESCRIPTION STEEL DOOR SURROUND	LOCATION LEVEL 2- BREAK AREA 228 (BACK BAR) LEVEL 3- BREAK AREA 328 (ISLAND AND BACK BAR) LOCATION LOCATION LEVEL 4- BREAK ROOM 428 (BACK BAR)	NORTH	EAST	SOUTH	WEST	FLOOR	SCHLUTER SYSTEMS MANUFACTURER SILESTONE SILESTONE	PATTERN LINE BLANCO MAPLE GREY EXPO	1/8" SIZE 3CM 3CM	SOLIO BRASS COLOR BLANCO MAPLE GREY EXPO	GROUT N/A N/A	NOTES

ITEM FINISH O		LIER / LLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
WC1	CFC	a	VINYL WALLCOVERING	LEVEL 2-CONFERENCE ROOM 2 (206)						MDC WALLCOVERING	RESTORATION ELEMENTS- STEAM TRUNK	54°W	MRE1192 CHALKBOARD	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II; BACKING: NON-WOVEN; INSTALLATION: REVERSIBLE/STRAIGHT MATCH; REPEAT 21257; RIRE RATED: CLASS A
				. ,											CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II; BACKING: NON-WOVEN;
WC2	CFC	ci .	VINYL WALLCOVERING	LEVEL 2- OFFICE ROOM 1 (225)						MDC WALLCOVERING	TRAPEZE	52/54" W	MDD3186/4154 TIGHT ROPE	N/A	INSTALLATION: REVERSIBLE/STRAIGHT ACROSS MATCH REPEAT: 4.25" VERTICAL: FIRE RATED: CLASS A
wc3	CFC	:1	VINYL WALLCOVERING	LEVEL 2- OFFICE ROOM 2 (224)						MDC WALLCOVERING	GENON MOLTEN	54"W	CHARRED W2-MT-07	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II; BACKING: OSNABURG; INSTALLATION: REVERSE/RANDOM; REPEAT: 24" H X 54"W VERTICAL; FIRE RATED: CLASS A
WC4	CFC	CI	VINYL WALLCOVERING	LEVEL 2- OFFICE ROOM 3 (226)						MDC WALLCOVERING	ENCORE 2- ROXY	52/54" W	ERX9010 PEARL	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 35 OZ. TYPE II; BACKING: OSNABURG; INSTALLATION: REVERSIBLE HANG/RANDOM MATCH, REPEAT: NONE; FIRE RATED: CLASS A
															CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 0Z. TYPE II; BACKING: NON-WOVEN;
WCS	CFC	:1	VINYL WALLCOVERING	LEVEL 2- OFFICE ROOM 4 (227)						MDC WALLCOVERING	RESTORATION ELEMENTS- STEAM TRUNK	54°W	MRE1192 CHALKBOARD	N/A	INSTALLATION: REVERSIBLE/STRAIGHT MATCH; REPEA 2.8125°; FIRE RATED: CLASS A
WC6	CPC	ci	VINYL WALLCOVERING	LEVEL 3- CONFERENCE ROOM 2 (306)						MDC WALLCOVERING	THOM FILICIA CONTRACT- TOGGLE	54"W	TFC1228 CROW	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; IGHT: 20 OZ. TYPE II: BACKING: NON-WOVEN; INSTALLATION: NON-REVERSIBLE/STRAIGHT ACROSS MATCH; REPEAT: 12.625" VERTICAL, 9" HORIZONTAL; FIRE RATED: CLASS A
															CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 35 OZ. TYPE II; BACKING: OSNABURG;
WC7	CFC	CI	VINYL WALLCOVERING	LEVEL 3- OFFICE ROOM 1 (325)						MDC WALLCOVERING	ENCORE 2- ROXY	52/54" W	ERX9005 IMPERIAL	N/A	INSTALLATION: REVERSIBLE HANG/RANDOM MATCH; REPEAT: NONE; FIRE RATED: CLASS A
wcs	CFC	ci	VINYL WALLCOVERING	LEVEL 3- OFFICE ROOM 2 (324)						MDC WALLCOVERING	RESTORATION ELEMENTS- STEAM TRUNK	54"W	MRE1186/4154 PEARL TRAX	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II; BACKING: NON-WOVEN; INSTALLATION: REVERSIBLE/STRAIGHT MATCH; REPEA 2.8125°; FIRE RATED: CLASS A
															CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II: BACKING: NON-WOVEN; INSTALLATION: NON-REVERSIBLE/STRAIGHT ACROSS MATCH; REPEAT: 12.625° VERTICAL, 9° HORIZONTAL;
WC9	CFC		VINYL WALLCOVERING	LEVEL 3- OFFICE ROOM 3 (326)						MDC WALLCOVERING	THOM FILICIA CONTRACT- TOGGLE	54°W	TFC1228 CROW	N/A	FIRE RATED: CLASS A
WC10) CFC	CI	VINYL WALLCOVERING	LEVEL 3- OFFICE ROOM 4 (327)						MDC WALLCOVERING	GLAM SLAM	52/54* W	MDD3053/4154 CITY GEM	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II; BACKING: NON-WOYEN; INSTALLATION: REVERSIBLE HANG/STRAIGHT ACROS: MATCH; REPEAT: 1" VERTICAL; FIRE RATED: CLASS A
															CONTACT: KBK TO THE TRADE 210-490-8383; \$; BACKING: NON-WOVEN; INSTALLATION: STRAIGHT
WC1:	L CFC	:1	VINYL WALLCOVERING	LEVEL 4- CONFERENCE ROOM 2 (406)						ARTE	NOCTIS- LYRA	35.43°W	#38053	N/A	MATCH; REPEAT: 12.6" VERTICAL; FIRE RATED: CLASS (CONTACT: KBK TO THE TRADE 210-490-8383; \$;
WC12	2 CFC	CI	VINYL WALLCOVERING	LEYEL 4- OFFICE ROOM 1 (425)						MDC WALLCOVERING	THOM FILICIA CONTRACT- TOGGLE	54"W	TFC1224 HADLEY	N/A	WEIGHT: 20 OZ. TYPE II; BACKING: NON-WOVEN; INSTALLATION: NON-REVERSIBLE/STRAIGHT ACROSS MATCH; REPEAT: 12.625" VERTICAL, 9" HORIZONTAL; FIRE RATED: CLASS A
															CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II: BACKING: 50% POST OSUMER RECYCLED, NON WOVEN POLYESTER: INSTALLATION: STRAIGHT, MATCH; REPEAT: 3.6"
WC1:	3 CFC		VINYL WALLCOVERING	LEVEL 4- OFFICE ROOM 2 (424)						MDC WALLCOVERING	GENON LIAISON	52"W	VIOLET W2-L1-04	N/A	VERTICAL, 13* HORIZONTAL; FIRE RATED: CLASS A
WC14	E CFC	ci	VINYL WALLCOVERING	LEVEL 4- OFFICE ROOM 3 (426)						MDC WALLCOVERING	TRAPEZE	52/54" W	MDD3178 HAUTE HEIGHTS	N/A	CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 20 OZ. TYPE II; BACKING: NON-WOVEN; INSTALLATION: REVERSIBLE/STRAIGHT ACROSS MATCI REPEAT: 4.25" VERTICAL; FIRE RATED: CLASS A
															CONTACT: KBK TO THE TRADE 210-490-8383; \$; WEIGHT: 35 OZ. TYPE II; BACKING: OSNABURG; INSTALLATION: REVERSIBLE HANG/RANDOM MATCH;
WC1	SUPPL		VINYL WALLCOVERING	LEVEL 4- OFFICE ROOM 4 (427)						MDC WALLCOVERING	ENCORE 2- ROXY	52/54° W	ERX9001 INDUSTRY	N/A	REPEAT: NONE; FIRE RATED: CLASS A
ITEM FINISH O	ODE INSTA	LLER	DESCRIPTION	LOCATION	NORTH	EAST	SOUTH	WEST	FLOOR	MANUFACTURER	PATTERN LINE	SIZE	COLOR	GROUT	NOTES
				LEVEL 1- ELEVATOR LOBBY (G03) & MEZZANINE- ELEVATOR LOBBY									NAVY		\$7.40 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF);
WT1	CFC	CI	CEMENT WALL TILE	(M05)						CEMENT TILE SHOP	MEXICAN SHAPES COLLECTION- STARBUST HEX	8" L X 9" W X 5/8" THICK	IOVI		(SPECIFY HOW TO INSTALL)
WT1			CEMENT WALL TILE CEMENT WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210)						CEMENT TILE SHOP CEMENT TILE SHOP	MEXICAN SHAPES COLLECTION: STARBUST HEX CIRCULOS 12" X 12"	8" L X 9" W X 5/6" THICK	BLACK		(SPECIFY HOW TO INSTALL) \$18.00 PER PIECE
	CFC	CI		(MOS)									BLACK		\$18.00 PER PIECE
WT2	CFC	CI	CEMENT WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210)						CEMENT TILE SHOP	CIRCULOS 12" X 12"	12" X 12" X 1" THICK	BLACK	LATIFORTE MITH	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SE
WT2	CFC CFC	CI CI	CEMENT WALL TILE MOSAIC WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH						CEMENT TILE SHOP DALTILE	CIRCULOS 12" X 12" RETRO ROUNDS	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK	BLACK BOLD WHITE MATTE RR02	LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SF \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME
WT2	CFC CFC	Ci Ci	CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310)						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/6" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV	SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90
WT2	CFC CFC	CI CI	CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328)						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/6" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SF \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90; SOLD IN BOXES OF 12 (4.44 SF; EACH TILE WEIGHAPPROXIMATELY 2.5LBS;
WT2 WT3 WT4 WT5	CFC CFC CFC	CI CI	CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410)						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE- HOUSTON DESIGN MATERIALS- LILI TILES	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012)	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SF \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90; SOLD IN BOXES OF 12 (4.44 SF; EACH TILE WEIGHAPPROXIMATELY 2.5LBS;
W13 W14 W15 W16	CFC CFC CFC		CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE CERAMIN WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428)						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS- LILI TILES THORNTREE SLATE-HOUSTON	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SF \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90; SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGHAPPROXIMATELY 2.5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307) INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32
WT2 WT3 WT4 WT5 WT6 WT7	CFC CFC CFC		CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE CEMENT WALL TILE CERAMIN WALL TILE CEMENT WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE- HOUSTON DESIGN MATERIALS- LILI TILES THORNTREE SLATE- HOUSTON	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK)	12° X 12° X 1° THICK 1° X 1° ON A 12° X 12° SHEET; 3/16° THICK 8° L X 9° W X 5/8° THICK 6° X 24° 8° X 8° X 5/8° THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF; CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90; SOLD IN BOXES OF 12 (4.44 SF; EACH TILE WEIGH APPROXIMATELY 2.5LBS; \$3.50/SF (SALES REP; ROBERT OTTMAN 281-799-8307) INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF)
WT2 WT3 WT4 WT5 WT6 WT7	CFC CFC CFC CFC CFC		CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON CLE TILE DESIGN MATERIALS-LILI TILES	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK)	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/6" THICK 6" X 24" 8" X 8" X 5/6" THICK 4" X 16" 8" X 8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021)	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SF \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90; SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2.5 LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307) INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SP; SOLD IN BOXES OF 10 (5.33 SF)
W13 W14 W15 W16 W17 W18 W19	CFC CFC CFC CFC CFC		CEMENT WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE WALL TILE WALL TILE	(M05) LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS- LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS- LILI TILES	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS?7	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF; CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90. SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2 5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307) INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S 12 WEEK LEAD TIME CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S 12 WEEK LEAD TIME
W12 W13 W14 W15 W16 W17 W18 W19 W11	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE WALL TILE WALL TILE WALL TILE	LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND	12° X 12° X 1° THICK 1° X 1° ON A 12° X 12° SHEET; 3/16° THICK 8° L X 9° W X 5/8° THICK 6° X 24° 8° X 8° X 5/8° THICK 4° X 16° 8° X 8° X 5/8° THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS??	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF CONTACT: ROBERT OTTMAN 281-799-8307; \$10.01 SF, 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90 SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2.5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307; INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF: SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S 12 WEEK LEAD TIME CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALLTO 39° A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALLTO 39° A.F.F.
WT1 WT1 WT1 WT1 WT1	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE WALL TILE WALL TILE WALL TILE WALL TILE WALL TILE	LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (428) ISLAND FRONT LEVEL 4- BREAK AREA (428) ISLAND FRONT LEVEL 4- BREAK AREA (428) ISLAND FRONT						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE- HOUSTON DESIGN MATERIALS- LILI TILES THORNTREE SLATE- HOUSTON CLETILE DESIGN MATERIALS- LILI TILES THORNTREE SLATE- HOUSTON INTERCERAMIC DESIGN & DIRECT SOURCE	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS?? WHITE-GLOSSY	SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210.490.1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF CONTACT: ROBERT OTTMAN 281-799.8307; \$10.0 SF, 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90 SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGI APPROXIMATELY 2.5LBS; \$3.50/SF (SALES REP. ROBERT OTTMAN 281-799-8307; INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; INSTALL 70 39" A.F. CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALL TO 39" A.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STAKTING AT \$2.75 SF; INSTALL TO 39" A.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102;
WT1 WT1 WT1 WT1 WT1 WT1 WT1	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE WALL TILE WALL TILE WALL TILE WALL TILE WALL TILE	LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (428) ISLAND FRONT						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON INTERCERAMIC DESIGN & DIRECT SOURCE	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND UP & DOWN BALANZA- HARBOR	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS?? WHITE WHITE-GLOSSY	LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF CONTACT: ROBERT OTTMAN 281-799-8307; \$10.01 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90 SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2-5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307; INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S 12 WEEK LEAD TIME CONTACT: STELLY SHEA 210-324-9327; \$3.34 SF; INSTALLTO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F.
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WT1 WT1 WT1 WT1 WT1 WT1 WT1 WT1	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE CEMENT WALL TILE WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE	LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- BREAK AREA (228) BACKSPLASH LEVEL 3- BREAK AREA (328) LEVEL 4- BREAK AREA (328) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (428) ISLAND FRONT LEVEL 4- BREAK AREA (428) ISLAND FRONT LEVEL 1- BREAK AREA (428) ISLAND FRONT LEVEL 1- RESTROOM G22 LEVEL 1- RESTROOM G21 LEVEL 1- RESTROOM G20 LEVEL 1- RESTROOM G20						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON INTERCERAMIC DESIGN & DIRECT SOURCE DESIGN & DIRECT SOURCE	CIRCULOS 12* X 12* RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ABCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND UP & DOWN BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS?? WHITE WHITE-GLOSSY BLUE-GLOSSY	LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 S \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90 SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIG APPROXIMATELY 2.5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307; INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S12 WEEK LEAD TIME CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S12 WEEK LEAD TIME CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F.
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WT1 WT1 WT1 WT1 WT1 WT1 WT1 WT1	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE	LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- BREAK AREA (328) LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (410) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT MEZZANINE MEN RR M09 & WOMAN RR M10 LEVEL 1- RESTROOM G22 LEVEL 1- RESTROOM G21 LEVEL 1- RESTROOM G20 LEVEL 1- RESTROOM G19 LEVEL 3- RESTROOM 315, 317, 319 LEVEL 3- RESTROOM 316, 317, 319 LEVEL 3- RESTROOM 316, 318						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS- LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS- LILI TILES THORNTREE SLATE-HOUSTON INTERCERAMIC DESIGN & DIRECT SOURCE DESIGN & DIRECT SOURCE INTERCERAMIC DESIGN & DIRECT SOURCE INTERCERAMIC	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND UP & DOWN BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 13" X 26" 13" X 26" 13" X 26" 13" X 26"	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS?? WHITE WHITE-GLOSSY BLUE-GLOSSY WHITE WHITE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY	LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90 SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2 5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307) INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 39" A.F.F.
WT2 WT3 WT4 WT5 WT6 WT7 WT7 WT1 WT1 WT1 WT1 WT1 WT1	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE	LEVEL 2- ELEVATOR LOBBY (210) LEVEL 3- BREAK AREA (228) BACKSPLASH LEVEL 3- BREAK AREA (328) LEVEL 4- ELEVATOR LOBBY (310) LEVEL 4- BREAK AREA (328) LEVEL 4- BREAK AREA (428) LEVEL 2- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT MEZZANINE MEN RR M09 & WOMAN RR M10 LEVEL 1- RESTROOM G22 LEVEL 1- RESTROOM G21 LEVEL 1- RESTROOM G29 LEVEL 1- RESTROOM G39 LEVEL 3- RESTROOM 315, 317, 319 LEVEL 3- RESTROOM 316, 318 LEVEL 4- RESTROOM 415						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON INTERCERAMIC DESIGN & DIRECT SOURCE DESIGN & DIRECT SOURCE INTERCERAMIC DESIGN & DIRECT SOURCE INTERCERAMIC DESIGN & DIRECT SOURCE	CIRCULOS 12" X 12" RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND UP & DOWN BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 13" X 26" 13" X 26" 13" X 26" 13" X 26"	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSSY? WHITE WHITE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY LILA-GLOSSY	LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF CONTACT: ROBERT OTTMAN 281-799-8307; \$10.01 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12.90 SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2 5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307; INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14.50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12.75 SP; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 S 12 WEEK LEAD TIME CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 39" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F.
WT2 WT3 WT4 WT5 WT7 WT7 WT1 WT1 WT1 WT1 WT1 WT1	CFC CFC CFC CFC CFC CFC CFC CFC		CEMENT WALL TILE MOSAIC WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE CEMENT WALL TILE	LEVEL 2- ELEVATOR LOBBY (210) LEVEL 2- BREAK AREA (228) BACKSPLASH LEVEL 3- ELEVATOR LOBBY (310) LEVEL 3- BREAK AREA (328) LEVEL 4- BREAK AREA (328) LEVEL 4- BREAK AREA (228) ISLAND FRONT LEVEL 3- BREAK AREA (228) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT LEVEL 4- BREAK AREA (328) ISLAND FRONT MEZZANINE MEN RR MO9 & WOMAN RR M10 LEVEL 1- RESTROOM G22 LEVEL 1- RESTROOM G21 LEVEL 1- RESTROOM G20 LEVEL 1- RESTROOM G30 LEVEL 3- RESTROOM G315, 317, 319 LEVEL 3- RESTROOM 315, 317, 319 LEVEL 3- RESTROOM 316, 318 LEVEL 4- RESTROOM 415 LEVEL 4- RESTROOM 416						CEMENT TILE SHOP DALTILE CEMENT TILE SHOP THORNTREE SLATE-HOUSTON DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON CLETILE DESIGN MATERIALS-LILI TILES THORNTREE SLATE-HOUSTON INTERCERAMIC DESIGN & DIRECT SOURCE DESIGN & DIRECT SOURCE INTERCERAMIC DESIGN & DIRECT SOURCE INTERCERAMIC INTERCERAMIC INTERCERAMIC	CIRCULOS 12* X 12* RETRO ROUNDS PACIFIC SHAPES COLLECTION DURASTONE LONG HEX B RETE 3H ARCTIC ZENITH (STOCK) DEMI 4 DURASTONE DIAMOND UP & DOWN BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR BALANZA- HARBOR DOTS DOTS	12" X 12" X 1" THICK 1" X 1" ON A 12" X 12" SHEET; 3/16" THICK 8" L X 9" W X 5/8" THICK 6" X 24" 8" X 8" X 5/8" THICK 4" X 16" 8" X 8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 11 3/4" X 7 7/8" X 5/8" THICK 13" X 26" 13" X 26" 13" X 26" 13" X 26"	BLACK BOLD WHITE MATTE RR02 STRATA IV SUPER WHITE MATTE 2603-1 (COLORS 1000 & 4012) ARCTIC WHITE-GLOSSY ZENITH (STOCK) WHITE DEMI 4 (COLORS: 1000 & 4021) SUPER WHITE MATTE & GLOSS?? WHITE WHITE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY BLUE-GLOSSY LILA-GLOSSY AQUA-GLOSSY	LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE LATICRETE WITH SPECTRALOCK, COLOR 44 BRIGHT WHITE	\$18.00 PER PIECE CONTACT: NIKKI GUERRA 210-490-1502; \$10.61 SI \$7.50 PER PIECE; SOLD IN BOXES OF 12 (4.44 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$10.00 SF; 12 WEEK LEAD TIME CONTACT: MAGGIE DOYLE 718-809-1732; \$12-90; SOLD IN BOXES OF 12 (4.44 SF); EACH TILE WEIGH APPROXIMATELY 2 5LBS; \$3.50/SF (SALES REP: ROBERT OTTMAN 281-799-8307) INSTALLATION: HORIZONTAL RUNNING BOND \$6.25 EA OR \$14-50 SF; SOLD IN BOXES OF 12 (2.32 TILES PER SF) CONTACT: MAGGIE DOYLE 718-809-1732; \$12-75 SF; SOLD IN BOXES OF 10 (5.33 SF) CONTACT: ROBERT OTTMAN 281-799-8307; \$9.25 ST 12 WEEK LEAD TIME CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: MARIAN PETEROS 503-525-0600 X 102; STARTING AT \$2.75 SF; INSTALL TO 39" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$3.34 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F. CONTACT: SHELLY SHEA 210-324-9327; \$2.28 SF; INSTALL TO 40" A.F.F.
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Total Art Design &

Architecture Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

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HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

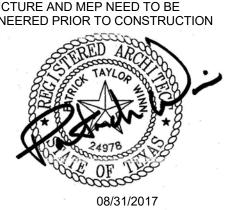
LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



ROOM FINISH SCHEDULE PART 1

	BASEMENT	Construction None New Construction New Construction None None None None None None None No	Phase Created New Construction New Construction Existing Existing Existing New Construction New Construction Existing	Finish	Frame Material	7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0" 3' - 0"	Thickness 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2"	Door Fire Rating	Comments
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B09 B10 B13 B14 B15 B16 B17 B17.1 B18 B18.1 B18.2 B21 B22 B23 B24 B25 B26 B27 B29 B30 B31 B32 B33 B34 B35 B39 B36 D02 G01 G02	BASEMENT	None None None None None None None None	New Construction Existing			7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0"	0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2"		
B10 B13 B14 B15 B16 B17 B17 B17 B18 B18.1 B18.2 B21 B22 B23 B24 B25 B26 B27 B29 B30 B31 B32 B31 B32 B33 B34 B35 B39 B36 D02 G01 G02	BASEMENT	None None None None None None None None	Existing			7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0"	0' - 2" 0' - 2" 0' - 2" 0' - 2" 0' - 2"		
313 314 315 316 317 317,1 318 318,1 318,2 321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 502 501 502	BASEMENT	None None None None None None None None	Existing			7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0" 3' - 0" 3' - 0"	0' - 2" 0' - 2" 0' - 2" 0' - 2"		
B14 B15 B16 B17 B17.1 B18 B18.1 B18.2 B21 B22 B23 B24 B25 B26 B27 B29 B30 B31 B32 B33 B34 B35 B39 B36 D02 G01 G02	BASEMENT	None None None None None None None None	Existing			7' - 0" 7' - 0" 7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0" 3' - 0" 3' - 0"	0' - 2" 0' - 2" 0' - 2" 0' - 2"		
B15 B16 B17 B17.1 B18 B18.1 B18.2 B21 B22 B23 B24 B25 B26 B27 B29 B30 B31 B32 B33 B34 B35 B39 B36 D02 G01 G02	BASEMENT	None None None None None None None None	Existing			7' - 0" 7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0" 3' - 0"	0' - 2" 0' - 2" 0' - 2"		
316 317 317.1 318 318.1 318.2 321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT	None None None None None None None New Construction None New Construction None New Construction	Existing			7' - 0" 7' - 0" 7' - 0"	3' - 0" 3' - 0"	0' - 2" 0' - 2"		
317 317.1 318 318.1 318.2 321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT	None None None None None None None None	Existing			7' - 0" 7' - 0"	3' - 0"	0' - 2"		
B17.1 B18 B18.1 B18.2 B21 B22 B23 B24 B24 B25 B26 B27 B29 B30 B31 B32 B33 B34 B35 B39 B36 D02 G01 G02	BASEMENT	None None None None New Construction None New Construction None None New Construction None None	Existing Existing Existing Existing Existing Existing Existing Existing Existing			7' - 0" 7' - 0"	3' - 0"	0' - 2"		
318 318.1 318.2 321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT	None None None New Construction None None New Construction None New Construction None None	Existing Existing Existing Existing Existing Existing Existing			7' - 0"				
318.1 318.2 321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT	None None New Construction None None New Construction None None None	Existing Existing Existing Existing Existing Existing			_	3-0	10 - /		1
318.2 321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT	None New Construction None None New Construction None None	Existing Existing Existing Existing			7 ! 0!!		0' - 2"		
321 322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 501 502	BASEMENT	New Construction None None New Construction None None	Existing Existing Existing			7' - 0"	3' - 0"			
322 323 324 324 325 326 327 329 330 331 332 333 334 335 339 336 002 501 502	BASEMENT	None New Construction None None None None	Existing Existing			7' - 0" 9' - 0"	2' - 1" 3' - 0"	0' - 2"		
323 324 325 326 327 329 330 331 332 333 334 335 339 336 002 501 502	BASEMENT	None None Construction None None	Existing			J - U	0 - 0	0 - 1 3/4		
323 324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT	None New Construction None None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT	New Construction None None	-			9' - 0"	3' - 0"	0' - 1 3/4"		
324 325 326 327 329 330 331 332 333 334 335 339 336 002 301 302	BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT	Construction None None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
325 326 327 329 330 331 332 333 334 335 339 336 002 501 502	BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT	None								
326 327 329 330 331 332 333 334 335 339 336 002 501 502	BASEMENT BASEMENT BASEMENT BASEMENT BASEMENT		New Construction			8' - 0"	3' - 0"	0' - 2"		
327 329 330 331 332 333 334 335 339 336 002 501 502	BASEMENT BASEMENT BASEMENT BASEMENT	NI.	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
329 330 331 332 333 334 335 339 336 502 501 502	BASEMENT BASEMENT BASEMENT	None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
330 331 332 333 334 335 339 336 002 501 502	BASEMENT BASEMENT	None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
331 332 333 334 335 339 336 002 501	BASEMENT	None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
332 333 334 335 339 336 002 501 502		None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
333 334 335 339 336 502 301 302	BASEMENT	None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
334 335 339 336 002 501 502		None	Existing			7' - 0"	3' - 0"	0' - 2"		
335 339 336 002 301 302	BASEMENT	None	Existing			7' - 0"	3' - 0"	0' - 2"		
339 336 002 301 302	BASEMENT	None	Existing			7' - 0"	3' - 0"	0' - 2"		
336 D02 G01 G02	BASEMENT	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
O02 G01 G02	BASEMENT	None	Existing			6' - 10 1/4"	2' - 8"	0' - 2"		
O02 G01 G02	STREET	None	New Construction			8' - 0"	3' - 0"	0' - 2"		
G01 G02	STREET	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
G02	STREET	None	New Construction					0' - 1 3/4"		
	STREET	None	Existing					0' - 1 3/4"		
G02.1	STREET	New	Existing			7' - 0"	3' - 0"	0' - 2"		
G02.1		Construction								
	STREET	New	Existing			7' - 0"	3' - 0"	0' - 2"		
202	OTDEET	Construction	Navy Caratmyatian			71 011	01 011	01 011		
G03	STREET	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
G04	STREET	None	Existing			7' - 0"	3' - 0"	0' - 2"		
G06	STREET	None	Existing			9' - 0"	3' - 0"	0' - 1 3/4"		
G12	STREET	None	Existing			7' - 0"	2' - 6"	0' - 2"		
G13	STREET	None	Existing			7' - 0"	2' - 6"	0' - 2"		
G14	STREET	None	Existing			7' - 0"	3' - 0"	0' - 2"		OMITOUR DOOD OF THE
G16	STREET	None	Existing			7' - 0"	3' - 0"	0' - 2"		SWITCH DOOR SWING DIRECTION TO MEET
										CODE
G17	STREET	None	Existing							-
G18	STREET	New	Existing			7' - 0"	3' - 0"	0' - 2"		
	JL.	Construction					_	- -		
G18.1	STREET	New	Existing			7' - 0"	3' - 0"	0' - 2"		
		Construction								
G19	STREET	New	Existing			7' - 0"	3' - 0"	0' - 2"		
		Construction								
G19.1	STREET	New	Existing			7' - 0"	3' - 0"	0' - 2"		
210.2	OTDEET	Construction	Eviation:			7! 0"	01 4"	01 0"		
G19.2	STREET	New Construction	Existing			7' - 0"	2' - 1"	0' - 2"		
G19.3	STREET	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
G20	STREET	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
G21		None	New Construction			7' - 0"	3' - 0"	0' - 2"		
G22	STREET	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
G31		None				7' - 0"	3' - 0"	0' - 2"		
	MEZZANINE		Existing				3' - 0"	0' - 2"		
282	IVIEZZANINE	New Construction	Existing			/ - U	J - U	0 - 2		
283	MEZZANINE		Existing			7' - 0"	3' - 0"	0' - 2"		
	IVILZZAINIINE	Construction	Lading			, - 0				
309	MEZZANINE		Existing							
		Construction	9							
D01	MEZZANINE		Existing			7' - 0"	3' - 0"	0' - 2"		
M01	MEZZANINE		Existing				3' - 0"	0' - 1 3/4"		
		Construction	9				_			
M01.1	MEZZANINE		New Construction			8' - 0"	3' - 0"	0' - 2"		
M01.2		New	Existing				3' - 0"	0' - 2"		

	TYPE		Phase			Frame				Door Fire
Mark	MARK	Level	Demolished	Phase Created	Finish	Material	Door Height	Door Width	Thickness	Rating Comments
M01.3		MEZZANINE	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
M02		MEZZANINE	New	Existing			7' - 0"	3' - 0"	0' - 2"	
М03		MEZZANINE	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
M03.1		MEZZANINE	_	New Construction						
M05		MEZZANINE		New Construction			7' - 0"	3' - 0"	0' - 2"	
M08		MEZZANINE		Existing			7' - 0"	3' - 0"	0' - 2"	
M08.1		MEZZANINE		Existing			7' - 0"	3' - 0"	0' - 2"	
M08.2		MEZZANINE		Existing			7' - 0"	2' - 1"	0' - 2"	
M09		MEZZANINE	_	Existing			7' - 0"	3' - 0"	0' - 2"	
M09.1		MEZZANINE		Existing			7' - 0"	3' - 0"	0' - 2"	
M11		MEZZANINE	_	Existing			7' - 0"	3' - 0"	0' - 2"	
M12		MEZZANINE		New Construction			7' - 0"	3' - 0"	0' - 2"	
M13		MEZZANINE		Existing			7' - 0"	2' - 8"	0' - 2"	
202		LEVEL 2	None	Existing			7 - 0	2 - 0	0 - 2	SWITCH DOOR TO OPEN 180 DEGREE
203		LEVEL 2	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	100 DEGREE
204		LEVEL 2	None	Existing			7' - 0"	3' - 0"	0' - 2"	
205		LEVEL 2	None	Existing			7' - 0"	3' - 0"	0' - 2"	
206		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
206.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
		LEVEL 2	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
208										
209		LEVEL 2	None	Existing			7' - 0"	3' - 0"	0' - 2"	
211		LEVEL 2	None	Existing			7' - 0"	3' - 0"	0' - 2"	
213		LEVEL 2	None	Existing			7! 0"	21 0"	01 0"	
214		LEVEL 2	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
214.1		LEVEL 2	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
214.2		LEVEL 2	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
214.3		LEVEL 2	New Construction	Existing			7' - 0"	2' - 1"	0' - 2"	
214.4		LEVEL 2	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
214.5		LEVEL 2	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
215		LEVEL 2	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
216		LEVEL 2	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
217		LEVEL 2	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
218		LEVEL 2	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
219		LEVEL 2	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
220		LEVEL 2	New Construction	Existing			8' - 0"	3' - 0"	0' - 2"	
220.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
221		LEVEL 2	New Construction	Existing			8' - 0"	3' - 0"	0' - 2"	
221.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
222		LEVEL 2	New Construction	Existing			7' - 0"		0' - 2"	
222.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
224		LEVEL 2	New Construction	Existing			8' - 0"		0' - 2"	
224.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
225		LEVEL 2	New Construction	Existing			8' - 0"	3' - 0"	0' - 2"	
225.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
226		LEVEL 2	New Construction	Existing			8' - 0"	3' - 0"	0' - 2"	
226.1		LEVEL 2	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
227		LEVEL 2	New Construction	Existing			8' - 0"	3' - 0"	0' - 2"	
		LEVEL 2	None	New Construction			8' - 0"	3' - 0"		







Total Art Design &

Architecture Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

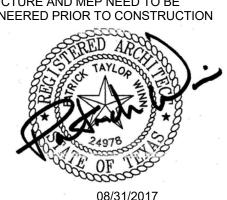
LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



DOOR SCHEDULE PART 1

	TYPE		Phase			Frame				Door Fire	
Mark	MARK	Level	Demolished	Phase Created	Finish	Material	Door Heig	ht Door Widt	h Thickness	Rating	Comments
01.1		LEVEL 3	New	Existing			7' - 0"	3' - 0"	0' - 2"		
01.2		LEVEL 3	Construction New	Existing			7' - 0"	3' - 0"	0' - 2"		
			Construction	-							
01.3		LEVEL 3	New Construction	Existing			7' - 0"	2' - 8"	0' - 2"		
801.4		LEVEL 3	New Construction	Existing			7' - 0"	2' - 8"	0' - 2"		
01.5		LEVEL 3	New	Existing			7' - 0"	2' - 8"	0' - 2"		
301.6		LEVEL 3	Construction New	Existing			7' - 0"	2' - 8"	0' - 2"		
			Construction								
301.7		LEVEL 3	New Construction	Existing			7' - 0"	2' - 8"	0' - 2"		
01.8		LEVEL 3	New Construction	Existing			7' - 0"	2' - 8"	0' - 2"		
301.9		LEVEL 3	New	Existing			7' - 0"	2' - 8"	0' - 2"		
801.10		LEVEL 3	Construction New	Existing			7' - 0"	3' - 0"	0' - 2"		
			Construction	-							
602 603		LEVEL 3	None New	Existing Existing			7' - 0"	3' - 0"	0' - 2"		
			Construction	-			71 011				
804 805		LEVEL 3	None None	Existing Existing		-	7' - 0" 7' - 0"	3' - 0" 3' - 0"	0' - 2" 0' - 2"		
806		LEVEL 3	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		
306.1		LEVEL 3	None	New Construction			8' - 0"	3' - 0"	0' - 2"		
06.2		LEVEL 3	None	New Construction			8' - 0"	3' - 0"	0' - 2"		
07 08		LEVEL 3	None None	New Construction New Construction			7' - 0" 7' - 0"	3' - 0" 3' - 0"	0' - 2" 0' - 2"		
09		LEVEL 3	None	Existing			7' - 0"	3' - 0"	0' - 2"		
11		LEVEL 3	None	Existing			7' - 0"	3' - 0"	0' - 2"		
13 14		LEVEL 3	None New	Existing Existing			7' - 0"	3' - 0"	0' - 2"		
			Construction								
14.1		LEVEL 3	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		
314.2		LEVEL 3	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		
314.3		LEVEL 3	New Construction	Existing			7' - 0"	2' - 1"	0' - 2"		
314.4		LEVEL 3	New	Existing			7' - 0"	3' - 0"	0' - 2"		
315		LEVEL 3	Construction None	New Construction			7' - 0"	3' - 0"	0' - 2"		
316		LEVEL 3	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
317		LEVEL 3	None	New Construction			7' - 0"	3' - 0"	0' - 2"		
318 319		LEVEL 3	None None	New Construction New Construction			7' - 0" 7' - 0"	3' - 0" 3' - 0"	0' - 2" 0' - 2"		
320		LEVEL 3	New	Existing			8' - 0"	3' - 0"	0' - 2"		
320.1		LEVEL 3	Construction None	New Construction			8' - 0"	3' - 0"	0' - 2"		
320. i 321		LEVEL 3	New	Existing			8' - 0"	3' - 0"	0' - 2"		
321.1		LEVEL 3	Construction None	New Construction			8' - 0"	3' - 0"	0' - 2"		
321.1 322		LEVEL 3	New	Existing			7' - 0"	3' - 0"	0' - 2"		
00.4		L E \ /E L O	Construction	-			01 011	01 011	01 011		
322.1 324		LEVEL 3	None New	New Construction Existing			8' - 0" 8' - 0"	3' - 0" 3' - 0"	0' - 2" 0' - 2"		
			Construction	-				3' - 0"	0' - 2"		
24.1 25		LEVEL 3	None None	New Construction New Construction			8' - 0" 8' - 0"	3' - 0"	0' - 2"		
26		LEVEL 3	New	Existing			8' - 0"	3' - 0"	0' - 2"		
26.1		LEVEL 3	Construction None	New Construction			8' - 0"	3' - 0"	0' - 2"		
27		LEVEL 3	None	New Construction			8' - 0"	3' - 0"	0' - 2"		
14.5		LEVEL 3	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		
01.1		LEVEL 4	New	Existing			7' - 0"	3' - 0"	0' - 2"		
01.2		LEVEL 4	Construction New	Existing			7' - 0"	3' - 0"	0' - 2"		
			Construction	-							
01.3		LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		
01.4		LEVEL 4	New	Existing			7' - 0"	3' - 0"	0' - 2"		
01.5		LEVEL 4	Construction New	Existing			7' - 0"	3' - 0"	0' - 2"		
			Construction	-							
01.6		LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		
01.7		LEVEL 4	New	Existing			7' - 0"	3' - 0"	0' - 2"		
01.8		LEVEL 4	Construction New	Existing			7' - 0"	3' - 0"	0' - 2"		
01.9		LEVEL 4	Construction New	_			7' - 0"	3' - 0"	0' - 2"		
			Construction	Existing							
01.10		LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"		

	TYPE	Phase			Frame			Door Fire	
Mark	MARK Level	Demolished	Phase Created	Finish	Material	Door Height	Door Width		Comments
401.11	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
402	LEVEL 4	None	Existing						
403	LEVEL 4	New	Existing			7' - 0"	3' - 0"	0' - 2"	
		Construction							
404	LEVEL 4	None	Existing			7' - 0"	3' - 0"	0' - 2"	
405	LEVEL 4	None	Existing			7' - 0"	3' - 0"	0' - 2"	
406	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
406.1	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
406.2	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
406.3	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
407	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
408	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
409	LEVEL 4	None	Existing			7' - 0"	3' - 0"	0' - 2"	
409	LEVEL 4	New Construction	Existing				3' - 0"	0' - 2"	
410	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
411	LEVEL 4	None	Existing			7' - 0"	3' - 0"	0' - 2"	
411	LEVEL 4	New	Existing			7' - 0"	2' - 1"	0' - 2"	
		Construction					-		
413	LEVEL 4	None	Existing						
414	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
414.1	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
414.2	LEVEL 4	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
415	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
416	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
117	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
418	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
419	LEVEL 4	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
420	LEVEL 4	New Construction	Existing				3' - 0"	0' - 2"	
420.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
421	LEVEL 4	New Construction	Existing				3' - 0"	0' - 2"	
421.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
422	LEVEL 4	New	Existing				3' - 0"	0' - 2"	
122		Construction	Lationing			, 0			
422.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
424	LEVEL 4	New Construction	Existing			8' - 0"	3' - 0"	0' - 2"	
424.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
425	LEVEL 4	New Construction	Existing				3' - 0"	0' - 2"	
425.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
426	LEVEL 4	New Construction	Existing				3' - 0"	0' - 2"	
426.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
427	LEVEL 4	New Construction	Existing				3' - 0"	0' - 2"	
427.1	LEVEL 4	None	New Construction			8' - 0"	3' - 0"	0' - 2"	
501	LEVEL 5	None	Existing				3' - 0"	0' - 2"	
502	LEVEL 5	None	Existing					_	
503	LEVEL 5	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
503	LEVEL 5	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
503.1	LEVEL 5	New Construction	Existing				3' - 0"	0' - 2"	
504	LEVEL 5	New Construction	Existing			7' - 0"	3' - 0"	0' - 2"	
E04			Now Caratainet			7' 0"	21 0"	0' 2"	
504 504.1	LEVEL 5 LEVEL 5	None New	New Construction Existing			7' - 0" 7' - 0"	3' - 0" 3' - 0"	0' - 2"	
504.2	LEVEL 5	Construction New	Existing			7' - 0"	2' - 1"	0' - 2"	
		Construction							
505	LEVEL 5	None	Existing			7' - 0"	3' - 0"	0' - 2"	
505	LEVEL 5	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
506	LEVEL 5	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
507	LEVEL 5	None	New Construction			7' - 0"	3' - 0"	0' - 2"	
601	ROOF	None	Existing			7' - 0"	3' - 0"	0' - 2"	
602	ROOF	None	Existing			7' - 0"	3' - 0"	0' - 2"	







Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

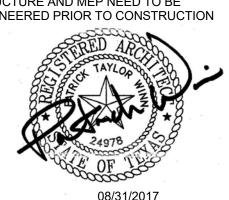
LIFE SAFETY

Fire Protection Consulting Group, LLC 339 Sandalwood Lane, San Antonio, TX (210) 858-2389

ILDING

OWNER: AREA REAL ESTATE, LLC

ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



DOOR SCHEDULE PART 2

			Windov	v Schedule			
wtwtwt wtwt	Type Mark	Level	Phase Created	Phase Demolished	Width	Height	Comments
101	A0	STREET	Existing	None	2' - 8 3/8"	5' - 0"	
102	A0	STREET	Existing	None	2' - 8 3/8"	5' - 0"	
103	A0	STREET	Existing	None	2' - 8 3/8"	5' - 0"	
114	A26 A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
115 116	A26	MEZZANINE MEZZANINE		None None	5' - 5 3/4" 5' - 5 3/4"	5' - 6" 5' - 6"	
117	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
118	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
121	A26	MEZZANINE	New Construction	None	5' - 5 3/4"	5' - 6"	
122	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
124	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
135 136	A26 A26	MEZZANINE MEZZANINE		None None	5' - 5 3/4" 5' - 5 3/4"	5' - 6" 5' - 6"	
164	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
166	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
167	A26	MEZZANINE	New Construction	None	5' - 5 3/4"	5' - 6"	
168	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
169	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
170	A26	MEZZANINE		None	5' - 5 3/4"	5' - 6"	
173 174	A26 A26		New Construction New Construction	None None	5' - 5 3/4" 5' - 5 3/4"	5' - 6" 5' - 6"	
175	A26		New Construction	None	5' - 5 3/4"	5' - 6"	
176	A26		New Construction	None	5' - 5 3/4"	5' - 6"	
M1	A2	MEZZANINE	Existing	None	3' - 11 1/2"	4' - 9"	
M1	A2	MEZZANINE	-	None	3' - 11 1/2"	4' - 9"	
M1	A2	MEZZANINE	_	None	3' - 11 1/2"	4' - 9"	
M1	A2	MEZZANINE		None	3' - 11 1/2"	4' - 9"	
M1	A2	MEZZANINE		None	3' - 11 1/2" 3' - 11 1/2"	4' - 9" 4' - 9"	
M1 M2	A2 A1	MEZZANINE MEZZANINE		None None	4' - 9"	3' - 3 1/2"	
M2	A1	MEZZANINE	-	None	4' - 9"	3' - 3 1/2"	
M2	A1	MEZZANINE	_	None	4' - 9"	3' - 3 1/2"	
M2	A1	MEZZANINE	Existing	None	4' - 9"	3' - 3 1/2"	
M2	A1	MEZZANINE	-	None	4' - 9"	3' - 3 1/2"	
M2	A1	MEZZANINE		None	4' - 9"	3' - 3 1/2"	
M3	A5	MEZZANINE	-	None	4' - 6 1/4"	4' - 9"	
M3 M4	A5 A4	MEZZANINE MEZZANINE		None None	4' - 6 1/4" 3' - 10 1/2"	4' - 9" 4' - 9"	
M4	A4	MEZZANINE		None	3' - 10 1/2"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE	-	None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE	-	None	4' - 1"	4' - 9"	
M5 M5	A4 A4	MEZZANINE MEZZANINE	-	None None	4' - 1" 4' - 1"	4' - 9" 4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE	Existing	None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE	-	None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1" 4' - 1"	4' - 9" 4' - 9"	
M5 M5	A4 A4	MEZZANINE MEZZANINE		None None	4 - 1	4 - 9	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5	A4	MEZZANINE		None	4' - 1"	4' - 9"	
M5 M5	A4 A4	MEZZANINE MEZZANINE		None None	4' - 1" 4' - 1"	4' - 9" 4' - 9"	
M5	A4 A4	MEZZANINE	-	None	4 - 1	4 - 9	
M6	A7	MEZZANINE		None	4' - 0 1/2"	5' - 2"	
M6	A7	MEZZANINE	-	None	4' - 0 1/2"	5' - 2"	
02-01	A10	LEVEL 2	Existing	None	4' - 1"	8' - 3"	
02-01	A10	LEVEL 2	Existing	None	4' - 1"	8' - 3"	
02-01	A10	LEVEL 2	Existing	None	4' - 1"	8' - 3"	
02-01 02-01	A10 A10	LEVEL 2 LEVEL 2	Existing Existing	None None	4' - 1" 4' - 1"	8' - 3" 8' - 3"	
02-01	A10	LEVEL 2	Existing	None	4 - 1	8' - 3"	
02-01	A12	LEVEL 2	Existing	None	6' - 7"	8' - 3"	
02-02	A12	LEVEL 2	Existing	None	6' - 7"	8' - 3"	
02-02	A12	LEVEL 2	Existing	None	6' - 7"	8' - 3"	
02 02	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03 02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	

wtwtwt				Phase			
wtwt	Type Mark	Level	Phase Created	Demolished	Width	Height	Comments
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-03	A11	LEVEL 2	Existing	None	4' - 7"	8' - 3"	
02-04 02-05	A8 A9	LEVEL 2	Existing Existing	None None	2' - 5 1/2" 3' - 11 3/4"	5' - 8 3/4" 8' - 3"	
02-05	A9 A9	LEVEL 2	Existing	None	3' - 11 3/4"	8' - 3"	
02-05	A9	LEVEL 2	Existing	None	3' - 11 3/4"	8' - 3"	
02-05	A9	LEVEL 2	Existing	None	3' - 11 3/4"	8' - 3"	
02-06	A13	LEVEL 2	Existing	None	7' - 8"	8' - 3"	
02-06	A13	LEVEL 2	Existing	None	7' - 8"	8' - 3"	
03-01	A10	LEVEL 3	Existing	None	4' - 1"	8' - 3"	
03-01	A10	LEVEL 3	Existing	None	4' - 1"	8' - 3"	
03-01	A10	LEVEL 3	Existing	None	4' - 1"	8' - 3"	
03-01	A10	LEVEL 3	Existing	None	4' - 1"	8' - 3"	
03-01	A10	LEVEL 3	Existing	None	4' - 1"	8' - 3"	
03-01	A10	LEVEL 3	Existing	None	4' - 1"	8' - 3"	
03-02	A12	LEVEL 3	Existing	None	6' - 7"	8' - 3"	
03-02	A12	LEVEL 3	Existing	None	6' - 7"	8' - 3"	
03-02	A12	LEVEL 3	Existing	None	6' - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-03 03-03	A11	LEVEL 3	Existing	None	4' - 7" 4' - 7"	8' - 3" 8' - 3"	
03-03	A11	LEVEL 3	Existing Existing	None None	4' - 7"	8' - 3" 8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4 - 7	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4 - 7	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4 - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-03	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
03-04	A8	LEVEL 3	Existing	None	2' - 5 1/2"	5' - 8 3/4"	
03-05	A9	LEVEL 3	Existing	None	3' - 11 3/4"	8' - 3"	
03-05	A9	LEVEL 3	Existing	None	3' - 11 3/4"	8' - 3"	
03-05	A9	LEVEL 3	Existing	None	3' - 11 3/4"	8' - 3"	
03-05	A9	LEVEL 3	Existing	None	3' - 11 3/4"	8' - 3"	
03-06	A13	LEVEL 3	Existing	None	7' - 8"	8' - 3"	
03-06	A13	LEVEL 3	Existing	None	7' - 8"	8' - 3"	
0303	A11	LEVEL 3	Existing	None	4' - 7"	8' - 3"	
02-04	A8	LEVEL 4	Existing	None	2' - 5 1/2"	5' - 8 3/4"	
04-01	A10	LEVEL 4	Existing	None	4' - 1" 4' - 1"	8' - 3" 8' - 3"	
04-01 04-01	A10 A10	LEVEL 4	Existing Existing	None None	4' - 1"	8' - 3" 8' - 3"	
04-01 04-01	A10 A10	LEVEL 4	Existing Existing	None	4' - 1"	8' - 3" 8' - 3"	
04-01 04-01	A10	LEVEL 4	Existing	None	4' - 1"	8' - 3"	
04-01	A10	LEVEL 4	Existing	None	4' - 1"	8' - 3"	
04-02	A12	LEVEL 4	Existing	None	6' - 7"	8' - 3"	
04-02	A12	LEVEL 4	Existing	None	6' - 7"	8' - 3"	
04-02	A12	LEVEL 4	Existing	None	6' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03	A11	LEVEL 4	Existing	None	4' - 7"	8' - 3"	
04-03 04-05	A11 A9	LEVEL 4	Existing	None	4' - 7" 3' - 11 3/4"	8' - 3" 8' - 3"	
04-05 04-05	A9 A9	LEVEL 4	Existing	None	3' - 11 3/4" 3' - 11 3/4"	8' - 3" 8' - 3"	
04-05 04-05	A9 A9	LEVEL 4	Existing Existing	None None	3' - 11 3/4"	8' - 3"	
04-05 04-05	A9 A9	LEVEL 4	Existing	None	3' - 11 3/4"	8' - 3"	
04-05 04-06	A9 A13	LEVEL 4	Existing	None	7' - 8"	8' - 3"	
04-06 04-06	A13	LEVEL 4	Existing	None	7' - 8"	8' - 3"	
05-01	A6	LEVEL 4	Existing	New Construction		5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction		5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction		5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction		5' - 5"	
JU U I	, 10		ig	New Construction		5' - 5"	

wtwtwt wtwt	Type Mark	Level	Phase Created	Phase Demolished	Width	Height	Comments
	, , , , , , , , , , , , , , , , , , ,					1 1119	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
05-01	A6	LEVEL 5	Existing	New Construction	3' - 9"	5' - 5"	
104	A17	LEVEL 5	New Construction	None	18' - 2 1/2"	5' - 8"	
105	A17	LEVEL 5	New Construction	None	18' - 2 1/2"	5' - 8"	
106	A20	LEVEL 5	New Construction	None	10' - 6 5/8"	5' - 8"	
107	A20	LEVEL 5	New Construction	None	10' - 6 5/8"	5' - 8"	
108	A20	LEVEL 5	New Construction	None	10' - 6 5/8"	5' - 8"	
109	A20	LEVEL 5	New Construction	None	10' - 6 5/8"	5' - 8"	
110	A20	LEVEL 5	New Construction	None	10' - 6 5/8"	5' - 8"	
111	A24	LEVEL 5	New Construction	None	3' - 11 3/4"	5' - 8"	
112	A24	LEVEL 5	New Construction	None	3' - 11 3/4"	5' - 8"	
113	A25	LEVEL 5	New Construction	None	9' - 4 1/4"	5' - 8"	
299	A16	LEVEL 5	New Construction	None	16' - 0"	5' - 8"	
300	A16	LEVEL 5	New Construction	None	16' - 0"	5' - 8"	
301	A16	LEVEL 5	New Construction	None	16' - 0"	5' - 8"	

Window Schedule







Total Art Design &

Architecture Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

MEP:

MS2 Consulting Engineers 8200 IH-10 West, Suit 312 San Antonio,TX 78230 210-736-4265

HVAC

BEYER MECHANICAL 4719 Broom St San Antonio, TX 78217 (210) 656- 9027

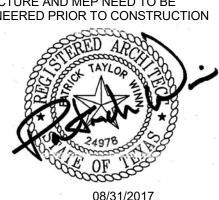
LIFE SAFETY

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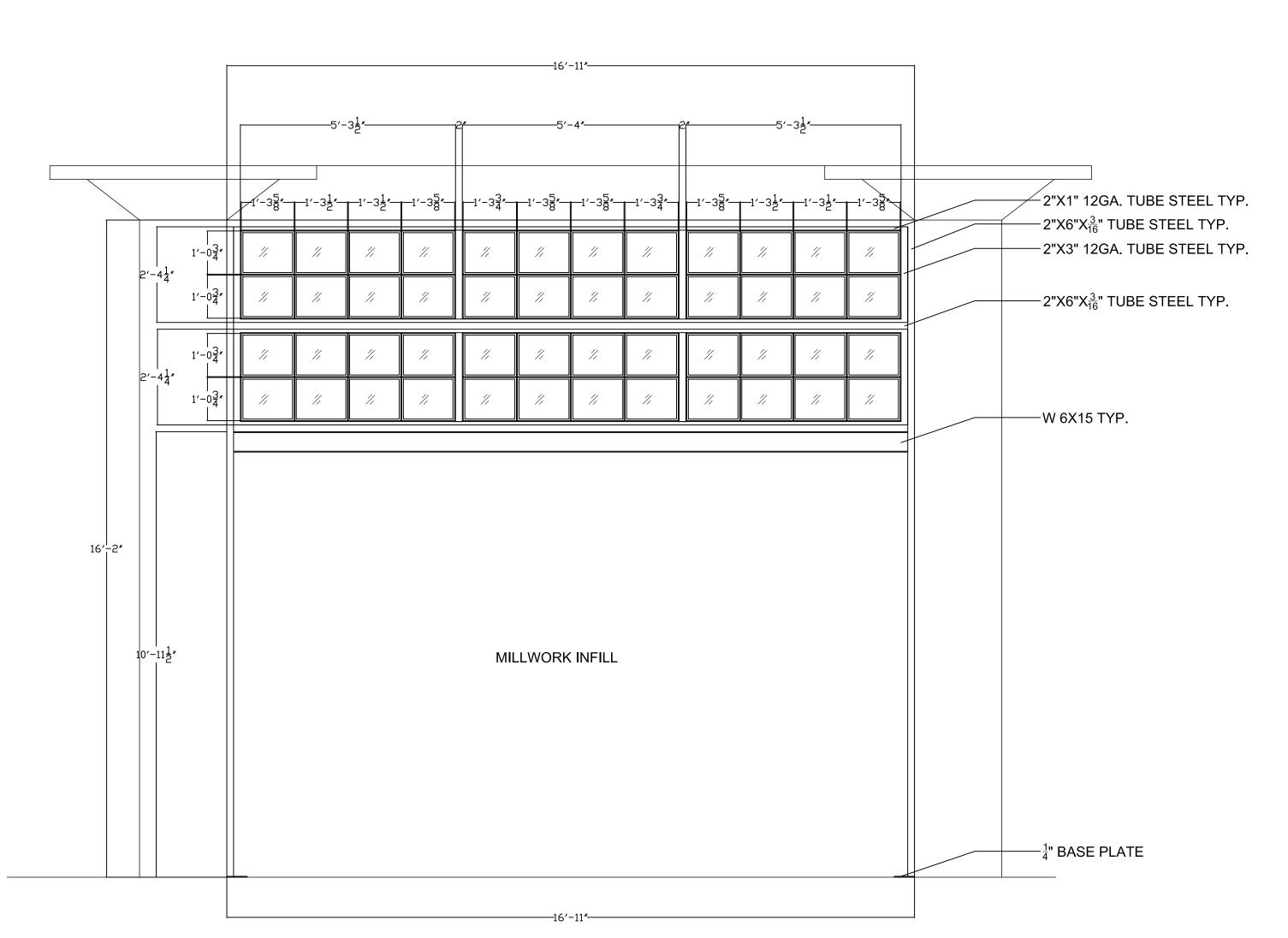
ILDING BURNS BUI

