

HISTORIC AND DESIGN REVIEW COMMISSION

December 19, 2018

HDRC CASE NO: 2018-474
ADDRESS: 7300 JONES MALTSBERGER RD
LEGAL DESCRIPTION: NCB 18208 BLK 8 LOT E 137.41 FT OF 1 (ALAMO CEMENT UT-3D)
ZONING: C-3,HS
CITY COUNCIL DIST.: 1
LANDMARK: Commercial Building
APPLICANT: Daniel Long
OWNER: Quarry Coyotes Ltd
TYPE OF WORK: Construction of an addition, exterior modifications
APPLICATION RECEIVED: November 30, 2018
60-DAY REVIEW: January 29, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Modify the fenestration of the existing structure.
2. Construct a new raised patio on the west side of the existing structure to include an ADA ramp and new steel pipe and cable railing.
3. Construct a rear addition to total approximately 2,800 square feet.
4. Install two airstreams on the landscaped area of the property.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.

iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
- iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

- i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.
- ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural

style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

FINDINGS:

- a. The primary structure located at 7300 Jones Maltsberger Road is a 1-story commercial structure constructed in approximately 1920 in the Spanish Eclectic style with Mission influences. The structure is an individual local landmark with the common name Commercial Building.
- b. The applicant received conceptual approval from the Historic and Design Review Commission (HDRC) on October 3, 2018. The approval carried the following stipulations:
 1. That the applicant provides material and construction details on the proposed fenestration modifications and new canopy to be affixed to the existing structure as noted in findings c and d; **this stipulation has been met.**
 2. That the applicant reduces the height of the proposed gable as noted in finding e; **this stipulation has been addressed through an alternative design proposal for the addition.**
 3. That the applicant provides details on how the proposed new patio will affect the existing façade of the historic structure as noted in finding k; **this stipulation has been met.**
 4. That the applicant provides a comprehensive landscaping and hardscaping plan that illustrates the impacts, if any, to the historic fountain. The historic fountain and its immediate surroundings should not be adversely impacted by any proposal. All modifications to the site are required to be indicated for review by the HDRC; **this stipulation has been met.**
 5. That the applicant provides more detail regarding the proposed airstream element, including any permanent or temporary docking or parking elements, associated landscaping or hardscaping, or any additional exterior elements; **this stipulation has been partially met.**
- c. FENESTRATION MODIFICATIONS – The applicant has proposed to modify the existing fenestration on the western façade. The applicant has proposed to modify two rectangular window openings to incorporate larger casement-style openings to increase the indoor-outdoor relationship near the open landscaped area. The applicant has also proposed to remove an existing pair of wood doors and arched transom to install a new arched double door. Staff finds the proposal generally acceptable due to their location on a non-primary façade.
- d. NEW CANOPY – The applicant has proposed to add a new flat canopy element over the proposed windows to be modified. The canopy will be affixed to the structure with ties and will closely match the proportions, detailing, and materiality of the existing canopy above the door facing the south. Staff finds the proposal appropriate.
- e. FOOTPRINT – The applicant has proposed to construct a new addition totaling approximately 2,800 square feet. The addition incorporates an existing enclosed service bay, which was an addition to the 1920s structure. The Guidelines state that new additions should not double the footprint of the existing structure. Though the addition is substantial in square footage, the integration of the existing service bay reduces the overall footprint to be newly introduced. The addition is also distinguished from the primary historic structure in terms of the offsets in its wall planes and the parapet detailing. Staff finds the footprint generally appropriate based on the site-specific context of the proposal.
- f. SCALE & MASSING – The applicant has proposed to construct a 1-story addition. Based on the submitted drawings, the addition will be shorter in height than the tallest ridge height of the primary structure and feature a parapet wall detail to distinguish the new element architecturally from the original structure, which features a gable roof. Staff generally finds the scale and massing appropriate.
- g. ROOF – The applicant has proposed a primary gable roofline for the addition flanked by flat roofs with a parapet detail. The gable mimics the existing gables on the primary structure. Staff finds the proposal generally appropriate with the stipulations listed in the recommendation.
- h. WINDOWS AND DOORS – The applicant has proposed storefront-style windows on the new addition. The

applicant has not proposed windows on the rear of the structure, which faces the parking lot and encloses back-of-house space. Staff does not find the blank facades consistent with the Guidelines. Staff finds that façade articulation or the addition of openings would be appropriate.

- i. MATERIALITY – The applicant has proposed to clad the additions in stucco to closely match the finish of the original structure. Staff finds the proposal consistent with the Guidelines.
- j. ARCHITECTURAL DETAILS – Architectural details should not visually compete with the original structure and should be indicative of its time while remaining compatible. Architectural details include a capped parapet surrounding the flat roof and window canopies that closely match those existing. Staff finds the proposal generally appropriate with the stipulations in the recommendation.
- k. PATIO – The applicant has proposed a new raised poured concrete patio element adjacent to the west side of the existing structure. The northern edge of the patio will meet the southern edge of the proposed addition. Staff finds the proposal generally appropriate.
- l. RAMP AND RAILING – The applicant has proposed to install a new ADA ramp connected to the proposed patio modifications. The ramp and patio will include a new steel pipe and cable railing. Staff finds the proposal generally appropriate.
- m. FOUNTAIN – The applicant has not indicated any modifications to the historic fountain located to the southwest of the original structure.
- n. LANDSCAPING AND HARDSCAPING – The applicant has proposed to modify the existing hardscaping and landscaping to provide greater connectivity between the exterior patio spaces. Staff finds the proposal to be generally appropriate.
- o. AIRSTREAMS – The applicant has proposed to incorporate two freestanding airstreams on the southern portion of the site. According to the applicant, the airstreams will provide private seating and serve as an outdoor remote bar. Their placement will not affect any character defining landscape features or obscure the historic structure. Staff finds this acceptable with the stipulation listed in the recommendation.
- p. SIGNAGE – While a monument sign is indicated on the site plan, signage design information – such as height, material, lighting, color, and text information – has not been proposed as part of this application. The applicant is responsible for submitting a separate signage application for consideration by the Commission.

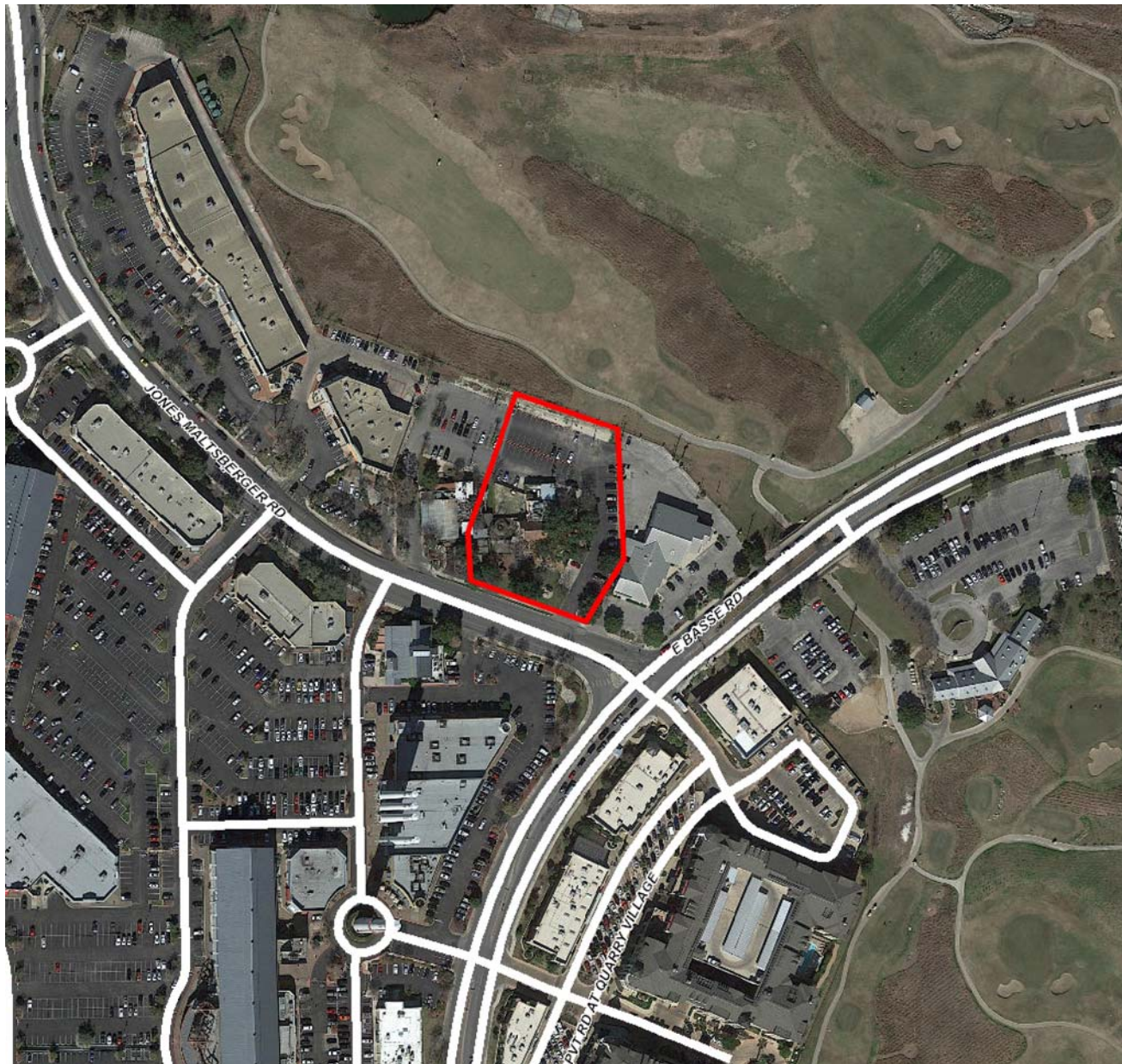
RECOMMENDATION:

Staff recommends final approval based on findings a through o with the following stipulations:

- i. That the applicant meets all other building requirements outlined in the UDC.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: Sep 28, 2018

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Quarry Crossing

Chipotle Mexican Grill

AT&T Store

Quarry Hofbrau
& Beer Garden

7300 Jones
Maltzberger Road

Mattress Firm
Final Markdown

Bric Brac 'n Brass

Basse Nails & Spa

Grove Hill, Ltd

Pottery Barn

Starbucks

Canyon Cafe

Quarry Northeast Lot

SAS Shoes

Trader Joe's

Google





West facade (Original structure and 93 kitchen addition to rear)



Main Entrance and 2012 outdoor bar addition



Back of building Service yard with 2012 outdoor bar addition



Back of Building Service Yard

Ida Claire Restaurant at 7300 Jones-Maltsberger



Original Structure front facade facing Jones Maltsberger



Original Structure and 2012 outdoor bar addition from main entry drive

Ida Claire Restaurant at 7300 Jones-Maltsberger

November 30th, 2018

City of San Antonio, Historic Design Review Commission - Project Narrative

Project: Additions to the Quarry Office - Restaurant

Address: 7300 Jones-Maltsberger

Legal Address: NCB 18208, Block 8, Lot 1

Zoning: C-2

Existing Building Description

The existing building was constructed as the Alamo Cement Office Building in 1920. The 1600 square foot structure consists of light wood framed walls and trusses. The exterior is designed in the *Mission Style* architecture with stucco finish and clay tile roof. Along the Jones-Maltsberger elevation there is a loggia porch with the framed openings bordered with plaster pilasters and a clay tile cap detail. Later the porch was enclosed with arched windows as it sits today. Adjacent to the structure a large fountain and gazebo was commissioned by artist/sculptor, Dionicio Rodriguez, in his acclaimed *Faux Bois* technique, seen throughout San Antonio. It was also at this time the Lab building was done to create a campus for the quarry offices.

The building was added on to in 1993-94 as the property was developed into a restaurant. An approximate 1200 square foot addition was built to incorporate a kitchen and restroom facilities for the building. At this time there was also extensive site work done to create a large patio for the restaurant. The new additions were modeled in a similar motif to the existing structure. Heavy textured plaster exterior walls with a similar pilaster and clay tile cap details at the corners to blend with the existing building. It is of note that when this addition was done there was a Certificate of Appropriateness was given for the new work.

Later in 2012 another addition was done to the east side of the building. This addition was similar in style and material to the 1993-94 addition. The primary function of this addition was to serve as a covered outdoor bar and seating area for the large outdoor patio space. It is of note that when this addition was done there was a Certificate of Appropriateness was given for the new work.

After the previously completed renovations the building is 3,412 SF, not including the enclosed service yard. Please see accompanying existing photographs of the existing building.

Proposed New Work Description

The new proposed tenant of the building is requiring additional indoor seating and a complete re-work of the kitchen and majority of the interior layout. It is proposed that the new work consist of a roughly 2,800 SF addition bringing the total square footage of the building to 6,200 SF. The bulk of this addition is taking place where the existing service yard is located. The current service yard is enclosed by a roughly 8-9' high cmu wall with plaster veneer. There are multiple storage buildings and a walk-in cooler within the perimeter wall enclosure. The remainder of the addition would be to the west side of the 1993-94 building addition. The addition done in 2012 will be reclaimed for the interior building function as a new set of accessible/compliant restrooms. A rework of the existing parking layout would also be done to provide additional parking for the property with the increased footage. It is of note that the neighboring restaurant and the neighboring retail building have a cross parking access agreement in place.

The new building design would be very much in keeping with the previously done additions primarily consisting of painted stucco walls and similar pilasters and parapet detailing. Parapet and tile cap detailing would be used to blend the existing with the new. We would propose to re-paint the exterior walls, doors, windows, and trim. (See attached images for proposed paint colors). A new trellis is also being proposed in line with the existing entrance canopy. This would be heavy timber wood columns and main beams with 2x purlin/trellis members.

A feature of the new layout would be to re-establish an outdoor bar/serving component since the previous addition has been re-purposed into restrooms. We would propose this element on the west side of the existing building. There are multiple openings on this elevation we would like to utilize to provide outdoor service and bar access using large bi-folding doors that could be opened during restaurant operation. Service to the exterior seating areas would take place at a new elevated patio adjacent to the existing fountain. (Please see attached images and elevations for proposed new work)

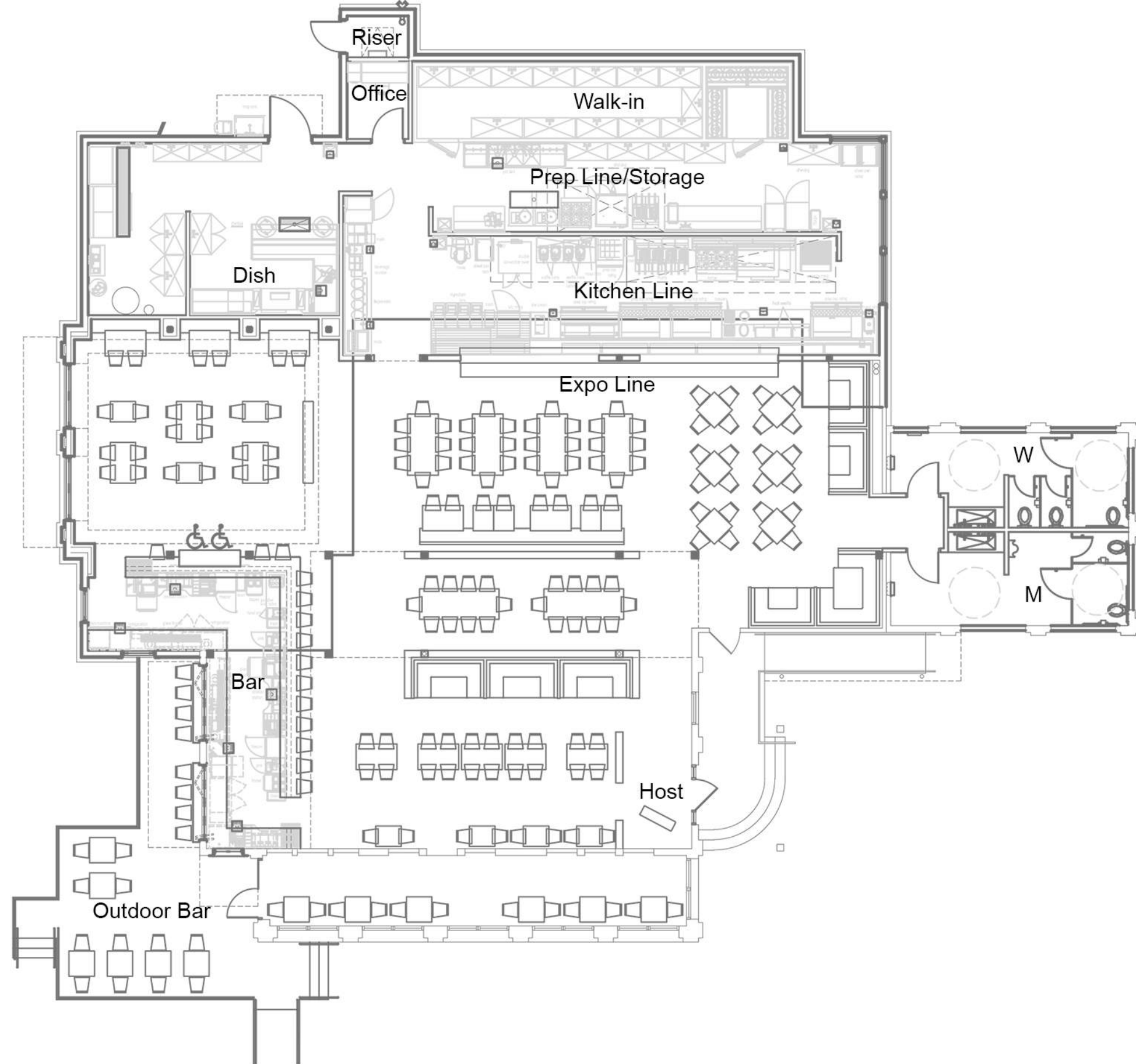
The design concept for the new restaurant has a trademark patio element incorporated into their other locations, an Airstream trailer that has been gutted and retrofitted to provide private seating and another to serve as a remote outdoor Bar. (See attached images of previously installed trailers). The Trailers are located flanking either side of the existing patio space. With the trailers spread across the front elevation the major view of the existing building from the street is left intact. It also helps establish a defined edge of the patio spaces.



- 1 - Proposed Restaurant Building
- 2 - Existing Fountain
- 3 - New Dumpster Enclosure
- 4 - Airstream
- 5 - Monument Sign
- 6 - Existing concrete Patio

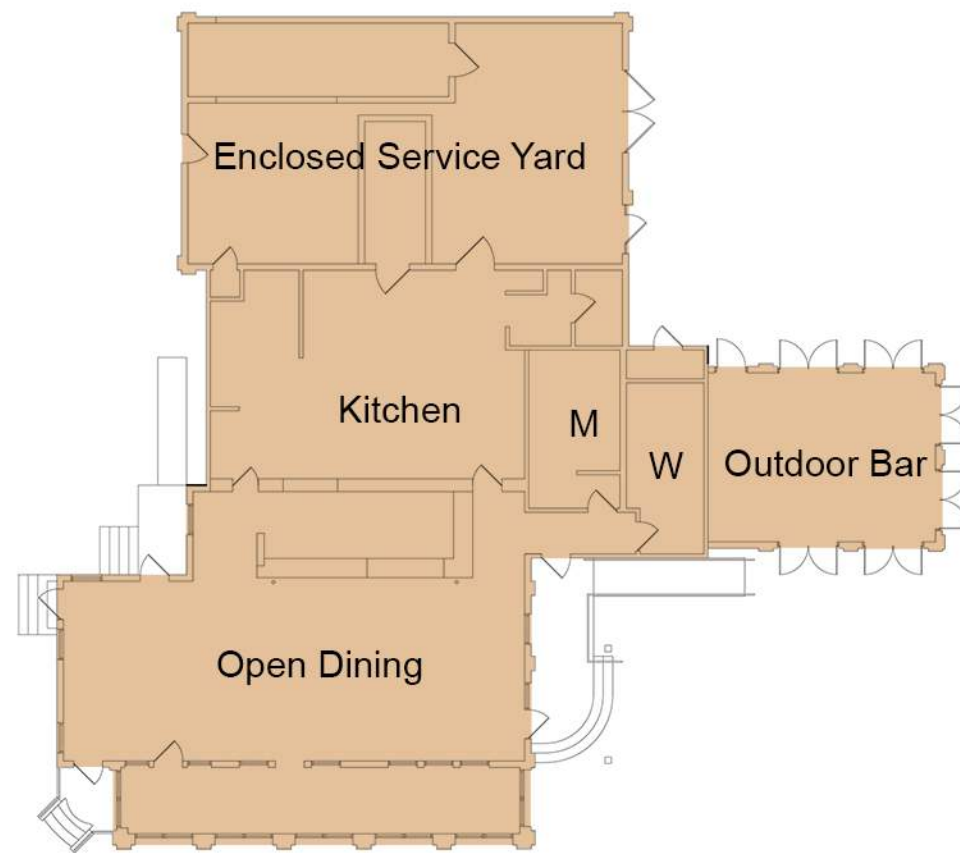
Proposed Site Plan  

Ida Claire Restaurant at 7300 Jones-Maltsberger

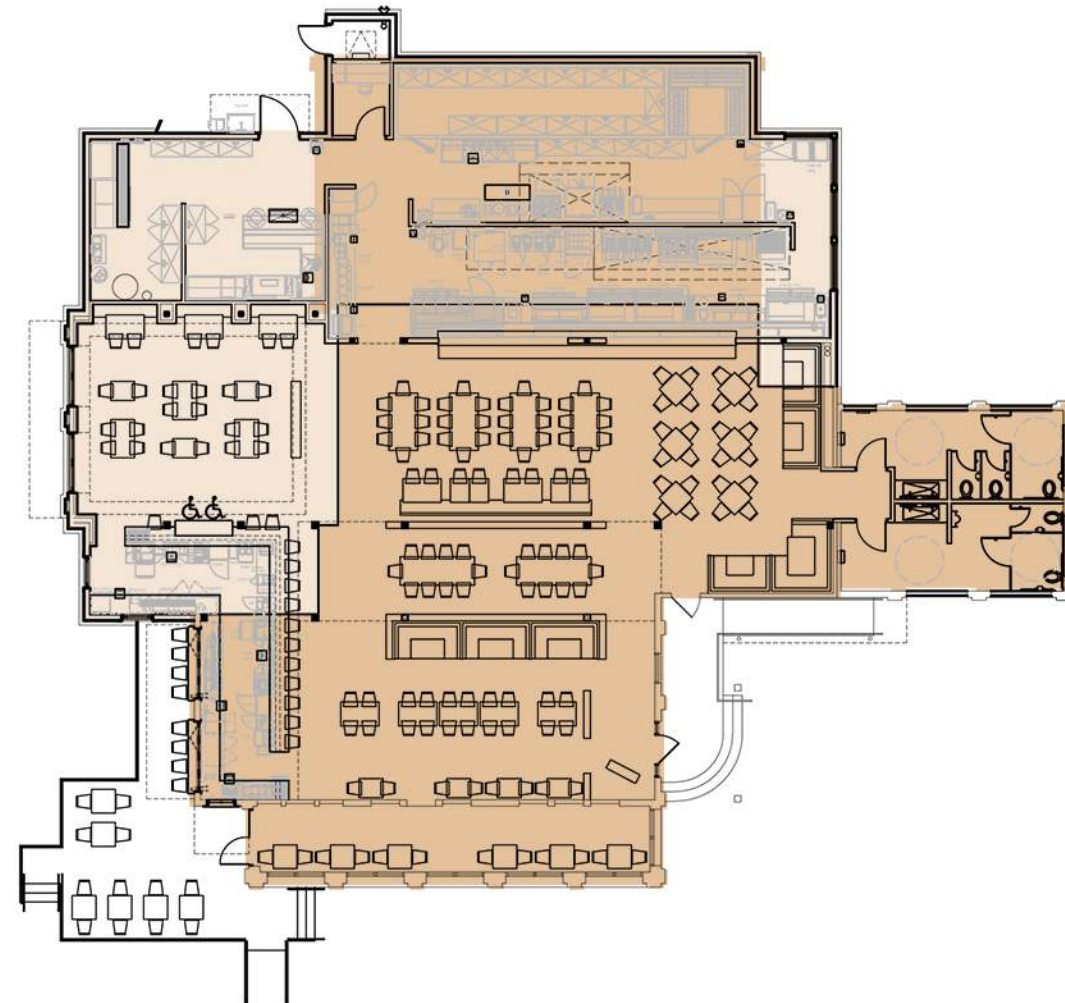


New Floor Plan

Ida Claire Restaurant at 7300 Jones-Maltsberger



Existing Plan w/ highlighted footprint



New Floor Plan w/ new and existing highlighted footprint

Floor Plans  

Ida Claire Restaurant at 7300 Jones-Maltsberger



SW Perspective

PT-5	PAINT - EXTERIOR	DUNN EDWARDS	ECOLOGICAL DE5719	
PT-6	PAINT - EXTERIOR	DUNN EDWARDS	PUTNAM PLUM DEA100	
PT-7	PAINT - EXTERIOR	DUNN EDWARDS	WHERE THE BUFFALO ROAM DET480	
PT-10	PAINT - EXTERIOR & INTERIOR	SHERWIN WILLIAMS	MOTH WING SW9174	
PT-11	PAINT - INTERIOR	SHERWIN WILLIAMS	CONTENTED SW6191	
PT-12	PAINT - EXTERIOR & INTERIOR	SHERWIN WILLIAMS	WORLDLY GRAY SW7043	
PT-13	PAINT - EXTERIOR	SHERWIN WILLIAMS	IRON ORE SW7069	
PT-14	PAINT - EXTERIOR & INTERIOR	SHERWIN WILLIAMS	PORCELAIN SW0053	
PT-16	PAINT - INTERIOR	SHERWIN WILLIAMS	LOYAL BLUE SW6510	



NE Perspective

PT-5	PAINT - EXTERIOR	DUNN EDWARDS	ECOLOGICAL DE5719	
PT-6	PAINT - EXTERIOR	DUNN EDWARDS	PUTNAM PLUM DEA100	
PT-7	PAINT - EXTERIOR	DUNN EDWARDS	WHERE THE BUFFALO ROAM DET480	
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PT-16	PAINT - INTERIOR	SHERWIN WILLIAMS	LOYAL BLUE SW6510	



NW Perspective

PT-5	PAINT - EXTERIOR	DUNN EDWARDS	ECOLOGICAL DE5719	
PT-6	PAINT - EXTERIOR	DUNN EDWARDS	PUTNAM PLUM DEA100	
PT-7	PAINT - EXTERIOR	DUNN EDWARDS	WHERE THE BUFFALO ROAM DET480	
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PT-16	PAINT - INTERIOR	SHERWIN WILLIAMS	LOYAL BLUE SW6510	



SE Perspective

PT-5	PAINT - EXTERIOR	DUNN EDWARDS	ECOLOGICAL DE5719	
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PT-7	PAINT - EXTERIOR	DUNN EDWARDS	WHERE THE BUFFALO ROAM DET480	
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PT-16	PAINT - INTERIOR	SHERWIN WILLIAMS	LOYAL BLUE SW6510	



Existing Airstream at IDA Claire (Addison)

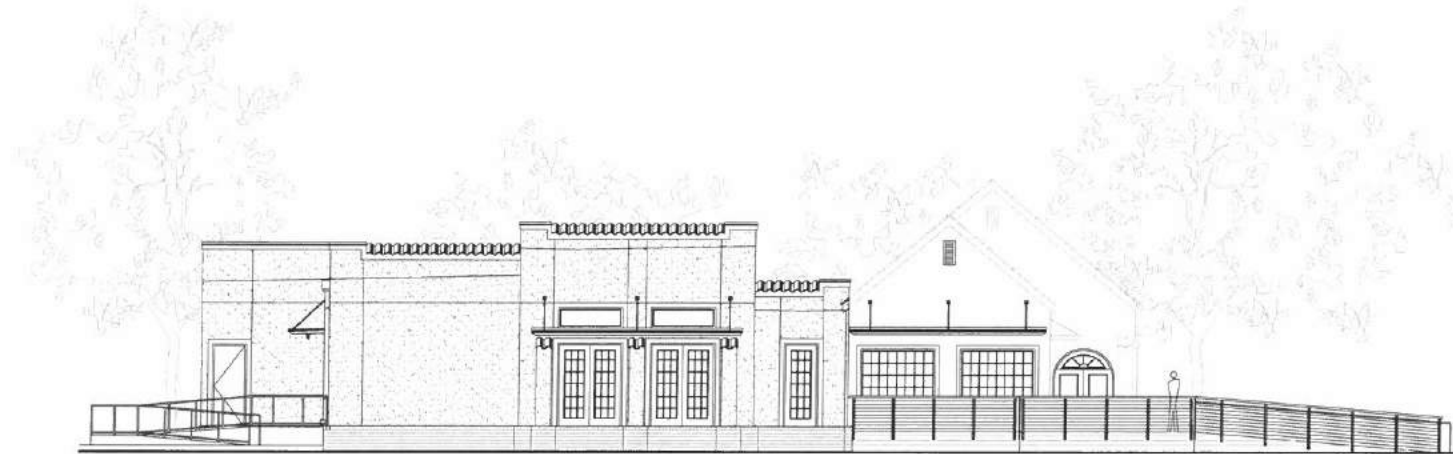


Ida Claire Restaurant at 7300 Jones-Maltsberger

NEW RESTAURANT ADDITION AND RENOVATION FOR IDA CLAIRE

7300 Jones Maltsberger
San Antonio, Texas

100% Permit Set
date



ARCHITECTURAL

chesneymoralespartners, inc.

architecture/interior design

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San Antonio, Texas 78213

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f 210.342.3641

GENERAL CONTRACTOR SHALL BY SUBMISSION OF HIS /HER BID OBLIGATE HIMSELF TO ALL REQUIREMENTS OF THE GENERAL CONTRACTOR AS STATED ON THE DRAWINGS AND IN THE SPECIFICATIONS.

12. GENERAL CONTRACTOR SHALL CAREFULLY READ A.I.A. DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AS THEY WILL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS.

13. PRIOR TO BID SUBMITTAL THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE ARCHITECT AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED.

14. PRIOR TO BID SUBMITTAL THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND VERIFY FIELD CONDITIONS AND CAREFULLY COMPARE SUCH FIELD CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE.

15. GENERAL CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN HIS BID ALL ADJUSTMENTS AND COSTS AFFECTING ALL EXISTING SERVICES, I.E. WATER LINES, WASTE LINES, ELECTRICAL, ELECTRICAL SERVICE, AND TELEPHONE/DATE LINES.

16. GENERAL CONTRACTOR SHALL BID THE PLANS AND SPECIFICATIONS AS DETAILED AND INSURE A FULLY COMPLETE PROJECT WITH NO ADDITIONAL COSTS INVOLVED OVER WHAT IS INCLUDED IN THE DOCUMENTS.

17. GENERAL CONTRACTOR SHALL INCLUDE IN THEIR BID HIS /HER TIME SCHEDULE FOR THE COMPLETION OF THE WORK. WHERE A CONSTRUCTION PHASE PLAN IS INCLUDED IN THE DRAWINGS, THE TIME SCHEDULE SHALL INCLUDE START TO FINISH TIME FOR EACH PHASE.

18. GENERAL CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT FOR CLARIFICATION SHOULD ANY ERRORS, INCONSISTENCIES OR OMISSIONS BE DISCOVERED.

19. GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL TRADES, AND ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS OTHERWISE SPECIFY INSTRUCTIONS.

20. GENERAL CONTRACTOR SHALL REPORT ANY UNFORESEEN FIELD CONDITIONS, ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED AT ANY TIME BEFORE AND DURING THE WORK TO THE ARCHITECT, BEFORE PROCEEDING WITH THAT PORTION OF THE WORK, AS HE WILL BE RESPONSIBLE FOR ALL WORK AFFECTING THE PROJECT.

21. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUB-CONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND THE CONTRACTOR'S PREPARING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE GENERAL CONTRACTOR.

22. IF A CHANGE IS REQUESTED BY OWNER, THE ARCHITECT SHALL ISSUE AN APPROPRIATE PROPOSAL REQUEST, WHICH THE GENERAL CONTRACTOR SHALL PRICE OUT WITHIN 10 BUSINESS DAYS.

23. GENERAL CONTRACTOR SHALL NOT COVER WORK UNTIL REQUIRED INSPECTIONS HAVE BEEN MADE.

24. ALL WORK SHALL CONFORM TO U.B.C. 1987 EDITION AND TO ALL CITY AMENDMENTS.

25. GENERAL CONTRACTOR SUB-CONTRACTORS, SUPPLIERS AND MANUFACTURERS ARE TO CERTIFY THAT ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION OF THIS PROJECT DO NOT CONTAIN ASBESTOS IN ANY AMOUNT IN ACCORDANCE WITH THE 1978 TOXIC SUBSTANCE CONTROL ACT.

26. HARDWARE SCHEDULE APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING HARDWARE.

27. SHOP DRAWINGS/CATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING TOILET ROOM AND OTHER ACCESSORIES.

28. SHOP DRAWINGS/CATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING PLUMBING FIXTURES.

29. SHOP DRAWINGS/CATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING CABINETS.

30. VERIFY SIZES OF AND REQUIRED CONNECTIONS FOR OWNER FURNISHED EQUIPMENT AND APPLIANCES WITH OWNER.

31. TOILET ACCESSORIES SHALL BE BOBBICK OR APPROVED EQUAL. REFER TO SCHEDULE.

NO PARTICLE BOARD SHALL BE USED FOR COUNTERTOPS WHERE SINKS ARE INSTALLED.

GENERAL CONTRACTOR SHALL VERIFY ELECTRICAL SERVICE VOLTAGES PRIOR TO ORDERING ELECTRICAL OR LIGHTING FIXTURES.

2.9. ANY ADDITIONS OR DELETIONS TO THE WORK WHICH IS NOT SHOWN ON THE PLANS SHALL BE COORDINATED WITH THE ARCHITECT.

2.10.00C HARDWARE WILL BE FURNISHED BY CONTRACTOR. ALL HARDWARE, TO BE INSTALLED BY CONTRACTOR. COORDINATE. TELEPHONE SERVICES REQUIRED.

2.11 THE ARCHITECT IS NOT PRACTICED OR EXPERIENCED IN THE IDENTIFICATION, REMOVAL, AND/OR DISPOSAL OF HAZARDOUS MATERIALS. THIS CONTRACT IS FOR NON-HAZARDOUS MATERIAL REMEDIATION ONLY. IF THE CONTRACTOR ENCOUNTERS ANY MATERIALS HE REASONABLY BELIEVES TO BE HAZARDOUS HE IS TO CEASE WORK IMMEDIATELY AND NOTIFY THE ARCHITECT OF SUCH.

2.12 INTERIOR DIMENSIONS ON FLOOR PLAN ARE FROM FINISH FACE OF PARTITION TO FINISH FACE OF PARTITION OR CENTER OF PARTY WALL.

3.1 ALL WORK SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL CODES APPLICABLE AND THE REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS.

3.2 WHERE THE CONTRACT CONSTRUCTION NOTES OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE OR ANY OTHER DEPT. OR ENTITY HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT CONSTRUCTION NOTES, DRAWINGS, SPECS, SHALL IN ALL CASES PREVAIL.

3.3 ALL DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS THE DRAWINGS TAKE PRECEDENCE OVER THESE NOTES.

3.4 ALL WORK LISTED ON THIS CONSTRUCTION NOTE SHEET AND SHOWN OR IMPLIED ON ALL DRAWINGS SHALL BE SUPPLIED AND CONTROLLED BY THE GENERAL CONTRACTOR EXCEPT AS NOTED. THE SCOPE OF THE WORK UNDER THIS CONTRACT INCLUDES, BUT NOT LIMITED TO TEMPORARY UTILITIES, SANITARY FACILITIES AND PAYMENT OF ALL FEES, PERMIT FILING AND UTILITIES, SCHEDULING AND ANY OTHER ITEMS OR SERVICES REQUIRED TO ASSURE A COMPLETE AND FINAL INSTALLATION.

3.5 THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT IMMEDIATELY DURING THE BIDDING PROCESS IF HE CANNOT COMPLY WITH ALL NOTES CALLED FOR IN THIS SHEET AND ON ALL OTHER DRAWINGS AND ANY PART OF THE SPECIFICATIONS.

3.6 THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, NOTES AND ANY FIELD CONDITIONS BEFORE BIDDING AND COMMENCING ANY WORK AND REQUEST CLARIFICATION IN WRITING.

3.7 THE SUBMISSION OF A PROPOSAL BY A GENERAL CONTRACTOR SHALL BE CONSTRUED AS EVIDENCE THAT SUCH EXAMINATION HAS BEEN MADE AND CLAIMS FOR LABOR, MATERIAL OR EQUIPMENT REQUIRED, WHICH WOULD HAVE BEEN FORESEEN, HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE ACCEPTABLE.

3.8 EACH SUB-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.

3.9 PRIOR TO BEGINNING ANY WORK THE GENERAL CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF HIS WORK AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIME, LENGTH OF TIME FOR EACH PHASE, ITS ACT AND COMPLETION DATE. THE GENERAL CONTRACTORS STIPULATED PROJECT COMPLETION TIME.

3.10 THE GENERAL CONTRACTOR, HIS SUB-CONTRACTORS, AND ANY OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL AGREE THAT ANY COST CAUSED BY DEFECTIVE OR POORLY TIMED WORK, AS A RESULT OF ANY ACT OR OMISSION, TO IMPROVE WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE.

3.11 THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN UNLESS NOTED OTHERWISE THAT SUCH ITEM SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQUIRED.

3.12 WHERE THE TERMS "APPROVED EQUAL", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE IN THESE NOTES IT SHALL BE UNDERSTOOD THAT SUCH ITEM SHALL BE REFERENCE IS MADE IN ACCORDANCE WITH THE DECISION OF THE OWNER AND THE ARCHITECTS.

3.13 THE EXECUTION OF THE WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND STATE OF THE SUBSTRATE. LATER CLAIMS WILL NOT CONSTITUTE RELIEF FROM THE REQUIREMENTS OF THESE NOTES, DRAWINGS AND SPECIFICATIONS NOR WILL EXTRA COMPENSATION BE PAID.

3.14 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THIS WORK UNTIL TURNED OVER TO THE OWNER.

3.15 THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE TO ILLUSTRATE THE DESIGN AND THE GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIAL AND WORKMANSHIP THROUGHOUT.

3.16 THE GENERAL CONTRACTOR SHALL KEEP AND MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS INCLUDING ALL CHANGE ORDERS AT THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AS WELL AS FOR REFERENCE.

[illegible][illegible]

REVISIONS		
NO.	DATE	DESCRIPTION

**NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE**
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

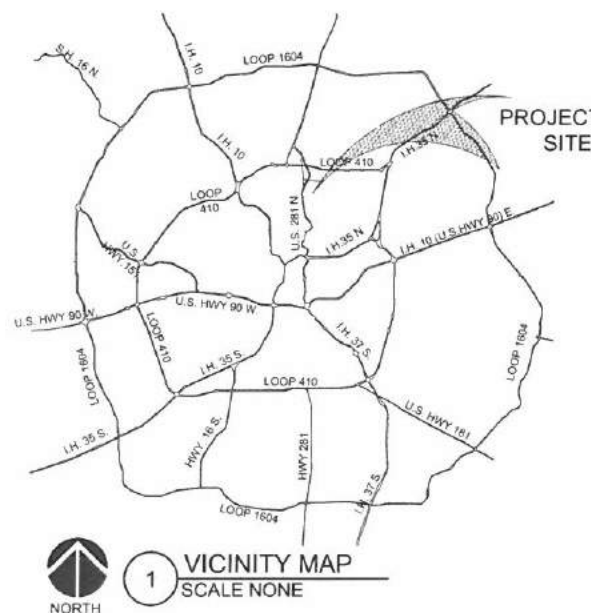
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architecture/interior design

SHEET

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PROJECT SITE

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ACCESSIBILITY STANDARDS REQUIREMENTS:

1. DOORS

- IF A DOOR HAS A DOOR CLOSER, THEN THE SUEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 5 SECONDS TO MOVE TO A POINT 12 DEGREES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- THE MAXIMUM FORCE FOR PUSHING OR FOR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
 - EXTERIOR HINGED DOORS: 85 LBS
 - INTERIOR HINGED DOORS: 55 LBS
 - SLIDING OR FOLDING DOORS: 55 LBS
 - FIRE DOORS: AS REQUIRED BY THE GOVERNING CODE OFFICIAL
 THE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISengage OTHER DEVICES THAT MAY HOLD THE DOOR IN A CLOSED POSITION.

- THE THRESHOLDS SPECIFIED AND DETAILED IN THESE DOCUMENTS DO NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SLIDING DOORS AND 1/2" IN HEIGHT FOR OTHER TYPES OF DOORS. THESE THRESHOLDS SHALL HAVE A BEVELED EDGE LESS THAN 1/2" (50%) NO SUBSTITUTIONS WILL BE ACCEPTED THAT DO NOT CONFORM TO THESE REQUIREMENTS AND ALL STATE AND ADA REQUIREMENTS.

- THE DOOR HARDWARE SPECIFIED AND DETAILED IN THESE DOCUMENTS INCLUDES ONLY HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TIGHT GRIPPING TO OPERATE. NO SUBSTITUTIONS WILL BE ACCEPTED THAT DO NOT CONFORM TO THESE REQUIREMENTS AND ALL STATE AND ADA REQUIREMENTS.

- ALL NEW DOORS ON THIS PROJECT HAVE BEEN SELECTED/DETAILED TO PROVIDE A MINIMUM CLEAR OPENING OF 32 INCHES IN WIDTH WITH THE DOOR OPEN 90 DEGREES. NO SUBSTITUTIONS OR MODIFICATIONS WILL BE CONSIDERED THAT REDUCE THE CLEARANCE OR CONFLICT WITH ANY STATE OR ADA REQUIREMENTS.

- ALL DOORS ON THIS PROJECT HAVE BEEN SELECTED AND DETAILED TO PROVIDE A MINIMUM CLEAR OPENING OF 84 INCHES IN HEIGHT. NO SUBSTITUTIONS OR MODIFICATIONS WILL BE CONSIDERED THAT REDUCE THE CLEARANCE OR CONFLICT WITH ANY STATE OR ADA REQUIREMENTS.

2. GRAB BARS

- THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS FASTENERS AND MOUNTING DEVICES SHALL MEET THE FOLLOWING:
 - BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LBS SHALL BE LESS THAN THE ALLOWABLE STRESSES FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
 - SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 LBS SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
 - SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 LBS SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR THE SUPPORTING STRUCTURE WHICH EVER IS THE SMALLER ALLOWABLE LOAD.
 - TENSION FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 LBS PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 LBS SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 - PROVIDE SOLID BLOCKING FOR MOUNTING.

- THE DIAMETER OF WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1 1/4" TO 1 1/2" OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1 1/2".

