### HISTORIC AND DESIGN REVIEW COMMISSION December 19, 2018

**HDRC CASE NO:** 2018-614

ADDRESS: 1803 BROADWAY

**LEGAL DESCRIPTION:** NCB 969 (BROADWAY OFFICE DEVELOPMENT {IDZ}), BLOCK 1 LOT 19

**ZONING:** IDZ, RIO-2

CITY COUNCIL DIST.: 1

**APPLICANT:** Lisa Rosenzweig

OWNER: Broadway SA Investors GP, LLC / Credit Human Federal Credit Union

**TYPE OF WORK:** Amendments to the previously approved design including entrance modifications,

rooftop modifications and trellis mounted solar panels on the off of each structure

**APPLICATION RECEIVED:** December 03, 2018 **60-DAY REVIEW:** February 1, 2019

**REQUEST:** 

The applicant is requesting a Certificate of Appropriateness for approval to amend a previously issued Certificate of Appropriateness in regards to the new construction at 1803 Broadway. Within this request, the applicant has proposed the following:

1. Amend the previous design of the street entries to the south tower to include a series of porticos and trellises.

2. The installation of solar array structures to be mounted at the rooftop levels of the north and south towers as well as the parking structure. The solar panels will be installed on structural systems that are incorporated into the building's architecture.

#### **APPLICABLE CITATIONS:**

Unified Development Code, Section 35-674. Building Design Principles

Sec. 35-674. Building Design Principles

(a) Architectural Character. A basic objective for architectural design in the river improvement overlay districts is to encourage the reuse of existing buildings and construction of new, innovative designs that enhance the area, and help to establish distinct identities for each of the zone districts. At the same time, these new buildings should reinforce established building traditions and respect the contexts of neighborhoods.

When a new building is constructed, it shall be designed in a manner that reinforces the basic character-defining features of the area. Such features include the way in which a building is located on its site, the manner in which it faces the street and its orientation to the river. When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results.

- (b) Mass and Scale. A building shall appear to have a "human scale." In general, this scale can be accomplished by using familiar forms and elements interpreted in human dimensions. Exterior wall designs shall help pedestrians establish a sense of scale with relation to each building. Articulating the number of floors in a building can help to establish a building's scale, for example, and prevent larger buildings from dwarfing the pedestrian.
  - (1) Express facade components in ways that will help to establish building scale.
    - A. Treatment of architectural facades shall contain a discernible pattern of mass to void, or windows and doors to solid mass. Openings shall appear in a regular pattern, or be clustered to form a cohesive design. Architectural elements such as columns, lintels, sills, canopies, windows and doors should align with other architectural features on the adjacent facades.
  - (2) Align horizontal building elements with others in the blockface to establish building scale.
    - A. Align at least one (1) horizontal building element with another horizontal building element on the same block face. It will be considered to be within alignment if it is within three (3) feet, measured vertically, of the existing architectural element.
  - (3) Express the distinction between upper and lower floors.
    - A. Develop the first floor as primarily transparent. The building facade facing a major street shall have at least fifty (50) percent of the street level facade area devoted to display windows and/or windows affording some view into the interior areas. Multi-family residential buildings with no retail or office space are exempt from this requirement.

(4) Where a building facade faces the street or river and exceeds the maximum facade length allowed in Table 674-1 divide the facade of building into modules that express traditional dimensions.

A. The maximum length of an individual wall plane that faces a street or the river shall be as shown in Table 674-1.

Table 674-1

Description RIO-1 RIO-2 RIO-3 RIO-4 RIO-5 RIO-6 Maximum Facade Length 50 ft. 50 ft. 30 ft. 75 ft. 75 ft. 50 ft.

- B. If a building wall plane facing the street or river and exceeds the length allowed in Table 674-1, employ at least two (2) of the following techniques to reduce the perceived mass:
  - Change materials with each building module to reduce its perceived mass; or
  - Change the height with each building module of a wall plane. The change in height shall be at least ten (10) percent of the vertical height; or
  - Change the roof form of each building module to help express the different modules of the building mass;
     or
  - Change the arrangement of windows and other facade articulation features, such as, columns, pilasters or strap work, which divides large planes into smaller components.
- (5) Organize the Mass of a Building to Provide Solar Access to the River.
  - A. One (1) method of doing so is to step the building down toward the river to meet the solar access requirements of subsection 35-673(a).
  - B. Another method is to set the building back from the river a distance sufficient to meet the solar access requirements of subsection 35-673(a).
- (c) Height. Building heights vary along the river corridor, from one-story houses to high-rise hotels and apartments. This diversity of building heights is expected to continue. However, within each zone, a general similarity in building heights should be encouraged in order to help establish a sense of visual continuity. In addition, building heights shall be configured such that a comfortable human scale is established along the edges of properties and views to the river and other significant landmarks are provided while allowing the appropriate density for an area.
  - (1) The maximum building height shall be as defined in Table 674-2.
    - A. Solar access standards subsection 35-673(a), and massing standards subsection 35-674(b) also will affect building heights.

Table 674-2

Description	RIO-1	RIO-2	RIO-3	RIO-4	RIO-5	RIO-6
Maximum # of Stories	5	10	None	7	5	4
Maximum Height in Feet	60 ft.	120 ft.	None	84 ft.	60 ft.	50 ft.

- (3)On the street-side, the building facade shall appear similar in height to those of other buildings found traditionally in the area.
- If fifty (50) percent of the building facades within a block face are predominantly lower than the maximum height allowed, the new building facade on the street-side shall align with the average height of those lower buildings within the block face, or with a particular building that falls within the fifty (50) percent range. However, the remainder of the building may obtain its maximum height by stepping back fifteen (15) feet from the building face.
- (4) Designation of a development node provides for the ability to increase the building height by fifty (50) percent from the requirements set out in article VI.
- (d) Materials and Finishes. Masonry materials are well established as primary features along the river corridor and their use should be continued. Stucco that is detailed to provide a texture and pattern, which conveys a human scale, is also part of the tradition. In general, materials and finishes that provide a sense of human scale, reduce the perceived mass of a building and appear to blend with the natural setting of the river shall be used, especially on major structures.
  - (1) Use indigenous materials and traditional building materials for primary wall surfaces. A minimum of seventy-five
  - (75) percent of walls (excluding window fenestrations) shall be composed of the following:
    - A. Modular masonry materials including brick, stone, and rusticated masonry block, tile, terra-cotta, structural clay tile and cast stone. Concrete masonry units (CMU) are not allowed.
    - B. Other new materials that convey the texture, scale, and finish similar to traditional building materials.

- C. Stucco and painted concrete when detailed to express visual interest and convey a sense of scale.
- D. Painted or stained wood in a lap or shingle pattern.
- (2) The following materials are not permitted as primary building materials and may be used as a secondary material only:
  - A. Large expanses of high gloss or shiny metal panels.
  - B. Mirror glass panels. Glass curtain wall buildings are allowed in RIO-3 as long as the river and street levels comply with 35-674(d)(1) above.
- (3) Paint or Finish Colors.
  - A. Use natural colors of indigenous building materials for properties that abut the Riverwalk area.
  - B. Use matte finishes instead of high glossy finishes on wall surfaces. Wood trim and metal trim may be painted with gloss enamel.
  - C. Bright colors may highlight entrances or architectural features.
- (e) Facade Composition. Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: First, a "base" exists, which establishes a scale at the street level; second a "mid-section," or shaft is used, which may include several floors. Finally a "cap" finishes the composition. The cap may take the form of an ornamental roof form or decorative molding and may also include the top floors of the building. This organization helps to give a sense of scale to a building and its use should be encouraged. In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

In contrast, the traditional treatment of facades along the riverside has been more modest. This treatment is largely a result of the fact that the riverside was a utilitarian edge and was not oriented to the public. Today, even though orienting buildings to the river is a high priority objective, it is appropriate that these river-oriented facades be simpler in character than those facing the street.

- (1) Street Facade. Buildings that are taller than the street-wall (sixty (60) feet) shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include a base, a middle and a cap.
  - A. High rise buildings, more than one hundred (100) feet tall, shall terminate with a distinctive top or cap. This can be accomplished by:
    - i. Reducing the bulk of the top twenty (20) percent of the building by ten (10) percent.
    - ii. By stepping back the top twenty (20) percent of the building.
    - iii. Changing the material of the cap.
  - B. Roof forms shall be used to conceal all mechanical equipment and to add architectural interest to the structure.
  - C. Roof surfaces should include strategies to reduce heat island effects such as use of green roofs, photo voltaic panels, and/or the use of roof materials with high solar reflectivity.
- (2) Fenestration. Windows help provide a human scale and so shall be proportioned accordingly.
  - D. Curtain wall systems shall be designed with modulating features such as projecting horizontal and/or vertical mullions.
- (3) Entrances. Entrances shall be easy to find, be a special feature of the building, and be appropriately scaled.
  - A. Entrances shall be the most prominent on the street side and less prominent on the river side.
  - B. Entrances shall be placed so as to be highly visible.
  - C. The scale of the entrance is determined by the prominence of the function and or the amount of use.
  - D. Entrances shall have a change in material and/or wall plane.
  - E. Entrances should not use excessive storefront systems.
- (4) Riverside facade. The riverside facade of a building shall have simpler detailing and composition than the street facade.
  - A. Architectural details such as cornices, sills, lintels, door surrounds, water tables and other similar details should use simple curves and handcrafted detailing.
  - B. Stone detailing shall be rough hewn, and chiseled faced. Smooth faced stone is not permitted as the primary building material, but can be used as accent pieces.
  - C. Facades on the riverside shall be asymmetrical, pedestrian scale, and give the appearance of the back of a building. That is, in traditional building along the river, the backs of building were designed with simpler details, and appear less formal than the street facades.
- (g) Awnings, Canopies and Arcades. (See Figure 674-2) The tradition of sheltering sidewalks with awnings, canopies and arcades on commercial and multi-family buildings is well established in San Antonio and is a practice that should be continued. They offer shade from the hot summer sun and shelter from rainstorms, thereby facilitating pedestrian activity. They also establish a sense of scale for a building, especially at the ground level. Awnings and canopies are appropriate

locations for signage. Awnings with signage shall comply with any master signage plan on file with the historic preservation officer for the property. Awnings and canopies installed at street level within the public right-of-way require licensing with the city's capital improvements management services (CIMS) department. Canopies, balconies and awnings installed at river level within the public right-of-way require licensing with the city's downtown operations department.

- (1) If awnings, arcades and canopies are to be used they should accentuate the character-defining features of a building.
  - A. The awning, arcade or canopy shall be located in relationship to the openings of a building. That is, if there are a series of awnings or canopies, they shall be located at the window or door openings. However awnings, canopies and arcades may extend the length of building to provide shade at the first floor for the pedestrian.
  - B. Awnings, arcades and canopies shall be mounted to highlight architectural features such as moldings that may be found above the storefront.
  - C. They should match the shape of the opening.
  - D. Simple shed shapes are appropriate for rectangular openings.
  - E. Odd shapes and bubble awnings are prohibited except where the shape of an opening requires a bubble awning, or historic precedent shows they have been previously used on the building.
  - F. Canopies, awnings and arcades shall not conflict with the building's proportions or with the shape of the openings that the awning or canopy covers.
  - G. Historic canopies shall be repaired or replaced with in-kind materials.
- (2) Materials and Color.
  - A. Awnings and canopies may be constructed of metal, wood or fabric. Certain vinyl is allowed if it has the appearance of natural fiber as approved by the HDRC.
  - B. Awning color shall coordinate with the building. Natural and earth tone colors are encouraged. Fluorescent colors are not allowed. When used for signage it is appropriate to choose a dark color for the canopy and use light lettering for signage.
- (3) Incorporating lighting into the design of a canopy is appropriate.
  - A. Lights that illuminate the pedestrian way beneath the awning are appropriate.
  - B. Lights that illuminate the storefront are appropriate.
  - C. Internally illuminated awnings that glow are prohibited.

#### **FINDINGS:**

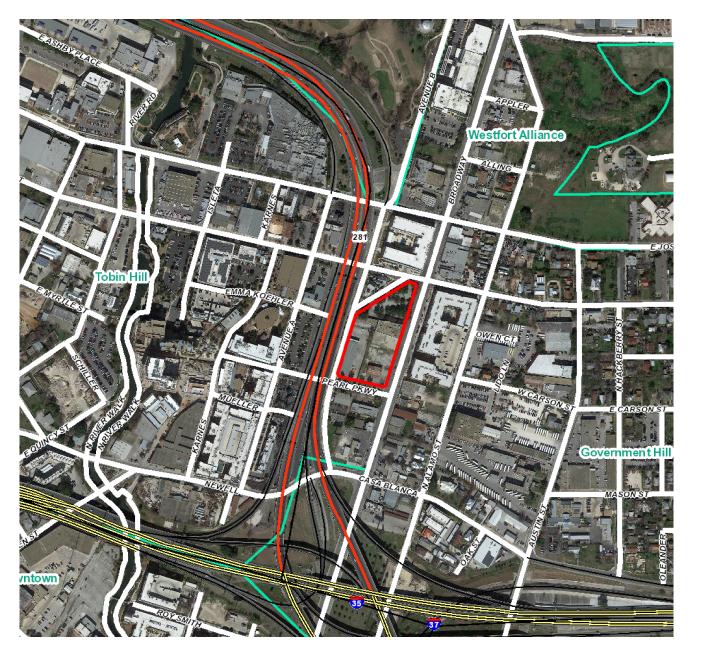
- a. The new construction at 1803 Broadway received approval from the Historic and Design Review Commission on March 15, 2017. Since that time, the applicant has proposed amendments to the approved design that include entrance modifications to the south tower's street entrance and the installation of solar panels on the roofs of the north and south towers as well as the parking structure.
- b. ENTRANCE MODIFICTIONS According to the UDC Section 35-673, buildings should be sited to help define active spaces for area users, provide pedestrian connections between sites, help animate the street scene and define street edges. Primary entrances should be oriented toward the street and shall be distinguishable by an architectural feature. Staff finds the applicant's proposed locations of pedestrian access which are located along Broadway, Avenue E and Pearl Parkway appropriate. The applicant's proposed modifications will incorporate a series of porticos and trellises at the entrance, providing a more defined entrance and street scene. Staff finds the proposed amendments to be appropriate and consistent with the UDC.
- c. SOLAR INSTALLATIONS The UDC Section 35-674(f)(1)(C) notes that roof surfaces should include strategies to reduce heat island effects such as the use of green roofs, photo voltaic panels and/or the use of roof materials with high solar reflectivity. Additionally, structures in the River Improvement Overlay should feature distinct building caps. The installation of a structural mounting system for the proposed solar panels further promotes the inclusion of a building cap into the proposed design. The previously approved building cap that included ornamental elements on the east parapet will have been removed from the design.