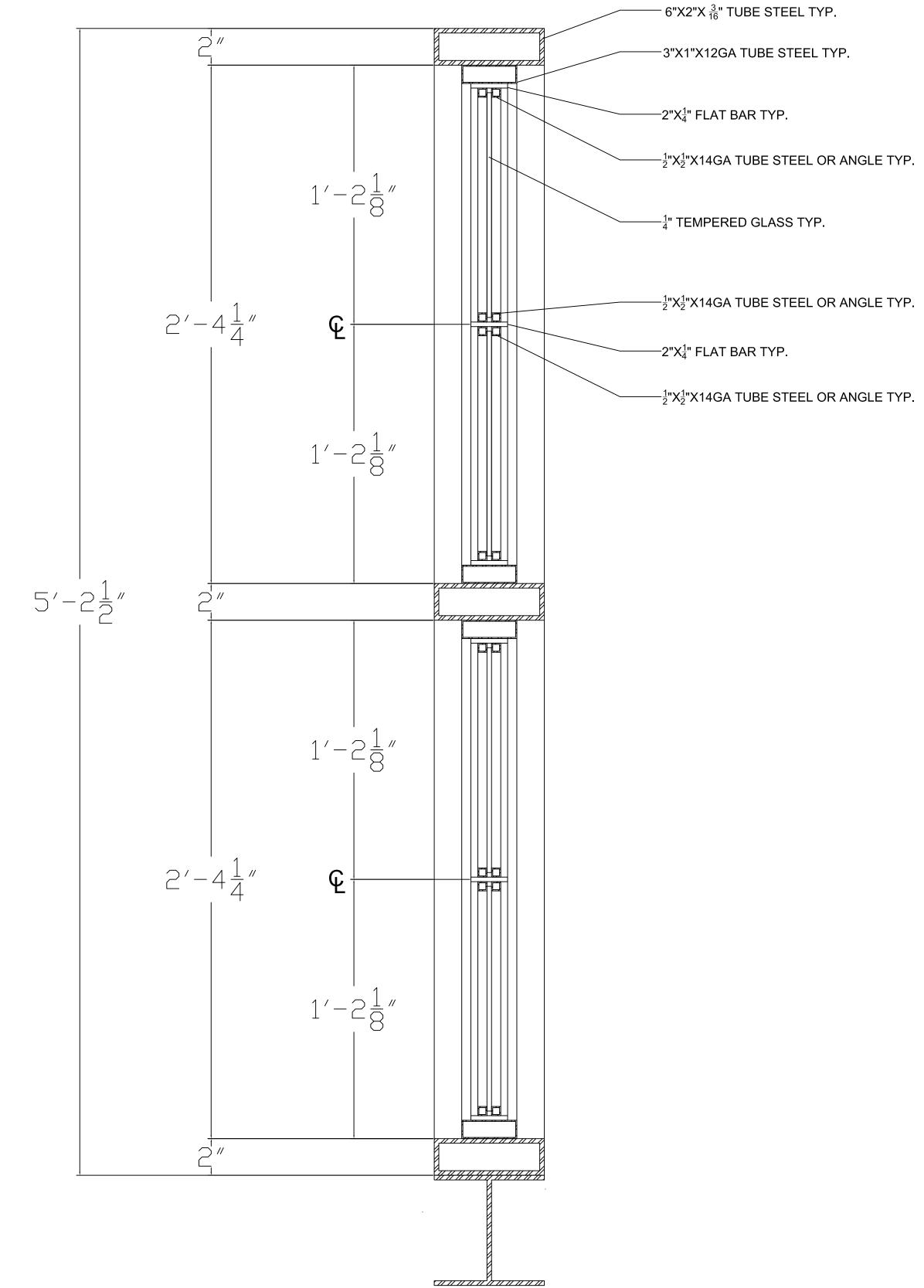
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ARCHITECTURAL PLAN ONLY; STRUCTURE AND MEP NEED TO BE ENGINEERED PRIOR TO CONSTRUCTION



WINDOW SCHEDULE





Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

MEP:

Landscape Architect:

n/a

Civil:

n/a

BUI

BURNS

AREA REAL ESTATE, LLC

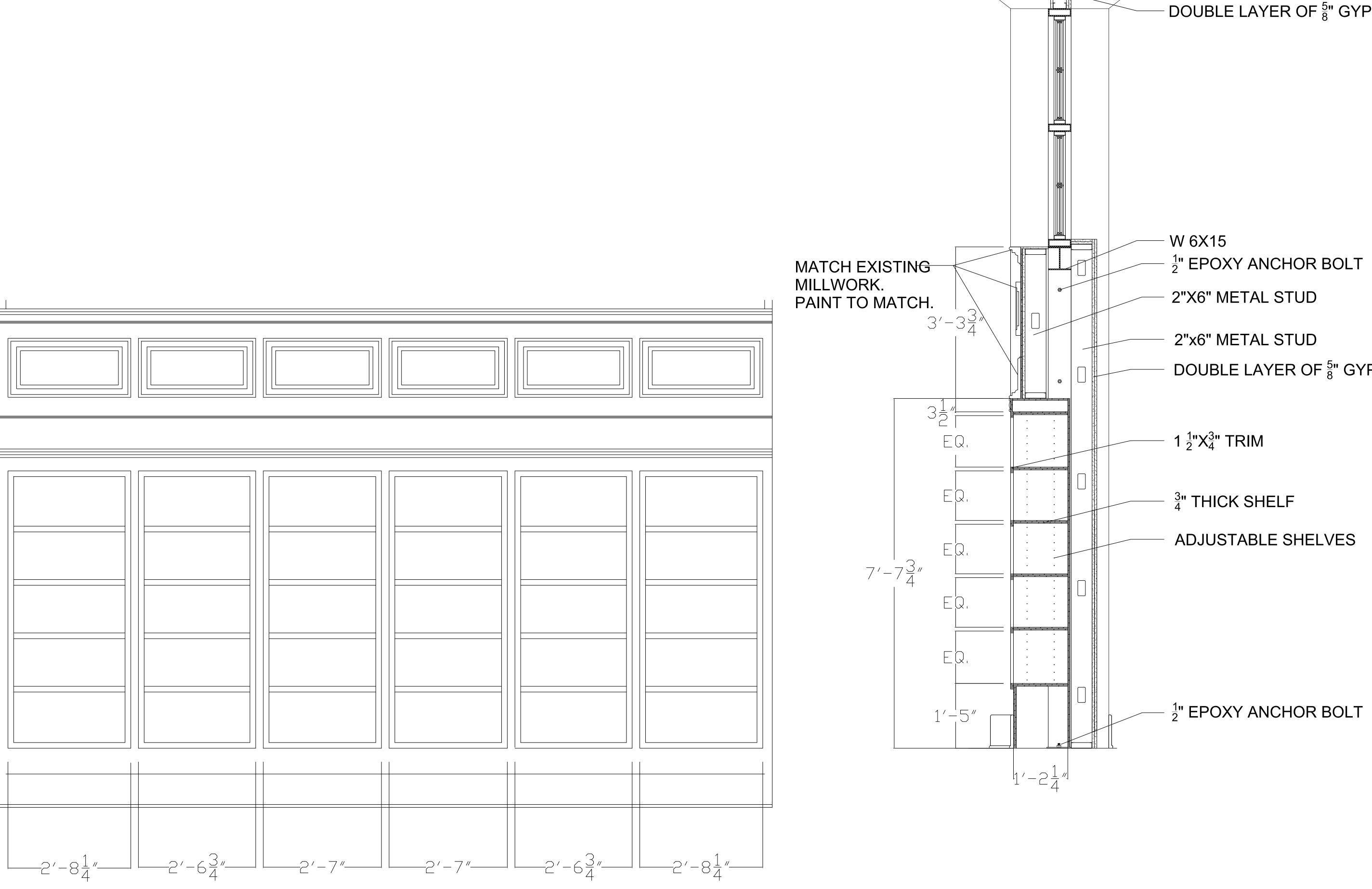


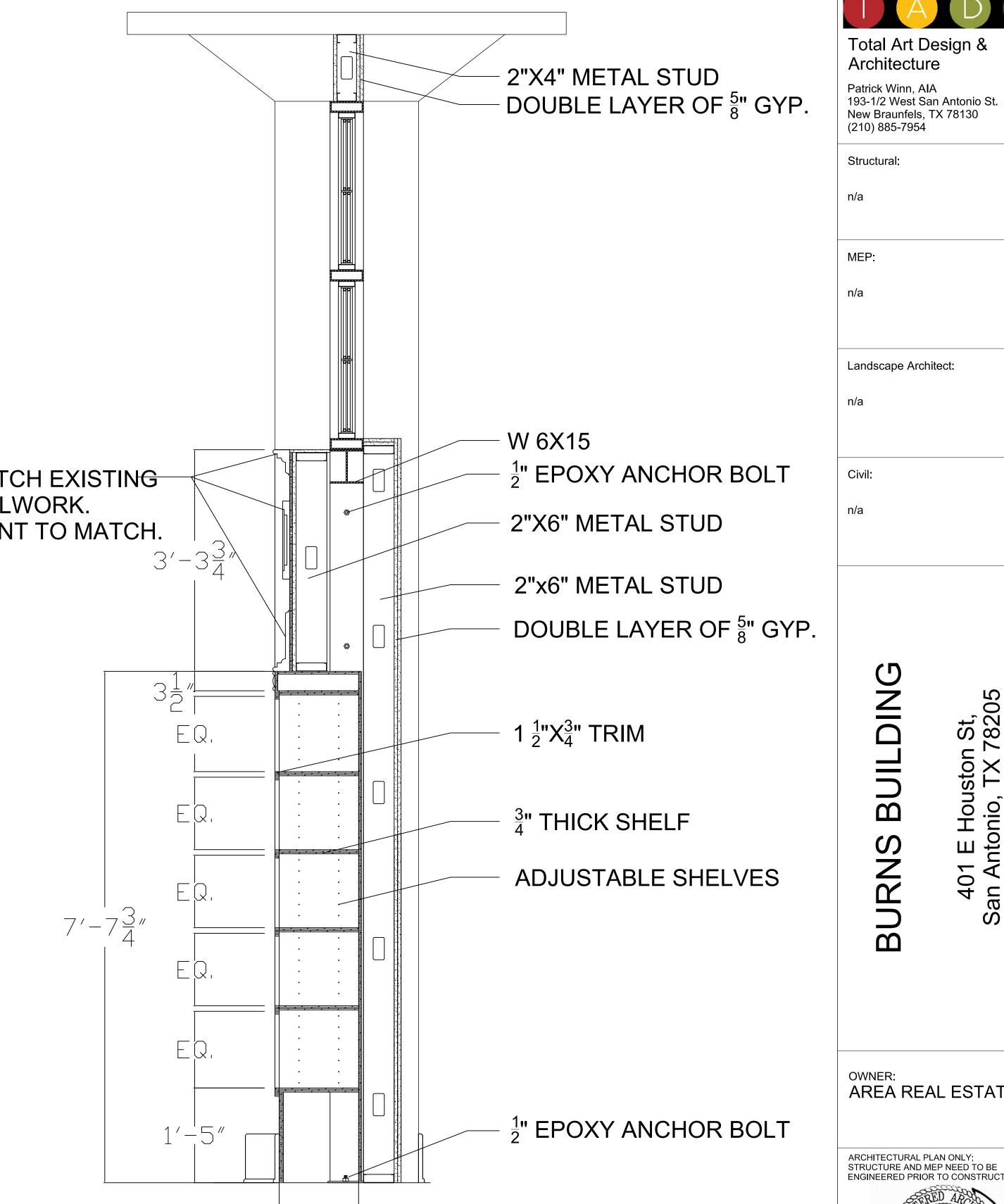
LOBBY STEEL WINDOW DETAILS A800

1712 08/31/2017



Project Number: Date



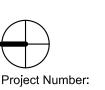


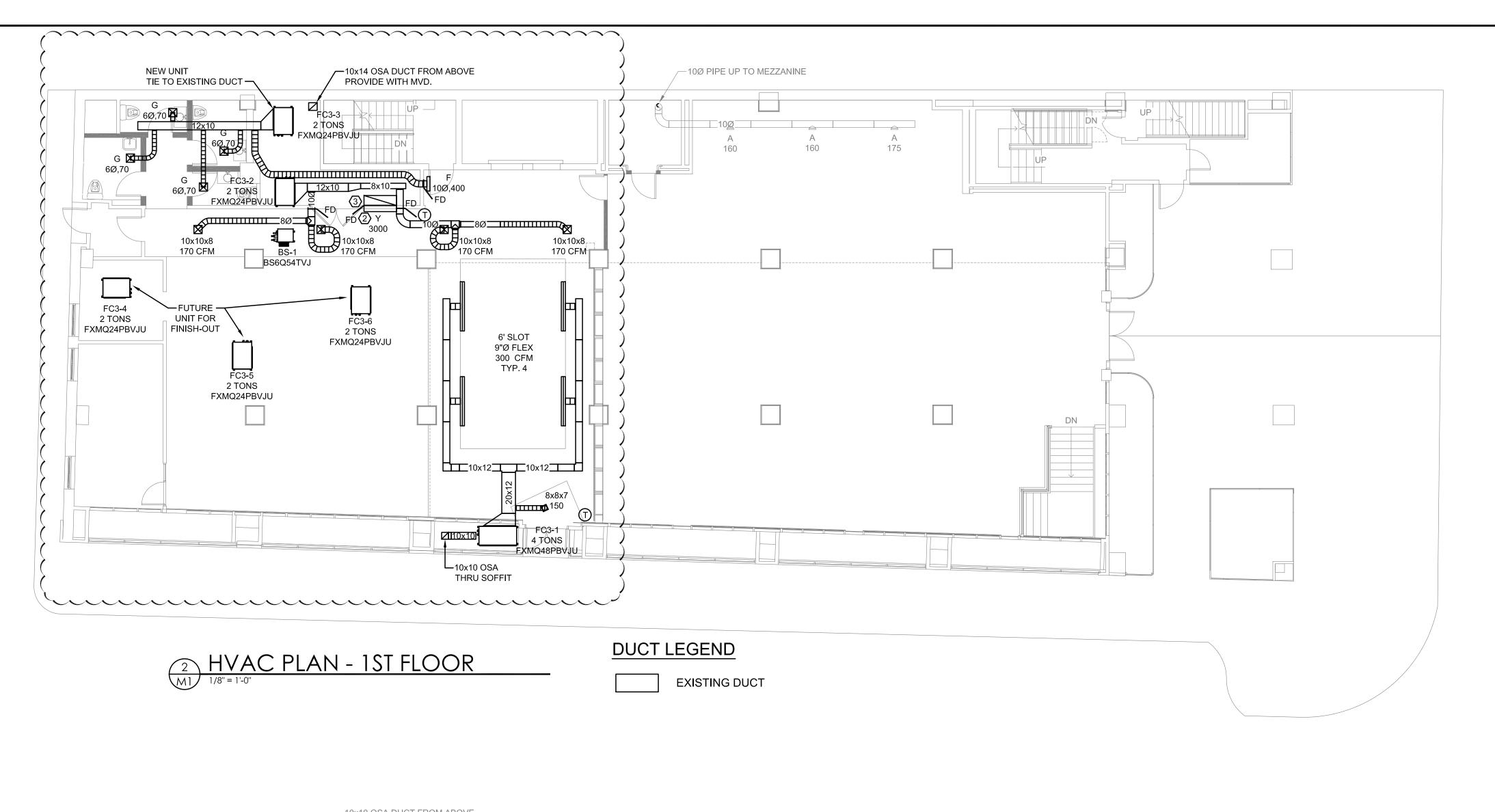
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LOBBY MILLWORK **DETAILS**

A801





EXISTING KEYED NOTES

① OFFSET DUCT UNDER AND UP AROUND BEAMS

② MOUNT RETURN AIR GRILLE 8" A.F.F.

3 TURN 48x12 LINED DUCT UP FOR SOUND ATTENUATION





REVISIONS: No DATE

> BURNS BUILDING 401 E. HOUSTON STREET SAN ANTONIO, TEXAS 78205

DATE:	SCALE:
08-03-2017	1/8" = 1'-0"
DRAWN BY:	CHECKED BY:
G.S.	T.M.

HVAC FLOOR PLAN

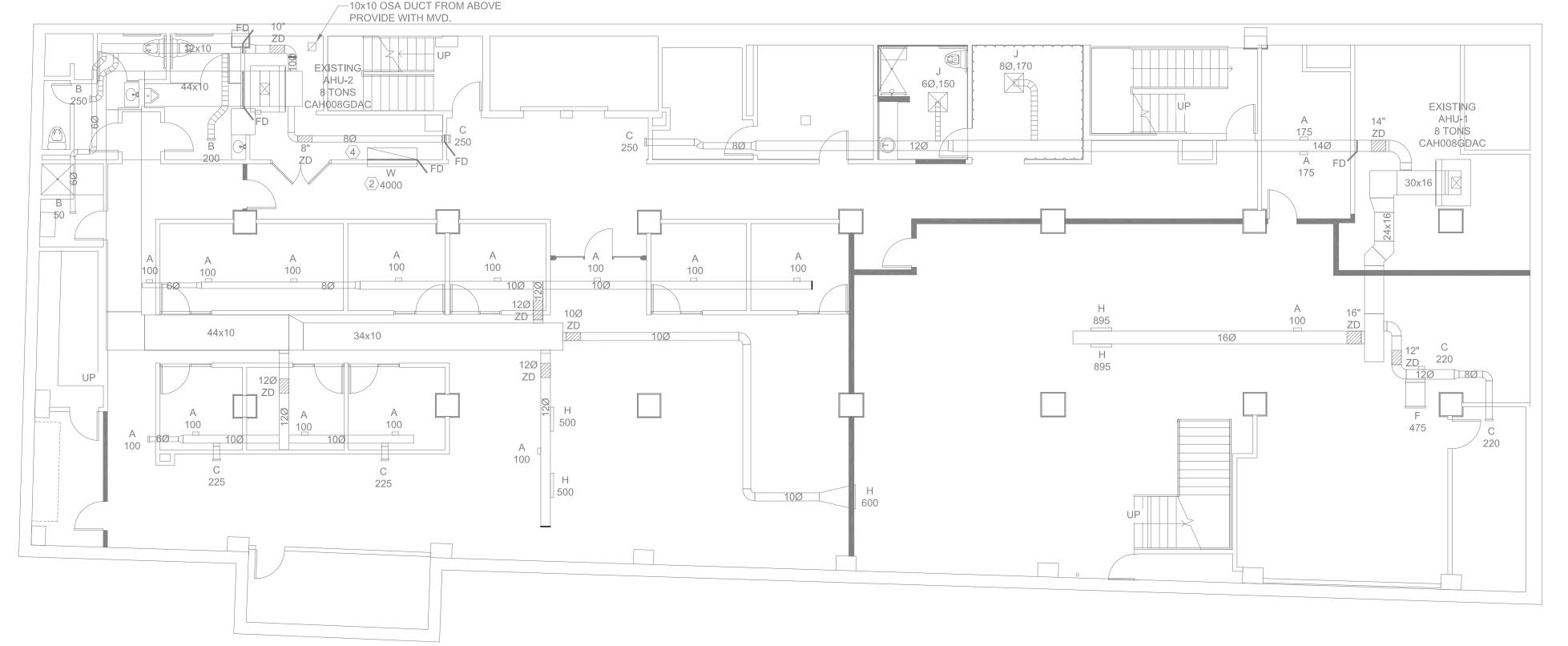
1 OF 5

EXISTING KEYED NOTES

1) OFFSET DUCT UNDER AND UP AROUND BEAMS
2) MOUNT RETURN AIR GRILLE AS HIGH AS POSSIBLE

3 TURN 36x16 LINED DUCT DOWN FOR SOUND ATTENUATION

TURN 60x12 LINED DUCT DOWN FOR SOUND ATTENUATION

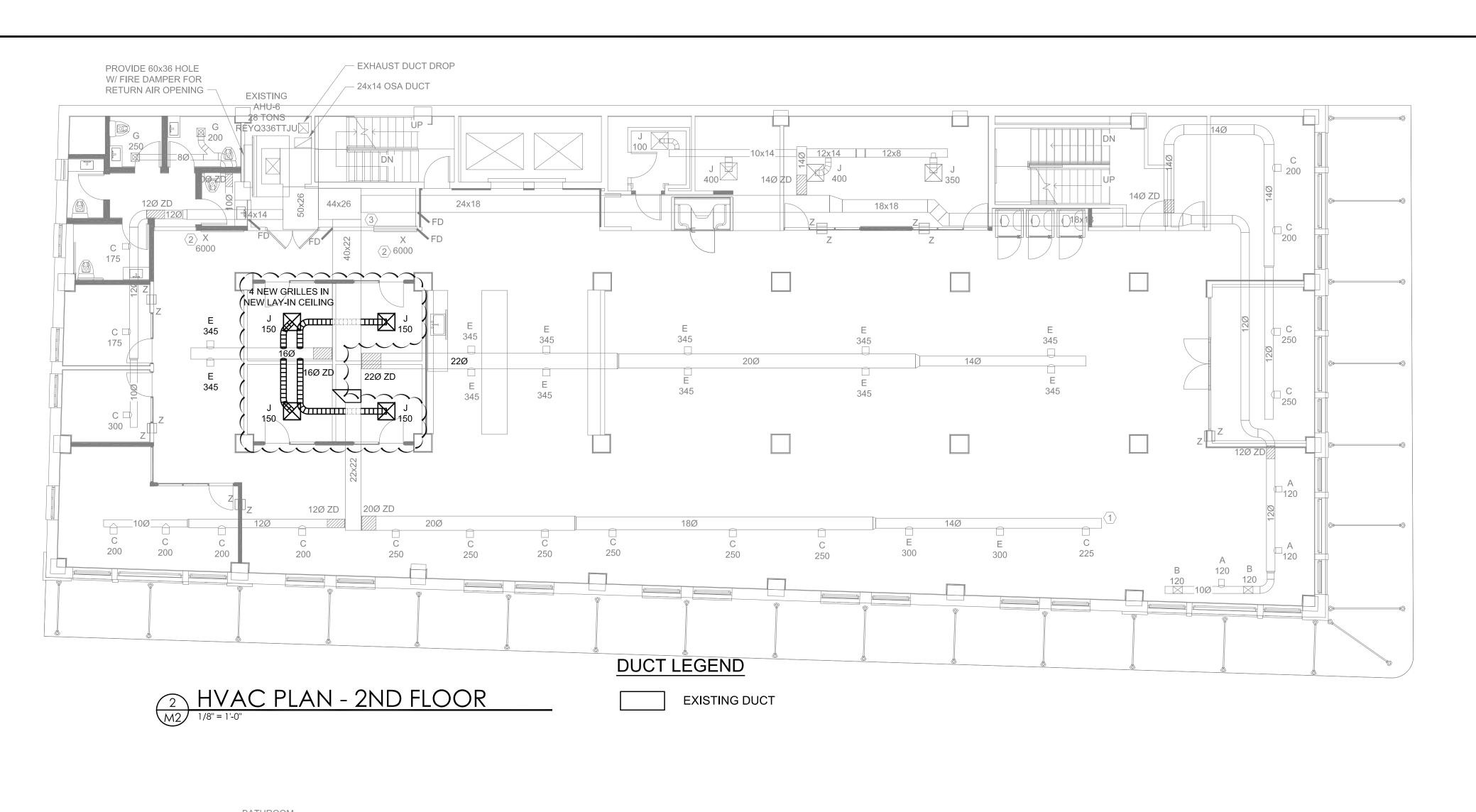


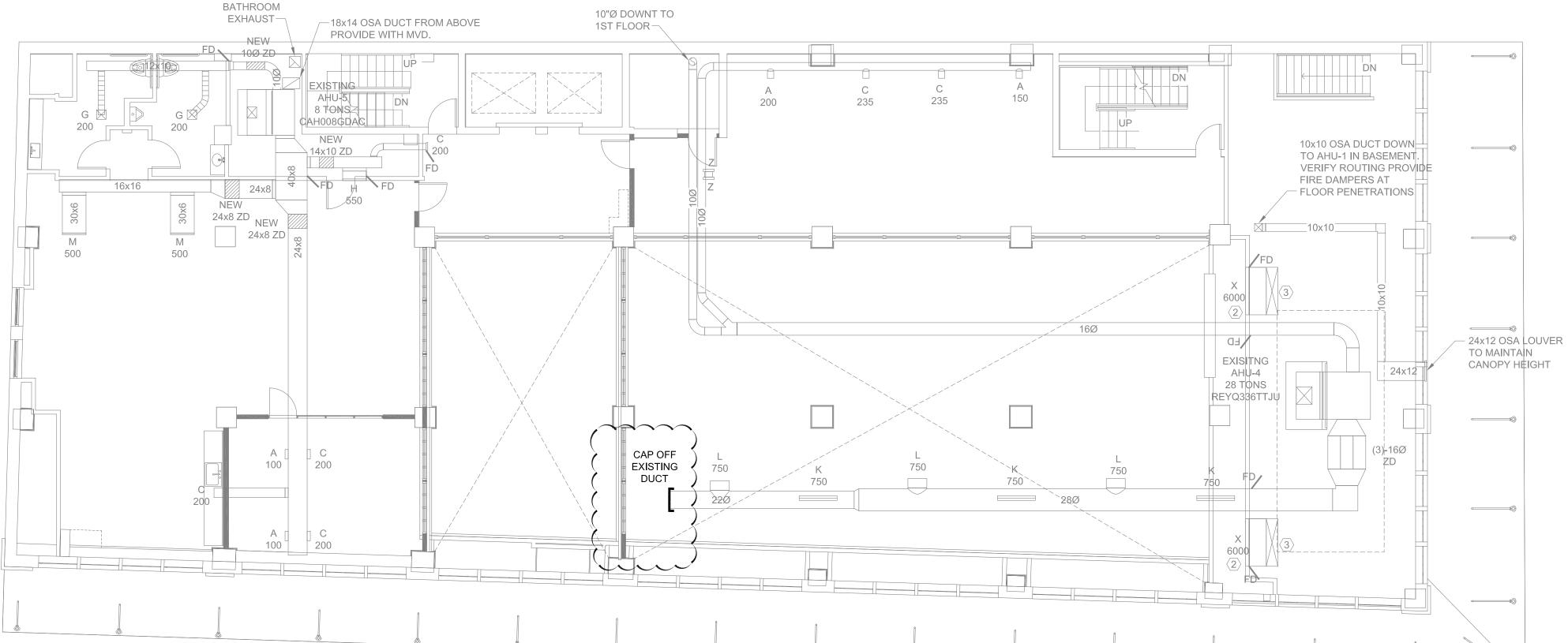
HVAC PLAN - BASEMENT

DUCT LEGEND

EXISTING DUCT

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DUCT LEGEND

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HVAC PLAN - MEZZANINE EXISTING DUCT

EXISTING KEYED NOTES

- (1) MOUNT TRANSFER GRILLE IN SAME STUD SPACE WITH ONE GRILLED HIGH AND ONE LOW TYPICA
- (2) MOUNT RETURN AIR GRILLES AS HIGH AS POSSIBLE
- 3 TURN 60x14 LINED DUCT UP FOR SOUND ATTENUATION

EXISTING KEYED NOTES

- (1) RUN DUCT AT ANGLE OF EXTERIOR WALL
- (2) MOUNT RETURN AIR GRILLE AS HIGH AS POSSIBLE
- (3) TURN 60x14 LINED DUCT DOWN FOR SOUND ATTENUATION
- TYPICAL 12x12 RA TYPE TRANSFER GRILLE MOUNT GRILLES CENTERED ABOVE DOORS
- (5) MOUNT GRILLED 8" A.F.F.
- (6) TURN 48x10 LINED DUCT UP FOR SOUND ATTENUATION







REVISIONS: No DATE

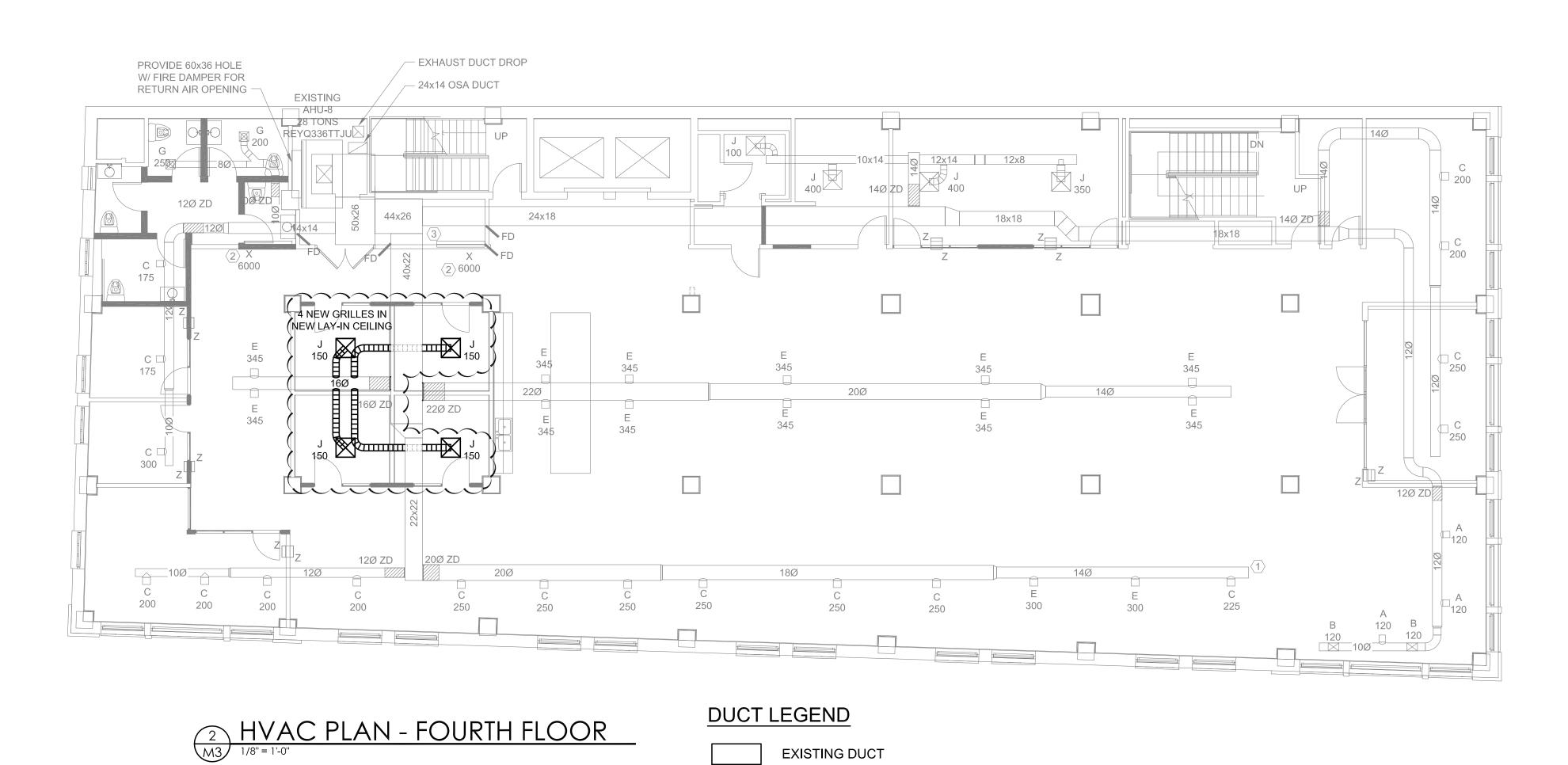
BURNS BUILDING 401 E. HOUSTON STREET SAN ANTONIO TEXAS 78205

DATE:	SCALE:
08-03-2017	1/8" = 1'-0"
DRAWN BY:	CHECKED BY:
G.S.	T.M.

HVAC FLOOR PLAN

M2

2 OF 5



EXISTING KEYED NOTES

- (1) MOUNT TRANSFER GRILLE IN SAME STUD SPACE WITH ONE GRILLED HIGH AND ONE LOW TYPICA
- (2) MOUNT RETURN AIR GRILLES AS HIGH AS POSSIBLE
- 3 TURN 60x14 LINED DUCT UP FOR SOUND ATTENUATION

EXISTING KEYED NOTES

MOUNT TRANSFER GRILLE IN SAME STUD SPACE WITH ONE GRILLED HIGH AND ONE LOW TYPICA

(2) MOUNT RETURN AIR GRILLES AS HIGH AS POSSIBLE

3 TURN 60x14 LINED DUCT UP FOR SOUND ATTENUATION



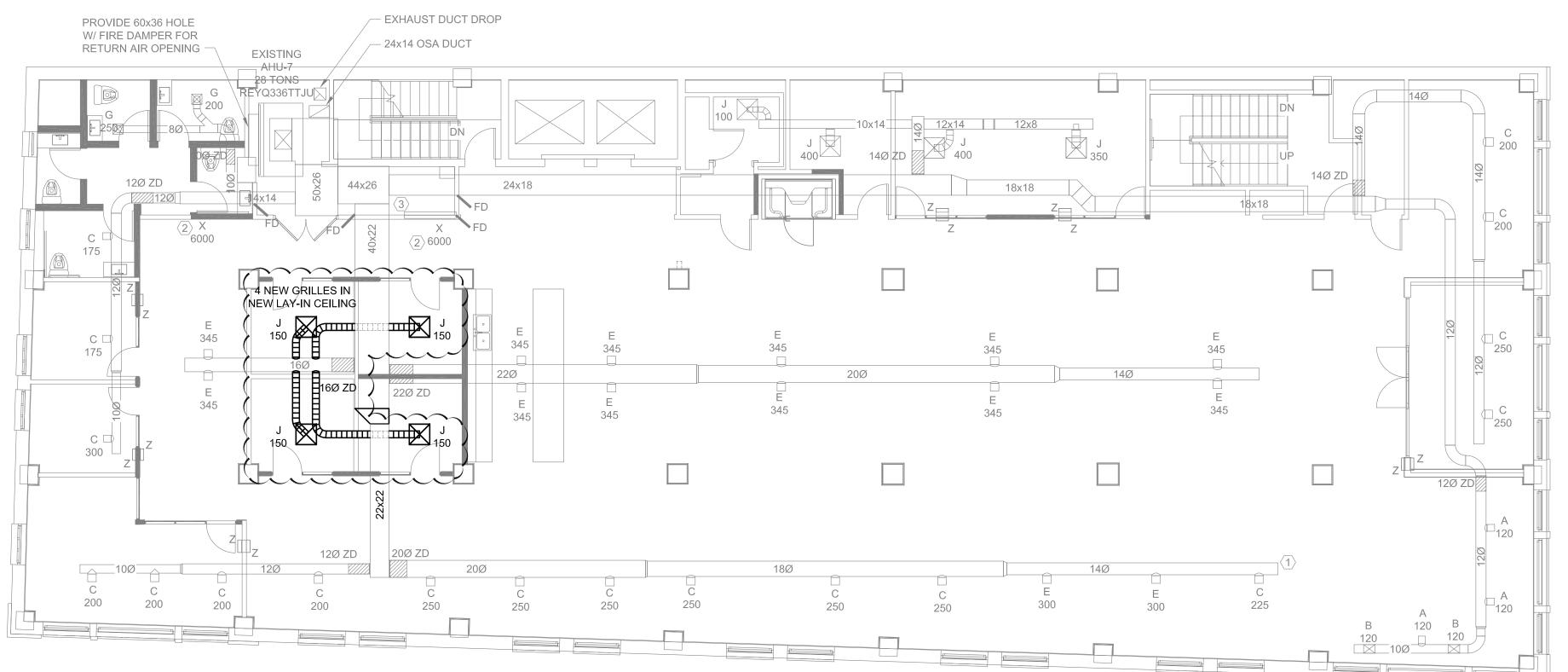


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No	DATE						

DATE:	SCALE:
08-03-2017	1/8" = 1'-0"
DRAWN BY:	CHECKED BY:
G.S.	T.M.

HVAC FLOOR PLAN 3 OF 5

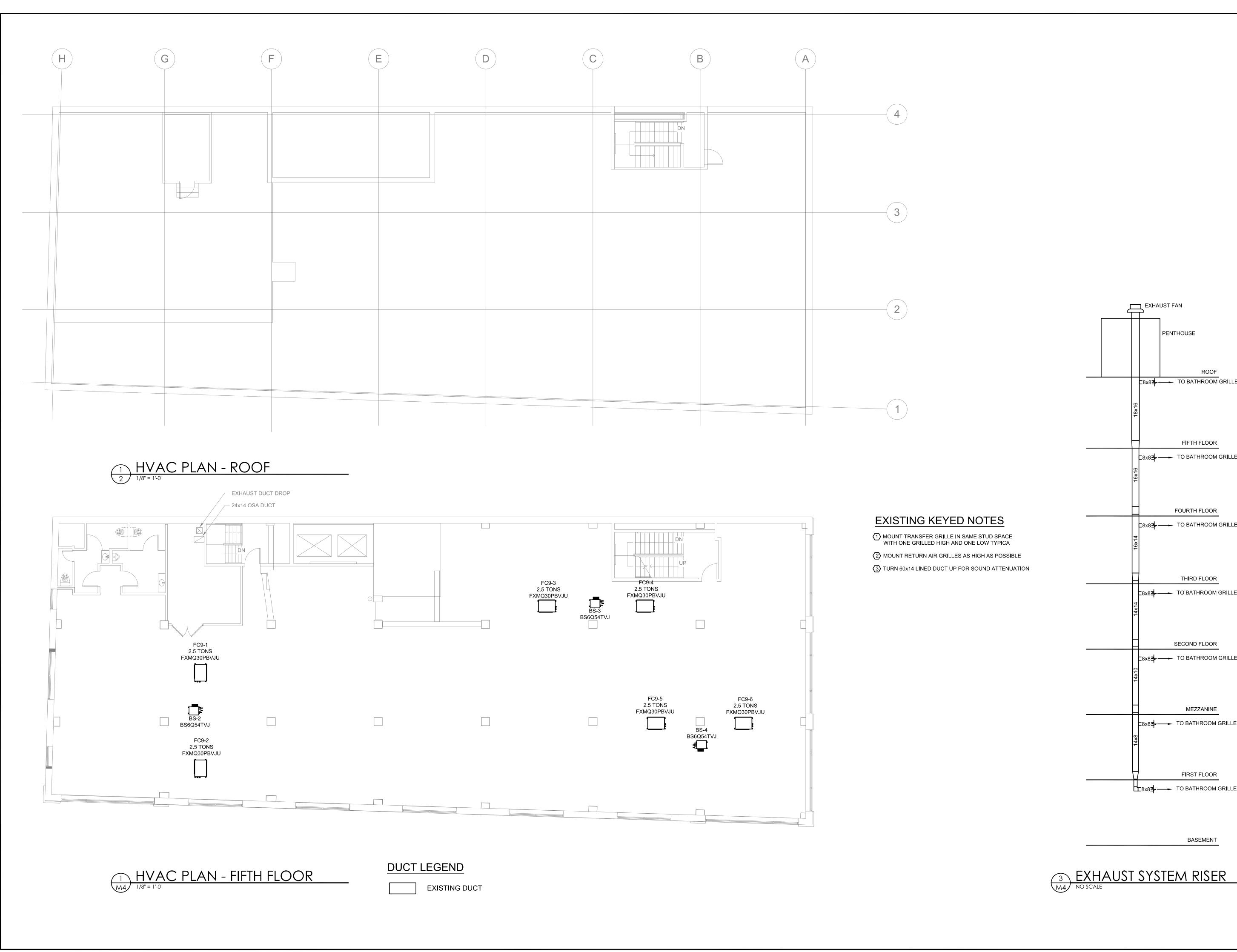
EXISTING DUCT

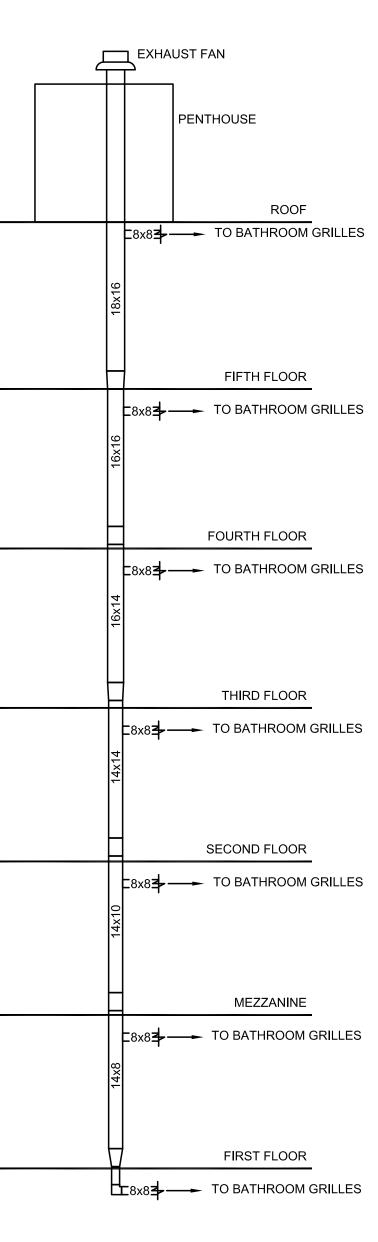


DUCT LEGEND

EXISTING DUCT

1 HVAC PLAN - THIRD FLOOR 1/8" = 1'-0"





BASEMENT

BU 401 SAN

FIRM REGISTRATION # F-003100 APPROVED ON: 08/03/2017 EXPIRES 6/18

REVISIONS:

DATE:	SCALE:
08-03-2017	AS NOTED
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G.S.	T.M.

HVAC FLOOR PLAN 4 OF 5

	DAIKIN HEAT RECOVERY EQUIPMENT SCHEDULE																						
SYSTEM			INDOOR AND OUTDOOR UNIT INFORMATION BRANCH SELECTOR INFORMATION																				
NO.		AREA SERVED	MARK NO.	TYPE OF UNIT	COOL ENT.	TOTAL CAP	SENS CAP	HEAT ENT COND	НЕАТ САР	CFM	DUC EER		POWER	MCA	МОСР	WEIGHT LBS	MARK NO.	MODEL NUMBER	POWER	MCA	МОСР	WEIGHT	NOTES
HR-03	OUTDOOR UNITS		HR-03	REYQ144TTJU	102.9	120082	-	28.0 / 23.6	125504		11.9	20.7	480 / 3PH	55	70A	780							
			FC3-01	FXMQ48PBVJU	75.0 / 63.0	41284	30457	70	53978	1377			230 / 1PH	3.4	15A	101							
			FC3-02	FXMQ24PBVJU	75.0 / 63.0	20642	10666	70	26989	688			230 / 1PH	1.8	15A	79	_						
	INDOOR		FC3-03	FXMQ24PBVJU	75.0 / 63.0	20642	16000	70	26989	688			230 / 1PH	1.8	15A	79	- BS-1	BS6Q54TVJ 230 / 1	230 / 10H	0.6		68	
	UNITS		FC3-04	FXMQ24PBVJU	75.0 / 63.0	20642	16000	70	26989	688			230 / 1PH	1.8	15A	79			230/ 1711	0.0			
			FC3-05	FXMQ24PBVJU	75.0 / 63.0	20642	16000	. 70	26989	688			230 / 1PH	1.8	15A	79							
			FC3-06	FXMQ24PBVJU	75.0 / 63.0	20642	16000	. 70	26989	688			230 / 1PH	1.8	15A	79							
	OUTDOOR		HR-09	REYQ336TTJU	102.9	280184	-	28.0 / 23.6	268420		10	17	480 / 3PH										
HR-09	UNITS			*REYQ168TTJU		,	,							61.9	70A	780							
	00			*REYQ168TTJU										61.9	70A	780							
			FC9-01	fxmq30pbvju	75.0 / 63.0	·	20121	. 70	33984	1130			230 / 1PH	2.8	15A	101	BS-2	BS6Q54TVJ	230 / 1PH	0.6	_	68	
			FC9-02	FXMQ30PBVJU	75.0 / 63.0	25794	20121	. 70	33984	1130			230 / 1PH	2.8	15A	101		50000	230 / 1111	0.0			
	INDOOR		FC9-03	FXMQ30PBVJU	75.0 / 63.0	25794	20121	70	33984	1130			230 / 1PH	2.8	15A	101	- BS-3	BS6Q54TVJ	230 / 1PH	0.6	_	68	
	UNITS		FC9-04	FXMQ30PBVJU	75.0 / 63.0	25794	20121	70	33984	1130			230 / 1PH	2.8	15A	101		5500057175	230 / 1111	0.0		00	
	511115		FC9-05	FXMQ30PBVJU	75.0 / 63.0	25794	20121	70	33984	1130			230 / 1PH	2.8	15A	101	- BS-4	BS6Q54TVJ	230 / 1PH	0.6	_	68	
			FC9-06	FXMQ30PBVJU	75.0 / 63.0	25794	20121	70	33984	1130			230 / 1PH	2.8	15A	101		550457173	2307 2111	0.0			

Outdoor Unit Notes:

1. Provide Field Installed Hail Guard Accessory

2. Units shall meet or exceed Min Scheduled IEER Values per AHRI 1230

3. Unit Shall provide continous heating through the Defrost cycle

Indoor Fan Coîl Notes:

1. Provide Factory or Field mounted Condensate Pump on all Indoor units

2. Provide Field mounted 2" Filter Rack on all ducted fan coils

3. Provide BRC1E72 Navigation Stat for all FCU with Auto Change over and Dual Heat and Cool Setpoints

4. OSA Fan Coil to maintain 55 degree discharge in cooling and 80 degree discharge in heating

	EXISITNG AIR HANDLER UNIT SCHEDULE													
TAG	CFM	O/A	TOT CAP	SENS CAP	H/P	RPM	НЕАТ САР	GPM	ТҮРЕ НЕАТ	EAT WAT	LVG WAT	MCA	МОСР	NOTES
AHU-4,6,7,8	12,000	1,200	341,250	277,100	10.0	1,009	705,500	70.6	HOT WATER	180	160	23.0 / 31.3	50.0	1, 2, 3
AHU-5	3,000	300	90,480	69,600	2.4	823	170,980	17.1	HOT WATER	180	160	13.8	20.0	1, 2, 3
AHU-1,2	4,000	400	112,760	90,100	2.4	934	288,250	22.8	HOT WATER	180	160	7.3	15.0	1, 2, 3

1. PROVIDE WITH VIBRATION ISOLATORS

2. FIELD INSTALL HOT WATER COILS

3. SUPPLY STARTERS WITH 24 VOLTS

	EXISTING CONDENSING UNIT SCHEDULE										
TAG	MODEL	EER	COOLING CAPACITY	SENSIBLE CAPACITY	EAT	VOLTAGE	MCA	МОСР	NOTES		
CU-4,6,7,8	36AKS034-6	8.5	341250.0	277100.0	100	480 / 3PH	145.5	250.0	1, 2, 3		
CU-5	38AKS008-6	9.9	90480.0	69600.0	100	480 / 3PH	42.5	50.0	1, 2, 3		
CU-1,2	38AKS012-6	9.0	112760.0	90100.0	100	480 / 3PH	52.7	70.0	1, 2, 3		

- 1. ALL PIPING TO BE SIZED AS ER MANUFACTURERS SPECIFICATIONS
- 2. PROVIDE WITH SIGHT GLASSES AND FILTER DRYERS
- 3. MOUNT UNITS ON EXISTING STEEL STRUCTURE ON ROOF

REPLASE EXISTING EXHAUST FANS											
TAG	VOLTS	НР	EXT S.P.	CFM	NOTES						
EF-1	208 / 3PH	1/4	0.5	2800	1,2,3						
EF-2	115 / 1PH	1/10	0.25	300	1,2,3,5						
EF-3	115 / 1PH	-	0.25	150	1,3,4						
	-										

- 1. ROOF MOUNTED FAN 2. PROVIDE WITH FACTORY CURB AND CONNECT WITH LIGHTS
- 3. ELECTRICAL CONTRACTOR TO CONNECT WITH LIGHTS OR PROVIDE SWITCH
- 4. 1.3 AMPS EQUAL TO BROAN MODEL 362
- 5. MOUNT ON ROOF ABOVE ELEVATOR SHAFT

DIFFUSER SCHEDULE									
TAG	CFM	TYPE	SIZE	NOTES					
Α	120-200	SUPPLY	10x6	1,2,3,4					
В	120-200	SUPPLY	10x6	2,3,4,6					
С	200-250	SUPPLY	12x6	1,2,3,4					
E	254-400	SUPPLY	16x6	1,2,3,4					
F	400	SUPPLY	20x8	1,2,3,4					
G	200-250	SUPPLY	12x12	2,3,4,6					
Н	900	SUPPLY	30x8	1,2,3,4					
J	-	LAY-IN	24x24	3,4,5,7					
К	750	SUPPLY	48x4	1,2,3,4					
L	750	SUPPLY	36x8	1,2,3,4					
М	550	SUPPLY	30x6	1,2,3,4					
N	200	EXHAUST	10x10	2,3,4,6,8					
V	4000	RETURN	36x36	1,3,4					
W	4000	RETURN	60x24	1,3,4					
Х	6000	RETURN	60x36	1,3,4					
Y	3000	RETURN	48x20	1,3,4					
Z	-	TRANSFER	12×12	1,3,4					

NOTES:

1 WALL MOUNT 2 PROVIDE WITH O.B.D. 5 LAY-IN, NECK SIZE TO MATCH DUCT SIZE 6 CEILING MOUNT

7 CFM AS SHWON 3 STEEL CONSTRUCTION 4 PAINT BY OTHERS 8 1/2 x 1/2 EGG CRATE

EXISTING HVAC SPECIFICATIONS

- 1 ALL WORK DONE UNDER THIS CONTACT SHALL COMPLY WITH ALL LOCAL AND STATE RULES, CODES AND REGULATIONS HAVING JURISDICTION.
- 2 THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED BY AUTHORITIES.
- 3 MECHANICAL CONTRACTOR SHALL SUBMIT 4 COPIES OF DESCRIPTIVE CATALOGS ON FURNISHED EQUIPMENT, FANS, GRILLES AND REGISTERS BEING INSTALLED.
- 4 UPON COMPLETION OF INSTALLATION AND START UP, MECHANICAL CONTRACTOR SHALL PERFORM AN AIR BALANCE OF THE SYSTEM AND SUBMIT TO THE GENERAL CONTRACTOR 2 COPIES.
- 5 THE MECHANICAL CONTRACTOR SHALL WARRANT FOR A PERIOD OF 1 YEAR THE COMPLETED WORK AND FOLLOW MANUFACTURERS WARRANTY CLAUSES.
- 6 FURNISH AND INSTALL ALL NECESSARY REFRIGERANT AND HOT WATER PIPING AS REQUIRED TO PROVIDE A COMPLETE WORKING SYSTEM.
- 7 ALL PIPING SHALL BE INSTALLED IN THE MOST DIRECT AND NEATEST MANNER AS POSSIBLE.
- 8 CONDENSATE DRAINS ARE TO BE OF INSULATED COPPER PIPE AS SIZED BY MANUFACTURERS SPECIFICATIONS AND RAN TO THE NEAREST APPROVED SITE.
- 9 ALL DIFFUSERS, GRILLES AND AIR DEVICES ARE TO BE PROVIDED AS SCHEDULES AND ARE TO BE OF ALUMINUM CONSTRUCTION. PAINTING IS BY OTHERS.
- 10 ALL DUCTS SHALL BE ERECTED IN THE GENERAL LOCATIONS SHOWN ON THE DRAWINGS AND SHALL CONFORM TO STRUCTURAL OBSTRUCTIONS AS BEST AS POSSIBLE.
- 11 ALL DUCTS SHALL BE CONSTRUCTED OF GALVANIZED SHEETS OF METAL AND BE IN ACCORDANCE OF WITH THE LATEST EDITION OF SMACNA STANDARDS.
- 12 DUCTS IN EXPOSED AREAS MAY BE OF SPIRAL TYPE PIPE WITH AIR DEVICES ATTACHED TO WALLS OSA DUCT.
- 13 ALL DUCTS SHALL BE SUSPENDED WITH A MINIMUM OF 1" WIDE BANDS OF GALVANIZED STEEL.
- 14 PROVIDE WITH DUCT TAKE-OFFS AND/OR AIR DEVICES A MECHANICAL MEANS OF BALANCING SUCH AS LOCKING BUTTERFLY QUADRANTS OR OPPOSED BLADE DAMPERS.
- 15 IF USED, PROVIDE ROUND FLEXIBLE DUCTS WITH A UL. CLASS I RATING. LENGTHS NOT TO EXCEED 10' UNLESS EXTENDED WITH INSULATED SHEETMETAL ROUND PIPE.
- 16 ALL DUCT DIMENSIONS ARE INSIDE CLEAR DIMENSIONS.
- 17 PROVIDE TURNING VANES, DAMPERS, EXTRACTORS AND OTHER APPERTANANCES AS REQUIRED TO ENSURE A FULLY OPERATIONAL SYSTEM.
- 18 THE LOCATIONS OF ALL CONTRL DEVICES ARE TO BE FIELD VERIFIED BY THE MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
- 19 MECHANICAL CONTRACTOR TO PROVIDE TO OTHERS FOR INSTALLATION, SMOKE DETECTORS FOR UNITS PRODUCING MORE THAN 2000 CFM OF AIR.
- 20 GENERAL CONTRACTOR TO PROVIDE NECESSARY FLOORING, STRUCTURAL SUPPORT AND STEEL FOR MECHANICAL EQUIPMENT PROVIDE UNDER THIS DEVISION OF WORK.







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DATE:	SCALE:
08-03-2017	NO SCALE
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SCHEDULES

MECHANICAL SYMBOLS & ABBREVIATIONS

RECTANGULAR DUCT OFFSETTING UP 45 DEG.