- CONTROLS
- ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS OR OTHER USERS OF A BUILDING OR FACILITY SHALL COMPLY WITH DETAILS 5/A2.2 AND 1/A2.2. SUCH MECHANISMS MAY INCLUDE, BUT ARE NOT LIMITED TO, THERMOSTATS, LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS, ELECTRICAL OUTLETS, ETC.

- UNLESS INDICATED OTHERWISE, THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES PROVIDED IN DETAIL 5/A2.2 AND 1/A2.2, EXCEPT WHERE OTHERWISE NOTED, ELECTRICAL AND COMMUNICATIONS SYSTEMS RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15" ABOVE FLOOR.

- URINALS
- HEIGHT:
 - WALL-MOUNTED WITH A TAPERED ELONGATED RIM MOUNTED AT A MAXIMUM OF 11 IN (430 MM) ABOVE THE FINISH FLOOR. A TAPERED ELONGATED RIM IS ONE THAT NARROWS TOWARD THE FRONT TO ALLOW A WHEELCHAIR USER TO STRADDLE THE BASIN AND WHICH EXTENDS AT LEAST 14" FROM THE VERTICAL SURFACE ON WHICH THE FIXTURE IS MOUNTED.

2. CLEAR FLOOR SPACE:
 - 30 IN BY 48 IN (760 MM BY 1220 MM) SHALL BE PROVIDED IN FRONT OF URINALS TO ALLOW FORWARD APPROACH. THIS CLEAR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL COMPLY WITH 4.2.4 (CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS). URINALS INSTALLED IN ALCOVES DEEPER THAN 24 IN REQUIRE ADDITIONAL MANEUVERING AREA. URINAL SHIELDS THAT DO NOT EXTEND BEYOND THE FRONT EDGE OF THE URINAL RIM MAY BE PROVIDED WITH 28 IN CLEARANCE BETWEEN THEM.

3. FLUSH CONTROLS:
 - OPERATED OR AUTOMATIC, AND SHALL COMPLY WITH 4.2.7.4, AND SHALL BE MOUNTED NO MORE THAN 44 IN (1120 MM) ABOVE THE FINISH FLOOR.

- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TIGHT GRIPPING TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS.

- WATER CLOSETS
- THE HEIGHT OF WATER CLOSETS SHALL BE 17" TO 19" MEASURED TO THE TOP OF THE TOILET SEAT.

- GRAB BARS FOR WATER CLOSETS NOT LOCATED IN STALLS SHALL COMPLY WITH 7/A2.2 THE GRAB BAR BEHIND THE WATER CLOSET SHALL BE 35" TO CENTERLINE AFF.

- TOILET PAPER DISPENSERS SHALL BE INSTALLED WITHIN REACH AS SHOWN IN 1/A2.2 DISPENSERS THAT CONTROL DELIVERY OR THAT DO NOT PERMIT CONTINUOUS PAPER FLOW SHALL NOT BE USED.

- CONTROLS SHALL BE NO HIGHER THAN 44" AND LOCATED ON THE WIDE SIDE.

- TOILET STALLS
- WATER CLOSETS IN ACCESSIBLE STALLS SHALL COMPLY WITH THE INFORMATION ON WATER CLOSETS ABOVE.

- GRAB BARS COMPLYING WITH THE LENGTH AND POSITIONING SHOWN IN 1/A2.2 1/A2.2 SHALL BE PROVIDED. GRAB BARS MAY BE MOUNTED WITH ANY DESIRED METHOD AS LONG AS THEY HAVE A GRIPPING SURFACE AT THE LOCATIONS SHOWN AND DO NOT OBSTRUCT THE REQUIRED CLEAR FLOOR AREA.

- LAVATORIES AND MIRRORS
- THESE REQUIREMENTS SHALL APPLY TO LAVATORY FIXTURES, VANITIES, AND BUILT-IN LAVATORIES.

- LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34 INCHES. THE FINISH FLOOR PROVIDE A CLEARANCE OF AT LEAST 28 INCHES ABOVE THE FINISH FLOOR TO THE BOTTOM OF THE APRON, KNEE AND TOE CLEARANCE SHALL COMPLY WITH THE DRAWINGS ON THIS SHEET.

- A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW FORWARD APPROACH. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND A MAXIMUM OF 19 INCHES UNDERNEATH THE LAVATORY.

- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

- LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF-CLOSING VALVES USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.

- MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE NO HIGHER THAN 40 INCHES ABOVE FINISH FLOOR AND TOP SURFACES NO LOWER THAN 6'-4" AFF.

- FIRE EXTINGUISHERS
- OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 17 INCHES AND 80 INCHES ABOVE THE FINISH FLOOR SHALL PROTRUDE NO MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES. OBJECTS MOUNTED WITH THEIR LEADING EDGES AT OR BELOW 27 INCHES ABOVE THE FINISH FLOOR MAY PROTRUDE ANY AMOUNT.

- DRINKING FOUNTAINS AND WATER COOLERS
- SPOUTS SHALL BE NO HIGHER THAN 36 INCHES MEASURED FROM THE FLOOR OR GROUND OR FLOOR SURFACES TO THE SPOUT OUTLET.

- UNIT CONTROLS SHALL BE FRONT MOUNTED OR SIDE MOUNTED NEAR THE FRONT EDGE.

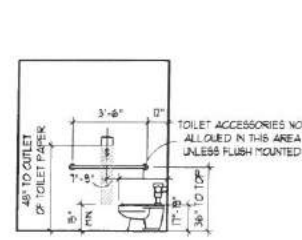
- WALL- AND POST-MOUNTED CANTILEVERED UNITS SHALL HAVE A CLEAR KNEE SPACE BETWEEN THE BOTTOM OF THE APRON AND THE FLOOR OR GROUND AT LEAST 27 INCHES HIGH, 30 INCHES WIDE, AND 17 INCHES TO 19 INCHES DEEP AND SHALL ALSO HAVE A MINIMUM CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES TO ALLOW A PERSON IN A WHEELCHAIR TO APPROACH THE UNIT FACING FORWARD. PRE-EXISTING OR BUILT-IN UNITS NOT HAVING A CLEAR SPACE UNDER THEM SHALL HAVE A CLEAR FLOOR SPACE AT LEAST 30 INCHES BY 48 INCHES THAT ALLOWS A PERSON IN A WHEELCHAIR TO MAKE PARALLEL APPROACH TO THE UNIT.

- SURFACES
- TEXTURES SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPES, OR GROOVES EXTENDING THE FULL WIDTH AND DEPTH OF THE CURB RAMP SURFACES THAT ARE RAISED, ETCHED, OR GROOVED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.

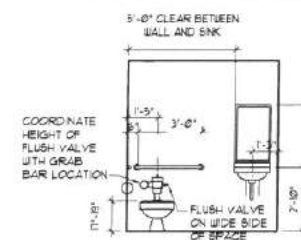
- SURFACES OF CURB RAMPS SHALL COMPLY WITH THE FOLLOWING:
 - FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF THE CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.

- SURFACES OF CURB RAMPS SHALL COMPLY WITH THE FOLLOWING:
 - TEXTURES SHALL CONSIST OF GROOVES (1/8" DEEP, 1/4" TO 3/4" WIDE, AND SPACED 3/4" TO 2" APART) EXTENDING THE FULL WIDTH AND DEPTH OF CURB RAMP SURFACE.

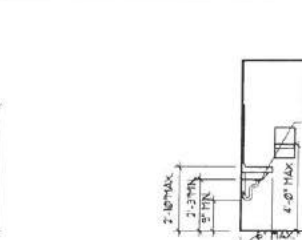
- FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF THE CURB RAMP SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES. COLOR CONCRETE OR CURB RAMP TO MATCH ARCHITECTS SAMPLE.



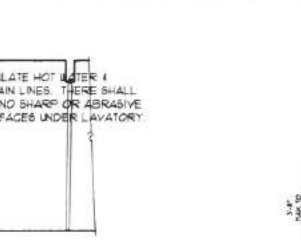
1 TYPICAL SINGLE USER TOILET ROOM WATER CLOSET
SCALE: 1/4" = 1'-0"



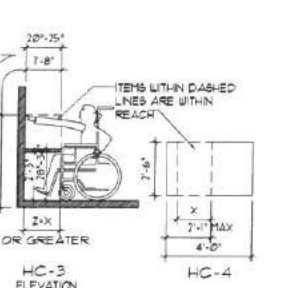
2 TYPICAL SINGLE USER TOILET ROOM WATER CLOSET & LAVATORY
SCALE: 1/4" = 1'-0"



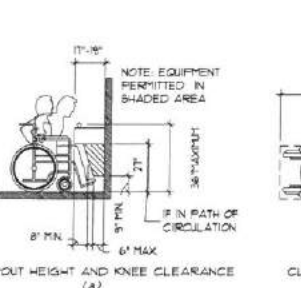
3 TYPICAL SINGLE USER TOILET ROOM LAVATORY
SCALE: 1/4" = 1'-0"



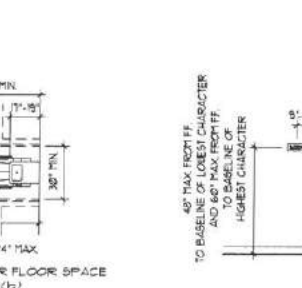
4 TYPICAL ACCESSIBLE URINAL AND SCREEN
SCALE: 1/4" = 1'-0"



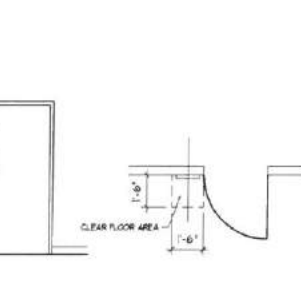
5 HC-3 AND HC-4
SCALE: 1/4" = 1'-0"



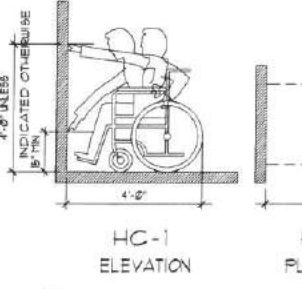
6 DRINKING FOUNTAINS AND WATER COOLERS
SCALE: 1/4" = 1'-0"



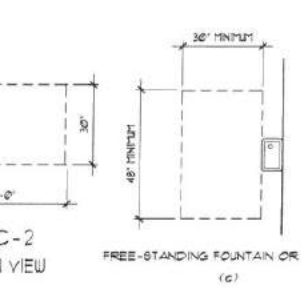
7 LOCATION AND HEIGHT TYPICAL SIGNAGE MOUNTING
SCALE: 1/4" = 1'-0"



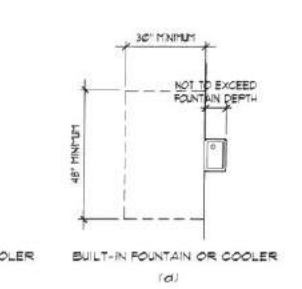
8 HI-LOW DRINKING FOUNTAIN ELEVATIONS
SCALE: 1/4" = 1'-0"



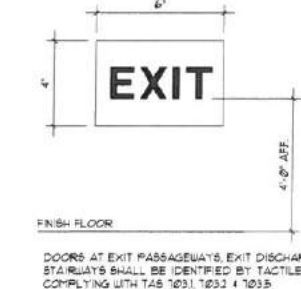
9 HC-1 AND HC-2
SCALE: 3/8" = 1'-0"



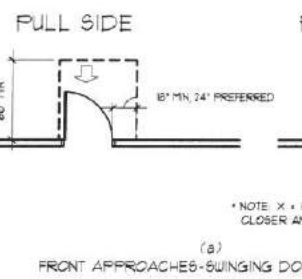
10 DRINKING FOUNTAIN AND WATER COOLER
SCALE: 3/4" = 1'-0"



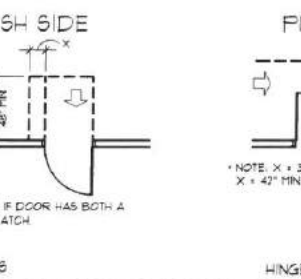
11 EXIT SIGNS
SCALE: NTS



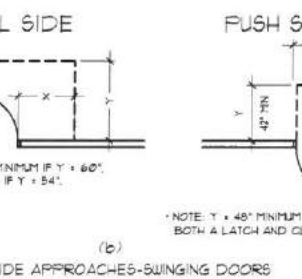
12 FIRE EXTINGUISHER CABINET
SCALE: 3/4" = 1'-0"



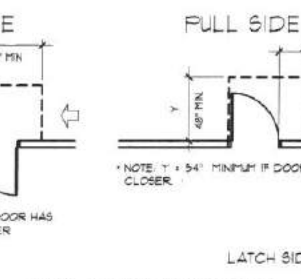
13 CLEAR MANEUVERING SPACE REQUIRED AT DOORS
SCALE: 3/16" = 1'-0"



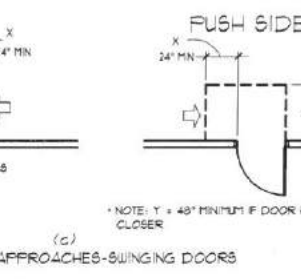
14 PULL SIDE



15 PUSH SIDE



16 PULL SIDE



17 PUSH SIDE



18 LATCH SIDE APPROACHES-SWINGING DOORS

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REVISIONS	
NO.	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

cmp

chesney morales partners, inc.
architecture/interior design
4001 Broadway, Suite 200, San Antonio, TX 78209
210.823.4681 • 210.823.5711 FAX 210.823.5711

JOB NO: #1829
DATE: 10/29/18
DRAWN BY: JZ
CHECKED BY: JZ
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NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209



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architecture/interior design
2001 Broadway, Suite 200, San Antonio, Texas 78209
210.225.4611 • 210.228.9111 F • 210.228.9111 C

JOB NO: #1829
DATE: 10/29/18
DRAWN BY: JP
CHECKED BY: JZ

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APPLICABLE CODES
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION
2018 INTERNATIONAL FIRE CODE
2012 TEXAS ACCESSIBILITY STANDARDS

CODE COMPLIANCE - 1 STORY BUILDING

ZONING C-2
BUILDING TYPE TYPE V-B - FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13
OCCUPANCY "A-2" - RESTAURANT

BUILDING HEIGHT
TOTAL ALLOWABLE HEIGHT = 40'-0" (50'-0" AUTOMATIC SPRINKLER INCREASE) = 60'-0"
PROPOSED HEIGHT = 35'-0" AVERAGE ROOF HEIGHT ABOVE GRADE PLANE
ALLOWABLE STORIES = 1 (AUTOMATIC SPRINKLER INCREASE) = 2
PROPOSED STORIES = 1
BUILDING AREA
BASIC ALLOWABLE AREA = 6,000 SQUARE FEET
AUTOMATIC SPRINKLER INCREASE 500.3 x 1.1 = 3
TOTAL AREA ALLOWED = 6,000 x 3.1 = 18,000 SQUARE FEET
PROPOSED AREA = 1,754 SQUARE FEET

FIRE RESISTANCE RATING REQUIREMENTS

PRIMARY STRUCTURAL FRAME FLOOR: 0 HOUR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL: 0 HOUR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL: 0 HOUR
BEARING WALLS - EXTERIOR / INTERIOR: 0 HOUR
NON BEARING WALLS - EXTERIOR: 0 HOUR
NON BEARING WALLS - INTERIOR: 0 HOUR

PARKING

CITY OF NEW BRAUNFELS
REQUIRED PARKING = ONE FOR EACH 4 SEATS FOR PATRON USE, OR ONE PER 100 SQUARE FEET, WHICHEVER IS GREATER.
SEATS = 342, 100 SQ. FT. / 100 = 100 PARKING SPACES
134 SQ. FT. / 100 = 1.34 PARKING SPACES
100 SPACES REQUIRED, 100 PROVIDED

EXITING

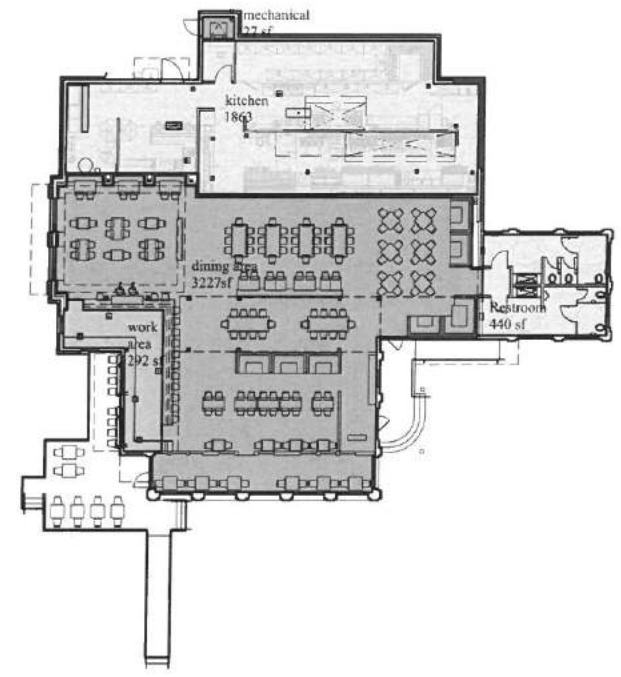
OCCUPANT LOAD	TABLE 1004.1 - "A-2" SEE OCCUPANT LOAD CALCULATIONS
EGRESS WIDTH	SECOND FLOOR STAIRWAYS - 0.3' PER OCCUPANT ALL OTHERS - 0.2' PER OCCUPANT
EXIT WIDTH	342 OCCUPANTS x 0.2' = 68.4 INCHES PROVIDED WIDTH = 66" x 66" x 33" x 33" x 100"
EXIT ACCESS	TWO EXITS OR EXIT ACCESS DOORWAYS REQUIRED FOR OCCUPANT LOAD OVER 49 THREE EXITS OR EXIT ACCESS DOORWAYS REQUIRED FOR OCCUPANT LOAD OVER 500 OCCUPANT LOAD = 342 TWO EXITS REQUIRED - TWO EXITS PROVIDED TWO EXITS ARE SEPARATED MORE THAN 1/2 THE MAXIMUM DIAGONAL DISTANCE OF THE BUILDING - SECTION 1014.2 EXCEPTION 2

REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE

Frederick F. Liedtka CHESNEY MORALES & ASSOCIATES
Texas Registration #4171
210-828-5481

NOTE:
FIRE EXTINGUISHERS TO BE PLACED THROUGHOUT BUILDING COMPLYING WITH BUILDING CODE. FINAL NUMBER AND LOCATION TO BE DETERMINED BY FIRE OFFICIAL.

CODE ANALYSIS



1 FIRST FLOOR
SCALE 1/16" = 1'-0"
6,823 GROSS CONSTRUCTION SQUARE FEET
NOTE: AREA INCLUDES EXISTING AND NEW STRUCTURAL SLAB

SPECIAL INSPECTIONS

PROJECT: SEA ISLAND RESTAURANT
54 CREEKSIDE CROSSING, NEW BRAUNFELS, TX.
The registered Design Professional responsible for all required special inspections (as required by the 2006 IBC Section 1704.1) for this project during construction is:
FREDERICK F. LIEDTKA, Chesney Morales & Associates

INSPECTIONS REQUIRED		
Geo-technical / Structural related inspections		
1) Chapter 1704.1	Soils	Refer to Earthwork Notes
2) Chapter 1704.8-9		Not Applicable
3) Chapter 1704.13		Not Applicable
4) Non-Compliant Item		Not Applicable
Structural related inspections		
5) Chapter 1704		
6) Chapter 1704.4	Concrete Construction	Refer to Concrete Steel Notes
7) Chapter 1704.3	Structural Steel	Refer to Structural Steel Notes
8) Chapter 1704.2	Inspection of Fabrications	Refer to Various Notes
9) Chapter 1704.6		Not Applicable
10) Chapter 1704.13		Not Applicable
11) Non-Compliant Item		

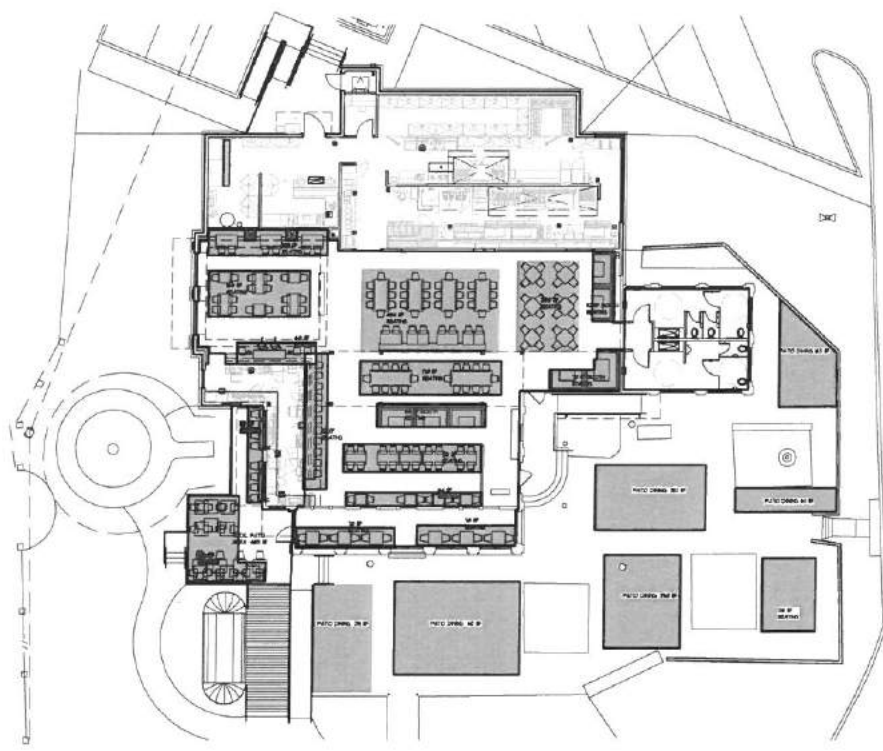
Architectural related inspections		
12) Chapter 1704.4		
13) Chapter 1704.2	Ext. Insulation & Finish System	Not Required
14) Chapter 1704.13	Sprayed Fire Retardant Materials	
15) Non-Compliant Item		

Mechanical related inspections		
16) Chapter 1704.4		
17) Chapter 1704.13	Smoke Control Systems	Not Required
18) Non-Compliant Item		

Blank inspections are special case inspections according to Chapter 1704.13.

BUILDING	PLUMBING	Mechanical	Electrical
- Fitwork inspection	- Underground inspection	- Underground inspection	- Underground inspection
- Frame inspection	- Top-Out inspection	- Rough-in inspection	- Rough-in inspection
- Insulation inspection	- Final inspection	- Final inspection	- Final inspection
- Final inspection			

ATTIC DRAFT STOPPING
IBC 2006 SECTION 1114 ATTIC DRAFT STOPPING: NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AUTOMATIC SPRINKLER SYSTEMS PROVIDED THAT AUTOMATIC SPRINKLERS ARE ALSO INSTALLED IN TEN COMBUSTIBLE CONCEALED SPACES



OCCUPANT LOAD

440 SQUARE FEET TOILET ROOMS	27 SQUARE FEET MECHANICAL STORAGE AREA	1863 SQUARE FEET COMMERCIAL KITCHEN
292 SQUARE FEET WORK AREA	SEATING	

27 SF MECH/SERV / 300 SF per Person	=	3 persons
292 SF WORK AREA / 200 SF per person	=	10 persons
1863 SF KITCHEN / 200 SF per Person	=	9 persons
3227 SF DINING AREA		
= 210 SF BOOTH SEATING / 18 SF per Person	=	12 persons
= 1418 SF SEATING / 15 SF per Person	=	95 persons
1739 SF OUTDOOR SEATING / 15 SF per Person	=	116 persons
TOTAL OCCUPANT LOAD	=	343 persons

Note: Restrooms not tabulated for Occupant Load

TOTAL OCCUPANT LOAD -343

PLUMBING FIXTURE COUNT

Per 2006 IPC, Section 403, Table 403.1 Total Occupants = 343 (172 Male and 172 Female)	
Water Closets Male 1 wc 1-75	Calculated Population 172 / 75 = 2 Water closets required
Urinals Male	Calculated Population 1 urinal provided
Water Closets Female 1 wc 1-75	Calculated Population 171 / 75 = 3 Water closets required
Urinals	1 urinal 10-50 Males (shall not be substituted for more than 50% of the required WCs.)
Lavatory 1 Lavatory 1-200 Males 1 Lavatory 1-200 Females	2 lavatories provided 2 lavatories provided.
Drinking Fountains IPC 410.1 not required in restaurants	drinking fountains not provided
1 Service Sink Required	1 service sink provided

Landscape Requirements & Tabulations

Vicinity Map



Property Description

Lot 1, Block 8, NCB 18208

Plant List

Key	Qty	Common Name	Botanical Name	Size	Height	Spread	Remarks
AB	20	Abelia	Abelia x grandiflora	5 Gal.	24" Ht.	24" width	Full and Symmetrical
AJ	1700	Asian Jasmine	Trachelospermum asiaticum	4" Pot	6" Ht.	9" width	Full and Symmetrical; 12" o.c.
DIA	54	Variegated Flax Lily	Danella tasmanica 'Variegata'	3 Gal.	9-12" Ht.	12" width	Full and Symmetrical; 24" o.c.
GL	55	Giant Liriope	Liriope gigantea	1 Gal.	12" Ht.	12" width	Full and Symmetrical; 24" o.c.
IH	16	Indian Hawthorne	Raphiolepis indica 'Clara'	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 42" o.c.
MOK	1	Monterrey Oak	Quercus polymorpha	2" Cal.	8-10' Ht.	4-5' width	Full, Symmetrical, Uniform Height and Spread
PHI	1	Philodendron	Philodendron seiboum	15 Gal.	30" Ht.	42" width	Full and Symmetrical; 42" o.c.
PLU	18	White Plumbago	Plumbago auriculata	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36" o.c.
ROK	2	Shumard Red Oak	Quercus shumardii	3" Cal.	9-11' Ht.	4-5' width	Full, Symmetrical, Uniform Height and Spread
VG	3	Variegated Ginger	Alpinia vittata	3 Gal.	12" Ht.	18" width	4" Maximum Clear Trunks; Staked
VIB	12	Viburnum	Viburnum suspensum	15 Gal.	30" Ht.	24" width	Full and Symmetrical; 36" o.c.
Boulders		42"x24"x24", Limestone					
SE		Steel Edging					1/8" x 4" Ryerson Steel Edging

Parking Lot Shading Calculations

(Mandatory Requirement)
• Trees Are To Be Planted Within 12'-0" of Edge Of Pavement

Parking Lot Area	22,920 sq ft
25% Shading Minimum	5,730 sq ft
Number of Existing Trees @ 1200sf - 0	0 sf
Number of Trees @ 1200sf (Islands-75%) - 2	1,800 sq ft
Number of Trees @ 1200sf (Curbs-50%) - 0	0 sf
Number of Existing Trees @ 875sf - 4	3,500 sq ft
Number of Trees @ 875sf (Islands-75%) - 0	0 sf
Number of Existing Trees @ 875sf (Curbs-50%) - 1	438 sq ft
Number of Existing Trees @ 275sf - 0	0 sf
Number of Trees @ 275sf (Islands-75%) - 0	0 sf
Number of Trees @ 275sf (Curbs-50%) - 0	0 sf
Square Footage of Trees Provided	5,738 sq ft

Site Tree Canopy Shading Calculations

(Mandatory Requirement)

Site Area	59,976 sq ft
25% Shading Minimum	14,994 sq ft
Number of Existing Trees @ 1200sf - 4	4,800 sq ft
Number of Trees @ 1200sf @ 90% (x1.5) - 0	2,160 sq ft
Number of Existing Trees @ 875sf - 9	0 sf
Number of Existing Trees @ 875sf @ 90% (x1.5) - 0	7,875 sq ft
Number of Existing Trees @ 275sf - 3	0 sf
Number of Existing Trees @ 275sf @ 90% (x1.5) - 0	825 sq ft
Number of Existing Trees @ 275sf @ 90% (x1.5) - 0	0 sf
Square Footage of Trees Provided	15,660 sq ft

General Notes

- All quantities shown on plans to be verified by Landscape Contractor. Landscape Contractor shall be responsible for installing all labeled plant material.
- Landscape Contractor shall familiarize himself with the Landscape Plan and Specifications and shall be responsible for the requirements dictated therein.
- Landscape Contractor shall familiarize himself with the location of all underground utilities and easements prior to the installation of any plant material.
- All plants must comply with the American Standards for Nursery Stock, by the American Association of Nurserymen, Inc.
- All final shaping and raking of the topsoil shall be approved by the Landscape Architect prior to application of Hydromulch or sod, shaping planting beds, installing trees and installing irrigation. Excessive slopes on berms which may cause maintenance problems shall be reviewed by the Landscape Architect. Berms shall be installed in 12" layers and compacted to 90% proctor.
- All topsoil shall be fine sandy loam, raked smooth to grade 1-1/2" below curbs, sidewalks, or edging.
- All beds to be mulched to a depth of 4" with BLACK dyed mulch from New Earth (210.661.5180). (7800 IH-10 East, 78219). Submit mulch sample to Landscape Architect prior to delivery and installation.
- All backfill to be sandy loam material and shall be the responsibility of the General Contractor. General Contractor shall allow for the installation of 2" of topsoil at hydrosed areas, 6" of topsoil at lawn areas, and 8" of specified backfill (New Earth 4-way Mix) in shrub areas to be supplied by the Landscape Contractor. Any backfill material shall be compacted sufficiently to prevent excessive settling of topsoil that may effect the finished grade or drainage.
- Landscape Contractor shall notify the Landscape Architect of any questions regarding application of proposed plant material prior to installation-especially questions that may effect or alter the warranty of said material.
- Landscape Contractor shall maintain all trees, shrubs, groundcover and turf areas in a healthy state under the contract until acceptance by the owner. A 90 day maintenance period, after acceptance, shall be included in base bid.
- Trees shall be warranted 1 year from acceptance of owner. Shrubs and groundcovers shall be warranted 6 months in the same period.
- All container grown shrubs and groundcovers shall be healthy, vigorous, well-rooted and established in the container in which they are growing.
- Landscape Irrigation to be provided throughout project and shall provide 100% coverage at all landscape areas.

Landscape Tabulations

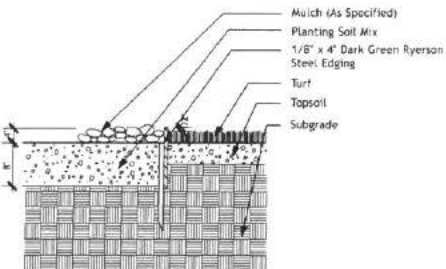
I. Mandatory Requirements

- A. Screening:
- Meter Screens: 7'-0" Wooden Screen
 - Mechanical Equipment: 4'-0" Wooden Screen; Vegetative
 - Refuse / Trash: 6'-0" Wooden Fence
- B. Large Trees: Minimum Sizes in Streetyard - 2" Caliper
- C. Small Trees: Minimum Sizes in Streetyard - 8-10' Height
- D. Shrubs: Minimum Size for Large Shrubs: 24" tall
- E. Mulch: All Trees and Shrubs to be mulched with minimum of 4" Specified Mulch.

II. Elective Requirements (25 points required; New Off Street Parking NOT in Street Yard)

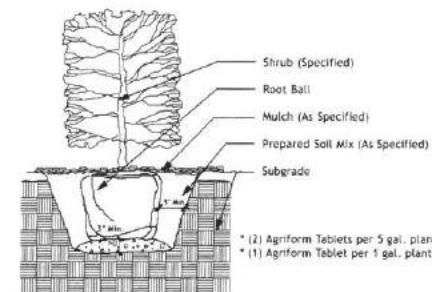
A.	Tree Preservation	Inside	Outside	Points ea.	
1.	Caliper of >4" to <6" (3pts) (In - No.'s)	0 pts	0 pts	Points ea.	0.0 pts.
2.	Caliper of >6" to <12" (4pts) (In - No.'s)	0 pts	2 pts	Points ea.	2.0 pts.
3.	Caliper of >12" to <18" (6pts) (In - No.'s 4060)	6 pts	3 pts	Points ea.	9.0 pts.
4.	Caliper of >18" (8pts) (In - No.'s 4060, 4053) (Out-No.'s 4054)	72 pts	4 pts	Points ea.	76.0 pts.
	Caliper of >18" (8pts) (In - No.'s 4056, 4057, 4058, 4061, 4062, 4063, 4065, 4066, 4067) (Out-No.'s 4055)	Points Maximum	30 pts	15 pts	
				Total Points	87.0 pts.
				Actual Points	39 pts.
				Maximum Points Credit	40 pts.
B.	Street Tree Planting			Points Credit	0 pts.
C.	Surface Of Parking Screening			Points Credit	0 pts.
D.	Parking Lot Shading			Points Credit	20 pts.
				Total Points	59 pts.

Note: See notes for tree preservation.



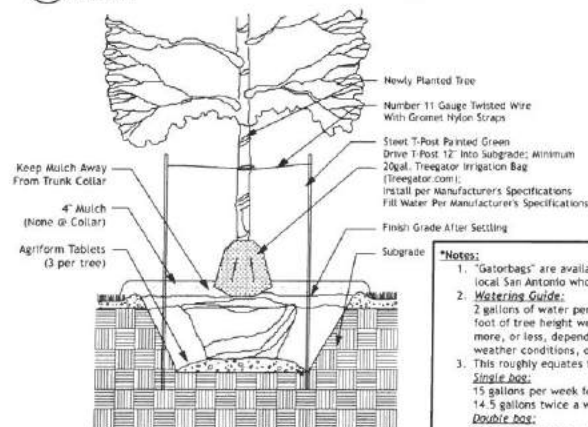
Steel Edging Detail

NO SCALE



Shrub Planting Detail

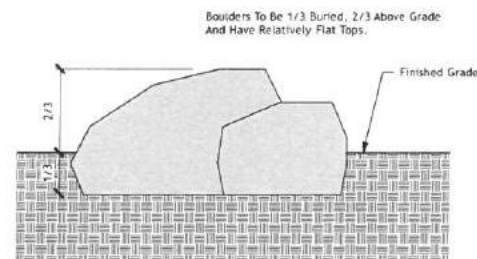
NO SCALE



Tree Planting Detail

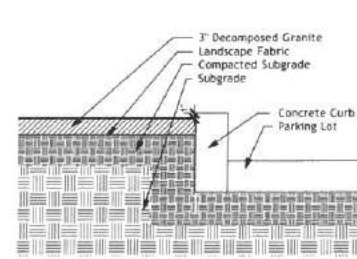
NO SCALE

- *Notes:
- "Gatorbags" are available at many local San Antonio wholesale suppliers.
 - Watering Guide:
2 gallons of water per foot of tree height weekly. Tree may need more, or less, depending on time of year, weather conditions, or soil conditions.
This roughly equates to:
Single bag:
15 gallons per week for trees 1-2' cal.;
14.5 gallons twice a week for tree 2-3' cal.;
Double bag:
23.5 gallons once a week for trees 4-5' cal.;
22.5 gallons twice a week for trees 5-8' cal.



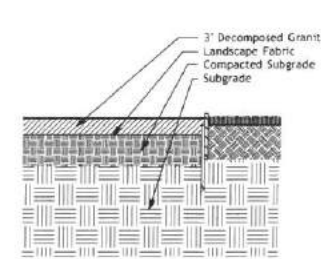
Boulder Detail

NO SCALE



Decomposed Granite @ Curb Detail

No Scale



Decomposed Granite Detail

No Scale



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San Antonio, Texas 78204

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November 2, 2018

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Issue / Revision

City Submittal 11.02.18

landscape plan for the
Ida Claire Restaurant

7300 Jones Maltsberger, San Antonio, Texas

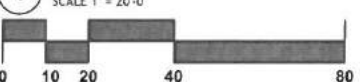
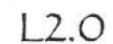
drawn by: cms

checked by: cms

date: november 2, 2018

landscape notes & details

L1.0



Landscape Requirements & Tabulations

Tree Preservation Notes

- All existing trees denoted on plan to be preserved as shown. Those trees requested for credit have been delineated to be protected at the root zone. The root zone shall be determined by the crown of the tree. Preservation notes apply only for those trees that are designated to be preserved for credit.
- A protective barrier to protect the root protection zone shall be erected and maintained until construction is completed. The barrier shall be fenced or cabled with a semi-permanent barrier that will visually denote those areas being protected.
- Protected areas shall be sustained in a natural state until landscape installation begins.
- Protected areas shall be free from vehicular or mechanical traffic during construction.
- During construction, no excess soil, additional fill, equipment, liquids, or construction debris shall be placed inside the protective barrier nor shall any soil be removed from within the barrier.
- The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than three inches. Wetting and retaining methods are allowed outside the root protection zone.
- The root protection zone for each designated protected tree must remain unpaved.
- All designated / protected trees shall have ground cover or turf at the base of the tree. See plan for condition.
- All trenches and digging within the Root Protection Zone shall be hand digging only. No automatic trenchers allowed.

Site Tree Canopy Shading Calculations

(Mandatory Requirement)

Site Area	59,876 sf
25% Shading Minimum	14,969 sf
Number of Existing Trees @ 1200sf - 4	4,800 sf
Number of Trees @ 1200sf @ 90% - 2	2,400 sf
Number of Trees @ 1200sf @ 90% (x1.5) - 0	0 sf
Number of Existing Trees @ 875sf - 9	7,875 sf
Number of Trees @ 875sf @ 90% - 0	0 sf
Number of Trees @ 875sf @ 90% (x1.5) - 0	0 sf
Number of Existing Trees @ 275sf - 3	825 sf
Number of Trees @ 275sf @ 90% - 0	0 sf
Number of Trees @ 275sf @ 90% (x1.5) - 0	0 sf
Square Footage of Trees Provided	15,660 sf

Tree Inventory Summary

Understory Trees

Total Diameter Inches	28"
Total Diameter Inches Removed	12"
Total Diameter Inches Preserved	16"

% Diameter Inches Preserved	57.14 %
Number of Inches over/under 40%	4.8"
To be used against mitigation of large heritage tree	
Number of Inches Mitigated with Excess Existing Trees	0"
Number of Inches Mitigated with Excess New Trees	0"
Total Mitigation	0"
Amount To Pay Into Tree Preservation Fund	\$0
(Number of remaining inches at \$200/inch)	

Significant Trees

Total Diameter Inches	206.7"
Total Diameter Inches Removed	51"
Total Diameter Inches Preserved	155.7"
% Diameter Inches Preserved	75.33 %
Number of Inches over/under 40%	73.02"
Number To Be Used Towards Mitigation of Heritage Trees	0"
Number To Be Used Towards Mitigation of Palms Trees	36.75"
Number of Inches Mitigated with Excess New Trees	0"
Total Mitigation	36.75"
Amount To Pay Into Tree Preservation Fund	\$0
(Number of remaining inches at \$200/inch)	

Heritage Trees

Total Diameter Inches	0"
Total Diameter Inches Removed	0"
Total Diameter Inches Preserved	0"

% Diameter Inches Preserved	#DIV/0! %
Number of Inches To Mitigate (3:1)	0"
Number of Inches Mitigated with Excess Existing Trees	0"
Number of Inches Mitigated with Excess New Trees	0"
Total Mitigation	0"
Amount To Pay Into Tree Preservation Fund	\$0
(Number of remaining inches at \$200/inch)	

Total # Trees 24" cal. & above

	0
--	---

Palm Trees

Total Diameter Inches	24.5"
Total Diameter Inches Removed	24.5"
Total Diameter Inches Preserved	0"

% Diameter Inches Preserved	0.00 %
Number of Inches To Mitigate (1.5:1)	36.75"
Number of Inches Mitigated with Excess Significant Trees	36.75"

Tree Inventory

4053	16" Pecan	Remain	4058	27" Live Oak	Remain	4063	23" Red Oak	Remain
4054	11" Pecan	Remain	4059	16" Palm	Remain	4065	19" Pecan	Remain
4055	23" Red Oak	Remain	4060	17" Red Oak	Remain	4066	23" Live Oak	Remain
4056	28" Live Oak	Remain	4061	19" Live Oak	Remain	4067	20" Pecan	Remain
4057	37" Live Oak	Remain	4062	22" Live Oak	Remain			

Highlighted Trees are Heritage Trees (1-24)

Remain = Tree is counted and will remain.

Remain; N.C. = Tree is not counted because it is not a protected size, yet will remain.

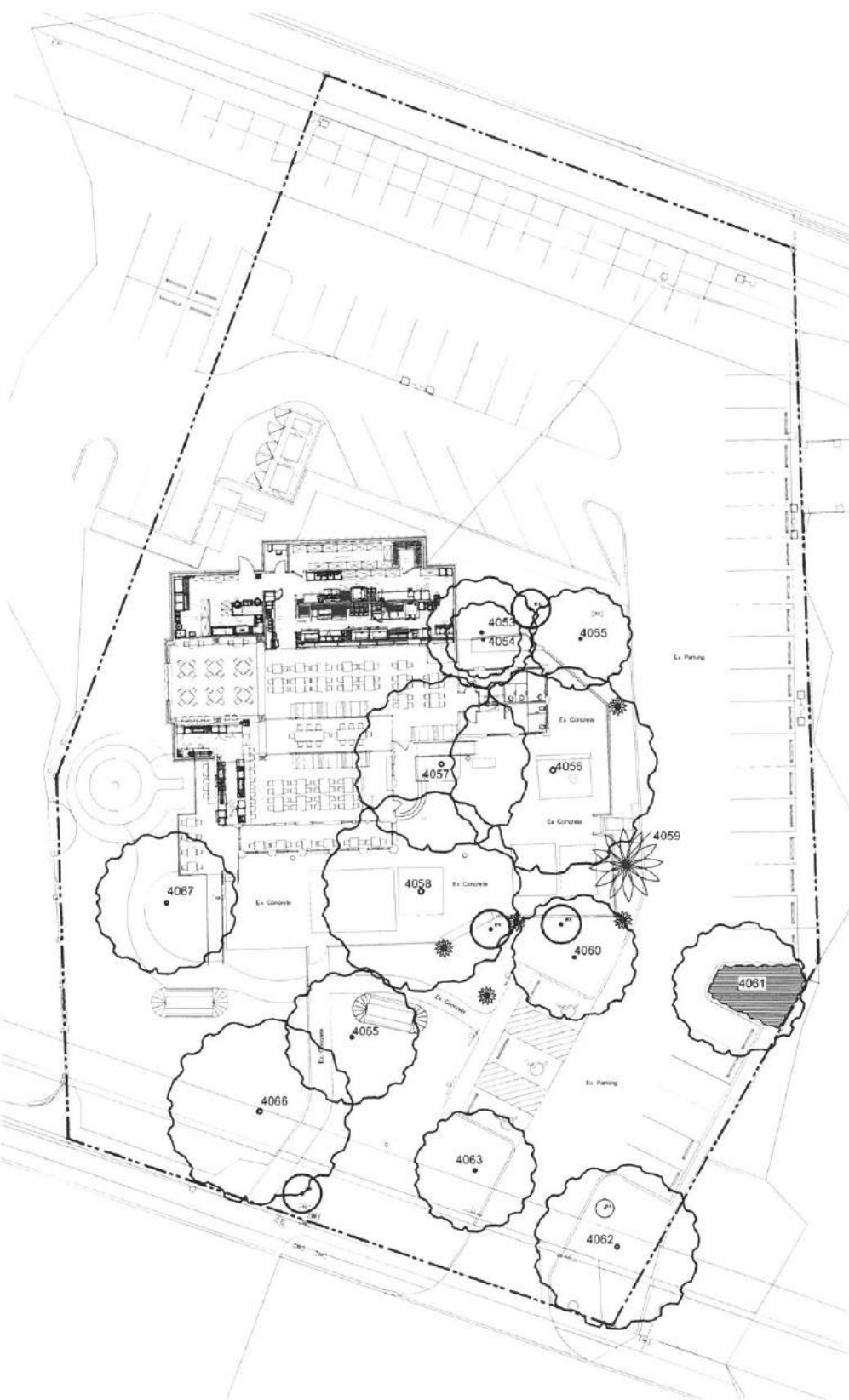
Remain; Esmt = Tree is not counted because it is in an easment, yet will remain.