#### **RECOMMENDATION:**

Staff recommends approval as submitted based on findings a through c.

#### **CASE MANAGER:**

**Edward Hall** 





#### Flex Viewer

Powered by ArcGIS Server

Printed:Dec 11, 2018

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# Broadway Office Development - Solar Array Addition & South Entry Revision HDRC Final Approval Narrative

The Broadway Office Development is located on a 3.127 acre site bordered by Broadway, Pearl Parkway, Grayson and Ave B.

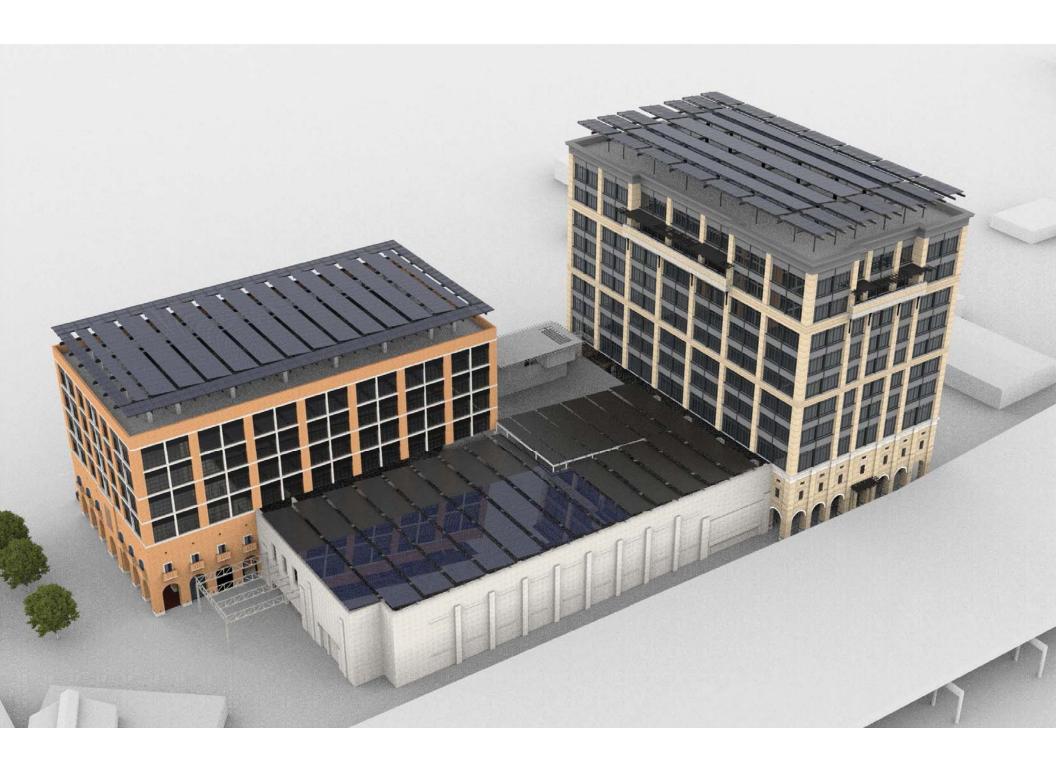
A revision to the entries is proposed at the South Tower. A series of porticos and trellises along the loggia of the South Tower allow for building entries along Pearl Parkway & Broadway that are unique from the rest of the face. This enables the architecture to present a more engaging façade to the pedestrian streetscape.

Additionally, a series of solar array structures are proposed:

- 1. South Tower At the South Tower, a delicate steel structure extends itself above the parapet serving as a 'crown' for the architecture. The vocabulary of the structure speaks to the trellises that are located at the Level 11 balconies as well as throughout the rest of the development. The solar panels rest atop a grid of steel beams angled in such a manner as to maximize energy output as well as punctuate an iconic symbol towards San Antonio's future and sustainable growth.
- 2. North Tower Similar to the South Tower, a solar array structure caps the North Tower. Here, however, concrete is introduced into the structure to speak to the established vocabulary of its host building. Concrete columns support a simple steel grid to create a succinct roof structure which speaks to the austere architecture of the North Tower.
- 3. Garage The open Level 4 of the garage is covered with a carport that is set just below the current parapet. In the Northwest portion of the structure solar panels are placed to take advantage of the non-shaded area of the garage. The remaining area of the garage is covered with metal decking to create an open-air shading structure that serves the purpose of shielding the vehicles from view and increasing the rainwater capture of the project.

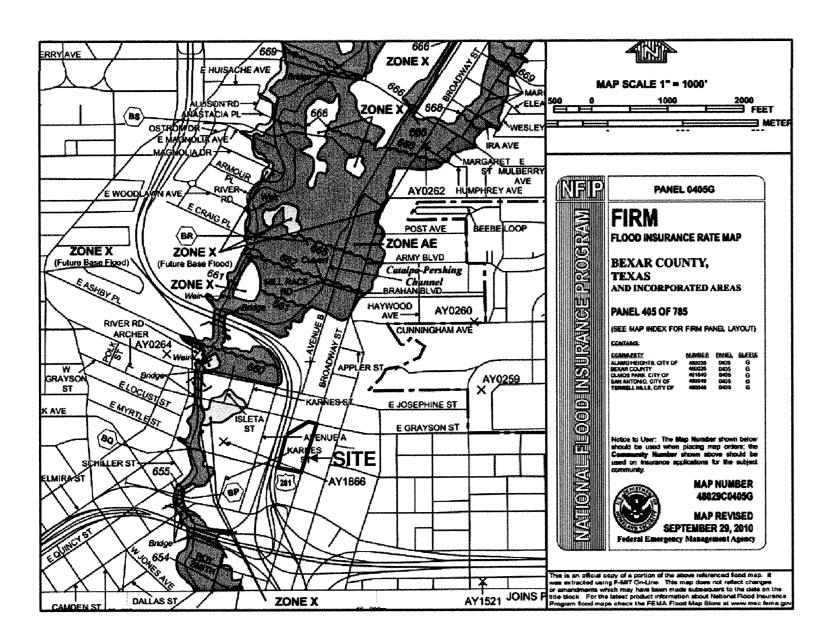








SURVEYOR ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SAID DATA.



# SYMBOL LEGEND **DEED/PLAT REFERENCE** ELECTRIC SERVICE POLE **LEGEND** FLOODLIGHT 1/2" IRON ROD LINE LEGEND ---// ----// ---- WOOD FENCE ----- O ------ O ----- WROUGHT IRON/ORNAMENTAL FENCE WATER METER

NOTE: SURVEY IS BASED ON A 2013 TITLE POLICY PROVIDED BY CLIENT, A 2016 TITLE POLICY WAS NOT PROVIDED AT THE TIME THE SURVEY WAS

agreement does apply to Lot 2, but appears to have expired.)

County, Texas. (Applies to Lots 8 and 9 - Not plottable)

REFERENCES:
This survey was prepared in conjunction with, but not solely relying on, the Title Commitment listed

4311009615 Chicago Title Insurance Company

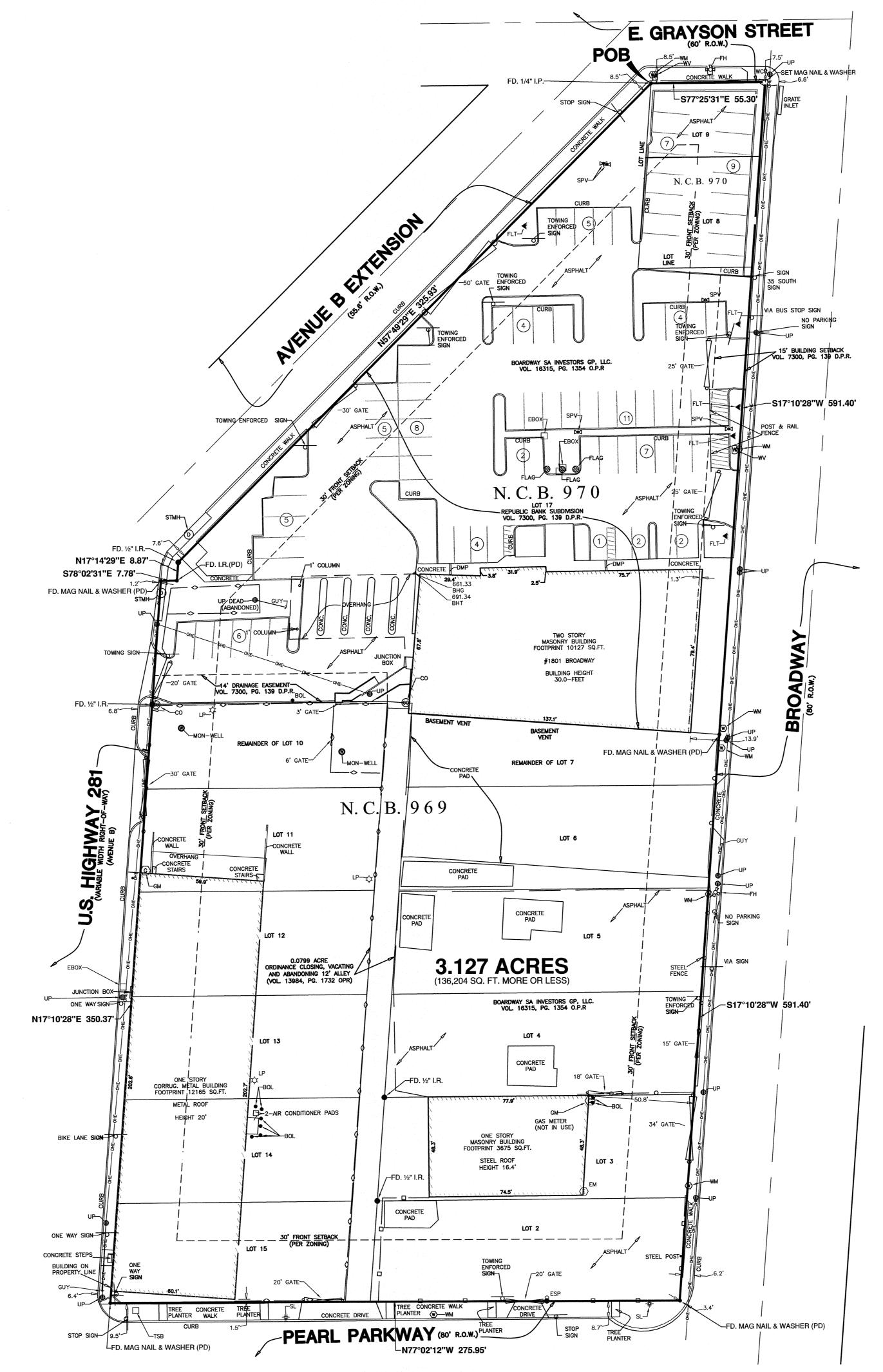
10. The following matters and all terms of the documents creating or offering evidence of the

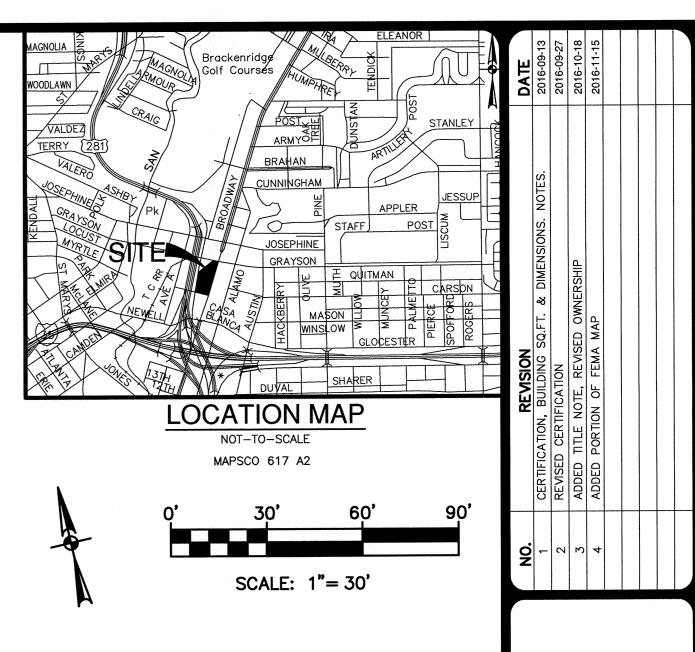
a) Lease recorded in Volume 3065, Page 1611, Real Property Records, Bexar County, Texas. (Lease

b) 15 foot building setback line as shown on plat recorded in Volume 7300, Page 139, Deed and

d) Easement(s), as provided therein, recorded in Volume 892, Page 177, Deed Records, Bexar

c) 14 foot drainage easement as shown on plat recorded in Volume 7300, PAge 139, Deed and Plat





FIELD NOTES

A 3.127 acre, or 136,204 square feet more or less, tract of land being comprised of all of Lots 2-6 and all of Lots 11-15 New City Block (N.C.B.), 969, a remaining portion of Lot 7 and a remaining portion of Lot 10, N.C.B. 969, the remaining portion of the 12 foot alley located within Block 1, N.C.B. 969, described in ordinance closing, vacating and abandoning recorded in Volume 13984, Page 1732 of the Official Public Records of Bexar County, Texas, the remaining portions of Lots 8 and 9, N.C.B. 970, and all of Lot 17, Block 1, Republic Bank Subdivision recorded in Volume 7300, Page 139 in the Deed and Plat Records of Bexar County, Texas, all conveyed to Broadway SA Investors GP, LLC. recorded in Volume 16315, Page 1354 of the Official Public Records of Bexar County, Texas. Said 3.127 acre tract being more fully described as follows, with bearings based on the North American Datum of 1983 (NA2011) epoch 2010.00, from the Texas Coordinate System established for the South Central Zone.