ELECTRICAL SYMBOLS & ABBREVIATIONS

MECHANICA	(SOME SYMBOLS MAY NOT BE USED ON THIS		<u> </u>			OT BE USED ON THIS PROJECT)	HE VIA HONS	
SYMBOL DESCRIPTION	SYMBOL DESCRIPTION	ABBREV. DESCRIPTIO	N ABBREV. D	DESCRIPTION	SYMBOL DESCRIPTION	SYMBOL DESCRIPTION	ABE	REVIATION DESCRIPTION
PIPING SYMBOLS	PLUMBING SYMBOLS	ABV ABOVE AC ABOVE CEILING		SUPPLY AIR SMOKE DAMPER	GENERAL	SWITCHES	SPECIAL SYSTEMS	
VENTURI	EXISTING SANITARY SEWER	A/C ABOVE CEILING A/C AIR CONDITIONED AD ACCESS DOOR	SEC SF	SECOND SUPPLY FAN	моток	\$ SINGLE POLE SWITCH, SUBSCRIPT INDICATES	IC INTERCOM CALL BUTTON	KVAR KILOVOLT AMPERE REACTIVE
————— AUTOMATIC AIR VENT ————─────────────────────────────────	NEW SOIL, WASTE PIPE OR SANITARY SEWER EXISTING COLD WATER PIPE	AMCA AIR MOVING AND CONDITIONING ASSOCIATION, INC.		SHEET METAL AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION	VFD, CONTROLLER TO BE FURNISHED UNDER DIVISION 25	a SWITCH LEG CONFIGURATION	VC VOLUME CONTROL	KW KILOWATT KWH KILOWATT HOUR
BALL JOINT	EXISTING HOT WATER PIPE	& AND AP ACCESS PANEL	SPEC	SPECIFICATION	MOTOR STARTER, FURNISHED UNDER DIVISION 25, INSTALLED UNDER DIVISION 26	\$KEY OPERATED SWITCH.		MH MANHOLE
BASKET STRAINER ASSEMBLY	LS EXISTING LAWN SPRINKLER PIPE	APPROX APPROXIMATE ARCH ARCHITECTURAL	STD STL	STANDARD STEEL	COMBINATION MOTOR STARTER, FURNISHED UNDER DIVISION 25, INSTALLED UNDER DIVISION 26	\$ ^D DIMMER SWITCH - RATED FOR LOAD	ICM INTERCOM MASTER.	MAX MAXIMUM
B STEAM TRAP B-INVERTED BUCKET FT-FLOAT & THERMOSTATIC CONCENTRIC REDUCER	NEW HOT WATER (120°)	AT AAV AUTOMATIC AIR VENT ASSEMBLY	SW TEMP	SWITCH TEMPERATURE	(J) JUNCTION BOX (CEILING)	C	M MICROPHONE JACK	MCC MOTOR CONTROL CENTER
ECCENTRIC REDUCER		AUX AUXILIARY BF BELOW FLOOR	TXV	THERMOSTATIC EXPANSION VALVE	J JUNCTION BOX (WALL MOUNTED)	Sos motion (occupancy) sensor/ switch combination wall mount	S SPEAKER, CEILING MOUNTED	MDP MAIN DISTRIBUTION PANEL
EXPANSION JOINT	——TW —— NEW TEMPERED WATER	BLDG BUILDING	UF	TYPICAL UNDERFLOOR	PC PHOTOCELL	Sp PILOT LIGHTED SWITCH	96" SPEAKER, WALL MOUNTED, WP = WEATHERPROOF AND MOUNTING HEIGHT	MECH MECHANICAL MIN MINIMUM
FLEXIBLE CONNECTION (PIPE) PS FLOW DIRECTION	F FIRE LINE FS AUTOMATIC FIRE SPRINKLER PIPING	CA COMPRESSED AIR CI CAST IRON	UL V	UNDERWRITERS LABORATORIES VACUUM	C CONTACTOR	MOTION (OCCUPANCY) SENSOR - CEILING MOUNT	96" HORN. WP = WEATHER PROOF. SUBSRIPT	MLO MAIN LUGS ONLY
PRESSURE SWITCH GAUGE COCK CONNECTION	FIRE DEPARTMENT CONNECTION (SIAMESE)	CLG CEILING CO CLEANOUT	VB	VALVE BREAKER VELOCITY	TRANSFORMER AS INDICATED	MOTION (OCCUPANCY) SENSOR - WALL MOUNT	WP INDICATES MOUNTING HEIGHT TC TIME CLOCK	MTG MOUNTING
GAUGE COCK & PRESSURE GAUGE	FIRE SPRINKLER RISER - WET SYSTEM FIRE SPRINKLER RISER - DRY SYSTEM	COND CONDENSATE CONN CONNECTION	VENT	VELOCITI VENTILATE VARIABLE FREQUENCY DRIVE	EQUIPMENT CONNECTION	(PC) PHOTOCELL FLUSH CEILING MOUNTED.		NA NOT APPLICABLE
PIPE ANCHOR REFRIGERANT SITE GLASS	FIRE SPRINKLER RISER - PREACTION	CONT CONTINUATION CU CONDENSING UNIT	VOL	VOLUME	PB PUSHBUTTON	THO TOSELLE TESSIT GETEING MISSISTEDS	CEILING MOUNTED CLOCK	NC NORMALLY CLOSED
STRAINER (Y TYPE) W/ BLOWDOWN & CAP	DOWNSPOUT NOZZLE GAS	CU COPPER C CENTER LINE	VTR W/	VENT THRU ROOF WITH	\$ ^M MOTOR RATED SWITCH (T=THERMAL OVERLOAD SIZED FOR MOTOR)		CEILING MOUNTED CLOCK - DOUBLE FACE	NF NON FUSED
THE THE PROPERTY OF	——G—— GAS ——AW—— ACID WASTE	D DRAIN		WITHOUT WET BULB	UDISCONNECT SWITCH		WALL MOUNTED CLOCK - SINGLE FACE	NO NORMALLY OPEN
THERMOMETER	——AV—— ACID VENT ——GW—— GREASE WASTE	DB DRY BULB DIA DIAMETER		YARD CLEANOUT ZONE VALVE BOX		FIRE ALARM	· C WALL MOUNTED CLOCK - DOUBLE FACE	OH OVERHEAD P POLE
DIAL THERMOMETER	RD	DN DOWN DWG DRAWING	2.0	ZONE THEFE BOX		FACP FIRE ALARM CONTROL PANEL	ABBREVIATION DESCRIPTION	PA PUBLIC ADDRESS
TEST WELL VIBRATION ISOLATOR	──ORD── OVERFLOW ROOF DRAIN PIPE TS TAMPER SWITCH	EA EACH EAT ENTERING AIR TEMPERATURE			LUMINAIRES	ANN REMOTE FIRE ALARM ANNUNCIATOR	ADDREVIATION DESCRIPTION	PDP POWER DISTRIBUTION PANEL
EXISTING EQUIPMENT	— , FS FLOW SWITCH	EF EXHAUST FAN ELEC ELECTRICAL			GENERAL NOTE: UPPER CASE SUBSCRIPTS INDICATES FIXTURE TYPE LOWER CASE SUBSCRIPT INDICATES SWITCH LEG CONFIGURATION.	PANEL, FLUSH MOUNT.		PNL PANELBOARD
	PRESSURE SWITCH LIQUID PETROLEUM GAS - PROPANE	ELEV ELEVATION EG EXHAUST GRILLE				VEP FIRE ALARM VOICE EVACUATION PANEL	A AMPERE(S) ABV ABOVE	PWR POWER
NEW PIPING EXISTING PIPING	LIQUID PETROLEUM GAS - PROPANE SHOCK ARRESTER WITH PDI SIZE	ENT ENTERING EQUIP EQUIPMENT			a CEILING MOUNTED FIXTURE.	BT BEAM DETECTOR TRANSMITTER, HIGH IN CEILING WALL DIRECT LINE OF SIGHT.	AC ABOVE COUNTER	S SECURITY
PIPING TO BE REMOVED	——DI—— DIONIZED WATER ——TWR—— TEMPERED WATER RETURN	ER EXHAUST REGISTER FSP EXTERNAL STATIC PRESSURE			a⊘ A CEILING MOUNTED FIXTURE WITH INTEGRAL EMERGENCY BATTERY BACK UP.	BEAM DETECTOR RECEIVER, HIGH IN CEILING WALL DIRECT LINE OF SIGHT.	A/C AIR CONDITIONING	SN SOLID NEUTRAL
90 DEGREE ELBOW		EWT ENTERING WATER TEMPERAT EXH EXHAUST			HOA WALL MOUNTED FIXTURE.	MANUAL PULL STATION 42" AFF	AFF ABOVE FINISHED FLOOR	SQFT, † SQUARE FOOT SW SWITCH
—— —— UNION —— BLIND FLANGE		EXIST EXISTING			WALL MOUNTED FIXTURE WITH INTEGRAL EMERGENCY BATTERY BACK UP.	SMOKE DETECTOR	AFG ABOVE FINISHED GRADE	SWBD SWITCHBOARD
——————————————————————————————————————		F DEGREES FAHRENHEIT FD FIRE DAMPER FLEX FLEXIBLE			A LINEAR FIXTURE - STRIP.	SMOKE DETECTOR, DUCT MOUNTED	AHU AIR HANDLING UNIT ATS AUTOMATIC TRANSFER SWITCH	TC TIME CLOCK
PIPE DROP PIPE RISER	DUCTWORK SYMBOLS	FLG FLANGE FLR FLOOR			A 1'x4' LINEAR FIXTURE, SURFACE OR RECESSED.	FIRE SMOKE DAMPER	BFF BELOW FINISHED FLOOR	TELE TELEPHONE
TEE FITTING - SIDE BRANCH CONNECTION	SUPPLY AIR DEVICE - RIGID CONNECTION	FPM FEET PER MINUTE FT FEET, FOOT			Aa 1'x4' LINEAR FIXTURE, SURFACE OR RECESSED, WITH INTEGRAL EMERGENCY BATTERY BACK UP.		BLDG BUILDING	TSTAT THERMOSTAT
TEE FITTING - BOTTOM BRANCH CONNECTION TEE FITTING - TOP BRANCH CONNECTION	▼ ▲ 8°øÎ	GAL GALLON GALV GALVANIZED			a 2'x4' LINEAR FIXTURE, SURFACE OR RECESSED.	FIRE ALARM AUDIO-VISUAL APPLIANCE	C CONDUIT	TV TELEVISION
OUTSIDE SCREW & YOKE GATE VALVE (OS & Y)	SUPPLY AIR DEVICE - FLEX CONNECTION	GPM GALLONS PER MINUTE			A 2'x4' LINEAR FIXTURE, SURFACE OR RECESSED, WITH INTEGRAL EMERGENCY BATTERY BACK UP.	FIRE ALARM VISUAL APPLIANCE	CB CIRCUIT BREAKER	V VOLT(S)
CHECK VALVE	DETUDALAD DEVICE - DIGID CONNECTION	IE INVERT ELEVATION IN INCHES			A 2'x2' LINEAR FIXTURE, SURFACE OR RECESSED.	FIRE ALARM HORN AUDIBLE APPLIANCE WP = WEATHERPROOF.	CKT CIRCUIT	W WIRE WP WEATHERPROOF
GATE VALVE BALL VALVE	RETURN AIR DEVICE - RIGID CONNECTION	INSUL INSULATION IN WG INCHES OF WATER			A 2'x2' LINEAR FIXTURE, SURFACE OR RECESSED, WITH INTEGRAL EMERGENCY BATTERY BACK UP.	MINI AUDIO FIRE ALARM APPLIANCE	DIA DIAMETER	XFMR TRANSFORMER
	EXHAUST AIR DEVICE - RIGID CONNECTION	LAT LEAVING AIR TEMPERATURE			A 0	MINI AUDIO/VISUAL FIRE ALARM APPLIANCE	DIST DISTRIBUTION DN DOWN	XPD TRANSPONDER
	TRANSFER DUCT (ROOM TO ROOM) - RIGID CONNECTION	LB POUND LPA LINE PRESSURE ALARM			WALL BRACKET LINEAR FIXTURE. A	S FIRE ALARM SPEAKER		1P ONE POLE
	The second secon	LVR LOUVER MA MEDICAL AIR			EMERGENCY BATTERY BACK.	FIRE ALARM SPEAKER/VISUAL	EC EMPTY CONDUIT EF EXHAUST FAN	2P TWO POLE 3P THREE POLE
S STEAM SUPPLYSR PUMPED CONDENSATE RETURN	TRANSFER DUCT (ROOM TO CEILING SPACE) - RIGID CON	MAX MAXIMUM			EXIT LIGHT, CEILING MOUNTED WITH DIRECTIONAL ARROWS AS INDICATED ON DRAWINGS SINGLE OR DOUBLE FACE AS SCHEDULED	R AUXILIARY CONTROL RELAY	EWC ELECTRIC WATER COOLER	Ø PHASE
		MECH MECHANICAL MIN MINIMUM			EXIT LIGHT, WALL MOUNTED WITH DIRECTIONAL ARROWS AS INDICATED ON DRAWINGS. SINGLE OR DOUBLE FACE	D MAGNETIC DOOR HOLDER	EXH EXHAUST	
HWS HOT WATER SUPPLY	SUPPLY ELBOW TURNING UP - RECTANGULAR OR SQUARE	MV MEDICAL VACUUM			AS SCHEDULED	SUPERVISORY SWITCH	F/A FIRE ALARM	
	SUPPLY ELBOW TURNING DOWN - RECTANGULAR OR SQU	NC NORMALLY CLOSED			POLE MOUNTED LUMINAIRES - QUANTITY OF FIXTURES AS INDICATED	WATER FLOW SWITCH	FC FOOTCANDLES	
—— D —— DRAIN LINE ——── THERMOSTATIC TRAP		NO NORMALLY OPEN NTS NOT TO SCALE					FLUOR FLUORESCENT	
FLOAT & THERMOSTATIC TRAP	RETURN OR EXHAUST ELBOW TURNING UP	N ₂ NITROGEN N ₀ 0 NITROUS OXIDE					FN FULL NEUTRAL	
EXPANSION VALVE FLOAT VALVE	RETURN OR EXHAUST ELBOW TURNING DOWN	o ₂ oxygen				OUTLETS	FT FEET, FOOT	
GLOBE VALVE	SUPPLY ELBOW TURNING UP - ROUND	OA OUTSIDE AIR OAH OUTSIDE AIR INTAKE HOOD				18" AC DUPLEX RECEPTACLE - SUBCRIPTS INDICATE MOUNTIN	GFCI GROUND FAULT CIRCUIT INTERRUPTER G	
LIQUID SOLENOID VALVE MANUAL 3-WAY CONTROL VALVE	SUPPLY ELBOW TURNING DOWN - ROUND	OBD OPPOSED BLADE DAMPER OC ON CENTER			PANELS AND RELATED ITEMS	HEIGHT AND AC = ABOVE COUNTER TOP. 18" AC DUPLEX RECEPTACLE, ORANGE DEVICE, ISOLATED GROU	GFI GROUND FAULT	
MOTOR OPERATED, STRAIGHT	ELBOW - RECTANGULAR OR SQUARE	OH OVERHEAD OS&Y OUTSIDE SCREW & YOKE GA	TE VALVE		LIA	SUBSCRIPT INDICATES MOUNTING HEIGHT AND AC=ABO'COUNTER TOP.	VE GND GROUND	
MOTOR OPERATED, 3-WAY	ELBOW - ROUND OR RADIUS RECTANGULAR	P PUMP			PANELBOARD (SEE SCHEDULE)	GFI WP DUPLEX RECEPTACLE GFI=GROUND FAULT CURRENT	HID HIGH INTENSITY DISCHARGE	
CONTROL VALVE THERMOSTATIC EXPANSION VALVE	ROUND DUCT BROKEN FOR CONTINUATION.	P-2 PLUMBING FIXTURE DESIGN PCT PERCENT (%)	ATION		SWBD SWITCHBOARD OR DISTRIBUTION BOARD MCC MOTOR CONTROL CENTER	INTERRUPTING WP=WEATHERPROOF IG=ISOLATED GROU 18" AC DOUBLE DUPLEX (QUADRAPLEX) RECEPTACLE - SUBSCF	DIDTO	
VALVE W/ HOSE THREAD	45 DEG ELBOW - ROUND AND RECTANGULAR	PLBG PLUMBING				INDICATE MOUNTING HEIGHT AND AC = ABOVE COUNTER	TOP. TOA THELL PRESSURE CODUM	
─────────────────────────────────────	CONCENTRIC TRANSITION - ROUND AND RECTANGULAR	PRESS PRESSURE PRV PRESSURE REDUCING VALVE PSIG POUNDS PER SQUARE INCH (ALICE)		LCP LIGHTING CONTROL PANEL PLYWOOD TELEPHONE BACKBOARD	SPECIAL PURPOSE OUTLET. SUBSCRIPTS INDICATE TYF MOUNTING HEIGHT. REF: DIVISION 26 OR SCHEDULES.	HZ HERTZ	
SYMBOL DESCRIPTION	8x87 8Ø7 RECTANGULAR / SQUARE TO ROUND TRANSITION	RA RETURN AIR	AUGE)		GROUNDING ELECTRODE	FLOOR OUTLET - SINGLE SERVICE - SUBSCRIPT INDICATES TYPE, REF; DIVISION 26 OR SCHEDULES	IC INTERCOM	
<u>GENERAL</u>	880 8x87 RECTANGULAR MAIN AND ROUND TAP (WITH TRANSITION)	RE: 4/P6 REFER TO DETAIL 4 DRAWI	NG P-6		÷	FLOOR OUTLET - MULTIPLE SERVICE - SUBSCRIPT INDICATES TYPE, REF; DIVISION 26 OR SCHEDULES	ID INSIDE DIAMETER	
S TEMPERATURE SENSORTHERMOSTAT SERVING ZONE 3	RECTANGULAR MAIN AND RECTANGULAR TAP (WITH TRAN	ANSITION) RET RETURN				18" OUTLET BOX FOR DATA OUTLET IN WALL SUBSCRIPT INDICATES MOUNTING HEIGHT	IMC INTERMEDIATE STEEL CONDUIT	
	FSD or SD or FD FIRE/SMOKE - SMOKE - FIRE DAMPERS WITH ACCESS D	RF RELIEF FAN RAG RETURN AIR GRILLE DOOR RH RELATIVE HUMIDITY			RACEWAYS	→ 2-GANG OUTLET BOX FOR TV OUTLET, SUBSCRIPT	IN INCHES	
(2) KEYED NOTE 2		RHD RELIEF HOOD		-	CONDUIT (WALL OR CEILING) WITH ONE PHASE,	INDICATES MOUNTING HEIGHT	INC INCANDESCENT IG ISOLATED GROUND	OF 7
	TAKE OFF TO FPB	RPM REVOLUTIONS PER MINUTE RRV REFRIGERANT RELIEF VENT			NEUTRAL AND GROUND CONDUCTOR UNLESS OTHERWISE NOTED	18" AC SIMPLEX RECEPTACLE - SUBCRIPTS INDICATE MOUNTI HEIGHT AND AC = ABOVE COUNTER TOP.	JB JUNCTION BOX	* Similar
POINT OF CONNECTION	42			-	— — — CONDUIT UNDER FLOOR/GRADE OR CAST IN STRUCTURE WITH ONE PHASE, NEUTRAL AND GROUND CONDUCTOR UNLESS OTHERWISE NOTED		KV KILOVOLT	DAVID O. BRAI
SYMBOL DESCRIPTION	ROUND MAIN AND ROUND TAP (WITH TRANSITION)				SWITCH LEG WITH NEUTRAL AND GROUND		KVA KILOVOLT AMPERE	109118
PLUMBING SYMBOLS	8x8~ î			-	PIA-2,4,6 BRANCH CIRCUIT HOMERUN SUBSCRIPT 'PIA' INDICATES PANEL AND 2,4,6 INDICATES BREAKER POSITION, SEE			
CO CLEANOUT	TEE - RECTANGULAR MAIN AND BRANCHES				SCHEDULE.			Miller
→ ✓ FCO FLOOR CLEANOUT ✓ YARD CLEANOUT	24" PROPORTIONAL SPLIT - RECTANGULAR			-	TELEPHONE			1.
FLOOR DRAIN (SIZE & TYPE NOTED IN SPECIFICATION)	DROP RECTANGULAR DUCT OFFSETTING DOWN 45 DEG.				F-XX FEEDER. REFER TO FEEDER SCHEDULE.			
——⇒© HD HUB DRAIN	RISE RECTANGULAR DUCT OFFSETTING UP 45 DEG.							







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Civil:

BURNS BUI

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SYMBOLS AND ABBREVIATIONS



DIVISION 21 – FIRE SUPPRESSION

SECTION 21 13 00 - SPRINKLER SYSTEMS

- 1. Section Includes:
- Wet-pipe sprinkler system.
- b. System design, installation, and certification.
- c. Fire department connections. d. Pipe, fittings, valves, and connections for sprinkler.
- 2. System Description:
- a. Modify system coverage for remodeled areas shown on the drawings.
- b. Provide system to NFPA 13 occupancy requirements.
- c. Provide dry pipe systems for areas subject to freezing conditions. d. Determine volume and pressure of incoming water supply from water flow test
- e. Interface system with building fire detection and alarm system.
- Submittals:
- a. Submit under provisions of Section 22 05 00.
- b. Shop Drawings: Indicate hydraulic calculations, sprinkler head locations detailed pipe layout, hangers and supports, components and accessories. Indicate system
- c. Product Data: Provide data on sprinkler heads, valves, and specialties, including manufacturers catalog information. Submit performance ratings rough-in details, weights, support requirements, and piping connections, elevations, anchors and thrust blocks.
- d. Submit shop drawings product data and hydraulic calculations to Fire Marshal for approval prior to submission to the Architect/Engineer. Submit proof of approval to Architect/Engineer.
- e. Manufacturer's Certificate: Certify that system has been tested and meets or exceeds specified requirements and code requirements.
- 4. Project Record Documents:
- a. Submit under provisions of Section 22 05 00.
- b. Record actual locations of sprinkler heads and deviations of piping from Drawings. Indicate drain and test locations.
- 5. Operation and Maintenance Data:
- a. Submit under provisions of Section 22 05 00.
- b. Maintenance Data: Include components of system, servicing requirements, Record Drawings, inspection data, replacement part numbers and availability, and location and numbers of service agency.
- 6. Quality Assurance:
- a. Perform Work in accordance with NFPA 13 and the requirements of the local authority having jurisdiction. In cases where the Specifications are more stringent than NFPA 13, comply with the Specifications.
- b. Equipment and Components: Bear UL and FM label or marking.
- c. All electrical work shall comply with Division 26. d. Welding Materials and procedures: perform to AWS Standards.
- e. All pipe and fittings shall be manufactured in the United States.
- 7. Qualifications:
- a. Installer: Company specializing in performing work of this Section with minimum
- b. Design sprinkler system under direct supervision of a Professional Engineer or Responsible Managing Employee (RME) experienced in design of this work and licensed in the State of Texas.
- 8. Regulatory Requirements: Hydraulic Calculations, Product Data, Shop Drawings shall Bear stamp of approval of Fire Marshal.
- 9. Delivery, Storage, and Handling:
- a. Store products in shipping containers and maintain in place until installation.

10. Extra Materials:

- a. Provide extra sprinkler heads under provisions of NFPA 13.
- b. Provide suitable wrenches for each head type. c. Provide metal storage cabinet in location designated.

- a. Steel Pipe 1-1/2-inches and Smaller: ANSI/ASTM A53, standard weight black,
- 11. Above Ground Piping:
- Schedule 40. b. Steel Pipe 2-inches and Larger: Light weight, Schedule 10.
- c. Fittings: (1) Welding Fittings: ANSI/ASTM A234 Seamless Black Steel; standard weight.
- (2) Threaded Fittings: ANSI/ASTM B16.3, black.
- (3) Flanges: ANSI B16.5, class 150 steel with 1/16-inch raised face.
- (4) Companion Flanges: ANSI B16.1, class 150 black cast iron, flat faced,
- (5) Grooved Fittings: ASTM A47 malleable iron, black, enamel coated.
- (6) Grooved Couplings: ASTM A47 malleable iron black, enamel coated split
- coupling with EPDM gasket. d. Support in accordance with NFPA 13.
- (1) Provide electrogalvanized hanger rods with cadmium plated nuts and washers.
- 12. Sprinkler Heads:
- a. Manufacturers: (1) Grinnell.
- (2) Reliable. (3) Tyco
- (4) Viking.
- b. Suspended Ceiling:
- (1) Type: Recessed pendant type with matching push on escutcheon plate.
- (2) Head Finish: Chrome.
- (3) Escutcheon Plate Finish: As selected by Architect.
- (4) Fusible Link: Glass bulb type temperature rated for specific area hazard. c. Exposed Area Type:
- (1) Type: Standard upright type.
- (2) Head Finish: Brass.
- (3) Fusible Link: Glass bulb link type temperature rated for specific area hazard. Sidewall Type:
- (1) Type: Recessed horizontal sidewall type with matching push on escutcheon
- (2) Head Finish: Chrome plated.
- (3) Escutcheon Plate Finish: Chrome plated.
- (4) Fusible Link: Fusible solder link type temperature rated for specific area hazard.
- e. Guards: Finish to match sprinkler head.

- 13. Piping Specialties:
- a. Flexible Stainless Steel Sprinkler Drops: Flexible stainless steel hose with ceiling bracket, UL and FM approved. Flexhead Industries or VicFlex.

- 14. Preparation: a. Coordinate work of this Section with other affected work
- b. Ream pipe and tube ends. Remove burrs. Bevel plain end ferrous pipe before
- Remove scale and foreign material, from inside and outside, before assembly. d. Prepare piping connections to equipment with flanges or unions.
- 15. Installation:
- a. Install equipment in accordance with manufacturers instructions. b. Provide valve supervisory switches at all valves.
- c. Place pipe runs to minimize obstruction to other work.
- d. Place piping in concealed spaces above finished ceilings.
- e. Center heads in ceiling tile. Apply masking tape or paper cover to ensure concealed sprinkler head cover plate
- do not receive field paint finish. g. Provide guards in exposed areas where heads are subject to damage.
- h. Flush entire piping system of foreign matter.
- Hydrostatically test entire system.
- 16. Tests: Upon completion and prior to acceptance of the installation, the Contractor shall subject the system to the tests required by NFPA 13 and the requirements of the local authority having jurisdiction.

DIVISION 22 – PLUMBING

SECTION 22 05 00 - GENERAL PLUMBING PROVISIONS

- 1. Give all requisite notices, file plans if required, obtain and pay for all permits and pay all deposits and fees necessary for the installation of the mechanical work. Obtain and pay for all inspections required by all laws, ordinances, rules, regulations or public authority having jurisdiction. Obtain and pay for certificates of such inspections, and file such certificates with Owner.
- 2. Bidders shall examine all Drawings and Specification. Bidders must be familiar with the codes, rules, regulations (and the local interpretations) in effect at the site of the
- 3. The plumbing plans are intended to be diagrammatic and are based on one manufacturer's equipment. They are not intended to show every item in its exact location, the exact dimensions, or all the details of the equipment. The Contractor shall verify the actual dimensions of the equipment proposed to ensure that the equipment will fit in the available space.
- 4. Installation shall be within the limitations imposed by the architectural, structural, electrical, and mechanical requirements, with adequate space for maintenance.
- 5. All equipment, materials, and workmanship shall be guaranteed for a period of one year, beginning with the date of acceptance of the project in writing. Special warranties will be called for under some sections of equipment. This warranty shall be in writing and shall include written copies of factory warranties with expiration dates on items of equipment where the warranty date might differ from the acceptance date, such as five-year warrant of sealed refrigerant systems. No warranty shall start before the acceptance date.
- 6. REQUIRED SUBMITTALS:
- a. Submittals shall be clearly marked to show the intended item, with identification as to unit number or other marking to show location, service, and function.
- Submittals not marked to identify the equipment and application will be rejected. b. The supplier, by submitting, certifies that the materials or equipment proposed is satisfactory for the application intended, including adverse conditions that may prevail at the job site, and that materials and equipment are in current production with no known plans to cease production.
- Contractor agrees that submittals processed by the Engineer are not change orders; that the purpose of submittals by the Contractor is to demonstrate to the Engineer that the Contractor understands the design concept; and that this understanding is demonstrated by indicating which equipment and materials he or she intends to furnish and install and the fabrication and installation methods he or
- she intends to use. d. Contractor further agrees that if deviations, discrepancies, or conflicts between submittals and Contract documents are discovered either prior to or after submittals are processed by the Engineer, the Contract Documents shall control and shall be followed.
- e. Submittals shall include:
- (1) Pipe, valves, insulation, etc. (2) Plumbing fixtures.
- 7. At the close of the job, prior to final review, five bound copies of the following maintenance and operations manuals on all equipment shall be submitted by transmittal to the Architect or Engineer for review and acceptance.
- a. Equipment warranties.
- b. Contractor's warranty. c. Parts list and manuals for all equipment.
- d. Operating Instruction (in writing).
- e. Written instructions on maintenance and care of the system.
- 8. Material and equipment shall be the standard catalog products of manufacturers regularly engaged in the manufacturer of products conforming to the Specification.
- 9. When any material or equipment is identified on the plans or in the Specifications by reference to one manufacturer's name or model number, it is intended to establish a required standard of design and quality, and it is not intended to limit competition. It is understood that the phrase "or accepted equivalent" is hereby inserted following the one manufacturer's name, whether such phrase occurs or not.
- 10. Where three names are given for any equipment, the Contractor shall furnish one of
- 11. All work shall be concealed in walls, chases or above ceilings, unless specifically shown to be exposed.
- 12. All equipment shall be installed in accordance with manufacturer's recommendations and in such a way that all components requiring access are so located and installed that they may be serviced, replaced, etc., by service people with normal service tools and equipment. If any equipment or components are shown in such a position that this Contractor cannot comply with the above, the Contractor shall notify the General Contractor and attempt to resolve the problem of access. If this consultation is not successful, the Architect and Engineer shall be notified in writing and a decision requested.

13. Install unions or flanges at all piping connections to equipment.

- 14. Cutting, patching, furring, painting, electrical, mechanical, etc., shall be done by the affected trade at this Contractor's expense for changes required in work already installed or work required by other trades for changes made by this Contractor in type or size of equipment purchased.
- 15. Openings in floors, walls, and roof shall be furnished by the General Contractor. This Contractor shall inform the General contractor of the location and size required. This contractor shall furnish all sleeves, frames, including framing between joist unless shown on the Architectural or Structural Drawings, access doors, prefabricated curbs, and other accessories necessary for a complete installation. Only those items specifically shown and/or specified in other Sections are excluded.
- 16. Flashing of roof for curbs, pipes, stands, etc., shall be by the General Contractor (roofer). Curbs and counter flashing shall be by this Contractor.
- 17. Power wiring, including final connections, is by the Electrical Contractor. (This Contractor shall install all motors and furnish the starting equipment to the Electrical Contractor for installation. Control wiring, including 115 volt from power source, conduit, switches, thermostats, interlock, etc., shall be furnished by this Contractor unless specifically shown on the Electrical Drawings. This Contractor shall see that the electrical equipment does not block access to service areas of equipment, i.e., disconnect switches mounted on the compressor or control access doors of
- 18. Furnish and install all special foundations and supports required for equipment installed under this Section, unless they are a part of the building structure and are shown in other Sections.
- 19. All work shall be in accordance with the following rules and regulations and any applicable laws.

International Plumbing Code (IPC). Occupational Safety and Health Administration (OSHA). International Energy Conservation Code (IECC).

- 20. Where any of the above are at variance with the Drawings and Specification, the code requirements shall take precedence and any cost necessary to meet these shall be included in the Contract.
- 21. All metal items inside the building subject to rusting, and all ferrous metal exposed to weather, shall be given one coat of rust preventive primer as soon as installed. Anticorrosive and anti-rust paints applied to interior ferrous metal substrates shall comply with VOC requirements of Green Seal Standard GC-03. Maximum 250 g/L VOC
- 22. In addition to the warranty of the GENERAL CONDITIONS, Contractor shall and hereby does warrant all materials, workmanship and equipment furnished and installed by him to be free from defects for a period of one year after date of final completion of Contract, or from full occupancy of the building by the Owner (whichever is earlier). Should any defects in material, workmanship, or equipment be made known to Contractor within one year warranty period, Contractor shall replace such materials, workmanship, or equipment without charge.

SECTION 22 05 23 - VALVES

- 1. Provide valves of the same manufacturer throughout where possible.
- 2. All valves shall be manufactured in the United States.
- Provide threaded valves for pipe sizes 2-inches and smaller.
- 4. Provide flanged or grooved end butterfly valves for pipe sizes 2-1/2-inches and larger.
- 5. Install valves for shutoff and isolating service.
- 6. Use Class 150 bronze body ball and check valves for water services 2-inches and under. Use Class 150 iron butterfly and check valves on sizes 2-1/2-inches and
- 7. Use cast iron body plug valves for gas service.
- 8. Provide shutoff valves and check valves on discharge of pumps
- 9. Where valves are installed concealed in pipe chases or above inaccessible ceilings, provide access door with concealed hinge and key operated locks.
- 10. Lead-free valves shall comply with NSF/ANSI 61, Annex F and NSF/ANSI 372. Leadfree valves shall be installed in systems that deliver water for human consumption.

<u>SECTION 22 05 29 – SUPPORTS AND ANCHORS</u>

- Use inserts for suspending hangers from reinforced concrete slabs
- 2. Provide electro-galvanized steel hanger rods.
- 3. Group pipe where possible on trapeze hangers.
- 4. Provide two layers of PVC tape if ferrous hangers are used.
- 5. Provide sleeves at all wall and floor penetrations.
- 6. Pipe hangers on insulated lines shall be sized to fit the outside of the insulation. Provide galvanized sheet metal saddles at hanger locations.
- 7. Support vertical piping with riser clamps.
- 8. Provide concrete housekeeping pads at all equipment.
- 9. Support piping with all thread rod and clevis hangers. Group pipe where possible on trapeze hangers constructed of angle iron or unistrut. Attach piping to support the Ubolts or suitable pipe clamps.
- 10. Prime coat non-galvanized or non-plated steel hangers, reinforcements and supports. Anti-corrosive and anti-rust paints applied to interior ferrous metal substrates shall comply with VOC requirements of Green Seal Standard GC-03. Maximum 250 g/L VOC content.

- 11. Flash and counterflash where plumbing piping passes through weather or waterproof walls, floors and roofs.
- 12. Provide lead flashing at all vent pipe penetrations of the roof.
- Provide curbs for all roof mounted equipment.
- 14. Seal all pipes passing through walls and floors with fire rated silicone foam fire-stop
- 15. Provide anchors properly sized to withstand the forces of expansion and contraction.

SECTION 22 05 53 – PLUMBING IDENTIFICATION

- 1. Provide pipe labeling identifying all piping systems.
- 2. Provide aluminum name plates for each piece of equipment.
- 3. Provide brass valve tags on all valves.

SECTION 22 07 00 - PLUMBING INSULATION

- 1. Provide thermal insulation on domestic cold and hot water and hot water return piping.
- 2. Provide thermal insulation on all condensate piping.
- 3. Provide insulation where required to prevent freezing or condensation.
- 4. All insulation products shall comply with ASTM E-84 smoke developed rating of 50, fuel contributed rating of 50 and flame spread rating of 25.
- 5. Insulation shall be continuous through wall and ceiling openings and sleeves.
- 6. Provide thermal insulation on piping excluding valves, strainers, and unions. Insulation shall be heavy-duty pre-molded glass fiber insulation with all service jacket and self-sealing lap. Mitre insulation at valves and fittings or wrap with glass fiber blanket and finish with glass fabric and mastic. For exterior insulated piping provide aluminum jacket with bands on 12-inch centers. Insulation system shall be weatherproof.

INSULATION THICKNESS SCHEDULE Cold Water Hot Water/Return

1" Thick – 1" Pipe and Smaller 1-1/2" Thick – 1-1/4" Pipe and Larger

8. Insulated piping exposed outdoors and up to 7'-0" above floor in mechanical rooms shall be covered with 0.016-inch thick corrugated aluminum jacketing secured with aluminum bands. Provide pre-molded aluminum fitting covers from fitting, valves, etc.

7. Install insulation in accordance with manufacturer's printed installation instructions.

SECTION 22 20 00 - PLUMBING PIPING AND SPECIALTIES

Seal all joints with silicone sealant.

- 1. Sanitary waste and vent piping aboveground shall be hubless cast iron with neoprene
- 2. Domestic water piping above grade shall Be Type L hard temper copper pipe with
- 3. Roof drainage piping shall be the same as for sanitary waste.
- 4. Lead-free components shall comply with NSF/ANSI 61, Annex F and NSF/ANSI 372. Lead-free components shall be installed in systems that deliver water for human

wrought copper fittings and silver soldered connections or press-fit type fittings.

- <u>SECTION 22 34 00 STORAGE WATER HEATERS</u>
- 1. Water heaters shall be stamped for 150 PSI working pressure. 2. Provide a minimum three year warranty on water heaters.
- 4. Thermostatic control and safety shut off shall be product of the same manufacturer

installed on the water heater.

5. Provide anode rod.

valve independent of water inlet and outlet.

3. Water heater shall have a glass lined tank.

- 6. Finish to be factory baked enamel outer casing. 7. Heater shall have factory 3/4-inch NPT for mounting of anode rod and safety relief
- 8. Provide safety relief valves suitable for application and capacity according to local codes and national standards.
- 9. Install in strict accordance with manufacturer's instructions.
- 10. Pipe relief valve to suitable drain using pipe the same size as the relief valve opening.
- 11. Allow water heater to obtain operating temperature and cycle off. Run water from faucet unit the heater cycles on to assure proper operation.
- 12. Operate heater for a minimum of 5 days and verify all connections are leak free.

<u>SECTION 22 40 00 – PLUMBING FIXTURES</u>

- 1. Water closets shall be 1.28 GPF. Urinals shall be 0.5 GPF.
- 2. Lavatories shall be counter mounted or wall hung, with 0.5 GPM faucets.
- 3. Service sinks shall be floor mounted.
- 4. Electric water coolers on each floor shall be wall hung and suitable for handicapped







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Civil:

n/a

DING

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OWNER:

AREA REAL ESTATE, LLC



8/31/2017

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SPECIFICATIONS

Project Number

- 5. Provide carriers for all wall mounted fixtures.
- 6. All plumbing fixtures shall be manufactured in the United States.
- 7. Refer to Plumbing Fixture Schedule on the drawings.
- 8. Lead-free components shall comply with NSF/ANSI 61, Annex F and NSF/ANSI 372. Lead-free components shall be installed in systems that deliver water for human

<u>DIVISION 26 – ELECTRICAL</u>

SECTION 26 05 00 - GENERAL REQUIREMENTS FOR ELECTRICAL WORK

- 1. The separation of Division 26 into sections is for convenience only and is not intended to establish limits of work.
- 2. Codes, Permits and Inspections: Comply with applicable laws of the Government, State, and community having jurisdiction. Obtain and pay for permits required
- 3. Electrical work, material, and installation shall conform to the latest accepted editions of the following codes, regulations, and associations:
 - American National Standards Institute (ANSI) American Society for Testing and Materials (ASTM) American Standards Association (ASA) International Building Code (IBC) National Electrical Code (NEC) National Electrical Manufacturer's Association (NEMA) The Institute of Electrical and Electronic Engineers (IEEE) The Occupational Safety and Health Act (OSHA) Underwriter's Laboratory, Inc. (UL) International Energy Conservation Code (IECC)
- 4. Material and Workmanship: Materials shall be new, UL approved where a standard has been established. Where no UL standard has been established, obtain written approval from the Engineer prior to placing order.
- 5. Whenever the words "or equal", "equivalent", "acceptable", or other words with similar intent are used implying judgment to be exercised, the judgment of the Engineer is that which is referenced.
- 6. Drawings and Specifications: Consider as complementary each to the other. What is called for by one shall be as binding as if called for by both.
- 7. Coordination: Coordinate work so as to conform to the progress of the work of the other trades.
- 8. Testing: Electrical systems shall be fully tested by the Contractor including, but not
- a. Available voltage and ampere load readings on feeders, transformers, and major branch circuits with systems operating at maximum load shall be recorded.
- b. Test receptacle for circuit continuity and grounding with a Daniel Woodhead or
- c. Test results shall be recorded and submitted to the Engineer on one set of Contract Drawings.
- 9. Patch and repair existing surfaces, required to be maintained, that are damaged by the Contractor in performing the work.
- 10. Record Documents for the Owner: Keep at the site one set of plans for the express purpose of daily correcting in red or yellow pencil every change at the time it is made. Prints shall detail actual field dimensions of conduit stub-outs, conduit runs, equipment installation, and conduit routing concealed within slabs or below grade. Mark-up prints shall be turned over to the Owner.
- 11. Submittals: Provide three (3) sets of proposed manufacturer's literature and dimensioned shop drawings to the Engineer for review. Submittals shall include the following sections of work.
- a. Section 26 24 16– Branch Circuit Panelboards
- b. Section 26 27 26 Wiring Devices
- c. Section 26 28 00 Overcurrent Protective Devices d. Section 26 51 00 – Lighting
- e. Section 28 31 01 Fire Detection and Alarm Modifications
- f. Unsubmitted sections shall be installed as specified.
- 12. Protection of Materials: Equipment and materials shall be protected against damage from water, dirt, chemical, or mechanical injury. After fixtures have been installed. they shall be completely protected against breakage or the depositing of waste or material therein until the system is accepted.
- 13. The Contractor shall be responsible for work, existing or new, damaged, by him or his sub-contractor in the executing work.
- 14. Provide line voltage power connections to Division 22 and Division 23 power supplies, actuators, dampers and control panels. Coordinate with Division 22 and Division 23 for quantities and locations of such connections.
- 15. Provide one year guarantee on all parts and labor.

SECTION 26 05 19 - WIRE AND CABLE

- 1. Description of Work: Wire and cable for lighting, power, control, and special systems rated 600 volts or less shall be furnished and installed as a part of this Section.
- 2. Acceptable Manufacturers:
- a. American Insulated Wire Corp. b. Essex International, Inc.
- c. Rome Cable.
- 3. Copper conductor for wire and cable shall be 98% conductivity annealed copper per ASTM B3 and shall be tinned or untinned in accordance with established standards for the type of insulation applied over the conductors. #10 AWG and smaller shall be solid and #8 AWG and larger shall be stranded. Unless indicated or specified otherwise, conductor sizes are based on copper. Conductors shall be copper.

- 4. Wire and Cable Wire:
- a. Rated 600 volt A.C.
- b. Installed in approved raceways or conduit.
- c. Not less than #12 AWG, except that #14 AWG may be used for control and low
- voltage wiring. d. Insulation type: THW or THHN-THWN.
- e. Permanently marked at 24-inch intervals with size, voltage, and temperature
- 5. Control/Communications (Low Voltage) Type Wires and Cables: Size, type, and materials, as called for under the specific system and as required by the system equipment manufacturer.
- 6. Feeder and branch circuit wiring shall be installed using color coded conductors. For conductors #6 and smaller, color coding shall be by factory applied color-impregnated insulation. For conductors #4 and larger, color coding shall be by plastic coated selfsticking markers, colored nylon cable ties, or heat shrink type sleeves.
- 7. Conductor Identification: Provide identification for feeder conductors within each enclosure where a tap, splice, or termination is made. Identification shall be by means of nylon marker ties, Type "PLM" as manufactured by Panduit Corporation or as approved.
- 8. Conductor Installation:
- a. Conductors shall be carefully handled and installed to ensure that maximum tensile and compressive strengths of conductor and insulation are not exceeded and that the conductors are not "kinked" or the insulation damaged.
- b. Wire pulling compound, when used, shall be UL listed, Ideal "Yellow 77", Holub "Hi Green", or approved equal. The use of soap flakes, liquid detergents, or vegetable oils is unacceptable.

SECTION 26 05 20 – WIRE CONNECTIONS AND SPLICES

- 1. Description of Work: This Section includes work required to provide connectors and splices for wire and cable rated 600 volt and less.
- 2. Splices and Connectors (UL 486A, 486B, and 486C):
- a. Connectors for wires #10 AWG and smaller: Insulated pressure type in accordance with UL 486A or 486C (twist-on splicing connector).
- 3. Terminations (UL 468A and 468B):
- a. Terminating kits designed for the conductor and application.
- 4. Connectors shall be of material compatible with the materials of the conductors to prevent corroding, differences in coefficients of expansion, and electrolysis.
- 5. Splices and Terminations: Splices in conductors shall be as few as possible. Where ioints are necessary, they shall be mechanically strong and well made so that the electrical resistance of a joint shall not exceed that of 2 feet of the conductor. Splices and terminations shall be made only in junction or pull boxes and never in conduit elbows or similar fittings. Splices will not be allowed in panels.

SECTION 26 05 26 - GROUNDING

- 1. Description of Work: Electrical systems and equipment shall be grounded as required by NEC Article 200 and Article 250, as specified herein, and as shown on the Drawings. Nothing in this Specification or on the Drawings shall be construed as exempting the installation from compliance with applicable codes.
- a. Connectors shall be industry standard, hot dip galvanized malleable iron or cast bronze or copper alloy nonferrous material which will not cause galvanic action between contact surfaces.
- b. Clamps, connectors, mechanical lugs, or wire terminals shall be used to bond ground wires together or to junction and panel boxes.
- c. Ground conductors shall be copper d. Equipment grounding conductors shall have a green jacket.
- e. Ground electrode conductors and bonding jumpers shall be bare copper.
- f. Materials shall be UL listed.
- 3. Items to be Grounded: The noncurrent carrying metallic parts, components, and materials of the electrical distribution system and utilization equipment connected thereto shall be grounded by means of direct connection to the grounding conductor and the system grounding electrodes.
- 4. Supplemental Grounding:
- a. The noncurrent carrying metallic parts of the electrical distribution system shall be grounded by the metal raceway and by a supplemental equipment grounding
- b. The equipment grounding conductor shall be insulated with a green cover. c. Equipment grounding conductors shall be provided in the same conduit with the
- d. Receptacles must be connected by means of a jumper to the box. This connection shall not be made directly to the ground wires. Ground wires entering a box must be solidly connected together and bonded to the box or enclosure.
- 5. Raceway and Enclosure Bonding:
- a. Bonding jumpers shall be provided around remaining concentric or eccentric knock-outs that are punched or otherwise formed in the enclosures and boxes.
- b. Metal raceways, equipment, frames, enclosure, and other metal noncurrent carrying parts must be bonded together in accordance with NEC 250.96.
- 6. General:
- a. Contact surfaces shall be thoroughly cleaned before connections are made to insure good metal-to-metal contact.
- b. Splices shall not be permitted in ground conductors except in boxes and enclosures where permitted by the NEC.
- c. Conductors and connections must be protected from physical damage.

SECTION 26 05 33- RACEWAYS - INTERIOR

- 1. Description of Work: Unless otherwise specifically noted, electrical systems wiring specified herein or shown on the Drawings shall be installed in one of the raceway or conduit systems specified in this Section. A raceway is defined as any channel for holding wire, cable, or buss bars that is designed expressly for, and used solely for, this purpose.
- 2. The raceways to be covered under this Section: a. IMC: Threaded, intermediate metal conduit.
- b. EMT: Electrical metal tubing.

- c. FMC: Flexible metal conduit.
- d. LFMC: Liquidtight flexible metal conduit.
- 3. Flexible nonmetallic conduit systems will not be allowed on this project.
- 4. Acceptable Manufacturers:
- a. Conduit IMC and EMT:
- (1) Allied Tube and Conduit Corp.
- (2) LTV/Republic Steel Corp.
- (3) Triangle PWC Inc. b. Conduit – FMC and LFMC:
- (1) American Flexible Conduit Company.
- (2) Anamet, Inc.
- (3) Electri-flex Company. (4) International Metal Hose.

Fittings: watertight compression type.

- 5. IMC: Comply with NEC Article 342, UL 1242 and Fed. Spec. WW-C581. Fittings: Threaded type, cadmium or zinc coated, in accordance with UL 514B.
- 6. EMT: Comply with NEC Article 358, Fed. Spec. WW-C563, UL 797, and ANSI C80.3.
- 7. FMC and LFMC: Comply with NEC Article 348 or Article 350, and UL 1. Fittings: Cadmium or zinc coated, in accordance with UL 514. Screw-in type fittings are not acceptable.
- 8. Fire stops shall be O-Z "Fire Seal" type or equal.
- 9. Wiring Methods: Electrical installations shall consist of insulated conductors installed in conduit, except where specifically indicated, specified otherwise, or required by NEC to be installed otherwise.

10. IMC:

- a. Shall be installed:
 - (1) For elbow transitions from underground to above grade or slab. (2) Where passing below grade beams, at 12 inches minimum below and to a distance of 5 feet either side thereof.
- (3) Where passing through footings to a distance of 5 feet either side thereof.
- b. May be installed:
- (1) Exposed in unfinished areas to a height of 60 inches above finished floor. (2) Underground, when protected by factory-applied plastic resin epoxy coating.

11. EMT:

- a. May be installed: (1) Where concealed within the building.
- (2) Exposed in unfinished areas at least 60 inches above finished floor.
- b. Shall not be installed:
- (1) For feeder conduits. (2) In wet/damp locations.
- (3) Outdoors.

12. FMC and LFMC:

- a. Shall be installed from the point of connection to vibration producing equipment and machines such as transformers, rotating and reciprocating equipment, to the point of connection with the rigidly supported branch circuit conduit wiring system. Minimum length shall be 24 inches or 12 inches per 1 inch of conduit diameter, whichever is greater.
- 13. Conduit Installation:
- a. Install parallel with or at right angles to building lines, structural members, ceiling
- members, and walls. b. Install pull boxes to limit the number of equivalent 90 degree bends in any conduit run to three to prevent exceeding the maximum pulling tension and side wall
- pressure of installed wire and cable. c. Install conduits passing through fire rated partitions, walls, and floors in a manner so as to maintain the specified and required fire rating.
- d. Fasten conduits to sheet metal boxes and cabinets using two locknuts where nonmetallic insulating bushings are used and elsewhere with at least one locknut and one metal bushing.
- e. Provide insulated bushings for conduits 1 inch and larger terminating in unthreaded openings of metal and nonmetallic boxes, cabinets, or enclosure. Bushings for service entrance conduits shall be insulated metal grounding
- Provide pull wire in empty conduit systems.
- g. Field cutting and threading: Cut conduit ends square; thread using proper hand or power machines; ream and leave cut ends free of burrs and jagged edges. Threads shall be painted with Thomas and Betts "KOPR-SHIELD" compound.
- Exposed threads shall be painted with a cold galvanized compound. h. Conduit systems shall be complete and electrically continuous before conductors
- are installed. Provide insulated bushings for conduits terminations and stub-outs in spaces such as plenums, chases, raised floors, and communications equipment rooms where wiring method changes to open wiring. When the conduit end is not threaded, the bushing shall be installed in combination with a threadless connector.

- 14. Conduit Support: a. Provide support at a maximum of 8 feet on center; at not more than 3 feet from outlet boxes, junction boxes, pull boxes, cabinets, and fittings; and at each elbow. Support conduit by means of pipe straps, wall brackets, hangers, and trapeze assembles. The load applied to fasteners and supports shall not exceed one-
- fourth of the proof test load. Perforated strap iron is unacceptable. b. Fasten to wood surfaces using wood screws; to hollow masonry units using toggle bolts; to concrete and brick surfaces using inserts or expansion bolts; to metal, lumber, and steel work using machine screws or spring tension clamps. Use insert anchors in poured-in-place concrete construction. Threaded C-clamps may be used only on rigid conduit. Do not weld pipe straps or conduits to steel structures.
- c. Branch circuit conduit systems shall not be supported by suspended ceiling supporting systems.
- d. Support FMC and LFMC at intervals not exceeding 54 inches on center and within 12 inches of each termination in a junction, pull box, conduit fitting, or cabinet. e. Coordination: Prior to rough-in, coordinate the work of this Section with that of
- 15. The minimum bend radius for underground service entrance and feeder conduit 36 inches except at vertical risers to equipment.

other sections to avoid conflicts of space utilization.

<u>SECTION 26 05 34 – BOXES</u>

- 1. Description of Work: This Section includes work required to provide boxes, including
- 2. Outlet Boxes and Covers:
- a. Concealed and exposed dry locations except where prohibited herein: One piece die formed 14 gauge zinc galvanized steel, in accordance with UL 514.
- 3. Junction and Pull Boxes: UL 514
- 4. Wireways: UL 870.
- 5. Provide boxes in the raceway system wherever required for pulling conductors, making connections, and mounting devices and fixtures.

- a. Minimum volume required by NEC for the number and size of conductors
- c. Not less than 4-inches square, except that 4"x2" boxes may be used when only one raceway enters the box.
- d. 4 inches square for two devices and solid ganged boxes for more than two

- a. Supports boxes and pendants for surface mounted fixtures on suspended ceilings independent of ceiling supports or make adequate provisions for distributing the load over the ceiling supporting members, using approved bar hangers or 1-1/2
- b. Receptacle outlets shall be installed in light weight stud construction using bar hangers and box clips, Caddy Fasteners No. BHA/BHC or as approved.
- c. Boxes for switches shall be supported using sheet metal screws, Caddy Fasteners Series "MF" Clips, or approved equal.
- 8. Mounting Heights: Unless otherwise noted, mounting heights for outlets shall be as listed below. Dimensions are from finished floor or work surface to centerline of outlet.
- A.C. Above counter tops (6 inches normally). The exact mounting heights required for these devices shall be coordinated with the
- 9. Install boxes so that device covers are plumb and tight against the wall finish.

- 1. Description of Work: This Section includes work required to provide a system of raceways, outlet boxes with covers, terminal boards, and grounding to accommodate
- Materials:
- a. Raceways: In accordance with the requirements of Section 26 05 33,
- "Wiring Devices". d. Terminal Boards: 3/4" Type AB plywood having two coats if insulating varnish or insulating oil base exterior enamel paint applied before installation on both sides

- Division 26 Specifications pertaining to the material. b. Install terminal boards straight and level at locations indicated on the Drawings. Attach to masonry walls using expansion anchors, to CMU walls using toggle bolts, and to sheetrock and plaster walls using wood or sheet metal lag bolts fastened into the wall supporting structure. The use of toggle bolts in sheetrock
- center at the perimeter of each board. c. Raceways: EMT with insulating bushings at ends. d. The conduit size for each communication outlet shall be 3/4" minimum. Conduits
- shall not be grouped for multiple outlets. e. Boxes shall be steel having minimum dimensions of 4" x 4" x 2-1/8".
- g. Provide 3/4" conduit with #6 AWG bare copper ground wire from main terminal
- location to and bond to the premises grounding electrode. h. Provide pull wire or mylar cord in empty conduits.

SECTION 26 24 14 - DISTRIBUTION PANELBOARDS

- 1. This Section includes the work required to provide Distribution Panelboards.
- 2. References
- a. NEMA AB 1 Molded Case Circuit Breakers
- b. NEMA KS 1 Enclosed Switches.
- d. NEMA PB 1.1 Instructions for Safe Installation, Operation and Maintenance of
- Panelboards Rated 600 Volts or Less.
- e. NEMA PB 1.2 Application Guide for Ground-Fault Protective Devices for
- a. Submit manufacturer's product data sufficient to demonstrate compliance with the
- specified and referenced standards of construction and performance. b. Submit Drawings indicating dimensions, circuit breaker and fusible switch arrangement and ratings, voltage, main, neutral and equipment ground bus

ampacity, integrated short circuit ampere rating and enclosure type.

- outlet, floor, pull, junction, and cable tap boxes and supports associated therewith.

- b. Not less that 1-1/2 inches deep.
- devices.
- inch lathers channel.
- d. Fixtures, loads of 50 lbs. or more, and for ceiling fans shall be supported from the building structure, independent of box, raceway or suspended ceiling supports.
- Wall Switches 46 inches *Receptacles 18 inches **Toggle Switches** 46 inches *Desk Telephone Outlets 18 inches

SECTION 26 05 35 - COMMUNICATIONS SYSTEMS

- the installation of communications systems cabling and equipment.
- b. Boxes: In accordance with the requirements of Section 26 05 34, "Boxes". c. Outlet Coverplates: In accordance with the requirements of Section 26 27 26,
- and all edges.
- a. Install materials required by the work of this Section in accordance with other
- and plaster walls is not acceptable. Install anchors at a maximum of 24 inches on
- f. Provide conduit from each outlet location to an accessible location above a lay-in

- c. NEMA PB 1 Panelboards.
- f. UL 489 Molded Case Circuit Breakers.



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Total Art Design & Architecture

Structural:

n/a



Firm Reg. No. F-465

Landscape Architect:

Civil:

n/a

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AREA REAL ESTATE, LLC



SPECIFICATIONS

Project Number

4. Product Delivery, Storage and Handling

- a. Deliver distribution panelboards in factory-fabricated water-resistant wrapping. b. Handle panelboards carefully to avoid damage to material component, enclosure
- c. Store in a clean, dry space and protect from the weather.

5. Acceptable Manufacturers

- a. Eaton. b. General Electric Company
- Siemens. d. Square D Company.

6. Panelboard Construction

- a. Molded case circuit breaker or enclosed fusible switch type panelboards as
- b. Enclosure: NEMA Type 1 unless otherwise indicated in the Drawings.
- c. Box and Cover: Dead front in accordance with NEMA PB-1. Box of code gauge hot dipped galvanized steel. Trim cover of code gauge cold rolled steel. Dead front cover to conceal overcurrent devices and line and load terminations.
- d. Interior Assembly: Unit construction with busses factory assembled and secured to and insulated from a steel chassis; chassis to incorporate neutral and ground busses and device mounting and support components. Buss and chassis shall be adequate for direct mounting of the largest scheduled frame size or fuse size of overcurrent device. Sub-feed devices are not acceptable unless specifically indicated in the schedules.
- e. Bus: Aluminum, 750 amperes/square inch density.
- f. Bus Configuration: Sequence bussed, entire length of panel.
- g. Equipment Ground Bus: Copper.
- h. Neutral Bus: Full capacity.
- i. Finish: Exterior and interior steel surfaces cleaned and finished with gray enamel over a rust inhibiting phosphatized coating. Color – ANSI 61 gray.
- j. Integrated Equipment Rating: As scheduled in the Drawings, minimum 10,000
- amps symmetrical at 208V and minimum 14,000 amps symmetrical at 480V. k. Spare Capacity: Provide each panelboard with fully bussed space as indicated in the Drawings, complete with mounting hardware required for the indicated frame
- I. Circuit Directory: Type written and secured to the inside of the trim door with formed bezel and covered with clear plastic protector.
- 7. Switching and Overcurrent Protective Devices
- a. Fusible Switches: Quick-make, quick-break, Type HD conforming to NEMA KS-1, with externally operable handle and equipped with fuse holders to accommodate Class RK1 fuses.
- b. Molded Case Circuit Breakers UL Listed Conforming to NEMA AB-1
- (1) Breakers 400 Ampere Frame and Less: UL listed molded case construction, bolt-on type, integral inverse time delay thermal and instantaneous magnetic trip. Breakers 225 ampere through 400 ampere, provide continuously
- (2) Breakers 600 Ampere Frame and Above: Provide with micro-processor based RMS current sensing trip, consisting of current sensors, trip unit and flux transfer shunt trip.

adjustable magnetic pick-ups of approximately five to ten times trip rating.

- (3) Interrupting Capacity: Equal to or in excess of available short circuit current indicated for panelboard, as scheduled in the Drawings and as specified in
- (4) Standard of Construction and Performance: Equal to Eaton Series C molded case circuit breakers and Digitrip 310 True RMS micro-processor trip unit. (5) Where indicated, circuit breakers shall be UL listed for series application.
- 8. Installation
- a. Install distribution panelboards in accordance with manufacturer's written instructions and the NEC, and NEMA PB 1.1.
- b. Anchor firmly to walls and structural surfaces using mechanical fasteners as
- specified for conduits in Section 16110, "Raceway Systems". c. Provide engraved name plates at each panelboard as specified in Section 16010.
- "General Requirements for Electrical Work".

SECTION 26 24 16 - BRANCH CIRCUIT PANELBOARDS

- 1. Description of Work: This Section includes the work required to provide Lighting and Appliance Branch Circuit Panelboards.
- 2. Acceptable Manufacturers:
- a. Eaton.
- b. General Electric Company. c. Siemens.
- d. Square D Company.
- 3. Panelboard Construction:
- a. Molded case circuit breaker type panelboards as scheduled
- b. Enclosure: NEMA Type 1 unless otherwise indicated in the Drawings.
- c. Box and Cover: Box, dead front cover and trim cover in accordance with NEMA PB-1. Box: Code gauge hot dipped galvanized steel. Dead front cover and trim cover: Code gauge cold rolled steel. Dead front cover to conceal overcurrent devices and line and load terminations.
- d. Finish: Exterior and interior steel surfaces cleaned and finished with gray enamel over a rust inhibiting phosphatized coating.
- e. Integrated Equipment Rating: As scheduled in the Drawings, minimum 10,000 amps symmetrical at 208V and minimum 14,000 amps symmetrical at 480V.
- 4. Bussing:
- a. Phase Busses: Aluminum, sequenced entire length of panel.
- b. Neutral Buss: Full-capacity, Aluminum.
- c. Equipment Ground Buss: Copper.
- 5. Overcurrent Protective Devices:
- a. Satisfy requirements of Specification Section 26 28 00.
- b. Interrupting Capacity: Equal to or in excess of available short circuit current indicated for panelboard, as scheduled in the Drawings and as specified.
- 6. Installation:
- a. Provide type written directory, secured to the inside of the panel trim door. b. Install panelboards in accordance with manufacturer's written instructions,
- requirements of the NEC, and NEMA PB 1.1. c. Anchor firmly to walls and structural surfaces, ensuring that they are permanently
- and mechanically secured.
- d. Test each phase under load to verify phase current balance. Configure loads to provide phase current imbalance not to exceed 20 percent of the total connected
- e. Flush Mounted Panelboards: Provide (3) 3/4-inch conduits with pull wire from each panelboard to an accessible location above ceiling.

SECTION 26 27 26 - WIRING DEVICES

- 1. Description of Work: This Section includes work required to provide wiring devices such as receptacles, switches, and coverplates.
- 2. Acceptable Manufacturers:
- a. Arrow Hart
- c. Leviton

b. Hubbell

- 3. Wiring Devices: Wiring devices shall be installed complete in accordance with these Specifications, single or ganged as required, generally flush mounted.
- 4. Generally wall switches shall be specification-grade, toggle type, back and side wired, 120/277 volt.
- Generally receptacle devices shall be specification-grade, grounding type, back and side wired, 125-volt, NEMA 5-20R, unless other NEMA configuration is indicated in the Drawings.
- 6. The Drawings and Specifications indicate typical configuration requirements and it is the responsibility of the Contractor to furnish the proper NEMA configuration for equipment or appliances as required by the equipment furnished. Prior to purchase of any devices coordinate with equipment shop drawings and supplier, and furnish proper protection, connections, and voltage as required by equipment characteristics and as specified.
- 7. Device plates: One-piece, ganged, specification-grade, high-impact nylon.
- 8. Receptacle and device plate color: Coordinate with the Architect.