Remain; OPL = Tree is not counted because it is outside the property line, yet will remain.

Remove = Tree is counted and will be removed.

Remove; N.C. = Tree is not counted because it is not a protected size, or species, and will be removed.

Remove; Esmt = Tree is not counted because it is in an easment, and will be removed.



1 Tree Preservation Plan
SCALE 1" = 20'-0"



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November 2, 2018

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Issue / Revision
City Submittal 11.02.18

a landscape plan for the
Ida Claire Restaurante

7300 Jones Maltzberger, San Antonio, Texas

drawn by: cms

checked by: cms

date: november 2, 2018

tree preservation
notes & details

TPI.0

LEGAL DESCRIPTION
7200 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.33 ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18208
ALAMO CEMENT SUBDIVISION UNIT 3D (VOL. 9538 PG. 60 D.P.R.)

BENCHMARKS
BM #1: ELEVATION = 755.29 "SET IN NAIL" IN CONCRETE
BM #2: ELEVATION = 752.47 "SET IN NAIL" IN CONCRETE SIDEWALK
BM #3: ELEVATION = 746.84 "SET IN NAIL" IN CONCRETE SIDEWALK

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210) 244-0900.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210) 355-5236.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE (1-800-449-7526).
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES (210) 353-2256.
5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES (210) 704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

DEMOLITION NOTES:

1. LOCATION OF EXISTING UTILITIES AND DRAINAGE SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
2. DEMOLITION CONTRACTOR IS RESPONSIBLE FOR CLEARING THE SITE OF ALL OBSTRUCTIONS THAT EXIST ON THIS SITE PRIOR TO THE START OF CONSTRUCTION OR DURING THE CONSTRUCTION SO AS TO NOT IMPED THE BUILDING CONSTRUCTION PROCESS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES. POWER POLES TO BE REMOVED, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
4. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT HIS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS/APPROVALS BEFORE BEGINNING DEMOLITION OR CONSTRUCTION.
6. DUE TO FEDERAL REGULATIONS TITLE 49 PART 193.191, CPS MUST MAINTAIN ACCESS TO VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
7. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT AND/OR OWNER FOR ANY TREE REMOVAL AND REMOVAL AND/OR REPLACEMENT OF EXISTING ON SITE IRRIGATION PIPING PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL COORDINATE WITH CPS TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLES DESIGNATED TO BE REMOVED (IF ANY). ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
9. CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWING UNTIL A STORM WATER POLLUTION PREVENTION PLAN IS INSTALLED AND COMPLETED.
10. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION, AND DISPOSAL OF ALL DEMOLISHED OR UNWANTED MATERIAL.
11. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.
12. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
13. CONTRACTOR SHALL NOT DEMOLISH ANY WATER OR SANITARY SEWER LINE WITHOUT SAN ANTONIO WATER SYSTEM (SAWS) APPROVAL.
14. CONTRACTOR SHALL INSTALL A MINIMUM 6-FOOT HIGH CHAIN LINK PROTECTIVE FENCE AS SHOWN ALONG THE PERIMETER OF THE CONSTRUCTION/DEMOLITION LIMITS. PROTECTIVE FENCE SHALL BE IN PLACE BEFORE ANY DEMOLITION OR CONSTRUCTION BEGINS AND SHALL REMAIN IN PLACE AND IN GOOD REPAIR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL TAKE SPECIAL CARE TO INSTALL VEHICULAR BARRIERS AND FENCING TO PROHIBIT VEHICULAR AND PEDESTRIAN ACCESS TO THAT AREA. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO ENSURE THAT FENCING AND BARRIERS INSTALLED ARE ADEQUATE.

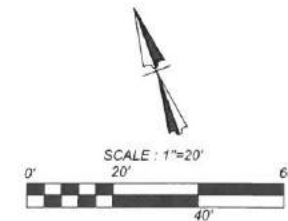
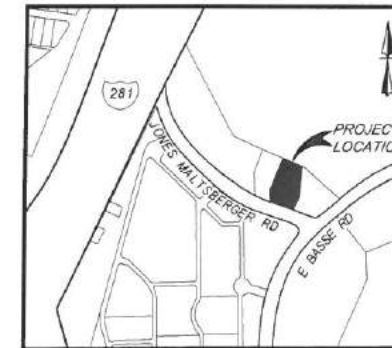
CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES; SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONDITIONS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AT A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

EXISTING UTILITY NOTES:

1. THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
2. IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL UTILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
3. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
4. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTING EXISTING UTILITIES DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.



LEGEND

- PROPERTY LINE**
- EXISTING CURB TO REMAIN
- EXISTING PAVEMENT TO BE REMOVED
- EXISTING SIDEWALK TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- EXISTING FENCE TO BE REMAIN
- EXISTING OVERHEAD ELECTRIC AND POWER POLE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING 12" WATER LINE
- EXISTING GAS LINE
- EXISTING CONTOURS
- EXISTING TREES & SHRUBS (REFERENCE LANDSCAPE PLANS FOR TREE PRESERVATION AND TREE REMOVAL)

EXISTING PUBLIC SIDEWALK NOTE:

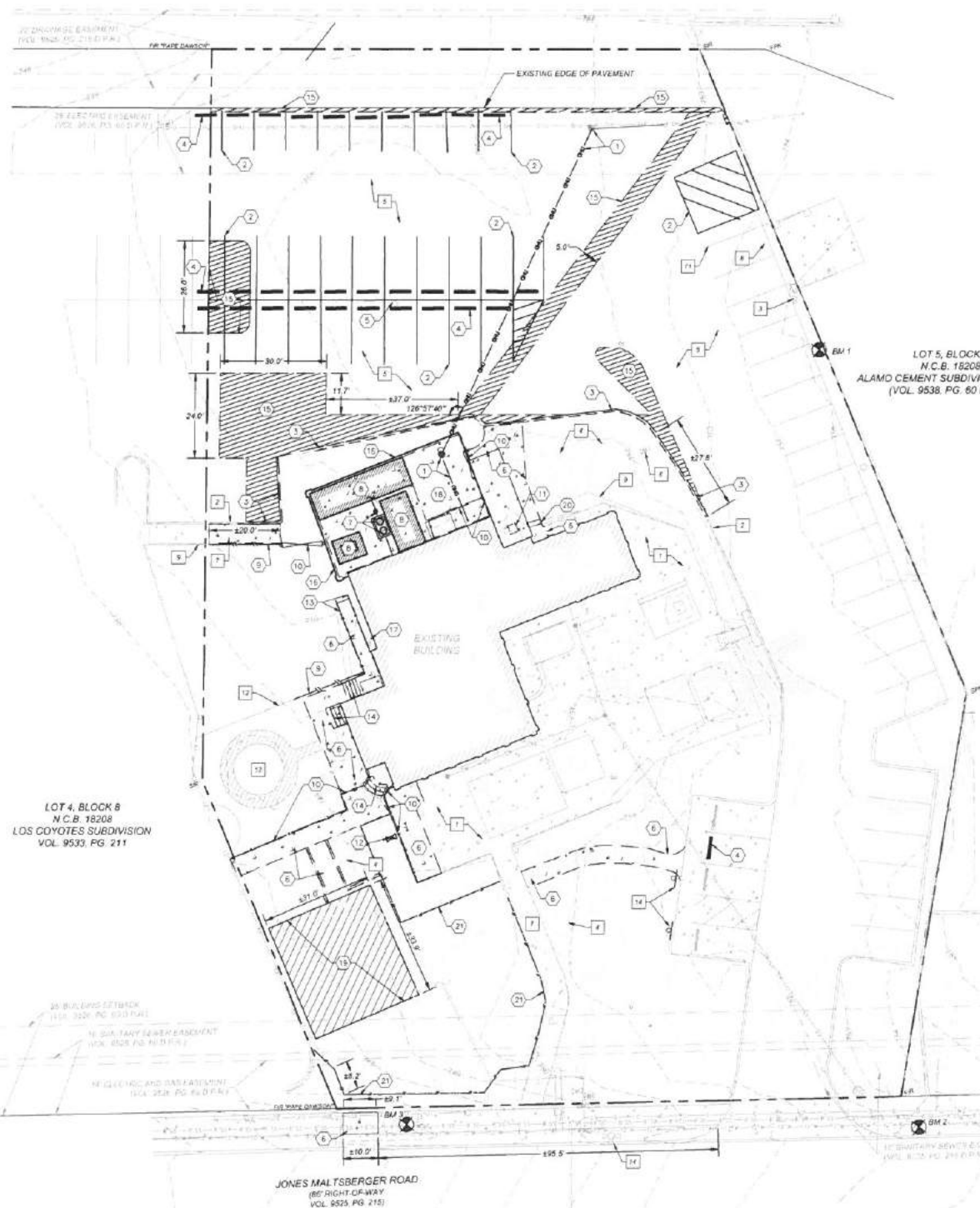
CONTRACTOR TO COORDINATE WITH CITY INSPECTOR TO DETERMINE LIMITS OF PUBLIC SIDEWALK THAT WILL REQUIRE REMOVAL AND REPLACEMENT DUE TO ADA AND T&S REQUIREMENTS.

ITEMS TO BE REMOVED

1. POWER POLE & OVERHEAD UTILITY TO BE RELOCATED
2. PAVEMENT STRIPING
3. CONCRETE CURB
4. WHEELSTOP
5. LIGHT POLE
6. CONCRETE / SIDEWALK
7. GREASE TRAP / LOCATE AND PRESERVE EXISTING SS LINE (REF. SHEET C5.9)
8. FREEZER / SHED / STORAGE
9. WOOD FENCE
10. GATE / FENCE
11. SUMP PUMP / LOCATE AND PRESERVE EXISTING STORM DRAIN LINE (REF. SHEET C5.9)
12. IRRIGATION VALVE / LINE TO BE RELOCATED (REF. LANDSCAPE PLANS)
13. HANDRAIL
14. CONCRETE STEPS
15. ASPHALT PAVEMENT / BASE
16. WALL (REF. ARCH. PLANS)
17. GAS METER (COORDINATE WITH CPS)
18. CONCRETE PAVEMENT
19. PLAYGROUND AREA
20. SIDEWALK BOX
21. METAL FENCE

ITEMS TO REMAIN

1. CONCRETE PAVEMENT
2. CONCRETE CURB
3. LIGHT POLE
4. TREE
5. ASPHALT PAVEMENT
6. IRRIGATION VALVE
7. CONCRETE SIDEWALK
8. WHEELSTOP
9. PLAYGROUND
10. PAVEMENT STRIPING
11. WOOD FENCE
12. FOUNTAIN
13. SIGN
14. FIRE HYDRANT



RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
EXISTING CONDITION / DEMOLITION PLAN

JOB NO: 721-01-01
DATE: NOVEMBER 2016
DRAWN: JMY CHECKED: BJC
SHEET NUMBER:

C1.0

LEGAL DESCRIPTION
7300 JONES MALTSBERGER RD. SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.33 ACRES ESTABLISHED LOT 1, BLOCK 8, NCB 18208
ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9526 PG. 60 D.P.R.)

BENCHMARKS
BM #1: ELEVATION = 735.29 "SET PI NAIL" IN CONCRETE
BM #2: ELEVATION = 732.47 "SET PI NAIL" IN CONCRETE SIDEWALK
BM #3: ELEVATION = 748.84 "SET PI NAIL" IN CONCRETE SIDEWALK

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210-144-0500).
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210-353-2256).
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-419-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES (210-353-2256).
5. CONTRACTOR TO COORDINATE WITH SWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES (210-704-7297).
6. CONTRACTOR SHALL CONTACT K&S/DIG-TESSA A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

NOTE:

1. UNLESS OTHERWISE NOTED, ALL RETURNS SHALL HAVE A 3' RADIUS.
2. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
3. PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR STRIPING.
5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
6. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
7. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH CITY INSPECTOR PRIOR TO THE CONSTRUCTION OF ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS CITY OF SAN ANTONIO DESIGN STANDARDS.

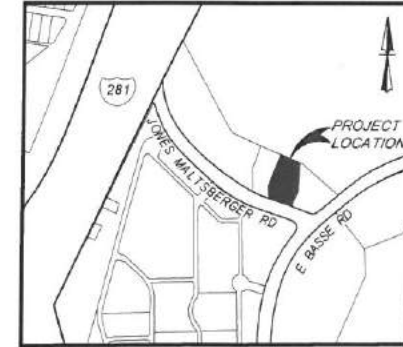
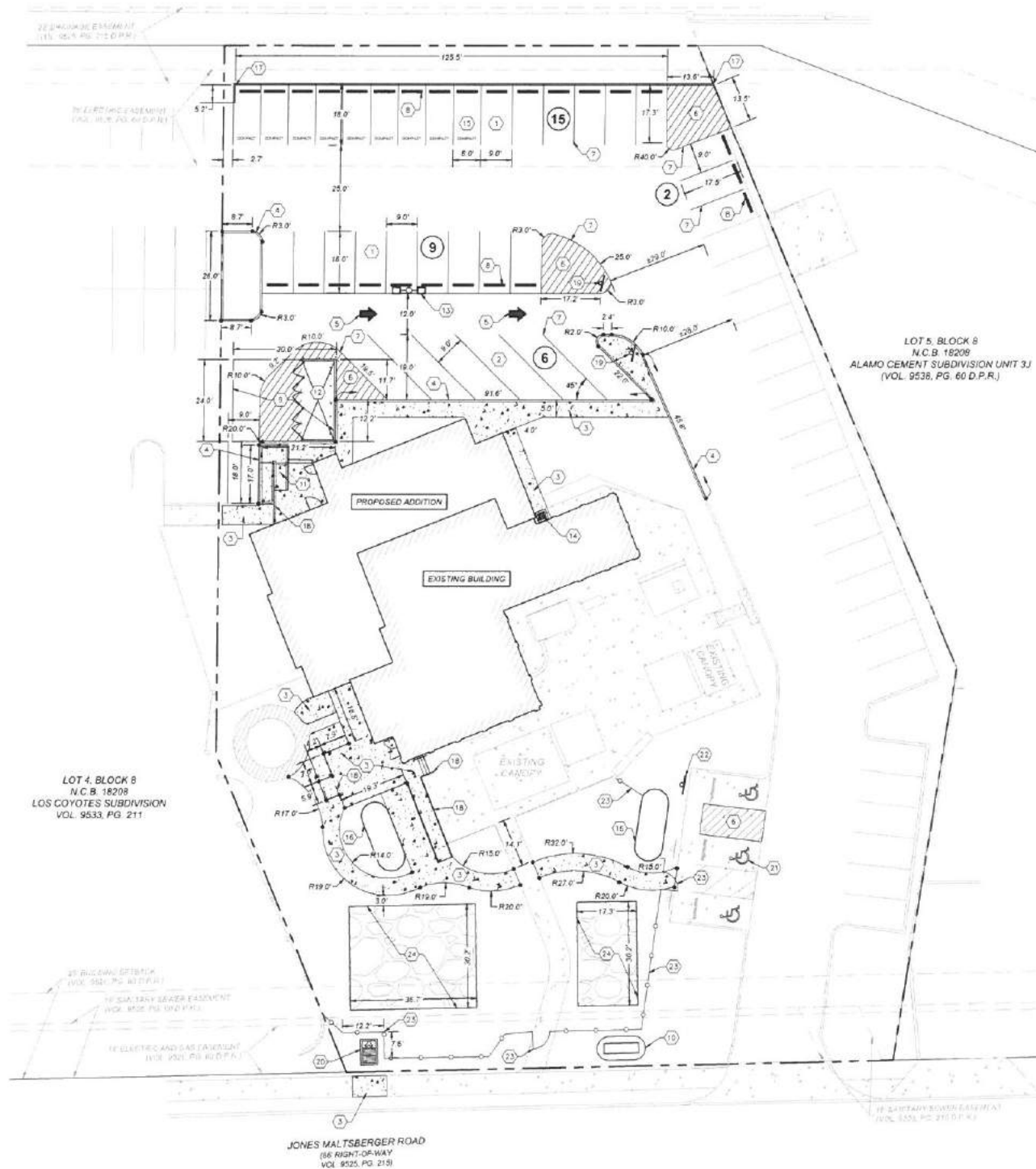
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TRENCH EXCAVATION SAFETY PROTECTION

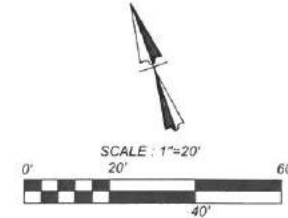
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ALAMO CEMENT SUBDIVISION UNIT 3J, VOL. 9526 PG. 60 D.P.R.

REMAINDER OF
HUME'S FARM SUBDIVISION
VOL. 105, PGS. 118-119



LOCATION MAP
N.T.S.



LEGEND

PROPERTY LINE	---
EXISTING CURB	---
EXISTING SIGN	---
PROPOSED CURB	---
PROPOSED HEADER CURB	---
PARKING STALL COUNT	#

KEYED NOTES

- | | |
|---------------------------------------------------------------|------------------------------------------------------------------|
| 1. TYPICAL PARKING SPACES (SEE SHEET C7.0) | 14. PROPOSED SUMP PUMP W/ GRATE (SEE SHEET C9.0) |
| 2. 45' PARKING SPACES (SEE SHEET C7.0) | 15. COMPACT PARKING SPACES (9 TOTAL) (SEE SHEET C7.0) |
| 3. PROPOSED SIDEWALK (SEE SHEET C7.0) | 16. PROPOSED (AIRSTREAM) TRAILER (REF. ARCH. PLANS FOR DETAILS) |
| 4. PROPOSED 6" CURB (SEE SHEET C7.0) | 17. PROPOSED HEADER CURB (SEE SHEET C7.0) |
| 5. PROPOSED TRAFFIC FLOW ARROW (SEE SHEET C7.0) | 18. PROPOSED HANDRAILS (SEE SHEET C7.0) |
| 6. PROPOSED PAVEMENT STRIPING (SEE SHEET C7.0) | 19. PROPOSED "DO NOT ENTER" SIGN (RS-1) |
| 7. 4" WHITE STRIPING (TYP.) | 20. PROPOSED DCA W/ FDC AND VALT (SEE SHEET C5.0) |
| 8. PROPOSED WHEELSTOP (SEE SHEET C7.0) | 21. PROPOSED HANDICAP SYMBOL (SEE SHEET C7.0) |
| 9. DUMPSTER PAD (24' X 30') (SEE SHEET C7.0) | 22. PROPOSED HANDICAP SIGN (SEE SHEET C7.0) |
| 10. PROPOSED MONUMENT SIGN (REF. LANDSCAPE PLANS FOR DETAILS) | 23. PROPOSED STEEL GATE & FENCING (REF. ARCH. PLANS FOR DETAILS) |
| 11. PROPOSED CONCRETE RAMP (SEE SHEET C7.0) | 24. PROPOSED AREA OF PAVEMENT (REF. LANDSCAPE PLANS FOR DETAILS) |
| 12. PROPOSED DUMPSTER AREA (REF. ARCH. PLANS FOR DETAILS) | |
| 13. PROPOSED LIGHT POLE (SEE SHEET C7.0) | |

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD., SAN ANTONIO, TX 78209
SITE PLAN / DIMENSIONAL CONTROL PLAN

K&S
ENGINEERS & SURVEYING
3421 Presencia Pkwy, Suite 200, San Antonio, TX 78231
Phone: (210) 979-8444 • Fax: (210) 979-8441
TDP: Form # 0513 - 10/01/13, Rev. 1, 10/22/20

THIS DOCUMENT IS
RELEASED BY
AUTHORITY OF
BILLY K. CLASSEN,
P.E. # 84604 FOR INTERIM
REVIEW ONLY AND NOT
TO BE USED FOR
CONSTRUCTION

JOB NO: 721-01-01
DATE: NOVEMBER 2016
DRAWN: K&S CHECKED: BG
SHEET NUMBER:

C2.0

LEGAL DESCRIPTION

7200 JONES MALTSBERGER RD., SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.219 ACRES ESTABLISHED LOT 1, BLOCK 8, NCB 18208
ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9538, PG. 60 D.P.R.)

BENCHMARKS

BM #1 - ELEVATION = 755.30 "SET PK NAIL" IN CONCRETE
BM #2 - ELEVATION = 752.47 "SET PK NAIL" IN CONCRETE SIDEWALK
BM #3 - ELEVATION = 746.84 "SET PK NAIL" IN CONCRETE SIDEWALK

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE. (210) 244-6500.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210) 353-2256.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-445-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210) 353-2256.
5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

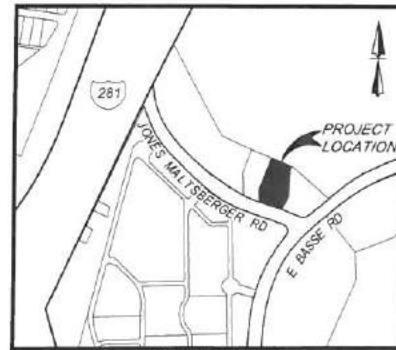
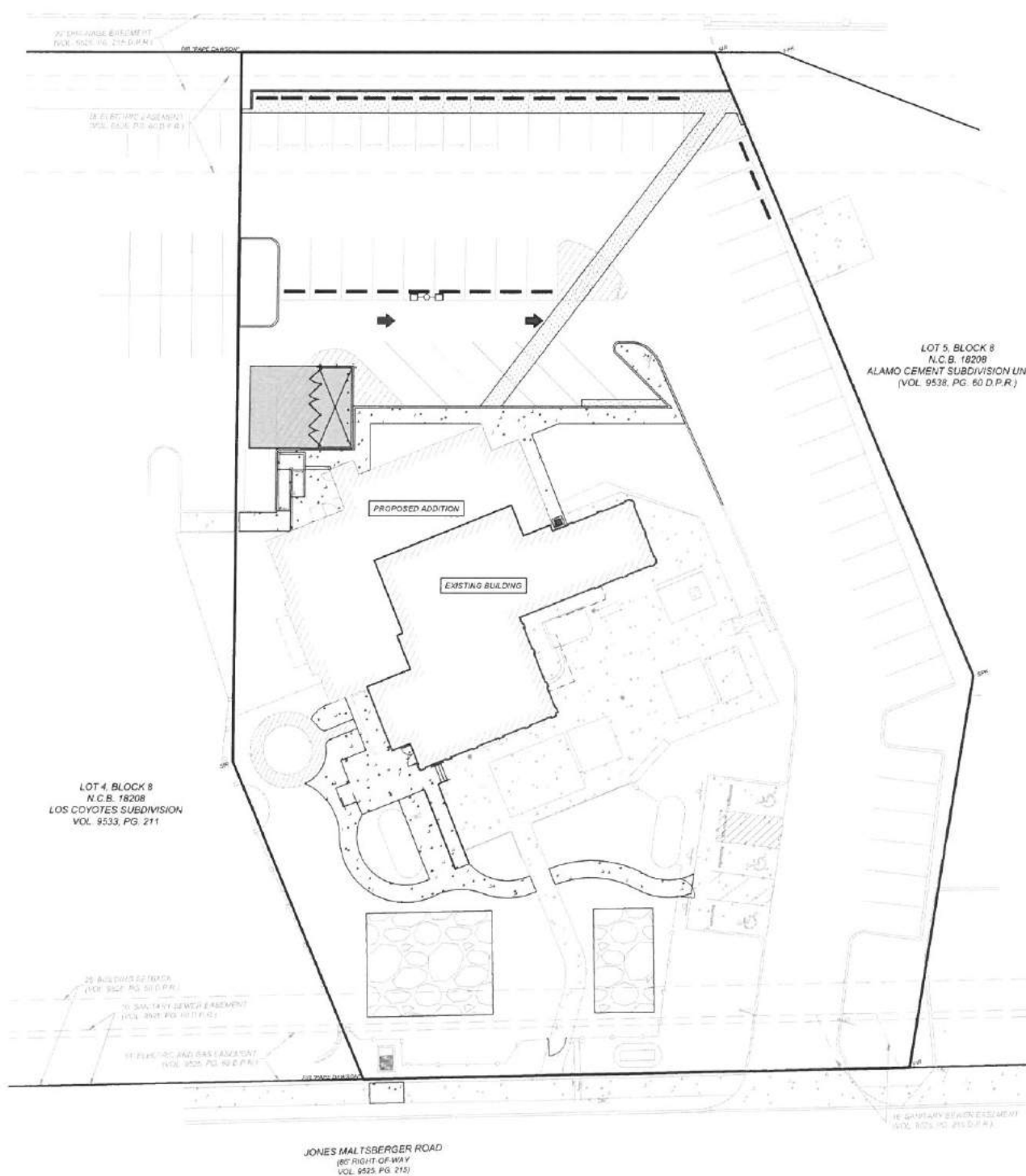
NOTE:

1. UNLESS OTHERWISE NOTED, ALL RETURNS SHALL HAVE A 3' RADIUS.
2. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTIONS. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
3. PROPOSED ON-SITE CURBS ARE 4" HIGH UNLESS SHOWN OR LABELED OTHERWISE.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR STRIPING.
5. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
6. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
7. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH CITY INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS CITY OF SAN ANTONIO DESIGN STANDARDS.
8. CONTRACTOR TO INSURE LIMITS OF PROPOSED HANDICAP PARKING SPOTS AND ADJOINING PROPOSED SIDEWALK SHALL NOT EXCEED 2% IN ANY DIRECTION.
9. THIS AREA (11,600 SF) SHALL BE RECONSTRUCTED TO DRAIN PROPERLY. THE ASPHALT SHALL BE REMOVED AND THE UNDERLYING BASE REWORKED TO PROVIDE POSITIVE DRAINAGE TO THE EAST AT A MIN. OF 1% BASE IS TO BE COMPACTED TO AT LEAST 95% OF THE MAX. DENSITY DETERMINED BY TEX-115.4. ANY NEW BASE REQUIRED TO MEET FINAL GRADES SHALL BE TYPE A OR B, 2" OF HMA-C TYPE "D" SHALL BE LAID UP TO BUT NOT EXCEED THE EXISTING TOP OF CURB ALONG THE WEST SIDE OF THE LOT.
10. ALL AREAS THAT WILL NOT BE REWORKED OR RECEIVE NEW ASPHALT SHALL BE SEALED WITH A DOUBLE APPLICATION OF GEMSEAL FDSPEC PAVEMENT SEALER CONCENTRATE WHICH MEETS ASTM D 5717, ASTM D 6945, ASTM D 3310, AND PAA ENGINEERING'S BRIEF NO. 46.

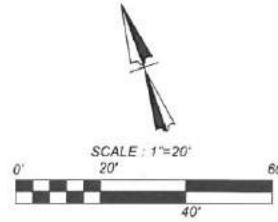
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TRENCH EXCAVATION SAFETY PROTECTION

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LOCATION MAP
N.T.S.



LEGEND

PROPERTY LINE	---
EXISTING CURB	=====
EXISTING SIGN	---
PROPOSED CURB	=====
PROPOSED HEADER CURB	=====
EXISTING SIDEWALK	-----
PROPOSED SIDEWALK	-----
PROPOSED LIGHT DUTY ASPHALT PAVEMENT	-----
PROPOSED DUMPSTER PAD	-----
PROPOSED PAVERS	-----

PAVING USE	THICKNESS (INCHES)	DESCRIPTION
DUMPSTER PAD	7.0	REINFORCED CONCRETE PAVEMENT NO. 3 BARS @ 18" O.C.B.W.
LIGHT DUTY ASPHALT PAVEMENT	2.0	HMA-C SURFACE COURSE FLEXIBLE BASE

- NOTES:
- ALL PAVEMENTS TO HAVE 6" COMPACTED SUBGRADE.

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD., SAN ANTONIO, TX 78209
PAVING PLAN

JOB NO: 721-01-01
DATE: NOVEMBER 2018
DRAWN: KVV CHECKED: BC
SHEET NUMBER:

C3.0

K&W
ENGINEERS & SURVEYING
3427 Fredericks Hwy., Suite 200, San Antonio, TX 78211
Phone: (210) 598-8444 • Fax: (210) 598-8441
E-Mail: info@kw-engineers.com • Website: www.kw-engineers.com

ISSUE DATE
REVISIONS

THIS DOCUMENT IS
RELEASED BY
AUTHORITY OF
BILLY K. CLASSEN,
P.E. # 84604 FOR INTERIM
REVIEW ONLY AND NOT
TO BE USED FOR
CONSTRUCTION.

REVIEW SET NOVEMBER 2018

LEGAL DESCRIPTION
7200 JONES MALTSBERGER DR, SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.235 ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18306
ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9538, PG. 60 D.P.R.)

BENCHMARKS
BM #1 - ELEVATION = 735.59 "SET PK NAIL" IN CONCRETE
BM #2 - ELEVATION = 732.47 "SET PK NAIL" IN CONCRETE SIDEWALK
BM #3 - ELEVATION = 748.84 "SET PK NAIL" IN CONCRETE SIDEWALK

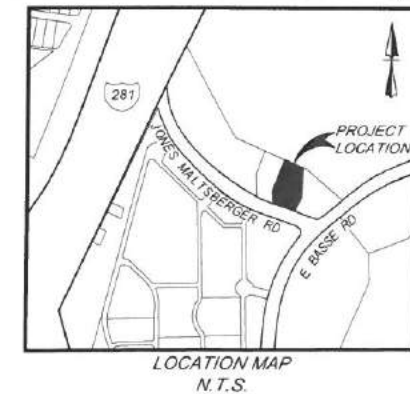
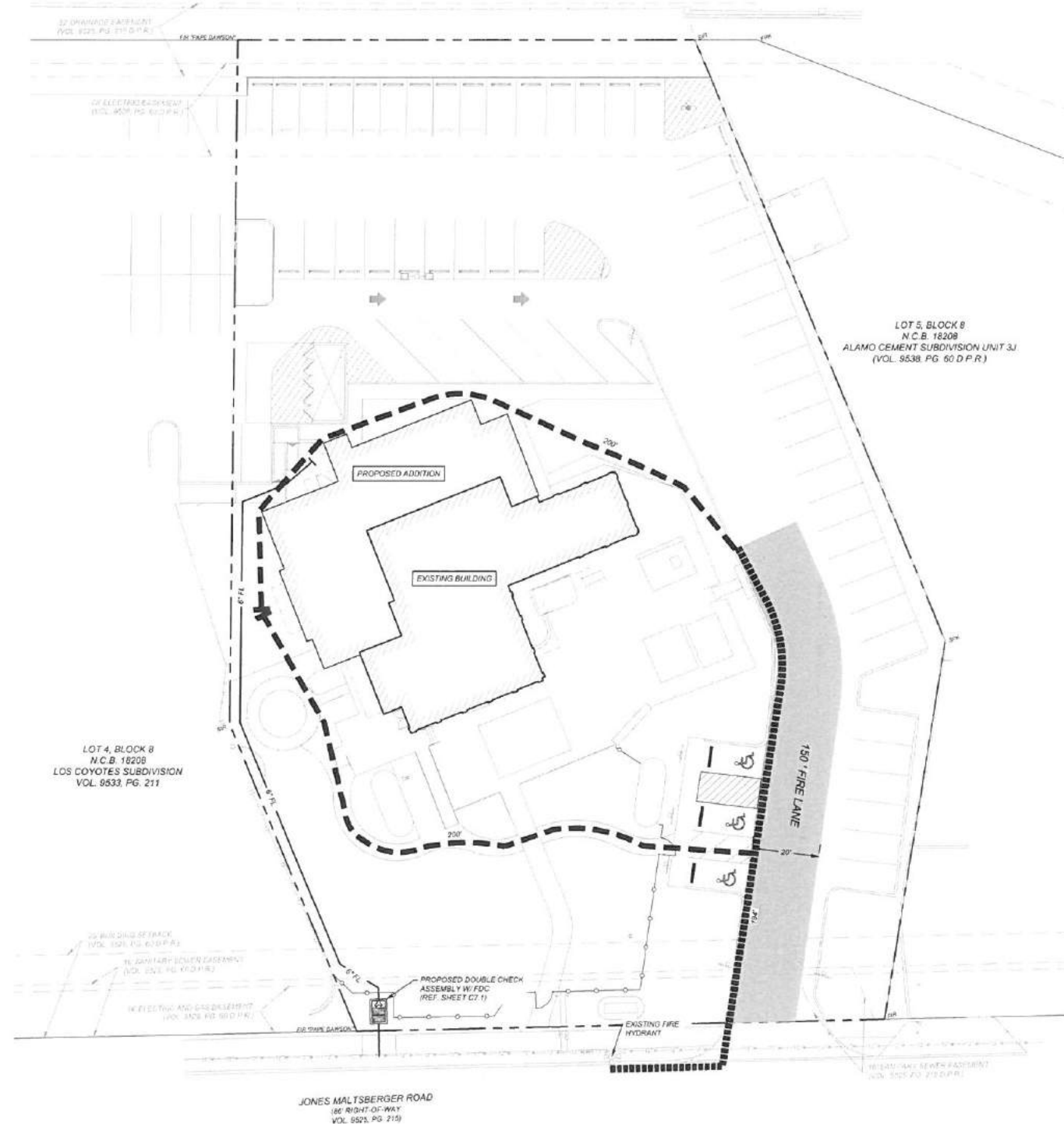
COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE. (210)-344-0500.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210)-353-2256.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210)-353-2256.
5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.
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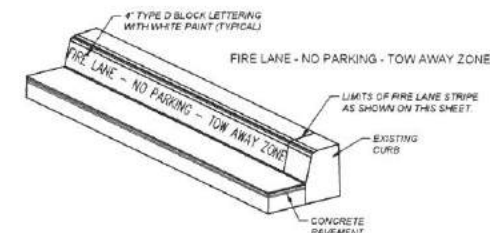
CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/ENGINEER/SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.



LEGEND	
PROPOSED FIRE HYDRANT	+
PROPOSED FIRE LINE	6" FL
EXISTING WATER VALVE	WV
EXISTING WATER METER	W
EXISTING WATER LINE	---
PROPERTY LINE	---
TRUCK HOSE PULL	
MANUAL HOSE PULL	---
PROPOSED FIRE LANE	FIRE LANE



TYPICAL FIRE LANE MARKING DETAIL
N.T.S.

- APPLICATION:**
1. ALONG CURBED AREAS: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB. PAINT WHITE LETTERS ON FACE OF CURB ONLY.
 2. ALONG NON-CURBED AREAS: PAINT RED LANE STRIPE ON PAVEMENT AND PAINT WHITE LETTERS.
 3. 40' FOOT SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
FIRE PROTECTION PLAN

JOB NO: 771-01-01
DATE: NOVEMBER 2018
DRAWN: KJV CHECKED: BC
SHEET NUMBER:

C4.0

K&W
ENGINEERS & SURVEYING
3421 Research Pkwy, Suite 200, San Antonio, TX 78231
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Email: info@kandw.com • Web: www.kandw.com

ISSUE DATE

REVISIONS

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RELEASED BY
AUTHORITY OF
BILLY K. CLASSEN,
P.E. #84604 FOR INTERIM
REVIEW ONLY AND NOT
TO BE USED FOR
CONSTRUCTION.

REVIEW SET NOVEMBER 2018

LEGAL DESCRIPTION

7300 JONES MALTSBERGER RD. SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.24 ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18208
ALAMO CEMENT SUBDIVISION UNIT 3J VOL. 9538, PG. 60 D.P.R.

BENCHMARKS

BM #1: ELEVATION = 730.20 "SET PK NAIL" IN CONCRETE
BM #2: ELEVATION = 730.47 "SET PK NAIL" IN CONCRETE SIDEWALK
BM #3: ELEVATION = 748.84 "SET PK NAIL" IN CONCRETE SIDEWALK

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210) 344-0500.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210) 353-2256
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210) 353-2256
5. CONTRACTOR TO COORDINATE WITH SANS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

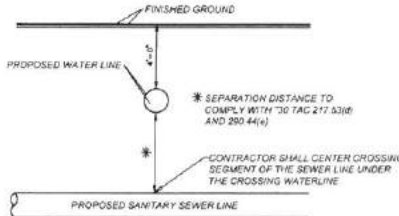
UTILITY GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL CONFORM TO ALL APPLICABLE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION), SANS SPECIFICATIONS LATEST EDITION, CITY BUILDING CODE AND REGULATIONS AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS APPLICABLE TO THE PROJECT AND REQUIREMENTS OF THE FIRE DEPARTMENT. SANITARY SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH THE 2015 IPC AND APPLICABLE TCEC REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
3. ALL UTILITY CONNECTIONS TO BUILDING SHALL BE COORDINATED WITH MECHANICAL AND ELECTRIC PLANS FOR INFORMATION ON GAS, ELECTRIC, AND TELEPHONE UTILITIES. SEE THE MECHANICAL AND ELECTRIC PLANS.
4. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, LIGHTING, OR WARNING CONTROL DEVICES USED OR REQUIRED TO COMPLETE THE WORK. CONTRACTOR TO COORDINATE WITH CITY OF SAN ANTONIO FOR ALL WORK WITHIN RIGHT OF WAY.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGES DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT, CURBS OR DRIVEWAYS (NO SEPARATE PAY ITEM).
6. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
7. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURB JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE ALLOWED OR ACCEPTED.
8. ALL EXCAVATIONS AND BACK FILLING OF UTILITY TRENCHES SHALL MEET GEOTECHNICAL REPORT RECOMMENDATIONS OR TYPICAL SANITARY UTILITY TRENCH SPECIFICATIONS. ALL BACK FILL MUST BE IN COMPACTED 15 INCH LIFTS, AND NO WATER SETTING IS ALLOWED.
9. SANITARY SEWER PIPE IS SDR 35 (ASTM D2241, D3153). WATER PIPE SHALL CONFORM TO ASTM D1775, ASTM D2241/IPC SCHEDULE 40, OR AWWA C151/A21.51, AWWA C151/A21.15 (D1). WATER MAINS SHALL CONFORM TO AWWA C900, ASTM D3120.
10. THE CONSTRUCTION OF ANY PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEMS SHALL BE GOVERNED BY THE ENGINEERING CONSTRUCTION PLANS PREPARED BY CPS ENERGY. THIS DRAWING SHALL SERVE ONLY AS REFERENCE DOCUMENT TO COORDINATE LOCATION OF THE PROPOSED PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEM. CPS CONSTRUCTION DRAWINGS AND CONSTRUCTION DETAILS SHALL GOVERN.

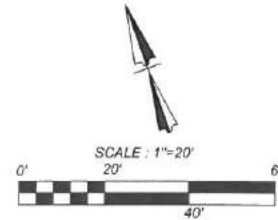
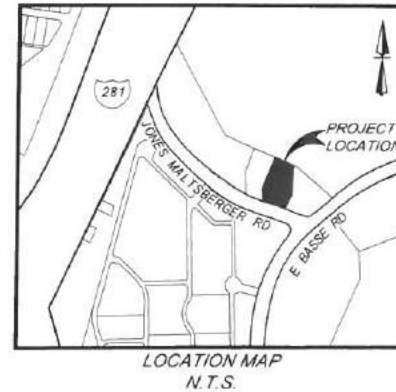
CAUTION! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGNING TECHNICAL SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.



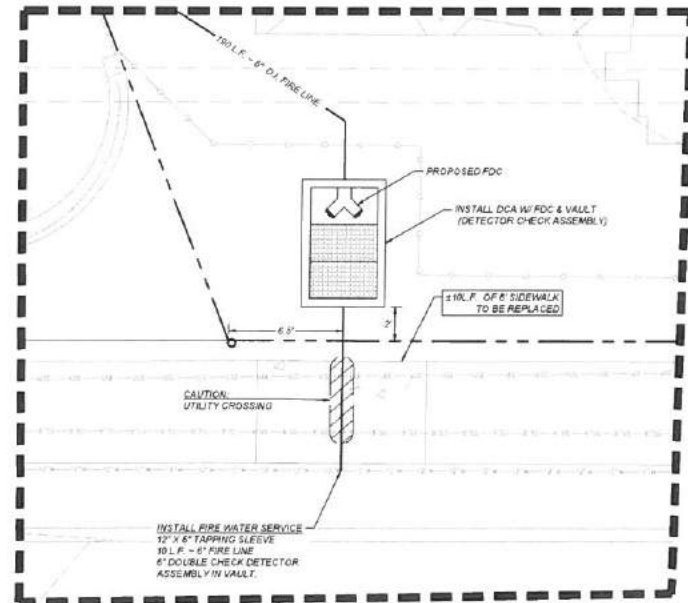
TYPICAL SANITARY SEWER/WATER CROSSING DETAIL
N.T.S.