BEGINNING: At a found ¼" iron pipe found at the intersection of the southeast right-of-way line of an Avenue B Extension, a 55.6-foot right-of-way, and the south right-of-way line of E. Grayson Street, a 60-foot right-of-way, at the most northerly northeast corner of said Lot 17, and the northwest corner of said Lot

THENCE: S 77°25'31" E, along and with the south right-of-way line of said E. Grayson Street and the north line of said Lot 9, a distance of 55.30 feet to a set MAG nail and washer marked "Pape-Dawson", at the intersection of the south right-of-way line of said E. Grayson Street and the west right-of-way line of Broadway, an 80-foot right-of-way, at the northeast corner of said Lot 9;

THENCE: S 17°10'28" W, along and with the west right-of-way line of said Broadway, a distance of 591.40 feet to a found Mag Nail with washer stamped "Pape-Dawson", at the intersection of the west right-of-way line of said Broadway and the north right-of-way line of Pearl Parkway, an 80-foot right-of-way at the southeast corner of said Lot 2;

THENCE: N 77°02'12" W, along and with the north right-of-way line of said Pearl Parkway, the south line of said Lot 2, the south line of said 12-foot alley, and the south line of said Lot 15, a distance of 275.95 feet to a found MAG nail and washer marked "Pape-Dawson", at the intersection of the north right-of-way line of said Pearl Parkway and the east right-of-way line of U.S. Highway 281 North, a variable width right-of-way, at the southwest corner of said Lot 15;

THENCE: N 17°10'28" E, along and with the east right-of-way line of said U.S. Highway 281 North, a distance of 350.37 feet to a found Mag Nail with washer stamped "Pape-Dawson", at an angle point of said Lot 17;

THENCE: S 78°02'31" E, along and with the south right-of-way line of said U.S. Highway 281 North, a north line of said Lot 17, a distance of 7.78 feet to a found 1/2" iron rod with a yellow cap marked "Pape-Dawson",

THENCE: N 17°14'29" E, along and with the east right-of-way line of said U.S. Highway 281 North, the west line of said Lot 17, a distance of 8.87 feet to a found 1/2" iron rod at the intersection of the east right-of-way line of said U.S. Highway 281 North and the southeast right-of-way line of said Avenue B Extension, at an angle point of said Lot 17;

THENCE: N 57°49'29" E, along and with the southeast right-of-way line of said Avenue B Extension, the northwest line of said Lot 17, a distance of 325.93 feet to the POINT OF BEGINNING, and containing 3.127 acres in the City of San Antonio, Bexar County, Texas. Said tract being described in accordance with a survey made on the ground and a survey description and map prepared under job number 8244-16 by Pape-Dawson Engineers, Inc.

I hereby certify to:

Broadway SA Investors GP, LLC, Silver Ventures, Inc. and Chicago Title Insurance Company that

this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-4, 8 & 9 of Table A thereof. The field work was completed on 22nd August, 2016.

Date of Plat or Map: August 25, 2016

Name: David A. Casanova Registration No: 4251 dcasanova@pape-dawson.com

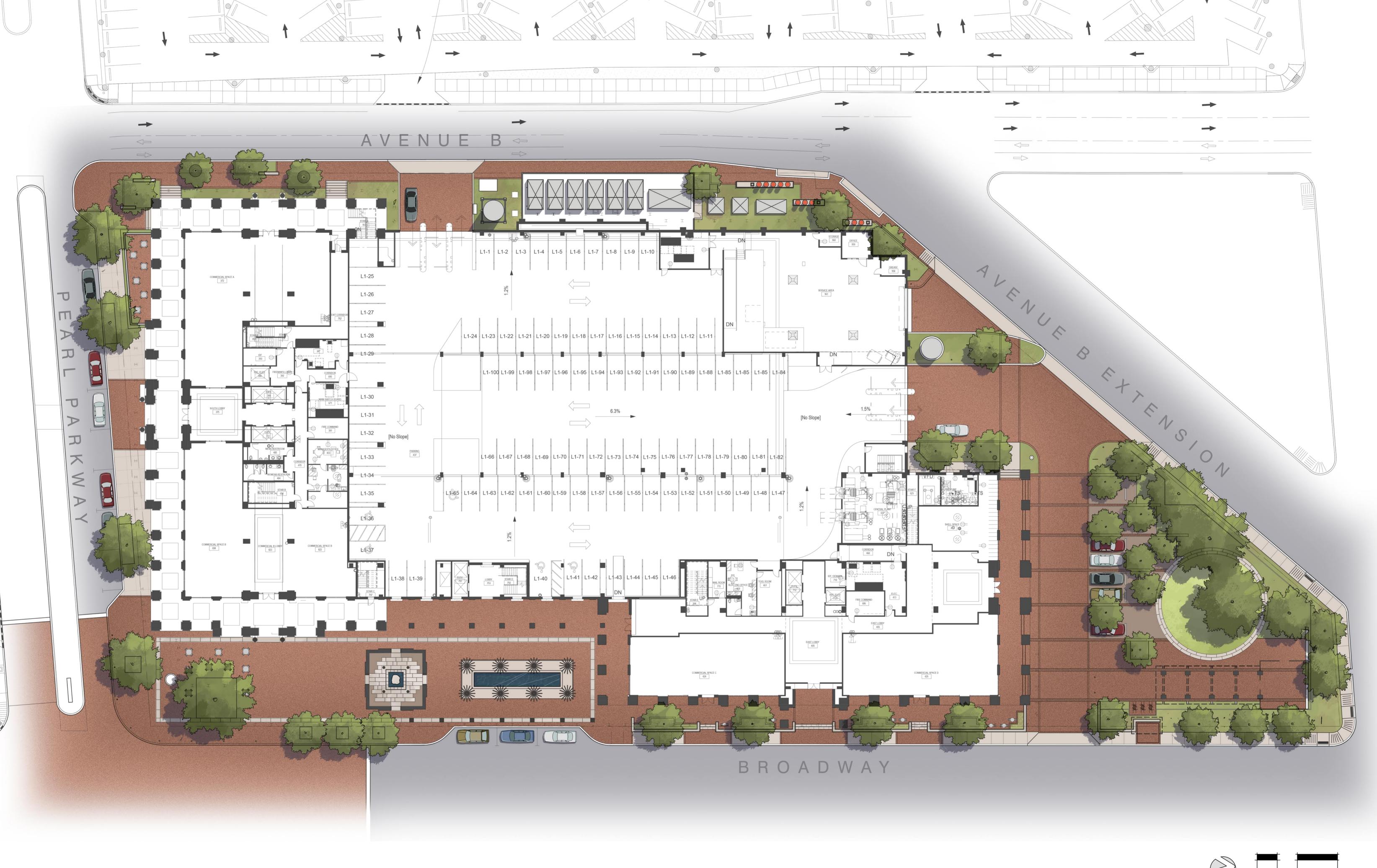


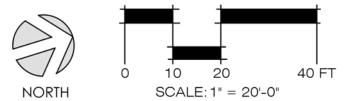
DATE August 2016 CHECKED J.N.N. DRAWN D.C CIVIL JOB NO. \_\_\_\_ **REFERENCE:** 9184-13

JOB NO. 9244-16

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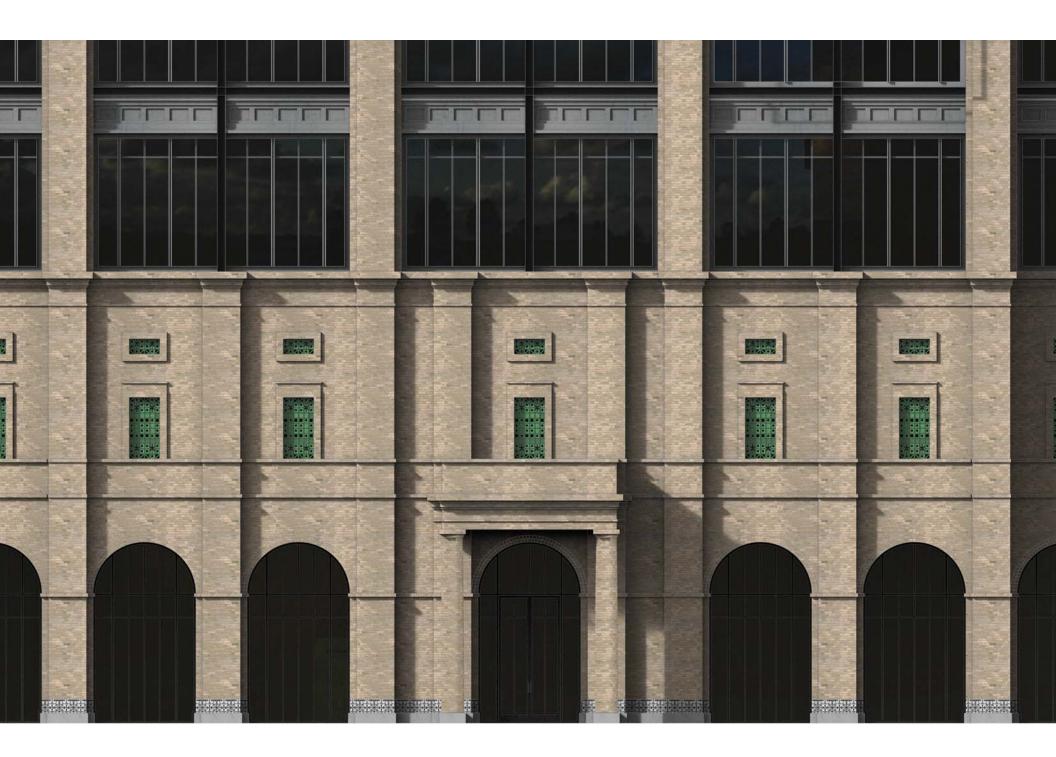




















These drawings have been prepared as one coordinated set of drawings and are complimentary. What is required by one drawing is required by all of the drawings, even if a detail or component part is not identified on every sheet. Any user's reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire set of drawings will be at the user's sole risk and shall not form the basis for a request for additional compensation or time. DATE ISSUE SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT SFP1 06/26/2017 SFP REVISION #1 IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP)

1 11/21/2017 IFC ADDENDUM #1 SFP4 12/05/2017 SFP REVISION #4

B2 03/29/18 BULLETIN #2 B5 05/04/2018 BULLETIN #5

B11 07/26/2018 BULLETIN #11

PROJECT NAME **BROADWAY OFFICE** 

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

DEVELOPMENT

EAST ELEVATION | B5

**GENERAL NOTES** 

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'.

ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE) AT SHOP DRAWINGS PRIOR TO FABRICATION

KIRKSEY PROJECT NO. 2016097

**EAST ELEVATION** 

KEY PLAN

SHEET NUMBER A3.10

© 2017 Kirksey

EL.181' - 8"
HIGH ROOF BTS EL.117' - 8"
HIGH ROOF MT EL.104' - 8"
PENTHOUSE MT MWP-2a MWP-2a Cumming 4.17

1/16" = 1'-0"

BRICK SCHEME (BRK-3)

\*\*\*\* SHEET NOTES

CAST-IN-PLACE CONCRETE-RE: STRUCTURAL CAST CONCRETE-RE: STRUCTURAL

DECORATIVE FORMED METAL -057500

SHEET METAL COPING-077113 ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243 CONCRETE TILE-093033

ROWLOCK BAND-042000

3 BAND ROWLOCK ARCH-042000 2 BAND ROWLOCK ARCH-042000 CAST STONE-047200

PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR

ORNAMENTAL METAL GRILLE-102400

P.18 BRICK CORINCE PROVIDE GLAZING ON INTERIOR OF GRILLE, -RE: WINDOW TYPE BTS-R-R/A6.51.01

These drawings have been prepared as one coordinated set of drawings and are complimentary. What is required by one drawing is required by all of the drawings, even if a detail or component part is not identified on every sheet. Any user's reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire set of drawings will be at the user's sole risk and shall not form the basis for a request for additional compensation or time.

SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT SFP1 06/26/2017 SFP REVISION #1 IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP) 1 11/21/2017 IFC ADDENDUM #1 SFP4 12/05/2017 SFP REVISION #4 B2 03/29/18 BULLETIN #2 B5 05/04/2018 BULLETIN #5 B11 07/26/2018 BULLETIN #11

PROJECT NAME **BROADWAY OFFICE** 

DEVELOPMENT

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

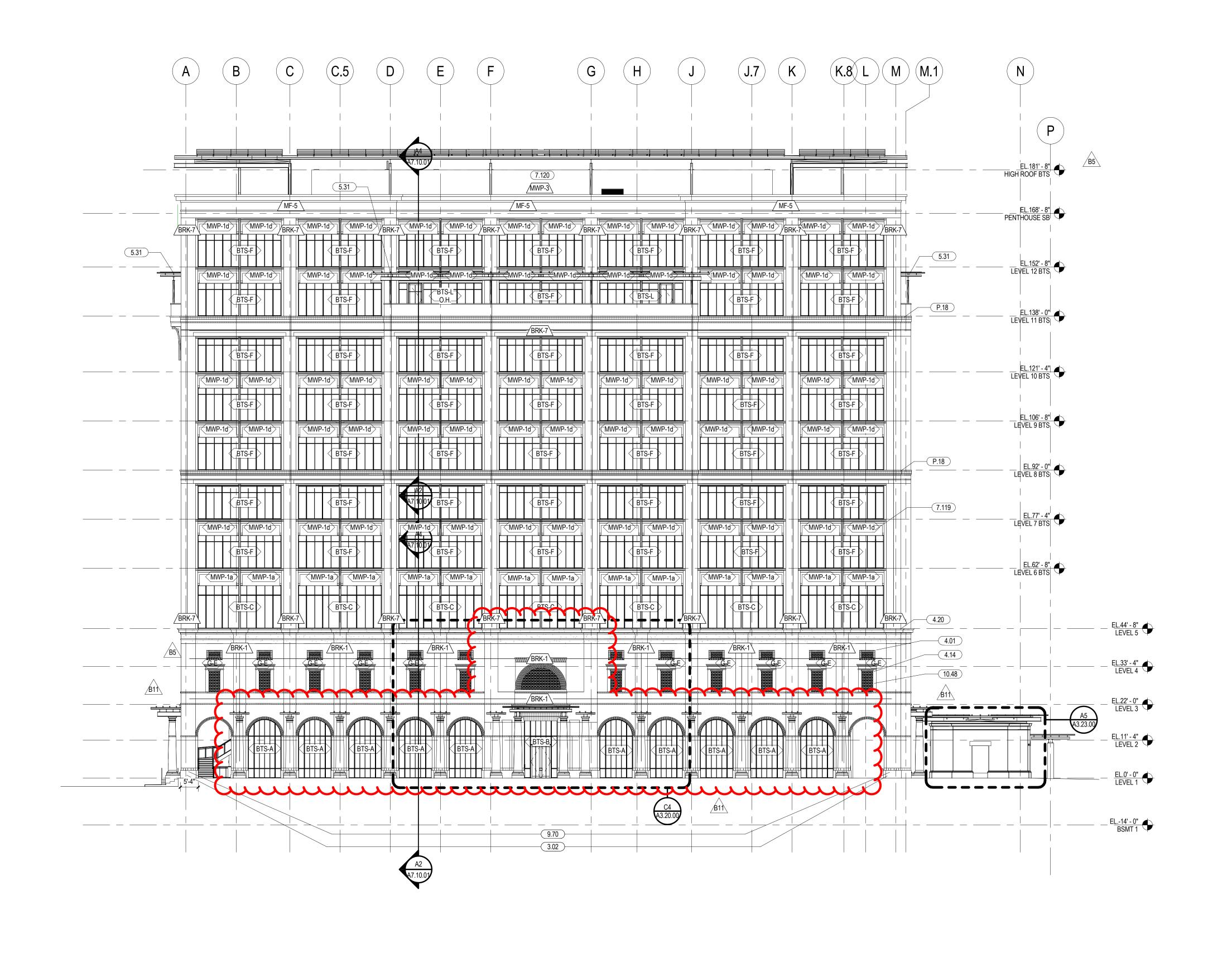
KEY PLAN

KIRKSEY PROJECT NO. 2016097

SOUTH ELEVATION

SHEET NUMBER

A3.12 © 2017 Kirksey



1/16" = 1'-0"