SECTION 26 28 00 – OVERCURRENT PROTECTIVE DEVICES

- 1. Description of Work: This Section covers molded case circuit breakers rated 600 volts or less in panelboards.
- 2. Acceptable Manufacturers:
 - a. Eaton.
- b. General Electric Company. c. Square D Company.
- d. Siemens.
- Circuit Breakers:
- a. Inverse time tripping characteristics with fixed thermal trip action.
- b. Permanent trip unit containing individual thermal and magnetic trip elements in
- c. Calibrated for operation in a minimum ambient temperature of 40 degrees C.
- d. Labeled to indicate their current and voltage rating.
- e. Interrupting capacity compatible with the panelboard integrated equipment rating. f. Minimum AIC of 10,000A on 208/120V systems and 14,000A on 480/277 volt
- g. One, two or three pole molded case circuit breakers as specified on the Drawings. h. Common trip type.
- 4. Provide overcurrent protection for wiring and equipment in accordance with the NEC.

SECTION 26 28 16 - DISCONNECT SWITCHES

- 1. Description of Work: This Section includes work required to provide disconnecting means for service entrance, branch and feeder circuits.
- 2. Acceptable Manufacturers a. Eaton.
- b. General Electric Company.
- c. Siemens.
- d. Square D Company.
- 3. Safety Switches:
- a. NEMA Type HD: Heavy Duty, conforming to NEMA KS-1 and UL 98, quick-make and quick-break type having overcenter toggle action to preclude contact teasing. b. Horsepower rated.
- c. Equipped with Class R fuseholders and fuses where indicated to be fusible type.
- d. Dead front construction with removable arc suppressor e. Front removable 60 degrees C./75 degrees C. UL listed copper/aluminum
- Current-carrying parts plated by an electrolytic process. g. NEMA enclosure based on ANSI/NEMA 250-1979, suitable for the installed
- h. Enclosures: NEMA 1 unless noted otherwise.
- 4. Toggle Switch Disconnects: Horsepower rated for motor disconnecting means.
- 5. Receptacles: Horsepower rated for motor circuits.
- 6. Service Entrance Disconnects: UL listed as "Suitable for Service Equipment" and provided with neutral and equipment ground buses.
- Installations
- a. Provide phenolic label on disconnect switch identifying load served.
- b. Provide insulated solid neutral terminal unless otherwise indicated. c. Install to provide minimum front clear working space as required by NEC Article
- d. Install fusible switches at no more than 6'-6" above finished floor to the operating handle in its highest position.
- e. Mount in the vertical position with ON position being the up position. f. In wet locations and outdoors install with a minimum of 1/4-inch clearance
- between the enclosure and the mounting surface. g. Provide a label inside of each fused switch indicating the fuse type, ampere rating,
- and interrupting rating originally specified. h. Motor and Control Circuit Disconnects: Disconnect device shall disconnect simultaneously the control circuits and the power circuits (Reference NEC 430.74).

SECTION 26 43 13 – SURGE PROTECTION DEVICES – STANDARD INTERRUPTING

- 1. Surge protection devices are specified by type and manufacturer on the drawings.
- 2. Furnish and install surge protection devices with protection modes L. G. N.

- 3. The maximum UL 1449 listed surge ratings for each and/or all of the specified protection modes shall not exceed 1000V in any mode of protection.
- 4. The SPD System shall be duty life cycle tested to survive 3,000 20KV, 10KA surges, per IEEE C62.41 Category C3 surge current with less than 5% degradation of clamping voltage.

SECTION 26 51 00 - LIGHTING

- 1. Description of Work: This Section covers lighting fixtures, ballasts, and lamps.
- 2. Fixtures shall be as specified and scheduled on the Drawings.

3. Drivers:

- a. Operate as a parallel circuit allowing continued operation if one or more lamps fail.
- b. Sustain voltage variation of 10% (voltage and frequency) from normal without
- c. Tolerate ambient temperatures up to 105 degrees F without damage.
- d. Meet ANSI C62.41-1991 (transient immunity) and ANSI C82.11-1993 (instant starting sequence and driver factor).
- e. Have 10% or less total harmonic distortion.
- 4. Lamps: Color temperature as specified in the Light Fixture Schedule.

completion of the job.

- a. Provide products that comply with requirements of NFPA 70.
- b. Provide products that are listed and labeled as complying with UL 1598, where
- c. Provide products listed, classified, and labeled as suitable for the purpose
- intended. d. Unless otherwise indicated, provide complete luminaires including lamp(s) and all sockets, ballasts, reflectors, lenses, housings and other components required to
- position, energize and protect the lamp and distribute the light. e. Unless specifically indicated to be excluded, provide all required conduit, boxes, wiring, connectors, hardware, supports, trims, accessories, etc. as necessary for a complete operating system.
- Provide products suitable to withstand normal handling, installation, and service without any damage, distortion, corrosion, fading, discoloring, etc.
- Recessed Luminaires: Ceiling Compatibility Comply with NEMA LE 4.
- h. LED Luminaires: (1) Components: UL 8750 recognized or listed as applicable.
- (2) Tested in accordance with IES LM-70 and IES LM-80. (3) LED Estimated Useful Life: Minimum of 50,000 hours at 70 percent lumen
- maintenance, calculated based on IES LM-80 test data. 6. Set fixtures plumb, square, and level with ceilings and walls, in alignment with adjacent lighting fixtures and secure in accordance with manufacturer's directions and
- 7. Fixtures shall be clean and free of dirt, dust, grease, finger prints, etc., at the

approved shop drawings. The installation shall meet the requirements of NEC.

- 8. Lighting Functional Testing/Commissioning Plan: The Contractor shall complete the tasks below to commission the lighting control system and submit written documentation detailing the tasks below. For each task, list the date performed, person completing the task, the initial setting/condition, actions performed, and final setting condition. Submit documentation at or before substantial completion to
- facilitate obtaining the Certificate of Occupancy. a. Ensure all lighting fixtures have lamps installed and are functional.
- b. Test all exit signs, emergency lighting fixtures, and emergency ballasts furnished
- integral to fixtures. c. Ensure all occupancy sensors have been installed and are operational.
- d. Ensure all wallbox and scene controllers are installed and operational.
- e. Test each individual device for occupancy sensor types: OS1, OS2, OS3, and
- f. Test 10% of devices for occupancy sensor types: Wallbox type WSD-PDT g. Verify the following:
- (1) Sensors have been located and aimed per the manufacturer's
- recommendations. (2) Status indicators on devices are operational and correct.
- (3) Devices control lighting fixtures as indicated on drawings.
- (4) Time delays have been set as indicated on the drawings. (5) Movement in adjacent areas and/or cycling of HVAC systems does not false

DIVISION 28 – FIRE PROTECTION

SECTION 28 31 01 - FIRE DETECTION AND ALARM - MODIFICATIONS

- 1. Description of Work: Provide fire alarm appliances to expand existing system within areas of renovation.
- 2. Acceptable Manufacturers: Existing system manufacturer.
- Materials: a. Pull stations, audio-visual devices, duct-mounted, smoke detectors, and relays.
- 4. Execution: a. Provide labor and materials required for expanding the existing system in

b. Central station, remote annunciators, tamper and flow switches, and other.

- accordance with state and local code authorities. b. Provide shop drawings, programming, and calculation, submitted to and approved
- by applicable authorities.

trigger sensors.

- 5. Testing and System Certification: a. The system shall be tested for proper operation.
- b. Following system testing, the factory authorized representative shall provide an affidavit certifying that:
- (1) The system has been inspected and tested and the installation complies with state and local codes for this installation.

END OF SECTION







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SPECIFICATIONS

Project Number

GENERAL LIGHTING NOTES (APPLIES TO ENTIRE PROJECT):

- A. ALL LIGHT FIXTURES SHALL BE TYPE 'A' UNLESS NOTED
- B. ALL CEILING MOUNTED DEVICES LOCATED IN LAY-IN CEILINGS SHALL BE CENTERED IN THE CEILING TILE.
- C. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED TOGETHER UNDER A COMMON COVER PLATE.
- D. PROVIDE UNSWITCHED CIRCUIT TO ALL EXIT SIGNS ORIGINATING FROM CIRCUIT NEAREST EMERGENCY CIRCUIT.
- E. CONTRACTOR SHALL INDICATE LIGHTING CIRCUIT CONTROLLED BY EACH SWITCH BY PROVIDING TYPE WRITTEN LABELING LOCATED ON INSIDE FACE OF EACH SWITCH COVER PLATE.
- F. SPRINKLER CONTRACTOR SHALL COORDINATE SPRINKLER HEAD LOCATIONS WITH CEILING MOUNTED LIGHTING FIXTURES.
- G. PROVIDE ALL EMERGENCY LIGHT FIXTURES WITH UNSWITCHED HOT LEG AS DEFINED IN NEC 700.12
- H. WHEN LOCATING SYSTEMS NEXT TO DOORS, LOCATE 8 INCHES OFF DOOR JAMB TO CENTER OF DEVICE. WHEN MULTIPLE DEVICES ARE TOGETHER, STACK BUT NO MORE THAN 72 INCHES AFF. COORDINATE SWITCH LOCATIONS IN ROOMS WITH ARCHITECT AND OTHER DEVICES (THERMOSTATS, FIRE ALARM, AND CALL BUTTONS).
- I. MINIMUM CIRCUIT SIZE IS 2 #12 AND 1 #12 GROUND IN 3/4" CONDUIT. MAXIMUM FIXTURE WHIP LENGTH FROM ANY J-BOX 6 FEET. LIGHTING CIRCUITS JOINTS SHALL BE MADE UP IN OVERHEAD J-BOXES SECURED TO STRUCTURE WITH LIGHTING WHIPS FROM THE J-BOXES. FIXTURES DESIGNED TO BE QUICK-CLIPPED TOGETHER SHALL BE CONNECTED AS PER MANUFACTURER.
- J. COORDINATE LIGHT LOCATIONS WITH OTHER CEILING ITEMS OR JOIST ITEMS PRIOR TO INSTALLATION. LIGHT LOCATIONS TAKE PRECEDENCE OVER AIR DEVICES.
- K. PROVIDE SECONDARY SUPPORT WIRES FROM ALL FOUR (4) CORNERS OF THE LAY-IN FIXTURES TO THE STRUCTURE ABOVE. DO NOT SUPPORT FIXTURES FROM CEILING GRID WIRE SUPPORTS, PIPING, CONDUIT, SIDE WALLS, OR MECHANICAL EQUIPMENT. CEILING SPECIFICATIONS DO NOT SUPERCEDE THIS REQUIREMENT.
- L. HATCHED FIXTURES ARE UNSWITCHED UNLESS OTHERWISE NOTED OR INDICATED ON PLAN.
- M. FIRESTOP ALL CONDUIT PENETRATIONS IN RATED WALLS. SEE ARCHITECTURAL FOR WALL RATINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO SHEET ROCK AND REPAIR. PROVIDE FIRE RATED SLEEVES IN ALL FLOOR PENETRATIONS.
- N. ALL EXISTING FIXTURES SHALL BE CLEANED AND RELAMPED.
- O. ALL SPACES WITH MORE THAN ONE FIXTURE SHALL HAVE DUAL SWITCHING UNLESS OTHERWISE NOTED.
- P. ALL LIGHTING CIRCUITS NOT CONTROLLED BY OCCUPANCY SENSORS SHALL BE CIRCUITED THROUGH THE LIGHTING CONTACTOR PANEL AND SHALL BE TURNED OFF BASED ON A TIME OF DAY SCHEDULE THROUGH THE TIME SWITCH.

LIGHTING CONTROL LEGEND:

- EATON #OSW-P-010-X
- \$^{OB} EATON #ONW−D−1001−MV−X
- EATON #OAC-DT-2000-R
- RG EATON #RC3-X-X EATON ROOM CONTROLLER WALL STATION - COORDINATE

FILENAME: 88603EF0 LTSCALE: 96 PLOT TIME: 8/31/2017 4:28 PM BY: Kortney

METHOD OF SHWITCH LAYOUT WITH OWNER PRIOR TO

LIGHTING FUNCTIONAL

- A. CONTRACTOR SHALL COMPLETE THE TASKS BELOW TO VERIFY PROJECT DOCUMENTS AND APPLICABLE CODES. WRITTEN DOCUMENTATION SHALL BE PROVIDED TO THE ARCHITECT UPON COMPLETION AND SHALL INCLUDE THE FOLLOWING INFORMATION FOR EACH TASK: DATE PERFORMED, PERSON COMPLETING THE TASK, INITIAL SETTINGS OBSERVED, AND FINAL SETTING UPON COMPLETION.
- A.A. ENSURE LIGHT FIXTURES ARE INSTALLED AND OPERATIONAL. A.B. PERFORM OPERATIONAL TESTING OF EMERGENCY EXIT AND EGRESS LIGHTING COMPONENTS AS REQUIRED BY NFPA 101 FOR ANNUAL TESTING.
- A.C. ENSURE WALLBOX OCCUPANCY SENSORS ARE INSTALLED AND
- A.D. ENSURE WALLBOX TIMER SWITCHES ARE INSTALLED AND OPERATIONAL.
- TEST ALL OCCUPANCY SENSOR DEVICES TO ENSURE THAT THEY HAVE BEEN LOCATED AND AIMED PER MANUFACTURER'S INSTRUCTIONS, THAT STATUS INDICATORS ARE FUNCTIONING, THAT THEY OPERATE THE FIXTURES AS INDICATED IN THE DRAWINGS, THAT TIME DELAYS ARE SET APPROPRIATELY, AND THAT MOVEMENT OUTSIDE OF THE SPACE DOES NOT CAUSE
- A.F. OBSERVE OPERATION ON EXTERIOR LIGHTING ON PHOTOCELL TO ENSURE LIGHTS TURN ON AT DUSK AND ARE OFF DURING DAYLIGHT HOURS, AND TO ENSURE FEEDBACK FROM LIGHTS DOES NOT CAUSE UNNECESSARY CYCLING.
- B. CONTRACTOR SHALL ENSURE THE STEPS ABOVE ARE COMPLETED PRIOR TO SUBSTANTIAL COMPLETION TO AVOID POTENTIAL DELAYS IN OBTAINING CERTIFICATE OF OCCUPANCY.

GENERAL POWER NOTES: (APPLIES TO ENTIRE PROJECT):

- A. CONTRACTOR SHALL VERIFY DEVICE LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL CASEWORK AND MILLWORK ELEVATIONS.
- B. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES FOR ALL TELEPHONE, DATA, CATV, SECURITY, AND CAMERA OUTLETS. REFER TO DIVISION 26 SPECIFICATIONS FOR ALL WORK REQUIRED.
- C. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL EXHAUST FAN CONTROLS. PROVIDE A FAN SWITCH IF INDICATED BY MECHANICAL. ALL EXHAUST FANS SHALL BE PROVIDED WITH BUILT-IN DISCONNECT SWITCH.
- D. HVAC AND PLUMBING EQUIPMENT MAY DIFFER FROM LOCATIONS AS SHOWN ON ELECTRICAL DRAWINGS. COORDINATE EXACT LOCATIONS WITH MECHANICAL AND PLUMBING CONTRACTOR.
- E. ALL RECEPTACLES MOUNTED ABOVE COUNTERS AND WITHIN 6 FEET OF SINKS OR LAVATORIES SHALL BE GFCI TYPE.
- F. CONTRACTOR SHALL INDICATE CIRCUIT SERVING EACH RECEPTACLE BY PROVIDING TYPE WRITTEN LABELING LOCATED ON INSIDE FACE OF EACH RECEPTACLE COVER PLATE.
- G. ELECTRICAL CONTRACTOR SHALL ROUTE ELECTRICAL CONDUIT AND WIRING TO ALL ROOF HVAC EQUIPMENT THROUGH ROOF CURBS. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- H. ALL RECEPTACLES LOCATED IN RESTROOMS, JANITOR CLOSETS, MECHANICAL ROOMS, ELEVATOR PITS OR SHAFTS, ELEVATOR EQUIPMENT ROOMS, SERVING ELECTRIC DRINKING FOUNTAINS OR VENDING MACHINES, LOCATED WITHIN 6' OF A SINK, LOCATED ABOVE A WET COUNTERTOP OR IN A KITCHEN OR COFFEE BAR SHALL BE GFCI. EACH GFCI PROTECTED RECEPTACLE SHARING THE SAME CIRCUIT SHALL HAVE ITS OWN RE-SET AND TEST

GENERAL MECHANICAL NOTES:

1. VERIFY ELECTRICAL REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT WITH BEYER MECHANICAL. (TYPICAL FOR ALL MECHANICAL EQUIPMENT)

GENERAL FIRE ALARM NOTES:

- A. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO REQUIRE THAT THE EXISTING FIRE DETECTION AND ALARM SYSTEM BE MODIFIED TO AFFECT COMPLIANCE WITH APPLICABLE CODES, APRIL 22, 2004: "PLANNING OF FIRE ALARM SYSTEMS". THE SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH THE TO THE PROJECT.
- B. THE SYSTEM PROVIDER (CONTRACTOR/INSTALLER):
- B.A. MUST BE LICENSED BY THE STATE OF TEXAS AS "FIRE ALARM PLANNING SUPERINTENDENT" AND A CERTIFIED NICET LEVEL III
- B.B. IS RESPONSIBLE FOR THE PLANNING, DESIGN, INSTALLATION, TESTING AND CERTIFICATION OF THE SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS;
- B.C. IS RESPONSIBLE FOR COORDINATING THE DESIGN, PLANNING AND INSTALLATION OF THE SYSTEM WITH THE WORK OF THE CONTRACT AND FOR PROVIDING THE LABOR, EQUIPMENT, MATERIALS, HARDWARE AND SOFTWARE REQUIRED TO COMPLY WITH AND PERFORM THE FUNCTIONS REQUIRED BY THE APPLICABLE CODES, ORDINANCES AND REGULATIONS AND THE SPECIFICATIONS: AND
- B.D. IS RESPONSIBLE FOR EXAMINING THE CONSTRUCTION SPECIFICATIONS AND CONSTRUCTION DRAWINGS TO DETERMINE THE CHARACTERISTICS, QUANTITY AND LOCATION OF THE EQUIPMENT, SYSTEMS, DEVICES AND APPLIANCES REQUIRED TO BE SUPERVISED, MONITORED AND CONTROLLED BY THE FIRE ALARM SYSTEM
- C. PROVIDED PRODUCTS SHALL BE SIMILAR TO AND OF THE SAME
- MANUFACTURER AS THE EXISTING SYSTEM D. MAKE SUBMISSION OF INSTALLATION DRAWINGS AND OBTAIN PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.

GENERAL DEMOLITION NOTES:

- 1. DRAWINGS DO NOT REFLECT EXACT LOCATION AND QUANTITY OF ELECTRICAL DEVICES i.e. LIGHT FIXTURES, SPEAKERS, FIRE ALARM DEVICES, MISCELLANEOUS ABANDONED WIRING AND CABLES, ABANDONED CONDUIT AND J-BOXES, SECURITY DEVICES, DATA OUTLETS, AND ELECTRICAL CONNECTIONS TO MECHANICAL EQUIPMENT SCHEDULED FOR REMOVAL. FIELD VERIFY LOCATION AND QUANTITY OF ITEMS TO BE REMOVED, COORDINATE DEMOLITION WITH OWNERS REPRESENTATIVE AS NO ALLOWANCE WILL BE MADE BECAUSE OF UNFAMILIARITY WITH THESE DETAILS.
- WITH LED REPLACEMENT LAMPS WITH COLOR TO MATCH NEW FIXTURES.
- 4. REMOVE TELEPHONE AND DATA CABLES ABANDONED OR NOT ASSOCIATED COMPLETELY, AS REQUIRED BY 2014 NEC 800,154(A) FOR OPEN WIRING SYSTEMS IN SPACES USED FOR ENVIRONMENTAL AIR.
- 5. SALVAGED ITEMS AND MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE DELIVERED TO SUCH DESTINATION AS DIRECTED
- LIGHT FIXTURES SCHEDULED FOR DEMOLITION, BACK TO THE PROTECTIVE DEVICE IN A PANELBOARD. THE PROTECTIVE DEVICE SHALL REMAIN FOR REUSE. UPDATE PANEL INDEXES WITH NEW TYPED INDEXES REFLECTING MODIFICATIONS.
- 7. COORDINATE AND REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT SCOPE OF THE DEMOLITION WORK TO BE PREFORMED UNDER THIS
- 8. REFER TO ARCHITECTURAL DRAWINGS FOR PHASING.

- ORDINANCES AND REGULATIONS. IN ACCORDANCE WITH THE TEXAS BOARD OF PROFESSIONAL ENGINEERS, POLICY ADVISORY APPROVED PRESCRIPTIVE CODES, ORDINANCES AND REGULATIONS APPLICABLE
- (MINIMUM) TECHNICIAN;

- 2. ALL FLUORESCENT 2X4 LIGHT FIXTURES SHALL BE REMOVED AND REPLACED WITH NEW 2X4 LED LIGHT FIXTURES. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXACT SCOPE OF DEMOLITION.
- 3. EXISTING DOWN LIGHTS THAT ARE TO REMAIN ARE TO BE RE-LAMPED
- BY THE OWNER.
- 6. REMOVE BRANCH CIRCUITS SERVING EQUIPMENT, RECEPTACLES, AND



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Ph: 210 736-4265 Fx: 210 462-4907

Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/a

St, 82(31 E F Antor

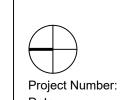
AREA REAL ESTATE, LLC

REVISIONS:

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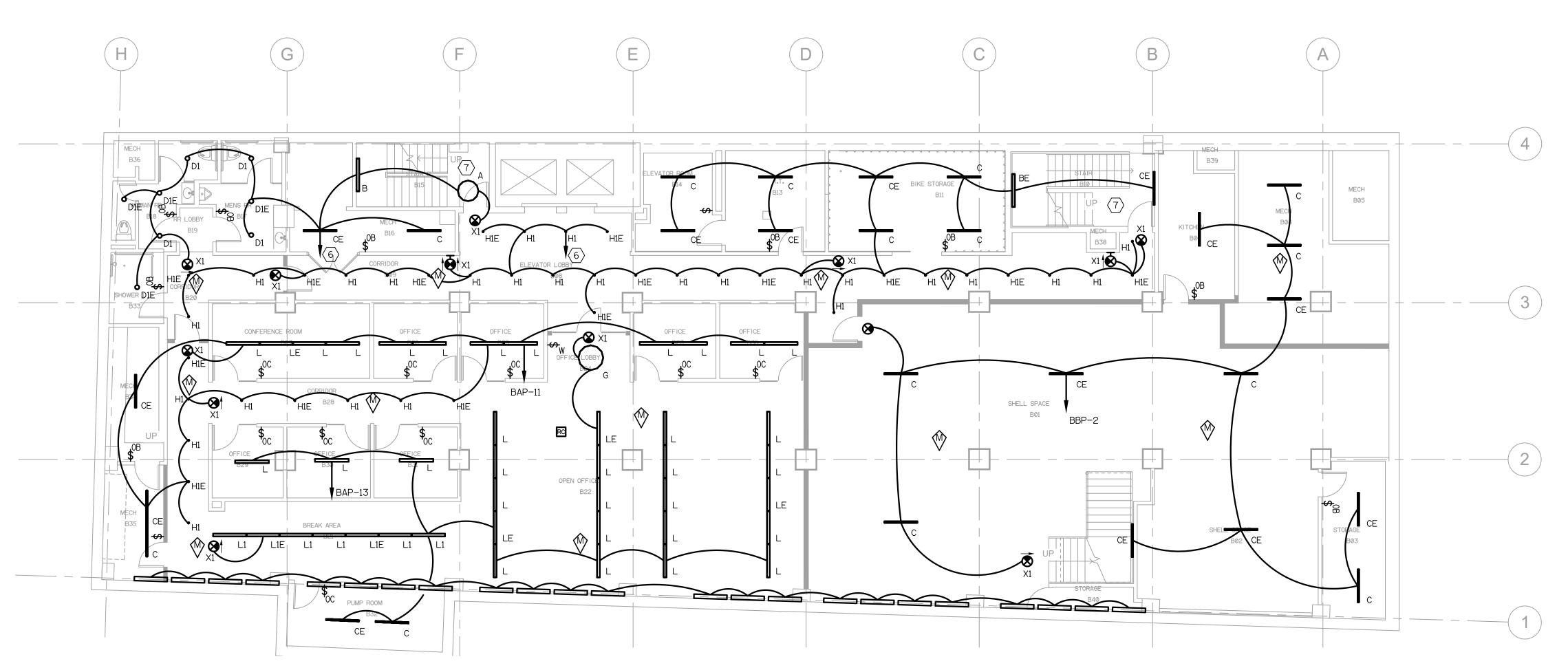


ELECTRICAL NOTES

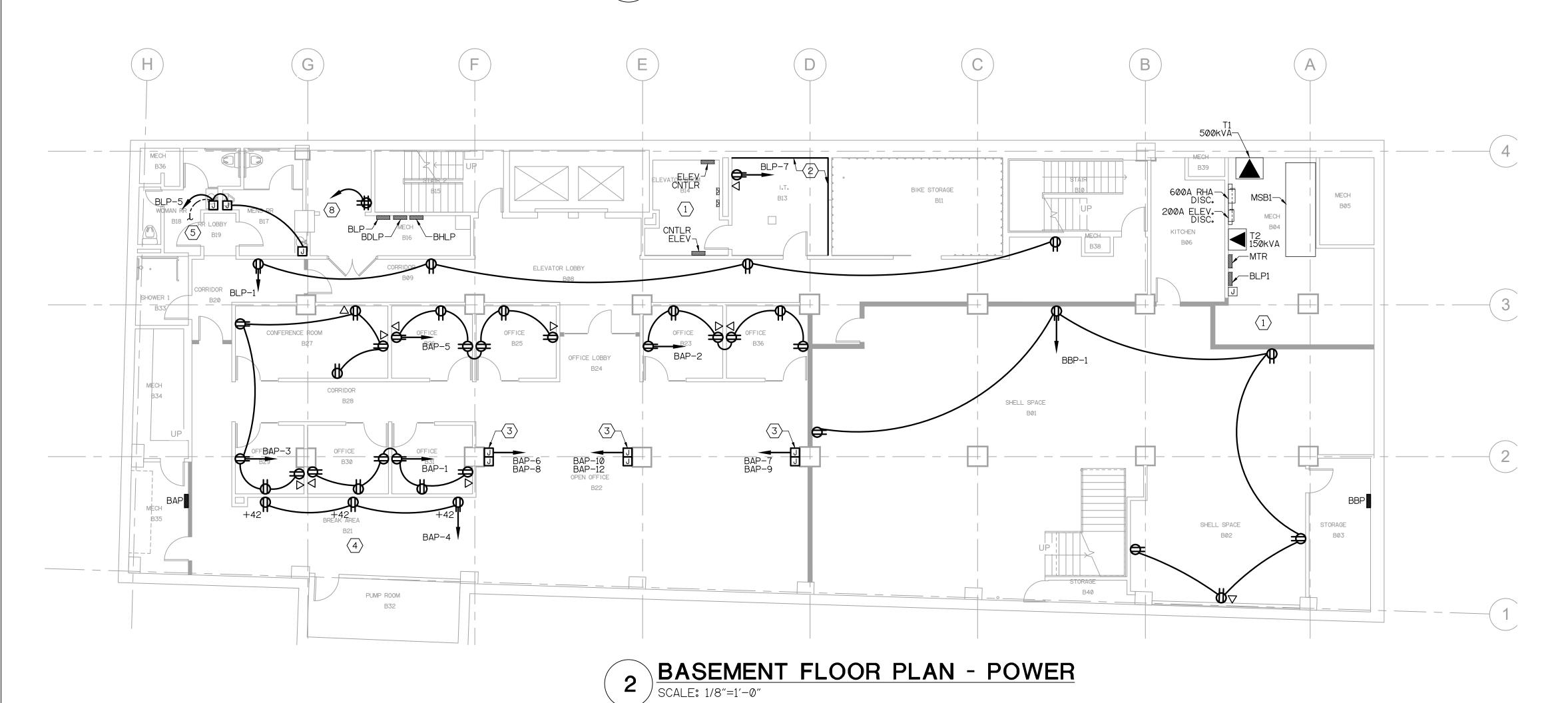




- THE LIGHTING CONTROLS ARE OPERATING AS PRESCRIBED BY THE
- OPERATIONAL.
- THE SENSOR TO OPERATE.



1 BASEMENT FLOOR PLAN - LIGHTING
SCALE: 1/8"=1'-0"



(#) KEYED NOTES:



- 2. PROVIDE 8' X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD ALONG WALL FOR TELEPHONE/DATA TERMINATIONS
- 3. PROVIDE TWO (2) JUNCTION BOXES AT BASE OF WALL, ONE (1) FOR POWER AND ONE (1) FOR DATA CONNECTION TO TENANT FURNITURE SYSTEM. COORDINATE EXACT LOCATION WITH TENANT/ARCHITECT. ELECTRICAL CONTRACTOR SHALL CONNECT WHIP TO JUNCTION BOX.
- 4. ALL DUPLEX RECEPTACLES IN BREAK ROOM WITH—IN 6' OF SINK SHALL BE GFCI.
- 5. EXTEND SWITCHLEG TO LOCAL CONTROL.
- 6. ROUTE CIRCUIT TO NEAREST AVAILABLE 20A SPARE IN 120V
- 7. PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY SENSORS.
- 8. ROUTE CIRCUIT TO AVAILABLE SPARE IN 120V PANEL. RECEPTACLE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.

ELEVATOR AND EQUIPMENT EXISTING TO REMAIN.



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Landscape Architect:

Civil:

n/a

BUILDING

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OWNER: AREA REAL ESTATE, LLC

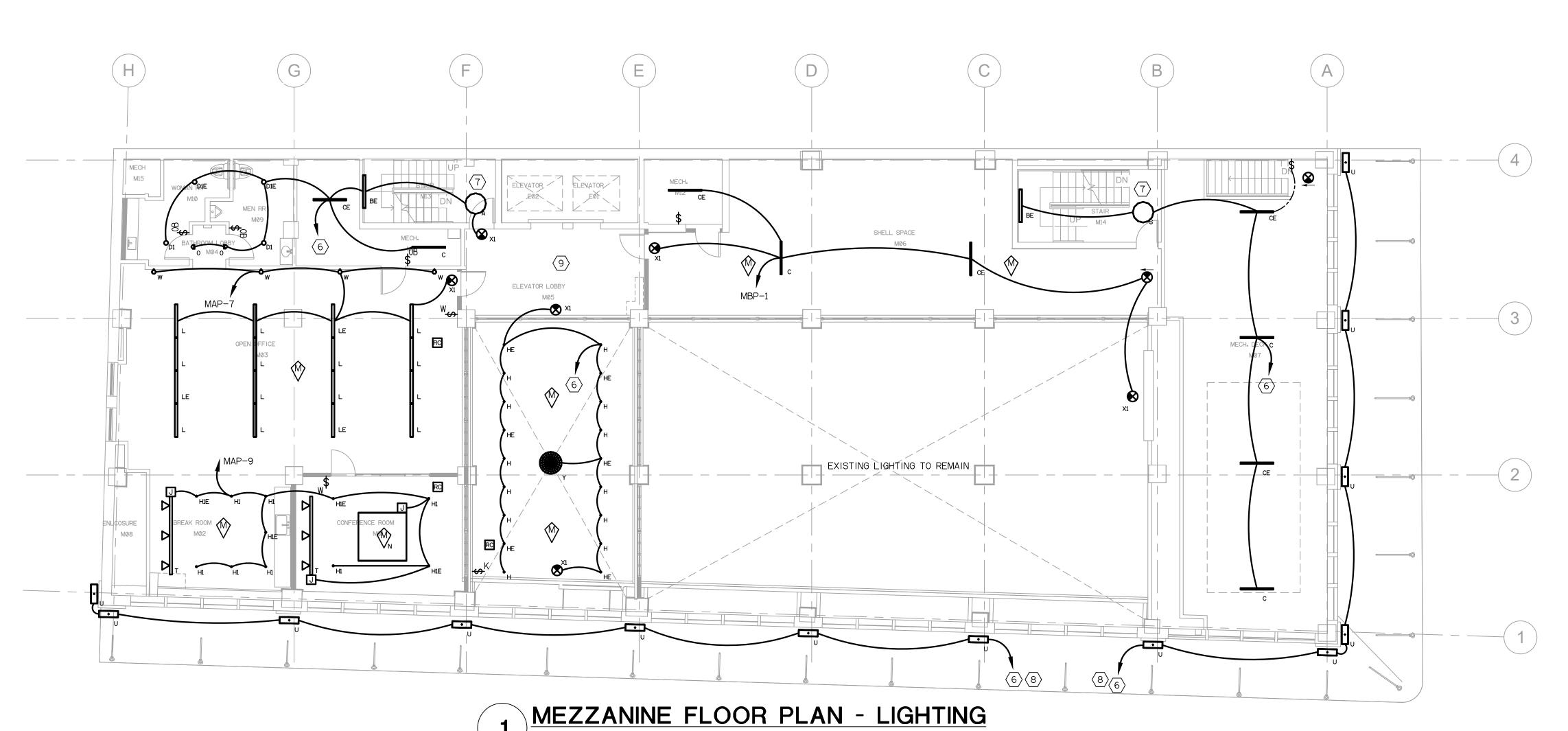
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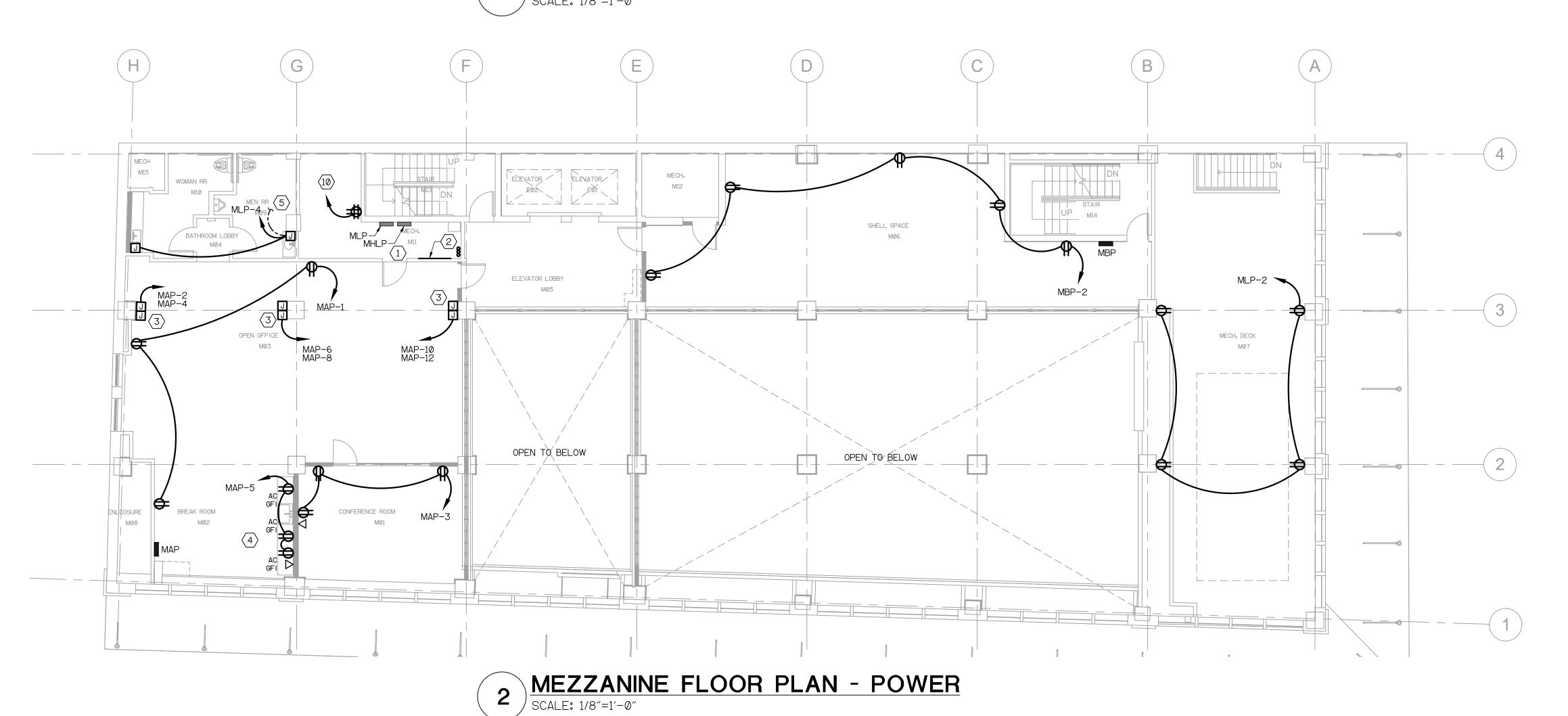


BASEMENT FLOOR PLAN - ELECTRICAL

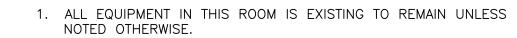


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8/7/2017





(#) KEYED NOTES:



- 2. PROVIDE 8' X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD ALONG WALL FOR TELEPHONE/DATA TERMINATIONS
- 3. PROVIDE TWO (2) JUNCTION BOXES AT BASE OF WALL, ONE (1) FOR POWER AND ONE (1) FOR DATA CONNECTION TO TENANT FURNITURE SYSTEM. COORDINATE EXACT LOCATION WITH TENANT/ARCHITECT. ELECTRICAL CONTRACTOR SHALL CONNECT WHIP TO JUNCTION BOX.
- 4. ALL DUPLEX RECEPTACLES IN BREAK ROOM SHALL BE GFCI.
- 5. EXTEND SWITCHLEG TO LOCAL CONTROL.
- 6. ROUTE CIRCUIT TO NEAREST AVAILABLE 20A SPARE IN PANEL MLP.
- 7. PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY SENSORS.
- 8. ROUTE CIRCUIT THRU TIMECLOCK. COORDINATE TIME OF DAY SCHEDULE WITH OWNER.
- 9. EXISTING RECESSED CANS TO BE RELAMPED WITH LED SCREW TYPE BULBS FIELD VERIFY QUANITY. LIGHTING AND CONTROLS TO REMAIN AS IS. FIELD VERIFY SWITCHING AND PROVIDE MODIFICATION AS REQUIRED.
- 10. ROUTE CIRCUIT TO AVAILABLE SPARE IN 120V PANEL.
 RECEPTACLE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.

EXISTING ELEVATOR AND EQUIPMENT EXISTING TO REMAIN.

TADA

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MEP:

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Landscape Architect:

n/a

Civil:

n/a

BUILDING

OWNER: AREA REAL ESTATE, LLC

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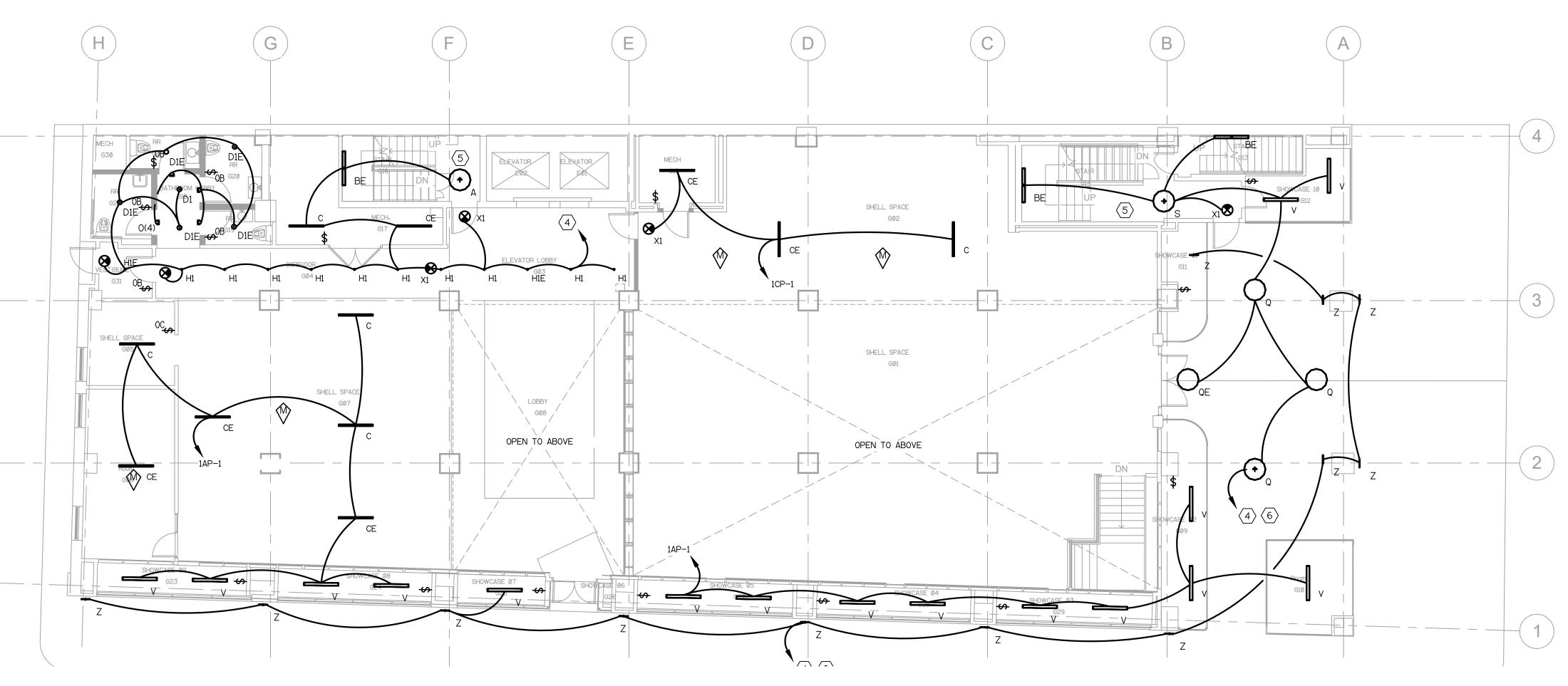


MEZZANINE FLOOR PLAN - ELECTRICAL

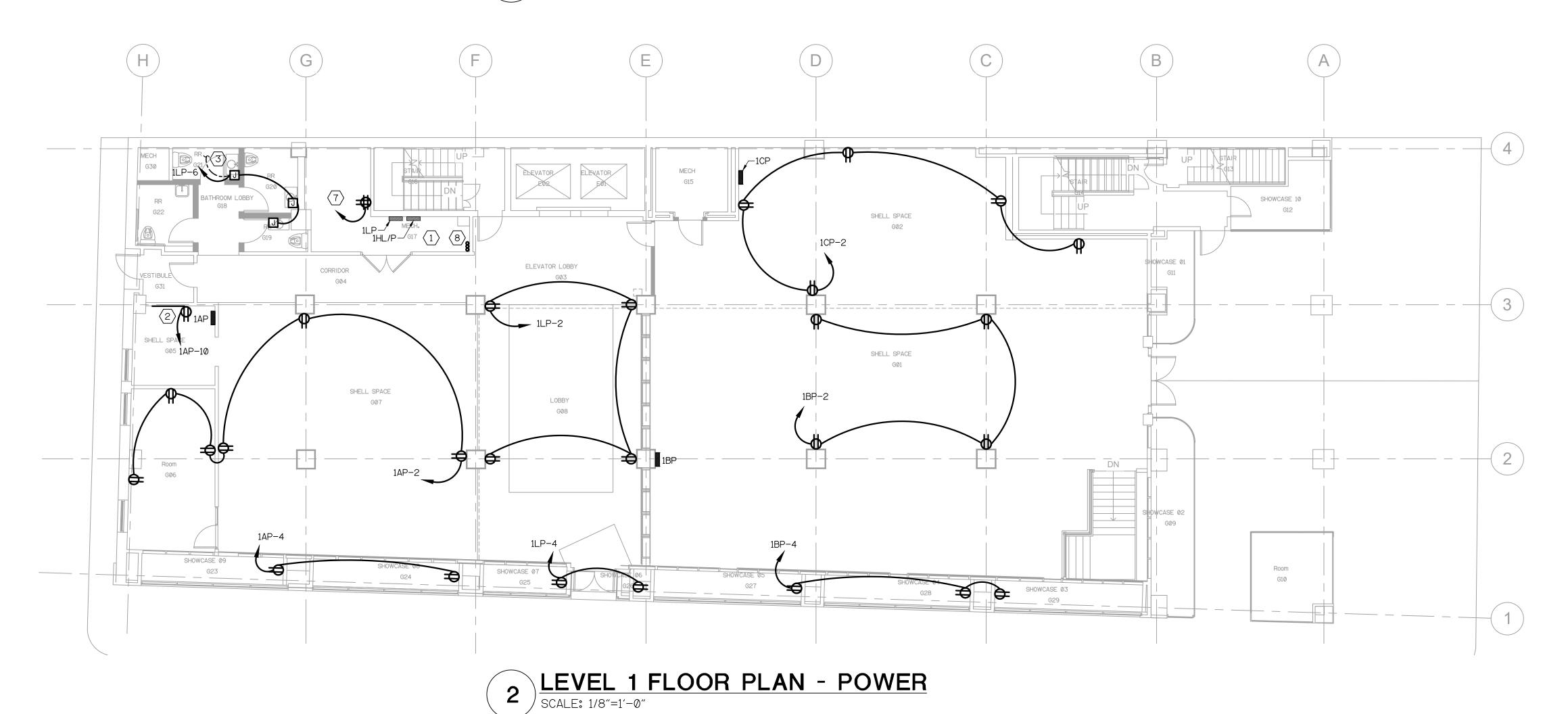


E202

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(#) KEYED NOTES:

- ALL EQUIPMENT IN THIS ROOM IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- 2. PROVIDE 8' X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD ALONG WALL FOR TELEPHONE/DATA TERMINATIONS
- 3. EXTEND SWITCHLEG TO LOCAL CONTROL.
- 4. ROUTE CIRCUIT TO NEAREST AVAILABLE 20A SPARE IN PANEL 1LP.
- 5. PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY SENSORS.
- 6. ROUTE CIRCUIT THRU TIMECLOCK. COORDINATE TIME OF DAY SCHEDULE WITH OWNER.
- 7. ROUTE CIRCUIT TO AVAILABLE SPARE IN 120V PANEL. RECEPTACLE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- 8. ROUTE (3) 4" CONDUIT SLEEVES THRU EACH FLOOR FOR VERTICAL TELECOM WIRING. TYP FOR EVERY FLOOR.

EXISTING ELEVATOR AND EQUIPMENT EXISTING TO REMAIN.



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Landscape Architect:

Civil:

n/a

BUILDING

401 E Houston St San Antonio. TX 782

OWNER: AREA REAL ESTATE, LLC

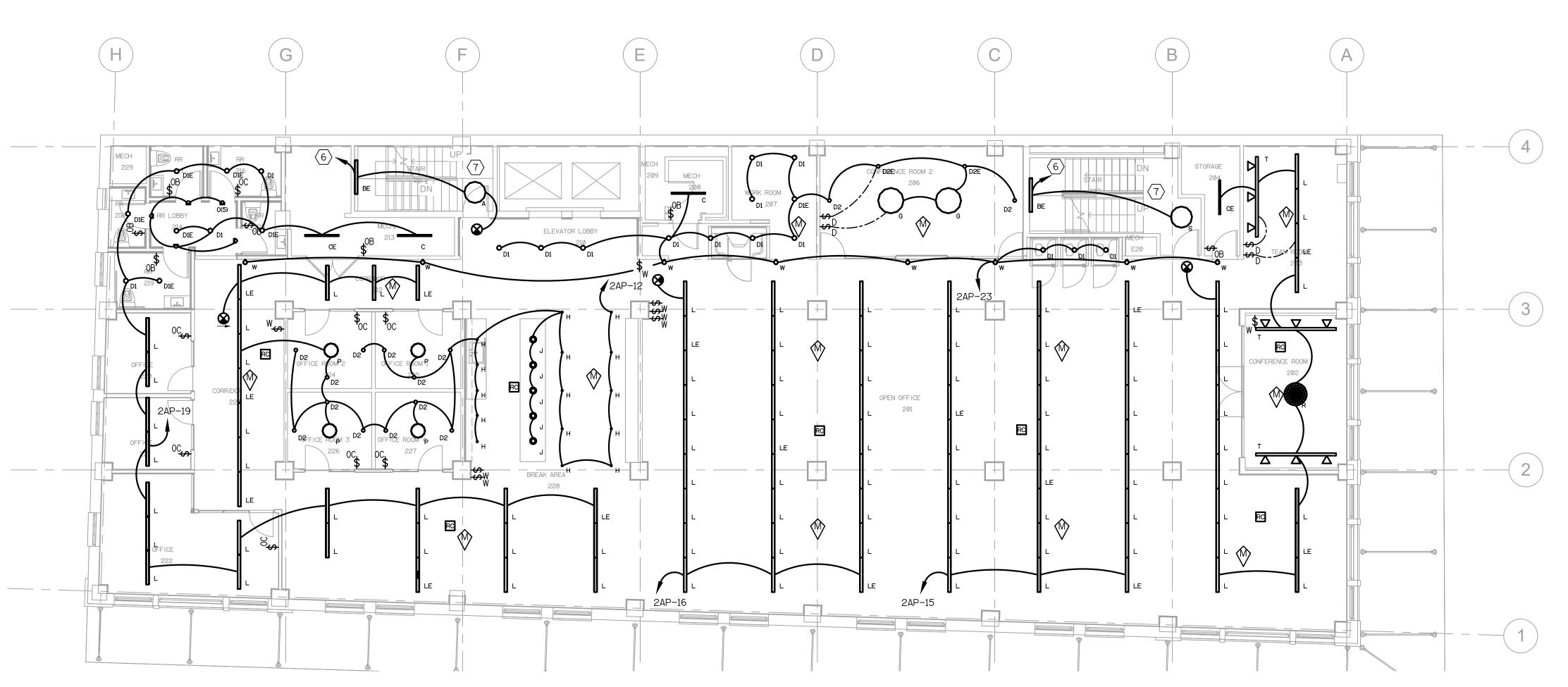
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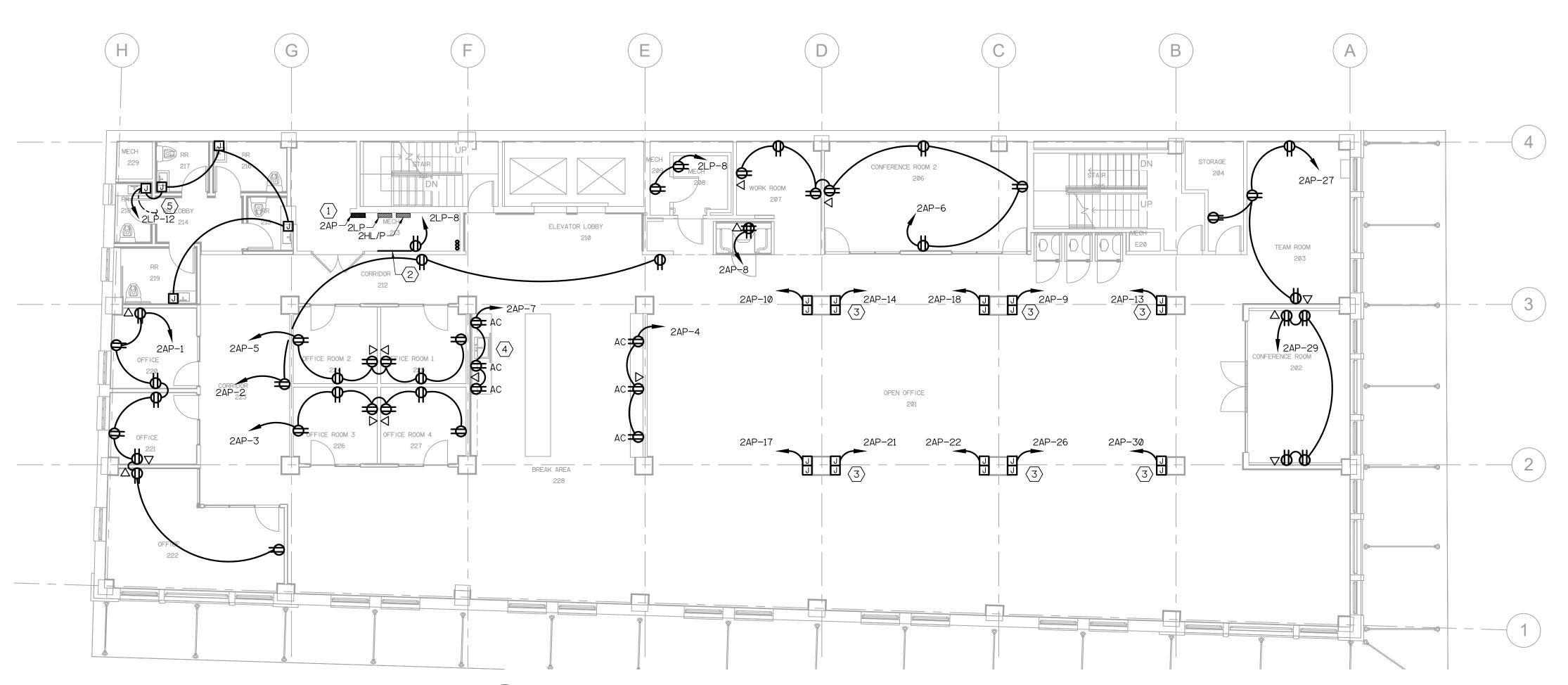
LEVEL 1 FLOOR PLAN ELECTRICAL



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8/7/2017



1 LEVEL 2 FLOOR PLAN - LIGHTING SCALE: 1/8"=1'-0"



2 LEVEL 2 FLOOR PLAN - POWER SCALE: 1/8"=1'-0"

(#) KEYED NOTES:

- ALL EQUIPMENT IN THIS ROOM IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- 2. PROVIDE 8' X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD ALONG WALL FOR TELEPHONE/DATA TERMINATIONS
- 3. PROVIDE TWO (2) JUNCTION BOXES AT BASE OF WALL, ONE (1) FOR POWER AND ONE (1) FOR DATA CONNECTION TO TENANT FURNITURE SYSTEM. COORDINATE EXACT LOCATION WITH TENANT/ARCHITECT. ELECTRICAL CONTRACTOR SHALL CONNECT WHIP TO JUNCTION BOX.
- 4. ALL DUPLEX RECEPTACLES IN BREAK ROOM SHALL BE GFCI.
- 5. EXTEND SWITCHLEG TO LOCAL CONTROL.
- 6. ROUTE CIRCUIT TO NEAREST AVAILABLE 20A SPARE IN PANEL
- 7. PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY SENSORS.

EXISTING ELEVATOR AND EQUIPMENT EXISTING TO REMAIN.



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n/a

MEP:

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Ph: 210 736-4265 Fx: 210 462-4907 Texas Registration No. F-465

Landscape Architect:

Civil:

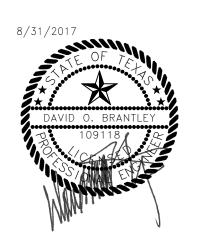
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BUILDING

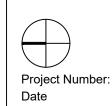
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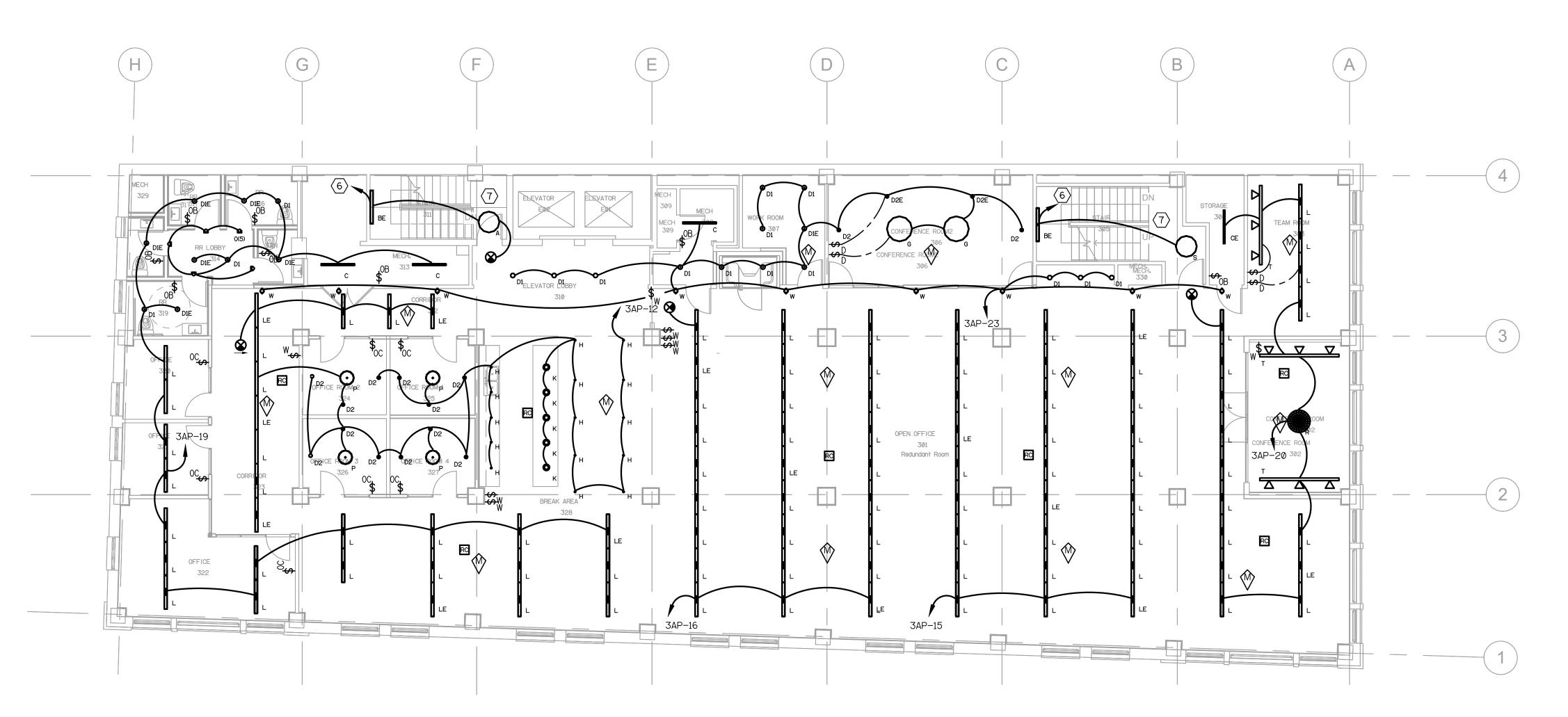


LEVEL 2 FLOOR PLAN ELECTRICAL



E203

1712
8/7/2017



***** KEYED NOTES:

- 2. PROVIDE 8' X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD
- 3. PROVIDE TWO (2) JUNCTION BOXES AT BASE OF WALL, ONE (1) FOR POWER AND ONE (1) FOR DATA CONNECTION TO TENANT FURNITURE SYSTEM. COORDINATE EXACT LOCATION WITH TENANT/ARCHITECT. ELECTRICAL CONTRACTOR SHALL CONNECT
- 4. ALL DUPLEX RECEPTACLES IN BREAK ROOM SHALL BE GFCI.
- 5. EXTEND SWITCHLEG TO LOCAL CONTROL.
- SENSORS.