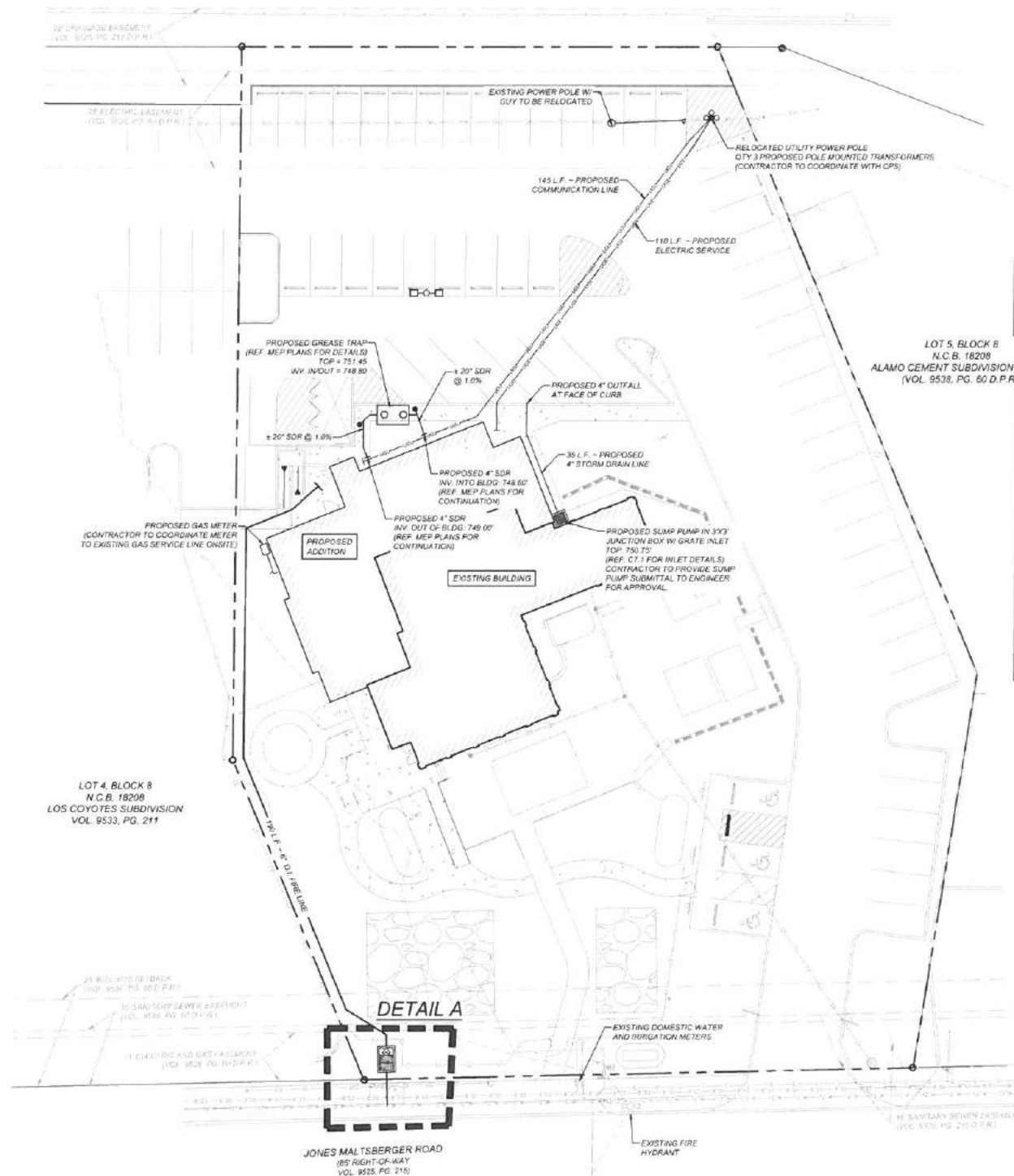
CONTRACTOR TO COORDINATE WITH CPS TO CONFIRM ROUTING METHOD OF SERVING BUILDING WITH ELECTRICAL SERVICE

LEGEND

- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE / METER
- EXISTING SANITARY SEWER LINE
- OVERHEAD ELECTRIC LINE / UTILITY POLE
- EXISTING WATER LINE
- EXISTING GAS LINE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND COMM.



DETAIL A
SCALE 1" = 5'



DETAIL A

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
OVERALL UTILITY PLAN

JOB NO. 77-04-01
DATE: NOVEMBER 2015
DRAWN: KAV CHECKED: BC
SHEET NUMBER:

C5.0

THIS DOCUMENT IS RELEASED BY AUTHORITY OF BILLY K. CLASSEN, P.E. # 84604 FOR INTERIM REVIEW ONLY AND NOT TO BE USED FOR CONSTRUCTION.

K&W
ENGINEERS & SURVEYING
3421 Oakdale Road, Suite 200, San Antonio, TX 78211
Phone: (210) 946-4444 • Fax: (210) 975-0441
Toll Free: 1-855-353-1353 • Email: info@kandw.com

LEGAL DESCRIPTION

7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.234 ACRES ESTABLISHED LOT 1, BLOCK 8, NCB 14209
ALAMO CEMENT SUBDIVISION UNIT 3D (VOL. 9526 PG 60 DPT)

BENCHMARKS

BM #1 - ELEVATION = 755.32 "SET PK NAIL" IN CONCRETE
BM #2 - ELEVATION = 752.47 "SET PK NAIL" IN CONCRETE SIDEWALK
BM #3 - ELEVATION = 746.84 "SET PK NAIL" IN CONCRETE SIDEWALK

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210) 344-0500.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210) 353-2256.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-449-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES (210) 353-2256.
5. CONTRACTOR TO COORDINATE WITH SANS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES (210) 704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

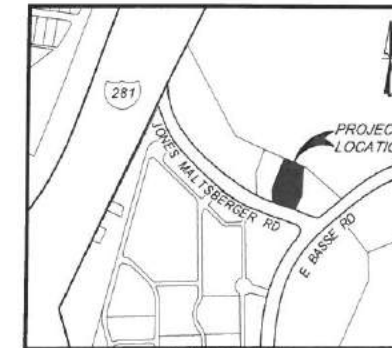
NOTE

1. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
2. PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE OF CURB OR STRIPING.
4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
5. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
6. CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH CITY INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS CITY OF SAN ANTONIO DESIGN STANDARDS.

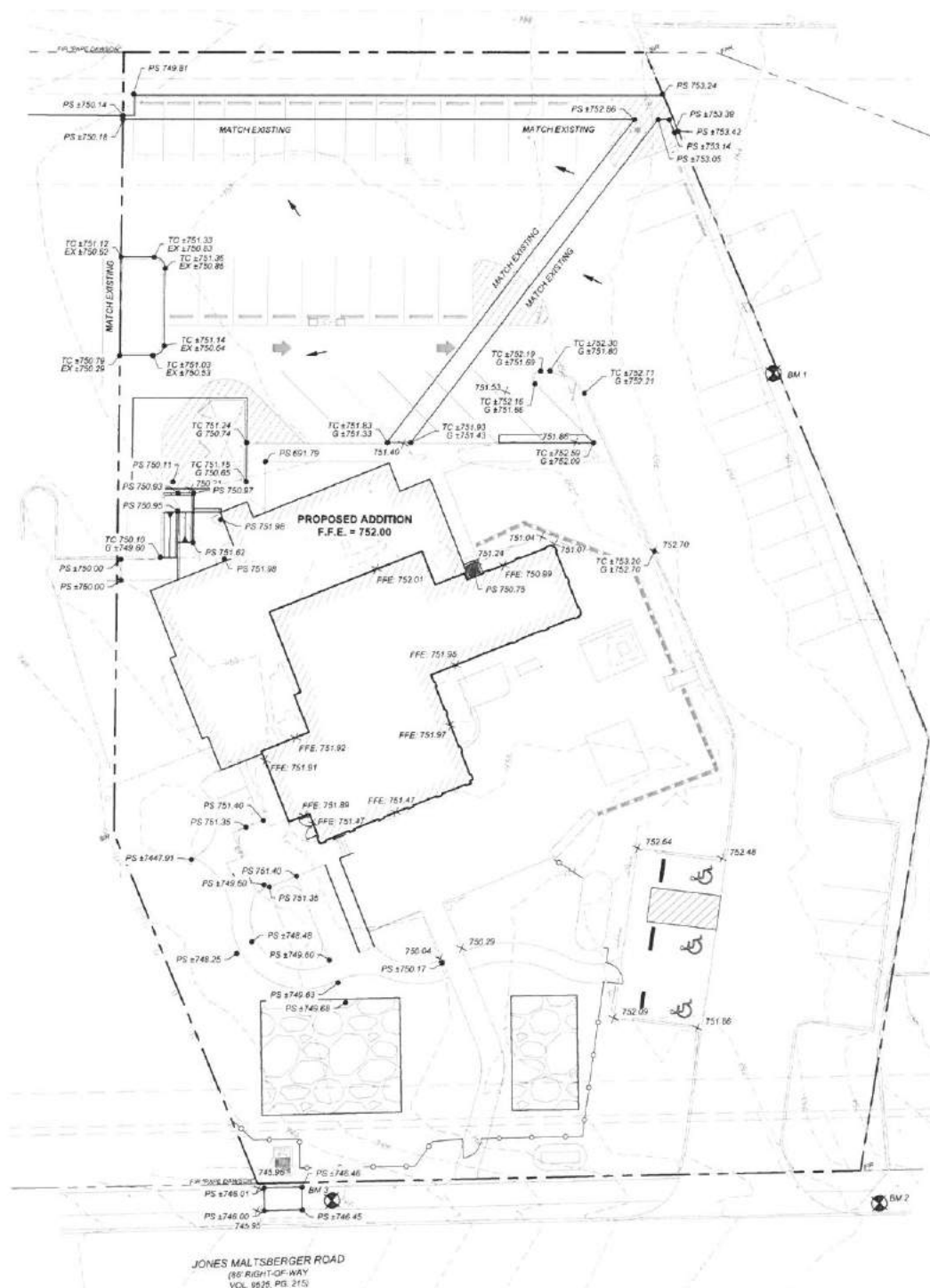
CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.



LOCATION MAP
N.T.S.



LEGEND	
PROPERTY LINE	---
EXISTING CURB	---
PROPOSED CURB	---
FLOW ARROW	→
ESTIMATED FINISH FLOOR ELEVATION	F.F.E. = XXX.XX
MATCH EXISTING ELEVATIONS	MATCH EXISTING
EXISTING CONTOURS	9.20
EXISTING SPOT ELEVATION	X 752.48
PROPOSED SPOT GRADE TO MATCH EXISTING	PS 752.00
PROPOSED SPOT GRADE TO MATCH EXISTING (TOP OF CURB AND GUTTER)	TC 752.00 G 751.50

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
GRADING PLAN

JOB NO: 721-01-01
DATE: NOVEMBER 2018
DRAWN: KW CHECKED: BC
SHEET NUMBER:

C6.0

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BILLY K. CLASSEN,
P.E. # 84604 FOR INTERIM
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TO BE USED FOR
CONSTRUCTION

KFW
ENGINEERS & SURVEYING
3427 Fairwinds Pkwy, Suite 200, San Antonio, TX 78251
Phone: (210) 594-3444 • Fax: (210) 597-9441
TBBP Form # 9513 • TBBPS Form # 10122900

REVIEW SET NOVEMBER 2018

The top drawing shows a standard floor drain assembly. It features a central drain body with a flow arrow pointing left. The assembly is mounted on a concrete slab. Dimensions include a total width of 12 inches, a central opening of 3 inches, and a side opening of 4 inches. A U.L. check valve is located on the right side. The drain body is secured with 4-inch FDC (Floor Drain Coupling) and 6-inch FDC (Floor Drain Coupling) bolts. Galvanized allthread retaining bars are used for the lid. An optional detector is shown on the left side.

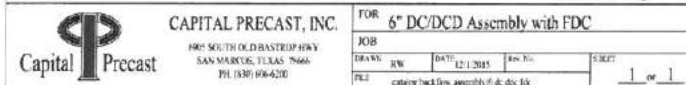
The bottom drawing shows a floor drain assembly with a spring-assisted lid. It features a central drain body with a flow arrow pointing left. The assembly is mounted on a concrete slab. Dimensions include a total width of 12 inches, a central opening of 3 inches, and a side opening of 4 inches. A 3 x 5 steel H-10 spring assist galvanize lid is shown on the right side. The lid is secured with 3-inch x 3-inch x 1/4-inch angles. A 3/4-inch Drip Valve is located on the right side. The drain body is secured with 4-inch FDC (Floor Drain Coupling) and 6-inch FDC (Floor Drain Coupling) bolts. Galvanized stand is used for the lid. A Smith Blair 912 coupling is used for the 6-inch diameter thru drain.

Specifications:

- Concrete has a 28 day strength of 5,000 psi
- Steel reinforcement is ASTM A615 grade 60
- Load design is H-10

Notes:

- Consult manufacturer before handling



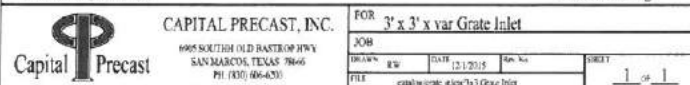
Bottom Section

36" dia thinwall knockouts all four sides

cast iron frame and grate or as required

Approximate weight of base: 4,100 lbs

Notes:
- Consult manufacturer before handling



PROPERTY OF SAN ANTONIO WATER SYSTEM SAN ANTONIO, TEXAS	SANITARY SEWER PIPE LAID IN TRENCH	APPROVED	REVISED
		MARCH 2008	APRIL 2014
		DD-804-01	SHEET 1 OF 1



PROPERTY OF SAN ANTONIO WATER SYSTEM SAN ANTONIO, TEXAS	TYPICAL 6" OR 8" CLEANOUT DETAIL (ON DEAD-END MAIN)	APPROVED	REVISED
		MARCH 2008	APRIL 2014
		DD-854-02	SHEET 1 OF 2

K&W
ENGINEERS • SURVEYING
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TDD • Fax • 9513 • TDD • 5-Fax • 1012200

ISSUE DATE

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P.E. # 84604 FOR INTERIM
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RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
UTILITY DETAIL SHEET

NO: 721-01-01
E: NOVEMBER 2018
WR: KW CHECKED: BC
SHEET NUMBER:
C7.1

REVIEW SET NOVEMBER 2018

LEGAL DESCRIPTION

7300 JONES MALTSBERGER RD., SAN ANTONIO, TX 78209
BEING A TOTAL OF 1.25 ACRES ESTABLISHED LOT 1, BLOCK 8, NCB 18208
ALAMO CEMENT SUBDIVISION UNIT 30 (VOL. 9526 PG. 65 D.P.R.)

BENCHMARKS

BM #1 - ELEVATION = 735.59 "SET PK NAIL" IN CONCRETE
BM #2 - ELEVATION = 732.47 "SET PK NAIL" IN CONCRETE SIDEWALK
BM #3 - ELEVATION = 746.84 "SET PK NAIL" IN CONCRETE SIDEWALK

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210) 244-6558
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210) 353-2256
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-449-7938
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES (210) 353-2256
5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES (210) 704-7297
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION

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PROJECT COMPLETION

1. ALL DISTURBED AREAS NOT COVERED BY IMPERVIOUS COVER ARE TO BE STABILIZED PER THE SWPPP AND PROJECT SPECIFICATIONS PRIOR TO REMOVAL OF ANY BMP'S AND/OR PRIOR TO FILING A NOTICE OF TERMINATION (NOT).
2. BEST MANAGEMENT PRACTICES MAY BE REMOVED IN PHASES IF ALL UPGRADE AREAS HAVE BEEN STABILIZED PER SWPPP AND PROJECT SPECIFICATIONS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
3. CONTRACTOR TO ENSURE THEY HAVE MET ALL REQUIREMENTS OF THE SWPPP BEFORE FILING A NOTICE OF TERMINATION (NOT).

GENERAL

1. THIS EXHIBIT IS TO BE USED FOR THE PURPOSES OF STORMWATER POLLUTION PREVENTION ONLY. ALL OTHER CIVIL ENGINEERING INFORMATION SHOULD BE OBTAINED FROM THE APPROPRIATE CONSTRUCTION DOCUMENTS.
2. THE PURPOSE OF THE SIGNATURE AND SEAL OF THE ENGINEER ON THIS DOCUMENT IS TO DEMONSTRATE COMPLIANCE WITH THE TROES STORMWATER POLLUTION PREVENTION PLAN REGULATIONS ONLY.
3. ALL OWNERS/OPERATORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE STORMWATER POLLUTION PREVENTION PLAN AND COMPLYING WITH THE REGULATIONS CONTAINED WITHIN IT.
4. CPS IS A SECONDARY OPERATOR IN THIS PROJECT. THEY WILL BE INSTALLING THE GAS AND ELECTRIC UTILITIES.

SW3P MODIFICATIONS

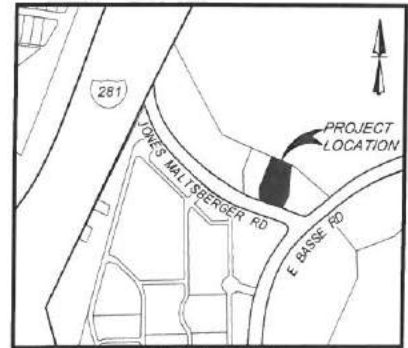
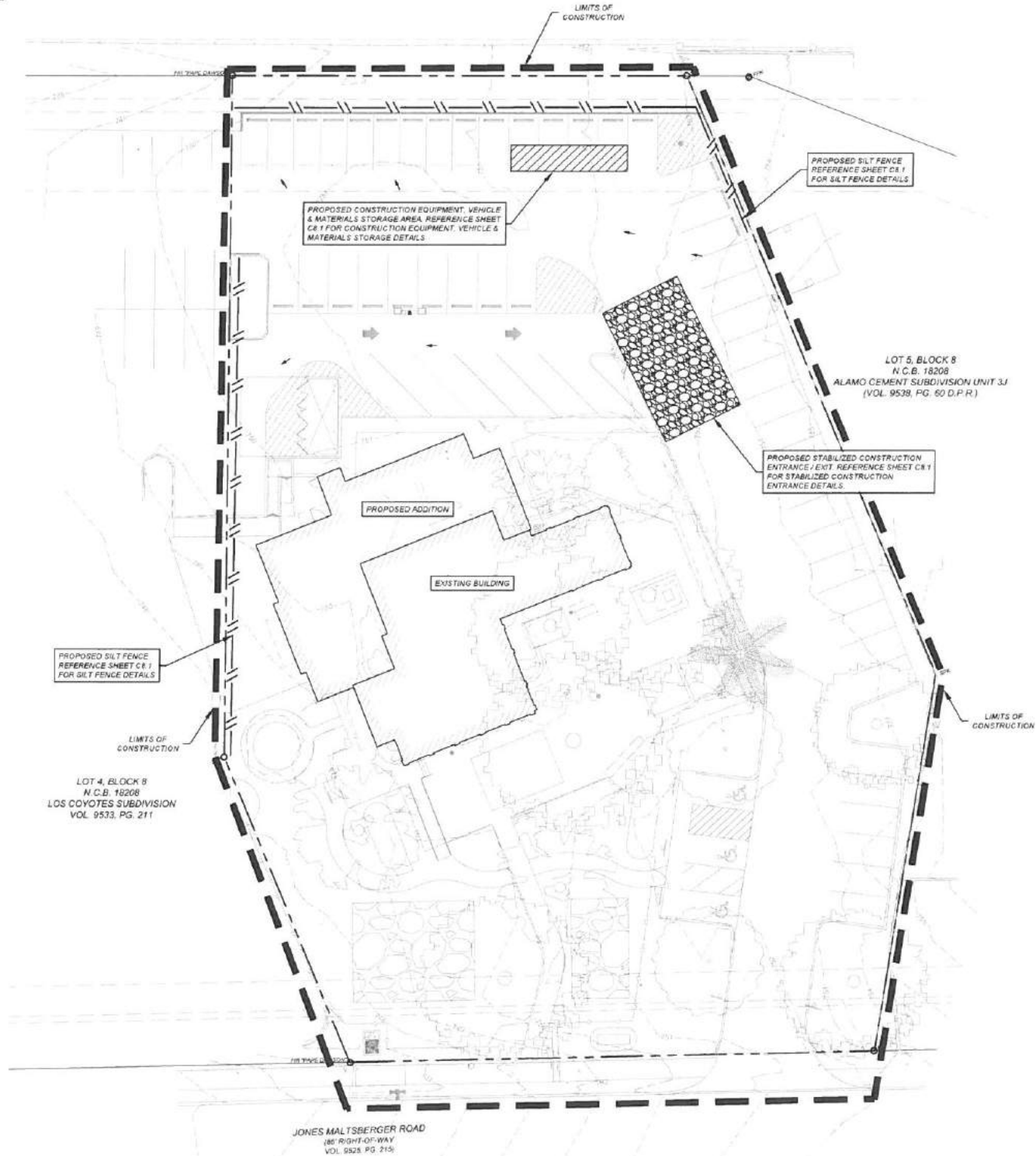
DATE	SIGNATURE	DESCRIPTION

INSTALLATION

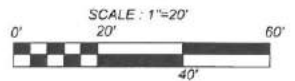
1. ALL OPERATORS SHALL SUBMIT A NOTICE OF INTENT (NOI) AT LEAST 48 HOURS IN ADVANCE AND ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE IN PLACE PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
2. CONTRACTOR TO ENSURE THAT STRUCTURAL BMP'S ARE INSTALLED WITHIN THE LIMITS OF THE SITE BOUNDARY.
3. CONTRACTOR MAY INSTALL THE BEST MANAGEMENT PRACTICES IN PHASES THAT CONSIDER WITH THE DISTURBANCE OF UPGRADE AREAS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
4. CONTRACTOR TO VERIFY SUFFICIENT VEGETATION IN AREAS DENOTED AS VEGETATED FILTER STRIP. IF INSUFFICIENT VEGETATION EXISTS, CONTRACTOR SHALL IMPLEMENT A DIFFERENT BEST MANAGEMENT PRACTICE AND WILL SHOW IT ON THIS PLAN WITH NOTATION IN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

MAINTENANCE AND INSPECTION

1. CONTRACTOR SHOULD LIMIT CONSTRUCTION ACTIVITIES TO ONLY THOSE AREAS SHOWN TO BE DISTURBED ON THIS PLAN. IF ADDITIONAL VEGETATED AREAS ARE DISTURBED THEY SHOULD BE PROTECTED WITH APPROPRIATE BEST MANAGEMENT PRACTICES UNTIL THE AREAS HAVE BEEN STABILIZED AS PER THE SPECIFICATIONS OF THE SWPPP. THE AREAS OF THE ADDITIONAL SOIL DISTURBANCE AND THE MEASURES USED SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMP'S AS PER THE SPECIFICATIONS OF THE SWPPP. THE CONTRACTOR MAY MODIFY THE CONTROLS AS NECESSARY TO PREVENT SEDIMENT RUNOFF. THESE MODIFICATIONS SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
3. LOCATION OF CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND EQUIPMENT AND STORAGE ARE TO BE FIELD DETERMINED. LOCATIONS SHALL BE UPDATED ON THIS PLAN.



LOCATION MAP
N.T.S.



LEGEND

- LIMITS OF CONSTRUCTION
- EXISTING CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA
- CONCRETE TRUCK WASHOUT PIT
- SILT FENCE

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD., SAN ANTONIO, TX 78209
STORMWATER POLLUTION PREVENTION PLAN

JOB NO. 72-101-01

DATE: NOVEMBER 2018

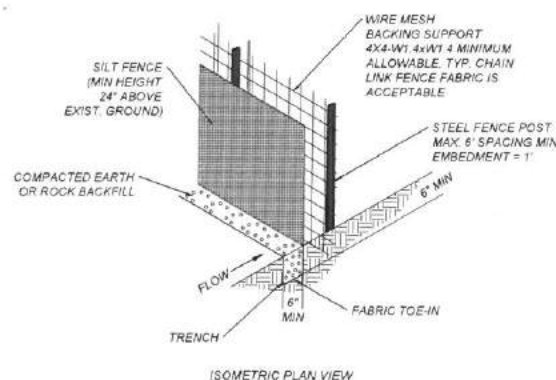
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SHEET NUMBER:

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REVIEW SET NOVEMBER 2018

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARDCOPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

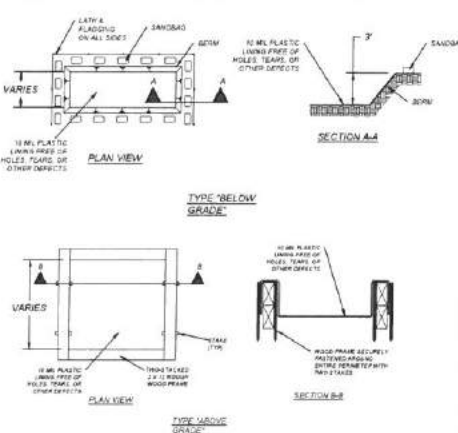


Material:
 (1) Silt fence material should be polypropylene, polyethylene or polyamide woven or nonwoven fabric. The fabric width should be 36 inches, with a minimum unit weight of 4.5 oz/yd mullen burst strength exceeding 180 lb/in², ultraviolet stability exceeding 70%, and minimum apparent opening size of U.S. Sieve No. 30.
 (2) Fence posts should be made of hot rolled steel, at least 4 feet long with Tee or Y-bar cross section, surface painted or galvanized, minimum nominal weight 1.25 lb/ft², and Brinell hardness exceeding 140.
 (3) Woven wire backing to support the fabric should be galvanized 2" x 4" welded wire, 12 gauge minimum.

Installation:
 (1) Steel posts, which support the silt fence, should be installed on a slight angle toward the anticipated runoff source. Post must be embedded a minimum of 1-foot deep and spaced not more than 8 feet on center. Where water concentrates, the maximum spacing should be 6 feet.
 (2) Lay out fencing down-slope of disturbed area, following the contour as closely as possible. The fence should be sited so that the maximum drainage area is 1/4 acre/100 feet of fence.
 (3) The toe of the silt fence should be trenched in with a spade or mechanical trencher, so that the down-slope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g. pavement or rock outcrop), weight fabric flap with 3 inches of pea gravel on uphill side to prevent flow from seeping under fence.
 (4) The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material.
 (5) Silt fence should be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel fence post. There should be a 3-foot overlap, securely fastened where ends of fabric meet.
 (6) Silt fence should be removed when the site is completely stabilized so as not to block or impede stone flow or drainage.

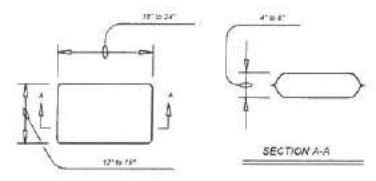
Inspection and Maintenance Guidelines:
 (1) Inspect all fencing weekly, and after any rainfall.
 (2) Remove sediment when buildup reaches 6 inches.
 (3) Replace any torn fabric or install a second line of fencing parallel to the torn section.
 (4) Replace or repair any sections crushed or collapsed in the course of construction activity. If a section of fence is obstructing vehicular access, consider relocating it to a spot where it will provide equal protection, but will not obstruct vehicles. A triangular filter dike may be preferable to a silt fence at common vehicle access points.
 (5) When construction is complete, the sediment should be disposed of in a manner that will not cause additional siltation and the prior location of the silt fence should be revegetated. The fence itself should be disposed of in an approved landfill.

SILT FENCE



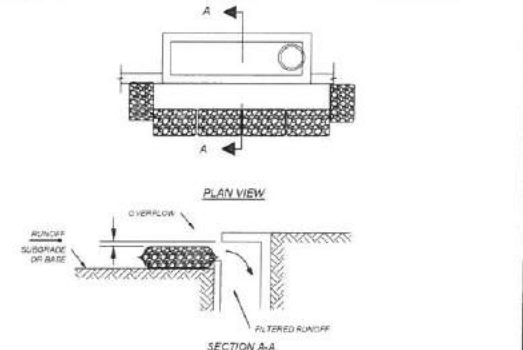
GENERAL NOTES:
 • DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
 • WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
 • WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF AND AT LEAST 50 FEET FROM SENSITIVE FEATURES: STORM GRADING, OPEN DITCHES, STREETS, OR STREAMS.

CONCRETE TRUCK WASHOUT PIT



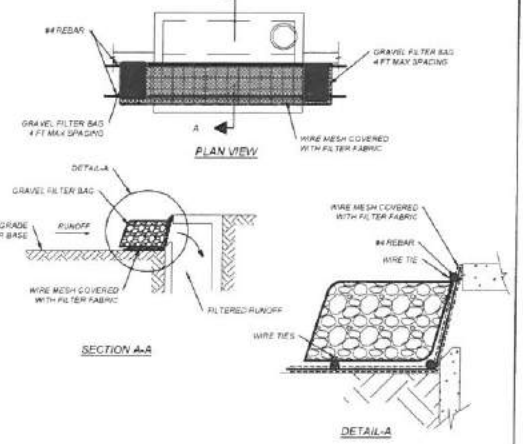
GENERAL NOTES:
 • THE FILTER BAG MATERIAL SHALL BE MADE OF POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN FABRIC. MIN UNIT WEIGHT OF 4 OUNCES/YD. MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70%.
 • THE FILTER BAG SHALL BE FILLED WITH CLEAN, MEDIUM TO COARSE GRAVEL (#3 TO #10 SIZE DIAMETER).

GRAVEL FILTER BAG DETAIL

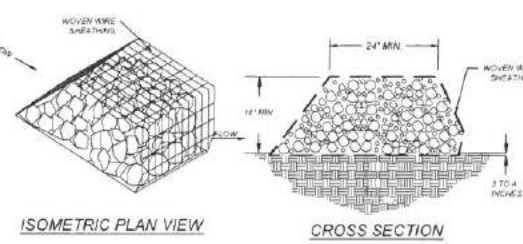


GENERAL NOTES:
 • ALL STORM DRAINAGE SYSTEMS INLETS SHOULD FILTER RUNOFF BEFORE THE WATER IS DISCHARGED INTO STREAMS OR INTO ADJACENT PROPERTIES, UNLESS TREATMENT IS PROVIDED ELSEWHERE.
 • IF NO ADDITIONAL DOWNSTREAM TREATMENT EXISTS, THE MAXIMUM DRAINAGE AREA TRIBUTARY TO AN AREA DRAIN INSTALLED WITH A GRAVEL FILTER SHOULD BE ONE ACRE.
 • ALL CURB INLET GRAVEL FILTERS SHOULD BE INSPECTED AND REPAIRED AFTER EACH RUNOFF EVENT. SEDIMENT SHOULD BE REMOVED WHEN MATERIAL IS WITHIN THREE INCHES OF THE TOP OF THE CONCRETE BLOCKS. PERIODICALLY THE GRAVEL SHOULD BE RANDED TO INCREASE INFILTRATION AND FILTERING OF RUNOFF WATERS.

CURB INLET PROTECTION GRAVEL FILTER BAGS



CURB INLET PROTECTION (ALTERNATE)

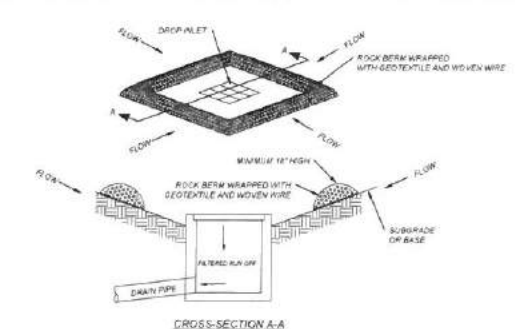


Material:
 (1) The berm structure should be secured with a woven wire sheathing having maximum opening of 1 inch and a minimum wire diameter of 20 gauge galvanized and should be secured with shoot rings.
 (2) Clean, open graded 3- to 5-inch diameter rock should be used, except in areas where high velocities or large volumes of flow are expected, where 5- to 8-inch diameter rocks may be used.

Installation:
 (1) Lay out the woven wire sheathing perpendicular to the flow line. The sheathing should be 20 gauge woven wire mesh with 1 inch openings.
 (2) Install the silt fence along the center of the proposed berm placement, as with a normal silt fence described in Section 2.4.3.
 (3) Place the rock along the sheathing as shown in the diagram (Figure 1-28), to a height not less than 18\"/>

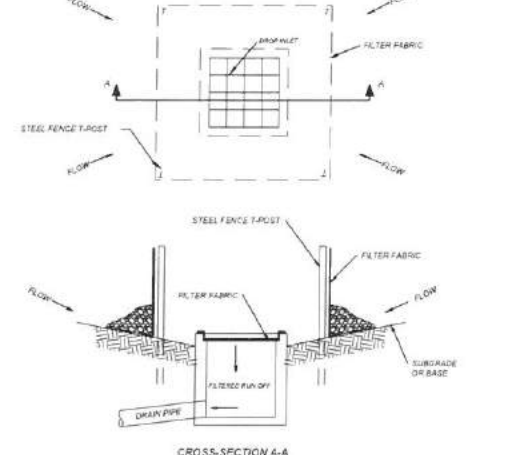
Inspection and Maintenance Guidelines:
 (1) Inspection should be made weekly and after each rainfall by the responsible party. For installations in streambeds, additional daily inspections should be made.
 (2) Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated silt in an approved manner that will not cause any additional siltation.
 (3) Repair any loose wire sheathing.
 (4) The berm should be reshaped as needed during inspection.
 (5) The berm should be replaced when the structure ceases to function as intended due to silt accumulation among the rocks, washout, construction traffic damage, etc.
 (6) The rock berm should be left in place until all upstream areas are stabilized and accumulated silt removed.

ROCK BERM



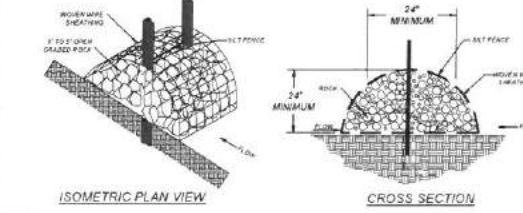
GENERAL NOTES:
 • USE OPEN GRADED CLEAN STONE.
 • THE ROCK SHOULD BE ENCLOSED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 1 INCH OPENING AND MINIMUM WIRE DIAMETER OF 20 GAUGE AND WRAPPED IN GEOTEXTILE WITH 100 PSI TENSILE STRENGTH FILTER FABRIC.
 • INSPECTION SHOULD BE MADE FREQUENTLY ON WASHOUT SERVICE ROCK BERM. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 4 INCHES OR MORE.
 • WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SILT SHOULD BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

GRATE INLET PROTECTION



GENERAL NOTES:
 • ALL MATERIALS AND ERECTION PROCEDURES WILL BE THE SAME AS DESCRIBED IN THE STANDARD SILT FENCE REQUIREMENTS.

GRATE INLET PROTECTION (ALTERNATE)

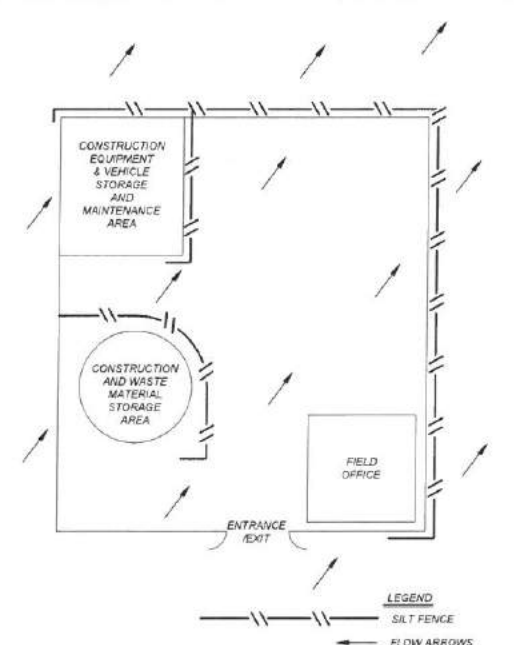


Material:
 (1) Silt fence material should be polypropylene, polyethylene or polyamide woven or nonwoven fabric. The fabric width should be 36 inches, with a minimum unit weight of 4.5 oz/yd mullen burst strength exceeding 180 lb/in², ultraviolet stability exceeding 70%, and minimum apparent opening size of U.S. Sieve No. 30.
 (2) Fence posts should be made of hot rolled steel, at least 4 feet long with Tee or Y-bar cross section, surface painted or galvanized, minimum nominal weight 1.25 lb/ft², and Brinell hardness exceeding 140. Rebar (either #5 or #6) may also be used to anchor the berm.
 (3) Woven wire backing to support the fabric should be galvanized 2" x 4" welded wire, 12 gauge minimum.
 (4) The berm structure should be secured with a woven wire sheathing having maximum opening of 1 inch, and a minimum wire diameter of 20 gauge galvanized and should be secured with shoot rings.
 (5) Clean, open graded 3- to 5-inch diameter rock should be used, except in areas where high velocities or large volumes of flow are expected, where 5- to 8-inch diameter rocks may be used.

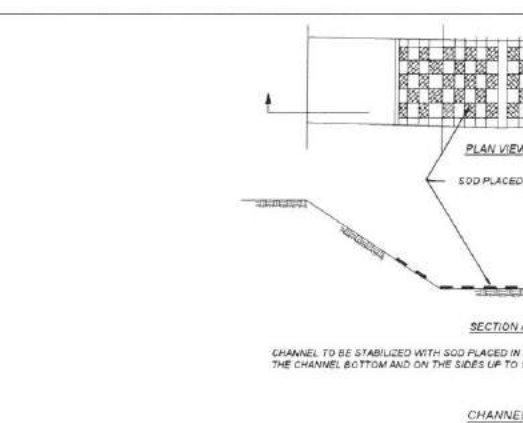
Installation:
 (1) Lay out the woven wire sheathing perpendicular to the flow line. The sheathing should be 20 gauge woven wire mesh with 1 inch openings.
 (2) Install the silt fence along the center of the proposed berm placement, as with a normal silt fence described in Section 2.4.3.
 (3) Place the rock along the sheathing on both sides of the silt fence as shown in the diagram (Figure 1-29), to a height not less than 24 inches. Clean, open graded 3- to 5-inch diameter rock should be used, except in areas where high velocities or large volumes of flow are expected, where 5- to 8-inch diameter rocks may be used.
 (4) Wrap the wire sheathing around the rock and secure with the wire so that the ends of the sheathing overlap at least 2 inches, and the berm retains its shape when walked upon.
 (5) The high service rock berm should be removed when the site is revegetated or otherwise stabilized or it may remain in place as a permanent BMP if drainage is adequate.

Inspection and Maintenance Guidelines:
 (1) Inspection should be made weekly and after each rainfall by the responsible party. For installations in streambeds, additional daily inspections should be made on rock berm.
 (2) Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated silt in an approved manner.
 (3) Repair any loose wire sheathing.
 (4) The berm should be reshaped as needed during inspection.
 (5) The berm should be replaced when the structure ceases to function as intended due to silt accumulation among the rock's washout, construction traffic damage, etc.
 (6) The rock berm should be left in place until all upstream areas are stabilized and accumulated silt removed.

HIGH SERVICE ROCK BERM

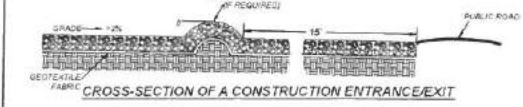


TYPICAL CONSTRUCTION STAGING AREA

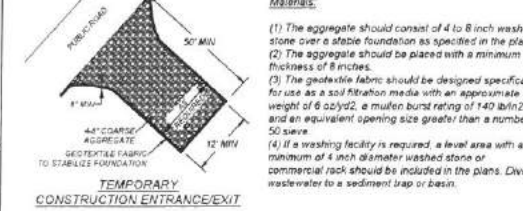


CHANNEL TO BE STABILIZED WITH SOD PLACED IN A CHECKER BOARD PATTERN TON THE CHANNEL BOTTOM AND ON THE SIDES UP TO 1/3 THE DEPTH OF CHANNEL.

CHANNEL LINING



CROSS-SECTION OF A CONSTRUCTION ENTRANCE/EXIT

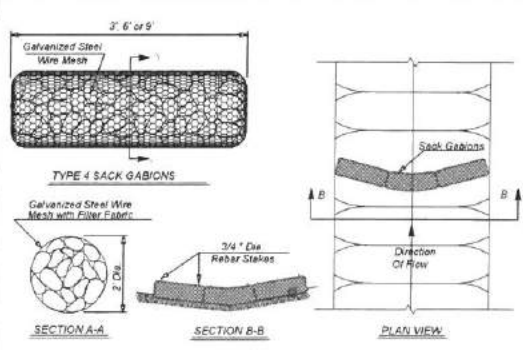


Material:
 (1) The aggregate should consist of 4 to 8 inch washed stone over a stable foundation as specified in the plan.
 (2) The aggregate should be placed with a minimum thickness of 8 inches.
 (3) The geotextile fabric should be designed specifically for use as a soil filtration media with an approximate weight of 6 oz/yd², a mullen burst rating of 140 lb/in², and an equivalent opening size greater than a number 50 sieve.
 (4) If a washing facility is required, a level area with a minimum of 4 inch diameter washed stone or commercial rack should be included in the plans. Divert waste-water to a sediment trap or basin.

Installation (North Carolina, 1993):
 (1) Avoid curves on public roads and steep slopes. Remove vegetation and other objectionable material from the foundation area. Grade down foundation for positive drainage.
 (2) The minimum width of the entrance/exit should be 12 feet or the full width of exit roadway, whichever is greater.
 (3) The construction entrance should be at least 50 feet long.
 (4) If the slope toward the road exceeds 2%, construct a ridge, 5 to 6 inches high with 3:1 (H:V) side slopes, across the foundation approximately 15 feet from the entrance to divert runoff away from the public road.
 (5) Place geotextile fabric and grade foundation to improve stability, especially where wet conditions are anticipated.
 (6) Place stone to dimensions and grade shown on plans. Leave surface smooth and slope for drainage.
 (7) Divert all surface runoff and drainage from the stone pad to a sediment trap or basin.
 (8) Install pipe under pad as needed to maintain proper public road drainage.

Inspection and Maintenance Guidelines:
 (1) The entrance should be maintained in a condition, which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment.
 (2) All sediment spilled, dropped, washed or tracked onto public rights-of-way should be removed immediately by contractor.
 (3) When necessary, wheels should be cleaned to remove sediment prior to entrance onto public right-of-way.
 (4) When washing is required, it should be done on an area stabilized with crushed stone that drains into an approved sediment trap or sediment basin.
 (5) All sediment should be prevented from entering any storm drain, ditch or water course by using approved methods.