**GENERAL NOTES** 

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE) AT SHOP DRAWINGS PRIOR TO FABRICATION

CAST CONCRETE-RE: STRUCTURAL BRICK-042000

\*\*\*\* SHEET NOTES

ROWLOCK BAND-042000 CAST STONE-047200

BRICK CORINCE

PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR

SOUTH ELEVATION | B5

ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243 CONCRETE TILE-093033

ORNAMENTAL METAL GRILLE-102400



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DATE ISSUE

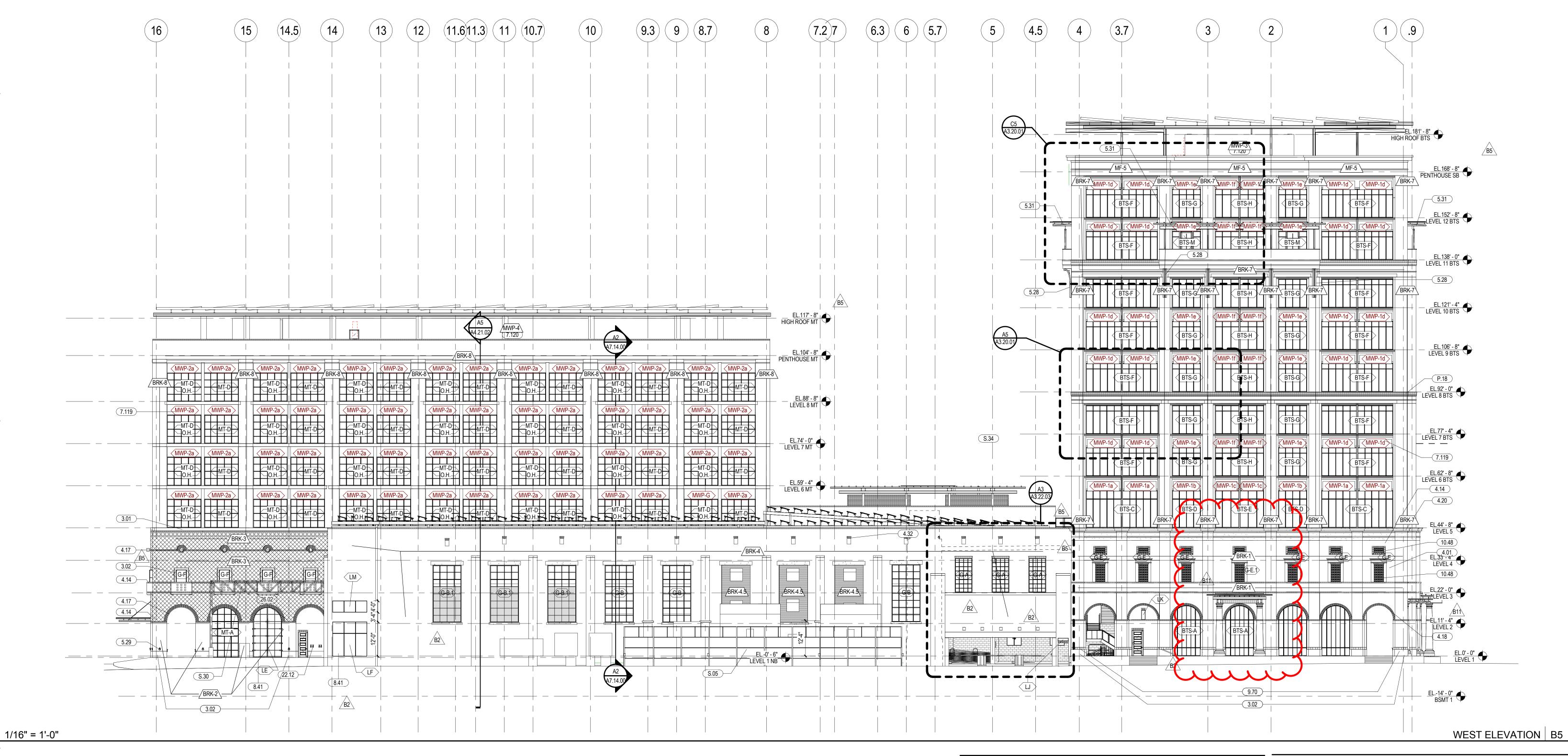
SFP1 06/26/2017 SFP REVISION #1

1 11/21/2017 IFC ADDENDUM #1 SFP4 12/05/2017 SFP REVISION #4 B2 03/29/18 BULLETIN #2

B5 05/04/2018 BULLETIN #5

SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT

IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP)



**GENERAL NOTES** 

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'.

### SHEET NOTES CAST-IN-PLACE CONCRETE-RE: STRUCTURAL CAST CONCRETE-RE: STRUCTURAL

OFCI-05 METAL TRUSS-RE: A10.20

ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE) AT SHOP DRAWINGS PRIOR TO FABRICATION BRICK-042000 ROWLOCK BAND-042000 2 BAND ROWLOCK ARCH-042000 CAST STONE-047200 JACK ARCH-042000 DECORATIVE FORMED METAL-RE: STRUCTURAL; RE: MASTER SCHEDULE FOR COLOR SELECTION DECORATIVE FORMED METAL -057500 PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243 FIXED LOUVER-089119 CONCRETE TILE-093033 ORNAMENTAL METAL GRILLE-102400 FIRE PUMP TEST BIBS-RE: FIRE PROTECTION BRICK CORINCE NEW FENCE. -RE: LANDSCAPE

**BROADWAY AT PEARL** 

PROJECT NAME

**BROADWAY OFFICE** 

DEVELOPMENT

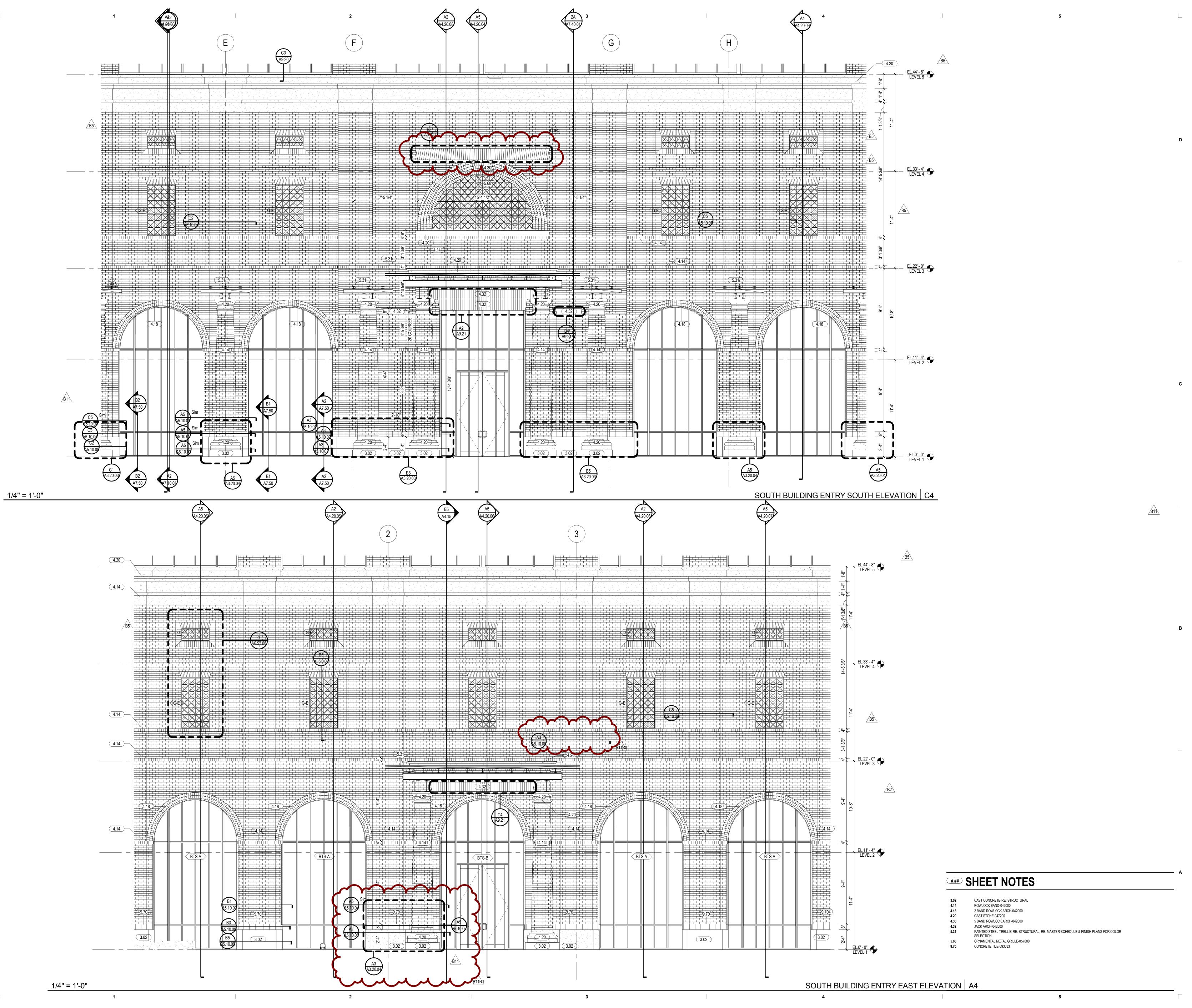
PROJECT ADDRESS

PARKWAY

KIRKSEY PROJECT NO. 2016097 KEY PLAN

SHEET TITLE WEST ELEVATION

SHEET NUMBER



6909 Portwest Drive Houston Texas 77024 713 850 9600 kirksey.com

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DATE ISSUE

IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMI)

B2 03/29/18 BULLETIN #2

B5 05/04/2018 BULLETIN #5

B11 07/26/2018 BULLETIN #11

B1 05/04/2018 BULLETIN #5
B11 07/26/2018 BULLETIN #11
B11R1 08/13/2018 BULLETIN #11R1

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BROADWAY OFFICE DEVELOPMENT

PROJECT ADDRESS

BROADWAY AT PEARL

PARKWAY

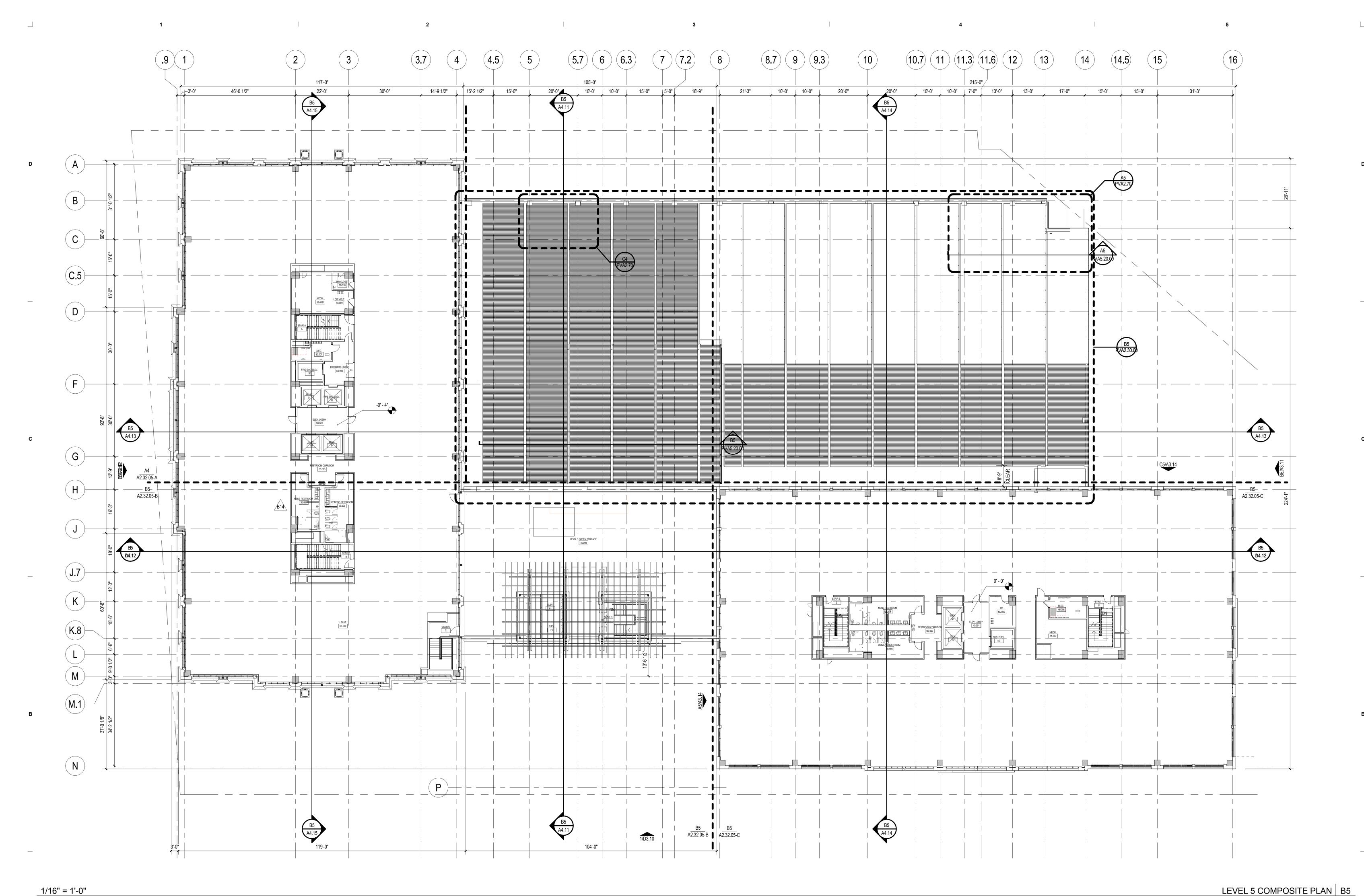
(SEY PROJECT NO. 2016097

SHEET TITLE

**KEY PLAN** 

SOUTH BUILDING ENLARGED ELEVATIONS

A3.20.00



6909 Portwest Drive Houston Texas 77024 713 850 9600 kirksey.com

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SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT SFP1 06/26/2017 SFP REVISION #1 
 IFC
 11/10/2017
 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP)