EXISTING ELEVATOR AND EQUIPMENT EXISTING TO REMAIN.

ALL EQUIPMENT IN THIS ROOM IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

ALONG WALL FOR TELEPHONE/DATA TERMINATIONS

WHIP TO JUNCTION BOX.

- 6. ROUTE CIRCUIT TO NEAREST AVAILABLE 20A SPARE IN PANEL
- 7. PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY

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New Braunfels, TX 78130 (210) 885-7954

Architecture

Patrick Winn, AIA

Landscape Architect:

Structural:

n/a

Civil:

n/a

AREA REAL ESTATE, LLC

REVISIONS:

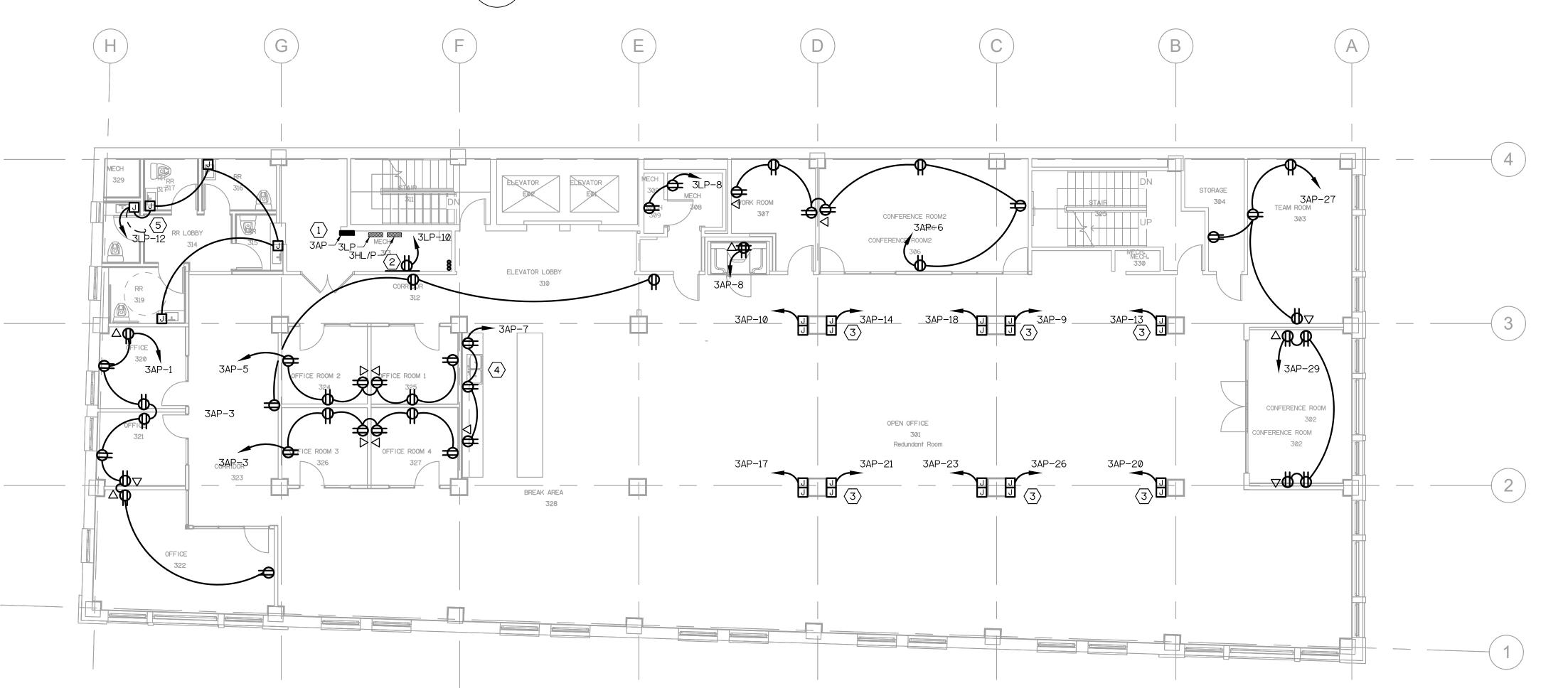


LEVEL 3 FLOOR PLAN ELECTRICAL



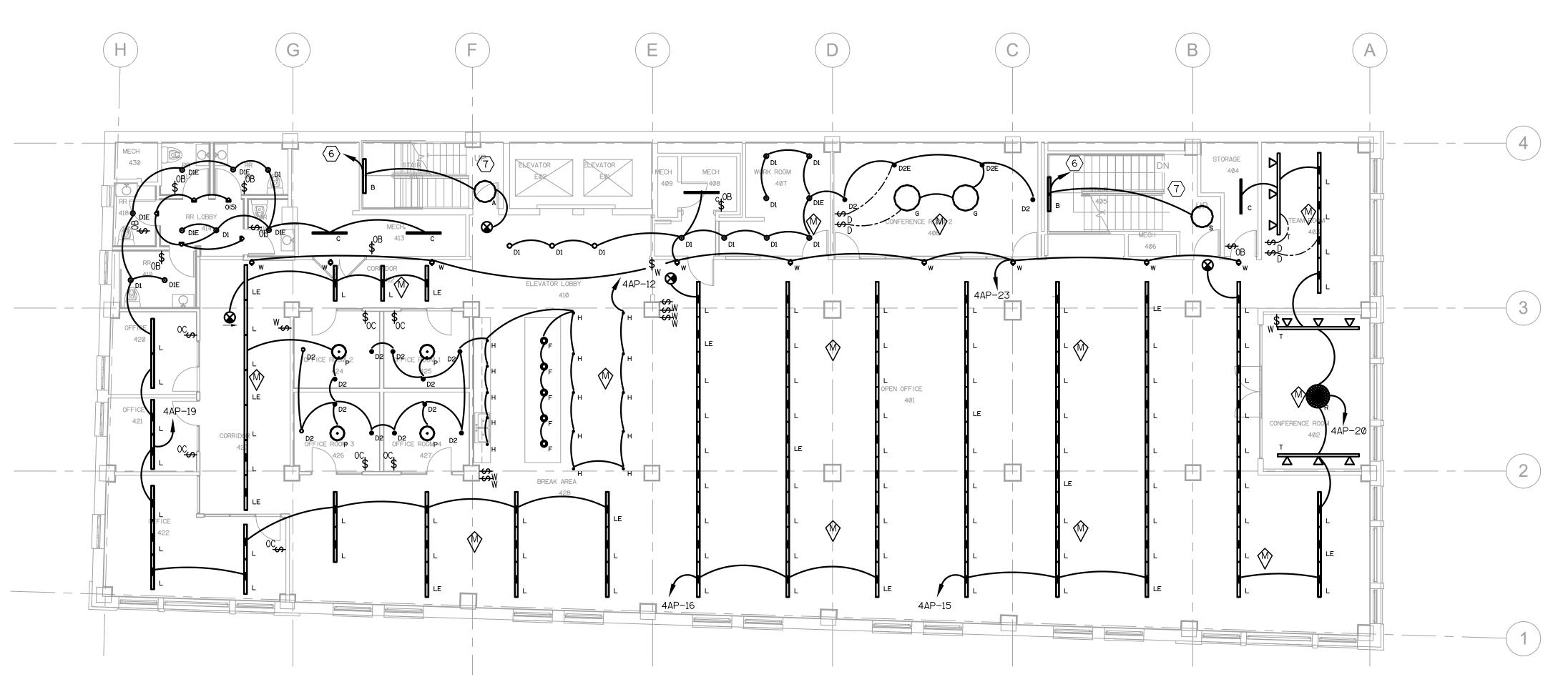


LEVEL 3 FLOOR PLAN - LIGHTING SCALE: 1/8"=1'-0"

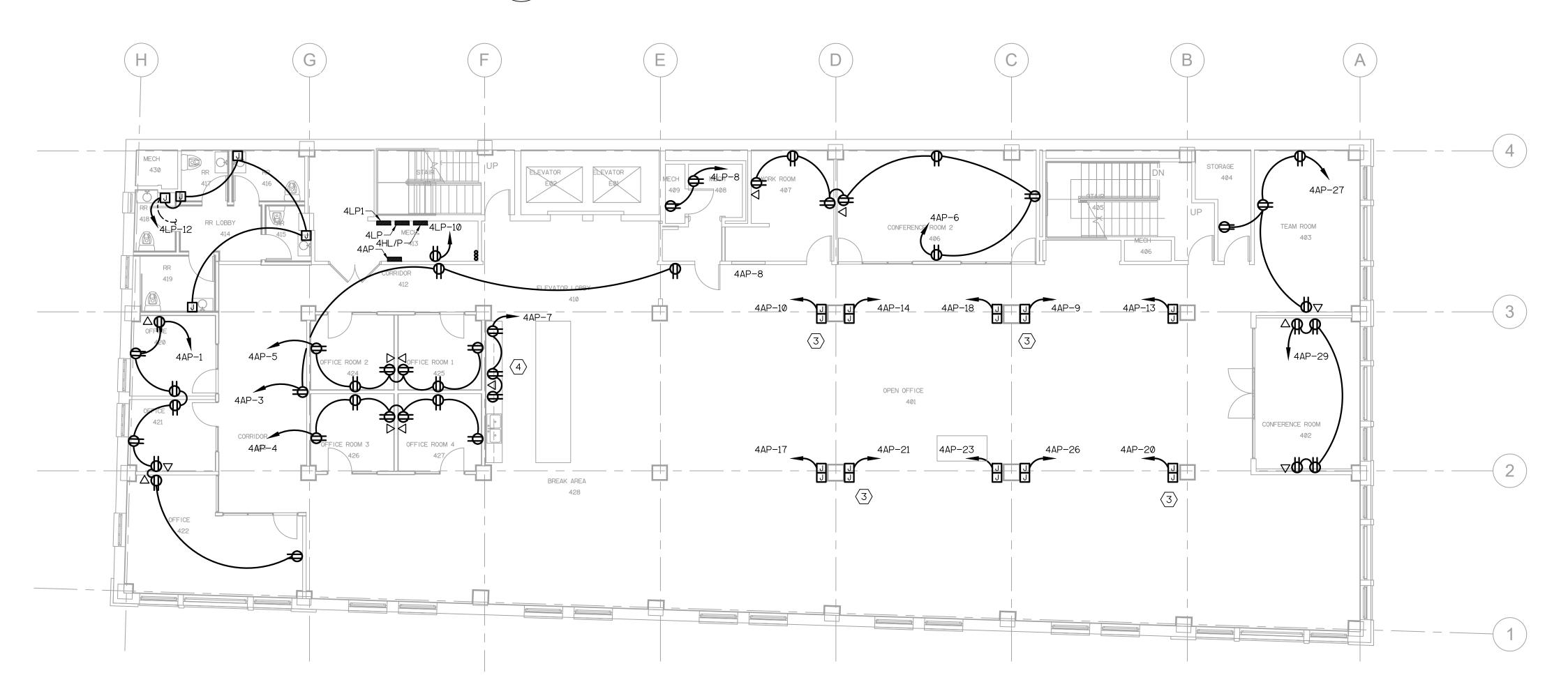


LEVEL 3 FLOOR PLAN - POWER

SCALE: 1/8"=1'-0"



1 LEVEL 4 FLOOR PLAN - LIGHTING
SCALE: 1/8"=1'-0"



2 LEVEL 4 FLOOR PLAN - POWER
SCALE: 1/8"=1'-0"

(#) KEYED NOTES

- 1. ALL EQUIPMENT IN THIS ROOM IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- 2. PROVIDE 8' X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD ALONG WALL FOR TELEPHONE/DATA TERMINATIONS
- 3. PROVIDE TWO (2) JUNCTION BOXES AT BASE OF WALL, ONE (1) FOR POWER AND ONE (1) FOR DATA CONNECTION TO TENANT FURNITURE SYSTEM. COORDINATE EXACT LOCATION WITH TENANT/ARCHITECT. ELECTRICAL CONTRACTOR SHALL CONNECT WHIP TO JUNCTION BOX.
- 4. ALL DUPLEX RECEPTACLES IN BREAK ROOM SHALL BE GFCI.
- 5. EXTEND SWITCHLEG TO LOCAL CONTROL.
- 6. ROUTE CIRCUIT TO NEAREST AVAILABLE 20A SPARE IN PANEL
- PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY SENSORS.

EXISTING ELEVATOR AND EQUIPMENT EXISTING TO REMAIN.



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MEP: CONSULTING ENGINEERS

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Landscape Architect:

′a

Civil:

n/a

BUILDING

401 E Houston St,

OWNER: AREA REAL ESTATE, LLC

REVISIONS:

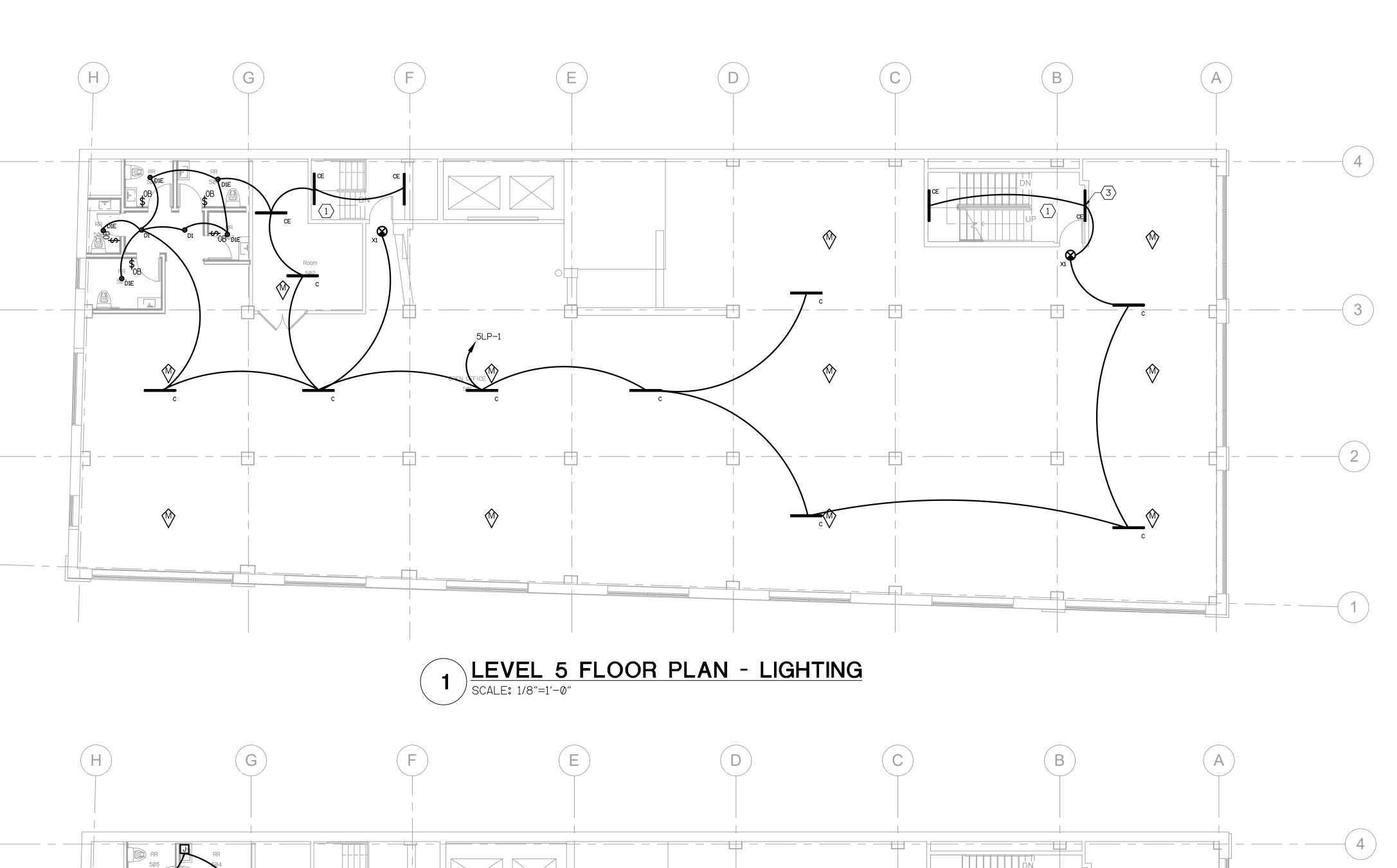


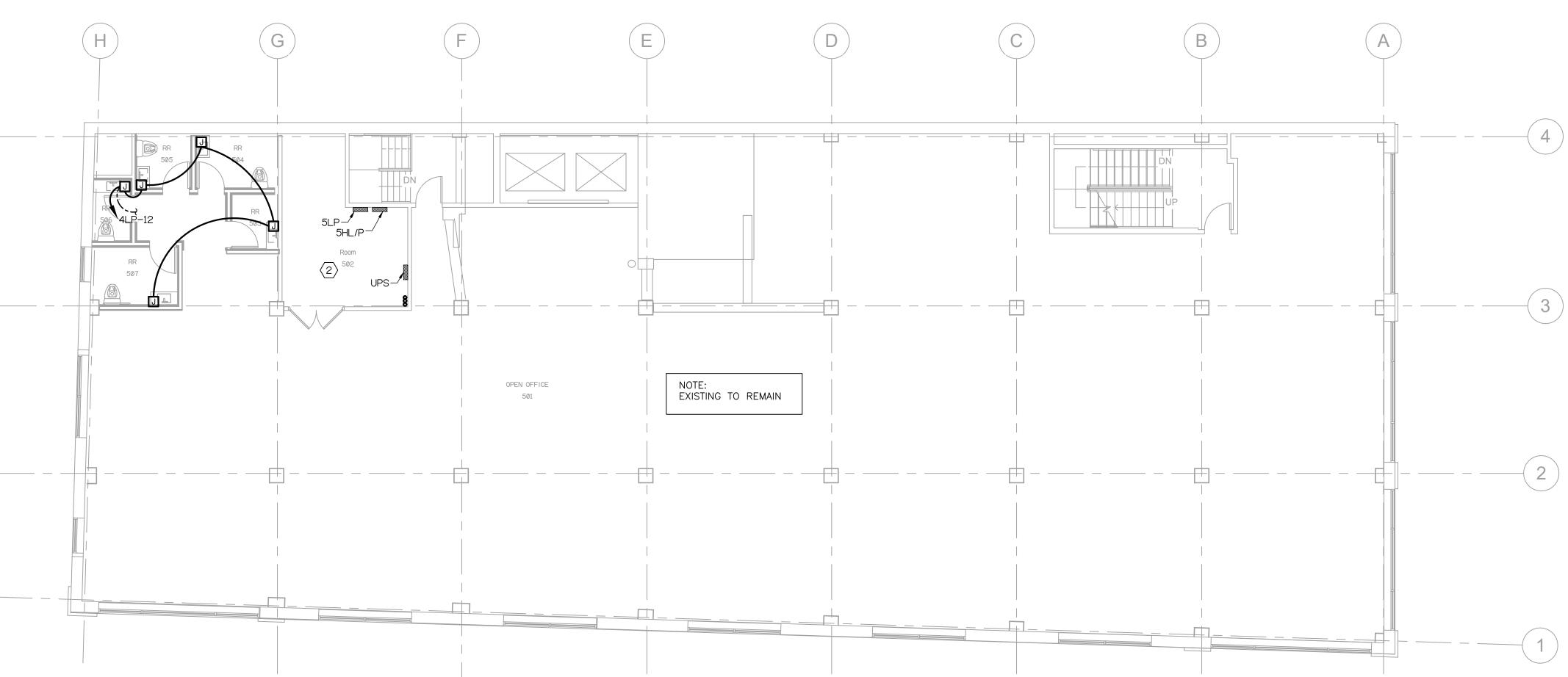
LEVEL 4 FLOOR PLAN ELECTRICAL



E205

1712
8/7/2017





LEVEL 5 FLOOR PLAN - POWER

SCALE: 1/8"=1'-0"

(#) KEYED NOTES:

- PROVIDE FIXTURES WITH FACTORY MOUNTED OCCUPANCY SENSORS.
- 2. EXISTING UPS AND MINI SPLIT TO REMAIN.
- 3. FIXTURE LOCATED AT LANDING ABOVE.

NOTE: EXISTING ELEVATOR AND EQUIPMENT EXISTING TO REMAIN. Total /



Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

MEP:

CONSULTING ENGINEERS

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Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

/a

Civil:

n/a

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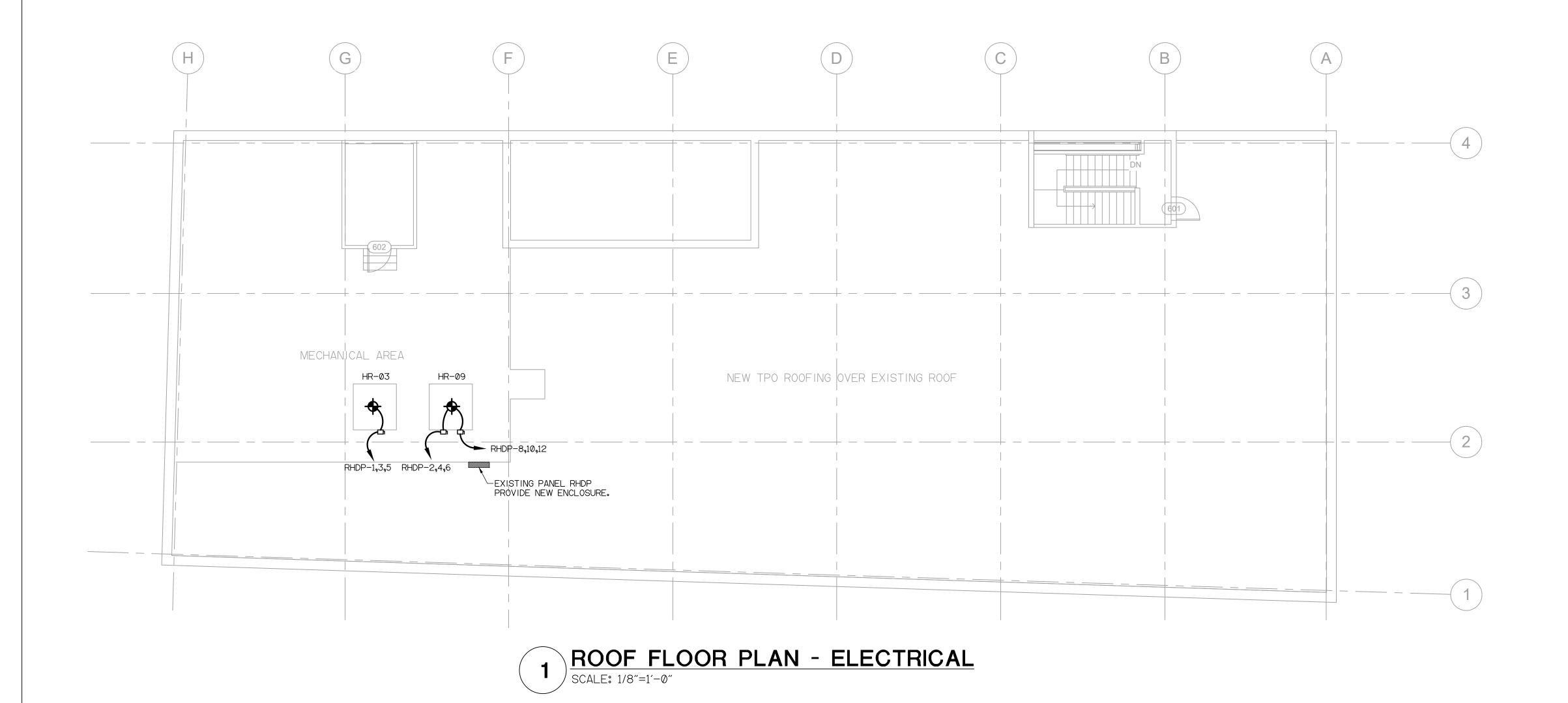
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REVISIONS:



LEVEL 5 FLOOR PLAN ELECTRICAL





Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS 8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Texas Registration No. F-465

Landscape Architect:

Civil:

n/a

BURNS

OWNER: AREA REAL ESTATE, LLC

REVISIONS:

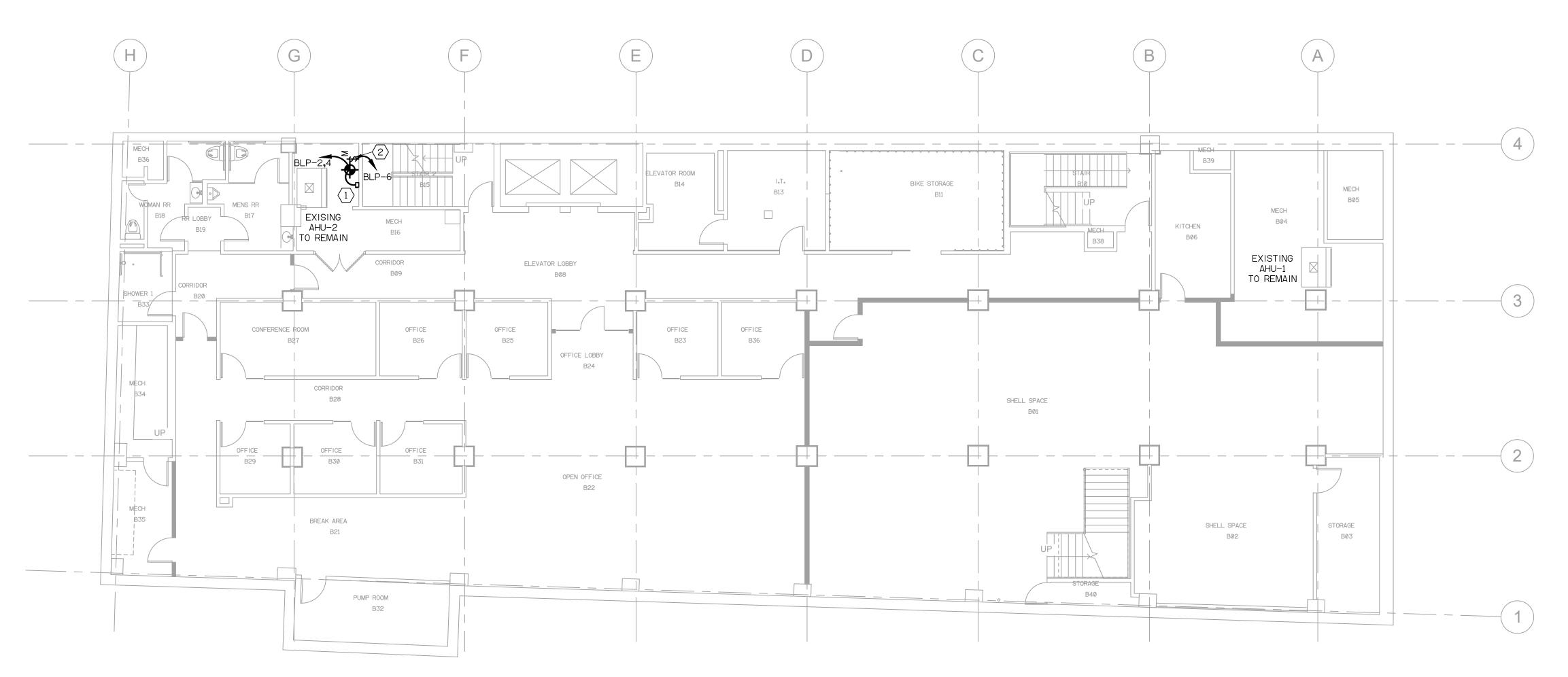


ROOF FLOOR PLAN ELECTRICAL

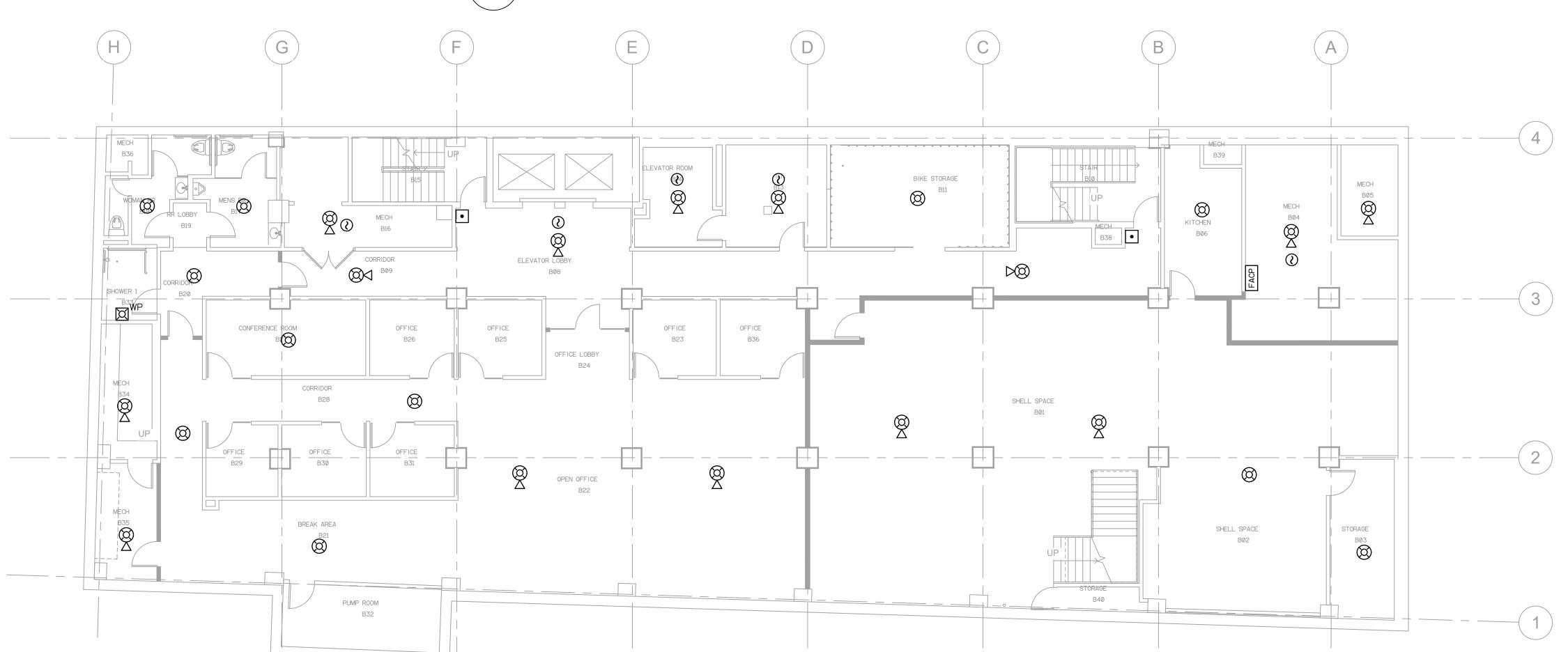
E207



Project Number:



1 BASEMENT FLOOR PLAN - MECHANICAL POWER SCALE: 1/8"=1'-0"



2 BASEMENT FLOOR PLAN - SPECIAL SYSTEMS
SCALE: 1/8"=1'-0"

GENERAL FIRE ALARM NOTES (APPLIES TO ENTIRE PROJECT):

A. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO REQUIRE A FIRE DETECTION AND ALARM SYSTEM IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS. IN ACCORDANCE WITH THE TEXAS BOARD OF PROFESSIONAL ENGINEERS, POLICY ADVISORY APPROVED APRIL 22, 2004: "PLANNING OF FIRE ALARM SYSTEMS". THE SYSTEM IS SPECIFIED IN WRITING BY PERFORMANCE SPECIFICATION. THE PRESCRIPTIVE CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THE PROJECT ARE CONTAINED IN THE CONSTRUCTION SPECIFICATIONS.

B. THE SYSTEM PROVIDER(CONTRACTOR/INSTALLER):

- B.A. MUST BE LICENSED BY THE STATE OF TEXAS AS "FIRE ALARM PLANNING SUPERINTENDENT" AND A CERTIFIED NICET LEVEL III (MINIMUM). TECHNICIAN;
- B.B. IS RESPONSIBLE FOR THE PLANNING, DESIGN, INSTALLATION, TESTING AND CERTIFICATION OF THE SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS;
- B.C. IS RESPONSIBLE FOR COORDINATING THE DESIGN, PLANNING AND INSTALLATION OF THE SYSTEM WITH THE WORK OF THE CONTRACT AND FOR PROVIDING THE LABOR, EQUIPMENT, MATERIALS, HARDWARE AND SOFTWARE REQUIRED TO COMPLY WITH AND PERFORM THE FUNCTIONS REQUIRED BY THE APPLICABLE CODES, ORDINANCES AND REGULATIONS AND THE SPECIFICATIONS; AND
- B.D. IS RESPONSIBLE FOR EXAMINING THE CONSTRUCTION
 SPECIFICATIONS AND CONSTRUCTION DRAWINGS TO DETERMINE
 THE CHARACTERISTICS, QUANTITY AND LOCATION OF THE
 EQUIPMENT, SYSTEMS, DEVICES AND APPLIANCES REQUIRED TO
 BE SUPERVISED, MONITORED AND CONTROLLED BY THE FIRE
 ALARM SYSTEM.
- C. REVIEW THE DRAWINGS AND SPECIFICATIONS FOR IDENTIFICATION AND DESCRIPTION OF SYSTEM EQUIPMENT, COMPONENTS, MATERIALS, DEVICES, APPLIANCES AND FUNCTIONS REQUIRED BY THESE DOCUMENTS AND NOT REQUIRED BY APPLICABLE CODES. INCLUDE IN THE DESIGN, PLANNING, INSTALLATION, TESTING AND CERTIFICATION OF THE SYSTEM AS IF SO REQUIRED.
- D. MAKE SUBMISSION OF INSTALLATION DRAWINGS AND OBTAIN PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- E. CONTRACTOR TO PROVIDE POWER PACKS AS REQUIRED.
- F. PROVIDE SMOKE DETECTORS AS REQUIRED IN AREAS WITH NEW FCU. COORDINATE WITH MECHANICAL INSTALLER.

GENERAL MECHANICAL POWER NOTES:

A. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL EXISTING ZONE DAMPERS NOT SCHEDULED FOR DEMOLITION REMAIN ACTIVE AND CONNECTED TO EXISTING BRANCH CIRCUITS. COORDINATE WITH DIV. 26.

(#) KEYED NOTES:

- 1. PROVIDE NEW 30A/2P/3W/NON-FUSED SWITCH FOR EWH. COORDINATE CONNECTION AND LOCATION WITH DVI 23 INSTALLER.
- 2. PROVIDE MOTOR RATED SWITCH FOR FRACTIONAL HP MOTOR. COORDINATE FINAL CONNECTION WITH DIV 23 INSTALLER.



Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS
8200 IH-10 West, Suite 312

San Antonio, Texas 78230

Ph: 210 736-4265 Fx: 210 462-4907

Texas Registration No. F-465

Landscape Architect:

Civil:

n/a

n/a

S BUILDING

OWNER: AREAL ESTATE, LLC

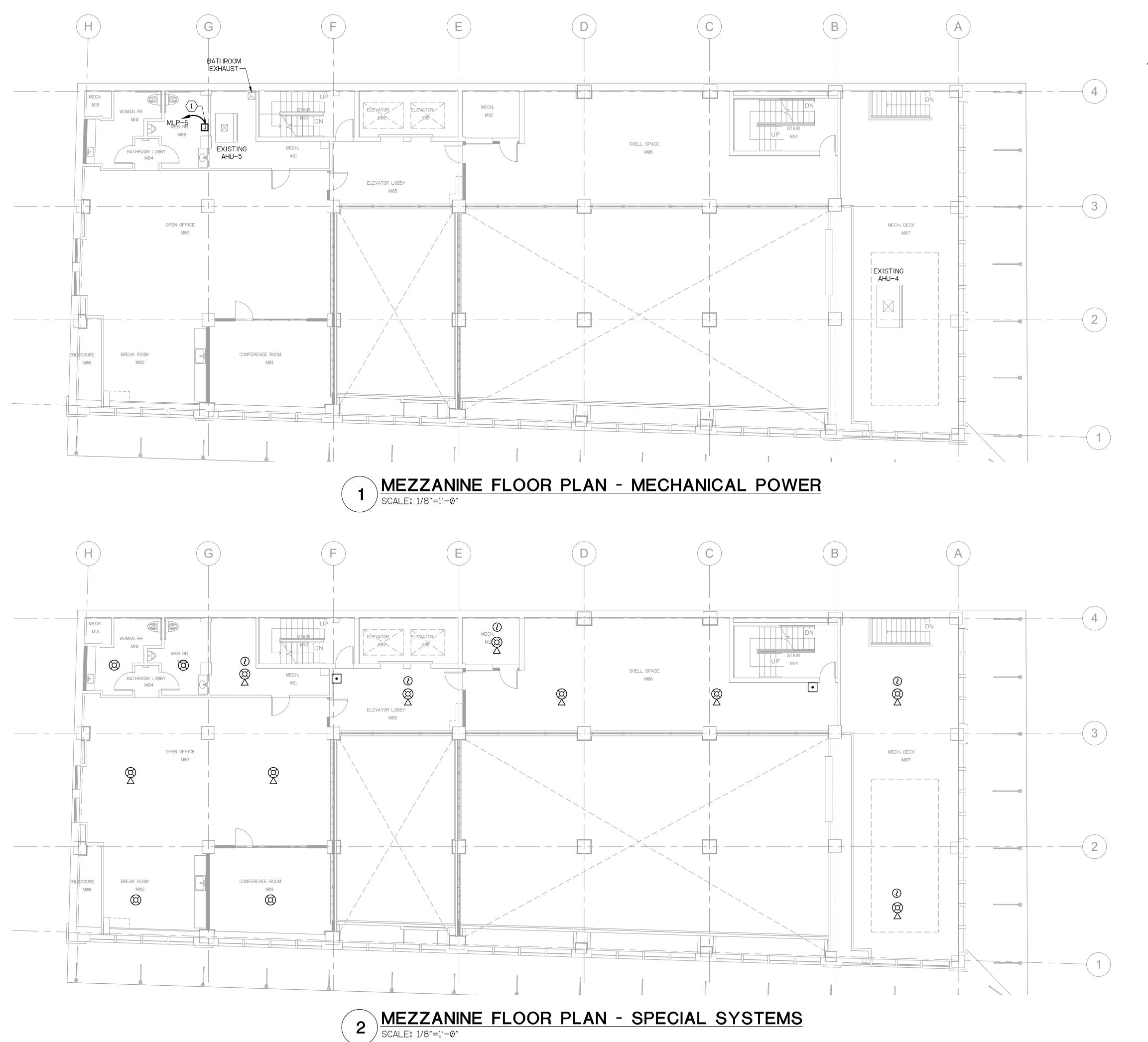
REVISIONS:



BASEMENT PLAN MECHANICAL POWER



E300
1712
8/7/2017





1. PROVIDE FINAL CONNECTION TO ELECTRONIC TRAP PRIMER. COORDINATE FINIAL REQUIREMENTS WITH DIV 23 INSTALLER.



Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/a

401 E Houston St, San Antonio, TX 7820

OWNER: AREA REAL ESTATE, LLC

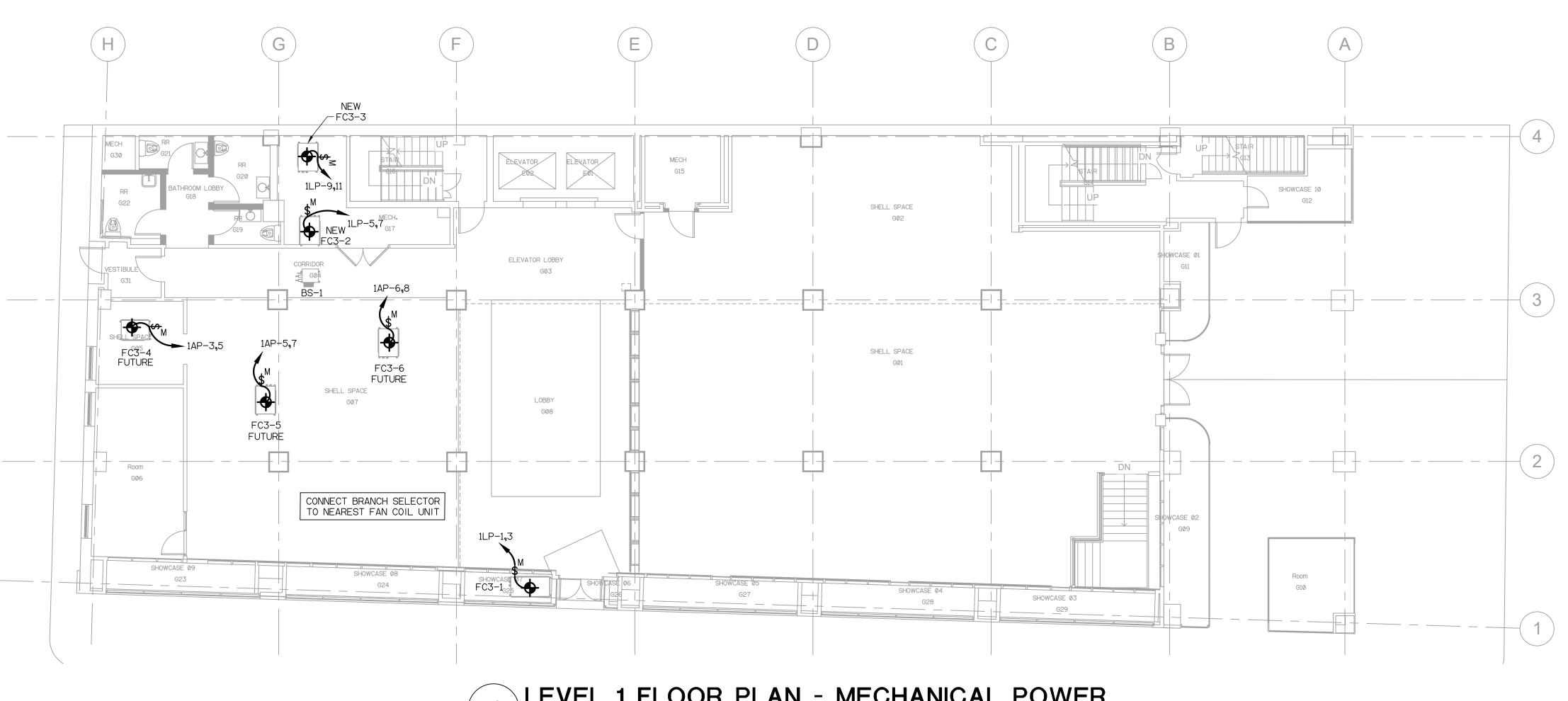
REVISIONS:



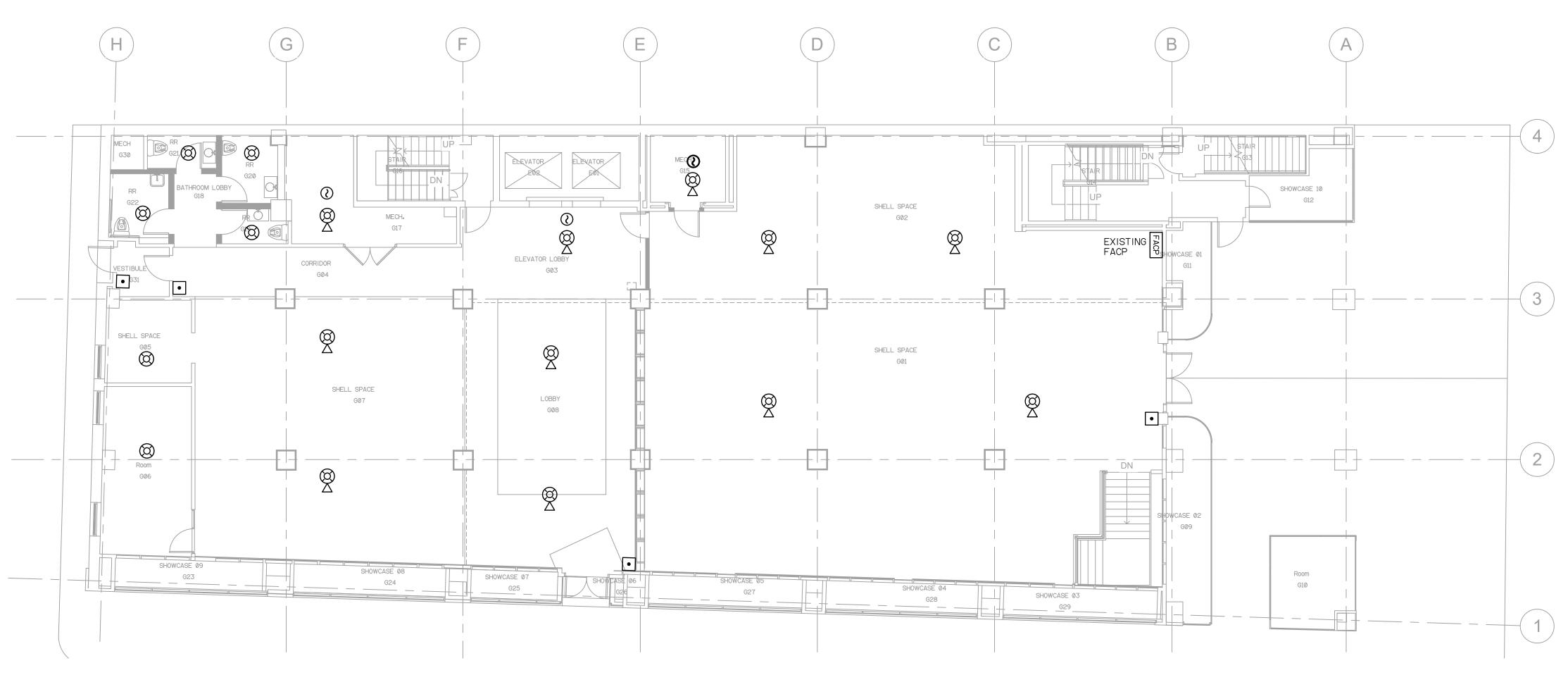
MEZZANINE FLOOR PLAN - MECHANICAL POWER



E302
1712
8/7/2017



1 LEVEL 1 FLOOR PLAN - MECHANICAL POWER SCALE: 1/8"=1'-0"



2 LEVEL 1 FLOOR PLAN - SPECIAL SYSTEMS
SCALE: 1/8"=1'-0"



Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/a

BUII DING

401 E Houston St,

OWNER: AREA REAL ESTATE, LLC

REVISIONS:

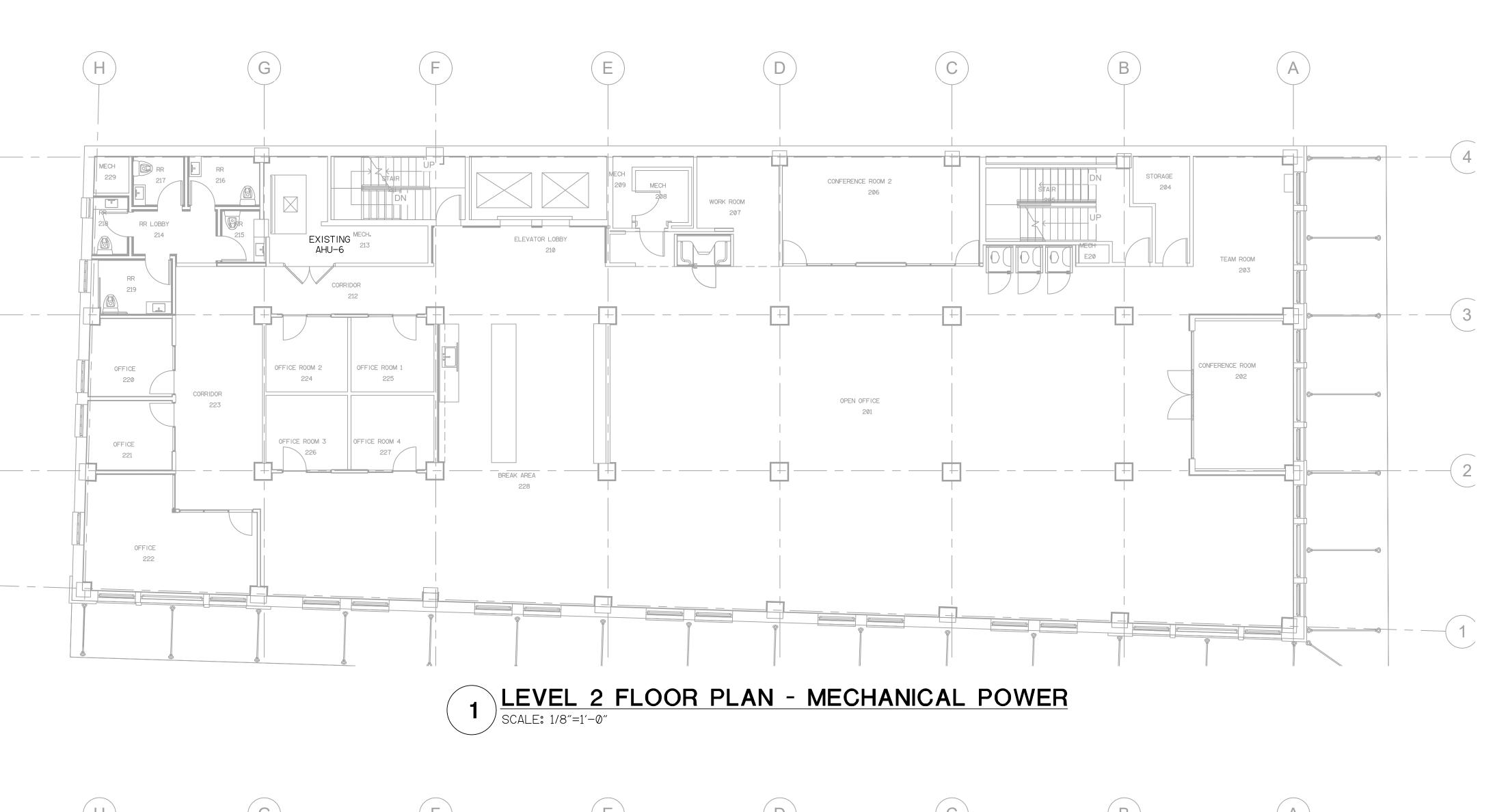


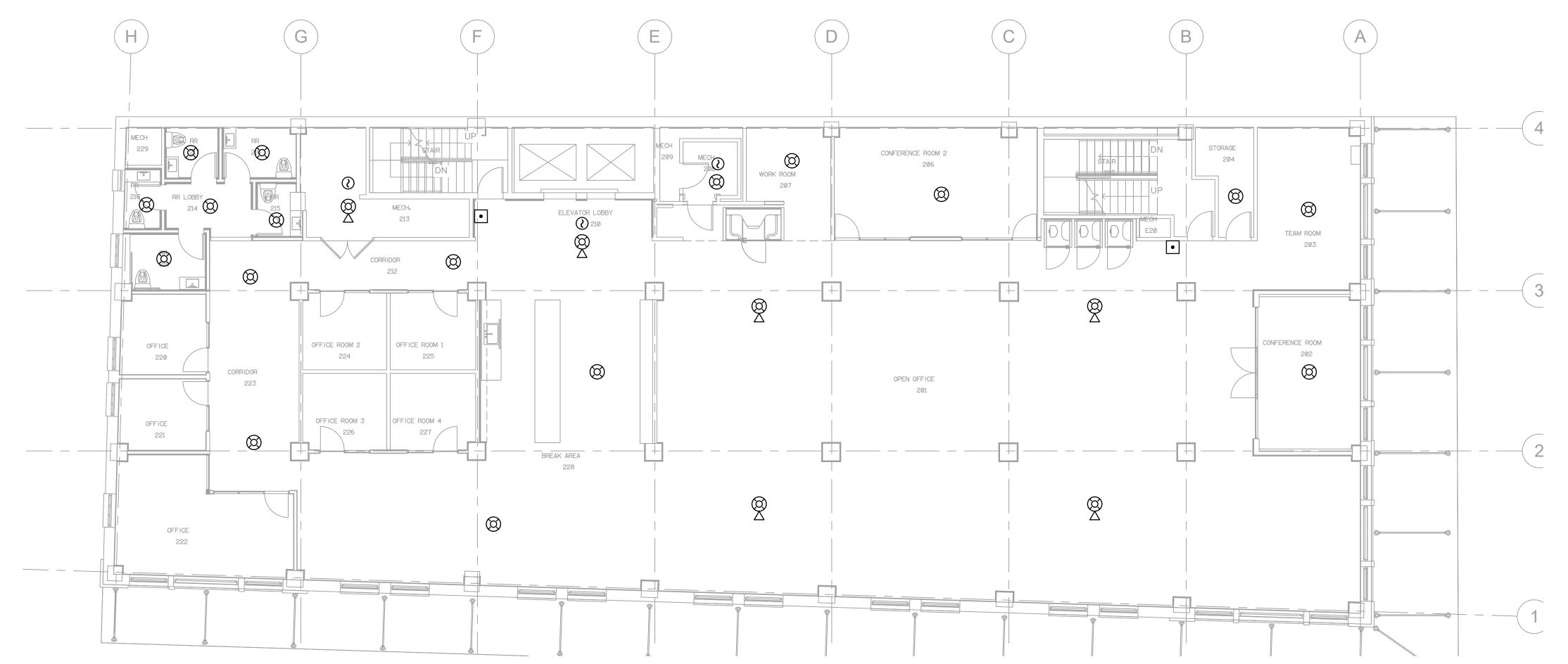
LEVEL 1 FLOOR PLAN MECHANICAL POWER



E301

1712
8/7/2017





LEVEL 2 FLOOR PLAN - SPECIAL SYSTEMS

Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/a

SUII DING

401 E Houston St, San Antonio, TX 782

OWNER: AREA REAL ESTATE, LLC

REVISIONS:

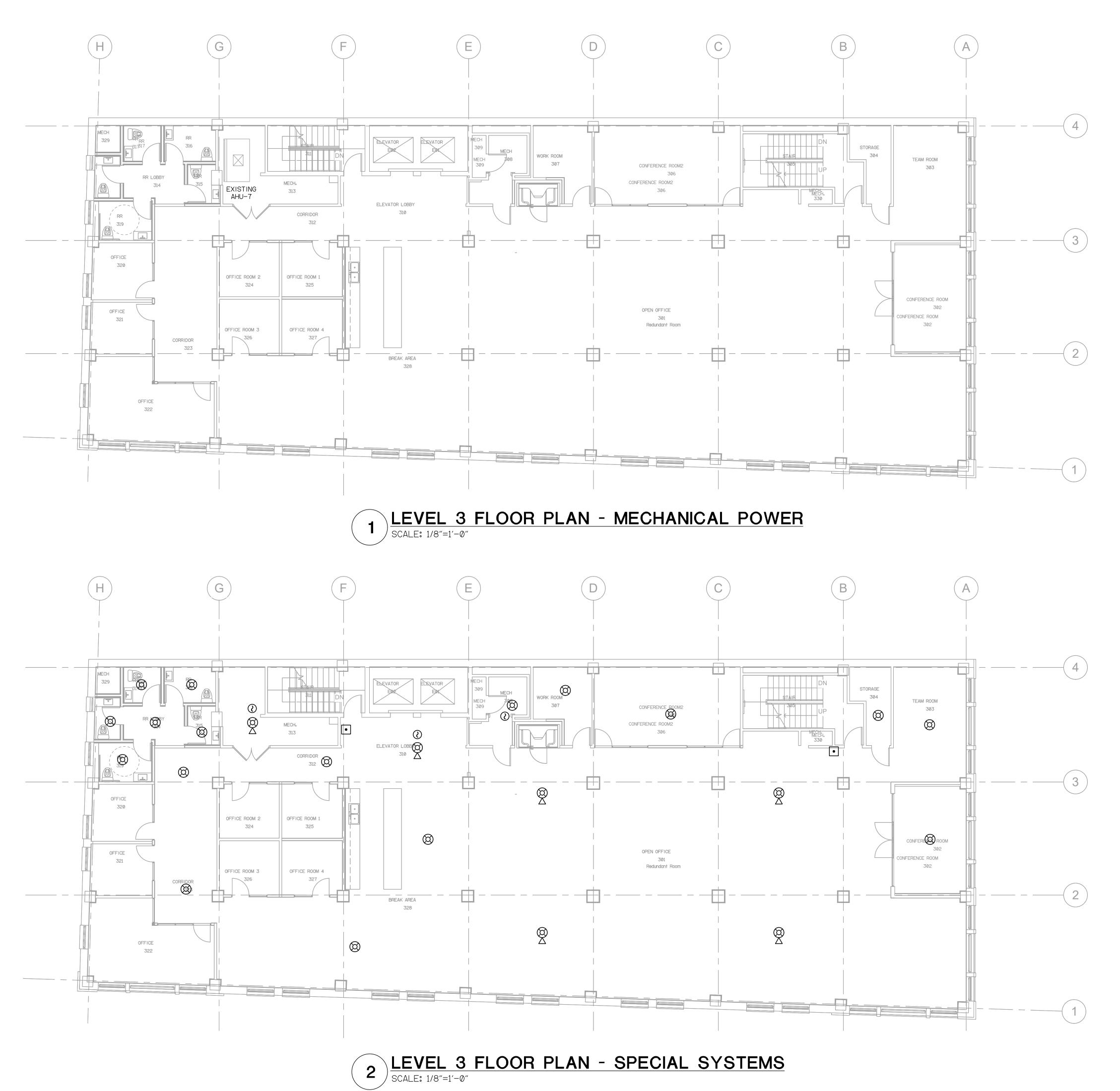


LEVEL 2 FLOOR PLAN MECHANICAL POWER



E303

1712
8/7/2017





Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Texas Registration No. F-465