STABILIZED CONSTRUCTION ENTRANCE / EXIT



GENERAL NOTES:
 • THE TOP OF THE SACK GABIONS SHOULD BE LEVEL AND ORIENTED PERPENDICULAR TO THE DIRECTION OF FLOW.
 • FILTER FABRIC MATERIAL SHALL BE FASTENED TO WOVEN WIRE SUPPORT.
 • FILTER FABRIC MATERIAL SHOULD MEET THE FOLLOWING SPECIFICATIONS:
 RESISTANT TO ULTRAVIOLET LIGHT. FABRIC SHOULD BE NON-WOVEN GEOTEXTILE WITH MINIMUM WEIGHT OF 1.5 OUNCES PER SQUARE YARD. MINIMUM MULLEN BURST STRENGTH OF 200 POUNDS PER SQUARE INCH AND A FLOW THROUGH RATE OF 100 GALLONS PER MINUTE PER SQUARE FOOT OF FLOW AREA.
 • STONE SIZE: 1/4\"/>

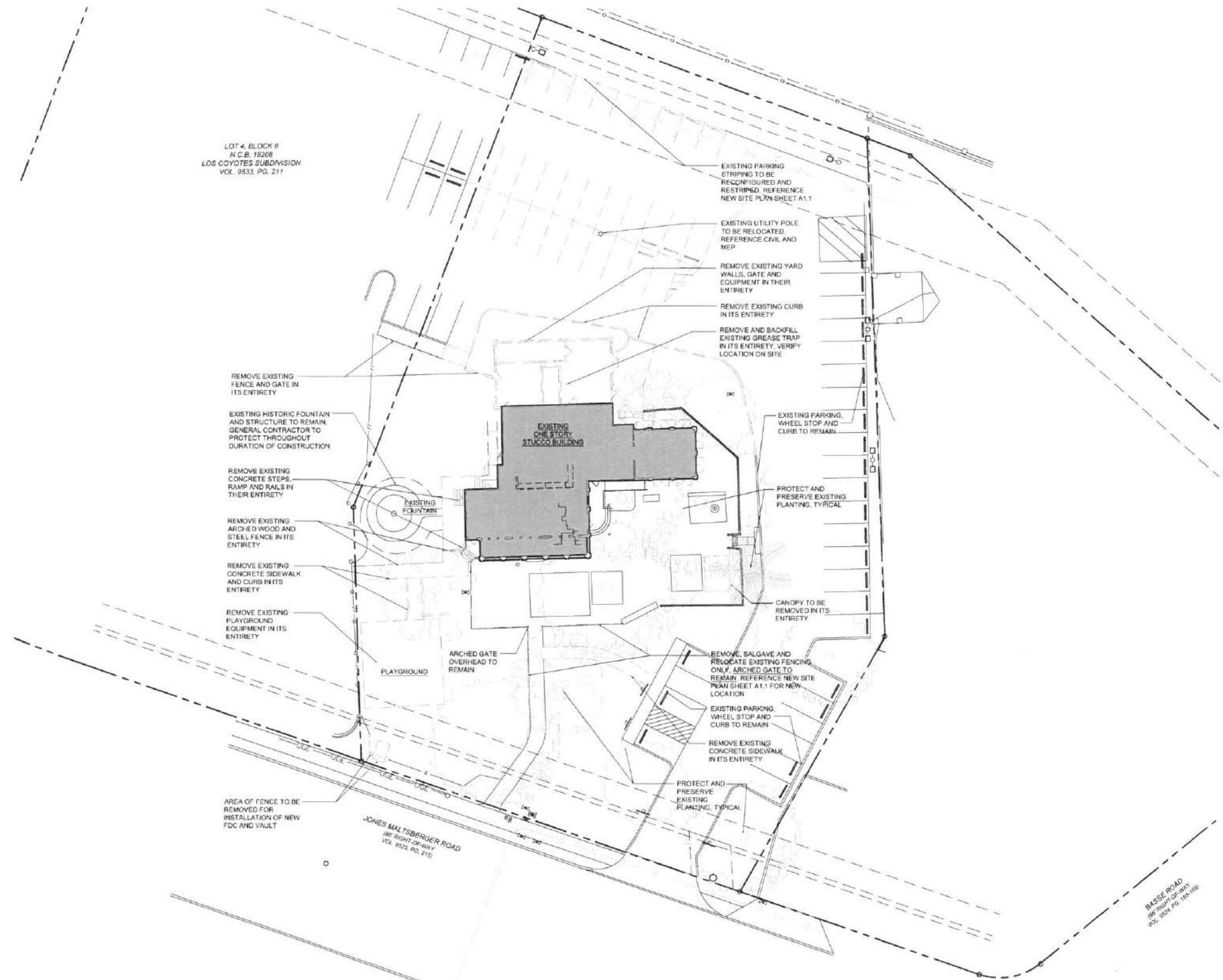
TYPE 4 SACK GABIONS

RESTAURANT ADDITION AT THE QUARRY
 7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209
 STORMWATER POLLUTION PREVENTION PLAN DETAILS

JOB NO: 721-01-01
 DATE: NOVEMBER 2018
 DRAWN: KJV CHECKED: BC
 SHEET NUMBER:

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K&W
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 3421 Pennington Drive, Suite 200, San Antonio, TX 78211
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 TDD: (210) 779-8444 • Email: k&w@k&w.com



1 DEMOLITION SITE PLAN
SCALE 1" = 20'-0"

PLAN NORTH

DEMOLITION
SITE
PLAN

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NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE

7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

cmp

chesneymoralespartners, inc.
architecture/interior design
4901 Broadway, Suite 250, San Antonio, Texas 78209
210.628.9797 | EAC Firm Reg #A1010
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NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE

7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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210.829.9481 • 210.829.9717 • chesneymorales.com

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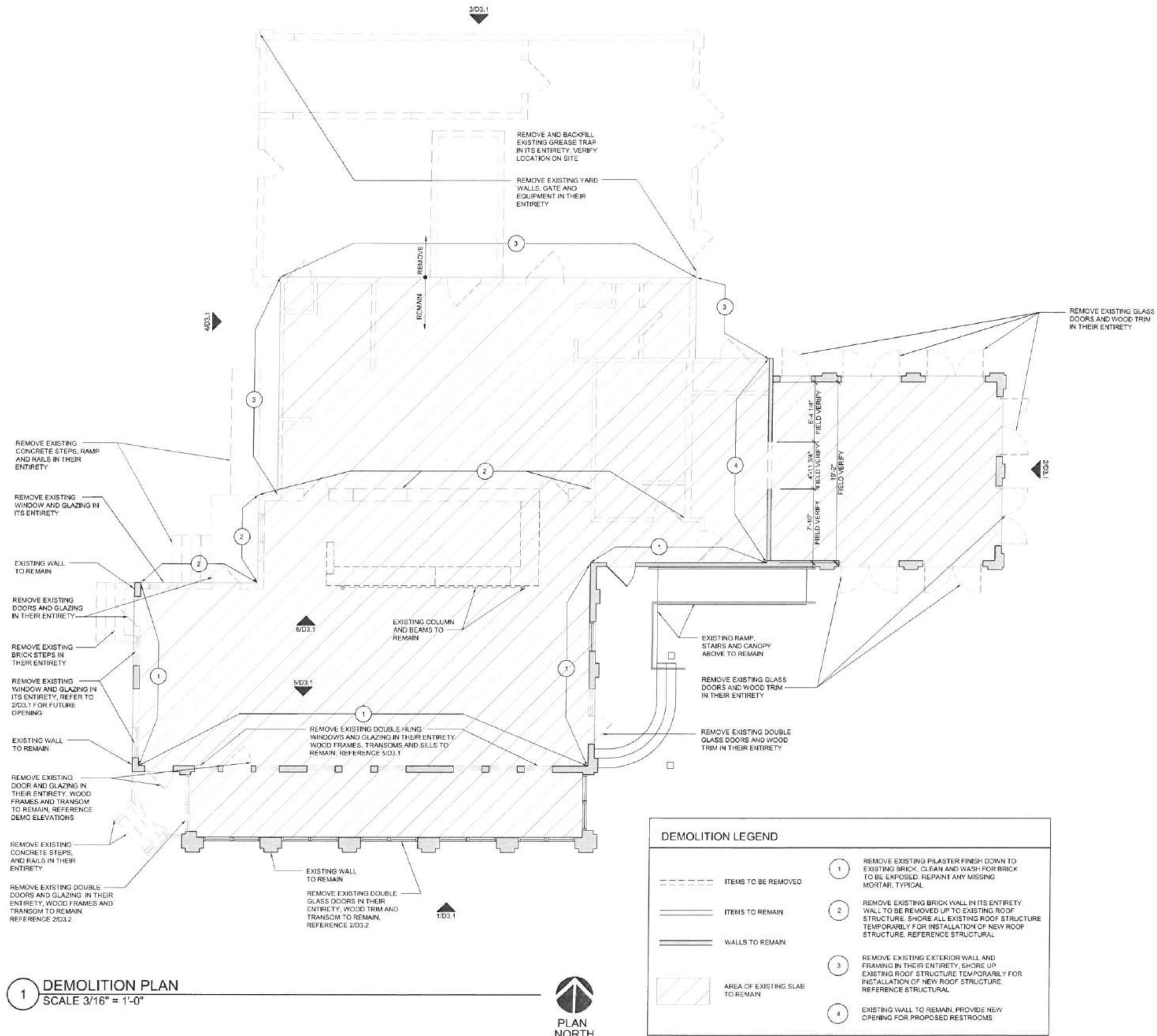
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DEMOLITION PLAN

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& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209



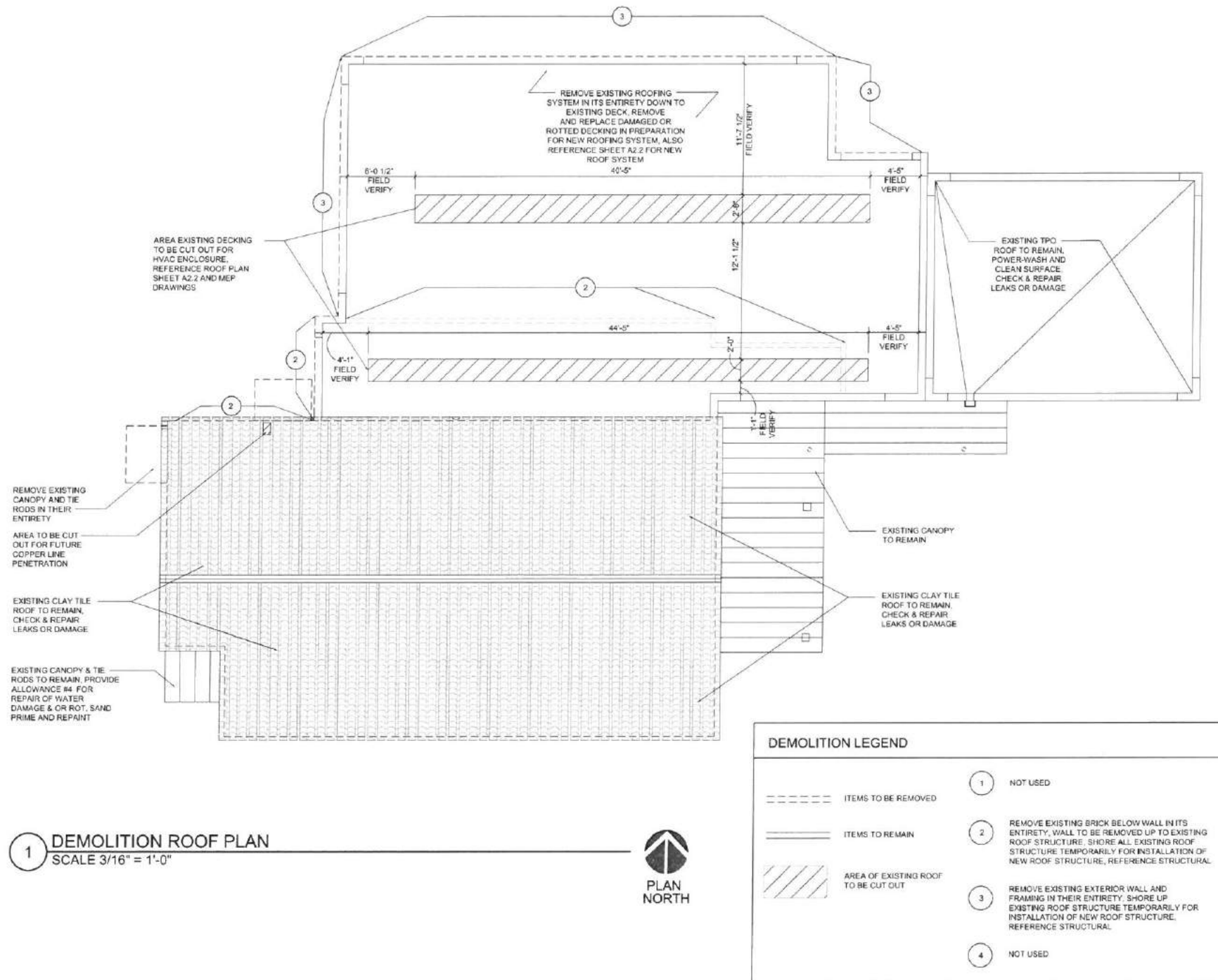
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DEMOLITION
ROOF PLAN

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SAN ANTONIO, TX 78209



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8901 Broadway, Suite 200, San Antonio, Texas 78209
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chesneymorales.com

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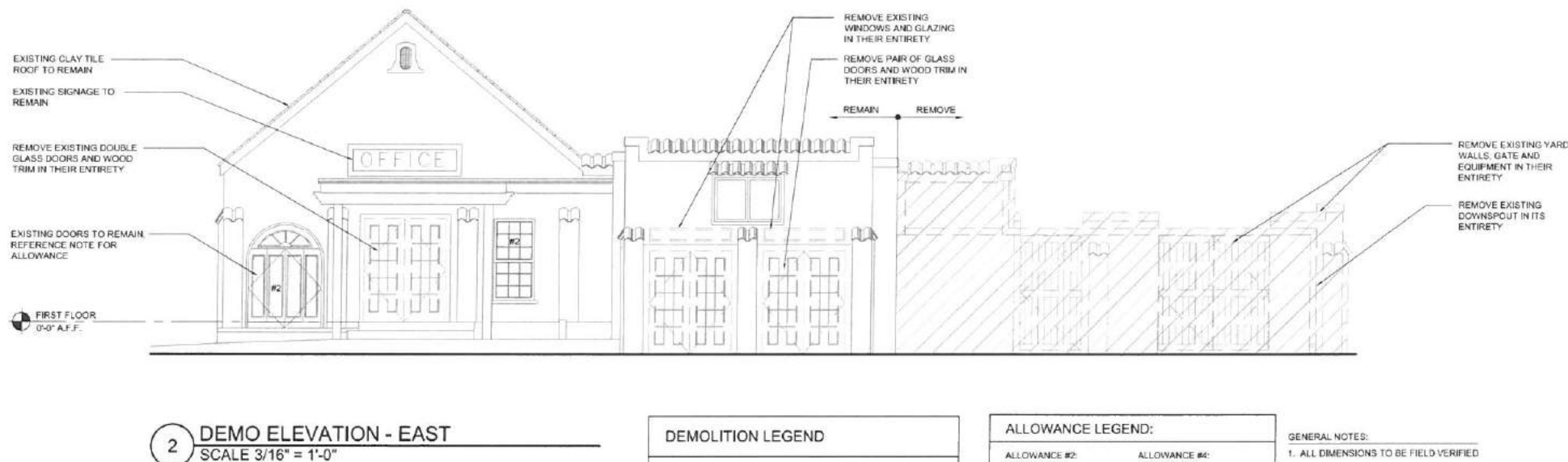
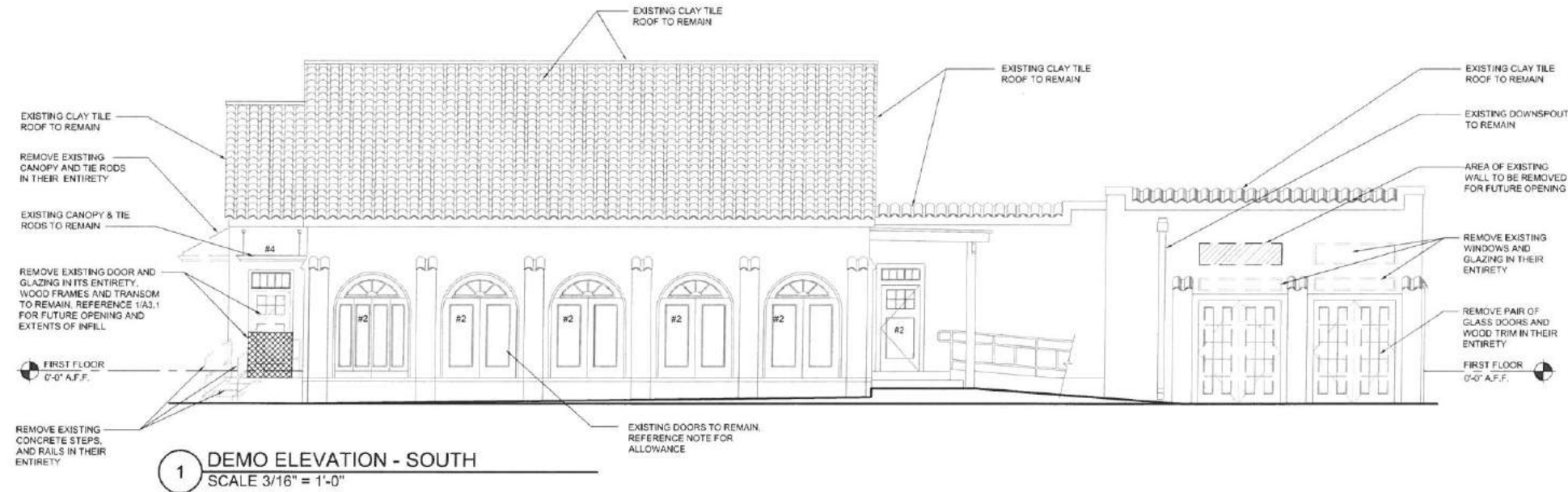
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OF #



DEMOLITION LEGEND	
-----	ITEMS TO BE REMOVED
=====	ITEMS TO REMAIN
	AREA OF EXISTING BRICK AND STUCCO TO BE REMOVED, SHORE EXISTING WALL TEMPORARILY UNTIL INSTALLATION OF NEW STRUCTURE
	ARE OF EXISTING BRICK TO BE INFILLED. MATCH EXISTING BRICK AND STUCCO CONSTRUCTION

ALLOWANCE LEGEND:	
ALLOWANCE #2: PROVIDE \$500 ALLOWANCE FOR EACH EXISTING DOOR & WINDOWS THROUGHOUT THE PROJECT FOR REPAIR OF WATER DAMAGE & OR ROT	ALLOWANCE #4: PROVIDE \$500 ALLOWANCE FOR REPAIR OF WATER DAMAGE & OR ROT TO EXISTING CANOPY, SAND PRIME AND REPAINT
ALLOWANCE #3: PROVIDE \$1500 ALLOWANCE FOR PROVIDING OPERABLE PAINTED WOOD DOORS, MATCH EXISTING	

GENERAL NOTES:
1. ALL DIMENSIONS TO BE FIELD VERIFIED
2. GENERAL CONTRACTOR IS TO VERIFY THAT ALL DRAWINGS IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITING ARCHITECTURAL, STRUCTURAL, MEP, CIVIL & LANDSCAPING, TO EACH SUBCONTRACTOR TO AVOID CONFLICTS THAT MAY POTENTIALLY OCCUR BETWEEN DISCIPLINES.

DEMO
ELEVATIONS

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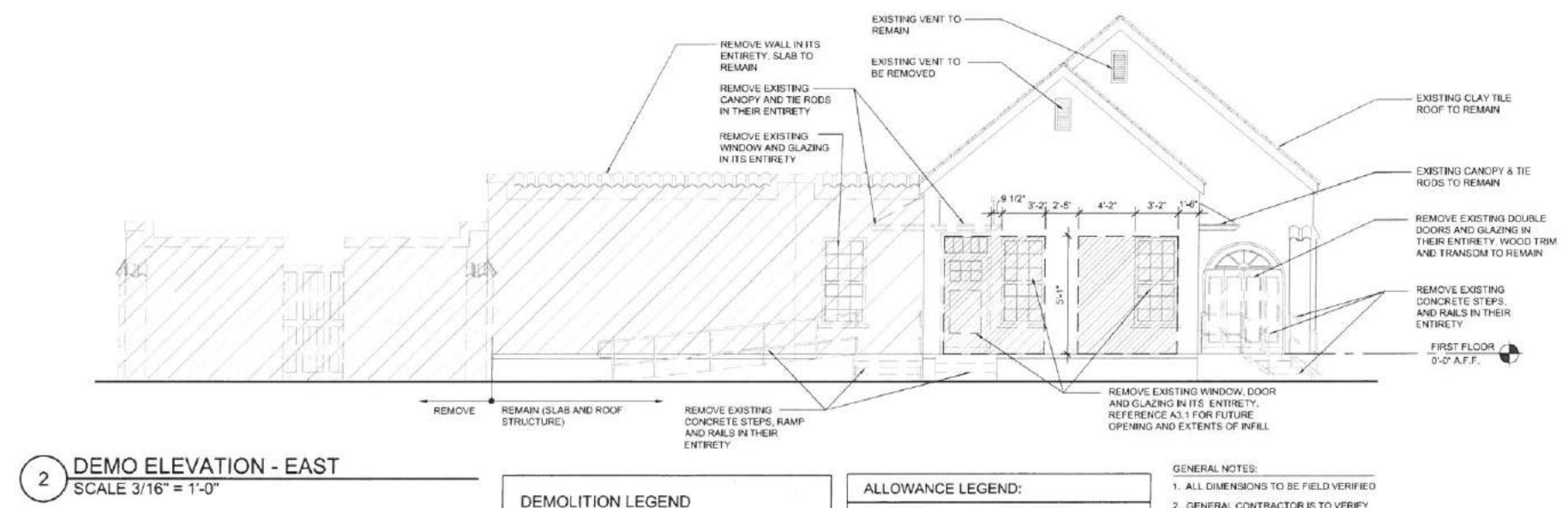
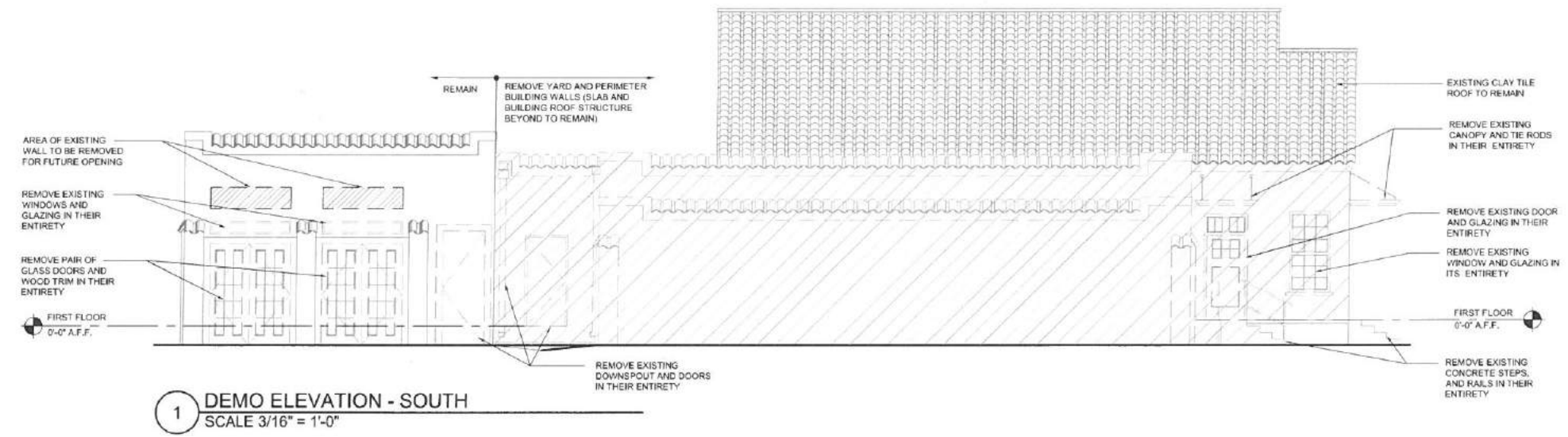
NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209



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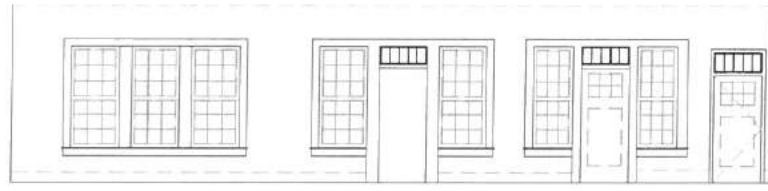
DEMOLITION LEGEND	
	ITEMS TO BE REMOVED
	ITEMS TO REMAIN
	AREA OF EXISTING BRICK AND STUCCO TO BE REMOVED. SHORE EXISTING WALL TEMPORARILY UNTIL INSTALLATION OF NEW STRUCTURE
	AREA OF EXISTING BRICK TO BE INFILLED. MATCH EXISTING BRICK AND STUCCO CONSTRUCTION

ALLOWANCE LEGEND:	
ALLOWANCE #2: PROVIDE \$500 ALLOWANCE FOR EACH EXISTING DOOR & WINDOWS THROUGHOUT THE PROJECT FOR REPAIR OF WATER DAMAGE & OR ROT	ALLOWANCE #4: PROVIDE \$500 ALLOWANCE FOR REPAIR OF WATER DAMAGE & OR ROT TO EXISTING CANOPY, SAND PRIME AND REPAINT
ALLOWANCE #3: PROVIDE \$1500 ALLOWANCE FOR PROVIDING OPERABLE PAINTED WOOD DOORS, MATCH EXISTING	

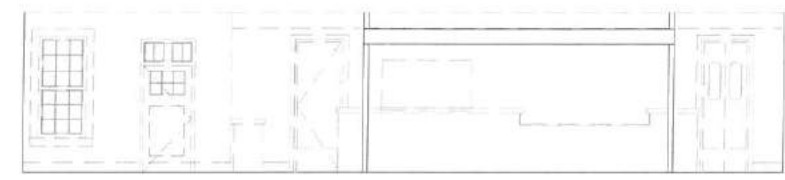
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DEMO ELEVATIONS

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1 INTERIOR ELEVATION
SCALE 3/16" = 1'-0"



2 INTERIOR ELEVATION
SCALE 3/16" = 1'-0"

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ELEVATIONS

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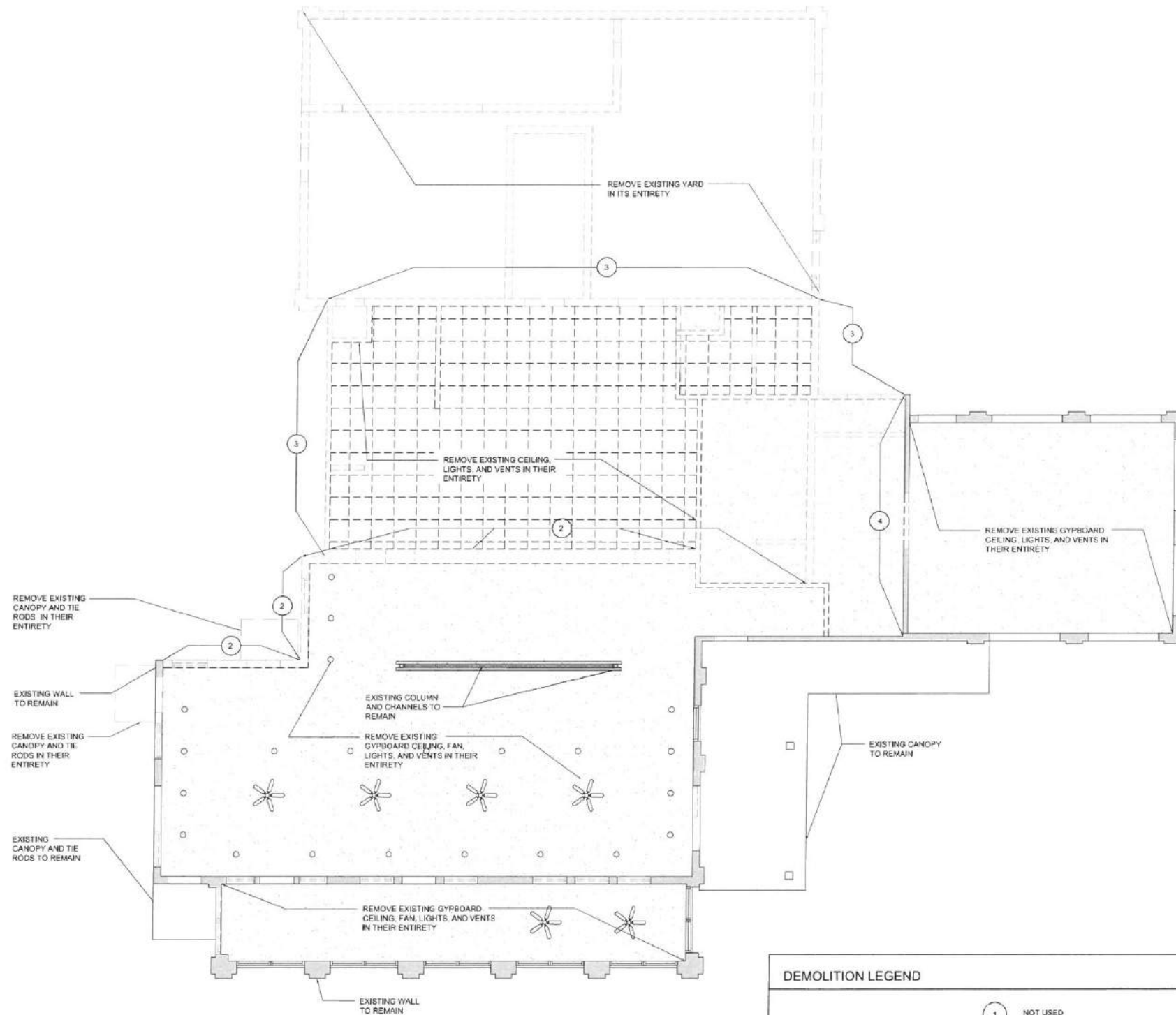
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DEMOLITION LEGEND

----- ITEMS TO BE REMOVED

===== ITEMS TO REMAIN

===== WALLS TO REMAIN

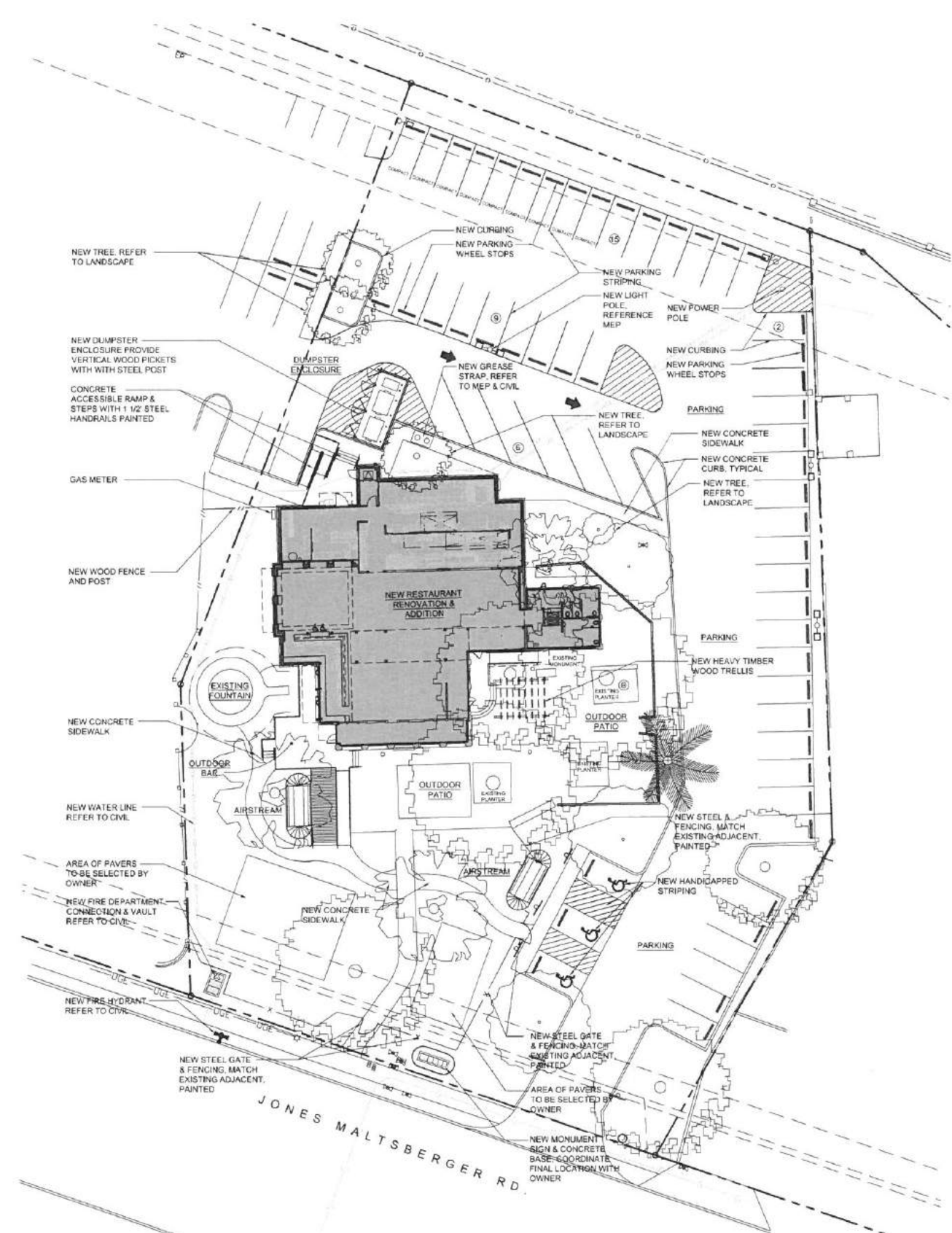
- 1 NOT USED
- 2 REMOVE EXISTING BRICK WALL IN ITS ENTIRETY. WALL TO BE REMOVED UP TO EXISTING ROOF STRUCTURE. SHORE ALL EXISTING ROOF STRUCTURE TEMPORARILY FOR INSTALLATION OF NEW ROOF STRUCTURE. REFERENCE STRUCTURAL
- 3 REMOVE EXISTING EXTERIOR WALL AND FRAMING IN THEIR ENTIRETY. SHORE UP EXISTING ROOF STRUCTURE TEMPORARILY FOR INSTALLATION OF NEW ROOF STRUCTURE. REFERENCE STRUCTURAL
- 4 EXISTING WALL TO REMAIN. PROVIDE NEW OPENING FOR PROPOSED RESTROOMS

1 DEMOLITION CEILING PLAN
SCALE 3/16" = 1'-0"



DEMOLITION
CEILING
PLAN

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1 SITE PLAN
SCALE 1" = 20'-0"



SITE PLAN

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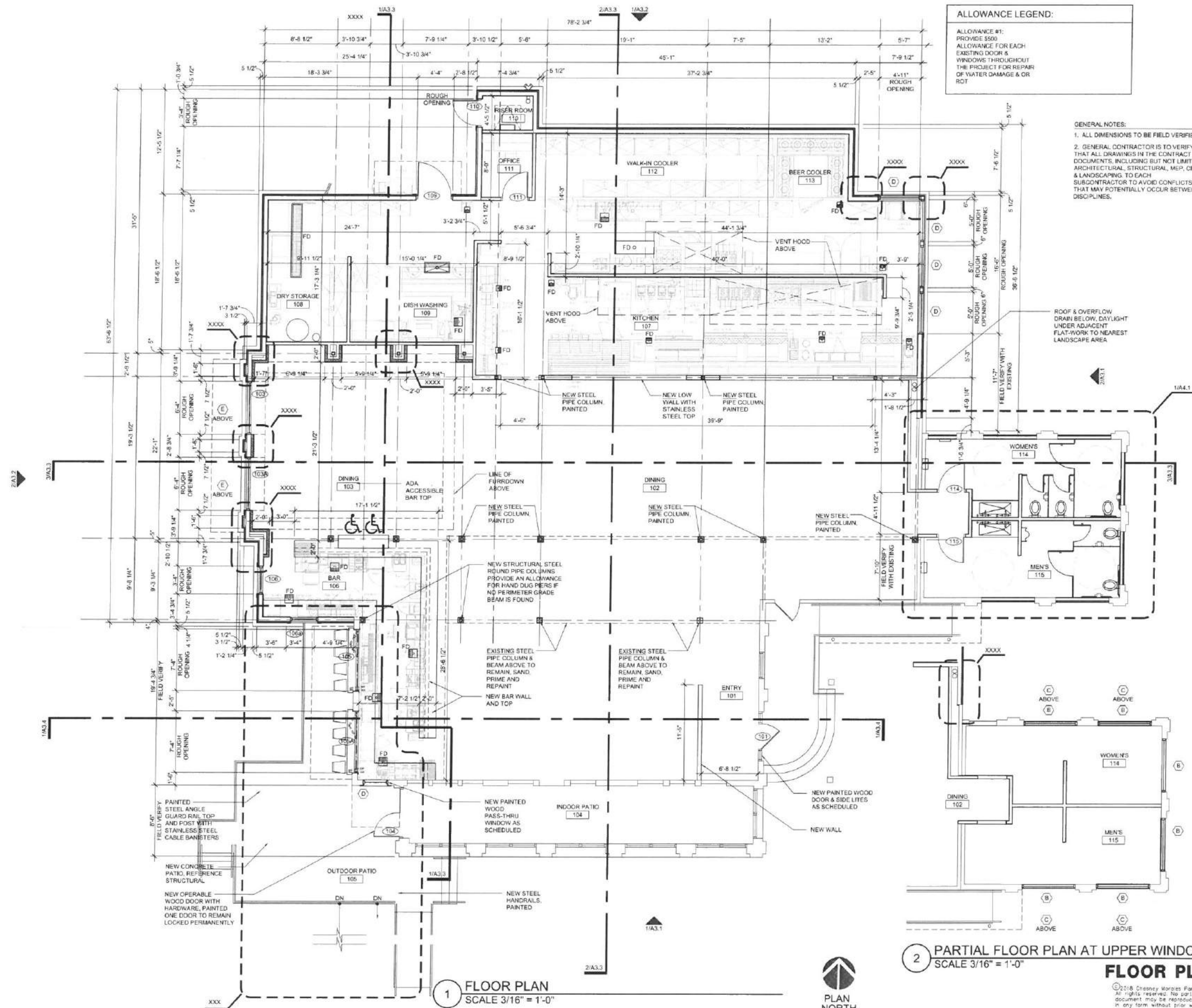
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OF #



ALLOWANCE LEGEND:

ALLOWANCE #1:
PROVIDE \$500
ALLOWANCE FOR EACH
EXISTING DOOR &
WINDOWS THROUGHOUT
THE PROJECT FOR REPAIR
OF WATER DAMAGE & OR
ROT

GENERAL NOTES:

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ROOF & OVERFLOW
DRAIN BELOW, DAYLIGHT
UNDER ADJACENT
FLAT-ROOF TO NEAREST
LANDSCAPE AREA

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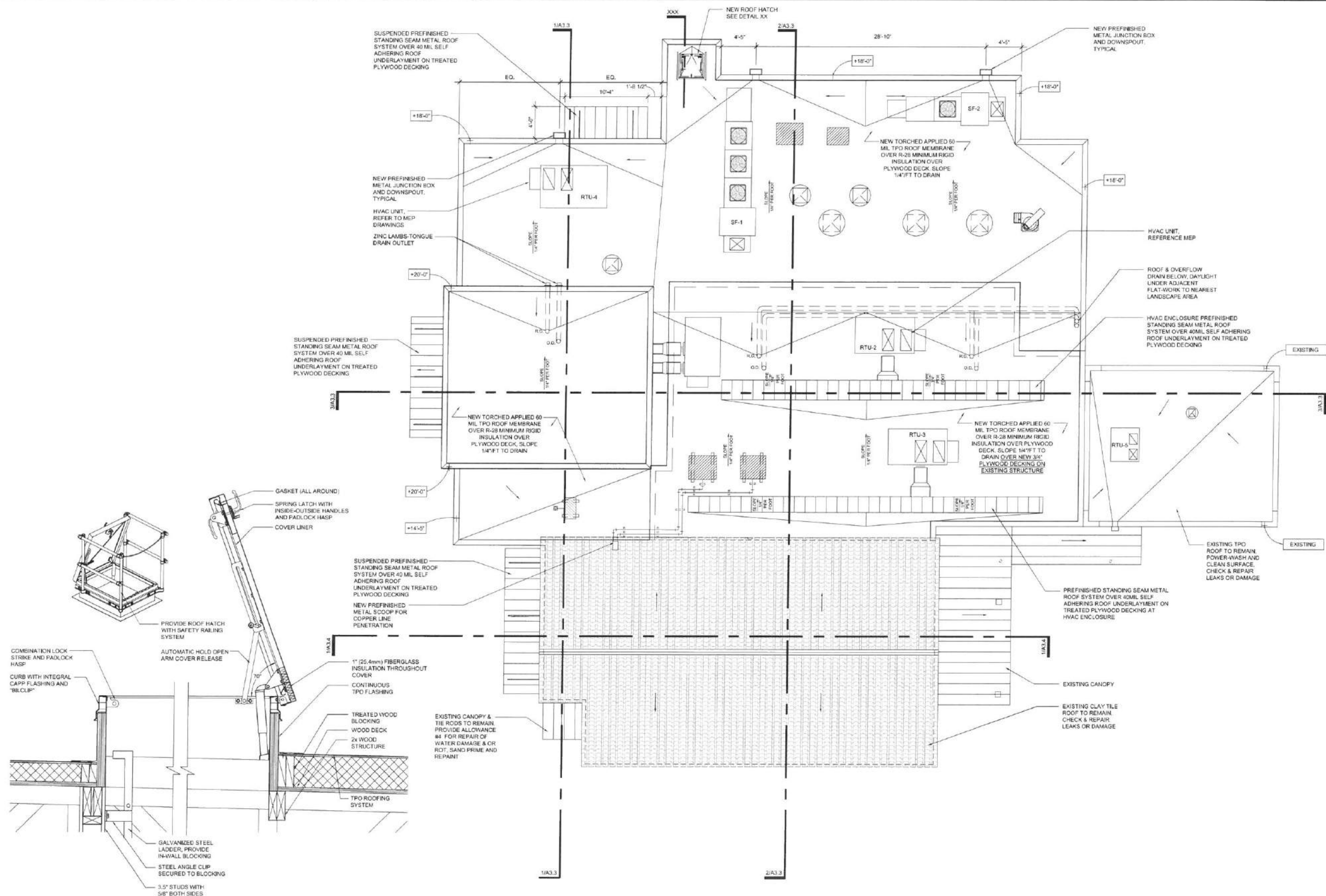
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JZ

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OF #



1 DETAIL AT ROOF HATCH
SCALE 1-1/2" = 1'-0"

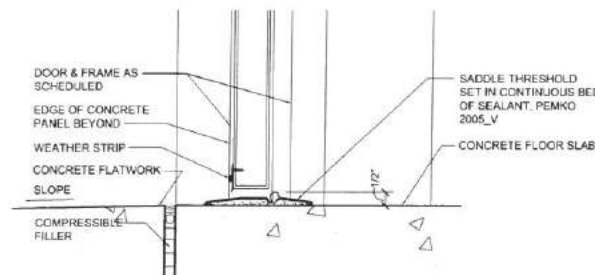
2 ROOF PLAN
SCALE 3/16" = 1'-0"



ROOF PLAN

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Hardware set 4:	Driv	Swing	
1 Sgt Dr	101	LHRA	
1 ea Hager	Continuous hinge	780-112HD-96"	528
1 ea Von Duprin	Exit Device	55 & OR 88 SERIES	
1 ea Schlage	Rim Cylinder	20-057	26D
1 ea LCN	Surface Closer	4040XP RW/PA	689
1 ea LCN	Drop plate	4040-18PA	689
1 ea Hager	Floor Stops	243F	26D
1 ea Hager	Kickplate	1905 10"x34"	32D



1 TYPICAL THRESHOLD
SCALE: 3" = 1'-0"

DOOR TYPE

Diagram A: Full glass lite with wood muntins. Dimensions: AS SCHEDULED (width and height), AS SCHEDULED (height of glass lite), AS SCHEDULED (height of muntins). Label: FULL GLASS LITE WITH WOOD MUNTINS.