 SFP4
 12/05/2017
 SFP REVISION #4
 B14 09/19/2018 BULLETIN #14

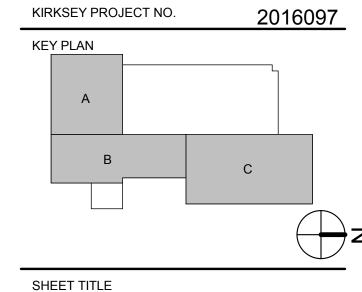
PROJECT NAME BROADWAY OFFICE DEVELOPMENT

PROJECT ADDRESS BROADWAY AT PEARL PARKWAY

# \*\*\*\* SHEET NOTES

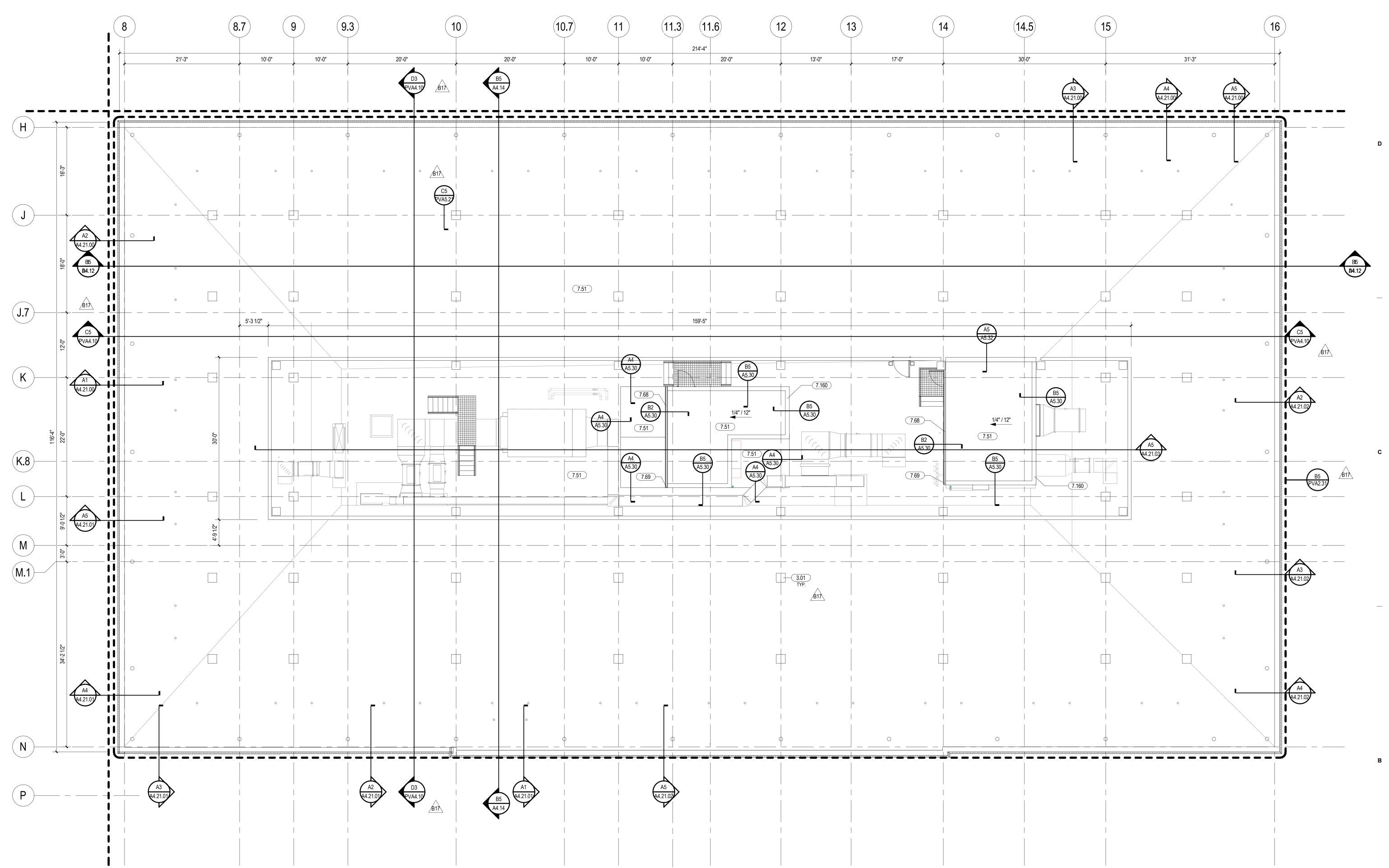
# **GENERAL NOTES**

- 1 REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. 2 DIMENSIONS: DIMENSIONS ARE TO FACE OF PARTITION, UNLESS NOTED OTHERWISE. DIMENSIONS
- 3 PARTITIONS: PARTITIONS ARE TO BE PERPENDICULAR OR PARALLEL WITH CORE OR EXTERIOR WINDOW WALL ELEMENTS, UNLESS NOTED OTHERWISE. CENTER PARTITIONS ON COLUMNS OR
- MULLIONS, UNLESS NOTED OTHERWISE. 4 DOOR: HINGE SIDE OF DOORS TO BE LOCATED 4" FROM NEAREST PERPENDICULAR PARTITION,
- UNLESS DIMENSIONED OTHERWISE. 5 CONTROL JOINTS SHOULD ALIGN WITH COLUMN LINE. REFER TO SPECIFICATIONS FOR MAX AREA
- BETWEEN CONTROL JOINTS.
- 6 CONCEALED SPRINKLER HEAD COVERS TO MATCH COLOR OF CEILING 7 REFER TO PARKING PLANS FOR STRIPING AND DETAILS
- 8 REFER TO STRUCTURAL DRAWINGS FOR FLOOR REFERENCE ELEVATIONS. 9 REFER TO STRUCTURAL DRAWINGS FOR TOP OF CONCRETE ELEVATION FROM THE REFERENCE FLOOR ELEVATION.
- 10 REFER TO PV DRAWINGS FOR EXTENTS OF PHOTOVOLTAIC ARRAY STRUCTURE 11 GARAGE ARRAY STRUCTURE ATTACHMENTS BY ALUMINUM CANOPY SUPPLIER



LEVEL 5 COMPOSITE PLAN

SHEET NUMBER



6909 Portwest Drive Houston Texas 77024 713 850 9600

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SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP) SFP4 12/05/2017 SFP REVISION #4

PROJECT NAME BROADWAY OFFICE DEVELOPMENT

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

NORTH BUILDING HIGH ROOF PLAN | B5

2 DIMENSIONS: DIMENSIONS ARE TO FACE OF PARTITION, UNLESS NOTED OTHERWISE. DIMENSIONS

WINDOW WALL ELEMENTS, UNLESS NOTED OTHERWISE. CENTER PARTITIONS ON COLUMNS OR

3 PARTITIONS: PARTITIONS ARE TO BE PERPENDICULAR OR PARALLEL WITH CORE OR EXTERIOR

4 DOOR: HINGE SIDE OF DOORS TO BE LOCATED 4" FROM NEAREST PERPENDICULAR PARTITION,

9 REFER TO STRUCTURAL DRAWINGS FOR TOP OF CONCRETE ELEVATION FROM THE REFERENCE FLOOR ELEVATION.

10 REFER TO PV DRAWINGS FOR EXTENTS OF PHOTOVOLTAIC ARRAT STRUCTURE

11 GARAGE ARRAY STRUCTURE ATTACHMENTS BY ALUMINUM CANOPY SUPPLIER

B17

5 CONTROL JOINTS SHOULD ALIGN WITH COLUMN LINE. REFER TO SPECIFICATIONS FOR MAX AREA

**GENERAL NOTES** 

MULLIONS, UNLESS NOTED OTHERWISE.

UNLESS DIMENSIONED OTHERWISE.

BETWEEN CONTROL JOINTS.

1 REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'.

TO EXTERIOR WALLS ARE TO EXTERIOR MATERIALS (FACE OF GLASS).

6 CONCEALED SPRINKLER HEAD COVERS TO MATCH COLOR OF CEILING

8 REFER TO STRUCTURAL DRAWINGS FOR FLOOR REFERENCE ELEVATIONS.

7 REFER TO PARKING PLANS FOR STRIPING AND DETAILS

KIRKSEY PROJECT NO. 2016097 KEY PLAN

SHEET TITLE HIGH ROOF PLAN

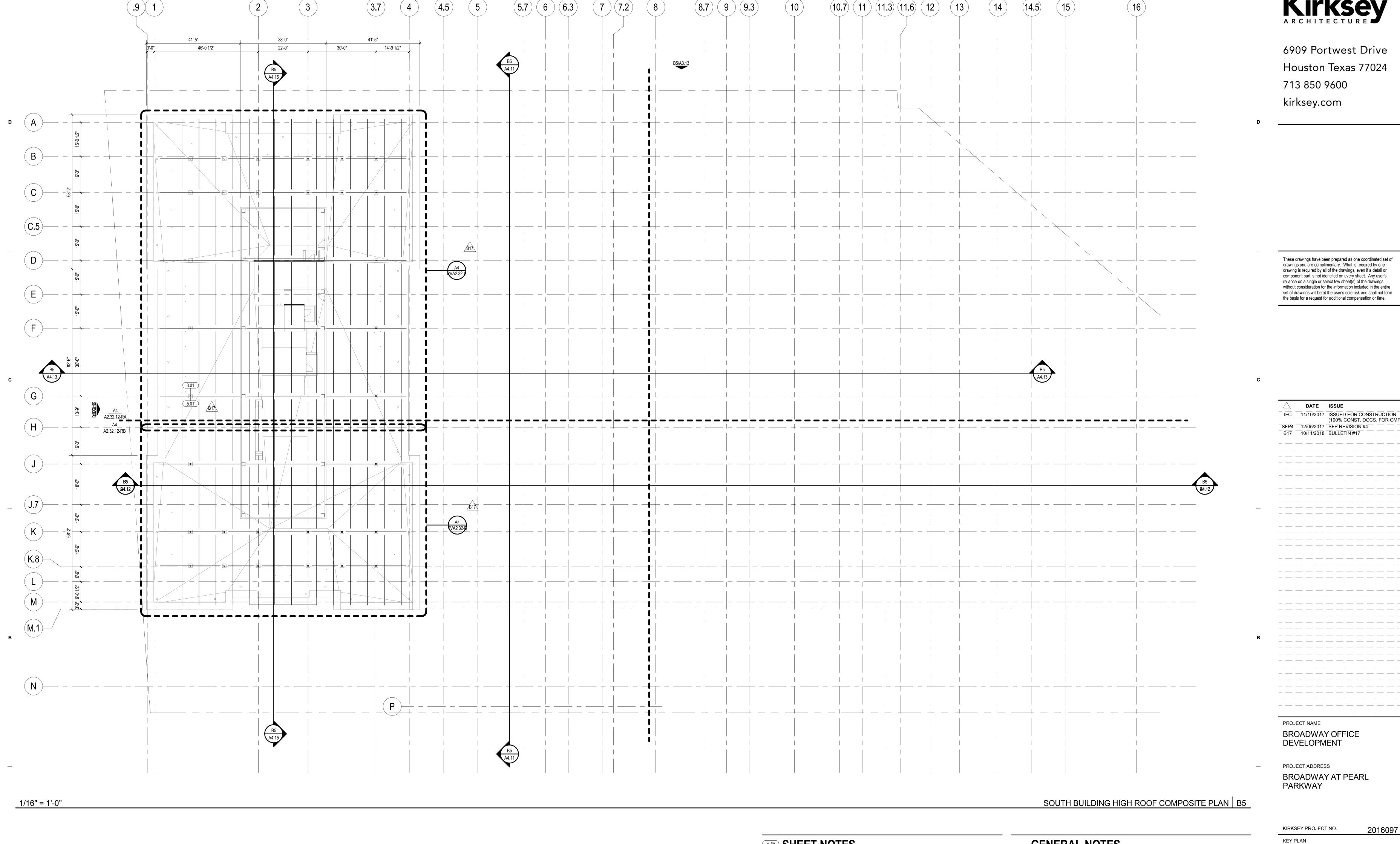
SHEET NUMBER A2.32.08-R

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1/8" = 1'-0"

\*\*\*\* SHEET NOTES CAST-IN-PLACE CONCRETE-RE: STRUCTURAL

MODIFIED BITUMINOUS MEMBRANE ROOFING SYSTEM-075216 GUTTER-076200 DOWNSPOUT-076200 PREFINISHED METAL FASCIA-076200



\*\*\*\* SHEET NOTES CAST-IN-PLACE CONCRETE-RE: STRUCTURAL

STRUCTURAL STEEL FRAMING-051200

**GENERAL NOTES** 

- 1 REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. 2 DIMENSIONS: DIMENSIONS ARE TO FACE OF PARTITION, UNLESS NOTED OTHERWISE. DIMENSIONS
- TO EXTERIOR WALLS ARE TO EXTERIOR MATERIALS (FACE OF GLASS). 3 PARTITIONS: PARTITIONS ARE TO BE PERPENDICULAR OR PARALLEL WITH CORE OR EXTERIOR WINDOW WALL ELEMENTS, UNLESS NOTED OTHERWISE. CENTER PARTITIONS ON COLUMNS OR
- MULLIONS, UNLESS NOTED OTHERWISE. 4 DOOR: HINGE SIDE OF DOORS TO BE LOCATED 4" FROM NEAREST PERPENDICULAR PARTITION,
- UNLESS DIMENSIONED OTHERWISE. 5 CONTROL JOINTS SHOULD ALIGN WITH COLUMN LINE. REFER TO SPECIFICATIONS FOR MAX AREA
- BETWEEN CONTROL JOINTS. 6 CONCEALED SPRINKLER HEAD COVERS TO MATCH COLOR OF CEILING
- 7 REFER TO PARKING PLANS FOR STRIPING AND DETAILS 8 REFER TO STRUCTURAL DRAWINGS FOR FLOOR REFERENCE ELEVATIONS.
- 9 REFER TO STRUCTURAL DRAWINGS FOR TOP OF CONCRETE ELEVATION FROM THE REFERENCE 10 REFER TO PV DRAWINGS FOR EXTENTS OF PHOTOVOLTAIC ARRAY STRUCTURE
- 11 GARAGE ARRAY STRUCTURE ATTACHMENTS BY ALUMINUM CANOPY SUPPLIER  $\wedge$

SHEET TITLE HIGH ROOF COMPOSITE

SHEET NUMBER



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DATE ISSUE SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP) 11/21/2017 IFC ADDENDUM #1 SFP4 12/05/2017 SFP REVISION #4 03/27/18 BULLETIN #3 B2 03/29/18 BULLETIN #2 B5 05/04/2018 BULLETIN #5 B11 07/26/2018 BULLETIN #11 B13 08/20/2018 BULLETIN #13

PROJECT NAME **BROADWAY OFFICE** DEVELOPMENT

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

KEY PLAN

EAST ELEVATION | B5

**GENERAL NOTES** 

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'.

ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE) AT SHOP DRAWINGS PRIOR TO FABRICATION

KIRKSEY PROJECT NO. 2016097

**EAST ELEVATION** 

SHEET NUMBER A3.10

© 2017 Kirksey

EL.181' - 8"
HIGH ROOF BTS EL.117' - 8"
HIGH ROOF MT EL.104' - 8"
PENTHOUSE MT EL.92' - 0"

LEVEL 8 BTS

SHEET NOTES

CAST-IN-PLACE CONCRETE-RE: STRUCTURAL CAST CONCRETE-RE: STRUCTURAL

> ROWLOCK BAND-042000 3 BAND ROWLOCK ARCH-042000 2 BAND ROWLOCK ARCH-042000 CAST STONE-047200

DECORATIVE FORMED METAL -057500 PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR

SHEET METAL COPING-077113 ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243 CONCRETE TILE-093033

P.18 BRICK CORINCE PROVIDE GLAZING ON INTERIOR OF GRILLE, -RE: WINDOW TYPE BTS-R-R/A6.51.01

BRICK SCHEME (BRK-3)

1/16" = 1'-0"



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 $\left( \begin{array}{c} N \end{array} \right)$  $\left(\mathsf{K}\right)$ EL.117' - 8"
HIGH ROOF MT PENTHOUSE MT — <u>EL.88' - 8"</u> LEVEL 8 MT EL.59' - 4"
LEVEL 6 MT

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SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT SFP1 06/26/2017 SFP REVISION #1 IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP)

SFP4 12/05/2017 SFP REVISION #4 B3 03/27/18 BULLETIN #3 B2 03/29/18 BULLETIN #2 B5 05/04/2018 BULLETIN #5

B13 08/20/2018 BULLETIN #13

PROJECT NAME

**BROADWAY OFFICE** 

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

DEVELOPMENT

NORTH ELEVATION | B5

### SHEET NOTES

FIXED LOUVER-089119 OFCI-02 TANK#40-RE: A10.20

CAST-IN-PLACE CONCRETE-RE: STRUCTURAL CAST CONCRETE-RE: STRUCTURAL SITE CAST CONCRETE-RE: STRUCTURAL

ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243

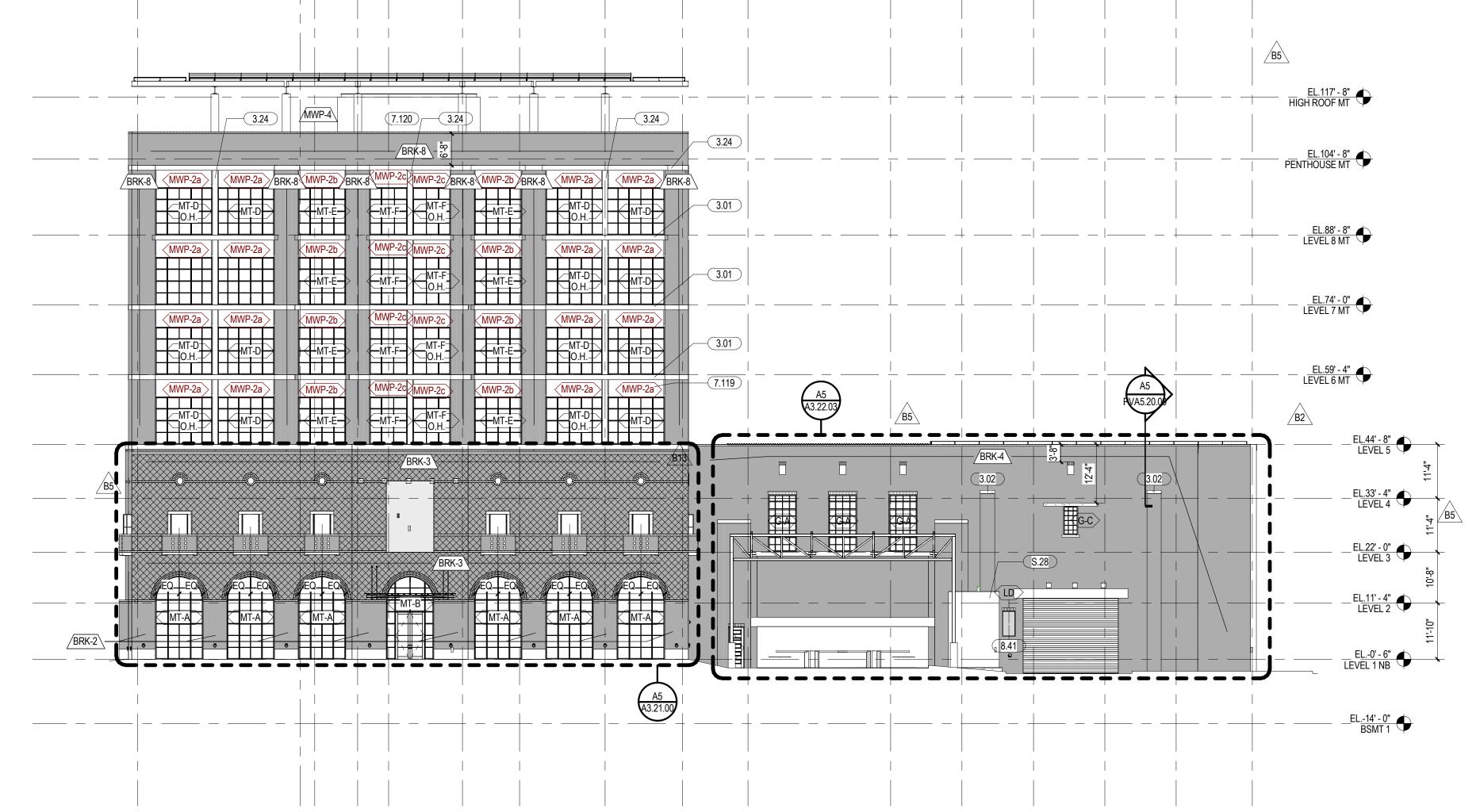
KIRKSEY PROJECT NO. 2016097

**KEY PLAN** 

NORTH ELEVATION

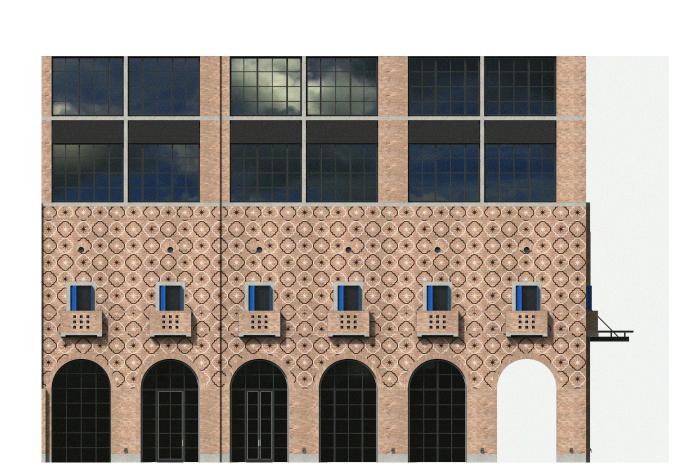
SHEET NUMBER A3.11

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1/16" = 1'-0"

B2



BRICK SCHEME (BRK-3)

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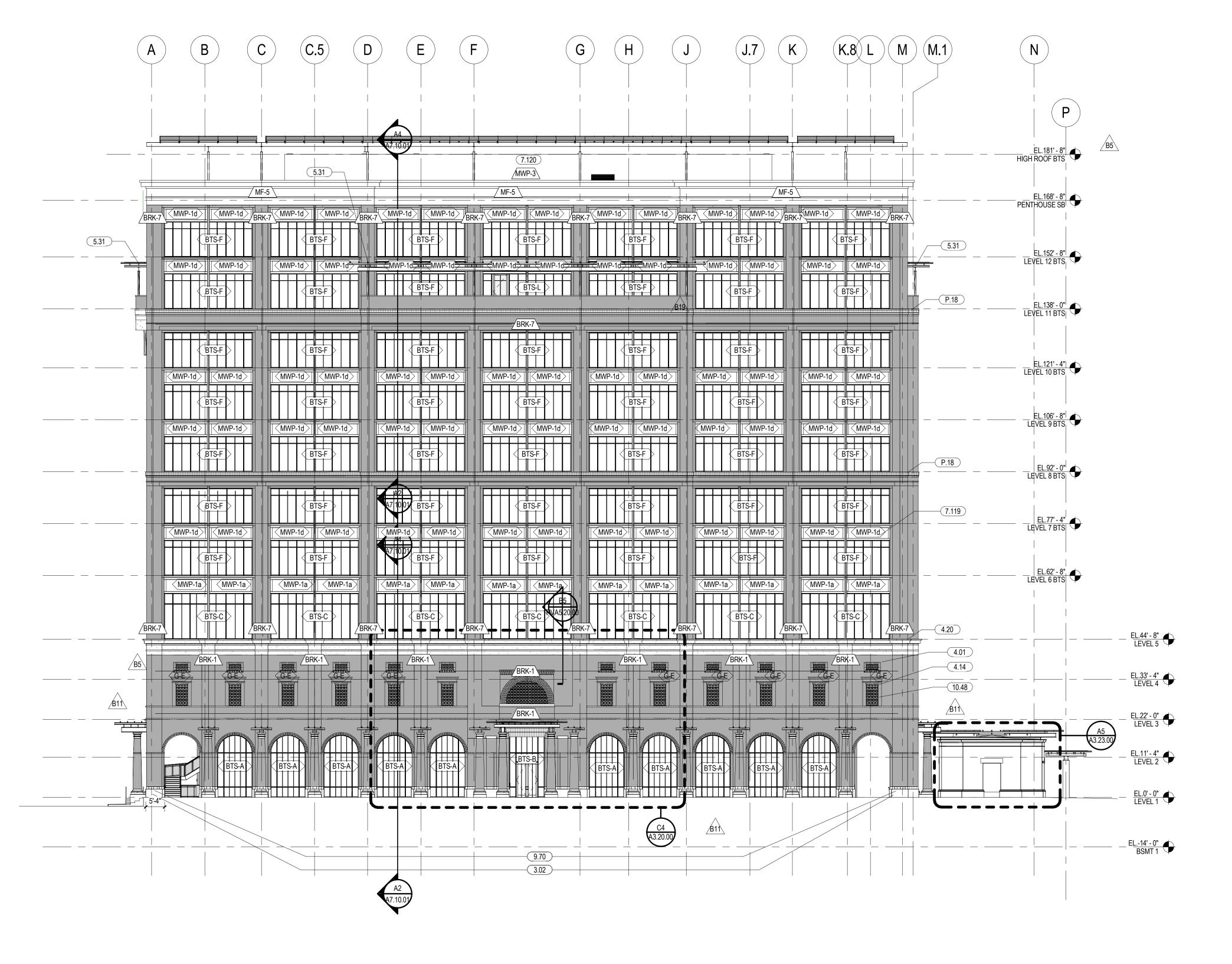
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SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT

IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP)

SFP1 06/26/2017 SFP REVISION #1

1 11/21/2017 IFC ADDENDUM #1 SFP4 12/05/2017 SFP REVISION #4 B2 03/29/18 BULLETIN #2 B5 05/04/2018 BULLETIN #5 B11 07/26/2018 BULLETIN #11 B19 10/25/2018 BULLETIN #19



SOUTH ELEVATION | B5

## **GENERAL NOTES**

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE)
AT SHOP DRAWINGS PRIOR TO FABRICATION

# \*\*\*\* SHEET NOTES

- CAST CONCRETE-RE: STRUCTURAL BRICK-042000 ROWLOCK BAND-042000
- CAST STONE-047200
- PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR
- ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243 CONCRETE TILE-093033
- ORNAMENTAL METAL GRILLE-102400 P.18 BRICK CORINCE

KIRKSEY PROJECT NO. 2016097

**BROADWAY AT PEARL** 

PROJECT NAME

**BROADWAY OFFICE** 

DEVELOPMENT

PROJECT ADDRESS

PARKWAY

KEY PLAN

SOUTH ELEVATION

SHEET NUMBER A3.12

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1/16" = 1'-0"

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DATE ISSUE

1 11/21/2017 IFC ADDENDUM #1 SFP4 12/05/2017 SFP REVISION #4 B2 03/29/18 BULLETIN #2

B5 05/04/2018 BULLETIN #5 B11 07/26/2018 BULLETIN #11 B19 10/25/2018 BULLETIN #19

SFP 01/18/2017 SITE & FOUNDATION FOR PERMIT

IFC 11/10/2017 ISSUED FOR CONSTRUCTION (100% CONST. DOCS. FOR GMP)