Landscape Architect:

Civil:

n/a

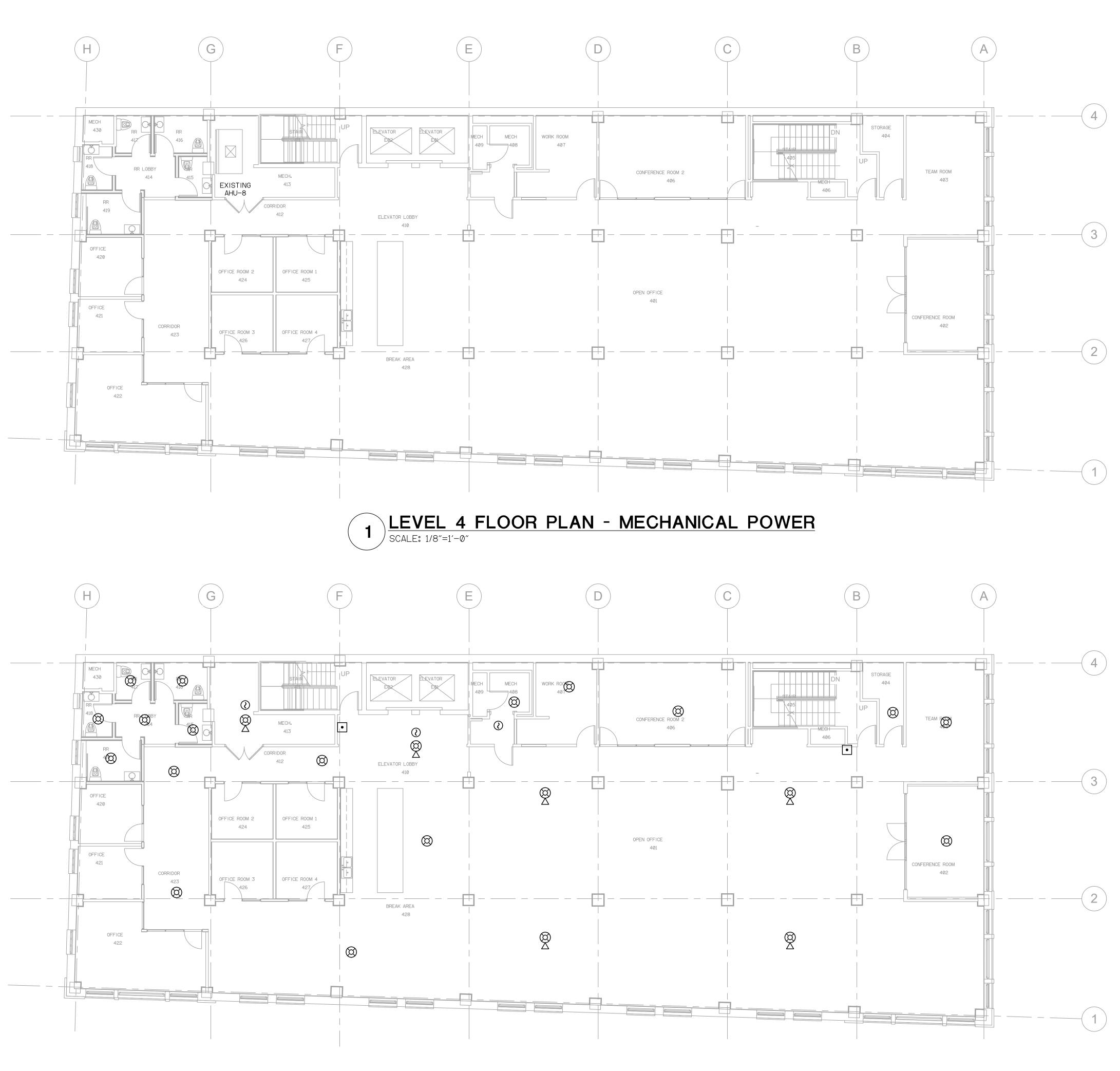
OWNER: AREA REAL ESTATE, LLC

REVISIONS:



LEVEL 3 FLOOR PLAN MECHANICAL POWER





2 LEVEL 4 FLOOR PLAN - SPECIAL SYSTEMS
SCALE: 1/8"=1'-0"

TADA

Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

EP:

CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/

401 E Houston St, San Antonio. TX 7820

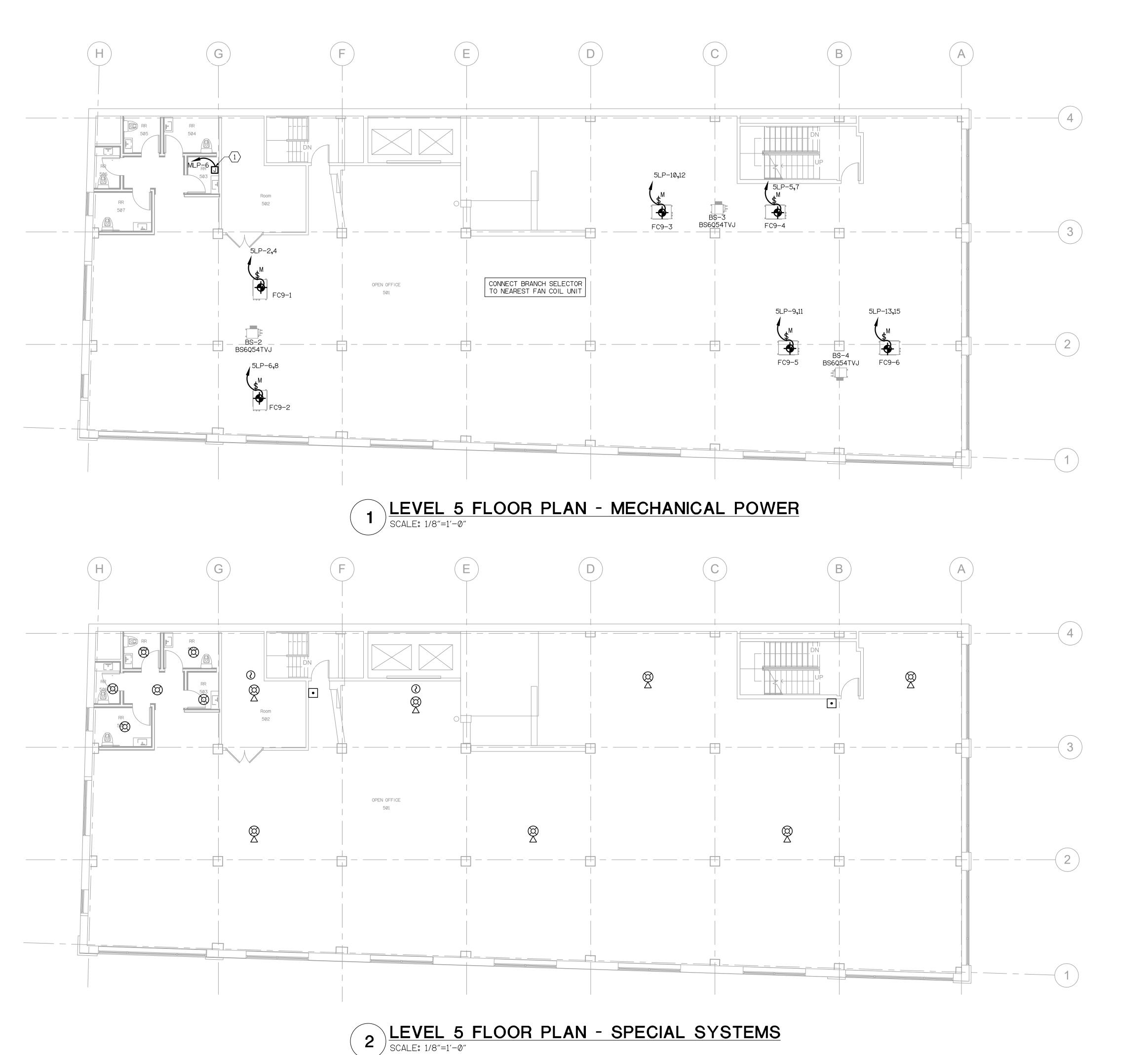
OWNER: AREA REAL ESTATE, LLC

REVISIONS:



LEVEL 4 FLOOR PLAN MECHANICAL POWER





(#) KEYED NOTES:

 PROVIDE FINAL CONNECTION TO ELECTRONIC TRAP PRIMER. COORDINATE FINIAL REQUIREMENTS WITH DIV 23 INSTALLER. TADA

Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

EP: CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/a

BUII DING

401 E Houston St, San Antonio, TX 7820

OWNER: AREA REAL ESTATE, LLC

REVISIONS:



LEVEL 5 FLOOR PLAN MECHANICAL POWER



E306
1712
8/7/2017



PANEL 4AP

PANEL 3AP

PANEL 5HL/P

PANEL

4HL/P

PANEL 3HL/P

LEVEL 6

LEVEL 5

LEVEL 4

PANEL

(NEW)

PANEL 5LP

PANEL

PANEL 3LP

(NEW)

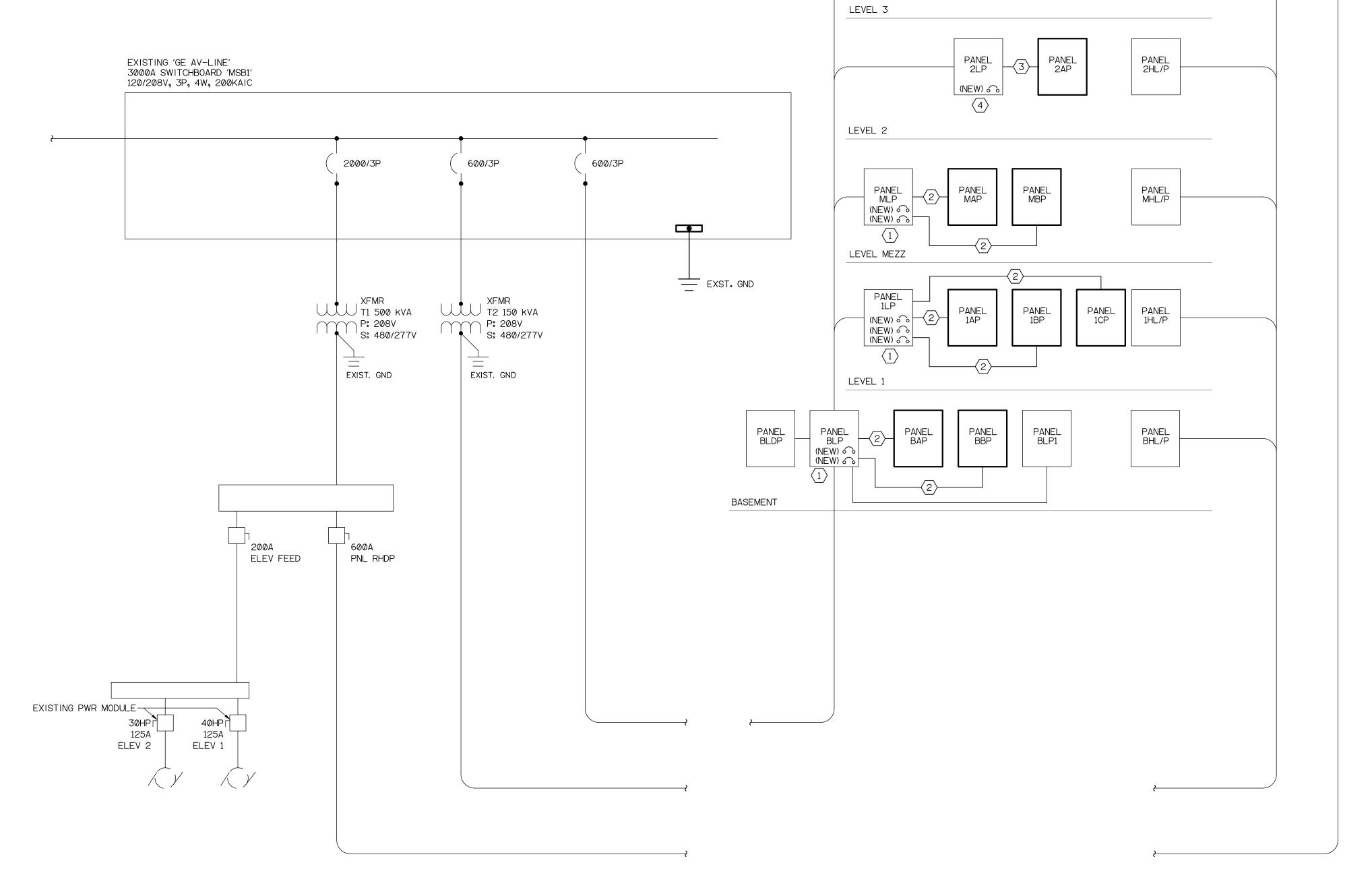
LOAD SUMMARY AND LIGHTING COMPLIANCE

SCOPE OF WORK CONSISTS OF RENOVATION OF A EXISTING OFFICE BUILDING AND AFFECT THE FOLLOWING SYSTEMS:

- 1. <u>LIGHTING SYSTEM ALTERATIONS:</u> INCLUDE INSTALLING NEW LED FIXTURES INTO THE NEW RENOVATED SPACES. LIGHTING IN THESES SPACES COMPLY WITH THE EXCEPTION OF THE ENERGY CODE AND DO NOT INCREASE THE ENERGY USE.
- 2. <u>ELECTRICAL DISTRIBUTION SYSTEM</u>: EXISTING BREAKERS AND BRANCH CIRCUITS IN EXISTING PANELS SHALL BE REUSED. CONTRACTOR SHALL PROVIDE NEW SUB FED ELECTRICAL PANELS FOR FUTURE TENANTS, PANELBOARD SCHEDULES ARE SHOWN FOR REFERENCE AND CLARIFICATION PURPOSES ONLY.
- 3. THE TOTAL NEW LOAD OF THE PROJECT DOES NOT EXCEED PRESENT LOAD OF THE SPACE, THUS DOES NOT JEOPARDIZE THE EXISTING DISTRIBUTION EQUIPMENT OR THE OVERCURRENT PROTECTION DEVICES.

(#) KEYED NOTES:

- 1. PROVIDE NEW 60A/3P BREAKER(S) FOR NEW PANEL(S).
- 2. PROVIDE 4#6, 1#10G IN 1" CONDUIT FOR NEW PANEL.
 COORDINATE PANEL LOCATION AND ROUTING OF CONDUIT WITH OWNER PRIOR TO INSTALL.
- 3. PROVIDE 4#1/0, 1#6 G. IN 1-1/2"C FOR NEW PANEL. COORDINATE PANEL LOCATION AND ROUTING OF CONDUIT WITH OWNER PRIOR TO INSTALL
- 4. PROVIDE NEW 150A/3P BREAKER FOR NEW PANEL.
- 5. PROVIDE NEW 600A N3R ENCLOSURE FOR PANEL ON ROOF. COORDINATE QUANTITY OF NEW BREAKER RATINGS WITH MECHANICAL INSTALLER PRIOR TO BID.





Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907

Texas Registration No. F-465

Landscape Architect:

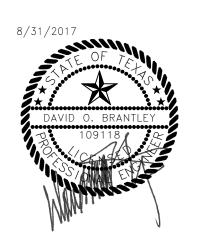
n/a

Civil:

n/a

OWNER: AREA REAL ESTATE, LLC

REVISIONS:



ELECTRICAL SCHEDULES

E401

1712 8/7/2017



FILENAME: 88603EX1 LTSCALE: 1 PLOT TIME: 8/31/2017 5:00 PM BY: Kortney

						E	KIS	TING F	PA	NEL 'B	LD	P'					
PR	OJECT:	BURNS	BLDG		ENC	CLOSURE:						ESSORIES: GROUND BU	JSS				
PRO.	JECT#:	NUMBE	R		١	/OLTAGE:	120/2	208V., 3Ph.,	4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING:	600 /	4., 10 KAIC			BRE.	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS:	600 /	۹. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
1	SP	100/3					1	0	Α	45828	2				400/3	SP	1
1	SP	-]	E	LP1		3	0	В	41628	4	41	_P		-	SP	1
1	SP	-					5	0	O	42696					-	SP	1
1	SP	150/3					7	11 4 89	Α	24220	8				150/3	SP	1
1	SP	-			ILP		9	3643	В	9461	10	В	LP		-	SP	1
1	SP	-					11	1623	С	8464					-	SP	1
1	SP	150/3					13	17343	Α	9482					100/3	SP	1
1	SP	-		:	2LP		15	14633		8580		М	LP		-	SP	1
1	SP	-					17	13748	С	5580	18				-	SP	1
Ltg	40	020	Wtr Htr	4500	CONNE	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	20	763	Kitchen	0				259,061		2,159			259,774	2,165			
Elev	•	0	Fans/Misc	2000	Panels	462823	[156,279		1,302			154,605	1,288			
Cooling	594	41.2	Welders	0	Panels (div)	0		144,392		1,203			143,514	1,196			
Heating	594	4 1.2	Lgst Motor	0	Uncategor.	59684		559,731		N/A			555,355	N/A			
NOTES:								_						_			

1. EXISTING BREAKER

_						E	XI	STING	PA	NEL 'E	3LF	P'				_	
PR	OJECT:	BURNS	BLDG		EN	ICLOSURE:	NEM	IA 1			ACC	CESSORIES: GROUND B	USS				
PRO.	JECT#:	NUMBE	₹			VOLTAGE:	120/	208V., 3Ph.,	4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING:	100 /	A., 10 KAIC			BRE	EAKER MTG.: BOLT-ON					
MOL	INTING:					MAINS:	100 /	A. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT		PH.	LOAD	CKT	DESC	RIPTION		BRKR	CODE	NOTES
	R	20/1		GENERA	L RECEPTS		1	720	Α	2250		E	νH		30/2	WH	
	R	20/1		GENERA	L RECEPTS		3	180	В	2250			-		1	WH	
	R	20/1			BACKLIGHT		5	500	С	500			P-1		20/1	M	
	R	20/1			CEPTS		7	0	Α	9205			L BAP		60/3	SP	
					STING		9		В	3621			-		-	SP	
					STING		11		С	3835			-		-	SP	
					STING		13		Α	1600			L BAB		60/3	SP	
					STING		15		В	0	16		-		-	SP	
					STING		17		С	0			-		-	SP	
					STING		19		A		20		STING				
				EXI:	STING		21		В		22		STING				
							23		C		24	ļ	STING				
_ Ltg		20	Wtr Htr	4500	CON	IECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		140	Kitchen	0				21,235		177			24,220	202			
Elev)	Fans/Misc	500	Panels	18261		9,851	<u> </u>	82			9,461	79			
Cooling)	Welders	0	Panels (dív)	0		8,635		72	1		8,464	71			
Heating	()	Lgst Motor	0	Uncategor.	1600		39,721		N/A			39,106	N/A			

						E	XIS	STING	PA	NEL 'B	LP	1'					
PR	OJECT:	BURNS	BLDG		EN	CLOSURE						ESSORIES: GROUND B	USS				
PRO.	JECT#:	NUMBE	R			VOLTAGE	: 120/3	208V., 3Ph.,	4W			100% NEUT	TRAL BUSS				
LOC	ATION:					BUSSING	: 225 /	A., 14 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	INTING:					MAINS	: 225 /	A. (MLO)(MC	B)			DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESC	RIPTION		BRKR	CODE	NOTES
		20/1					1		Α		2						
		20/1					3		В		4						
		20/1					5		С		6						
		20/1					7		Α		8						
		20/1					9		В		10						
		20/1					11		С		12						
		20/1					13		Α		14						
		20/1					15		В		16						
		20/1					17		_ C		18						
		20/1					19		Α		20						
		20/1					21		В		22						
		20/1					23		С		24						
Ltg		0	Wtr Htr	0	CON	IECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		0	Kitchen	0				-		-			-	-]		
Elev		0	Fans/Misc	0	Panels	0		-		-			-	-]		
Cooling		0	Welders	0	Panels (div)	0		_		-			-	-]		
Heating		0	Lgst Motor	0	Uncategor.	0		-		N/A			-	N/A			

						E	EXI	STING	PA	NEL '1	LP	יי					
PR	OJECT:	BURNS	BLDG		EN	ICLOSURE:	NEM	1 A 1			ACC	CESSORIES: GROUND BL	JSS				
PRO.	JECT#:	NUMBE	R			VOLTAGE:	120/3	208V., 3Ph.,	4W			100% NEUTI	RAL BUSS				
LOC	ATION:					BUSSING:	225	A., 10 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS:	225	A. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	PIPTION		BRKR	CODE	NOTES
	ÇH	15/2		F	C3-1		1		Α	720		GENERAL	RECEPTS		20/1	R	
	СН	-			-		3	187		360		GENERAL	RECEPTS		20/1	R	
	CH	15/2		F	C3-2		5	187		500	6	MIRE	RORS		20/1	М	
	ÇH	-			-		7	187		2704		1,4	λ P		60/3	SP	
	СН	15/2		F	C3-3		9	187		914			-		-	SP	
	CH	-			-		11	187		374			-		-	SP	
	SP	60/3		1	ICP		13	1023	Α	1470		16	3P		60/3	SP	
	SP	-			-		15	С		540			_		-	SP	
	SP	-			-		17	C	С	0	18		-		-	SP	
		20/1					19		Α		20						
		20/1					21		В		22						
		20/1					23		С		24						
Ltg		600	Wtr Htr	0	CON	NECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	49	983	Kitchen	0				11,089		92			11,489	96			
Elev		0	Fans/Misc	500	Panels	7026		3,643		30			3,643	30			
Cooling		15.2	Welders	0	Panels (div)	0		1,623		14			1,623	14			
Heating	224	15.2	Lgst Motor	0	Uncategor.	0		16,354		N/A			16,754	N/A			

						EXIS	STING	PA	NEL 'N	1LF	יכ					
PR(OJECT:	BURNS	BLDG		EN	CLOSURE: NEM	1 A 1			ACC	ESSORIES: GROUND BU	JSS				
PRO.	JECT#:	NUMBE	R			VOLTAGE: 120/	208V., 3Ph.,	4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING: 100	A., 10 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS: 100	A. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	CRIPTION	СКТ	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
		20/1		EX	ISTING	1		Α	720	2	GENERAL	RECEPTS		20/1	R	
		20/1		EX	ISTING	3		В	500	4	GENERAL	RECEPTS		20/1	R	
		20/1		EX	ISTING	5		С	500	6	E.	TP		20/1	М	
		20/1		EX	ISTING	7		Α	3340	8	M	٩P		60/3	SP	
		20/1		EX	ISTING	9		В	4040	10		-		-	SP	
		20/1		EX	ISTING	11		С	2540	12		_		-	SP	
		20/1		EX	ISTING	13		Α	1041	14	M	3P		60/3	SP	
		20/1		EX	ISTING	15		В	0	16		-		-	SP	
		20/1		EX	ISTING	17		С	0	18		-		-	SP	
		20/1		EX	ISTING	19		Α		20	EXIS	TING				
		20/1		EX	ISTING	21		В		22		TING				
		20/1		EX	ISTING	23		С		24		TING				
Ltg		0	Wtr Htr	0	CONN	IECTED:	CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	12	220	Kitchen	0			9,482		79			9,482	79			
Elev		0	Fans/Misc	500	Panels	10961	8,580		72			8,580	72			
Cooling		0	Welders	0	Panels (div)	0	5,580		47			5,580	47			
Heating		0	Lgst Motor	0	Uncategor.	10961	23,642		N/A			23,642	N/A			

						E	XIS	STING	PA	NEL '2	<u>2</u> LP)1					
PR	OJECT:	BURNS	BLDG		EN	CLOSURE: N	NEM.	A 1			ACC	ESSORIES: GROUND BL	JSS				
PRO.	JECT#:	NUMBE	R			VOLTAGE: 1	20/2	08V., 3Ph.,	4W			100% NEUTI	RAL BUSS				
LOC	ATION:					BUSSING: 2	225 A	., 10 KAIC			BREA	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS: 1	150 A	. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DES	CRIPTION	(CKT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
		20/1		EX	USTING		1		Α	16983		2 <i>F</i>	·P		150/3	SP	
		20/1		EX	USTING		3		В	14453	4		-		_	SP	
		20/1			USTING		5		O	13248			-		-	SP	
		20/1			USTING		7		Α	360		REC			20/1	R	
		20/1			(ISTING		9		В	180		REĆI			20/1	R	
		20/1			ISTING		11		С	500	\vdash	RECI	EPTS			R	
		20/1			USTING		13		Α		14						
		20/1			USTING		15		В		16						
		20/1			USTING		17		С		18						
		20/1			USTING		19		Α		20						
		20/1			(ISTING		21		В		22						
		20/1		EX	USTING		23		С		24						
Ltg		0	Wtr Htr	0	CONN	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	10	040	Kitchen	0			L	17,343		145			17,343	145			
Elev		0	Fans/Misc	0	Panels	44683	L	14,633		122			14,633	122			
Cooling		0	Welders	0	Panels (div)	0	L	13,748		115			13,748	115			
Heating		0	Lgst Motor	0	Uncategor.	0		45,723		N/A			45,723	N/A			

						EX	ISTING	PA	NEL '3	LF)'					
PR	OJECT:	BURNS	BLDG		ENC	LOSURE: NE					CESSORIES: GROUND BU	JSS				
PRO.	JECT#:	NUMBE	R		\	OLTAGE: 120	/208V., 3Ph.,	4W			100% NEUTI	RAL BUSS				
LOC	ATION:				I	BUSSING: 225	A., 14 KAIC			BRE.	AKER MTG.: BOLT-ON					
MOU	INTING:						A. (MLO)(MC	B)			DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	CRIPTION	CKT		PH.	LOAD	CKT	DESCR	RIPTION		BRKR	CODE	NOTES
		20/1				1		Α	13420	2	3/	AP.		150/3	SP	
		20/1				3		В	12800	4		-		-	SP	
		20/1				5		С	13060	6		-		-	SP	
		20/1				7		Α	360	8	REC	EPTS		20/1	R	
		20/1				9		В	180	10	REC	EPTS		20/1	R	
		20/1				11		С	500	12	ELECTRICAL (CONNECTION	S	20/1	М	
		20/1				13		Α		14				20/1		
		20/1				15		В		16				20/1		
		20/1				17		С		18				20/1		
		20/1				19		Α		20				20/1		
		20/1				21		В		22				20/1		
		20/1				23		С		24				20/1		
		20/1				25		Α		26				20/1		
		20/1				27		В		28				20/1		
		20/1				29		С		30				20/1	1	
		20/1				31		Α		32				20/1		
		20/1				33		В		34				20/1		
		20/1				35		С		36				20/1		
		20/1				37		Α		38				20/1		
		20/1				39		В		40				20/1	1	
		20/1				41		С		42				20/1		
Ltg		0	Wtr Htr	0	CONNE	CTED:	CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	5	40	Kitchen	0			13,780		115			13,780	115			
Elev		0	Fans/Misc	0	Panels	39280	12,980		108			12,980	108			
Cooling		0	Welders	0	Panels (div)	0	13,560		113			13,560	113			
Heating		0	Lgst Motor	0	Uncategor.	500	40,320		N/A			40,320	N/A			



Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS 8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Texas Registration No. F-465

Landscape Architect:

Civil:

n/a

OWNER:
AREA REAL ESTATE, LLC

REVISIONS:







						EXI	STING	P/	NEL '4	LΡ	I			
PRO	DJECT:	BURNS	BLDG		ENG	CLOSURE: NEM					ESSORIES: GROUND BUSS			
PROJ	ECT#:	NUMBE	R		\	/OLTAGE: 120/	208V., 3Ph., 4	1 W			100% NEUTRAL BUSS			
LOC	ATION:					BUSSING: 225	A., 14 KAIC			BREA	KER MTG.: BOLT-ON			
MOU	NTING:					MAINS: 225	A. (MLO)(MCE	3)			DATE: 8/31/2017			
NOTES	CODE	BRKR		DES	CRIPTION	CKT	LOAD	PH.		CKT	DESCRIPTION	BRKR	CODE	NOTES
		20/1				1		Α	13420		4AP	150/3	SP	
		20/1				3		В	12800	4	-	-	SP	
		20/1				5		С	13060		-	-	SP	
		20/1				7		Α	360		RECEPTACLES	20/1	R	
		20/1				9		В	180		RECEPTACLES	20/1	R	
		20/1				11		С	500		ELEC CONNECTION	20/1	M	
		20/1				13		Α		14		20/1		
		20/1				15		В		16		20/1		
		20/1				17		С		18		20/1		
		20/1				19		Α		20		20/1		
		20/1				21		В		22		20/1		
		20/1				23		С		24		20/1		
		20/1				25		Α		26		20/1		
		20/1				27		В		28		20/1		
		20/1				29		С		30		20/1		
	SP	100/3				31		Α		32		20/1		
	SP	-			4LP1	33	0			34		20/1		
	SP	-				35	0			36		20/1		
	SP	200/3				37	13780					200/3	SP	
	SP	-			3LP	39	12980		1344		5LP	-	SP	
	SP	-				41	13560	С	1008	42		-	SP	
Ltg		0	Wtr Htr	0	CONNE	ECTED:	CONN VA		CONN A		DIVERSIFIED: PNL VA PNL A			
Recept		080	Kitchen	0			45,828		382		45,828 382			
Elev		0	Fans/Misc	500	Panels	123476	41,628		347		41,628 347			
Cooling		696	Welders	0	Panels (div)	0	42,696		356		42,696 356]		
Heating	30	696	Lgst Motor	0	Uncategor.	1400	130,152		N/A		130,152 N/A			

						E	EXIS	STING	PA	NEL '4	LP'	1'						
PR	OJECT:	BURNS	BLDG		E	ENCLOSURE							GROUND BU	JSS				
PRO.	JECT#:	NUMBE	R			VOLTAGE	: 120/:	208V., 3Ph.,	4W				100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING	3: 225	A., 14 KAIC			BREA	KER MTG.:	BOLT-ON					
MOU	INTING:					MAINS	3: 225 .	A. (MLO)(MC	B)			DATE:	8/31/2017					
NOTES	CODE	BRKR		DES	CRIPTION		CKT	LOAD	PH.	LOAD	CKT		DESCR	RIPTION		BRKR	CODE	NOTES
		20/1					1		Α		2					20/1		
		20/1					3		В		4					20/1		
		20/1					5		С		6					20/1		
		20/1					7		Α		8					20/1		
		20/1					9		В		10					20/1		
		20/1					11		С		12					20/1		
		20/1					13		Α		14					20/1		
		20/1					15		В		16					20/1		
		40/3					17		С		18					30/2		
		-		EX	(ISTING		19		Α		20					-		
		-					21		В		22					20/1		
		20/1					23		С		24					20/1		
Ltg		0	Wtr Htr	0	CO	NNECTED:	1	CONN VA		CONN A		DIVERSIF	FIED:	PNL VA	PNL A			•
Recept		0	Kitchen	0				-		-				-	-	1		
Elev		0	Fans/Misc	0	Panels	0		_		-	1			-	-	1		
Cooling		0	Welders	0	Panels (div)	0		-		-				-	-	1		
Heating		0	Lgst Motor	0	Uncategor.	0		-		N/A				-	N/A	7		

						E	XI	STING	PA	NEL '5	SLP)'					
PR	OJECT:	BURNS	BLDG		EN	CLOSURE:						ESSORIES: GROUND B	USS				
PRO.	JECT#:	NUMBE	R			VOLTAGE:	120/2	208V., 3Ph., 4	4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING:	225 /	A., 14 KAIC			BRE/	AKER MTG.: BOLT-ON					
MOU	inting:					MAINS:	225 /	A. (MLO)(MCI	3)			DATE: 8/31/2017					
NOTES	CODE	BRKR		DES(CRIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCA	RIPTION		BRKR	CODE	NOTES
		20/1		LIG	HTING		1	900	Α	336	2	F(9-1		15/2	ÇH	
		20/1					3		В	336	4		-		-	CH	
·	CH	15/2		F	C9-4		5	336	С	336	6	F(9-2		15/2	CH	
	CH	-			-		7	336	Α	336	8		-		-	CH	
	CH	15/2		F	C9-5		9	336		336		F(9-3		15/2	CH	
	CH	-			-		11	336			12		-		-	CH	
	СH	15/2		F	C9-6		13	336			14						
	CH	-			-		15	336	В		16						
		20/1					17		С		18						
		20/1					19		Α		20						
		20/1					21		В		22						
		20/1					23		C		24		T = I				
Ltg		0	Wtr Htr	0	CONN	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		0	Kitchen	0	. .	•		2,244		19			2,244	19			
Elev		0	Fans/Misc	0	Panels	0		1,344		11			1,344	11			
Cooling		96	Welders	0	Panels (div)	0		1,008		8			1,008	8			
Heating	36	396	Lgst Motor	0	Uncategor.	900		4,596		N/A			4,596	N/A			

						Е	XIS	TING F	PA	NEL 'B	HL	Ρ'					
PR	OJECT:	BURNS	BLDG		ENC	LOSURE	: NEM	IA 1			ACC	ESSORIES: GROUND E	BUSS				
PRO.	JECT#:	NUMBER	₹		V	OLTAGE	: 277/-	480V., 3Ph.,	4W			100% NEU	TRAL BUSS				
LOC	ATION:					BUSSING	: 225	A., 14 KAIC			BREA	AKER MTG.: BOLT-ON					
MOU	INTING:					MAINS	: 225 /	A. (MCB)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESC	RIPTION		BRKR	CODE	NOTE
		175/3					1	0	Α		2						
		-	1HL	P,2HLP,3	HLP,4HLP,5HLP		3	0	В		4						
		-					5	0	С		6						
							7		Α		8						
							9		В		10						
							11		С		12						
							13		Α	0	14						
							15		В	0	16						
							17		С	0	18						
Ltg	(0	Wtr Htr	0	CONNE	CTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	(0	Kitchen	0				-		-			-	-			
Elev	(0	Fans/Misc	0	Panels	0		-		-	_		-	-			
Cooling	(0	Welders	0	Panels (div)	0		-		-			-	-			
Heating	t	0	Lgst Motor	0	Uncategor.	0		-		N/A			-	N/A			

						F)	XIS	TING	РΔ	NEL '1	HLI	P'					
PR	OJECT:	BURNS	BLDG		ENC	LOSURE:						:ESSORIES: GROUND BU	JSS				
		NUMBE						480V., 3Ph.,	4W			100% NEUTI					
	CATION:							A., 14 KAIC			BREA	AKER MTG.: BOLT-ON					
	JNTING:							A. (MLO)(MC	B)			DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	CRIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
		20/1					1		Α		2				30/3		
		20/1					3		В		4						
		20/1					5		С		6						
		20/1					7		Α		8				15/3		
		20/1					9		В		10						
		20/1					11		С		12						
		20/1					13		Α		14				20/3		
		20/1					15		В		16						
		20/1					17		С		18				_		
		20/1					19		Α		20				50/3		
		20/1					21		В		22						
		20/1					23		C		24						
		20/1					25		Α		26				60/3		
		20/1					27		В		28						
		20/1					29		O		30						
		20/1					31		Α		32				70/3		
		20/1					33		В		34				_		
		20/1					35		C		36						
		/1			RED SPACE		37		Α		38	PREPARE			/1		
		/1			RED SPACE		39		В		40	PREPARE			/1		
		/1		PREPAR	RED SPACE		41		C		42	PREPARE			/1		
Ltg		0	Wtr Htr	0	CONNE	CTED:		CONN VA		CONN A		DIVER\$IFIED:	PNL VA	PNL A			
Recept		0	Kitchen	0				-		-			-	-			
Elev		0	Fans/Misc	0	Panels	0		-		-			-	-			
Cooling		0	Welders	0	Panels (div)	0	[-		-			-	-]		
Heating		0	Lgst Motor	0	Uncategor.	0		-		N/A			-	N/A			

		T#: NUMBER NON: ON: NG: DE BRKR DESCRIPTION						XIS	STING	PA	NEL '2	HLI	P'					
PRO	DJECT:	BURNS	BLDG			ENCL	.OSURE:	NEM	1A 1			ACC	ESSORIES: GROUND E	BUSS				
PROJ	ECT#:	NUMBER	R			VC	DLTAGE:	277/	480V., 3Ph.,	4W			100% NEU	TRAL BUSS				
LOC	ATION:					В	USSING:	225	A., 14 KAIC			BREA	AKER MTG.: BOLT-ON					
MOU	NTING:						MAINS:	225	A. (MLO)(MC	B)			DATE: 8/31/2017					
NOTES	CODE	BRKR		DES	SCRIPTION			CKT	LOAD	PH.	LOAD	CKT	DESC	CRIPTION		BRKR	CODE	NOTES
		20/3					1		Α		2				20/1			
		-		,	AHU 6		3		В		4				20/1			
		-	1					5		С		6				20/1		
		20/1						7		Α		8				20/1		
		20/1						9		В		10				20/1		
		20/1						11		С		12				20/1		
		60/3						13		Α								
		-			MCB			15		В								
		-	1					17		С								
Ltg	ì)	Wtr Htr	0		CONNEC	CTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	()	Kitchen	0					-		-			-	-			
Elev		0	Fans/Misc	0	Panels		0		-		-			-	-]		
Cooling	•)	Welders	0	Panels ((div)	0		-		-			-	-			
Heating	()	Lgst Motor	0	Uncateg	jor.	0		-		N/A	7		-	N/A	1		

						EXI	SITNG	PA	NEL '3	BHLI	Ρ'					
PR	OJECT:	BURNS	BLDG		ENG	CLOSURE: NE					ESSORIES: GROUND B	USS				
PRO.	JEÇT#:	NUMBEI	R		\	OLTAGE: 27	7/480V., 3PI	ı., 4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING: 22	5 A., 14 KAI	o o		BREA	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS: 22	5 A. (MLO)(I	ACB)			DATE: 8/31/2017					
VOTES	CODE	BRKR		DESC	CRIPTION	CK	T LOAD	PH.	LOAD	CKT	DESC	RIPTION		BRKR	CODE	NOTES
		20/1				1		Α		2						
		20/1		Α	HU #7	3		В		4						
		20/1	1			5		С		6						
		20/1				7		Α		8						
		20/1				9		В		10						
		20/1				11		С		12						
		60/3				13	;	Α								
		-			MCB	15	i	В								
		-				17	'	С				_				
Ltg	1	0	Wtr Htr	0	CONNE	ECTED:	CONN V	A	CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	•	0	Kitchen	0			-		-			-	-			
Elev	(0	Fans/Misc	0	Panels	0	-		-	╛		-	-]		
Cooling	•	0	Welders	0	Panels (div)	0	-		-			_	_	╛		
Heating		0	Lgst Motor	0	Uncategor.	0	-		N/A			-	N/A			

						E	:XIS	STING	PA	NEL '4	HL	P'					
PR	OJECT:	BURNS	BLDG		EN	CLOSURE						ESSORIES: GROUND 6	BUSS				
PRO.	JECT#:	NUMBE	R			VOLTAGE	: 120/	208V., 3Ph.,	4W			100% NEU	TRAL BUSS				
LOC	:ATION:					BUSSING	: 225	A., 14 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	INTING:					MAINS	: 60 A	. (MCB)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DES	CRIPTION		CKT	LOAD	PH.	LOAD	CKT	DESC	CRIPTION		BRKR	CODE	NOTES
		20/3					1		Α		2				20/1		
		-	1	Æ	8# UH <i>A</i>		3		В		4				20/1		
		-	1				5		С		6				20/1		
		20/1					7		Α		8				20/1		
		20/1					9		В		10				20/1		
		20/1					11		С		12				20/1		
		60/3					13		Α								
		-	1		MCB		15		В								
		-	1				17		С								
Ltg	,	0	Wtr Htr	0	CONN	EÇTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A		'	•
Recept	(0	Kitchen	0				-		-			-	-	1		
Elev	•	0	Fans/Misc	0	Panels	0		-		-	1		-	-	1		
Cooling	•	0	Welders	0	Panels (div)	0		-		-	1		-	-	1		
Heating	(0	Lgst Motor	0	Uncategor.	0		-		N/A	1		-	N/A	1		



Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

EP: CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

n/a

Civil:

n/a

NS BUILDING

OWNER: AREA REAL ESTATE, LLC

REVISIONS:







						FXIS	STING	ΡΔ	NEL '5	HIF	יכ					
PR	OJECT:	BURNS	BLDG		FNO	CLOSURE: NEM		' ^	IVEE O		ESSORIES: GROUND BU	JSS				
		NUMBER	=			VOLTAGE: 120/		4W		1100.	100% NEUT					
	ATION:		•			BUSSING: 225				BREA	KER MTG.: BOLT-ON					
	INTING:					MAINS: 225		B)			DATE: 8/31/2017					
NOTES		BRKR		DESC	CRIPTION	CKT	LOAD	PH.	LOAD	СКТ		RIPTION		BRKR	CODE	NOTES
		20/1				1		Α		2				30/3		
		20/1				3		В		4						
		20/1				5		С		6						
		20/1				7		Α		8				15/3		
		20/1				9		В		10						
		20/1				11		С		12						
		20/1				13		Α		14				20/3		
		20/1				15		В		16				_		
		20/1				17		С		18				_		
		20/1				19		Α		20				50/3		
		20/1				21		В		22						
		20/1				23		С		24						
		20/1				25		Α		26				60/3		
		20/1				27		В		28						
		20/1				29		С		30						
		20/1				31		Α		32				70/3		
		20/1				33		В		34				_		
		20/1				35		С		36						
		/1		PREPAR	RED SPACE	37		Α		38	PREPARE	ED SPACE		/1		
		/1		PREPAR	RED SPACE	39		В		40	PREPARE	ED SPACE		/1		
		/1		PREPAR	RED SPACE	41		С		42	PREPARE	ED SPACE		/1		
Ltg		0	Wtr Htr	0	CONN	ECTED:	CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		0	Kitchen	0			-		-			-	-]		
Elev		0	Fans/Misc	0	Panels	0	-		-			-	-]		
Cooling		0	Welders	0	Panels (div)	0	-		-			-	-]		
Heating		0	Lgst Motor	0	Uncategor.	0	-		N/A]		-	N/A]		

					_		NE	W PA	NE	L 'BAI	יכ				•		
PR	OJECT:	BURNS BI	LDG		EN	ICLOSURE: N						CESSORIES: GROUND BU	JSS				
PRO.	JECT#:	NUMBER				VOLTAGE: 12	20/208	8V., 3Ph., 4	4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING: 12	25 A.,	10 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS: 12						DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	CRIPTION	C	KT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
	R	20/1		RE	CEPTS		1	1080	Α	1080	2	REC	EPTS		20/1	R	
	R	20/1		RE	CEPTS		3	1260	В	540	4	REC	EPTS		20/1	R	
	R	20/1		RE	CEPTS		5	1080	С	1000	6	WORK :	STATION		20/1	R	
	R	20/1		RE	CEPTS		7	1000	Α	1000	8	WORK	STATION		20/1	R	
	R	20/1		RE	CEPTS		9	1000	В	1000	10	WORK :	NOITATE		20/1	R	
	L	20/1		LIG	SHTING	1	11	720	C	1000	12	WORK:	STATION		20/1	R	
	L	20/1		LIG	HTING	1	13	1700	Α		14	SPA	ARE .		20/1		
		20/1		S	PARE		15		В		16	SP/	ARE		20/1		
		20/1		S	PARE] 1	17 [C		18	SP	ARE		20/1		
		20/1		S	PARE	1	19		Α		20	SPA	ARE		20/1		
				PREPAR	RED SPACE	2	21		В		22	PREPARE	D SPACE				
				PREPAR	RED SPACE	2	23		C		24	PREPARE	D SPACE				
Ltg	24	20	Wtr Htr	0	CONN	IECTED:	C	CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	110	040	Kitchen	0	•			5,860		49			9,205	77			
Elev	()	Fans/Misc	0	Panels	0		3,800		32			3,621	30			
Cooling	()	Welders	0	Panels (div)	0		3,800		32			3,835	32			
Heating	() [Lgst Motor	0	Uncategor.	0		13,460		N/A			13,545	N/A			

							N	IEW PA	NE	L 'BBI	P'						
PR	OJECT:	BURNS	BLDG		EN	CLOSURE:						CESSORIES: GROUND BU	JSS				
PRO.	JECT#:	NUMBER	R			VOLTAGE:	120/	208V., 3Ph., 4	4VV			100% NEUTI					
LOC	ATION:							A., 10 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS:	125.	A. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		Dŧ	SCRIPTION			LOAD	PH.	LOAD	СКТ	DESCR	IPTION		BRKR	CODE	NOTES
		20/1		GENER/	L RECEPTS		1	1080	Α	520	2	LIGH	TING		20/1		
		20/1					3		В		4				20/1		
		20/1					5		C		6				20/1		
		20/1					7		Α		8				20/1		
		20/1					9		В		10				20/1		
					RED SPACE		11		С		12	PREPARE					
					RED SPACE		13		Α		14						
					RED SPACE		15		В		16	PREPARE					
					RED SPACE		17		С		18	PREPARE					
					RED SPACE		19		Α		20	PREPARE					
					RED SPACE		21		В		22	PREPARE					
				PREPAI	RED SPACE		23		С		24						
Ltg	(0	Wtr Htr	0	CONN	EÇTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	(0	Kitchen	0				1,600		13			1,600	13			
Elev	t	0	Fans/Misc	0	Panels	0		-		-			-	-			
Cooling		0	Welders	0	Panels (div)	0		-		-	1		-	-			
Heating	(0	Lgst Motor	0	Uncategor.	1600		1,600		N/A			1,600	N/A			

							N	EW PA	NE	L 'MAI	P'						
PR	OJECT:	BURNS	BLDG		ENG	CLOSURE:						CESSORIES: GROUND BL	JSS				
PRO	JECT#:	NUMBER	R		,	VOLTAGE:	120/	208V., 3Ph.,	4W			100% NEUT	RAL BUSS				
LOC	CATION:					BUSSING:	60 A	., 10 KAIC			BRE	EAKER MTG.: BOLT-ON					
MOU	JNTING:					MAINS:	60 A	. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
		20/1		GENERA	L RECEPTS		1	540	Α	1000	2	WORK S	STATION		20/1		
		20/1		GENERA	L RECEPTS		3	540	В	1000	4	WORK :	STATION		20/1		
		20/1		GENERA	L RECEPTS		5	540	Ç	1000	6	WORK	STATION		20/1		
		20/1		LIG	HTING		7	800	Α	1000	8	WORK S	STATION		20/1		
		20/1		LIG	HTING		9	1500	В	1000	10	WORK S	STATION		20/1		
		20/1		SF	PARE		11		С	1000	12	WORK 9	STATION		20/1		
		20/1		SI	PARE		13		Α		14	SP/	ARE .		20/1		
		20/1		SI	PARE		15		В		16	SP/	\RE		20/1		
		20/1		SI	PARE		17		С		18	SP/	\RE		20/1		
				PREPAR	RED SPACE		19		Α		20	PREPARE	D SPACE				
				PREPAR	RED SPACE		21		В		22	PREPARE	DSPACE				
				PREPAR	RED SPACE		23		С		24	PREPARE	D SPACE				
Ltg		0	Wtr Htr	0	CONN	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		0	Kitchen	0				3,340		28			3,340	28			
Elev		0	Fans/Misc	0	Panels	0		4,040		34			4,040	34			
Cooling		0	Welders	0	Panels (div)	0		2,540		21			2,540	21			
Heating		0	Lgst Motor	0	Uncategor.	9920		9,920		N/A			9,920	N/A			

							N	EW PA	NE	EL 'MB	Ρ'						
PR	OJECT:	BURNS	BLDG		EN	ICLOSURE:						CESSORIES: GROUND BU	USS				
PRO.	JECT#:	NUMBER	₹			VOLTAGE:	120/	208V., 3Ph.,	4W			100% NEUT	RAL BUSS				
LOC	ATION:					BUSSING:	60 A	, 10 KAIC			BRE.	AKER MTG.: BOLT-ON					
MOU	INTING:					MAINS:	60 A	. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	RIPTION		BRKR	CODE	NOTES
		20/1		LIGI	HTING		1	141	Α	900	2	GENERAL	RECEPTS		20/1		
		20/1		SP	PARE		3		В		4	SP.	ARE		20/1		
		20/1		SP	PARE		5		С		6	SP.	ARE		20/1		
		20/1		SP	PARE		7		Α		8	SP.	ARE		20/1		
		20/1		SP	PARE		9		В		10	SP.	ARE		20/1		
		20/1		SP	PARE		11		С		12	SP.	ARE		20/1		
		20/1		SP	PARE		13		Α		14	SP.	ARE		20/1		
				PREPAR	ED SPACE		15		В		16	PREPARE	ED SPACE				
				PREPAR	ED SPACE		17		С		18	PREPARI	ED SPACE		1		
,				PREPAR	ED SPACE		19		Α		20	PREPARI	D SPACE		<u> </u>		
				PREPAR	ED SPACE		21		В		22	PREPARI	ED SPACE				
,				PREPAR	ED SPACE		23		С		24	PREPARI	D SPACE				
Ltg		0	Wtr Htr	0	CONN	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A		'	
Recept	I	0	Kitchen	0				1,041		9			1,041	9	1		
Elev	1	0	Fans/Misc	0	Panels	0		-		-	1		-	-	1		
Cooling	1	0	Welders	0	Panels (div)	0		-		-	1		-	-	1		
Heating	1	0	Lgst Motor	0	Uncategor.	1041		1,041		N/A	1		1,041	N/A	1		

							N	IEW PA	N	EL '1AF	יכ						
PRO	OJECT:	BURNS BI	LDG		Е	NCLOSURE:	NEM	1A 1			ACC	ESSORIES: GROUND BU	JSS				
PROJ	IECT#:	NUMBER				VOLTAGE:	120/	208V., 3Ph.,	4W			100% NEUΤ	RAL BUSS				
LOC	ATION:					BUSSING:	60 A	, 10 KAIC			BREA	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS:	60 A	. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
	L	20/1		LIG	HTING		1	1000	Α	1080	2	GENERAL	RECEPTS		20/1	R	
	CH	15/2		F	C3-4		3	187	В	360		GENERAL	RECEPTS		20/1	R	
	CH	-			-		5	187	С	187	-	FC	3-6		15/2	CH	
	CH	15/2		F	C3-5		7	187	Α	187	8		-		-	СН	
	CH	-			-		9	187	В	180	-	GENERAL			20/1	R	
		20/1			PARE		11		С		12	SPA			20/1		
		20/1		SF	PARE		13		Α		14	SPA	RE		20/1		
		20/1		SF	PARE		15		В		16	SP/	\RE		20/1		
		20/1		SF	PARE		17		С		18	SPA	\RE		20/1		
				PREPAR	RED SPACE		19		Α		20	PREPARE	D SPACE				
					RED SPACE		21		В		22	PREPARE					
				PREPAR	RED SPACE		23		С		24	PREPARE	D SPACE				
Ltg		000	Wtr Htr	0	CON	NECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	16	320	Kitchen	0				2,454		20			2,704	23			
Elev	()	Fans/Misc	0	Panels	0		914		8			914	8			
Cooling	112	23.2	Welders	0	Panels (div)	0		374		3			374	3			
Heating	112	23.2	Lgst Motor	0	Uncategor.	0		3,743		N/A			3,993	N/A			

							N	IEW PA	N	EL '1BF	יכ						
PRO	OJECT:	BURNS	BLDG		ENG	CLOSURE: I	NEN	1A 1			ACC	ESSORIES: GROUND BU	ISS				
PROJ	IECT#:	NUMBE	₹		,	VOLTAGE:	120/	208V., 3Ph.,	4W			100% NEUTF	RAL BUSS				
LOC	ATION:					BUSSING:	60 A	., 10 KAIC			BREA	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS:	60 A	(MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR			CRIPTION		CKT		PH.	LOAD	CKT	DESCR			BRKR	CODE	NOTES
	L	20/1			SHTING		1	600	Α	720		GENERAL			20/1	R	
		20/1			PARE		3		В	540		GENERAL			20/1	R	
		20/1			PARE		5		С		6	SPA			20/1		
		20/1			PARE		7		Α		8	SPA			20/1		
		20/1			PARE		9		В		10	SPA			20/1		
		20/1			PARE		11		С		12	SPA			20/1		
					RED SPACE		13		Α		14	PREPARE					
					RED SPACE		15		В		16	PREPARE				ļ	
					RED SPACE		17		С		18	PREPARE				<u> </u>	
					RED SPACE		19		Α		20	PREPARE					
					RED SPACE		21		В		22	PREPARE					
					RED SPACE		23		С		24	PREPARE					
Ltg		00	Wtr Htr	0	CONNI	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		260	Kitchen	0	B I-	•		1,320		11			1,470	12			
Elev		0	Fans/Misc	0	Panels	0		540		5	-		540	5			
Cooling))	Welders	0 0	Panels (div)	0 0		- 1,860	-	N/A			7.010	N/A			
Heating		J	Lgst Motor	U	Uncategor.	U		1,000		IN/A			2,010	IN/A			

							NEW P	AΝ	EL '1CF	יכ						
PR	OJECT:	BURNS	BLDG		ΕN	NCLOSURE: N	EMA 1			ACC	ESSORIES: GROUND BU	JSS				
PRO.	JECT#:	NUMBE	R			VOLTAGE: 12	0/208V., 3Ph.	4W			100% NEUTI	RAL BUSS				
LOC	ATION:					BUSSING: 60	A., 10 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	INTING:					MAINS: 60	A. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION	Ci	T LOAD	PH.	LOAD	CKT	DESCR	RIPTION		BRKR	CODE	NOTES
	R	20/1		GENERAI	_ RECEPTS		123	3 A	900	2	GENERAL	RECEPTS		20/1	R	
		20/1					3	В		4				20/1		
		20/1					5	С		6				20/1		
		20/1				,	7	Α		8				20/1		
		20/1					9	В		10				20/1		
		20/1				1	1	С		12				20/1		
				PREPAR	ED SPACE	1	3	Α		14	PREPARE	ED SPACE				
				PREPAR	ED SPACE	1	5	В		16	PREPARE	ED SPACE				
				PREPAR	ED SPACE	1	7	[C		18	PREPARE	ED SPACE				
				PREPAR	ED SPACE	1	9	Α		20	PREPARE	ED SPACE				
				PREPAR	ED SPACE	2		В		22	PREPARE	ED SPACE				
				PREPAR	ED SPACE	2		C		24		D SPACE				
Ltg	I	0	Wtr Htr	0	CON	NECTED:	CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept	10)23	Kitchen	0			1,023		9			1,023	9			
Elev	I	0	Fans/Misc	0	Panels	0	-		-			-	-			
Cooling	I	0	Welders	0	Panels (div)	0	-		-]		-	-			
Heating		0	Lgst Motor	0	Uncategor.	0	1,023		N/A			1,023	N/A			



Total Art Design & Architecture

Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

EP:

CONSULTING ENGINEERS

8200 IH-10 West, Suite 312
San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

Civil:

n/a

S BUILDING

OWNER: AREA REAL ESTATE, LLC

REVISIONS:







							N	IEW P <i>i</i>	١N١	EL '2AF	יכ						
PR	OJECT:	BURNS	BLDG		EN	CLOSURE:						CESSORIES: GROUND BUS	SS				
PRO.	JECT#:	NUMBE	R			VOLTAGE:	120/	208V., 3Ph.,	4W			100% NEUTRA					
	ATION:							A., 10 KAIC			BRE.	AKER MTG.: BOLT-ON					
MOU	INTING:							A. (MLQ)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DESC	RIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCRIP	TION		BRKR	CODE	NOTE
	R	20/1		RE(CEPTS		1	1200	Α	540	2	RECE	PTS		20/1	R	
	R	20/1		REC	CEPTS		3	1080	В	540	4	RECE	PTS		20/1	R	
	R	20/1		REC	CEPTS		5	1080	C	1260	6	RECER	PTS		20/1	R	
	R	20/1		RE(CEPTS		7	1000	Α	360	8	RECEI	PTS		20/1	R	
	R	20/1		WORK:	STATIONS		9	900	В	900	10	WORKSTA	ATIONS		20/1	R	
		20/1		SF	PARE		11		С	1200	12	LIGHT	ING		20/1	L	
	R	20/1		WORK	STATIONS		13	900		900		WORKSTA	SNOITA		20/1	R	
	L	20/1			HTING		15	1200		1000		LIGHT			20/1	L	
	R	20/1		WORK:	STATIONS		17	900	_	900		WORKSTA	ATIONS		20/1	Т	
	L	20/1			HTING		19	650		800		LIGHTI			20/1	L	
	R	20/1			STATIONS		21	900		900		WORKSTA			20/1	R	
		20/1			PARE		23		C		24	SPAF			20/1		
	R	20/1			CEPTS		25	540		900		WORKSTA			20/1	R	
	R	20/1			CEPTS		27	720			28	SPAF			20/1		
	R	20/1			CEPTS		29	720		900		WORKSTA			20/1	R	<u> </u>
		20/1			PARE		31		Α		32	SPAF			20/1		
		20/1			PARE		33		В		34	SPAF			20/1		<u> </u>
		20/1			PARE		35		O		36	SPAF			20/1		
		/1			RED SPACE		37		Α		38	PREPARED			/1	ļ	<u> </u>
		/1			RED SPACE		39		В		40	PREPARED			/1		
1.4		/1			RED SPACE	FOTED	41	00111114	С	001114	42	PREPARED			/1		
Ltg		350	Wtr Htr	0	CONN	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		140	Kitchen	0	Damala			14,790		123		<u> </u>	16,983	142			
Elev		0	Fans/Misc	0	Panels (dish	0		15,140		126		-	14,453	120			
Cooling		0 n	Welders	0	Panels (dív)	21000		13,960		116		<u> </u>	13,248	110			
Heating NOTES:	'	U	Lgst Motor	U	Uncategor.	21900		43,890		N/A			41,533	N/A			