Diagram B: Solid door. Dimensions: AS SCHEDULED (width and height). Label: AS SCHEDULED.

Diagram C: Wire glass lite. Dimensions: AS SCHEDULED (width and height), AS SCHEDULED (height of glass lite), 1'-6" (width of glass lite), 7'-0" (height of glass lite), 3'-6" (height of muntins). Label: WIRE GLASS LITE.

Diagram D: Full glass lite. Dimensions: AS SCHEDULED (width and height), AS SCHEDULED (height of glass lite). Label: FULL GLASS LITE.

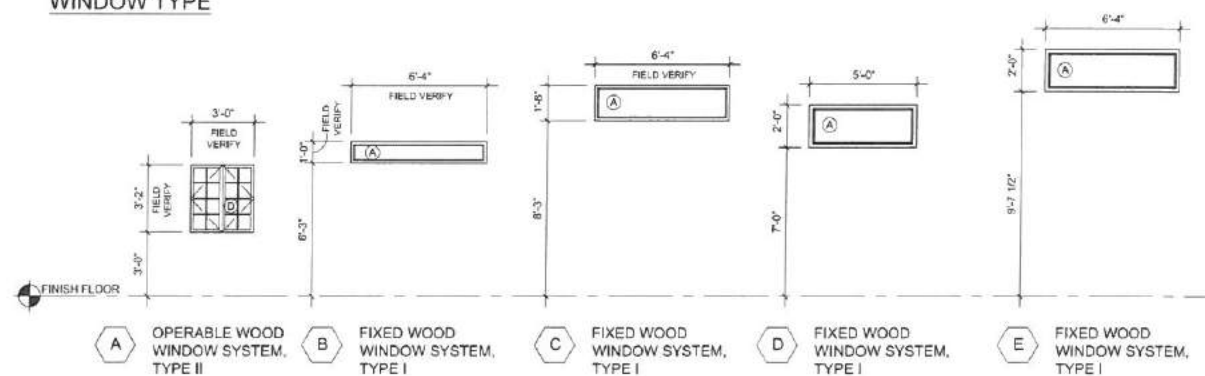
Diagram E: Glass muntins. Dimensions: AS SCHEDULED (width and height), AS SCHEDULED (height of glass lite), 3'-4" (height of muntins). Label: GLASS MUNTINS.

DOOR TYPE

[illegible]

FRAME TYPE

WINDOW TYPE



GLASS AND GLAZING LEGEND		
MARK	DESCRIPTION	COLOR
(A)	1" INSULATED GLASS UNIT	OUTSIDE LITE - SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY (2) INSIDE LITE - CLEAR
(B)	1" INSULATED GLASS UNIT, TEMPERED	OUTSIDE LITE - SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY (2) INSIDE LITE - CLEAR
(C)	1/4" GLASS UNIT,	SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY
(D)	1/4" GLASS UNIT, TEMPERED	SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY

WINDOW SYSTEMS

TYPE I - FACTORY PRIMED FIXED WOOD WINDOWS BY PELLA OR EQUAL

TYPE II - FACTORY PRIMED OPERABLE WOOD WINDOWS SYSTEM BY PELLA OR EQUAL

DOOR & WINDOW SCHEDULE

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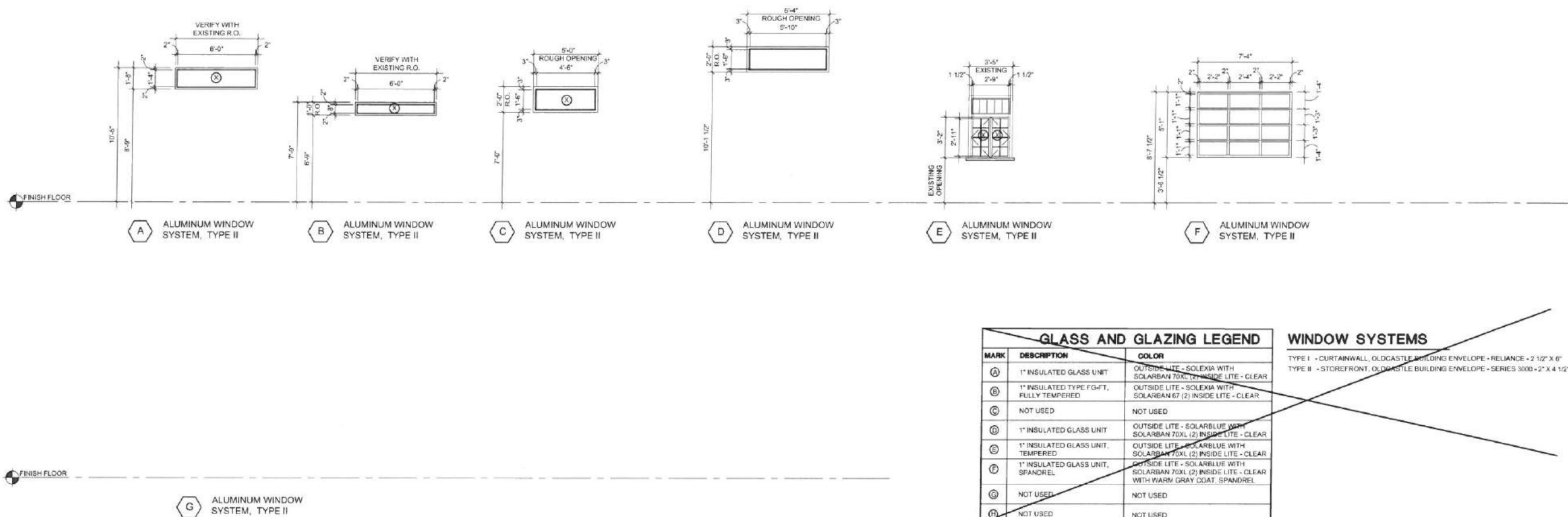
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OF #

WINDOW TYPES



GLASS AND GLAZING LEGEND		
MARK	DESCRIPTION	COLOR
A	1" INSULATED GLASS UNIT	OUTSIDE LITE - SOLEXIA WITH SOLARBAN 70XL (2) INSIDE LITE - CLEAR
B	1" INSULATED TYPE FGFT, FULLY TEMPERED	OUTSIDE LITE - SOLEXIA WITH SOLARBAN 67 (2) INSIDE LITE - CLEAR
C	NOT USED	NOT USED
D	1" INSULATED GLASS UNIT	OUTSIDE LITE - SOLARBLUE WITH SOLARBAN 70XL (2) INSIDE LITE - CLEAR
E	1" INSULATED GLASS UNIT, TEMPERED	OUTSIDE LITE - SOLARBLUE WITH SOLARBAN 70XL (2) INSIDE LITE - CLEAR
F	1" INSULATED GLASS UNIT, SPANDREL	OUTSIDE LITE - SOLARBLUE WITH SOLARBAN 70XL (2) INSIDE LITE - CLEAR WITH WARM GRAY COAT, SPANDREL
G	NOT USED	NOT USED
H	NOT USED	NOT USED

WINDOW SYSTEMS

TYPE I - CURTAINWALL, OLDCASTLE BUILDING ENVELOPE - RELIANCE - 2 1/2" X 6"
TYPE II - STOREFRONT, OLDCASTLE BUILDING ENVELOPE - SERIES 3000 - 2" X 4 1/2"

WINDOW SCHEDULE

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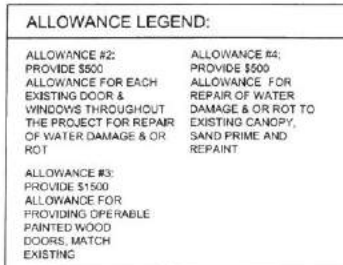
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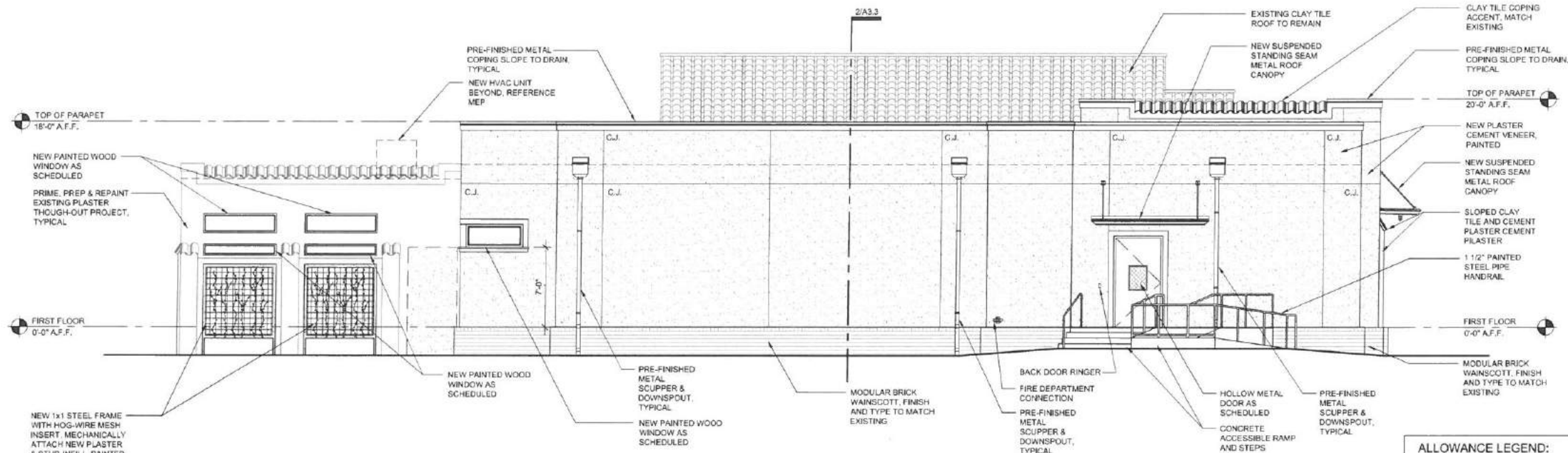
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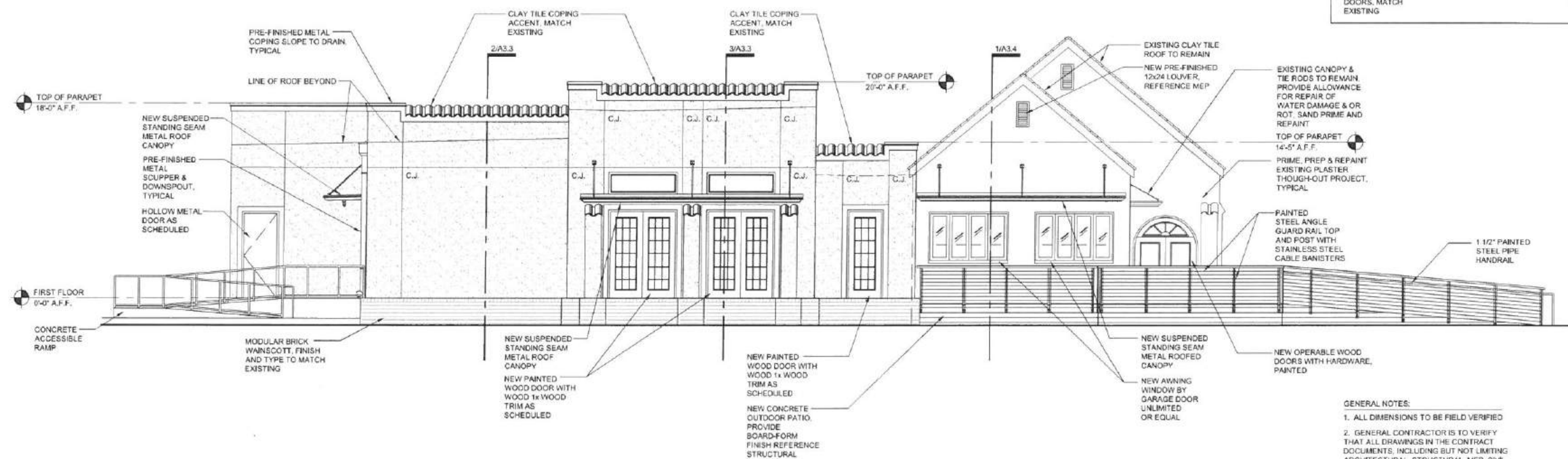
REVISIONS		
NO	DATE	DESCRIPTION



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"

ALLOWANCE LEGEND:

- ALLOWANCE #2:
PROVIDE \$500
ALLOWANCE FOR EACH
EXISTING DOOR &
WINDOWS THROUGHOUT
THE PROJECT FOR REPAIR
OF WATER DAMAGE & OR
ROT
- ALLOWANCE #3:
PROVIDE \$1500
ALLOWANCE FOR
PROVIDING OPERABLE
PAINTED WOOD
DOORS, MATCH
EXISTING
- ALLOWANCE #4:
PROVIDE \$500
ALLOWANCE FOR
REPAIR OF WATER
DAMAGE & OR ROT TO
EXISTING CANOPY,
SAND PRIME AND
REPAINT



2 WEST ELEVATION
SCALE 3/16" = 1'-0"

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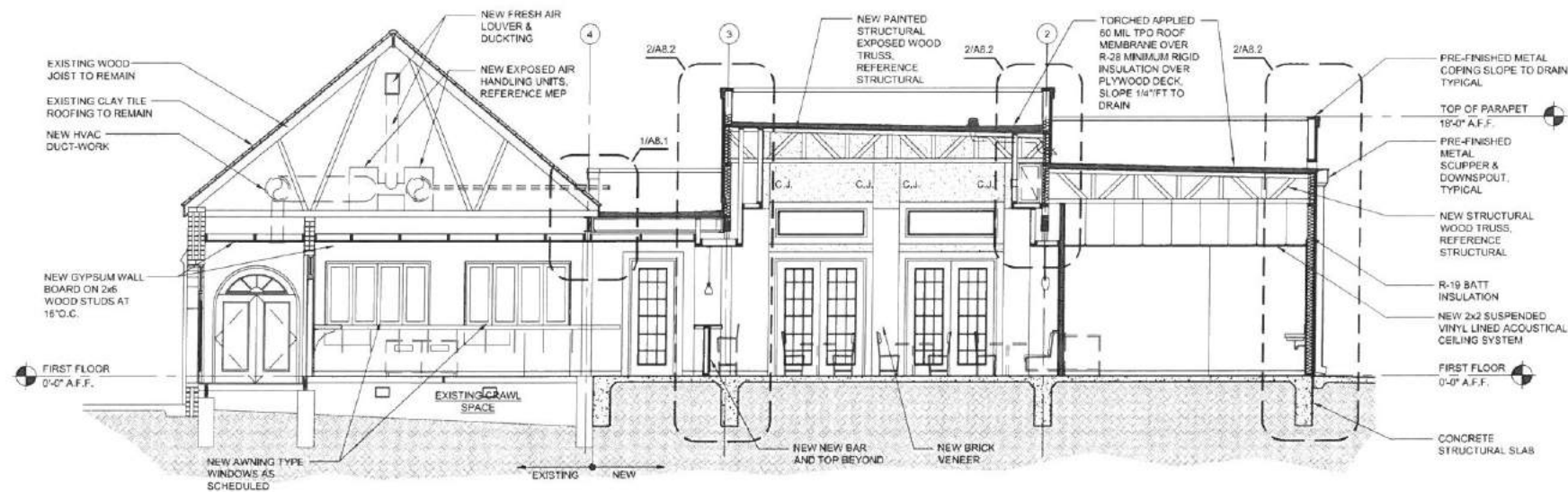
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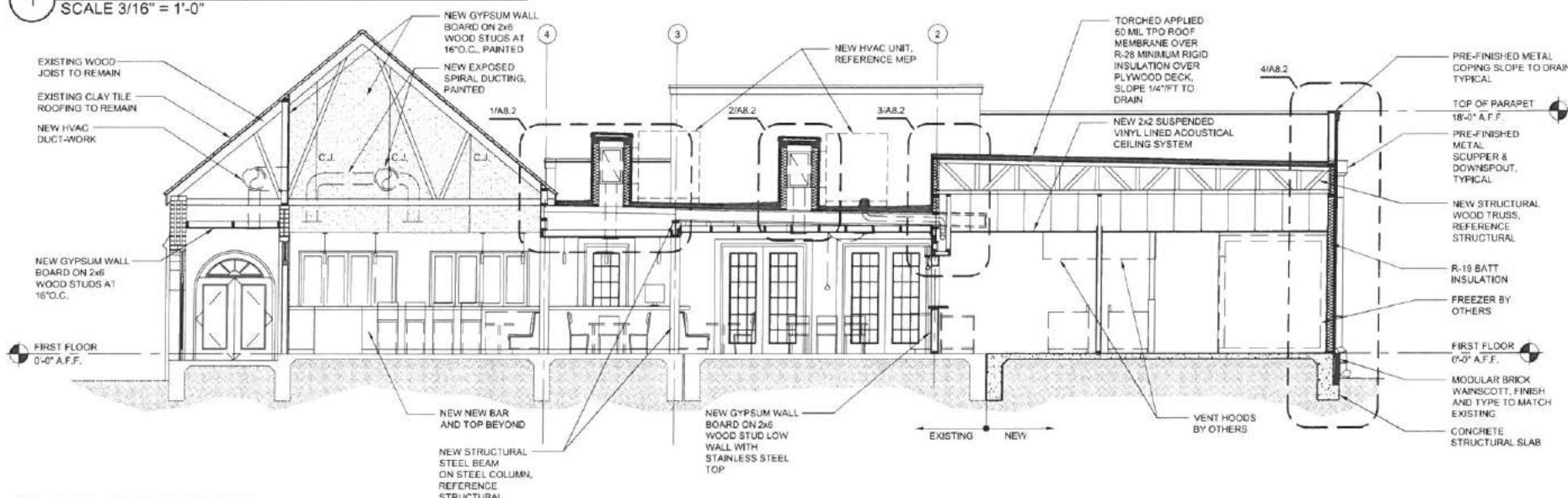
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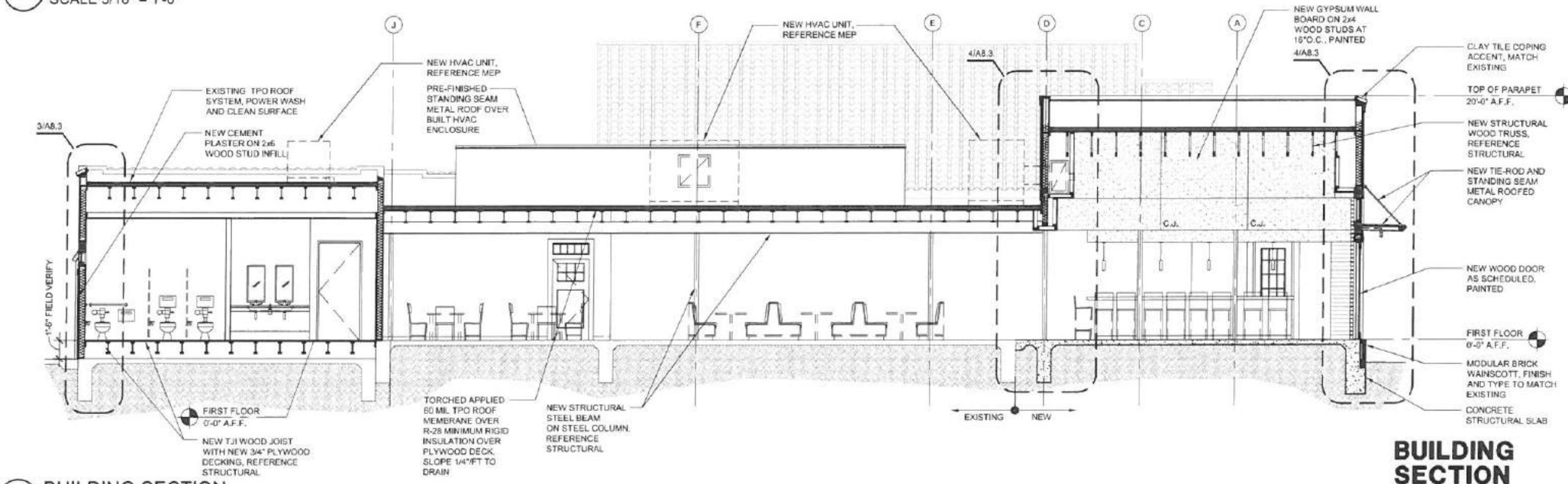
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1 BUILDING SECTION
SCALE 3/16" = 1'-0"



2 BUILDING SECTION
SCALE 3/16" = 1'-0"



3 BUILDING SECTION
SCALE 3/16" = 1'-0"

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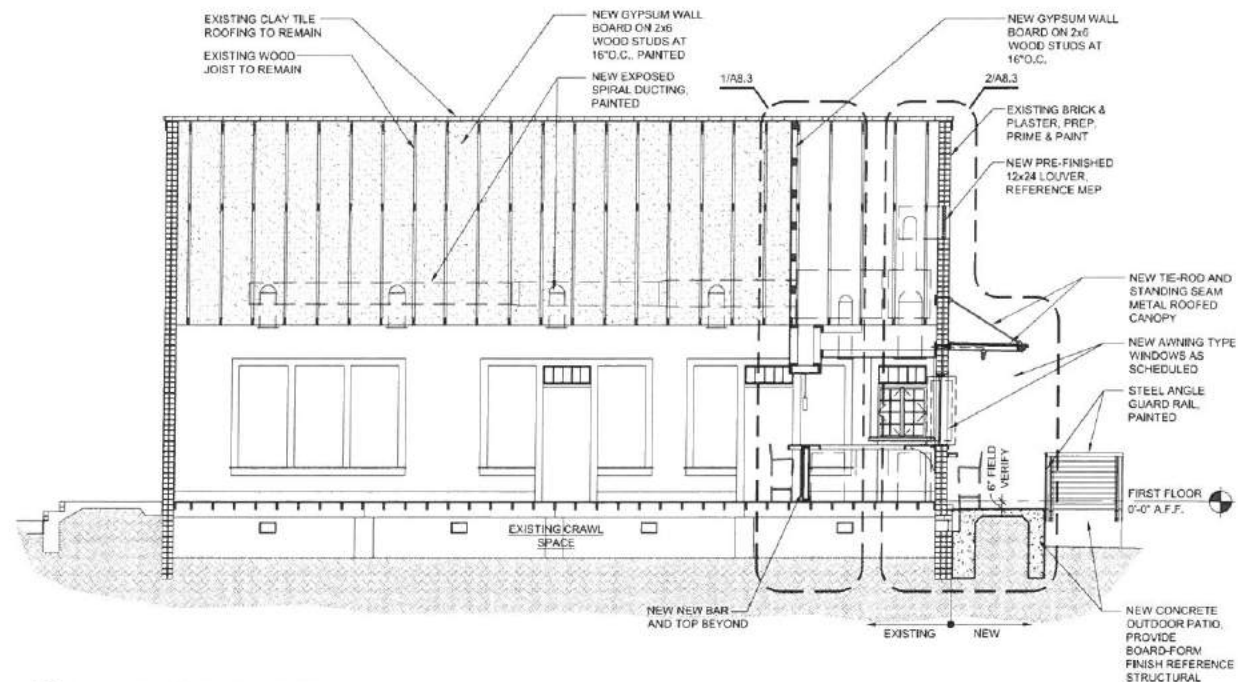
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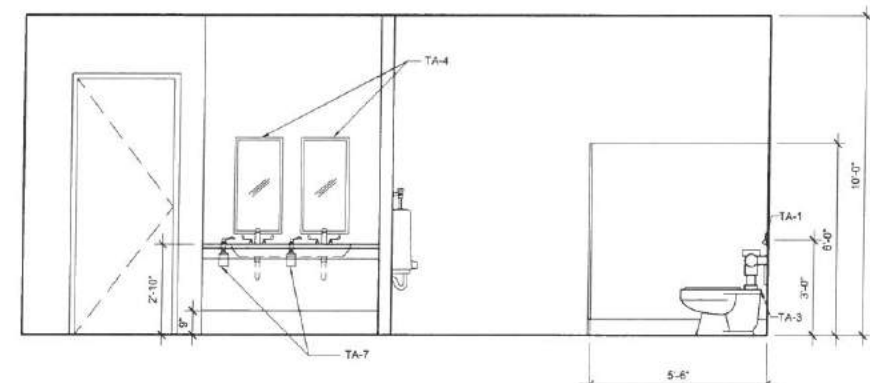
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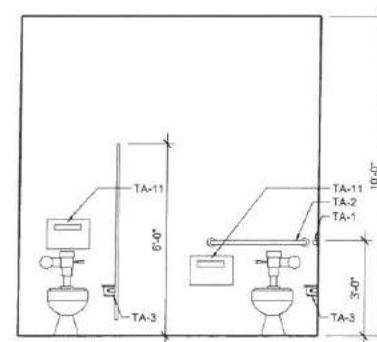
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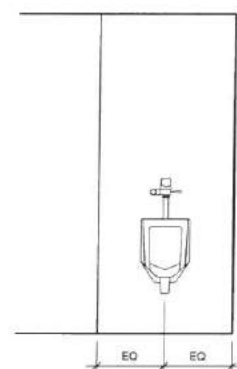
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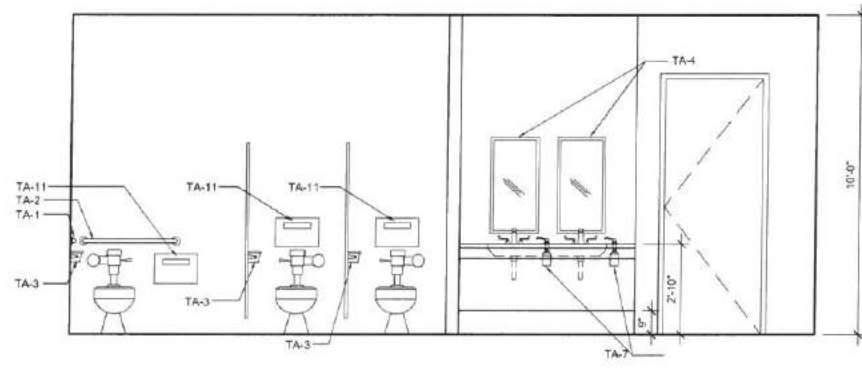
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SCALE 3/8" = 1'-0"



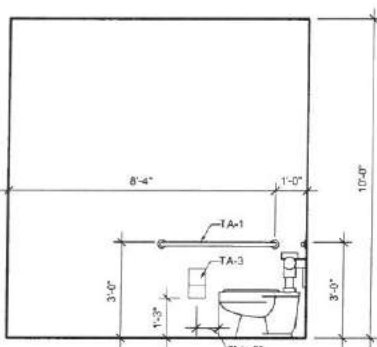
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SCALE 3/8" = 1'-0"



3 INTERIOR ELEVATION
SCALE 3/8" = 1'-0"



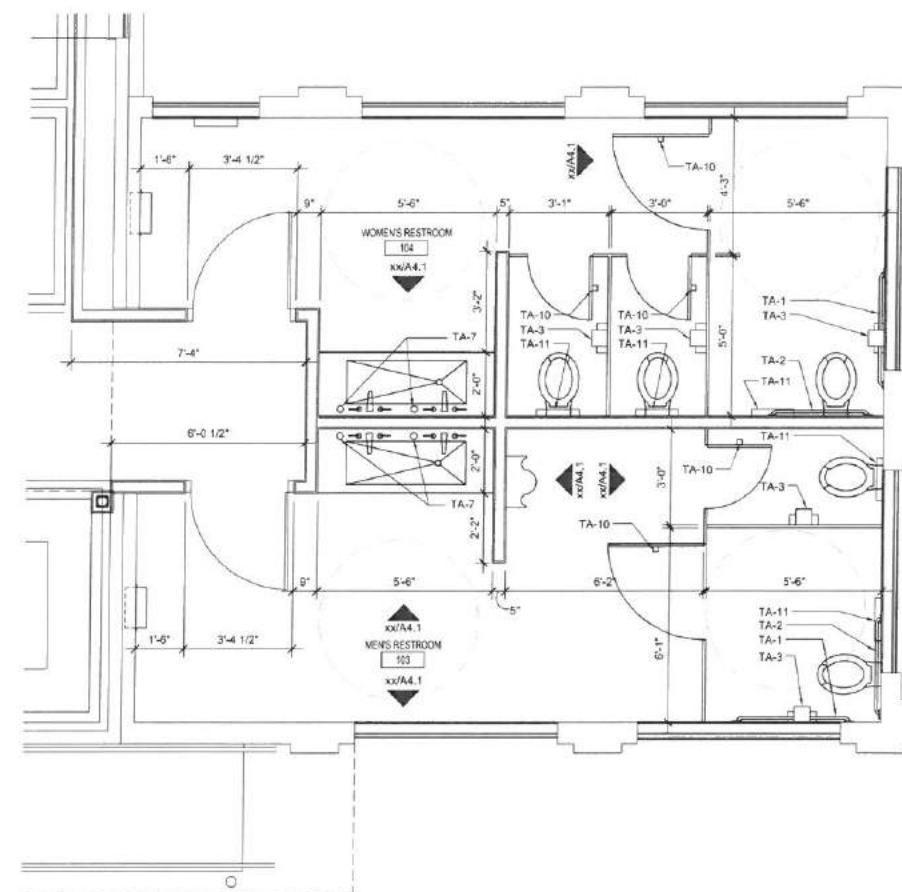
4 INTERIOR ELEVATION
SCALE 3/8" = 1'-0"



5 INTERIOR ELEVATION
SCALE 3/8" = 1'-0"

TOILET ACCESSORIES SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER	MOUNTING HEIGHT
TA-1	42" GRAB BAR	BOBRICK: B-6806-42	36" A.F.F. TO CENTERLINE
TA-2	36" GRAB BAR	BOBRICK: B-6806-36	36" A.F.F. TO CENTERLINE
TA-3	TOILET PAPER DISPENSER	KIMBERLY-CLARK: KCC 09604	MUST BE IN FRONT OF TOILET/ BELOW GRAB BAR @ 36" A.F.F. TO TOP MAX
TA-4	MIRROR		18" X 60" 6'-6" TO TOP
TA-5	NOT USED		
TA-6	SANITARY NAPKIN DISPOSAL	BOBRICK: B-4354	PARTITION, 31" TO TOP OF UNIT
TA-7	SOAP DISPENSER	BOBRICK: B-8226	LAVATORY MOUNTED
TA-8	MIRROR		PLATE GLASS 36" AFF TO BOTTOM EDGE
TA-9	MOP HOLDER/UTILITY SHELF	BOBRICK: B-224	60" A.F.F. AT TOP
TA-10	COAT HOOK	BOBRICK: B-677	48" ADA/ 68" STD. A.F.F. CLEAR COAT ALUMINUM
TA-11	SEAT COVER DISPENSER	BOBRICK: B-4221	BELOW GRAB BAR ADA / 45" A.F.F. RECOMMENDED MOUNTING HEIGHT
TA-12	PAPER TOWEL DISPENSER	BOBRICK: B-26212	48" A.F.F. RECOMMENDED MOUNTING HEIGHT
TA-13	PAPER TOWEL DISPENSER AND RECI.	BOBRICK: B-43944 (RECESSED)	48" A.F.F. TO DISPENSING SLOT

NOTE: PROVIDE PLYWOOD BLOCKING AS REQUIRED FOR ALL TOILET ACCESSORIES LISTED ABOVE.



6 ENLARGED PLAN
SCALE 3/8" = 1'-0"



ENLARGED
PLAN &
INTERIOR
ELEVATION

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REVISIONS		
NO.	DATE	DESCRIPTION

NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

cmp

chesneymoralespartners, inc.
architecture/interior design
8071 Broadway, Suite 250, San Antonio, Texas 78209
210.828.5481 • 210.828.9710 • 1164 E. FM, Box 1010
chesneymoralespartners.com

JOB NO: #1829

DATE: 10/29/18

DRAWN BY: JP

CHECKED BY: JZ

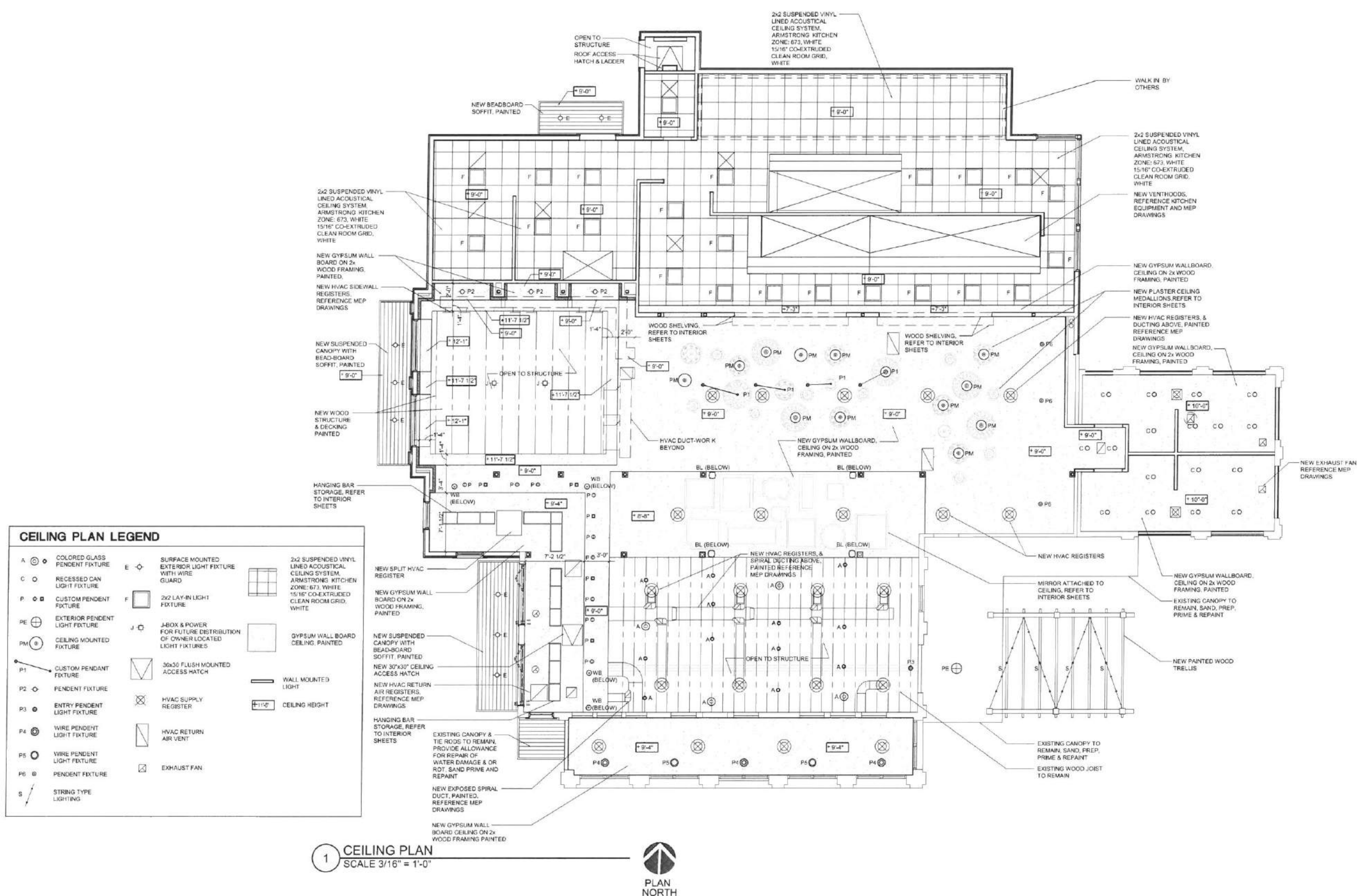
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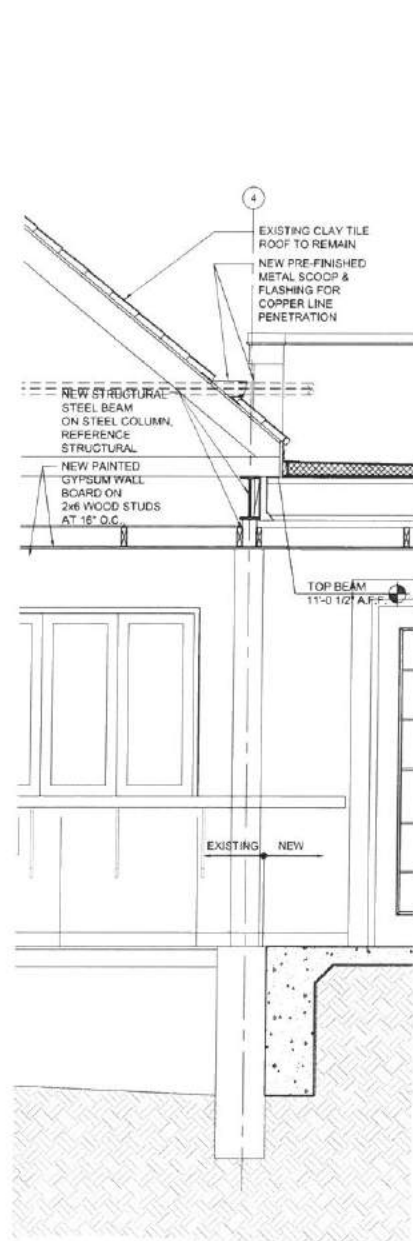
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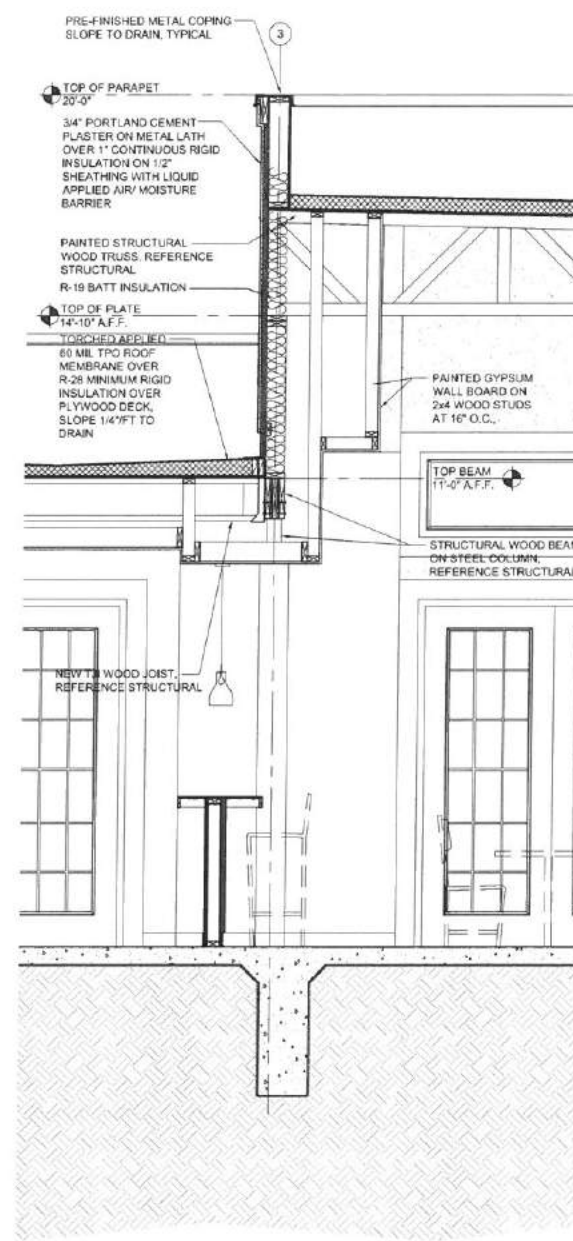
REFLECTED
CEILING
PLAN

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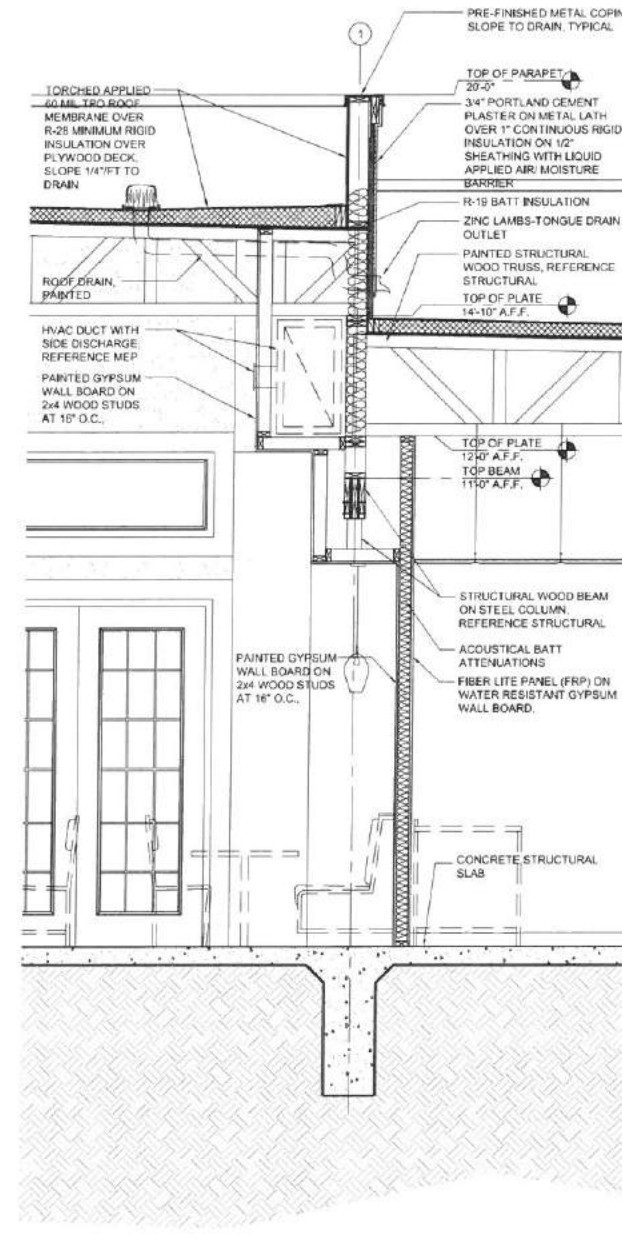




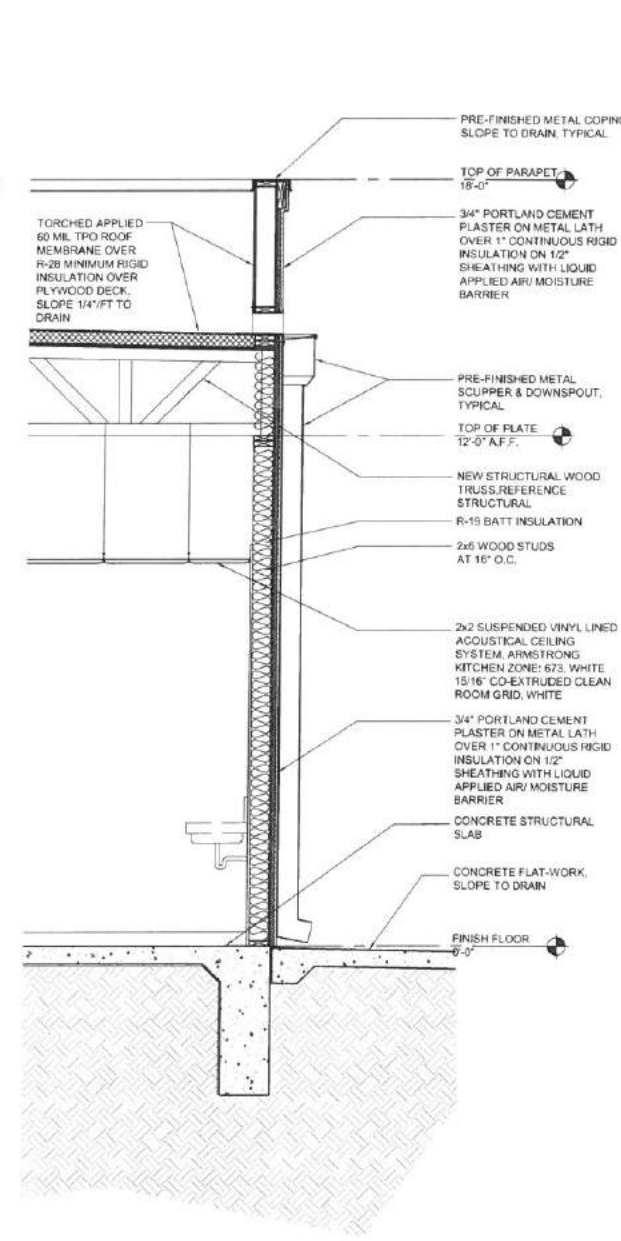
1 WALL SECTION
SCALE 1/2" = 1'-0"



2 WALL SECTION
SCALE 1/2" = 1'-0"



3 WALL SECTION
SCALE 1/2" = 1'-0"



4 WALL SECTION
SCALE 1/2" = 1'-0"

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D.L.