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7.120 \_\_\_\_\_EL.121' - 4" \_\_\_\_\_ LEVEL 10 BTS \_\_\_\_\_ HIGH ROOF MT EL.104' - 8"
PENTHOUSE MT EL.88' - 8" | LEVEL 8 MT | 4.14 4.20 GA 5.29 EL.-14' - 0" BSMT 1

WEST ELEVATION B5

### \*\*\*\* SHEET NOTES **GENERAL NOTES**

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. CAST-IN-PLACE CONCRETE-RE: STRUCTURAL ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE) AT SHOP DRAWINGS PRIOR TO FABRICATION

CAST CONCRETE-RE: STRUCTURAL BRICK-042000 ROWLOCK BAND-042000 3 BAND ROWLOCK ARCH-042000 2 BAND ROWLOCK ARCH-042000 CAST STONE-047200 JACK ARCH-042000 DECORATIVE FORMED METAL-RE: STRUCTURAL; RE: MASTER SCHEDULE FOR COLOR SELECTION PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243 FIXED LOUVER-089119 CONCRETE TILE-093033 ORNAMENTAL METAL GRILLE-102400 B2 22.12 FIRE PUMP TEST BIBS-RE: FIRE PROTECTION BRICK CORINCE NEW FENCE. -RE: LANDSCAPE

\$.30 OFCI-05 METAL TRUSS-RE: A10.20

2016097 KIRKSEY PROJECT NO. KEY PLAN

PROJECT NAME

**BROADWAY OFFICE** 

**BROADWAY AT PEARL** 

DEVELOPMENT

PROJECT ADDRESS

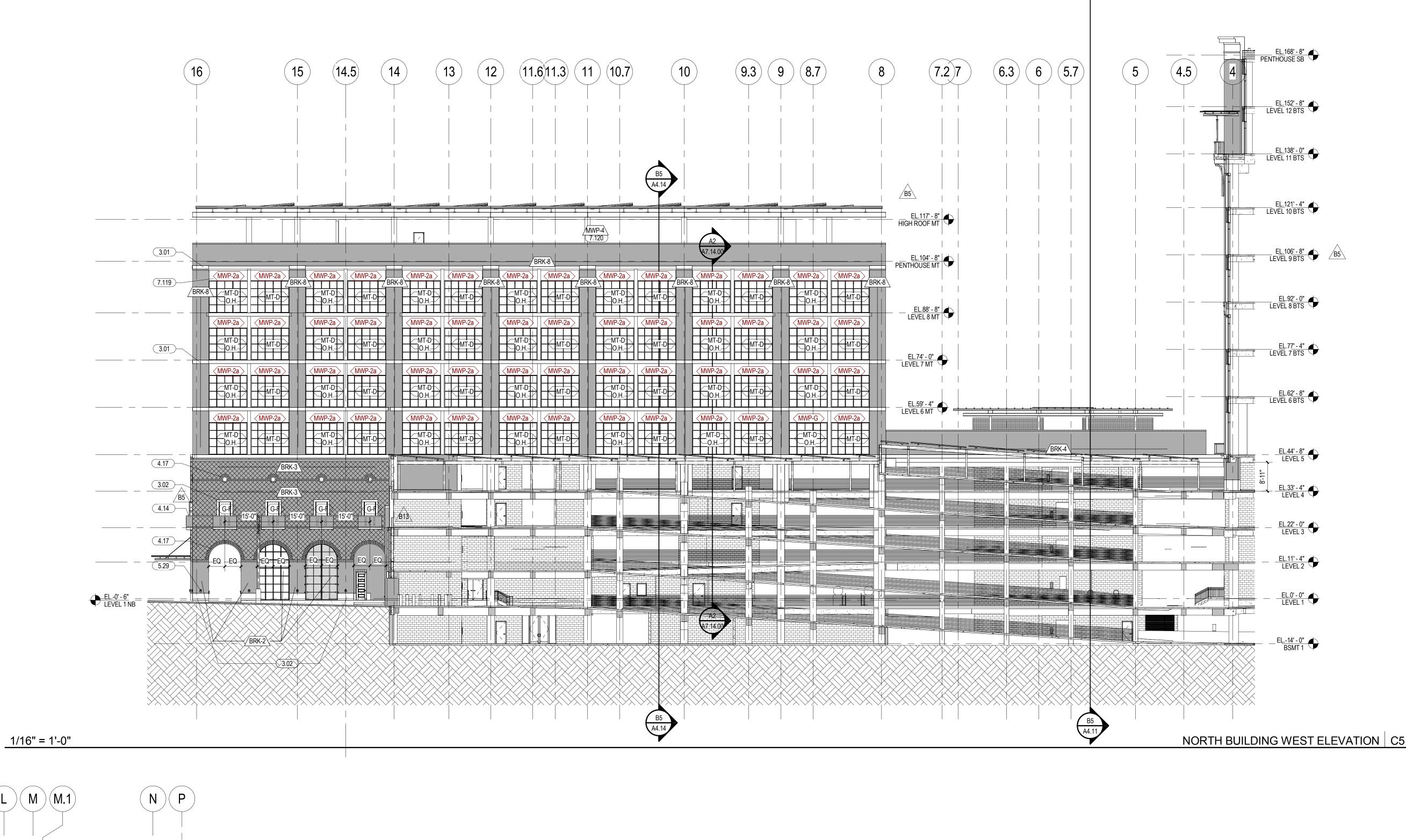
PARKWAY

SHEET TITLE WEST ELEVATION

SHEET NUMBER

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1/16" = 1'-0"





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B5 05/04/2018 BULLETIN #5
B13 08/20/2018 BULLETIN #13

BROADWAY OFFICE DEVELOPMENT

PROJECT ADDRESS

BROADWAY AT PEARL

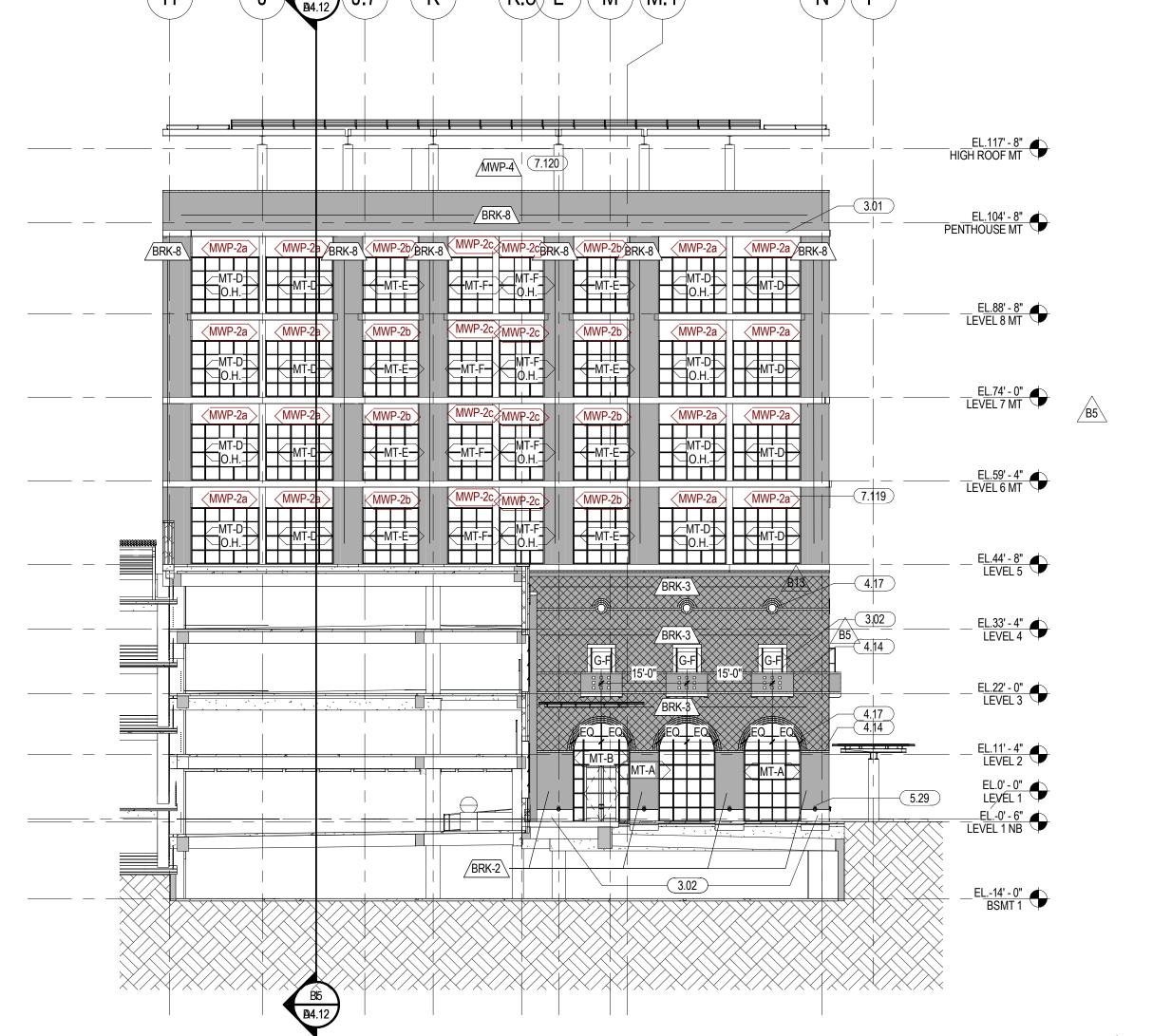
PARKWAY

KIRKSEY PROJECT NO. 2016097
KEY PLAN

NORTH BUILDING SOUTH AND WEST ELEVATIONS

SHEET NUMBER

A3.14
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1/16" = 1'-0"

NORTH BUILDING SOUTH ELEVATION A5

BRICK SCHEME (BRK-3)

### SHEET NOTES

CAST-IN-PLACE CONCRETE-RE: STRUCTURAL
CAST CONCRETE-RE: STRUCTURAL
ROWLOCK BAND-042000
3 BAND ROWLOCK ARCH-042000
DECORATIVE FORMED METAL -057500

ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243

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EL.168' - 8"
PENTHOUSE SB

EL.77' - 4"
LEVEL 7 BTS

EL.44' - 8"
LEVEL 5

EL.-14' - 0"
BSMT 1

SOUTH BUILDING NORTH ELEVATION B5

PROJECT NAME **BROADWAY OFFICE** DEVELOPMENT

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

**KEY PLAN** 

KIRKSEY PROJECT NO. 2016097

SHEET TITLE SOUTH BUILDING NORTH

SHEET NUMBER A3.15

© 2017 Kirksey

**ELEVATION** 

\*\*\*\* SHEET NOTES **GENERAL NOTES** 

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. ARCHITECT TO REVIEW AND APPROVE JOINT LAYOUT OF THE SOUTH BUILDING CAST STONE (ENTABLATURE AND LEVEL 5 TERRACE)

1/16" = 1'-0"

AT SHOP DRAWINGS PRIOR TO FABRICATION

CAST CONCRETE-RE: STRUCTURAL BRICK-042000 2 BAND ROWLOCK ARCH-042000

CAST STONE-047200

DECORATIVE FORMED METAL-RE: STRUCTURAL; RE: MASTER SCHEDULE FOR COLOR SELECTION PAINTED STEEL TRELLIS-RE: STRUCTURAL; RE: MASTER SCHEDULE & FINISH PLANS FOR COLOR

ALUMINUM COMPOSITE PANEL SYSTEM-074213 ROOF SCREEN METAL PANEL-074243

CONCRETE TILE-093033

ORNAMENTAL METAL GRILLE-102400 BRICK CORINCE

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A DATE ISSUE B26 11/26/2018 BULLETIN #26

GARAGE PV ARRAY PLAN B5

\*\*\*\* SHEET NOTES

PHOTOVOLTAIC SYSTEM-RE: ELECTRICAL

CONCEALED FASTENER LAP SEAM METAL WALL PANELS-074213 MANUFACTURED GUTTER PREFINISHED ALUMINUM-077100

**GENERAL NOTES** 

REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. 2 DIMENSIONS: DIMENSIONS ARE TO FACE OF PARTITION, UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR WALLS ARE TO EXTERIOR MATERIALS (FACE OF GLASS). 3 PARTITIONS: PARTITIONS ARE TO BE PERPENDICULAR OR PARALLEL WITH CORE OR EXTERIOR WINDOW WALL ELEMENTS, UNLESS NOTED OTHERWISE. CENTER PARTITIONS ON COLUMNS OR MULLIONS, UNLESS NOTED OTHERWISE.

4 DOOR: HINGE SIDE OF DOORS TO BE LOCATED 4" FROM NEAREST PERPENDICULAR PARTITION, UNLESS DIMENSIONED OTHERWISE. 5 CONTROL JOINTS SHOULD ALIGN WITH COLUMN LINE. REFER TO SPECIFICATIONS FOR MAX AREA BETWEEN CONTROL JOINTS.

6 CONCEALED SPRINKLER HEAD COVERS TO MATCH COLOR OF CEILING 7 REFER TO PARKING PLANS FOR STRIPING AND DETAILS 8 REFER TO STRUCTURAL DRAWINGS FOR FLOOR REFERENCE ELEVATIONS. 9 REFER TO STRUCTURAL DRAWINGS FOR TOP OF CONCRETE ELEVATION FROM THE REFERENCE FLOOR ELEVATION.