1	TYPICAL	FOR	PANEL	2AP	3AP	æ	4 Al
١.	TITIOAL	ION	LVINEE	ZAE,	JAF	Ġ.	40

	_						N	EW PA	N	EL '3AF) '					_	
PR	OJECT:	BURNS	BLDG		EN	CLOSURE:						CESSORIES: GROUND BU	IS S				
PRO	JECT#:	NUMBER	₹			VOLTAGE:	120/2	208V., 3Ph., 4	4W			100% NEUTF	RAL BUSS				
LOC	ATION:					BUSSING:	225 /	A., 10 KAIC			BRE	AKER MTG.: BOLT-ON					
MOU	INTING:					MAINS:	150 /	A. (MLQ)				DATE: 8/31/2017					
NOTES	CODE	BRKR		DES	CRIPTION		CKT	LOAD	PH.	LOAD	CKT	DESCR	IPTION		BRKR	CODE	NOTES
		20/1		RE	CEPTS		1	1440		540	2	RECE	PTS		20/1		
		20/1		RE	ECEPTS		3	1080	В		4	SPA	RE		20/1		
		20/1		RE	CEPTS		5	1080	O	1260		RECE	EPTS		20/1		
		20/1		RE	CEPTS		7	1080	Α	360	8	RECE	EPTS		20/1		
		20/1		WORK	KSTATIONS		9	1000	В	1000		WORKS	TATIONS		20/1		
		20/1		S	SPARE		11		O		12	SPA	ARE .		20/1		
		20/1			KSTATIONS		13	1000		1000		WORKS:			20/1		
		20/1			SPARE		15		В		16	SP.			20/1		
		20/1			KSTATIONS		17	1000	O	1000		WORKS			20/1		
		20/1			SPARE		19		Α		20	SP#			20/1		
		20/1			KSTATIONS		21	1000		1000		WORKS:			20/1		
		20/1			SPARE		23		С		24	SPA			20/1		
		20/1			SPARE		25		Α	1000		WORKS:			20/1		
		20/1			CEPTS		27	720			28	\$PA			20/1		
		20/1			CEPTS		29	720	С	1000		WORKS			20/1		
		20/1			SPARE		31		Α		32	SP <i>A</i>			20/1		
		20/1			PARE		33		В		34	SPA			20/1		
		20/1			SPARE		35		С		36	SPA			20/1		
		/1			RED SPACE		37		Α		38	PREPARE			/1		
		/1			RED SPACE		39		В		40	PREPARE			/1		
		/1		PREPA	RED SPACE		41		С		42	PREPARE			/1		
Ltg		0	Wtr Htr	0	CONN	ECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A			
Recept		0	Kitchen	0		_	ļ	13,420		112			13,420	112			
Elev		0	Fans/Misc	0	Panels	0	ļ	12,800		107			12,800	107			
Cooling		0	Welders	0	Panels (div)	0		13,060		109			13,060	109			
Heating	İ	0	Lgst Motor	0	Uncategor.	39280		39,280		N/A			39,280	N/A			

									١N	EL '4AF)'						
PRO	OJECT:	BURNS	BLDG			ENCLOSURE	: NEM	IA 1			ACC	CESSORIES: GROUND BUS	SS				
		NUMBE	R					208V., 3Ph.,	4VV			100% NEUTRA	AL BUSS				
	ATION:							A., 10 KAIC			BREA	AKER MTG.: BOLT-ON					
MOU	NTING:					MAINS	: 150	A. (MLO)				DATE: 8/31/2017					
NOTES	CODE	BRKR			CRIPTION		CKT	LOAD	PH.		CKT	DESCRIP			BRKR	CODE	NOTES
		20/1			CEPTS		1	1440		540		RECEF			20/1		
		20/1		RE	CEPTS		3	1080			4	SPAF			20/1		
		20/1		RE	CEPTS		5	1080	С	1260	6	RECEF	PTS		20/1		
		20/1		RE	CEPTS		7	1080	Α	360	8	RECEF	PTS		20/1		
		20/1		WORK	STATIONS		9	1000	В	1000		WORKSTA			20/1		
		20/1		S	PARE		11		С		12	SPAF	₹E		20/1		
		20/1			STATIONS		13	1000		1000		WORKSTA			20/1		
		20/1		S	PARE		15		В		16	SPAF	₹E		20/1		
		20/1		WORK	STATIONS		17	1000	С	1000	18	WORKSTA	ATIONS		20/1		
		20/1		\$	PARE		19		Α		20	SPAF	₹E		20/1		
		20/1		WORK	STATIONS		21	1000	В	1000		WORKSTA	ATIONS		20/1		
		20/1		S	PARE		23		С		24	SPAF	RE		20/1		
		20/1		S	PARE		25		Α	1000	26	WORKSTA	ATIONS		20/1		
		20/1		RE	CEPTS		27	720	В		28	SPAF	RE		20/1		
		20/1		RE	CEPTS		29	720	С	1000	30	WORKSTA	ATIONS		20/1		
		20/1		S	PARE		31		Α		32	SPAF	₹E		20/1		
		20/1		S	PARE		33		В		34	SPAF	RE		20/1		
		20/1		S	PARE		35		С		36	SPAF	RE		20/1		
		/1		PREPAI	RED SPACE		37		Α		38	PREPARED	SPACE		/1		
		/1		PREPAI	RED SPACE		39		В		40	PREPARED	SPACE		/1		
		/1		PREPAI	RED SPACE		41		С		42	PREPARED	SPACE		/1		
Ltg	(٥	Wtr Htr	0	С	ONNECTED:		CONN VA		CONN A		DIVERSIFIED:	PNL VA	PNL A		•	
Recept	(0	Kitchen	0				13,420		112			13,420	112			
Elev	(0	Fans/Misc	0	Panels	0		12,800		107			12,800	107			
Cooling	(0	Welders	0	Panels (d	iv) 0		13,060		109			13,060	109			
Heating	(0	Lgst Motor	0	Uncatego	r. 39280)	39,280		N/A			39,280	N/A			

Туре	Description	Lamp Qty. / Type / Color	Total Fixture Lumen	Ballast / Driver	Volts	Input Watts	Mounting	Manufacturer / Catalog No.	Notes
Α	STAIRWELL SURFACE MOUNT ROUND DRUM 30" IN DIAMETER	LED / 3500K	8000	LED 0-10V DIMMABLE DRIVER	UNV	105	SURFACE CEILING	CAMMAN #C1003-30-LN-35K-CLV-MV-WA-XX(FINISH)	1
В	STAIRWELL LINEAR WALL MOUNT FIXTURE TO BE LOCATED AT MID LANDING OF STAIR. SEE PLANS FOR LOCATION AND MOUTNING HEIGHT	LED / 3500K	604 /FT	LED 0-10V DIMMABLE DRIVER	UNV	7 /FT	SURFACE WALL	NEO-RAY #S124-DW-1-35-0048-1-D-U-DD-1-XX(FINISH)	1
С	SNLED SERIES STRIP LIGHT WITH CURVED FROSTED LENS AND WIDE DISTRIBUTION	LED / 3500K	5314	LED 0-10V DIMMABLE DRIVER	UNV	47.1	SURFACE	METALUX #4SNLED-LD5-50SL-LW-UNV-L835-CD1-U	1
D1	6" LD6B DOWNLIGHT SERIES WITH WIDE DISTRIBUTION AND SEMI- SPECULAR CLEAR FINISH	LED / 3500K	2000	LED 0-10V DIMMABLE DRIVER	UNV	21.2	RECESSED CEILING	PORTFOLIO #LD6B20D010 EU6B10208035 6LBW2H	1
D2	4" LD4B WALLWASH SERIES WITH WIDE DISTRIBUTION AND SEMI- SPECULAR CLEAR FINISH	LED / 3500K	2000	LED 0-10V DIMMABLE DRIVER	UNV	21.2	RECESSED CEILING	PORTFOLIO #LD4B20D010 EU4B10208035 4LBSW2H	1
E	36" DRUM STYLE VINTON SERIES PENDANT WITH GLOSS WHITE ACRYLIC DIFFUSER MIXED WITH FABRIC	LED / 3500K	7250	LED 0-10V DIMMABLE DRIVER	UNV	75	PENDANT CEILING	CAMMAN #P8400-36-LN-35K-CLV-MV-WA-XX(FABRIC)-XX(FINISH)-ST-DC	1
F	LEVEL 4 BREAK ROOM PENDANT	LED / 3500K	1903	LED 0-10V DIMMABLE DRIVER	UNV	25	PENDANT CEILING	BASELITE #AT18-XX(FINISH)-21W-CORD	
G	36" DRUM STYLE VINTON SERIES PENDANT WITH GLOSS WHITE ACRYLIC DIFFUSER MIXED WITH FABRIC LOCATED IN CONFERENCE ROOM	LED / 3500K	7250	LED 0-10V DIMMABLE DRIVER	UNV	75	PENDANT CEILING	CAMMAN #P8400-36-LN-CLV-MV-WA-XX(FABRIC)-XX(FINISH)	1
Н	3" WIDE SYRIOS SERIES CYLINDER PENDANT	LED / 3500K	1078	LED 0-10V DIMMABLE DRIVER	120 OR 277	12	PENDANT CEILING	LUMINIS #SY305-L1W11R0-XX(VOLTAGE)-BKT-K35	
H1	3" WIDE SYRIOS SERIES CYLINDER SURFACE MOUNT	LED / 3500K	1078	LED 0-10V DIMMABLE DRIVER	120 OR 277	12	PENDANT CEILING	LUMINIS #SY310-L1W11R0-XX(VOLTAGE)-BKT-K35	
J	LEVEL 2 BREAK ROOM PENDNAT	LED / 2700K	420	LED ELV DIMMABLE DRIVER	120 OR 277	12	PENDANT CEILING	WAC LIGHTING #PD-51712-BN	
К	LEVEL 3 BREAK ROOM PENDANT	LED / 3000K	810	LED ELV DIMMABLE DRIVER	UNV	15.5	PENDANT CEILING	WAC LIGHTING #'PD-64713-BN/OP	
L	4" WIDE LINEAR DEFINE SERIES PENDANT WITH DIRECT AND INDIRECT LIGHT OUTPUT. CONTRACTOR TO PROVIDE RUN LENGTHS PER ARCHITECTURAL PLANS	LED / 3500K	1280 /FT	LED 0-10V DIMMABLE DRIVER	UNV	10 /FT	LINEAR PENDANT CEILING	NEO-RAY #\$124-DIP-U1-LO-35-\$C48-XX(CEILING)-0048-1-D-U-DD-1-NA-XX(FINISH)	1
L1	4" WIDE LINEAR DEFINE SERIES PENDANT WITH DIRECT AND INDIRECT LIGHT OUTPUT. CONTRACTOR TO PROVIDE RUN LENGTHS PER ARCHITECTURAL PLANS	LED / 3500K	819 /FT	LED 0-10V DIMMABLE DRIVER	UNV	7 /FT	LINEAR PENDANT CEILING	NEO-RAY #S124-DIP-ULO-LO-35-SC48-XX(CEILING)-0048-1-D-U-DD-1-NA-XX(FINISH)	1
M	ADA LED BACK LIT MIRROR WITH ETL LISTING	LED / 2600K- 2800K	1320	LED DRIVER NON- DIMMING	120 ONLY	21	SURFACE WALL	AAMSCO MIRRORS #PERFECT-6080	
N	MEZZANINE CONFERENCE ROOM CHANDELIER	LED / 3500K	6750	LED 0-10V DIMMABLE DRIVER	UNV	160	PENDANT CEILING	CAMMAN #P2432-70-LN-35K-CLV-MV-WA-XX(FINISH)-AC	
0	DECORATIVE OCCUPANT SCONCE ABOVE BATHROOM DOOR TO BE SELECTED. ALLOWANCE ALLOWED	LED / 3000K	-	LED	LV	-	SURFACE WALL	SENSITILE #LF-FIN-4"X6"-WV-BACK-3000K-ST-DW	
Р	BASELITE PEQ SERIES DECORATIVE PENDANT WITH HEAVY GAUGE 1100-0 ALUMINUM	LED / 3500K	954	LED	UNV	25	PENDANT CEILING	BASELITE #PEQ-XX(FINISH)-25W-35K-CORD	
Q	LEVEL 1 EXTERIOR SURFACE MOUNT	LED / 3500K	2450	LED 0-10V DIMMABLE DRIVER	UNV	21	SURFACE CEILING	LIGHTWAY #RERC-18-LED-U-21W-3-XX(FINISH)-WSA-DIM	1
Q1	BUILDING ILLUMINATION THROUGH GLASS BLOCK LOCATED AT BASEMENT CLEARSTORY - CONTRACTOR TO PROVIDE ALL COMPONENTS AND REFER TO PLANS FOR RUN LENGTHS	LED / 3000K	273 /FT	LED 0-10V DIMMABLE DRIVER	UNV	3 /FT	SURFACE	LEDI #CH-A-1005-XX(LENGTH)-30-010V	
R	DECORATIVE PENDANT FOR LEVEL 2-4 CONFERENCE ROOM - RADUIS SERIES PENDANT BY ESKO	LED / 3500K	11550	LED TRIAC BUILT IN DIMMER	120 OR 277	160	PENDANT CEILING	ESKO DESIGN #RCPF-0-W-GL-WC-3500K-XX(VOLTAGE)-0-10V-1	
S	STAILWELL PENDANT MOUNT 30" IN DIAMETER	LED / 3500K	8800	LED 0-10V DIMMABLE DRIVER	UNV	115	PENDANT CEILING	CAMMAN #P1003-30-LN-35K-CLV-MV-WA-XX(FINISH)-AC	1
Т	PALOMA SERIES W TRACK - CONTRACTOR TO VERIFY RUN LENGTHS, MOUNTIGN HEIGHT, AND NUMBER OF HEADS - SUPPLY WITH ALL COMPONENTS	LED / 3500K	735	LED ELV DIMMABLE DRIVER (120v ONLY)	120 OR 277	11.5	SURFACE CEILING	WAC LIGHTING #W-LED512-N-35-XX(FINISH)	
U	EXTERIOR BUILDING UPLIGHT	LED / 5600	61700	LED 0-10V DIMMABLE DRIVER	UNV	600	BUILDING MOUNT	METALUX #VI-M-256-750-5EW-VL-56-N06-N-G	
V	RGB WINDOW DISPLAY	LED / RGB	-	LED AURA RGB DIMMABLE DRIVER	UNV	-	RECESSED CEILING	PMC LIGHTING #ES44-LED-D-FL-AURA-LCT-WOA-WHT-UNV	
W	INTEROR WALL SCONCE	LED / 3000K	624	LED ELV DIMMABLE DRIVER	120 OR 277	10	SURFACE WALL	WAC LIGHTING #WS-W24509-BZ	
Y	CUSTOM PENDANT IN MEZZANINE LOBBY	LED	-	LED	-	-	PENDANT CEILING	CAMMAN CUSTOM PENDANT - TO BE DETERMINED	
Z	EXTERIOR BUILDING SCONCE	LED / 3500K	880	LED 0-10V DIMMABLE DRIVER	120 OR 277	18	SURFACE WALL	LUMINIS #NT802-L1W18-XX(VOLTAGE)-XX(FINISH)-K35	
х	EUX SERIES EDGE LIT LED EXIT SIGN WITH UNIVERAL MOUNTING, CHEVRONS, AND NUMBER OF SIDES	LED	-	LED	UNV	-	SURFACE	SURE-LITES #EUX7R	

NOTES: 1. EMERGENCY BATTERY PACK OPTION OFFERED BY MANUFACTURER



Total Art Design & Architecture

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Structural:

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EP:

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San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Texas Registration No. F-465

Landscape Architect:

1

Civil:

n/a

BUILDING

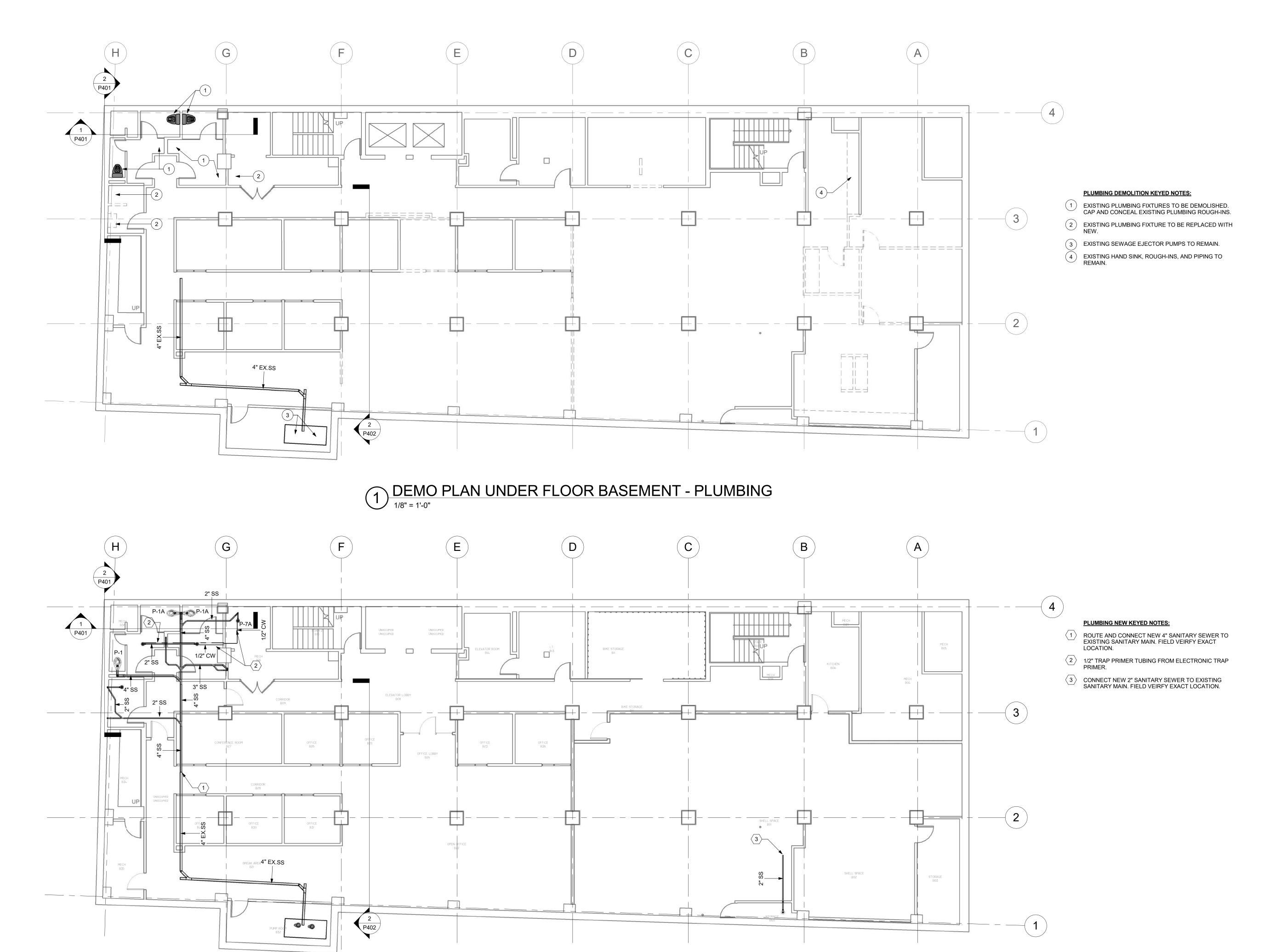
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OWNER: AREA REAL ESTATE, LLC

REVISIONS:











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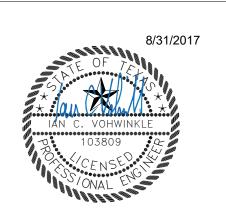
8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Firm Reg. No. F-465

Landscape Architect:

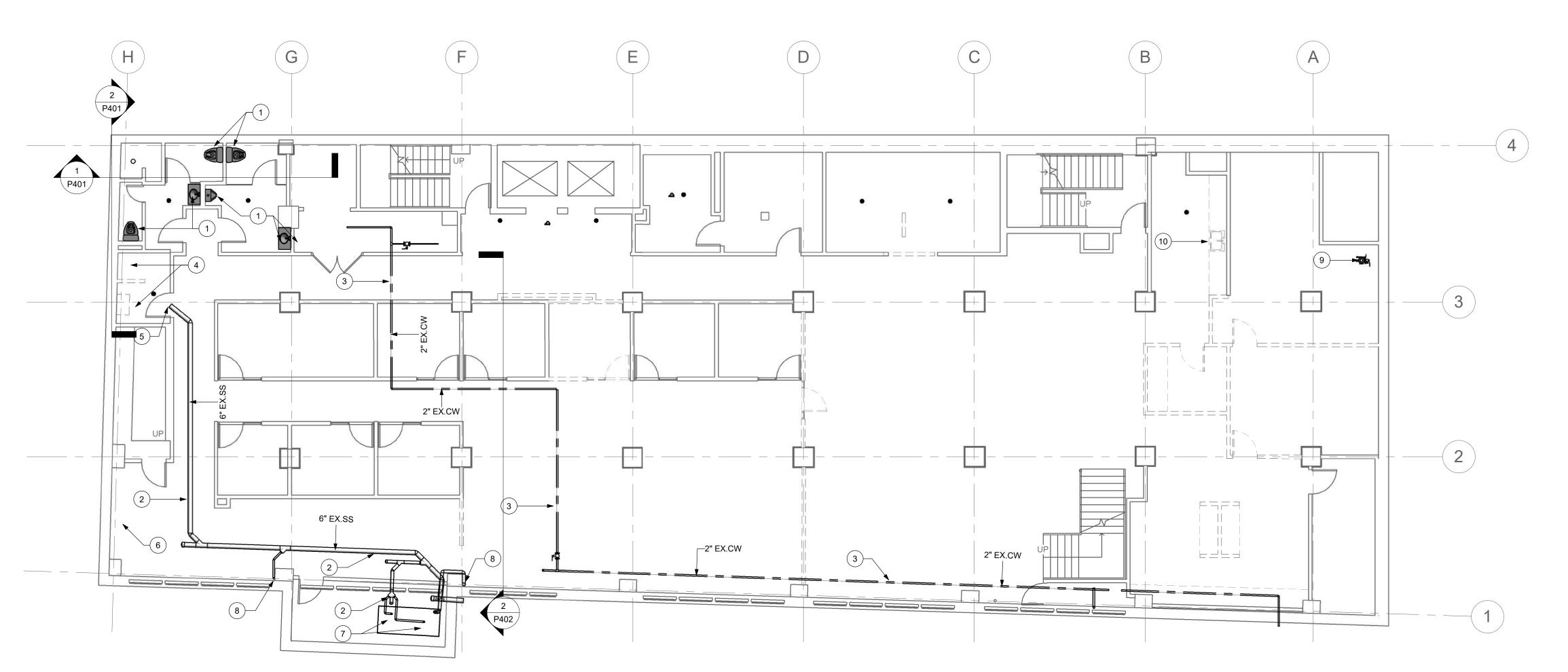
Civil:

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BASEMENT UNDER FLOOR PLAN -**PLUMBING**



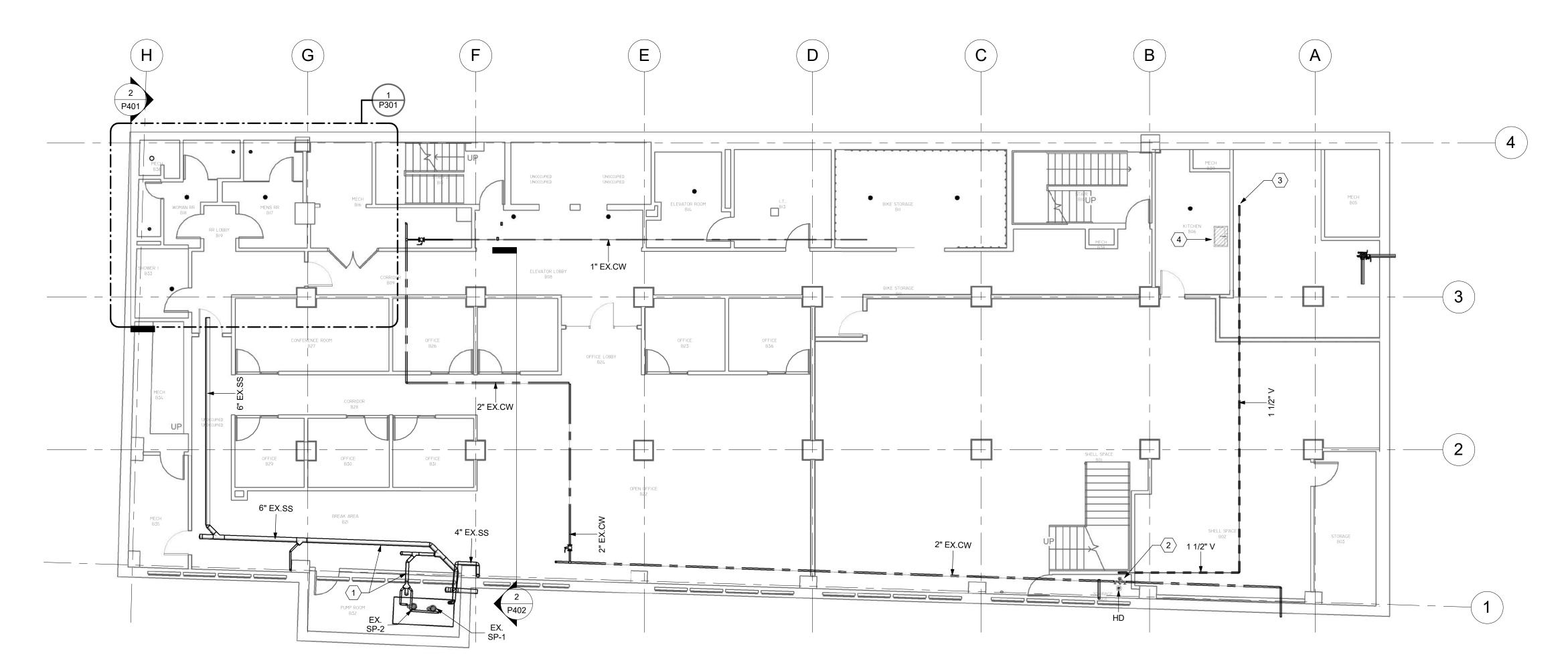


1 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. CAP AND CONCEAL EXISTING PLUMBING ROUGH-INS.

PLUMBING DEMOLITION KEYED NOTES:

- (2) EXISTING 6" SANITARY PIPING TO REMAIN.
- EXISTING 2" DOMESTIC WATER TO REMAIN.
- (4) EXISTING PLUMBING FIXTURE TO BE REPLACED WITH
- (5) DEMO EXISTING SANITARY PIPING UP TO THIS POINT. 6 EXISTING GAS METER, REGULATOR, AND PIPING ARE EXISTING TO REMAIN.
- (7) EXISTING SUMP PUMPS ARE EXISTING TO REMAIN.
- EXISTING SANITARY RISER TO REMAIN.
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.
- EXISTING HAND SINK, ROUGH-INS, AND PIPING TO

DEMO PLAN BASEMENT - PLUMBING 1/8" = 1'-0"



PLUMBING NEW KEYED NOTES:

- EXISTING SANITARY PIPING AND SUMP PUMPS ARE EXISTING TO REMAIN.
- 2 PROVIDE 2" BACKFLOW PREVENTER HUB DRAIN.
- ROUTE AND CONNECT NEW 1-1/2" VENT TO EXISTING VENT PIPING. FIELD VERIFY EXACT LOCATION.
- 4 EXISTING HAND SINK, ROUGH-INS, AND PIPING TO

FIRE PROTECTION NOTES:

- 1. THE EXISTING BUILDING IS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. THE DESIGN AND INSTALLATION OF SPRINKLER MODIFICATIONS SHALL BE IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES. SUBMIT SHOP DRAWINGS AND CALCULATIONS AS SPECIFIED.
- 2. AREAS SUBJECT TO FREEZING IS PROTECTED WITH A HYDRAULICALLY DESIGN, SIZED, INSTALLED DRY-PIPE SYSTEM IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES.
- 3. DRAWINGS INDICATE THE FIRE SPRINKLER SERVICE TO THE BUILDING PROVIDE ALL VALVES, DEVICES, FITTINGS, APPURTENANCES, ETC., REQUIRED FOR A COMPLETE SYSTEM. ALL SPRINKLER HEADS SHALL BE INDICATED ON APPROVED SHOP DRAWINGS.
- 4. COORDINATE LOCATION OF SPRINKLER FLOW PRESSURE AND TAMPER SWITCHES WITH FIRE ALARM TRADES.







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Landscape Architect:

Civil:

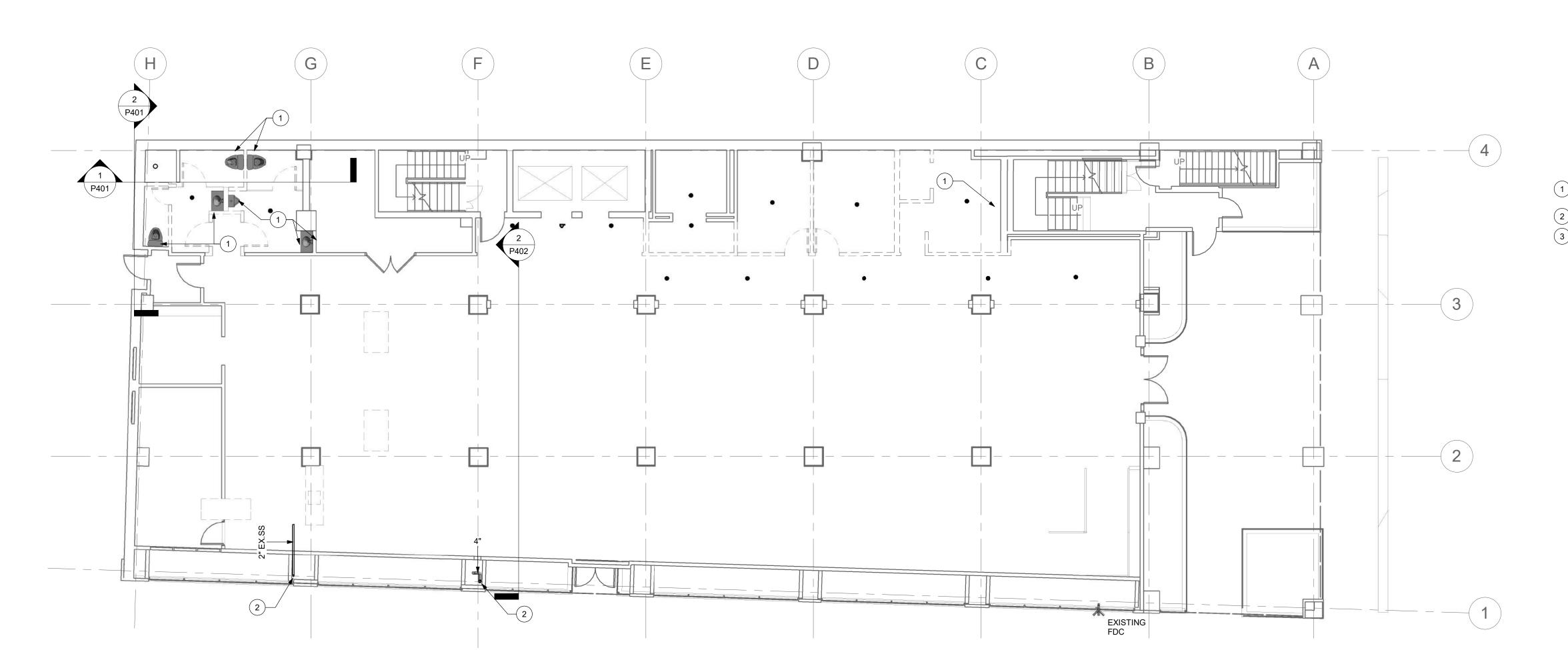
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BASEMENT FLOOR PLAN - PLUMBING





PLUMBING DEMOLITION KEYED NOTES:

- 1 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. CAP AND CONCEAL EXISTING PLUMBING ROUGH-INS.
- (2) EXISTING SANITARY RISER TO REMAIN.
- 3 EXISTING FDC TO REMAIN.

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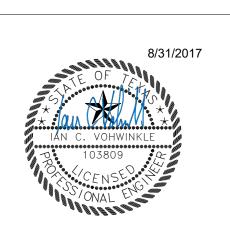
n/a

Landscape Architect:

Civil:

ILDING BURNS

OWNER: AREA REAL ESTATE, LLC

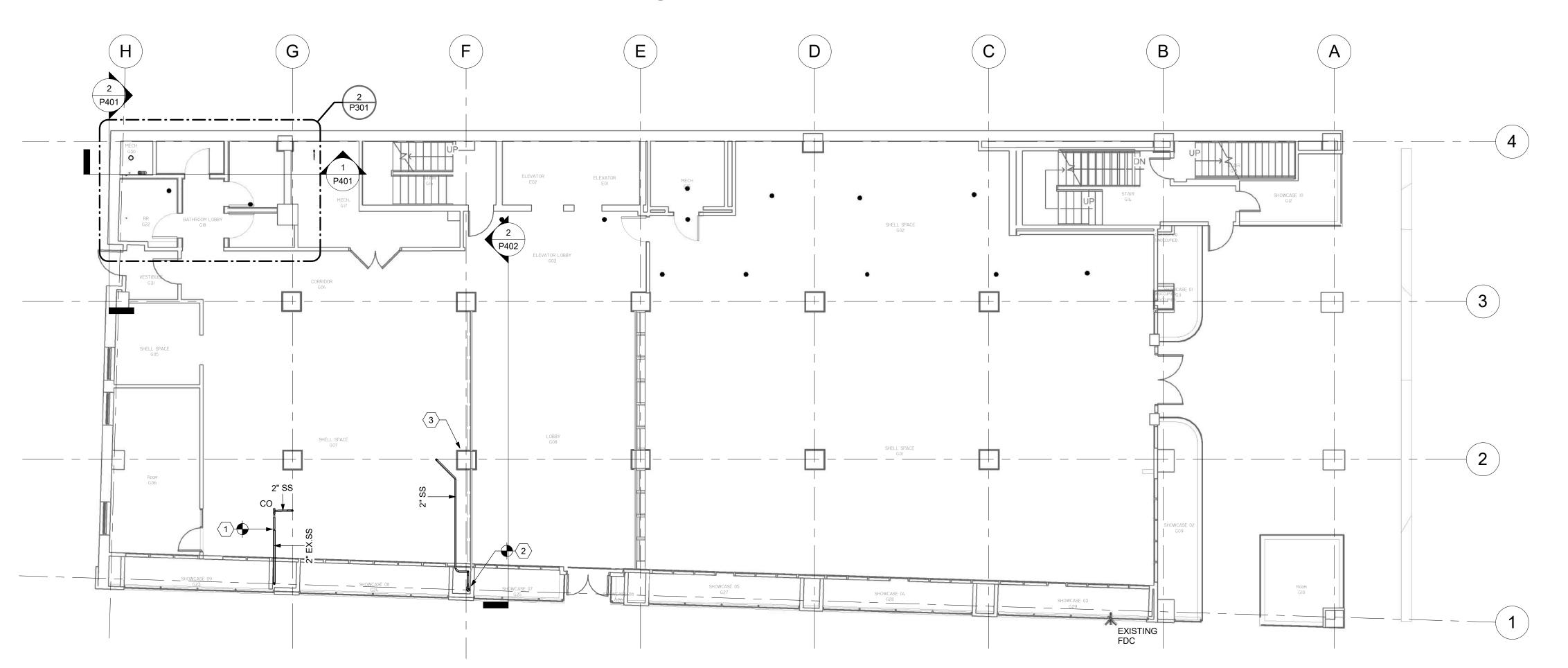


FLOOR PLAN LEVEL 1 - PLUMBING







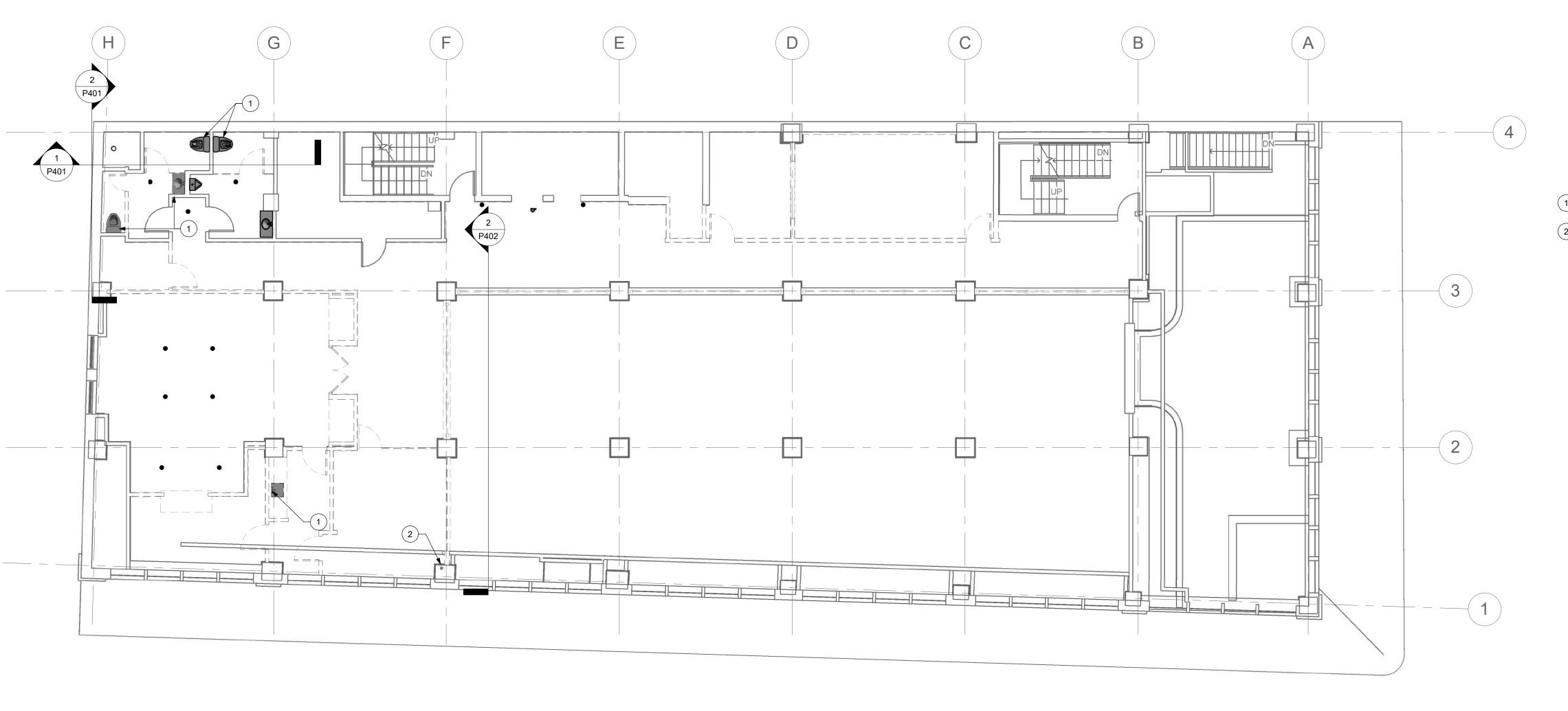


PLUMBING NEW KEYED NOTES:

- CONNECT NEW 2" SANITARY SEWER TO EXISTING 2" SANITARY. FIELD VEIRFY EXACT LOCATION.
- CONNECT NEW 2" SANITARY SEWER TO EXISTING 4" SANITARY STACK. FIELD VEIRFY EXACT LOCATION.
- (3) 2" SANITARY FROM ABOVE.

FIRE PROTECTION NOTES:

- THE EXISTING BUILDING IS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. THE DESIGN AND INSTALLATION OF SPRINKLER MODIFICATIONS SHALL BE IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES. SUBMIT SHOP DRAWINGS AND CALCULATIONS AS SPECIFIED.
- 2. AREAS SUBJECT TO FREEZING IS PROTECTED WITH A HYDRAULICALLY DESIGN, SIZED, INSTALLED DRY-PIPE SYSTEM IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES.
- 3. DRAWINGS INDICATE THE FIRE SPRINKLER SERVICE TO THE BUILDING PROVIDE ALL VALVES, DEVICES, FITTINGS, APPURTENANCES, ETC., REQUIRED FOR A COMPLETE SYSTEM. ALL SPRINKLER HEADS SHALL BE INDICATED ON APPROVED SHOP DRAWINGS.
- COORDINATE LOCATION OF SPRINKLER FLOW PRESSURE AND TAMPER SWITCHES WITH FIRE ALARM TRADES.



DEMO PLAN LEVEL 1.5 - PLUMBING

1/8" = 1'-0"

(D)

 (B)

G

2

PLUMBING DEMOLITION KEYED NOTES:

- 2 REMOVE EXISTING 4" SANITARY STACK FROM MEZZANINE LEVEL TO ROOF LEVEL. EXISTING 4"

- 1 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. CAP AND CONCEAL EXISTING PLUMBING ROUGH-INS.
- SANITARY STACK FROM BASEMENT LEVEL TO MEZZANINE LEVEL TO REMAIN.

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Landscape Architect:

Civil:

PLUMBING NEW KEYED NOTES:

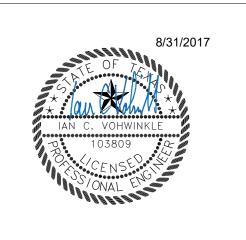
- $\langle 1 \rangle$ 2" SANITARY SEWER FROM ABOVE.
- 2 2" SANITARY SEWER DOWN TO LEVEL BELOW.
- 3/4" HOT WATER AND 3/4" COLD WATER UP TO LEVEL ABOVE.

FIRE PROTECTION NOTES:

3

- THE EXISTING BUILDING IS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. THE DESIGN AND INSTALLATION OF SPRINKLER MODIFICATIONS SHALL BE IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES. SUBMIT SHOP DRAWINGS AND CALCULATIONS AS SPECIFIED.
- 2. AREAS SUBJECT TO FREEZING IS PROTECTED WITH A HYDRAULICALLY DESIGN, SIZED, INSTALLED DRY-PIPE SYSTEM IN ACCORDANCE WITH NFPA 13 AND ALL
- 3. DRAWINGS INDICATE THE FIRE SPRINKLER SERVICE TO THE BUILDING PROVIDE ALL VALVES, DEVICES, FITTINGS, APPURTENANCES, ETC., REQUIRED FOR A COMPLETE SYSTEM. ALL SPRINKLER HEADS SHALL BE INDICATED ON APPROVED SHOP DRAWINGS.

- LOCAL CODES.
- 4. COORDINATE LOCATION OF SPRINKLER FLOW PRESSURE AND TAMPER SWITCHES WITH FIRE ALARM



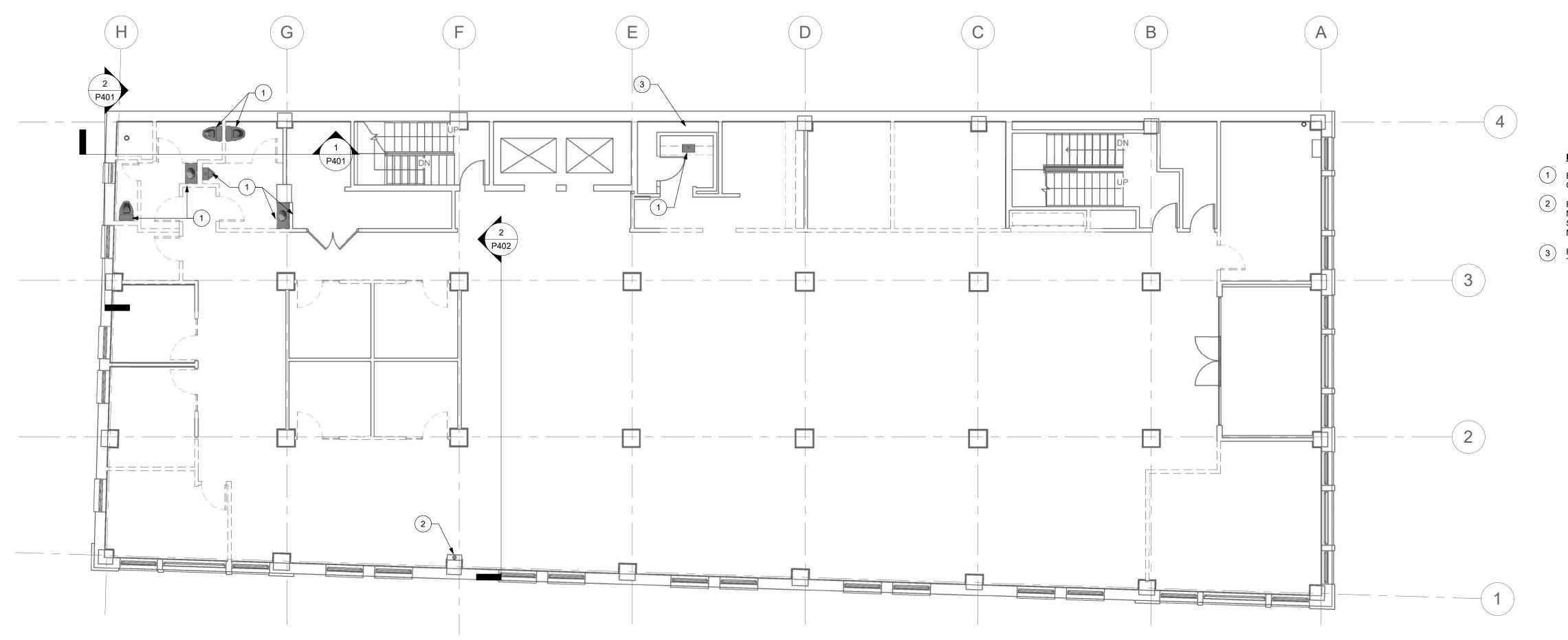
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FLOOR PLAN LEVEL 1.5 - PLUMBING



PLOOR PLAN LEVEL 1.5 - PLUMBING

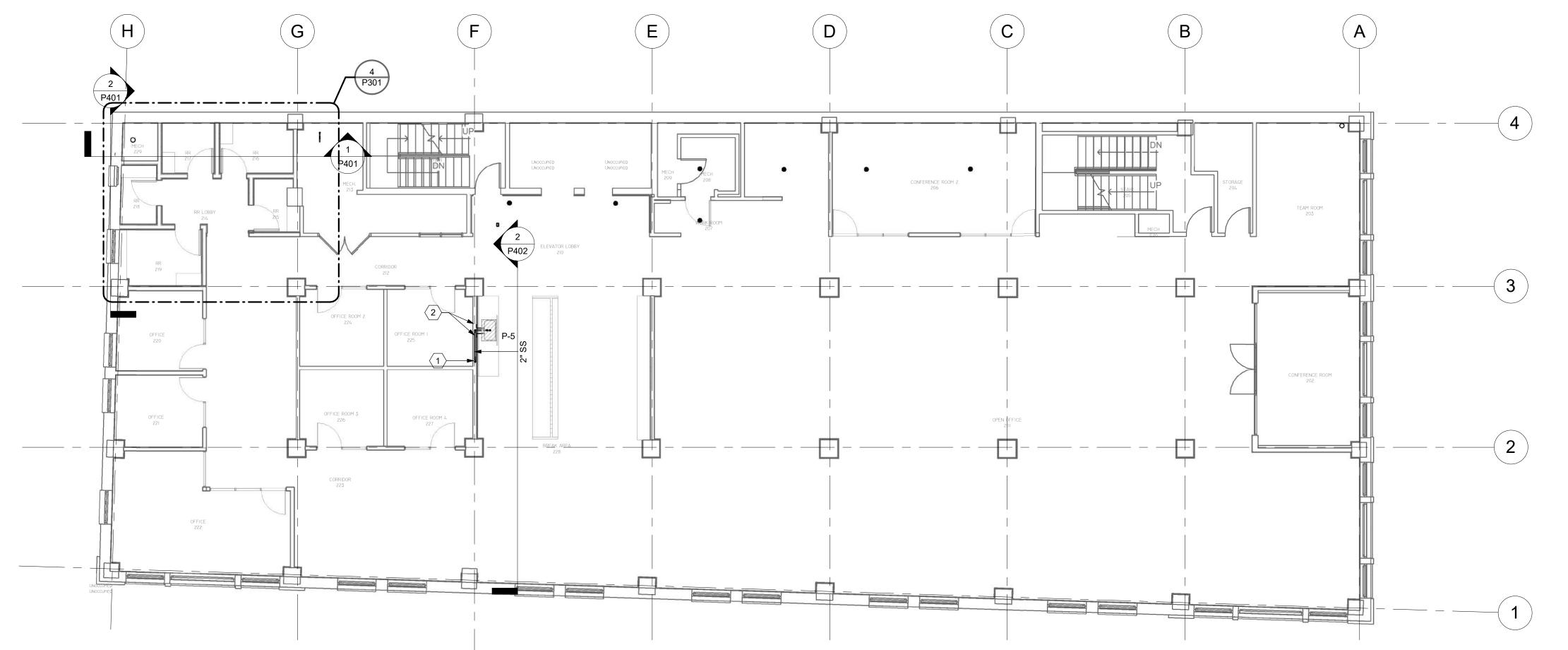
1/8" = 1'-0"



PLUMBING DEMOLITION KEYED NOTES:

- 1 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. CAP AND CONCEAL EXISTING PLUMBING ROUGH-INS.
- 2 REMOVE EXISTING 4" SANITARY STACK FROM MEZZANINE LEVEL TO ROOF LEVEL. EXISTING 4" SANITARY STACK FROM BASEMENT LEVEL TO MEZZANINE LEVEL TO REMAIN.
- REMOVE EXISTING SANITARY STACK AND VENT STACK TO EXISTING MAINS.

DEMO PLAN LEVEL 2 - PLUMBING 1/8" = 1'-0"



PLUMBING NEW KEYED NOTES:

- 1 2" SANITARY STACK AND 2" VENT STACK.
- 2 3/4" HOT WATER AND 3/4" COLD WATER FROM

FIRE PROTECTION NOTES:

- 1. THE EXISTING BUILDING IS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. THE DESIGN AND INSTALLATION OF SPRINKLER MODIFICATIONS SHALL BE IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES. SUBMIT SHOP DRAWINGS AND CALCULATIONS AS SPECIFIED.
- 2. AREAS SUBJECT TO FREEZING IS PROTECTED WITH A HYDRAULICALLY DESIGN, SIZED, INSTALLED DRY-PIPE SYSTEM IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES.
- 3. DRAWINGS INDICATE THE FIRE SPRINKLER SERVICE TO THE BUILDING PROVIDE ALL VALVES, DEVICES, FITTINGS, APPURTENANCES, ETC., REQUIRED FOR A COMPLETE SYSTEM. ALL SPRINKLER HEADS SHALL BE INDICATED ON APPROVED SHOP DRAWINGS.
- 4. COORDINATE LOCATION OF SPRINKLER FLOW PRESSURE AND TAMPER SWITCHES WITH FIRE ALARM

Architecture



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Total Art Design &

Structural:

Patrick Winn, AIA

n/a



Landscape Architect:

Civil:

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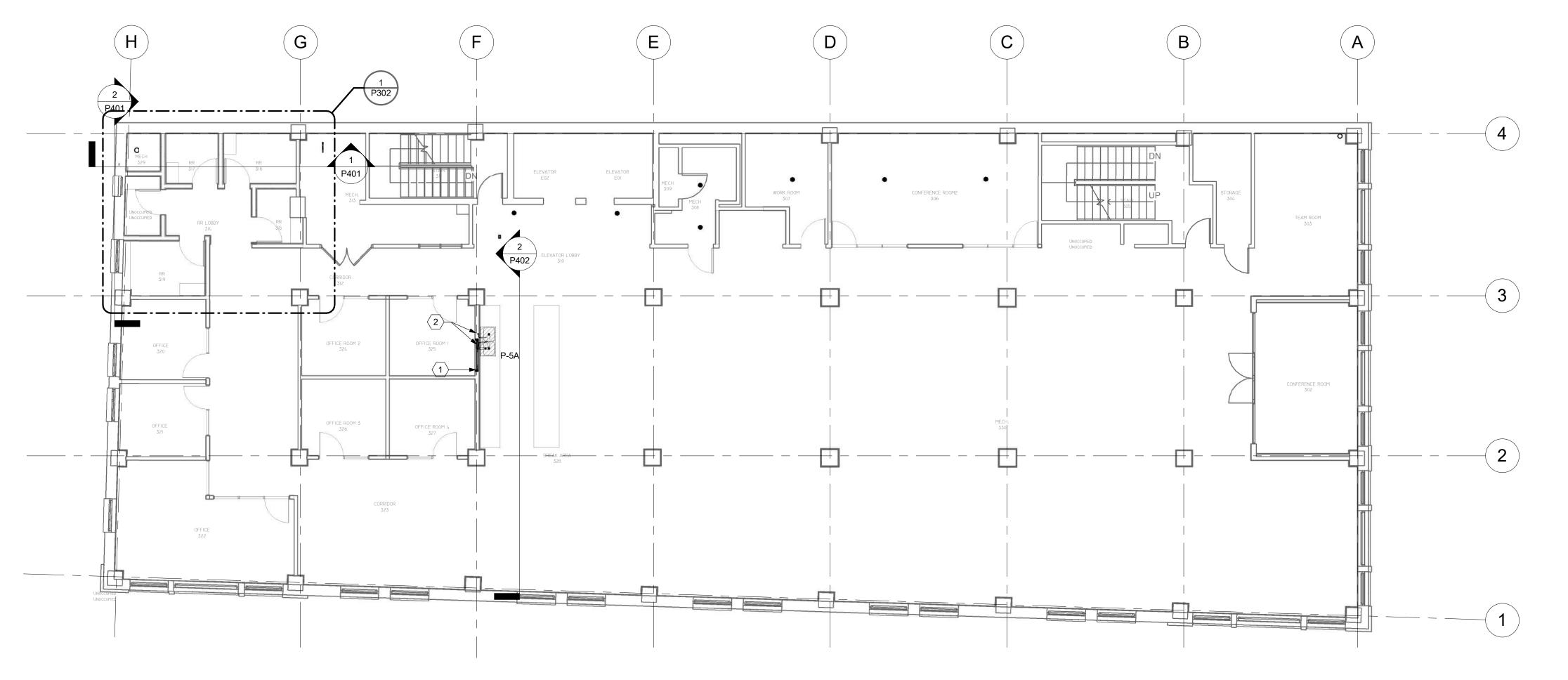


FLOOR PLAN LEVEL 2 - PLUMBING



2 FLOOR PLAN LEVEL 2 - PLUMBING
1/8" = 1'-0"

1 DEMO PLAN LEVEL 3 - PLUMBING



PLUMBING NEW KEYED NOTES:

2" SANITARY STACK AND 2" VENT STACK.

FIRE PROTECTION NOTES:

1. THE EXISTING BUILDING IS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. THE DESIGN AND INSTALLATION OF SPRINKLER MODIFICATIONS SHALL BE IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES. SUBMIT SHOP DRAWINGS AND CALCULATIONS AS SPECIFIED.

 $\langle 2 \rangle$ 3/4" HOT WATER AND 3/4" COLD WATER FROM BELOW.

- 2. AREAS SUBJECT TO FREEZING IS PROTECTED WITH A HYDRAULICALLY DESIGN, SIZED, INSTALLED DRY-PIPE SYSTEM IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES.
- 3. DRAWINGS INDICATE THE FIRE SPRINKLER SERVICE TO THE BUILDING PROVIDE ALL VALVES, DEVICES, FITTINGS, APPURTENANCES, ETC., REQUIRED FOR A COMPLETE SYSTEM. ALL SPRINKLER HEADS SHALL BE INDICATED ON APPROVED SHOP DRAWINGS.
- 4. COORDINATE LOCATION OF SPRINKLER FLOW PRESSURE AND TAMPER SWITCHES WITH FIRE ALARM

PLUMBING DEMOLITION KEYED NOTES:

- 1 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. CAP AND CONCEAL EXISTING PLUMBING ROUGH-INS.
- 2 REMOVE EXISTING 4" SANITARY STACK FROM MEZZANINE LEVEL TO ROOF LEVEL. EXISTING 4" SANITARY STACK FROM BASEMENT LEVEL TO MEZZANINE LEVEL TO REMAIN.
- REMOVE EXISTING SANITARY STACK AND VENT STACK TO EXISTING MAINS.