SHEET

A8.1

OF #

WALL SECTIONS

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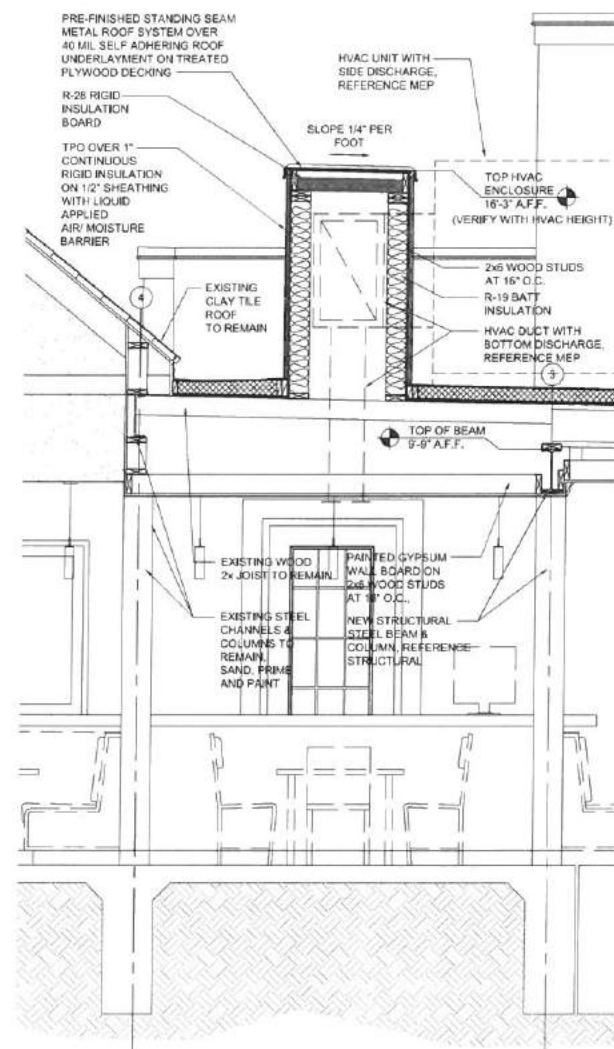
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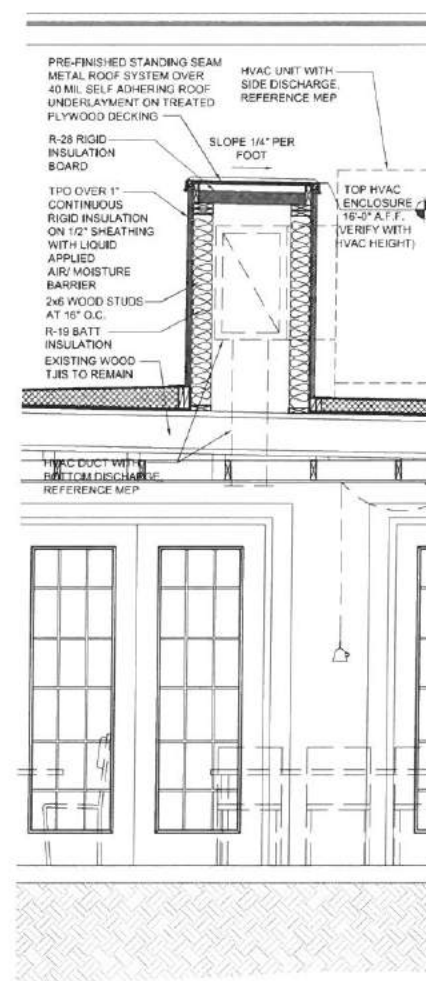
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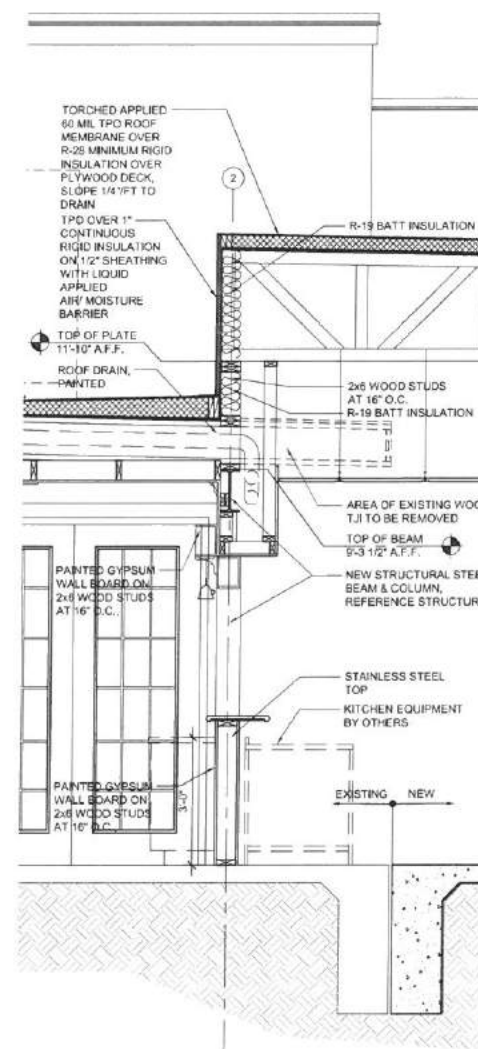
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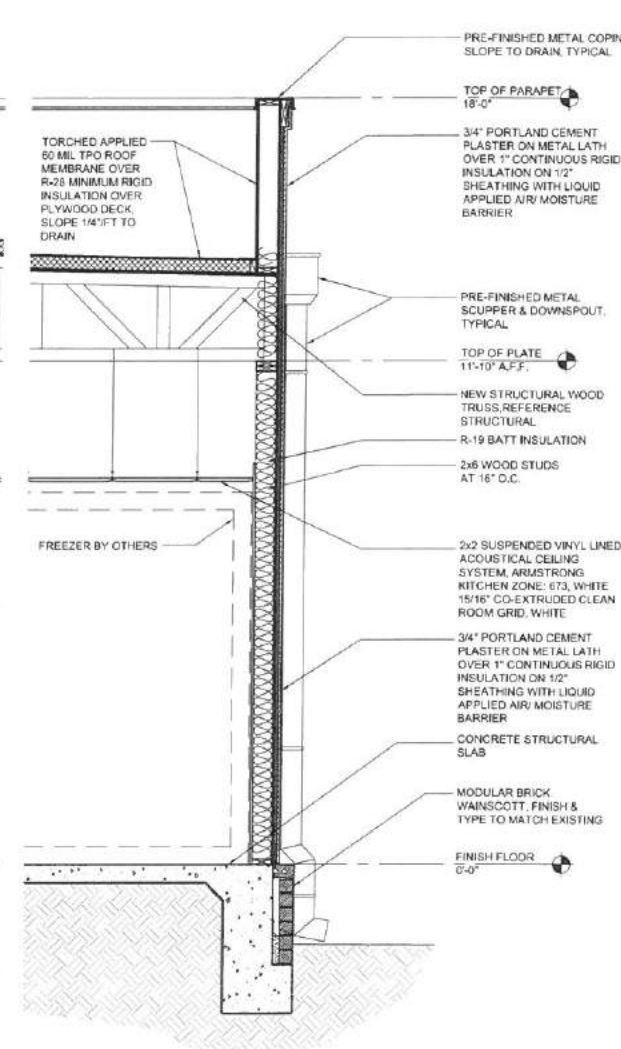
1 WALL SECTION
SCALE 1/2" = 1'-0"



2 WALL SECTION
SCALE 1/2" = 1'-0"



3 WALL SECTION
SCALE 1/2" = 1'-0"



4 WALL SECTION
SCALE 1/2" = 1'-0"

WALL SECTIONS

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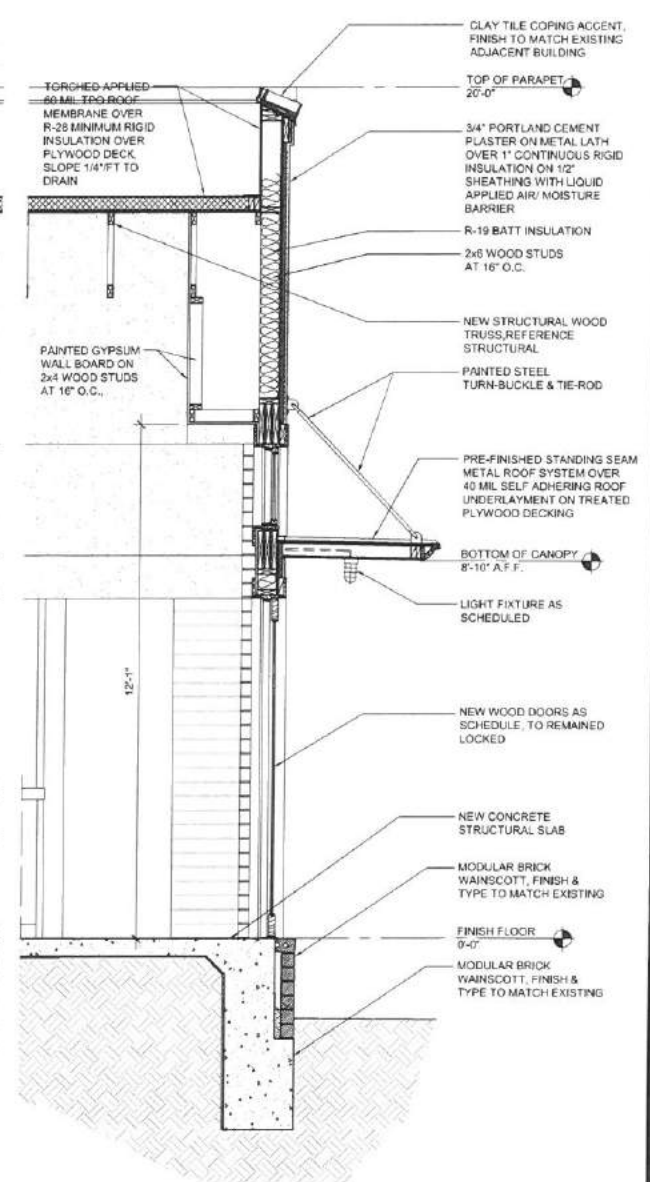
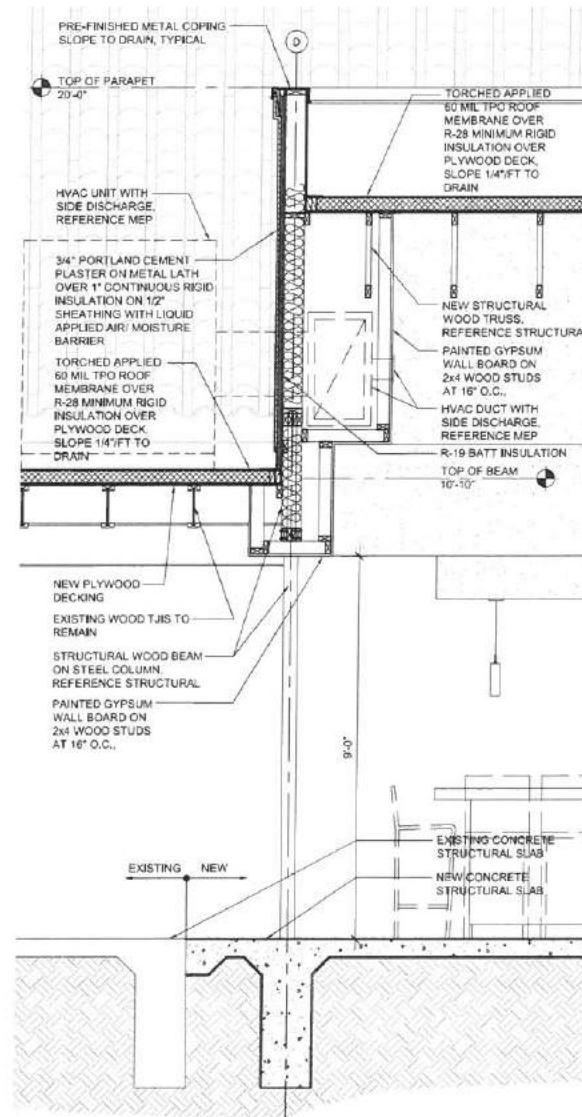
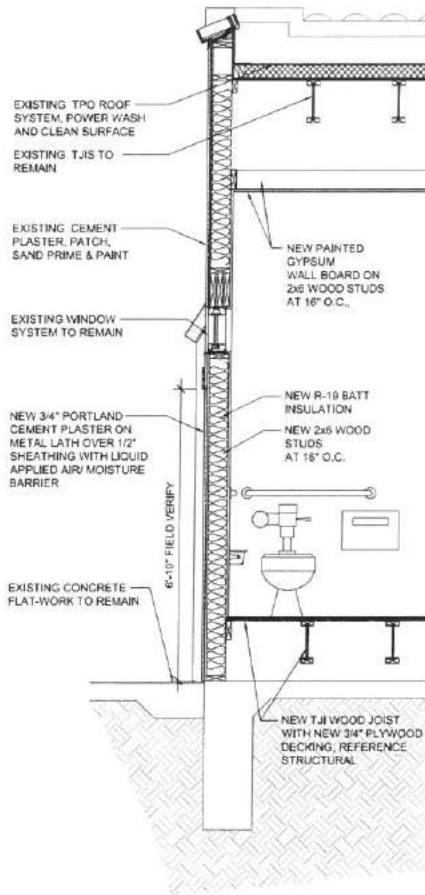
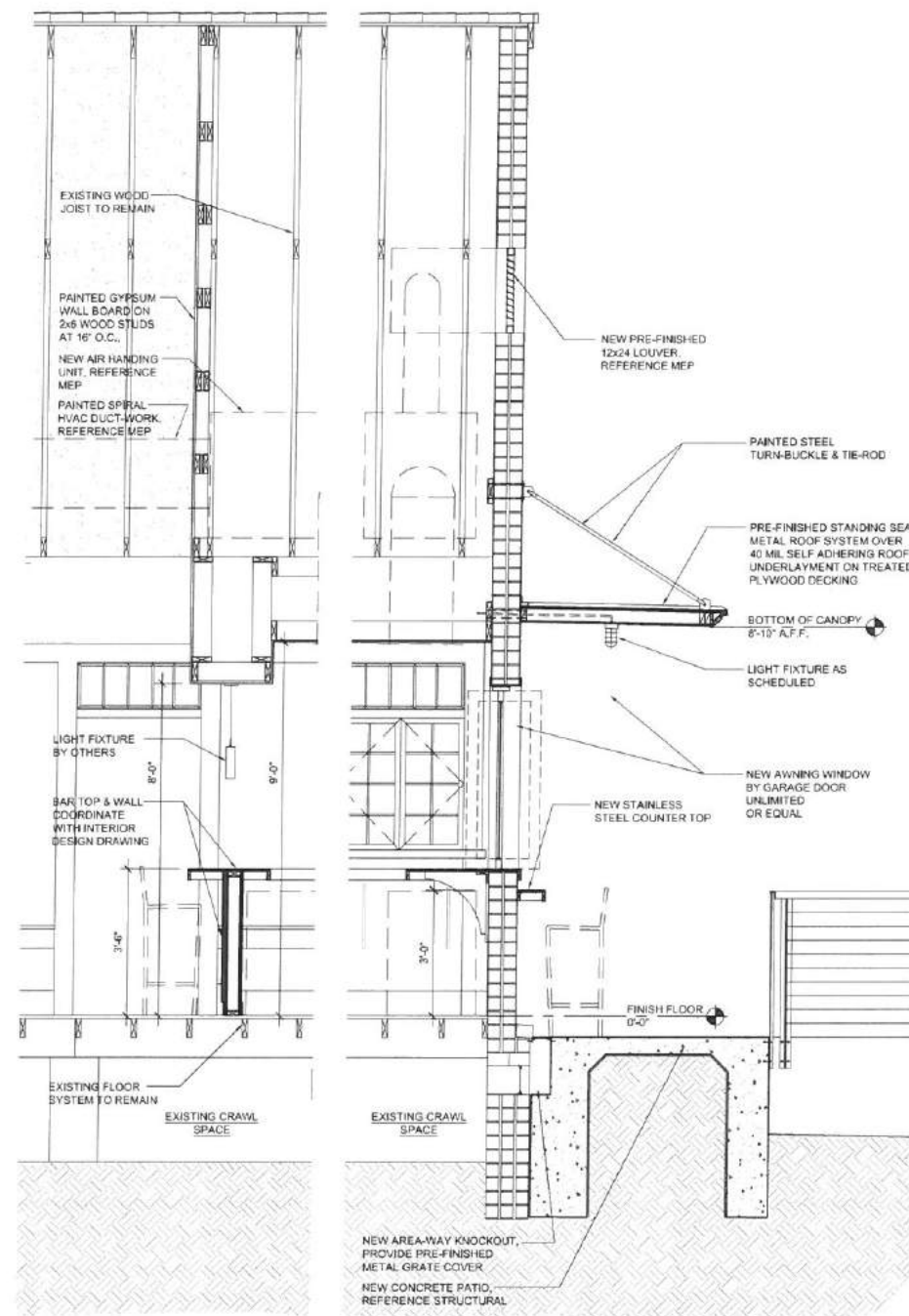
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CHECKED BY: D.L.
SHEET
A8.3
OF #



**WALL
SECTIONS**

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SAN ANTONIO, TX 78209

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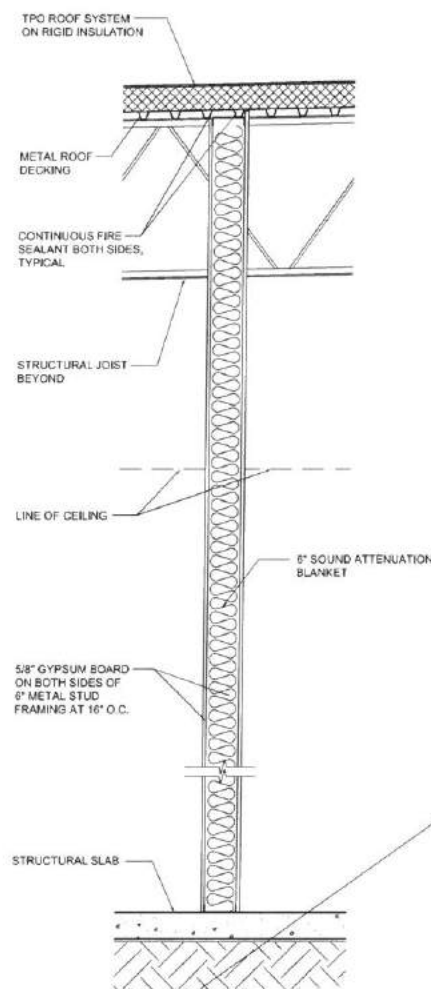
DRAWN BY: JP

CHECKED BY:
F.F.L.

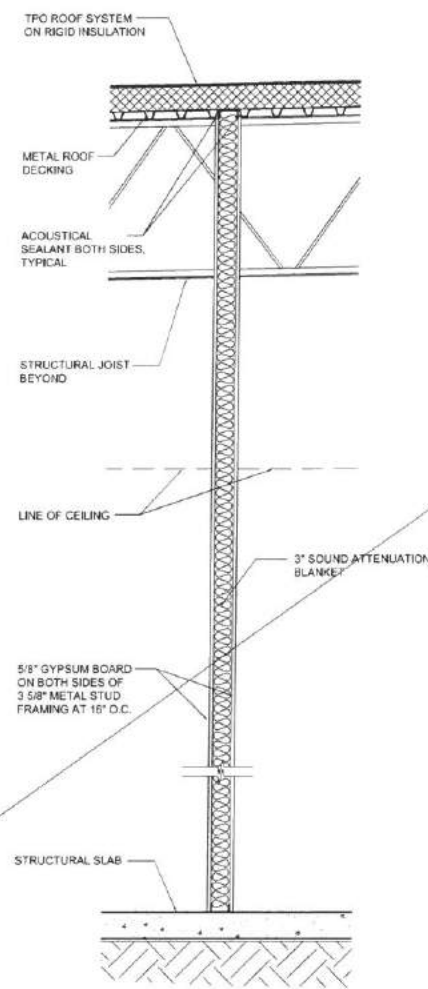
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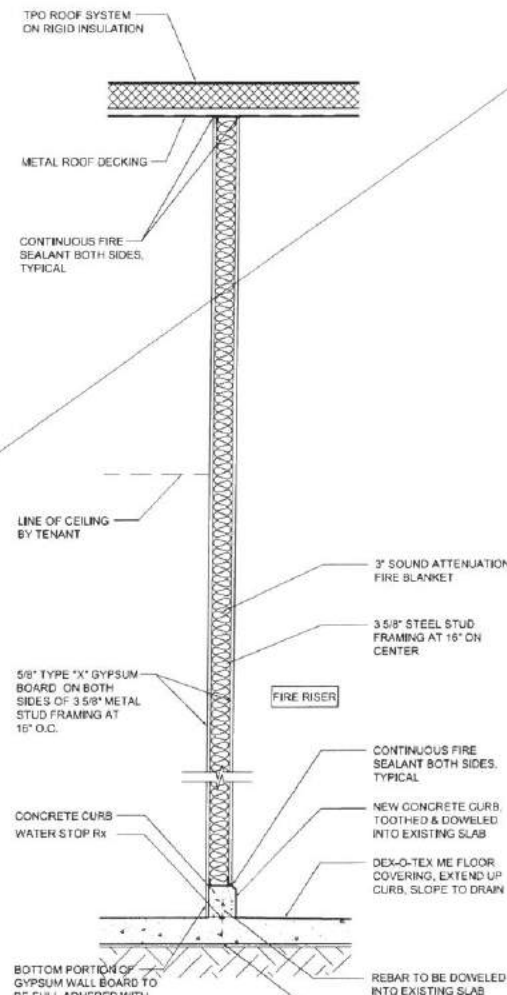
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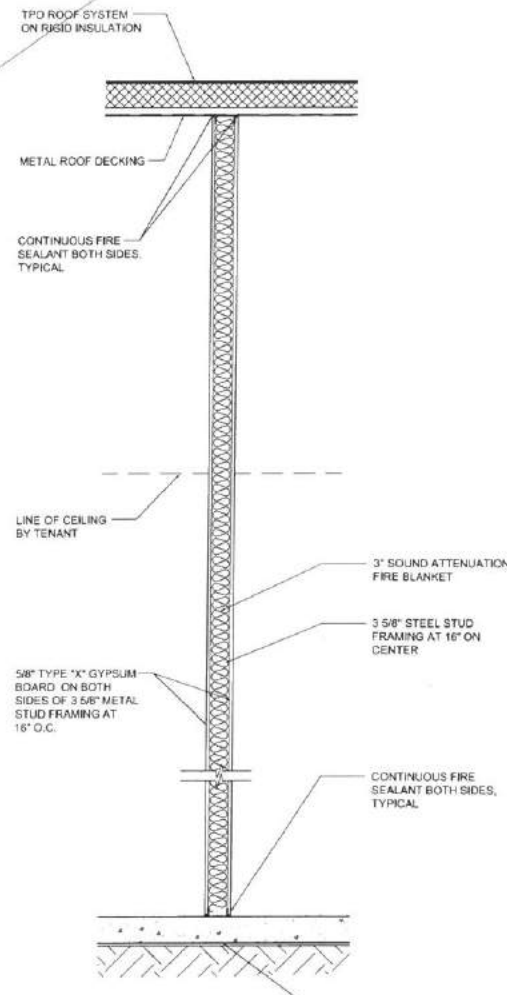
1 INTERIOR PARTITION
SCALE: 3/4" = 1'-0"



2 INTERIOR PARTITION
SCALE: 3/4" = 1'-0"



3 INTERIOR PARTITION
SCALE: 3/4" = 1'-0"
UL-419 1HR PARTITION
ALSO SEE FLOOR PLANS
PARTITION LOCATIONS



4 INTERIOR PARTITION
SCALE: 3/4" = 1'-0"
UL-419 1HR PARTITION
ALSO SEE FLOOR PLANS
PARTITION LOCATIONS

WALL
PARTITION
TYPES

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- 1) **Structural Steel**
 - a) Rolled I-beams, plates, and bars shall be structural quality complying with ASTM A-36 (1/4" to 36 lb). Rolled steel shapes shall be structural quality carbon steel complying with ASTM A-36/A500 dual grade complying with ASTM A992 grade 50
- 2) Structural steel tubular products shall be cold formed structural quality carbon steel, welded or seamless, complying with ASTM A1065
- 3) Cold-formed steel structural members shall be cold formed to shape from carbon or low-alloy, sheet or strip steels complying with ASTM A245 or ASTM A374.
- 4) Pipe columns shall conform to the requirements of ASTM A-53B (Type E or S).
- 5) Structural steel members framing the entry canopy shall be constructed as Architecturally Exposed Structural Steel and shall comply with Section 10, AISC 303-05. Code of Standard Practice for Steel Buildings and Bridges
- 6) Submit for review fabrication and erection shop drawings including profile, sizes, splice locations, spacing and locations of structural members, connections, attachments, anchorage, framed openings, size and type of fasteners and loads.
- 7) Inspection of Fabricators (IBC Chapter 1704.2.5). The fabricator shall submit to the RDP/RC with a copy to the owner a certificate of compliance stating that he fabricated his work either under the inspection services of a special inspector or under the inspection services of his nationally recognized trade organization that requires quality control inspections.
- 8) Fabricate and erect all structural steel according to the drawings and as AISC Manual of Steel Construction recommends.
- 9) Prime paint all structural steel with 1.0 to 1.5 mil dry film thickness Alkyd Primer or equal, except for plates embedded in concrete.
- 10) Heated steel pipe concrete anchors (HCA) shall conform to the requirements of ASTM A 108-587 low carbon steel and shall be fastened according to manufacturer's recommendations. For beams supporting composite decks, those studs shall be spaced at 20" maximum unless noted otherwise.
- 11) Weld according to the drawings requirements and as recommended by applicable AWS specifications. All welds are 1/4" single pass butt welds unless noted otherwise.
- 12) Tighten bolted connections according to the snug-tight method.
- 13) Coordinate structural engineer's review, the building official inspection and the special inspector inspection and testing services.
- 13a) The Building Official shall inspect the primary structural framing. The Building Official accept a review by a licensed professional engineer in place of the Building Official conducting his inspection. (IBC Chapter 110.3.4)
- 13b) The special inspector (SI) shall inspect all welds except for 3/8 inch or smaller fillet welds as recommended by applicable AWS specifications. Special inspector shall review the welder's certification. (IBC Chapter 1705.7.1)
- 13c) The special inspector (SI) shall inspect bolted connections according to AISC specifications for the snug-tight method. (IBC Chapter 1705.2)

The special inspector (SI) shall inspect the steel frame to verify compliance with the details shown on the approved connection documents and/or on the framing, member locations and proper application of joint details at each connection. (IBC Chapter 1705.2)

Wood Framing

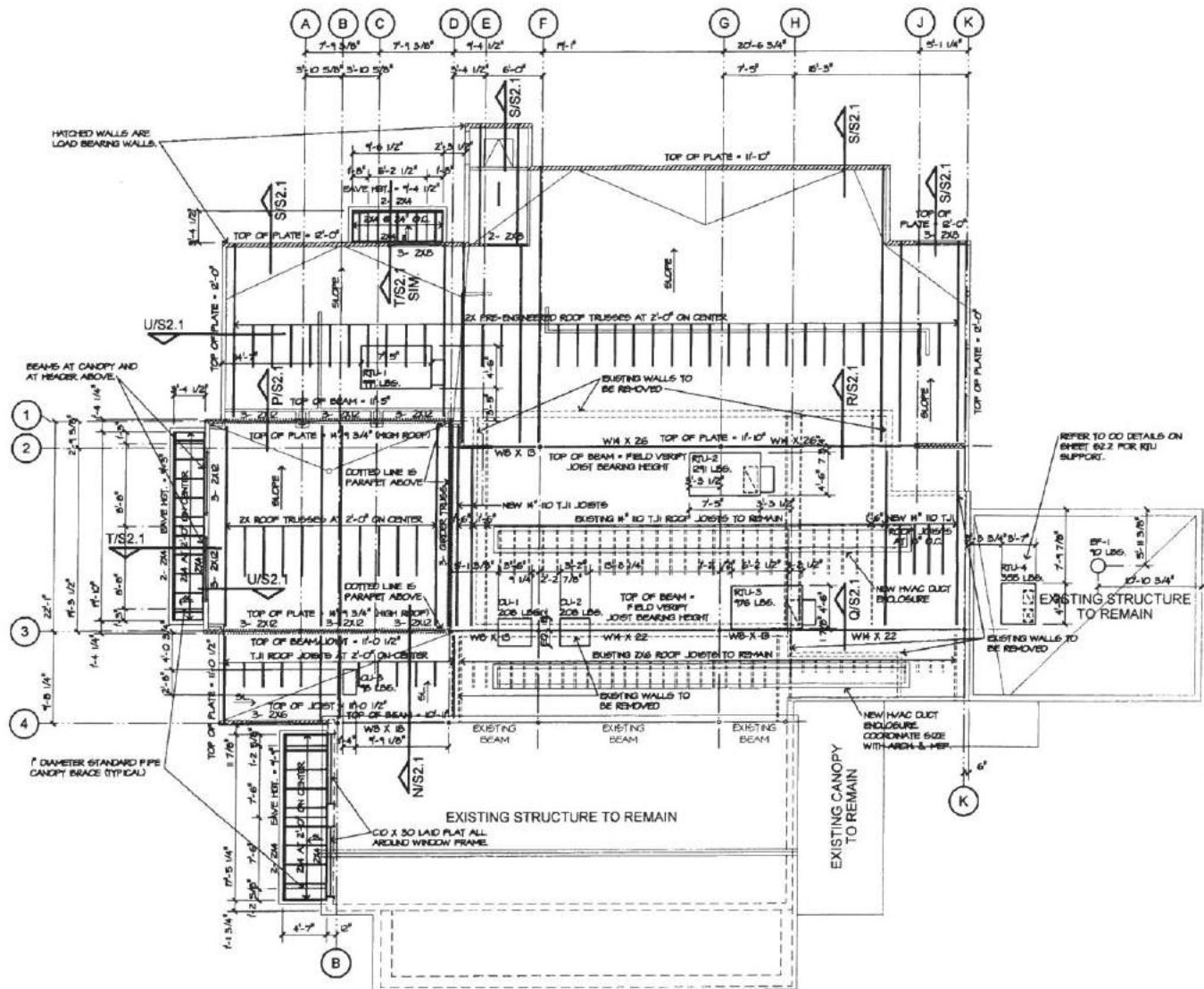
- 1) All lumber shall be PS 20, new and undamaged graded lumber in accordance with NFPA Grading Rules. Lumber species specified do not include receptive member use. Framing members shall be S4S unless noted otherwise. All wood bearing on concrete or masonry shall be waxed/knotted. All structural framing lumber shall be #2 grade or better and as noted below.
 - a) Horizontal Rafter framing (2x6 - 2x12) shall consist of #2 southern yellow pine (SPY) with 18 percent moisture content having no less than an allowable bending stress (F_b) of 1,500 psi (2x6), 1,250 psi (2x8), 1,200 psi (2x10), 1,050 psi (2x12) and E of 1,600,000 psi. A Modulus of Elasticity of 1,500,000 psi, and an allowable stress of 90 psi.
 - b) Vertical Rafter framing (2x6 and 2x8) shall consist of #2 spruce-pine-fir (SPF) having no less than an allowable bending stress (F_b) of 875 psi, a Modulus of Elasticity of 1,400,000 psi, and an allowable shear stress of 70 psi, unless indicated otherwise. All wood bearing on concrete or masonry shall be waxed/knotted.
 - c) All framing designated as BCI, TPI or LPI joists on the plans shall consist of solid plywood web joists manufactured by Some-Case or the True-Joist Corp. or Louisiana Pacific, respectively.
 - 2) Nails, spikes, and staples shall be galvanized for exterior locations, high humidity locations, and treated wood, plain finish for other exterior locations, size and type to suit application. Typical nailing shall be with common nails. Exterior zinc-plated sheathing shall be nailed with #11 gauge, 1 3/4" long, 7/16" head, diamond-point, galvanized cooler nails, or cadmium plated W-bugle head screws 1 1/4" long. Staples shall not be used instead of required nails.
 - 3) Bolts, nuts, washers, lugs and screws shall be medium carbon steel, size and type to suit application; galvanized for exterior locations, high humidity locations, and treated wood, plain finish for other exterior locations.
 - 4) Fasteners shall be toggle bolt type for anchorage to hollow masonry, expansion shield lag bolt type for anchorage to solid masonry or concrete, bolts or powder actuated nails by Ancon to steel.
 - 5) Adhesives shall be gun grade acrylic compound, such as Liquid Nails by Maxco Adhesives.
 - 6) Bottom plate anchors to foundation shall be A307 carbon steel, 1/2" diameter shank, with 7" embedment into the foundation with 90 degree bend. Fasten to plates with hexagonal head nuts and cotter washers. Provide continuous band of sealant between plate and foundation. Interior non-load bearing wall bottom plates may be fastened to foundation with powder driven fasteners instead of with bolts.
 - 7) Floor Truss Hangers shall be Simpson Strong-Tie light double shear joist hangers Model LUS410, or equal having an allowable load capacity of at least 1875 lb.
 - 8) Plywood sheathing clips shall be Simpson Strong-Tie 20 gauge galvanized steel x plywood thickness.
 - 9) Unless otherwise indicated, use type LUS joist hangers as manufactured by the Simpson Company for flush type joist connections to supporting beams. Column cap and beam connections shall be as manufactured by The Simpson Company, type as recommended by the manufacturer for the size of joist or column and beams being connected.
 - 10) Subnet evidence of compliance with specified requirements showing design loads for selected species and grades. Indicate size and depth of each member, fasten to joist with joist joists, joist and beam, framed openings, bearing and anchor details, bracing and bracing.
 - 11) Store framing material a minimum of 12" above ground in a manner to allow for proper drainage, ventilation and protection from the weather.
 - 12) The Manual of House Framing by National Lumber Manufacturers Association shall set the minimum standard of workmanship in framing miscellaneous blocking, furring, nailing edges, framing, and sheathing. Install members true, plumb, and level, install shimming where required to set framing in proper alignment. Secure framing in place. Space miscellaneous framing and furring no more than 24 inches on center. Construct members of continuous length or for best possible lengths. Framing members shall be nailed with no less than 2x16 nails, or as noted. Provide rough hardware as indicated. Comply with Fair Housing Act provisions. Install fire and draftstop according to code requirements.
 - 13) Make proper provisions for the Work of other trades. Refer to the Drawings for wood blocking and plywood required as back-up and framed openings for all other trades and their accessories. All bedrooms on all handicap accessible levels shall receive solid 2x6 web blocking for grab bars at toilets and tub/shower surrounds.
 - 14) At headers built-up with multiple SPY #1822 2x members, nail together with at least: 16d nails at 16" on center along each edge and 1x12 nail 1-12d nail 16" on center depth of header. Provide plywood spacers between 2x members to widen header to the width of the stud wall.
 - 15) Framing members shall be installed within 1/4" from true position. Square end cuts shall be within 1/16" per end and width. End surfaces shall be set to provide contact over substantially the entire surface. Lengths of framing members shall be 11'6" + or - 1/2" per foot in length, and 11'6" per 20 feet of specified length for members over 20 feet in length.
 - 16) Maintain sheathing surface flatness of maximum 1/8 inch in 10 feet or more.
 - 17) Install building paper on all exterior walls. Install horizontally and weather lap a minimum of 2" for horizontal joints and 6" for vertical joints. Stagger vertical joints. Staple securely with roof tin caps.
 - 18) Coordinate structural engineers review, the building official inspection and the special inspector inspection and testing services.
- The Building Official shall inspect the primary structural framing. The Building Official may accept a review or a professional engineer in place of the Building Official conducting his inspection.
(ISC Chapter 110.3.4)


Prefabricated Wood Trusses

- 1) Design of plate connected trusses shall conform to National Design Standards (NDS-91), Truss Plate Institute Criteria (TP1-78).
 - 2) Truss fabrication shall comply with TPI Quality Control Standards (QCM-77). Truss paint shall be inspected by third party certification agency.
 - 3) Inspection of Fabrication (IBC Chapter 1704.2.5). The fabricator shall submit to the RDP/RC with a copy to the owner and the general contractor a certificate of compliance stating that he fabricated his work either under the inspection services of a special inspector or under the inspection services of his nationally recognized trade organization that requires quality control inspections.
 - 4) True design and layouts shall be sealed by a Licensed Professional Engineer and submitted to the owner for review prior to fabrication. Submittal shall clearly indicate design loads, member stresses, lumber grades, splice locations, required bracing, bridging, bracing, placement, placement procedures, load bearing walls, true designation, building number, and name of project. Loadings shall be as noted and indicated on the drawings. Any non-sheathed and sealed submittal will not be reviewed.
 - 5) During construction trusses shall be erected, braced, and blocked in accordance with commentary and drawings. All temporary bracing shall not be removed and connected permanent unless removal is required for completion of work.
 - 6) Provide permanent 2x lateral "X" bracing in the plane of the truss webs and frame at a 45 degree angle lateral to each drawing truss with at least 2-16d nails. The "X" bracing shall align with the bottom chord lateral bracing and occur at each end of the building and at 25' intervals.
 - 7) Roof trusses shall be connected to bearing plate with Simpson Strong Tie Hurricane Clips. Clip type to be specified after signed and sealed submittal are reviewed. Attach clip as recommended by the person.
 - 8) Provide pre-engineered truss true connecting between trusses at all shear wall locations. Truss supplier shall provide truss shear block to true component connections. Shear block shall be full height of truss assembly.
 - 9) Attach logs of non-load bearing walls to truss bottom chord with Simpson Strong Tie STC Roof Truss Clips attached as recommended.
- Special inspections of the fabrication processes of prefabricated wood elements and assemblies shall be in accordance with Section (IBC Chapter 1704.2.5)

List of IBC Chapter 17 Special Inspections

IBC Section	Special Inspections	Applicable	Location
1705.1.1	Special Cases	No	
1705.2	Steel Construction	Yes	Structural Steel Notes
1705.3	Concrete Construction	Yes	Concrete Notes
1705.4	Masonry Construction	No	
1705.5	Wood Construction	No	Wood Framing Notes
1705.6	Soils	Yes	Earthwork Below the Building Notes
1705.7	Driven Deep Foundations	No	
1705.8	Cast-In-Place Deep Foundations	No	
1705.9	Helical Pile Foundations	No	
1705.10	Fabricated Joints	No	
1705.11	Special Inspections for Wind Resistance	No	
1705.12	Special Inspections for Seismic Resistance	No	
1705.13	Testing for Seismic Resistance	No	
1705.14	Sprayed Fire-Resistant Materials	Refer To Architectural	
1705.15	Mastic and Intumescent Fire-Resistant Coating		
1705.16	EIFS		
1705.17	Fire-Resistance Penetrations and Joint		
1705.18	Testing for Smoke Control		
1706	Design Strengths of Materials	No	
1707	Alternative Test Procedures	No	
1708	In-Situ Load Tests	No	
1709	Preconstruction Load Tests	No	



 **Roof Framing Plan**

0 8' 16'

Verify all dimensions prior to construction.



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7300 Jones Maltsberger
San Antonio, Texas 78209
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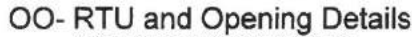
STRUCTURAL / CONSTRUCTION ENGINEERS

REVISION	DESCRIPTION	DATE	JOB NO.
REV. #	DESCRIPTION	DATE	95109-4
			DATE
			Sept. 2, 2018
			SHEET
			S1.2

Register Consultants LLC, Structural / Construction Engineers • 2702 N Loop 1604 E, Suite 201 • San Antonio, Texas, 78232 • Phone (210) 824-2608 • Fax (210) 496-0330

1.1) Existing construction to remain

- [illegible]



Coordinate RTU locations with architectural / MEP drawings

BEICKER CONSULTANTS, LLC

STRUCTURAL / CONSTRUCTION ENGINEERS

REVISION	DESCRIPTION	DATE	JOB NO
REV. #	DESCRIPTION	DATE	95109-4
			DATE
			Sept. 2, 2018
			SHEET
			S2.2

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PRELIMINARY:
FOR INTERIM REVIEW NOT
FOR CONSTRUCTION, BIDDING
OR PERMIT PURPOSES

ENGINEER: STEPHEN MITCHELL
P.E. SERIAL NUMBER: #99315
DATE: 11-16-18
TYPE FIRM REG. NO. #F-4137

REVISIONS		
NO	DATE	DESCRIPTION

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chesneymorales.com

JOB NO: 1829

DATE: 11/16/18

DRAWN BY:

CHECKED BY:
SALM

SHEET

MEP1.1

CF *

ELECTRICAL SITE PLAN KEYED NOTES (SHEET MEP1.1 ONLY)

- 1 THROUGH LIGHTING CONTACTOR; SEE 2/E4.1.
- 2 2#12, 1#12 GND 3/4".
- 3 2#10, 1#10 GND, 3/4".
- 4 EXISTING DEVICE; LOCATE AND INTERCEPT EXISTING WIRE AND CONDUIT BELOW GRADE AND EXTEND TO NEW PANEL AS INDICATED.
- 5 EXISTING AREA LIGHT; CLEAN AND RELAMP.
- 6 EXISTING FLOOD LIGHT; SHALL BE REMOVED. EXTEND CIRCUIT TO NEW SIGN CIRCUIT LOCATION.