10 REFER TO PV DRAWINGS FOR EXTENTS OF PHOTOVOLTAIC ARRAY STRUCTURE 11 GARAGE ARRAY STRUCTURE ATTACHMENTS BY ALUMINUM CANOPY SUPPLIER

KIRKSEY PROJECT NO. 2016097

PROJECT NAME

**BROADWAY OFFICE** 

**BROADWAY AT PEARL** 

DEVELOPMENT

PROJECT ADDRESS

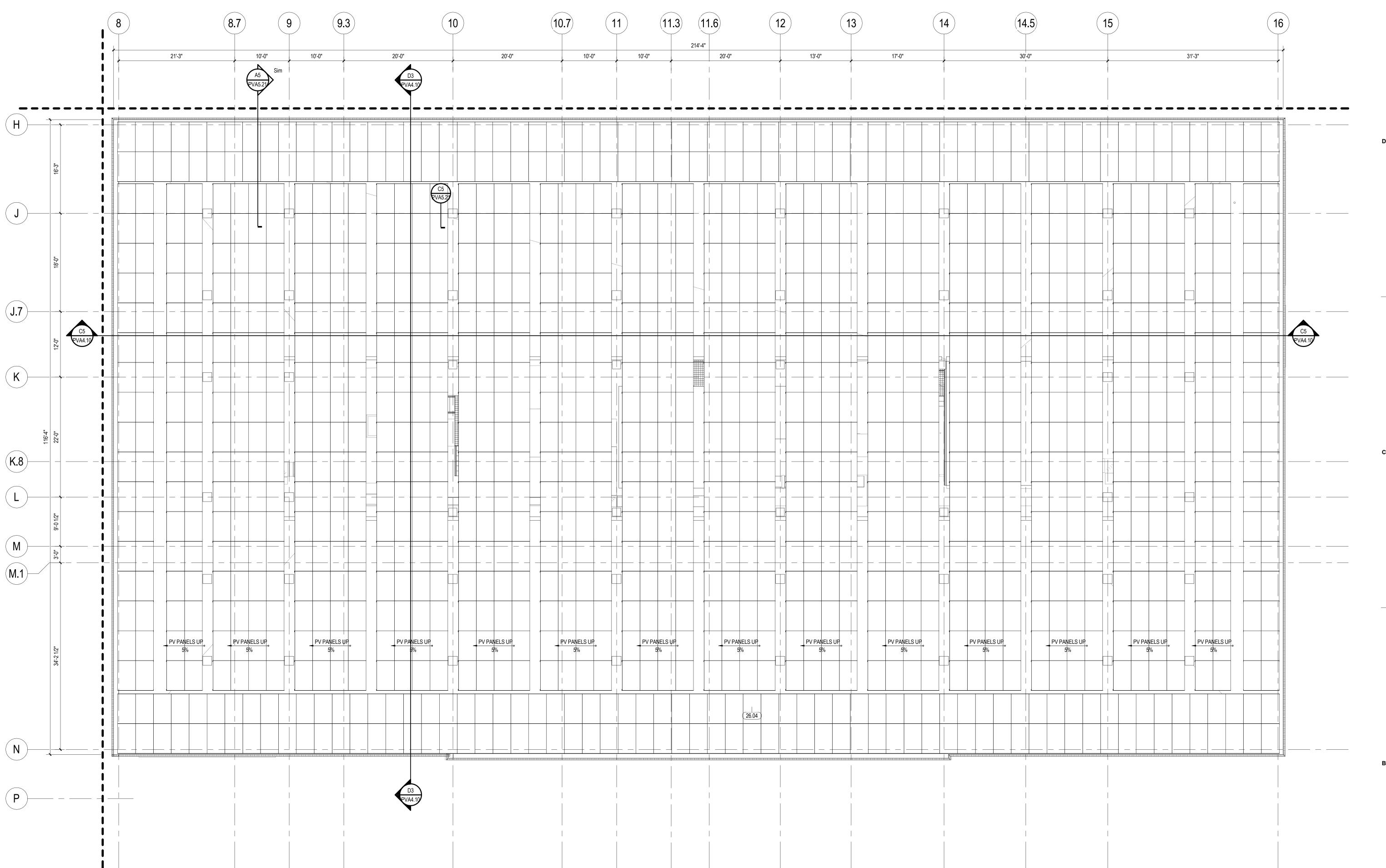
PARKWAY

PV - GARAGE ARRAY PLAN

SHEET NUMBER PVA2.30.00

© 2017 Kirksey

1/8" = 1'-0"



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These drawings have been prepared as one coordinated set of drawings and are complimentary. What is required by one drawing is required by all of the drawings, even if a detail or component part is not identified on every sheet. Any user's reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire set of drawings will be at the user's sole risk and shall not form the basis for a request for additional compensation or time.

B17 10/11/2018 BULLETIN #17

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

DEVELOPMENT

**BROADWAY OFFICE** 

PROJECT NAME

KIRKSEY PROJECT NO. 2016097

KEY PLAN

SHEET TITLE PV - NORTH BUILDING ARRAY PLAN

SHEET NUMBER PVA2.31

1/8" = 1'-0"

### SHEET NOTES

**GENERAL NOTES** 26.04 PHOTOVOLTAIC SYSTEM-RE: ELECTRICAL 1 REFER TO MASTER SCHEDULE FOR FINISH AND PRODUCT 'BASIS OF DESIGN'. 2 DIMENSIONS: DIMENSIONS ARE TO FACE OF PARTITION, UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR WALLS ARE TO EXTERIOR MATERIALS (FACE OF GLASS).

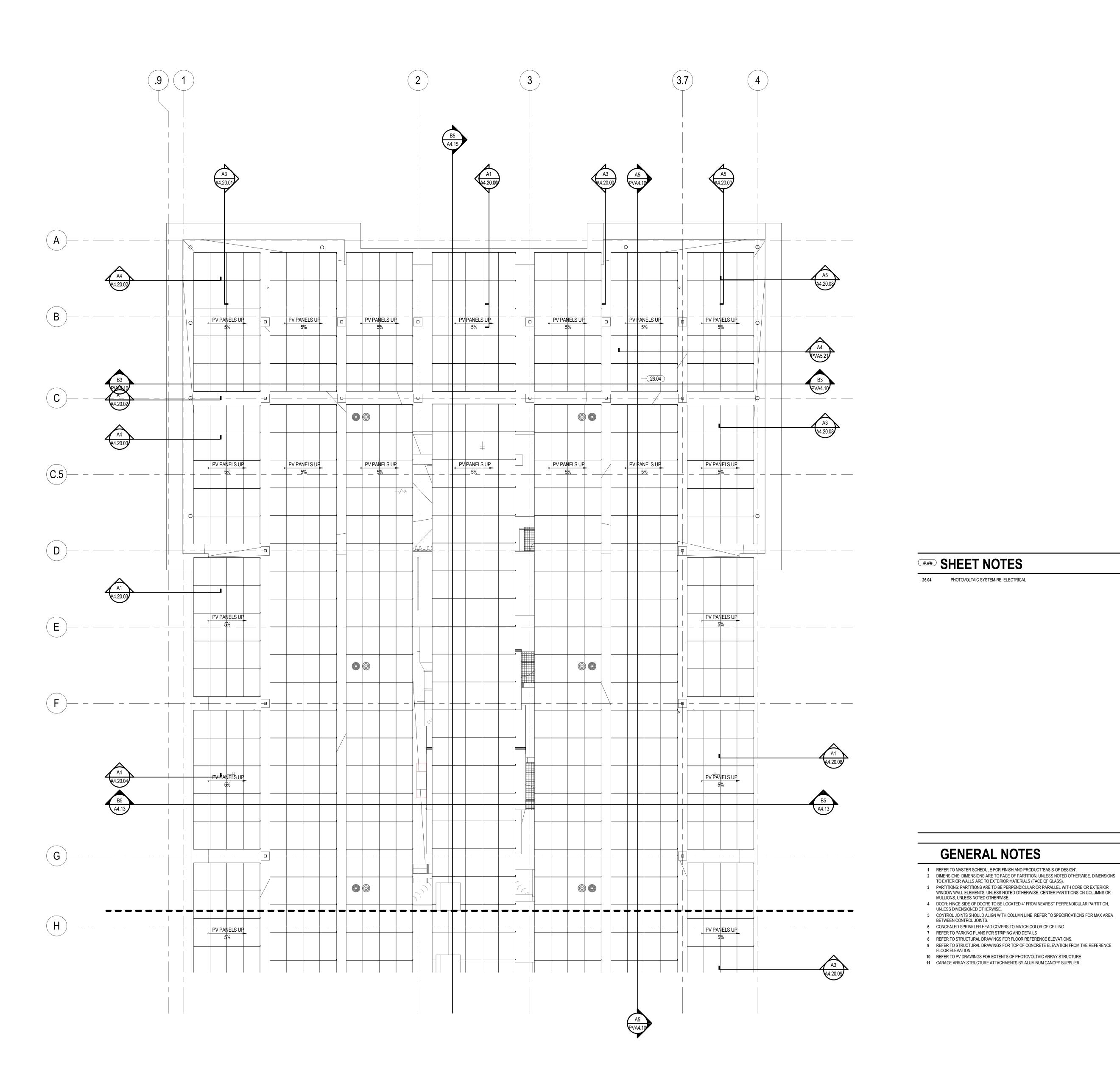
3 PARTITIONS: PARTITIONS ARE TO BE PERPENDICULAR OR PARALLEL WITH CORE OR EXTERIOR WINDOW WALL ELEMENTS, UNLESS NOTED OTHERWISE. CENTER PARTITIONS ON COLUMNS OR MULLIONS, UNLESS NOTED OTHERWISE. 4 DOOR: HINGE SIDE OF DOORS TO BE LOCATED 4" FROM NEAREST PERPENDICULAR PARTITION, UNLESS DIMENSIONED OTHERWISE.

5 CONTROL JOINTS SHOULD ALIGN WITH COLUMN LINE. REFER TO SPECIFICATIONS FOR MAX AREA BETWEEN CONTROL JOINTS. 6 CONCEALED SPRINKLER HEAD COVERS TO MATCH COLOR OF CEILING

NORTH BUILDING PV ARRAY PLAN | B5

7 REFER TO PARKING PLANS FOR STRIPING AND DETAILS 8 REFER TO STRUCTURAL DRAWINGS FOR FLOOR REFERENCE ELEVATIONS. 9 REFER TO STRUCTURAL DRAWINGS FOR TOP OF CONCRETE ELEVATION FROM THE REFERENCE FLOOR ELEVATION.

10 REFER TO PV DRAWINGS FOR EXTENTS OF PHOTOVOLTAIC ARRAY STRUCTURE 11 GARAGE ARRAY STRUCTURE ATTACHMENTS BY ALUMINUM CANOPY SUPPLIER





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B17 10/11/2018 BULLETIN #17

**BROADWAY OFFICE** DEVELOPMENT

PROJECT NAME

PROJECT ADDRESS **BROADWAY AT PEARL** PARKWAY

KIRKSEY PROJECT NO. 2016097

SHEET TITLE PV - SOUTH BUILDING ARRAY PLAN A

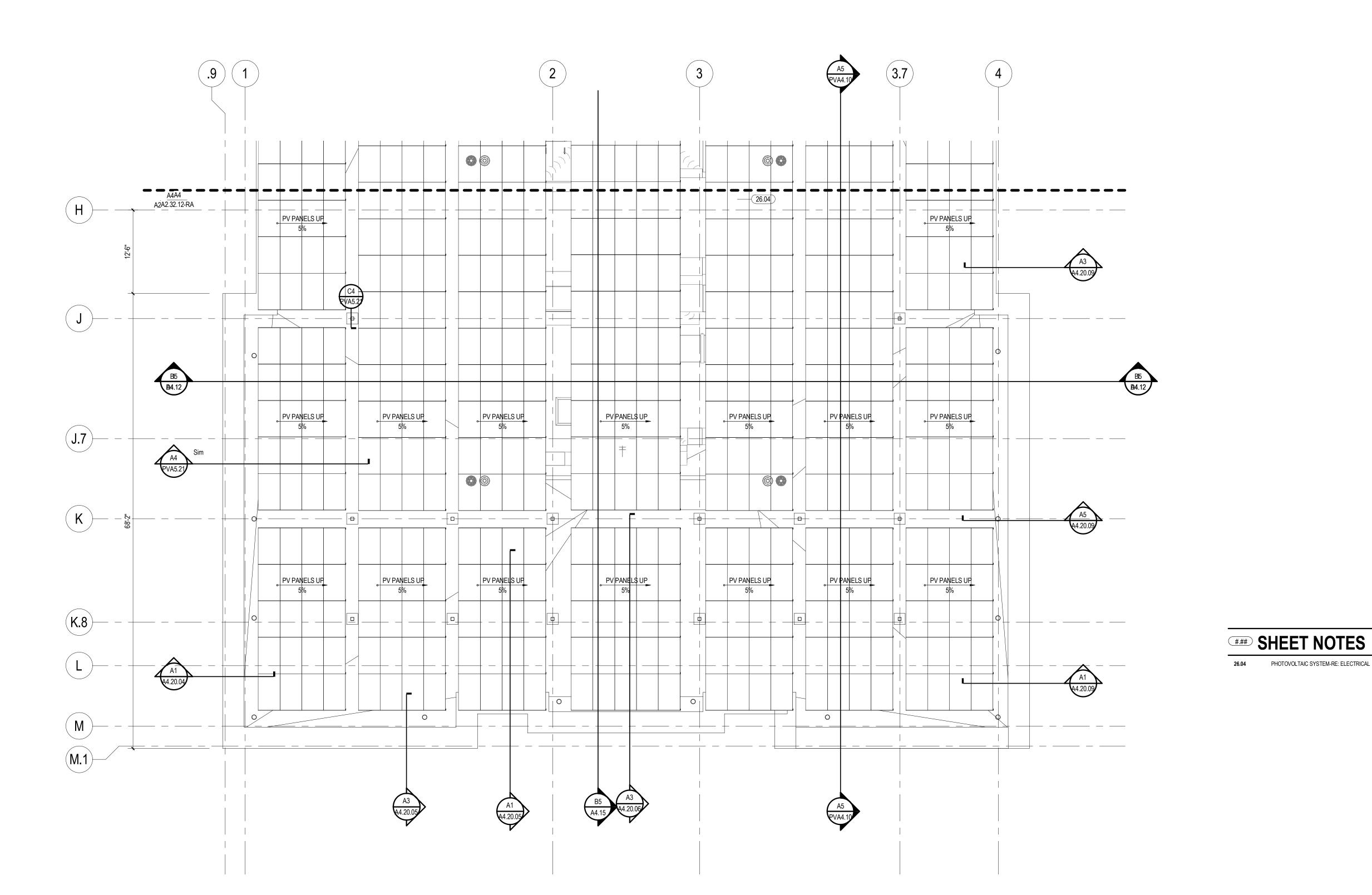
SHEET NUMBER PVA2.32-A



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B17 10/11/2018 BULLETIN #17

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PROJECT NAME

BROADWAY OFFICE DEVELOPMENT

PROJECT ADDRESS BROADWAY AT PEARL PARKWAY

2016097

SHEET TITLE PV - SOUTH BUILDING ARRAY PLAN B

SHEET NUMBER PVA2.32-B

26.04 PHOTOVOLTAIC SYSTEM-RE: ELECTRICAL