Total Art Design &





Architecture

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Firm Reg. No. F-465

Landscape Architect:

n/a

Civil:

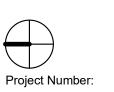
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BURNS BUILDING

OWNER: AREA REAL ESTATE, LLC



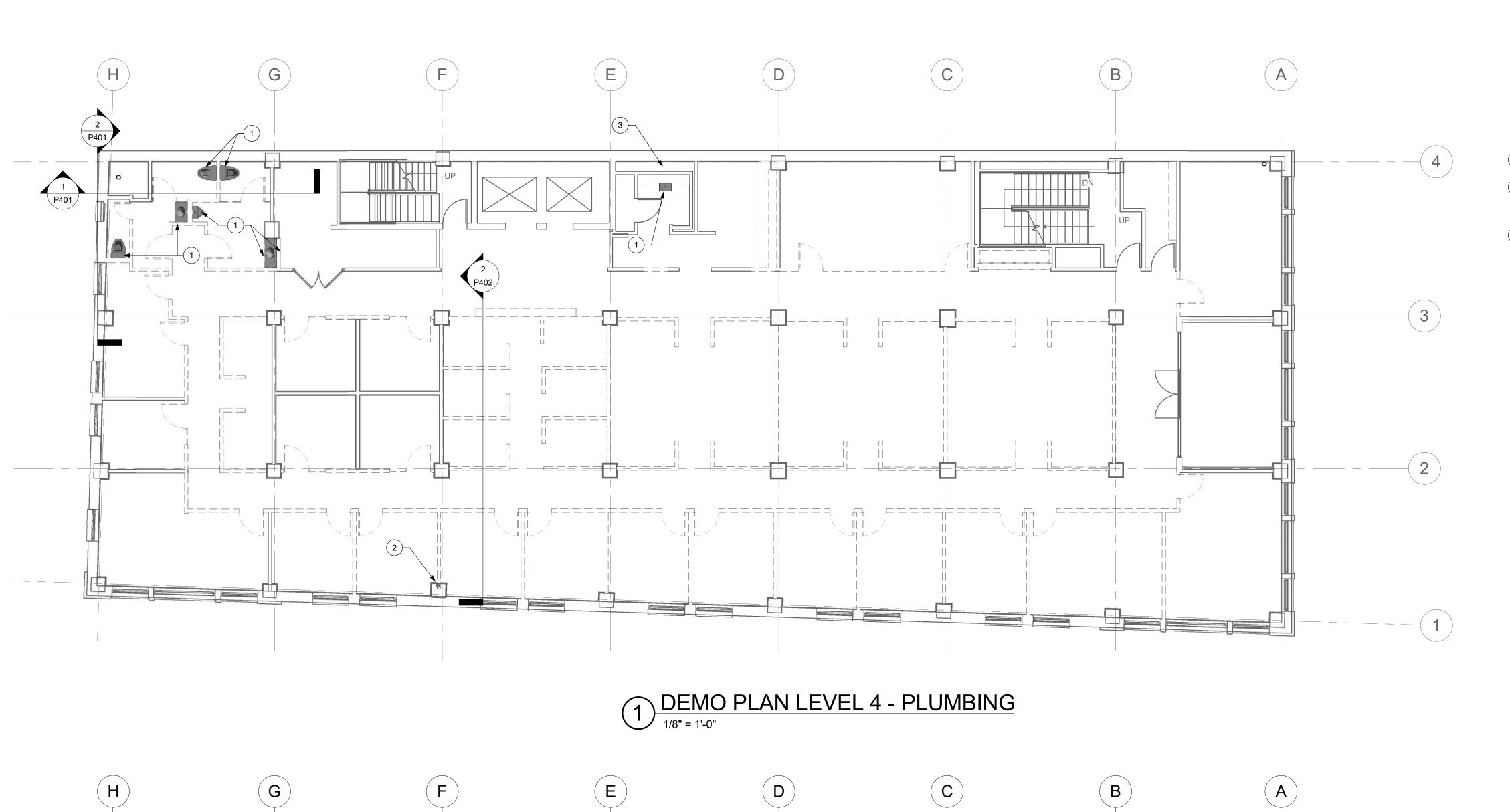
FLOOR PLAN LEVEL 3
- PLUMBING



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PLOOR PLAN LEVEL 3 - PLUMBING

1/8" = 1'-0"





- 1 EXISTING PLUMBING FIXTURES TO BE DEMOLISHED. CAP AND CONCEAL EXISTING PLUMBING ROUGH-INS.
- 2 REMOVE EXISTING 4" SANITARY STACK FROM MEZZANINE LEVEL TO ROOF LEVEL. EXISTING 4" SANITARY STACK FROM BASEMENT LEVEL TO MEZZANINE LEVEL TO REMAIN.
- REMOVE EXISTING SANITARY STACK AND VENT STACK TO EXISTING MAINS.

PLUMBING NEW KEYED NOTES:

- \langle 1 \rangle 2" SANITARY STACK AND 2" VENT STACK.
- $\langle 3 \rangle$ 2" VENT AND 3/4" HOT WATER UP TO LEVEL ABOVE.

FIRE PROTECTION NOTES:

- 1. THE EXISTING BUILDING IS PROTECTED WITH A WET PIPE SPRINKLER SYSTEM. THE DESIGN AND INSTALLATION OF SPRINKLER MODIFICATIONS SHALL BE IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES. SUBMIT SHOP DRAWINGS AND CALCULATIONS AS SPECIFIED.
- 2. AREAS SUBJECT TO FREEZING IS PROTECTED WITH A HYDRAULICALLY DESIGN, SIZED, INSTALLED DRY-PIPE SYSTEM IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL CODES.
- COORDINATE LOCATION OF SPRINKLER FLOW PRESSURE AND TAMPER SWITCHES WITH FIRE ALARM TRADES.



Structural:

n/a

Civil:

BURNS

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Landscape Architect:

Architecture

Patrick Winn, AIA



8/31/2017

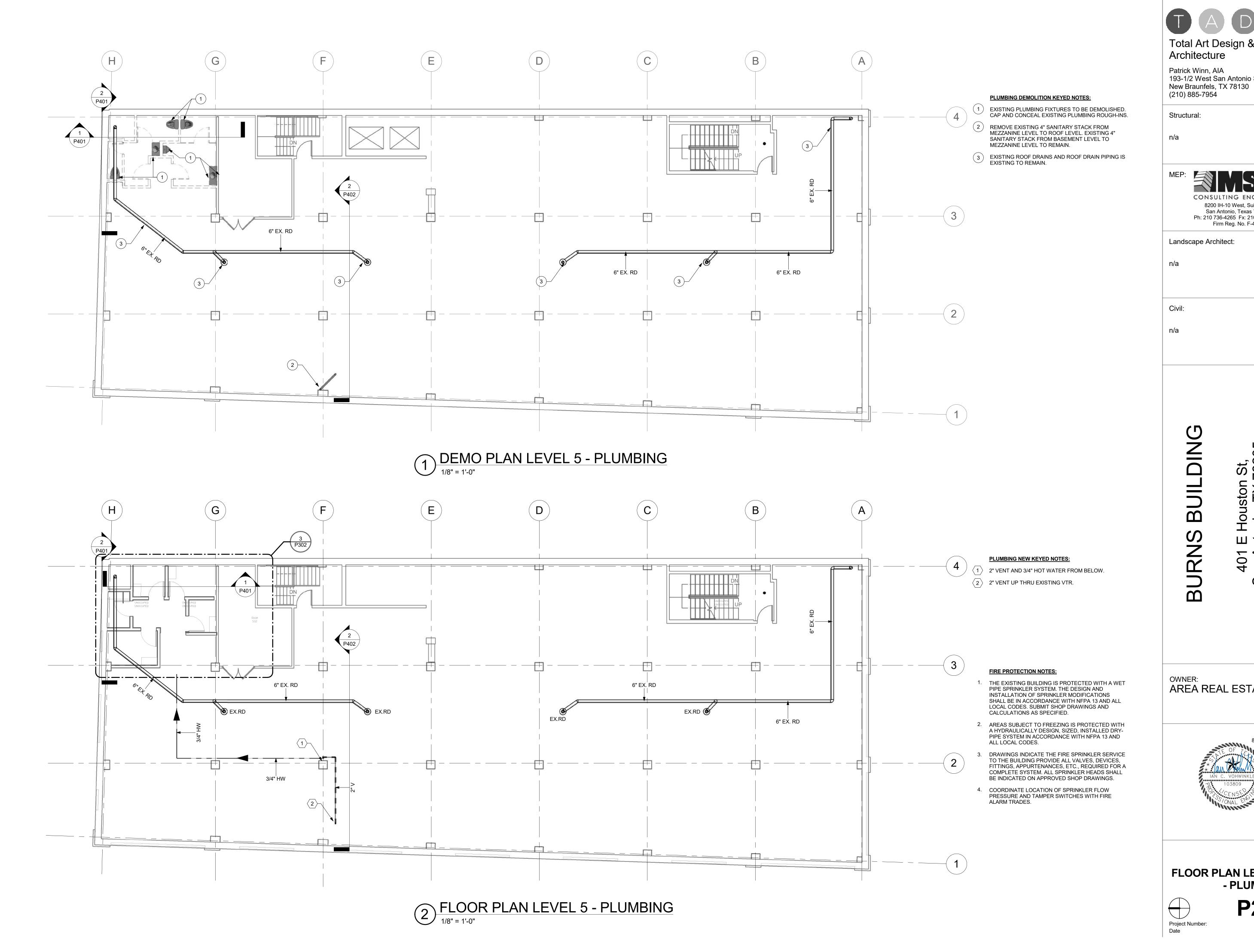
PLOOR PLAN LEVEL 4 - PLUMBING

1/8" = 1'-0"



- $\langle 2 \rangle$ 3/4" HOT WATER AND 3/4" COLD WATER FROM BELOW.

- 3. DRAWINGS INDICATE THE FIRE SPRINKLER SERVICE TO THE BUILDING PROVIDE ALL VALVES, DEVICES, FITTINGS, APPURTENANCES, ETC., REQUIRED FOR A COMPLETE SYSTEM. ALL SPRINKLER HEADS SHALL BE INDICATED ON APPROVED SHOP DRAWINGS.









Total Art Design & Architecture

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Structural:

n/a

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Landscape Architect:

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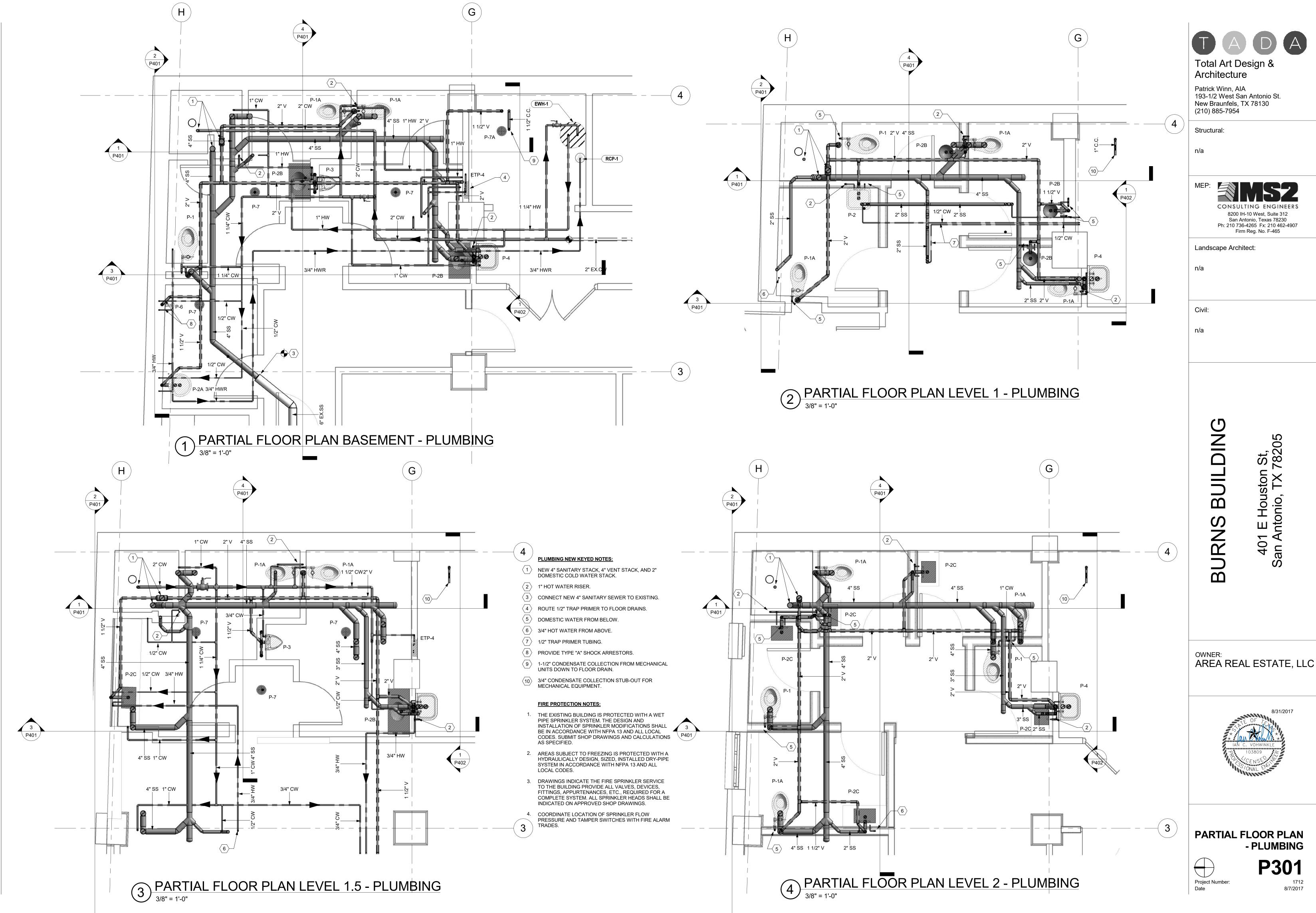
BURNS

AREA REAL ESTATE, LLC



FLOOR PLAN LEVEL 5 - PLUMBING









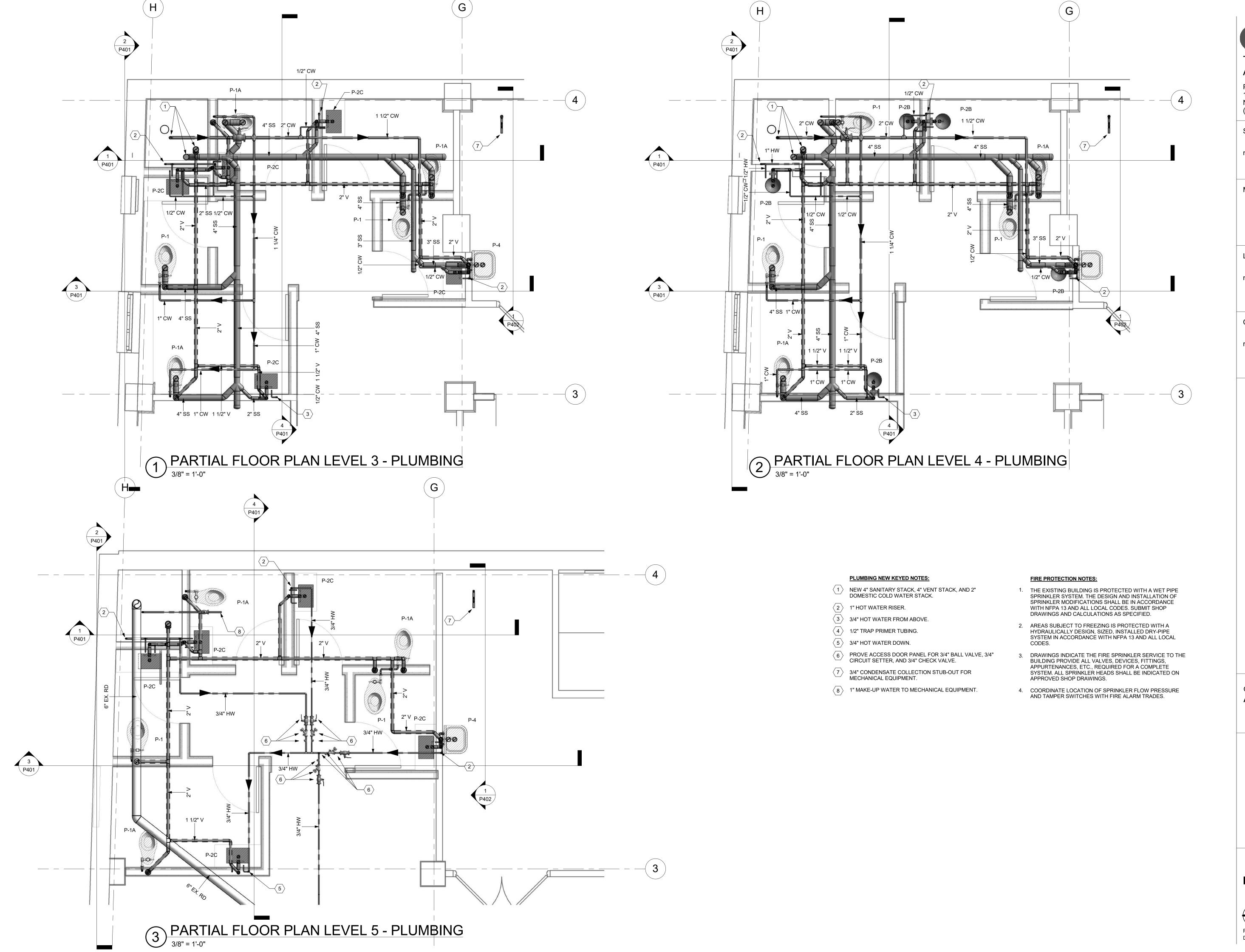
Total Art Design &

Architecture

8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Firm Reg. No. F-465



PARTIAL FLOOR PLAN - PLUMBING









Total Art Design &

Architecture Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Firm Reg. No. F-465

Landscape Architect:

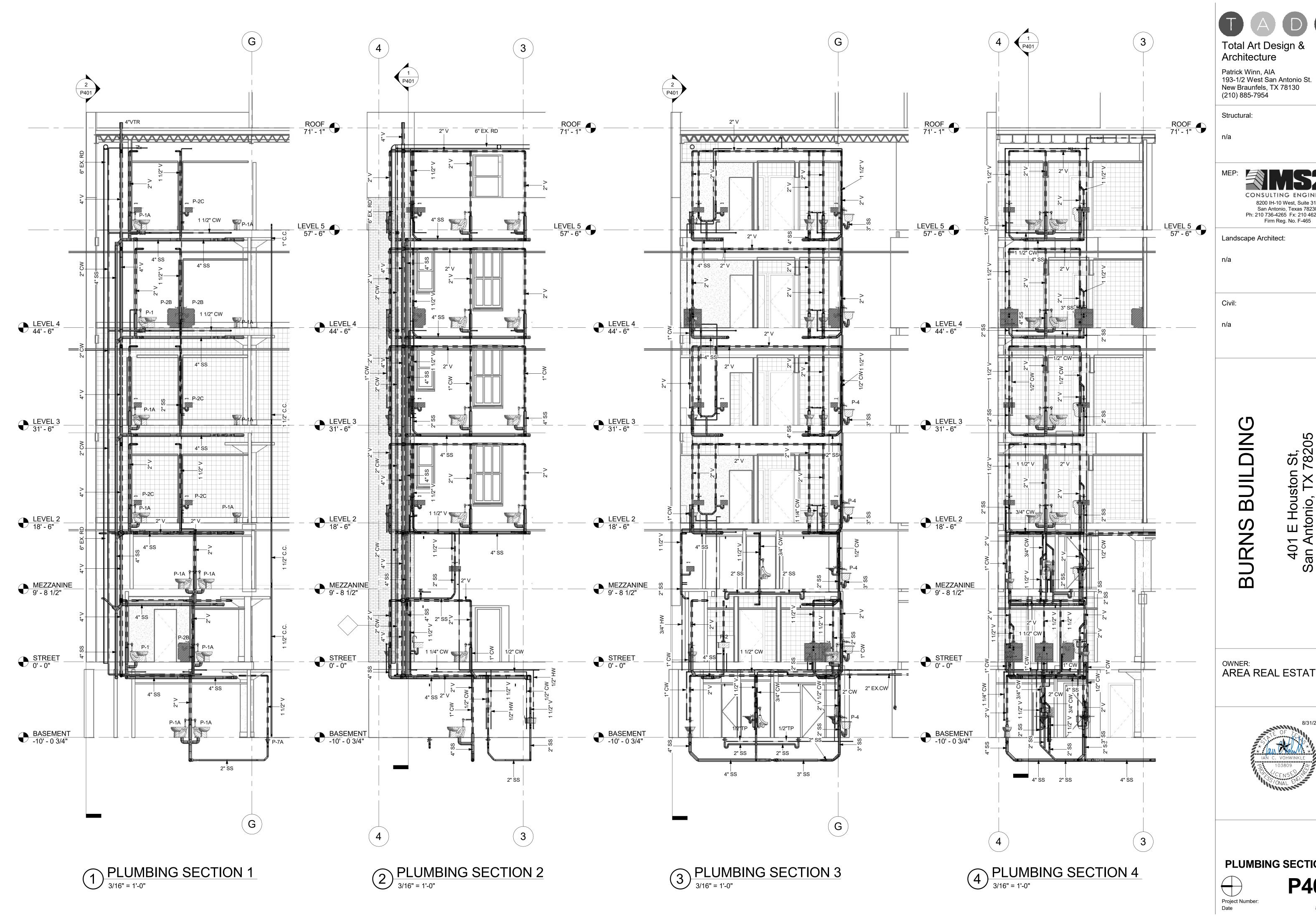
Civil:

AREA REAL ESTATE, LLC



PARTIAL FLOOR PLAN - PLUMBING









Total Art Design &

Architecture

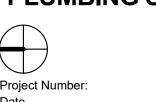
8200 IH-10 West, Suite 312 San Antonio, Texas 78230 Ph: 210 736-4265 Fx: 210 462-4907 Firm Reg. No. F-465

401 E Houston St, San Antonio, TX 78205

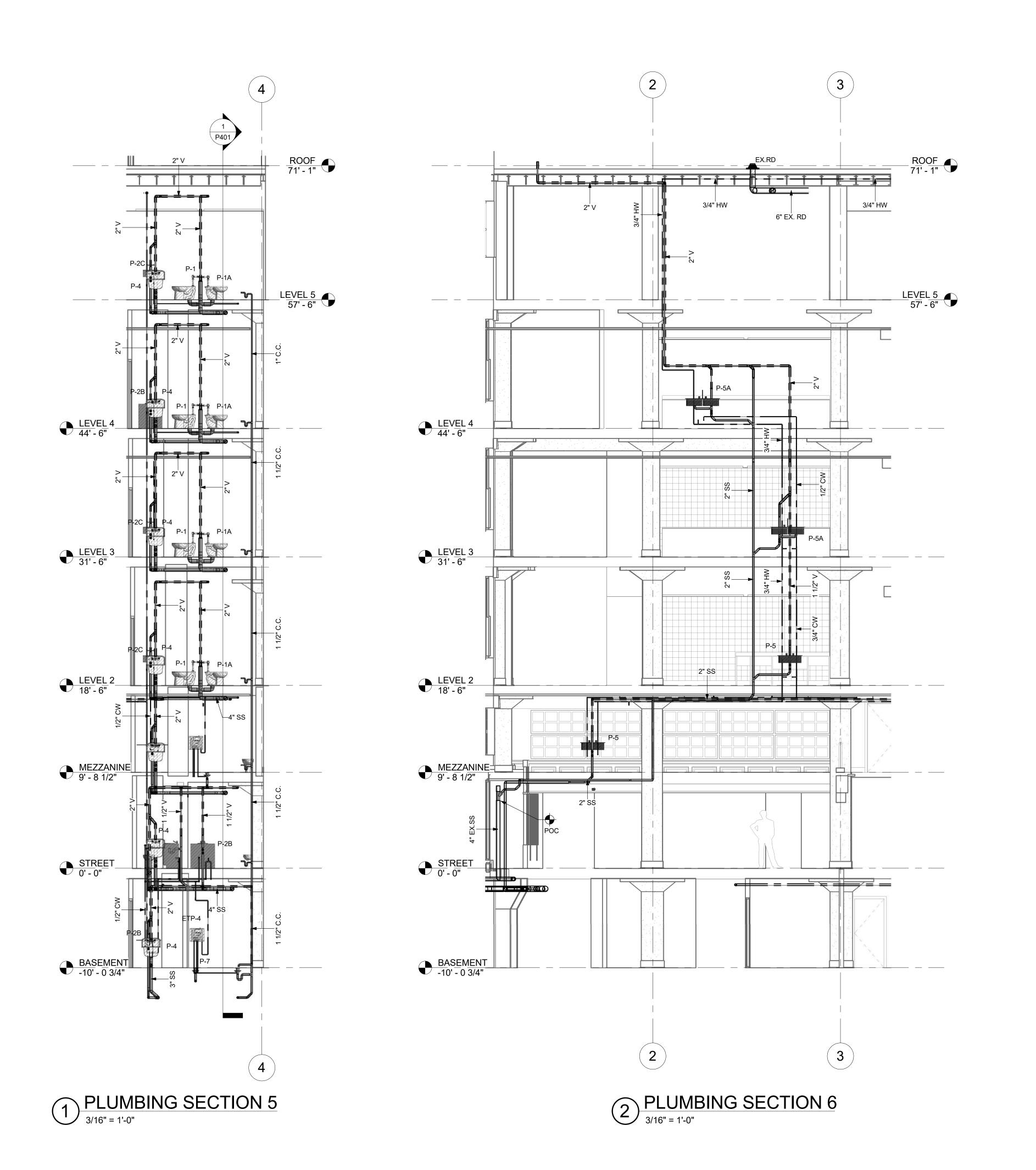
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PLUMBING SECTIONS



P401 1712 8/7/2017











Patrick Winn, AIA 193-1/2 West San Antonio St. New Braunfels, TX 78130 (210) 885-7954

Structural:

n/a

CONSULTING ENGINEERS

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San Antonio, Texas 78230
Ph: 210 736-4265 Fx: 210 462-4907
Firm Reg. No. F-465

Landscape Architect:

а

Civil:

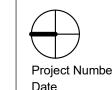
n/a

BURNS BUILDING

OWNER: AREA REAL ESTATE, LLC



PLUMBING SECTIONS

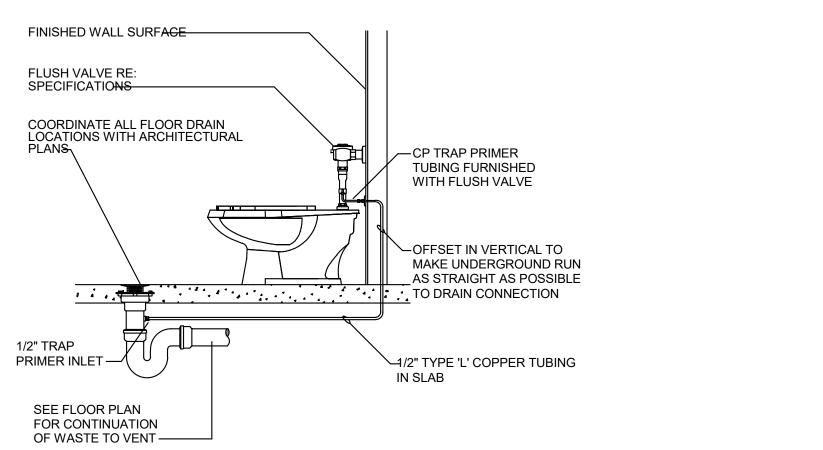


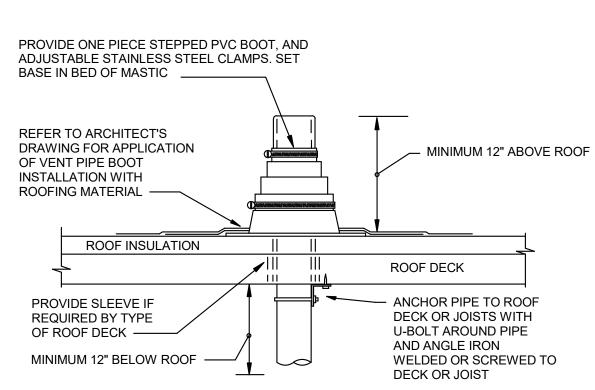


	TH	HERM	10S	TATIC I	MIXING	G VALVE SCHEDULE
MARK	SERVICE	INLET S	SIZE	OUTLET	MIN. FLOW	REMARKS
		CW	HW	SIZE	RATE	
MV-1	120° DOMESTIC HOT WATER	3/4"	3/4"	3/4"	0.5	POWERS #431-A-F-M-S-4; THERMOSTATIC MIXING VALVE, ROUGH BRONZE FINISH
NOTES: 1.) APPROVED MAN	IUFACTURERS: POWERS. INSTALL IN A	CCORDAN	ICE WIT	H MANUFAC	TURER'S PIF	PING DIAGRAM TO ENSURE PROPER INSTALLATION AND OPERATION.

				WA	ΓER HE	ATER S	CHE	DULE		
	RECOVER	RY	STORAGE	LINING		M	AXIMUM INI	PUT		
MARK	GPH	(F) RISE	GALLONS		FUEL	CFH	HP	VOLTS/ PH	KW	REMARKS
EWH-1	27	60	20	GLASS	ELECTRIC			208/1	4.5	A.O. SMITH #DEL-20

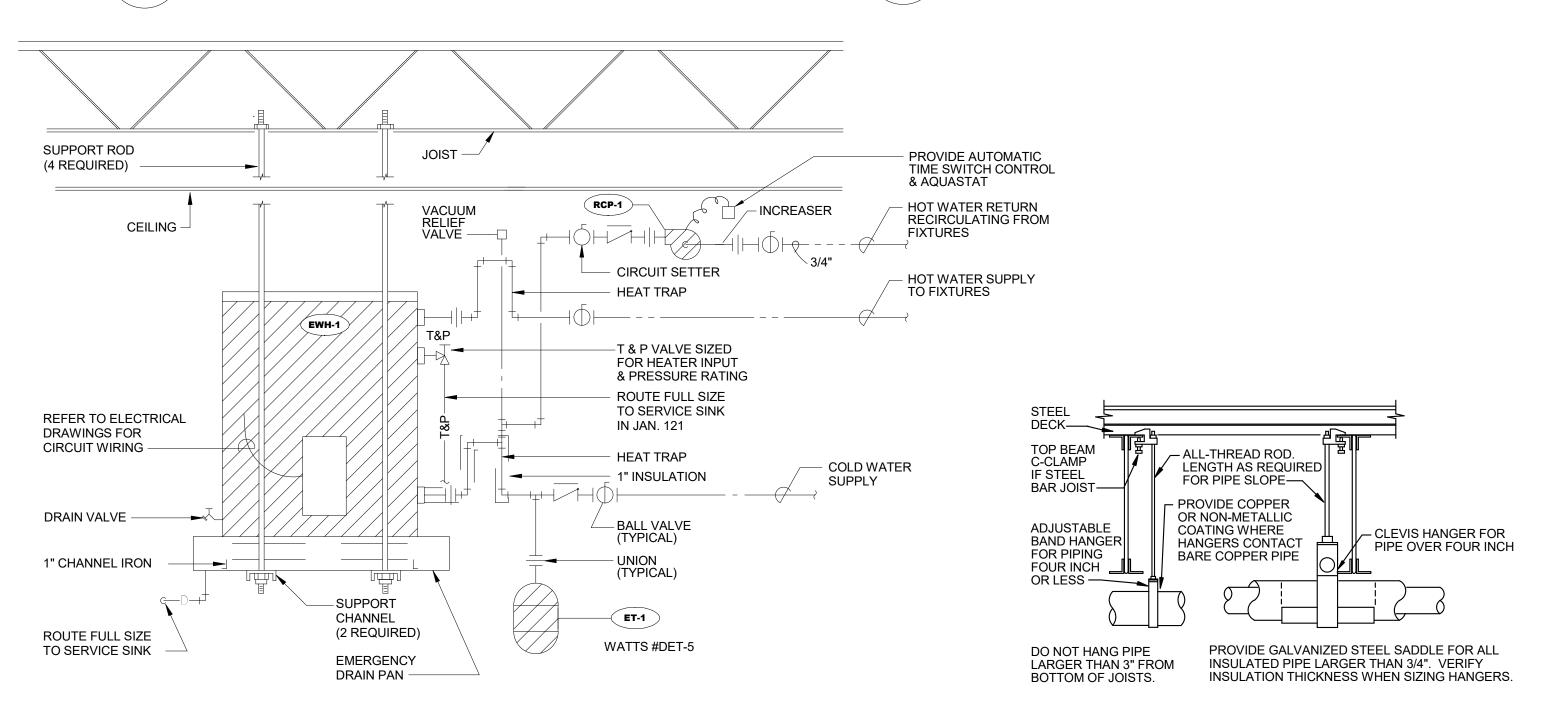
	RECIRCUL	_ATIN	G PUN	1P SC	HEDL	JLE		
			TOTAL	MOTOR	E	ELECTRICA	L	
MARK	SERVICE	GPM	HEAD FT	HP	VOLTS	PHASE	HERTZ	REMARKS
RCP-1	110° HOT WATER	5	5	1/6	115	1	60	BELL & GOSSET SERIES PR











3 ELECTRIC WATER HEATER DETAIL
NOT TO SCALE



MARK COLD WATER SIZE OF ELECTRIC MANIFOLD OPENINGS REMARKS													
	INLET	OUTLET	CABINET	V/Ph									
ETP-12	3/4	1/2	12"x12"x4"	120/1	12	PRECISION PLUMBING PRODUCTS MODEL #PT-12							

			SHOCK	(ARRES	STER SC	HEDUL	E
PDI UNIT TYPES	"A"	"B"	"C"	"D"	"E"	"F"	REMARKS
RANGE OF FIXTURE	1-11	12-32	33-60	61-113	115-154	155-330	PROVIDE ACCESS DOORS IN WALL AS SPECIFIED.

REFER TO 15405

1.) APPROVED MANUFACTURERS: PRECISION PLUMBING PRODUCTS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S PIPING DIAGRAM TO ENSURE

PROPER INSTALLATION AND OPERATION.

2. STOPS AND SUPPLIES: McGUIRE, SPECIFIED TRIM, ZURN

3. VALVES: SLOAN

UNITS SERVED

WALESCORE								
WATER CLOSE T	MARK 1					+		FIXTURE: AMERICAN STANDARD "MADERA" #2234.128, FLOOR MOUNTED 1.28 GPF ELONGATED BOWL FLUSH VALVE: SLOAN ROYAL #115-1.28 FLUSH VALVE, 1.28 GPF.
## POWNERS NOW, \$11 - 12 12 12 13 13 14 14 14 14 14 14					411		\/=0	
## CONTROLOGY DISTRICT ## AUDITORY DISTRICT ## AUDITORY A LAVATORY 12		WATER CLOSET	1"		4"	2"	YES	ELONGATED BOWL FLUSH VALVE: SLOAN ROYAL #111-1.28 FLUSH VALVE, 1.28 GPF. COLOR: WHITE VITREOUS CHINA.
LANATORY		LAVATORY	1/2"	1/2"	2"	1 1/2"	YES	4" CENTER HOLES, FRONT OVERFLOW COLOR: WHITE FAUCET: DELTA "LAHARA" #25938LF, 0.5 GPM MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC
LAVATORY	A	LAVATORY	1/2"	1/2"	2"	1 1/2"	YES	FIXTURE: VANITY SINK, ROUND, SPECIFIED BY ARCHITECT AND INSTALL BY G.C. 4" CENTER HOLES, FRONT OVERFLOW COLOR: WHITE FAUCET: DELTA "LAHARA" #25938LF, 0.5 GPM MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC
COLOR: WHITE FAUCET: DELTA "LAHARA" #25938LF, 0.5 GPM MINION VALVE POWERS MODE, #LM96-1; ASSE 1070 STRAINER MCQUIRE #1950CG SUPPLIES McQUIRE #1950CG NSULATION KIT. TRUEBRO IND. "LAVQUARD 2" MODEL #103 E-Z WE FIXTURE: DUES MCGUIRE #1950CG NSULATION KIT. TRUEBRO IND. "LAVQUARD 2" MODEL #103 E-Z "CENTER HOLES, FRONT OWERE JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWERE JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWERE JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWERE JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWERE JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "CENTER HOLES, FRONT OWER JOB Y ARCHITECT AND INSTALL BY G.C. "FAUCET: ELEKAY HAROGONIST LONG GOOSENECK, G. SEPM, 4" WRIST BLADES MINION VALUE POWERS MOGUNET JOB Y AND INSTALL BY GROWN TOWER JOB Y ARCHITECT ASSE 1070 "STRAINER MCGUIRE #1950CC" INSULATION KIT. TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z "FIXTURE ELIKAY "LUSTERTOWE" HEADOSINGS TO GOOSENECK, G. SEPM, 4" WRIST BLADES MINION VALUE POWERS MCGUIRE #1050CC" INSULATION KIT. TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z "FIXTURE ELIKAY "LUSTERTOWE" HE	2B	LAVATORY	1/2"	1/2"	2"	1 1/2"	YES	
P-TRAP: McGUIRE #9902	2C	LAVATORY	1/2"	1/2"	2"	1 1/2"	YES	FAUCET: DELTA "LAHARA" #25938LF, 0.5 GPM MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC INSULATION KIT: TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z FIXTURE: UNDERMOUNT SINK, SQUARE, SPECIFIED BY ARCHITECT AND INSTALL BY G.C. 4" CENTER HOLES, FRONT OVERFLOW COLOR: WHITE FIXTURE: DELTA "LAHARA" #25938LF, 0.5 GPM MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070
FLUSH VALVE: SLOAN #186-0.5XL, FLUSH VALVE, 0.5 GPF, POLISHED CHROME CARRIER: WADE #W-400 SERIES, UNIVERSAL HANGER PLATE								P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC
FAUCET: AMERICAN STANDARD#7798.030, CAST IRON 'P" TRAP STANDARD TO WALL HAND SINK SINGLE 1/2" 1/2" 2" 1 1 1/2" YES FIXTURE: ELKAY "CELEBRITY" #CR3122, TOP MOUNT, 304 STAINLESS STEEL, 20 GA. FAUCET: ELKAY #LK406GN08T4 LONG GOOSENECK, 0.5GPM, 4" WRIST BLADES MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #2165CC INSULATION KIT: TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z A HAND SINK DOUBLE 1/2" 1/2" 2" 1 1 1/2" YES FIXTURE: ELKAY "LUSTERTONE" #LRAD331955, TOP MOUNT, 304 STAINLESS STEEL, 20 G/ FAUCET: ELKAY #LK406GN08T4 LONG GOOSENECK, 0.5GPM, 4" WRIST BLADES MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #3902 SUPPLIES: McGUIRE #35WC GRID STRAINER P-TRAP: McGUIRE #3902 SUPPLIES: McGUIRE #2165CC INSULATION KIT: TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z FLOOR DRAIN								FLUSH VALVE: SLOAN #186-0.5XL, FLUSH VALVE, 0.5 GPF, POLISHED CHROME CARRIER: WADE #W-400 SERIES, UNIVERSAL HANGER PLATE
SINGLE FAUCET: ELKAY #LK406GN08T4 LONG GOOSENECK, 0.5GPM, 4" WRIST BLADES MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC INSULATION KIT: TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z A HAND SINK DOUBLE 1/2" 1/2" 1/2" YES FIXTURE: ELKAY "LUSTERTONE" #LRAD331955, TOP MOUNT, 304 STAINLESS STEEL, 20 G/ FAUCET: ELKAY #LK406GN08T4 LONG GOOSENECK, 0.5GPM, 4" WRIST BLADES MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #3902 SUPPLIES: McGUIRE #3902 SUPPLIES: McGUIRE #2165CC INSULATION KIT: TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z FLOOR DRAIN 2" 11/2" - FIXTURE: WADE #W-1100-STD, CAST IRON DRAIN WITH FLANGE A FLOOR SINK 2" 11/2" - FIXTURE: WADE #W-9110-27-15, CAST IRON SQUARE FLOOR SINK, 8"x8"x6" DEEP.		SERVICE SINK	1/2"	1/2"	3"	2"	NO	
DOUBLE FAUCET: ELKAY #LK406GN08T4 LONG GOOSENECK, 0.5GPM, 4" WRIST BLADES MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC INSULATION KIT: TRUEBRO INC. "LAVGUARD 2" MODEL #103 E-Z FLOOR DRAIN			1/2"	1/2"	2"	1 1/2"	YES	FAUCET: ELKAY #LK406GN08T4 LONG GOOSENECK, 0.5GPM, 4" WRIST BLADES MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC
6A FLOOR SINK 2" 1 1/2" FIXTURE: WADE #W-9110-27-15, CAST IRON SQUARE FLOOR SINK, 8"x8"x6" DEEP.	5A		1/2"	1/2"	2"	1 1/2"	YES	MIXING VALVE: POWERS MODEL #LM495-1; ASSE 1070 STRAINER: McGUIRE #155WC GRID STRAINER P-TRAP: McGUIRE #8902 SUPPLIES: McGUIRE #2165CC
	6					1		
' ICE MAKER BOX 1/2" FIXTURE: OATEY #38681 OR EQUAL								

5. CARRIERS: WADE, ZURN, SMITH, JOSAM, MIFAB

6. DRAINS: WADE, ZURN, SMITH, JOSAM, MIFAB





Total Art Design &

193-1/2 West San Antonio St. New Braunfels, TX 78130

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> > 401 E Houstor San Antonio, TX

AREA REAL ESTATE, LLC

Architecture

Patrick Winn, AIA

(210) 885-7954

Landscape Architect:

Structural:

n/a

Civil:

n/a

BUI

BURNS

OWNER:



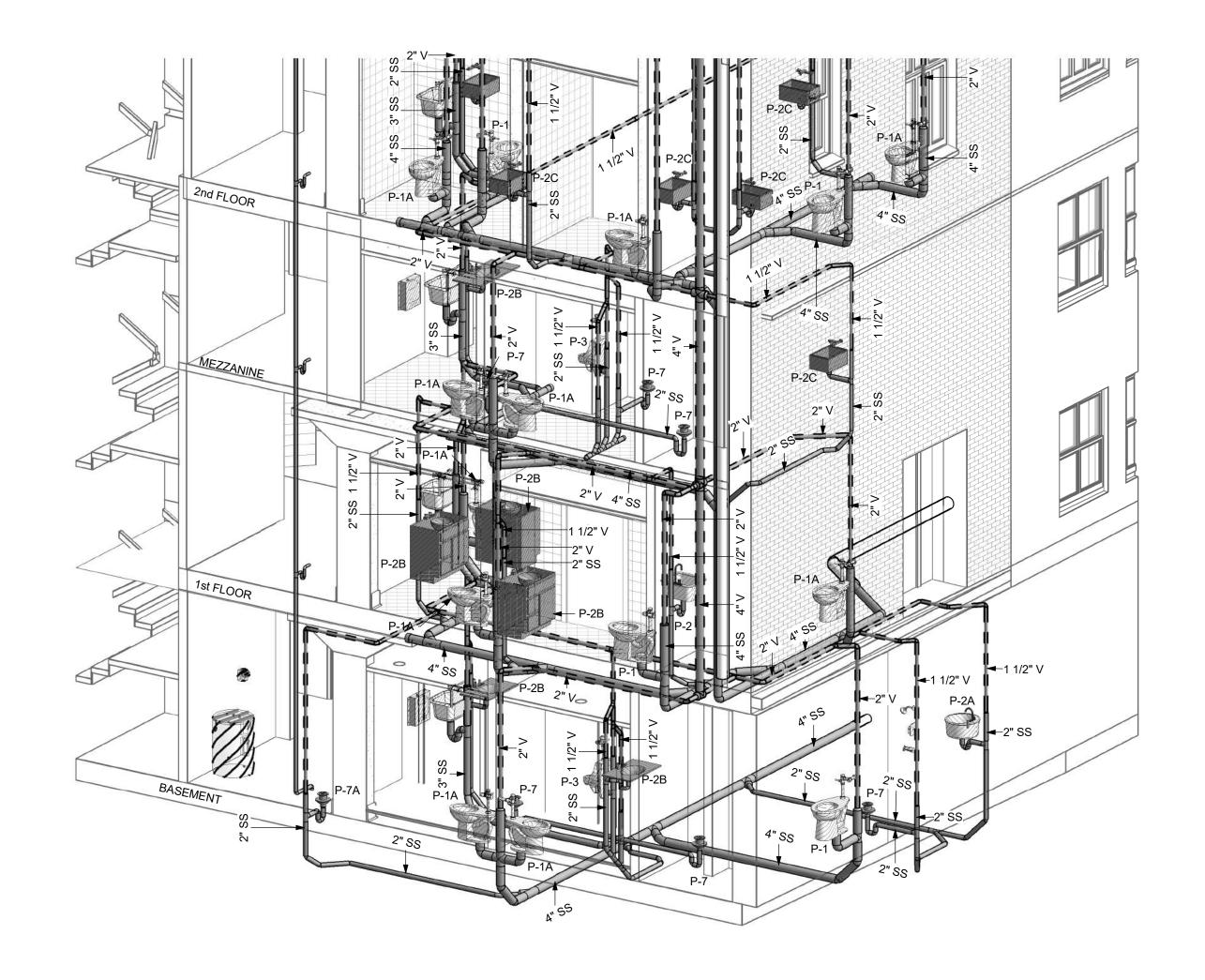
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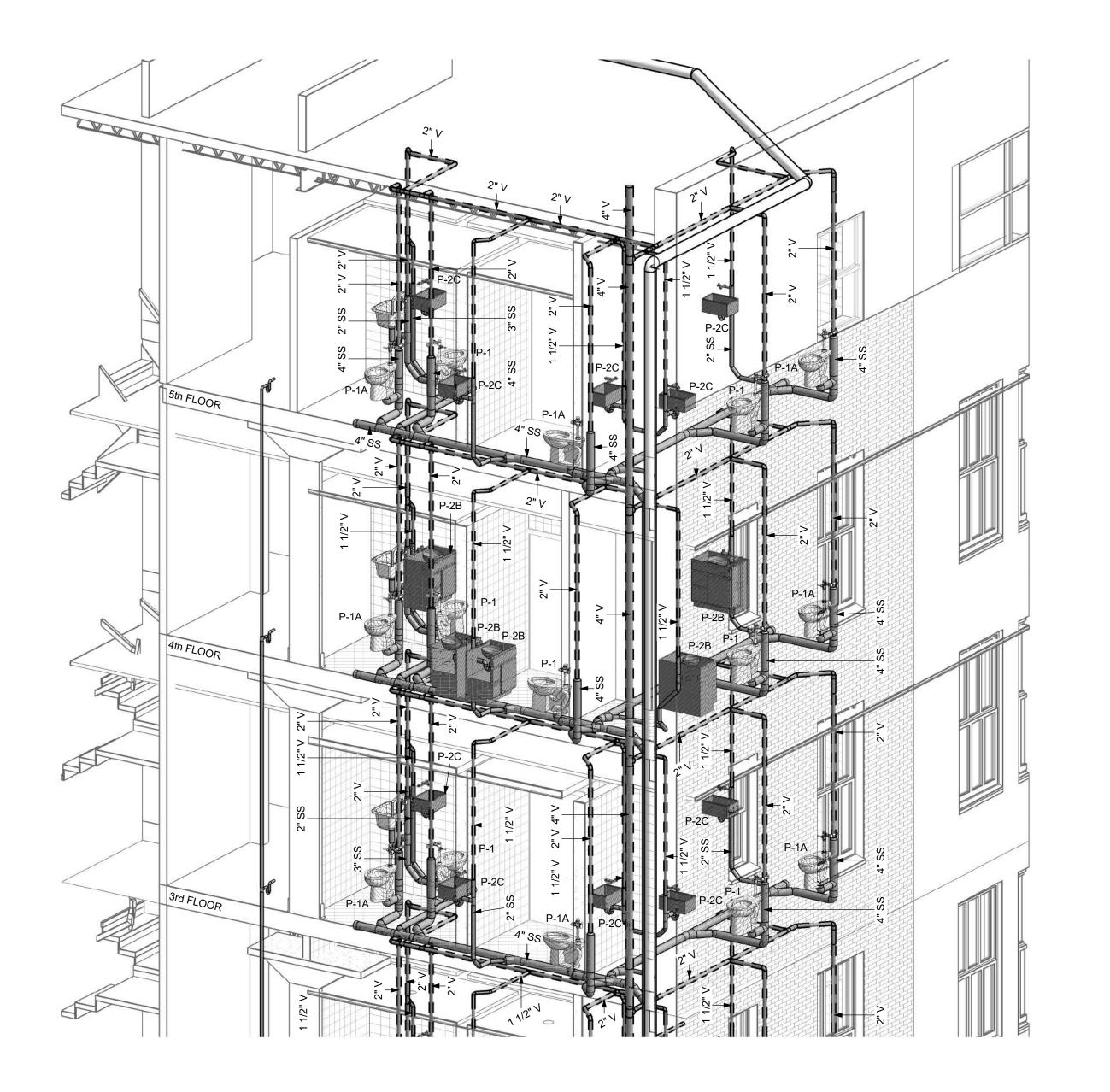
PLUMBING

SCHEDULES &

8/31/2017

Project Number:
Date





1 WASTE & VENT RISER DIAGRAM

2 WASTE & VENT RISER DIAGRAM.







Total Art Design & Architecture

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Structural:

n/a

CONSULTING ENGINEERS

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San Antonio, Texas 78230

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n/a

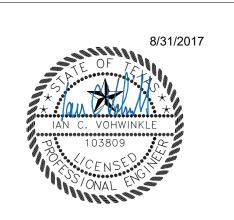
Civil:

n/a

LDING

401 E Housto San Antonio, TX

OWNER: AREA REAL ESTATE, LLC

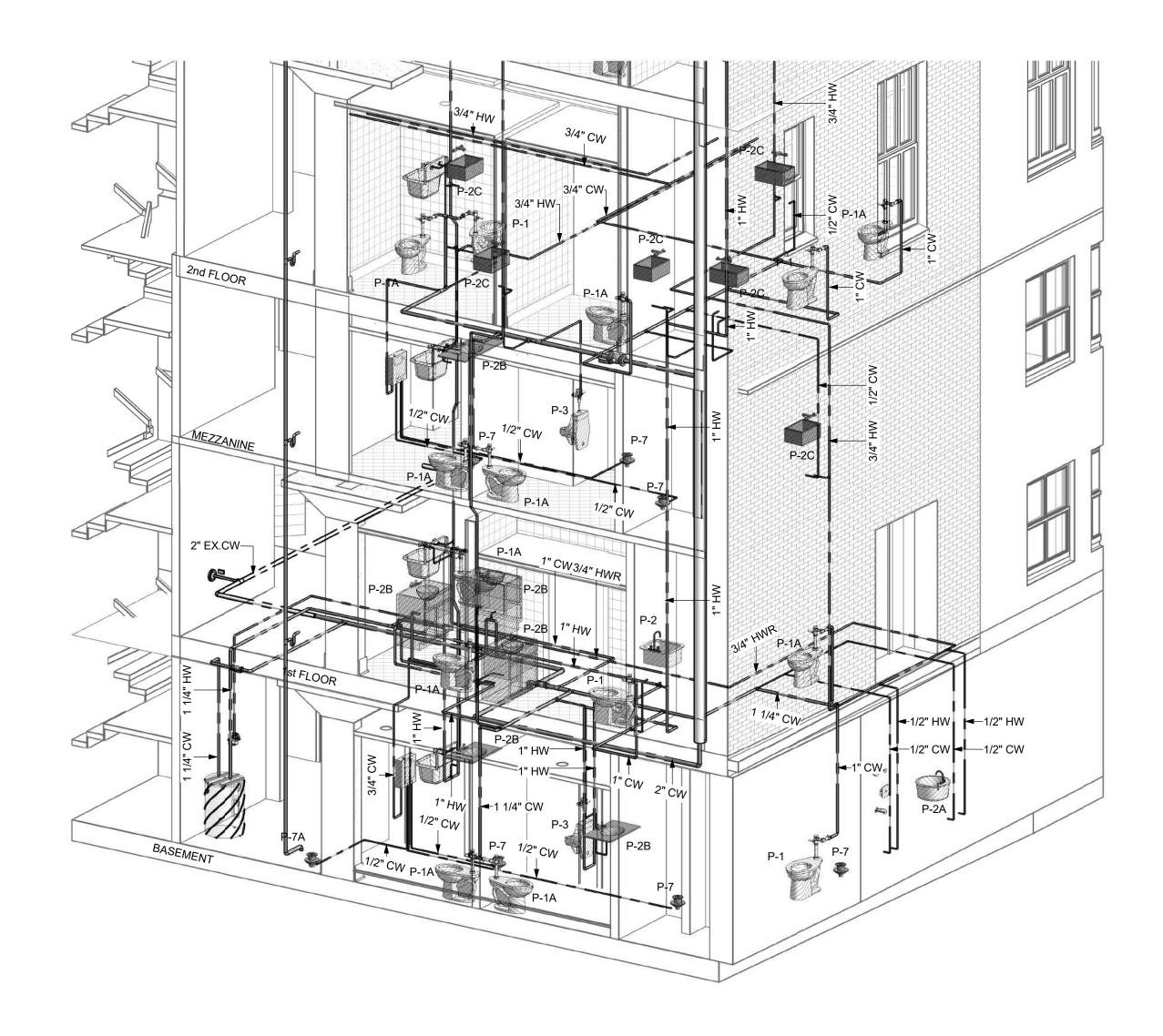


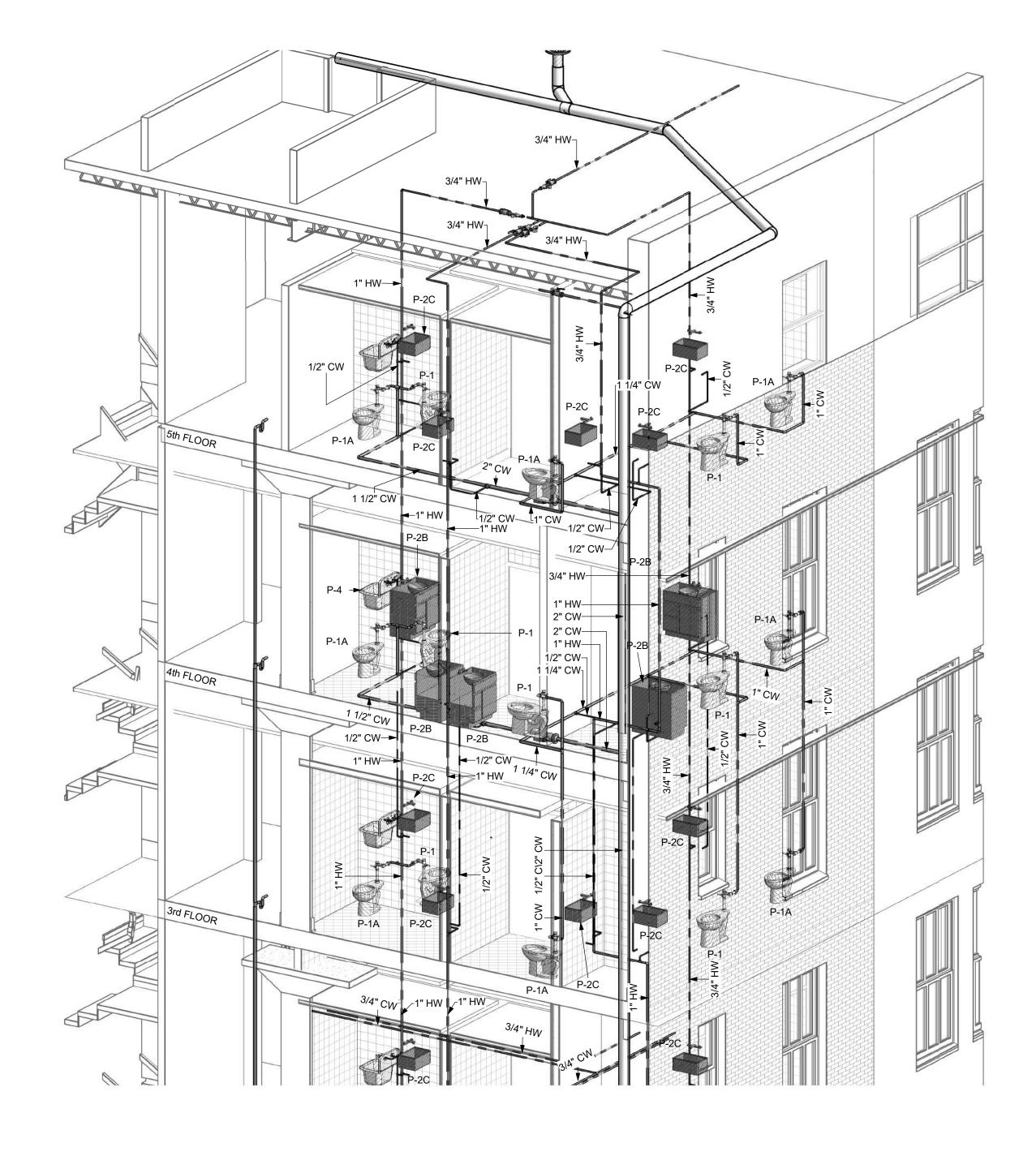
PLUMBING RISER DIAGRAMS



P601

1712
8/7/2017





1 DOMESTIC WATER RISER DIAGRAM

2 DOMESTIC WATER RISER DIAGRAM.







Total Art Design & Architecture

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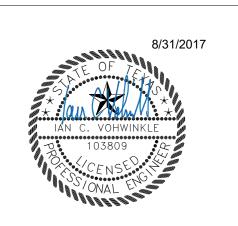
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PLUMBING RISER DIAGRAMS



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