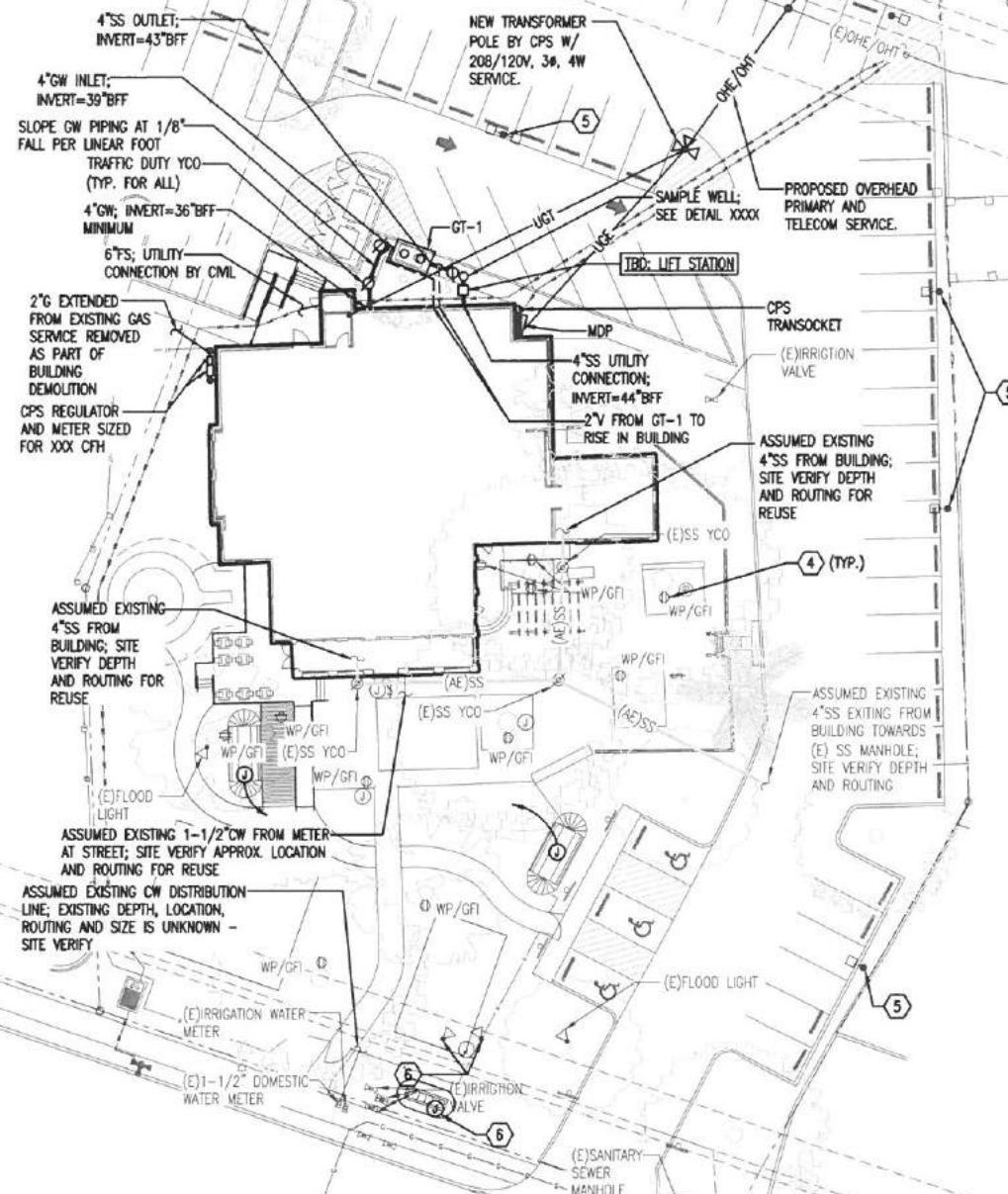
GENERAL SITE ELECTRICAL NOTES:

1. CALL 811 TO SUBMIT A LOCATE REQUEST. CONTRACTOR TO DETERMINE THE PRESENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SUCH AS TELEPHONE, ELECTRIC POWER, WATER, GAS, SEWAGE LINES, ETC. WHETHER PREVIOUSLY EXISTING OR AS INSTALLED BY OTHER TRADES, PRIOR TO THE START OF CONSTRUCTION.
2. HAND DIG IN AREAS SUSPECTED TO CONTAIN EXISTING OR NEW UTILITIES.
3. ALL SITE UNDERGROUND CONDUIT SHALL BE BURIED A MINIMUM OF 24 INCHES DEEP BELOW FINISHED GRADE UNLESS OTHERWISE NOTED. MINIMUM CONDUIT SIZE BELOW GRADE SHALL BE 3/4".
4. PROVIDE ANSI COLOR TAPE FOR IDENTIFICATION AT 18 INCHES DEEP ABOVE SERVICE CONDUIT RUNS.
5. ALL CONDUIT ELBOWS AND TURNS SHALL BE MADE WITH LONG SWEEP ELBS.
6. CONTRACTOR SHALL PROVIDE ALL EXCAVATING AND BACK FILLING REQUIRED FOR ALL NEW WORK INCLUDING FILL, COMPACTION, SURFACE, ETC. TO MEET ALL REQUIREMENTS AS APPLICABLE FOR THE AREA.
7. TELEPHONE AND CABLE TV CONDUITS SHALL BE BURIED 24" MINIMUM BELOW GRADE, WITH LONG SWEEP TURNS AND A MINIMUM SEPARATION OF 2'-0" FROM POWER CONDUITS. COORDINATE ALL SERVICE CONDUIT ROUTING WITH UTILITY COMPANY REPRESENTATIVES.
8. COORDINATE ALL ELECTRICAL SERVICE REQUIREMENTS WITH POWER UTILITY COMPANY REPRESENTATIVE PRIOR TO BEGINNING WORK.
9. CONTRACTOR SHALL MAINTAIN AN AS-BUILT DIMENSIONAL DRAWING ON SITE SHOWING ALL UNDERGROUND CONDUIT ROUTING AND TERMINATION POINTS.
10. SECONDARY POWER CONDUIT, TELEPHONE SERVICE CONDUIT, AND CABLE TV CONDUIT ROUTING SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. ACTUAL ROUTING AND TERMINATION POINTS SHALL BE VERIFIED AND COORDINATED WITH OWNER AND LOCAL UTILITIES PRIOR TO START OF WORK.
11. PROVIDE PULL-STRING IN ALL EMPTY CONDUITS. CAP EMPTY CONDUITS BELOW GRADE WATER TIGHT.
12. DO NOT TRENCH OR ROUTE CONDUIT WITHIN DRIP LINES OF EXISTING TREES.
13. REPAIR AT NO ADDITIONAL COST TO OWNER OR A/E DAMAGE TO ALL EXISTING SITE ELEMENTS AS REQUIRED TO MATCH EXISTING PRECONSTRUCTION CONDITIONS.

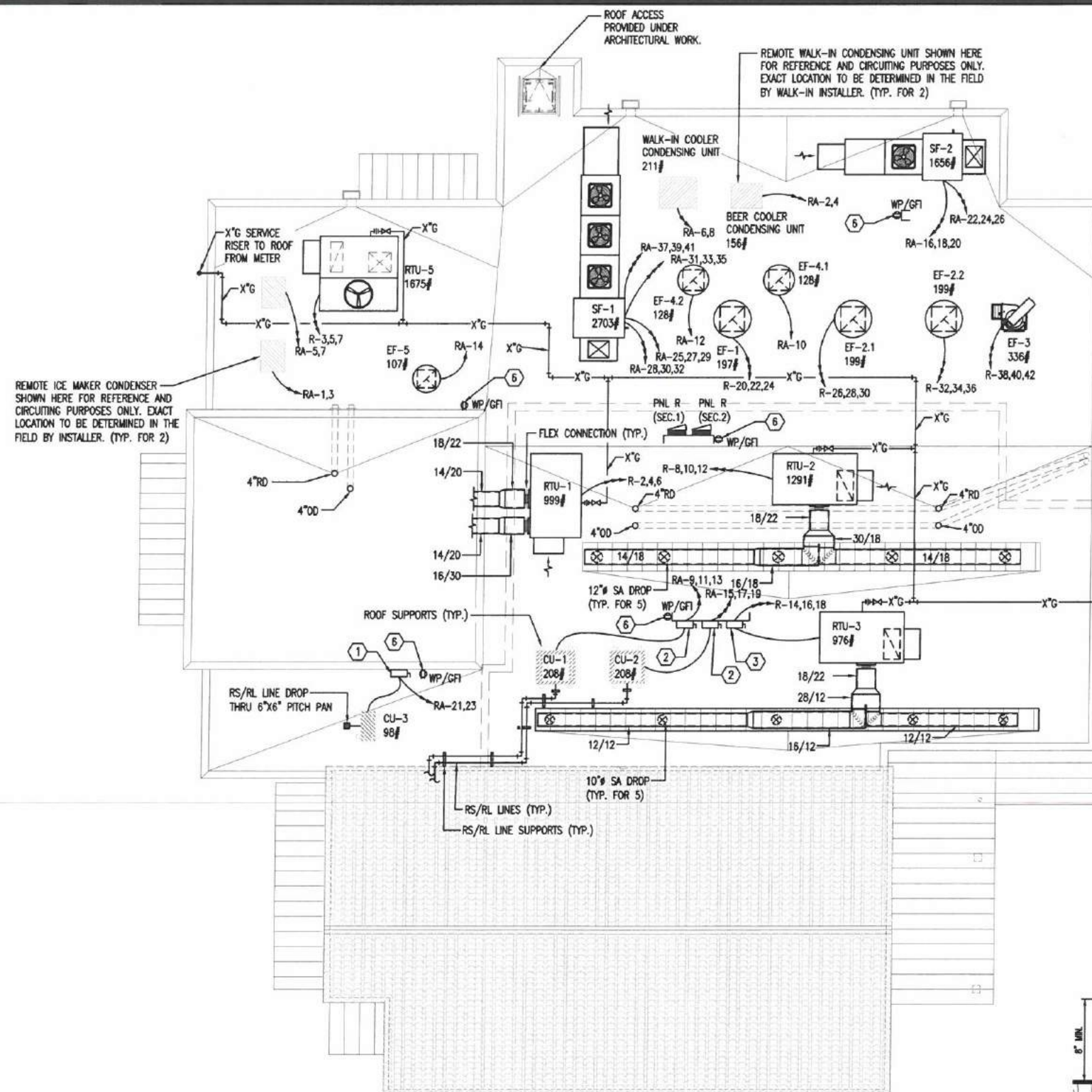
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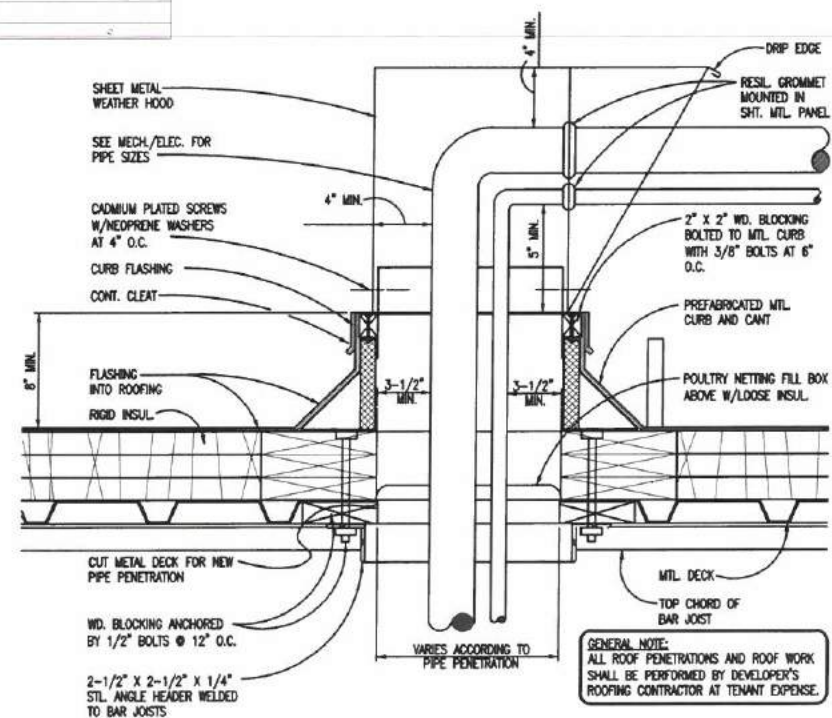


1 MECHANICAL, ELECTRICAL AND PLUMBING SITE PLAN
SCALE 1" = 20'-0"



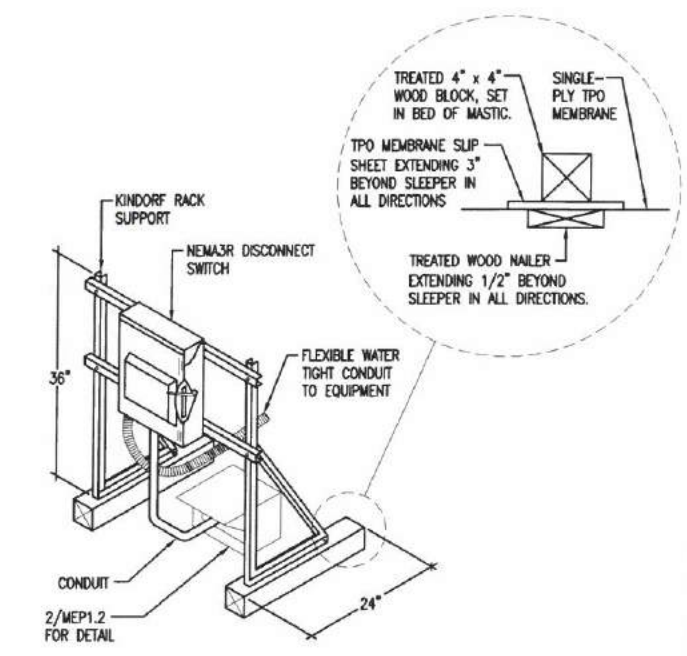
1 MECHANICAL, ELECTRICAL, AND PLUMBING ROOF PLAN
SCALE 3/16" = 1'-0"

GENERAL MECHANICAL NOTE:
MAINTAIN A MINIMUM OF 10'-0" HORIZONTAL OR 3'-0" VERTICAL DISTANCE BETWEEN OUTSIDE AIR INTAKES AND ANY VTS, EF AND FLUES.



2 CONDUIT OR PIPE PENETRATION THRU ROOF DETAIL
SCALE N.T.S.

- ELECTRICAL ROOF PLAN KEYED NOTES (SHEET MEP1.2 ONLY)
- 1 PROVIDE 240V, 30A2P NEMA 3R DISCONNECT SWITCH.
 - 2 PROVIDE 240V, 60A2P NEMA 3R DISCONNECT SWITCH.
 - 3 PROVIDE 240V, 60A3P NEMA 3R DISCONNECT SWITCH.
 - 4 PROVIDE WEATHER PROOF RATED SNAP SWITCH. INTERLOCK EXHAUST FAN WITH LIGHTING PER MECHANICAL PLANS.
 - 5 DISCONNECT INTEGRAL TO UNIT; MAKE FINAL CONNECTIONS.
 - 6 CIRCUIT ROOF RECEPTACLES TO 'R-1'.



3 DISCONNECT RACK DETAIL
SCALE N.T.S.

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NEW RESTAURANT ADDITION
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7300 JONES MALTSBERGER
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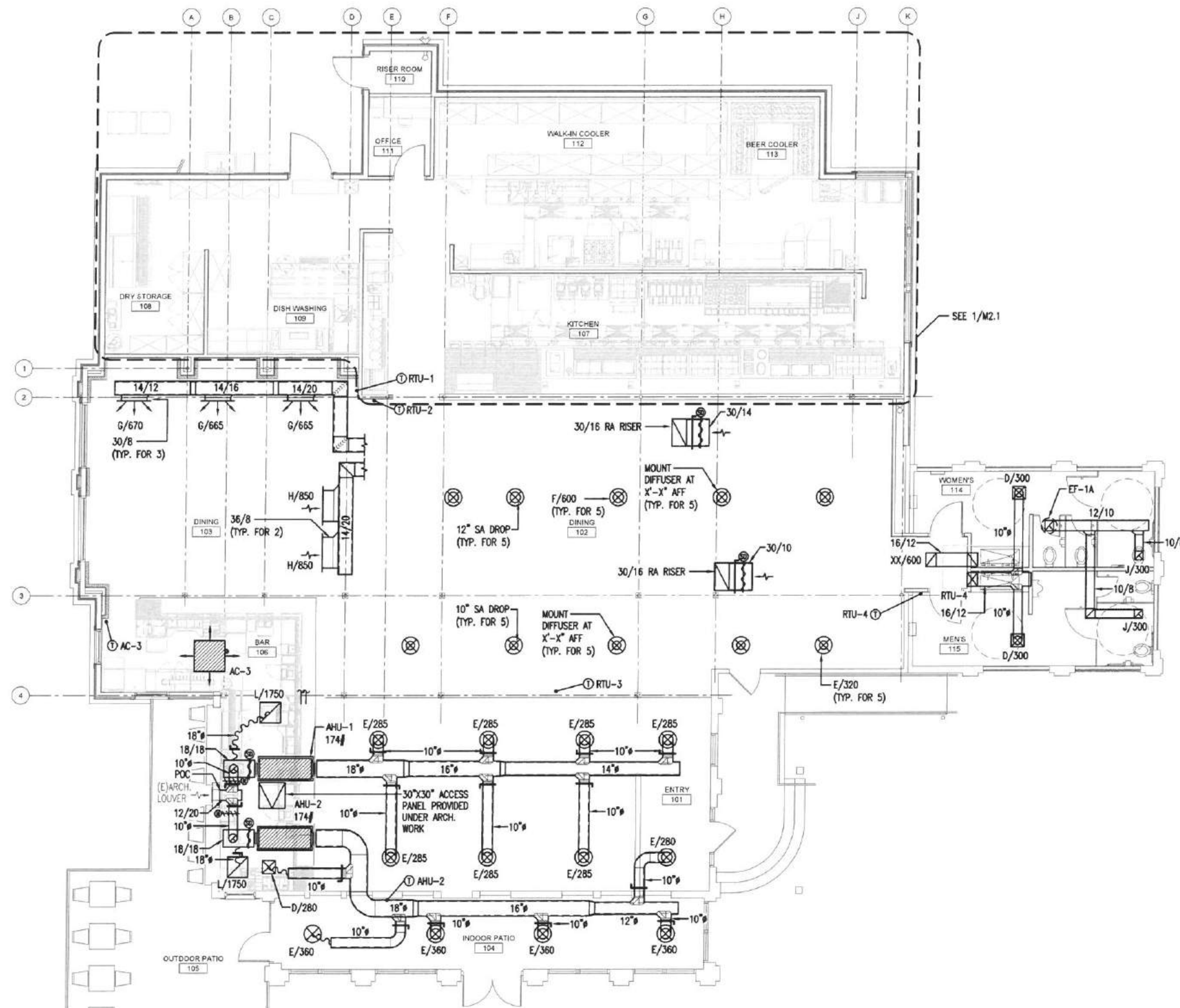
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MEP1.2
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1 MECHANICAL PLAN
SCALE 3/16" = 1'-0"

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ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 68595
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FIRM REG. NO. #F-4137

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NO.	DATE	DESCRIPTION

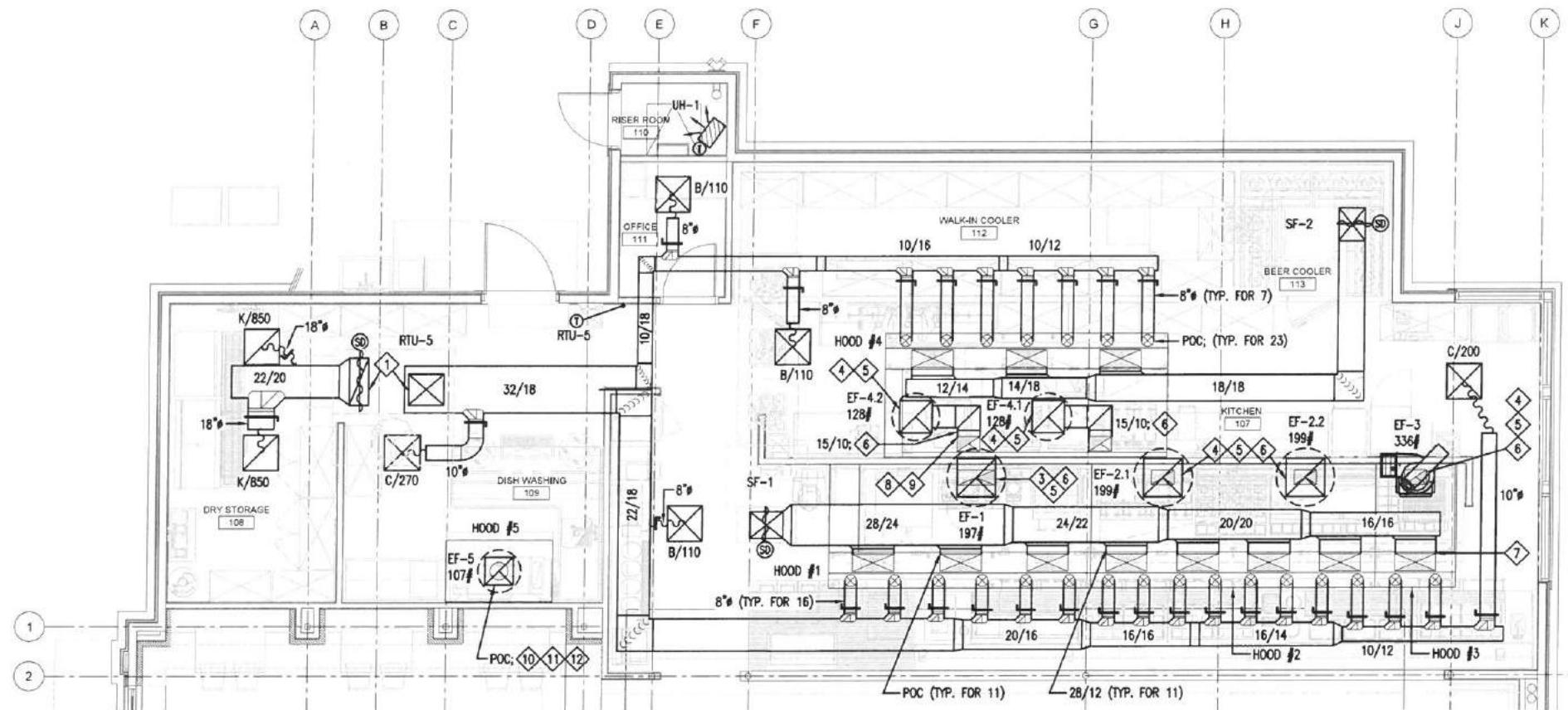
NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
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1 MECHANICAL PLAN - KITCHEN
SCALE 1/4" = 1'-0"

MECHANICAL KEYED NOTES (SHEET M1.2 ONLY)

- 1 PROVIDE FULL RADIUS TURN WITH TURNING VANES FOR SUPPLY AIR DROP AND RETURN AIR RISER.
- 2 LINE OF KITCHEN HOOD. COORDINATE WITH OWNER'S KITCHEN CONSULTANT FOR HOOD NO., CONNECTION ETC.
- 3 25/10 EA RISER WITH TRANSITION TO EXHAUST FAN ON THE ROOF.
- 4 15/10 EA RISER WITH TRANSITION TO EXHAUST FAN ON THE ROOF.
- 5 PROVIDE 3M FIREMASTER OR APPROVED EQUAL FLEXIBLE DUCT WRAP SYSTEM ASSOCIATED ACCESS PANELS, ETC. PER MANUFACTURER'S RECOMMENDATION; PROVIDE DUCTWORK CLEANOUTS AS REQUIRED TO CEILING ACCESS PANELS TO GAIN ACCESS TO AFOREMENTIONED DUCTWORK ACCESS PANELS; COORDINATE MANUFACTURER, STYLE AND LOCATION WITH ARCHITECT AND OWNER'S KITCHEN CONSULTANT.
- 6 GREASE DUCT FABRICATED AND INSTALLED IN ACCORDANCE WITH NFPA 96. PROVIDE ACCESS PANELS AS REQUIRED FOR INSPECTION AND CLEANING.
- 7 28/12 SA HOOD DUCT CONNECTION; POC (TYP. FOR 11).
- 8 15/10 EA HOOD DUCT CONNECTION; POC (TYP. FOR 6).
- 9 DUCTWORK SHALL BE INSTALLED TO PROVIDE MAXIMUM SLOPE AS POSSIBLE; CONTRACTOR SHALL COORDINATE WITH BUILDING STRUCTURE, ELECTRICAL AND PLUMBING WORK PRIOR TO INSTALLATION (TYP.).
- 10 12" SS EA RISER WITH TRANSITION TO EXHAUST FAN ON THE ROOF.
- 11 12" SS EA DUCT CONNECT TO DISH MACHINE VENT COWL.
- 12 SS DISH MACHINE EA DUCT SHALL BE FURNISHED BY CAPTIVEIRE NO INSTALLED BY OWNER'S KITCHEN CONSULTANT.

GENERAL HOOD, FAN UNIT, DISHWASHER, DUCTWORK, AIR DEVICE AND HOOD CONTROLS NOTES: (TYP. FOR M1.2, M4.1 THRU M4.7)

1. HOODS, FAN UNITS, ANSUL FIRE SUPPRESSION SYSTEM AND HOOD CONTROLS SIZED AND FURNISHED BY CAPTIVE AIRE AND INSTALLED BY OWNER'S KITCHEN CONSULTANT.
2. DISHWASHER SHALL BE FURNISHED AND INSTALLED BY OWNER'S KITCHEN CONSULTANT.
3. ALL GREASE DUCT SHALL BE FURNISHED BY CAPTIVE AIRE AND INSTALLED BY OWNER'S KITCHEN CONSULTANT.
4. ALL DUCTWORK (EXCEPT GREASE DUCT) SHALL BE FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR.
5. HOOD/RTU INTERLOCKS AND FAN UNIT NO. 1-5 MANUAL WALL SWITCHES PROVIDED UNDER OWNER'S KITCHEN CONSULTANT.
6. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #1 UNDER OWNER'S KITCHEN CONSULTANT.
7. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #2.1 AND FAN UNIT #2.2 UNDER OWNER'S KITCHEN CONSULTANT.
8. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #3 UNDER OWNER'S KITCHEN CONSULTANT.
9. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #4.1 AND FAN UNIT #4.2 UNDER OWNER'S KITCHEN CONSULTANT.
10. MECHANICAL CONTRACTOR SHALL INSTALL THE DUCTWORK TO MAKE SURE NO GAP BETWEEN THE DUCTWORK AND ROOF CURB. ANY GAP WILL MAKE RAIN, GREASE AND SMOKE LEAK BACK INTO THE BUILDING, CAUSE DAMAGE AND IMPROPER EXHAUST FLOW RATE.
11. MECHANICAL CONTRACTOR SHALL USE CONTINUOUS WELDING FOR ANY DUCT EXTENSION. SPOT WELDING IS NOT ACCEPTABLE.

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AIR DEVICE SCHEDULE									
MARK	CFM RANGE	SUPPLY	RETURN	TRANS/EDL	NECK SIZE	THROW	DAMPER	LOCATION	REMARKS (TITUS MODEL #)
A	5-100	*			6"φ	4-W	NO	LAY-IN CEILING	TMS-AA, TYPE 3 BORDER 24"X24" MODULE
B	105-200	*			8"φ	4-W	NO	LAY-IN CEILING	TMS-AA, TYPE 3 BORDER 24"X24" MODULE
C	205-330	*			10"φ	4-W	NO	LAY-IN CEILING	TMS-AA, TYPE 3 BORDER 24"X24" MODULE
D	205-330	*			10"φ	4-W	YES	SURFACE	TDC, TYPE 1 BORDER 12"X12" MODULE
E	220-360	*			10"φ	---	YES	---	TMRA
F	365-600	*			12"φ	---	YES	---	TMRA
G	595-745	*			30"X8"	---	YES	WALL	272RL; 22-1/2" DEFLECTION
H	750-1000	*			36"X8"	---	YES	WALL	350RL
J	250-300	*	*		10"X10"	---	YES	SURFACE	350RL
K	850-1500	*			18"X18"	---	NO	LAY-IN CEILING	PAR, TYPE 3 BORDER 24"X24" MODULE
L	1500-2000	*			22"X22"	---	NO	SURFACE	PAR, TYPE 1 BORDER 24"X24" MODULE

NOTES:

1. NOT ALL MARKS MAY BE USED.
2. PROVIDE SQUARE-TO-ROUND TRANSITIONS WHERE ROUND DUCT ATTACHED TO AIR DEVICE WITH SQUARE OR RECTANGULAR NECK.

EQUIVALENT MANUFACTURERS: ANEMOSTAT, METAL-AIRE, E.H. PRICE AND KRUEGER

AIR BALANCE SCHEDULE							
MARK	AREA SERVED	A/C SYSTEM			KITCHEN EXH. HOODS		GENL. EXH.
		SA CFM	RA CFM	QA CFM	EXHAUST CFM	MAKE-UP CFM	
RTU-1	DINING 106	2000	1700	300			
RTU-2	DINING 113/115	3000	2400	600			
RTU-3	DINING 114	1600	1300	300			
RTU-4	MEN/WOMEN	600	600	---			
RTU-5	KITCHEN	4000	1700	2300			
AHU-1&2	DINING 102, INDOOR PATIO 103	4000	3500	500			
EF-1A	MEN/WOMEN						600
KH #1,2 &3	KITCHEN				8033 EF-1, 2.1, 2.2 & 3	6194 SF-1	
KH #4	KITCHEN				3120 EF-4.1 & 4.2	2466 E-2	
KH #5	DISH WASHER				900 EF-5		
TOTAL - KITCHEN SIDE		4,000	1,700	2,300	12,053	8690	0
TOTAL - NON-KITCHEN SIDE		11,200	9,500	1,700	0	0	600
AIR BALANCE SCHEDULE		KITCHEN SIDE			NON-KITCHEN SIDE		
OUTSIDE AIR THRU A/C SYSTEM		= 2,300			1,700		
MAKE-UP AIR THRU KITCHEN EXH. HOODS		= 8,690			N/A		
TOTAL OUTSIDE AIR		= 10,990			1,700		
EXHAUST AIR FROM KITCHEN EXH. HOODS		= 12,053			N/A		
EXHAUST AIR GENERAL EXHAUST		= 0			600		
TOTAL EXHAUST AIR		= 12,053			600		
TOTAL OUTSIDE AIR		= 10,990			1,700		
TOTAL EXHAUST AIR		= 12,053			600		
POSITIVE NET BUILDING PRESSURE		= -1063			1100		
		1100			-1063 = 37		

ROOFTOP UNIT SCHEDULE-GAS HEAT																																					
MARK	SA CFM	OA CFM	ESP IN. WG	EAT DEG F	COOLING MBTUH (1)		MBTUH HEAT		FAN HP	ELEC V/PH	EER	FLA	MCA AMPS	MOCP AMPS	WT LBS	REMARKS (TRANE MODEL #)																					
					TOTAL	SENS	INPUT	OUTPUT								2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	
RTU-1	2,000	300	0.50"	81.0/68.6	57.5	41.4	80	64	1.0	208/3	13.0	27.6	32.2	45	999#	YHC067E	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22
RTU-2	3,000	600	1.0"	81.0/68.6	88.9	64.1	150	120	2.75	208/3	12.6	37.2	42.4	50	1291#	YHC092F	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22
RTU-3	1,600	300	0.5"	80.6/68.5	48.3	33.6	80	64	1.0	208/3	13.0	25.4	29.4	40	976#	YHC047E	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22
RTU-4	600	---	0.5"	75.0/64.0	23.8	18.5	48	38.8	0.50	208/1	12.0	15.7	18.4	25	355#	4YCY5024																					

NOTES:

1. AT 105°F AMBIENT AND COIL EAT.
2. UNIT SHALL BE FURNISHED WITH FACTORY LOUVERED STEEL HAIL GUARD, LOW AMBIENT KIT, 24" HIGH ROOF CURB, BIRDSCREEN, 2" THICK THROWAWAY FILTERS AND DUAL COMPRESSORS.
3. UNIT SHALL BE FURNISHED WITH ULTRA LOW LEAKAGE ECONOMIZER WITH ENTHALPY CONTROL AND FAULT DETECTION AND DIAGNOSTIC, AND WEATHERPROOF OA HOOD.
4. DUCT SMOKE DETECTORS PROVIDED AND CIRCUITED BY FIRE ALARM CONTRACTOR.
5. PROVIDE WALL MOUNTED HUMIDISTAT (HUMIDITY SHALL BE SET AT 60% MAX.).
6. PROVIDE BAROMETRIC RELIEF.
7. PROVIDE FACTORY MOUNTED AND WIRED CONDENSATE OVERFLOW SWITCH.
8. PROVIDE REMOTE TEMPERATURE SENSOR WITH THERMOSTAT.
9. PROVIDE THERMOSTAT LOCKING COVER.
10. PROVIDE 1ST YEAR PARTS AND LABOR WARRANTY.
11. PROVIDE HOT GAS RE-HEAT.
12. ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-3 AND HOOD #1.
13. ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-1 AND HOOD #2.
14. ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-2 AND HOOD #1.

EQUIVALENT MANUFACTURER: YORK, LENNOX, DAKIN AND CARRIER.

AIR HANDLING UNIT SCHEDULE – ELECTRIC HEAT															
MARK	TOTAL AIR	OUTSIDE AIR	EXT. SP. IN WTR.	EAT	COOLING MBTUH (1)		MBTUH HEAT @ 47°F AMB (5)	KW HEAT @ 208/3φ	FAN HP	ELEC. (V/φ)	MCA	MOCP	WT.	REMARKS (TRANE MODEL #)	
					TOTAL	SENS									
AHU-1	2000	250	0.50"	78.7/64.9	53.1	43.7	55.0	10.8	3/4	208/3	45.0	45	174#	TEMB6A0C60 (2)(3)(4)	
AHU-2	2000	250	0.50"	78.7/64.9	53.1	43.7	55.0	10.8	3/4	208/3	45.0	45	174#	TEMB6A0C60 (2)(3)(4)	

1. AT 105°F AMBIENT AND COIL ENTERING AIR TEMPERATURE WITH CORRESPONDING CONDENSING UNIT.
2. UNIT SHALL BE FURNISHED WITH PROGRAMMABLE THERMOSTAT WITH NIGHT SETBACK, AND 1" THICK THROWAWAY FILTERS.
3. PROVIDE 1" THICK FILTER IN E-Z FILTER BASE (E-Z FILTER BASE MANUFACTURING: 214-328-9800; AVAILABLE THRU INSCO AND OTHER LOCAL SUPPLIER).
4. PROVIDE THERMOSTAT GUARD WITH LOCKING COVER.
5. WITH CORRESPONDING HEAT PUMP CONDENSING UNIT.
6. DUCT SMOKE DAMPER SHALL BE PROVIDED AND INSTALLED BY FIRE ALARM CONTRACTOR.

EQUIVALENT MANUFACTURERS: CARRIER, YORK, DAKIN, AND LENNOX

HEAT PUMP CONDENSING UNIT SCHEDULE											
MARK	TOT. MBTUH/SENS. MBTUH (1)	NOM. CAPACITY	AMBIENT TEMP.	MIN. EFFIC.Y.	ELEC V/φ/FLA	COP	HSPF	MCA	MOCP	OPER. WT.	REMARKS (TRANE MODEL #)
CU-1	53.1/43.7	5.0 TONS	105°F	16.5 SEER	208/3/17.5	4.0	9.5	22.0	35	283#	4TWAT060 (2)
CU-2	53.1/43.7	5.0 TONS	105°F	16.5 SEER	208/3/17.5	4.0	9.5	22.0	35	283#	4TWAT060 (2)

1. AT 105°F AMBIENT WITH CORRESPONDING COOLING COIL EAT
2. UNIT SHALL BE FURNISHED WITH FACTORY LOW AMBIENT CONTROLLER, EVAPORATOR FREEZESTAT, CYCLE PROTECTOR, CONDENSER COIL HAIL GUARD, CRANKCASE HEATER AND FILTER DRIER.

EQUIVALENT MANUFACTURERS: CARRIER, YORK, DAKIN, AND LENNOX

EXHAUST FAN SCHEDULE									
MARK	AREA SERVED	TYPE	CFM	EXT. SP	ELECTRICAL			OPER. WT	REMARKS (COOK MODEL #)
					V	φ	HP		
EF-1A	MEN/WOMEN RR	ROOF EXH.	600	0.50"	115	1	1/8	LIGHT SWITCH	70# ACED-K101C150 (1)

1. UNIT SHALL BE U.L. LISTED, A.M.C.A. CERTIFIED AND FURNISHED WITH FACTORY BACKDRAFT DAMPER, FAN SPEED CONTROL, 9.5" CURB BIRDSCREEN, DAMPER TRAY, AND DISCONNECT SWITCH.

EQUIVALENT MANUFACTURERS: GREENHECK, PENN-VENTILATOR, TWIN CITY, AND ACME.

MECHANICAL LEGEND	
MARK	DESCRIPTION
⊠ A/350	NR DEVICE W/MARK, CFM
⊠ 20/10	DUCT WITH DIMENSION: PLUM/DEPTH
⊠	SUPPLY AIR SA
⊠	RETURN AIR RA
⊠	OUTSIDE/EXH. OR TRANSFER AIR OA/EA/TA
⊠	RADIUS ELBOW WITH TURNING VANES
⊠	SPLITTER DAMPER
⊠	TRANSITION
⊠	FLEXIBLE CONNECTION
⊠	DUCT DROP
⊠	DUCT SMOKE DETECTOR
⊠	FLEXIBLE DUCT
⊠	VOLUME DAMPER VD
⊠	RETURN OR EXHAUST AIR
⊠	DIRECTION OF AIR FLOW
⊠	DENOTES MECHANICAL KEYED NOTE
⊠ RTU	TEMPERATURE SENSOR
AFF	ABOVE FINISHED FLOOR
OA	OUTSIDE AIR
RTU	ROOFTOP UNIT
⊠	ACCESS PANEL
EF	EXHAUST FAN
VWV	VARIABLE AIR VOLUME
FPWV	FAN POWERED VARIABLE AIR VOLUME BOX
POC	POINT OF CONNECTION
(E)	DENOTES EXISTING
UH	UNIT HEATER
(E)	CARBON DIOXIDE
KH	KITCHEN HOOD
⊠ RTU	HUMIDISTAT

NOTE: NOT ALL MARKS MAY BE USED.

ELECTRIC UNIT HEATER SCHEDULE							
MARK	TYPE	CFM	KW	MOTOR (V/PH)	FLA	MOCP	OPER. WT.
UH-1	HORIZONTAL DISCHARGE	400	2.5	208/3	6.9	15	25#

1. UNIT SHALL BE FURNISHED WITH ADJUSTABLE LOUVERS, THERMOSTAT (STAND ALONE), SUMMER FAN SWITCH, AND CEILING SUSPENSION KITS.
2. VERTICAL DISCHARGE UNIT. PROVIDE VERTICAL MOUNT BRACKET.

EQUIVALENT MANUFACTURERS: REDD-I, Q-MARK AND TRANE

OUTSIDE AIR SCHEDULE						
UNIT	SPACE	AREA (SQ.FT.)	CFM/PEOPLE	CFM/SF	O/A REQUIRED	O/A PROVIDED
RTU-1,2,3 & RTU-4	DINING AREA	2,728	7.5 (X129)	0.18	1458	1200
AHU-1&2	DINING AREA	1,199	7.5 (X57)	0.18	643	500
RTU-5	KITCHEN	1,860	7.5 (X10)	0.18	410	2300
BUILDING TOTAL		5,787			2511	4000

* PER TABLE 403.3, CITY OF SAN ANTONIO AMENDMENT TO THE 2018 INTERNATIONAL MECHANICAL CODE.

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ENGINEER: BRUCE GECIL SMITH
P.E. SERIAL NUMBER: 68852
DATE: 11-16-18
TYPE FIRM REG. NO. #F-4137

REVISIONS		
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NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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GAS-FIRED ROOFTOP UNIT SCHEDULE																	
MARK	SA CFM	OA CFM	ESP IN. WG	EAT DEG F	COOLING MBTUH (1)		HEATING MBTUH		FAN HP	ELEC V/PH	FLA	EER	MCA AMPS	MOCP AMPS	WT LBS	MODEL NUMBER AAON	REMARKS
					TOTAL	SENS	INPUT	OUTPUT									
RTU-5	4000	2300	1.0	89.9/72.2	128.9	121.1	120.0	97.2	3.0	208/3	46.0	10.0	54	80	1315#	RN-010-B-0-EA09	(1)(2)(3)(4)(5)(6)(7)(8)(9)

- NOTES:
- AT 105°F DB/77°F WB AMBIENT AND COIL EAT.
 - UNIT SHALL BE FURNISHED WITH CONDENSER COIL HAIL GUARD, LOW AMBIENT KIT, BIRDSCREEN, BAROMETRIC RELIEF, AND 2" THICK THROWAWAY FILTERS.
 - DUCT SMOKE DETECTOR PROVIDED AND INSTALLED BY FIRE ALARM CONTRACTOR.
 - PROVIDE PROGRAMMABLE THERMOSTAT WITH NIGHT SET-BACK.
 - PROVIDE FIVE (5) YEARS PARTS AND ONE (1) YEAR LABOR WARRANTY.
 - EQUIVALENT MANUFACTURER: DESERT-AIRE
 - UNIT SHALL BE FURNISHED WITH ULTRA LOW LEAKAGE ECONOMIZER WITH ENTHALPY CONTROL, FAULT DETECTION AND DIAGNOSTIC, AND WEATHERPROOF OA HOOD.
 - PROVIDE THERMOSTAT GUARD WITH LOCKING COVER.
 - PROVIDE FACTORY MOUNTED AND WIRED CONDENSATE OVERFLOW SWITCH.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-5 AND HOOD NO #4.

DUCTLESS SPLIT SYSTEM AIR HANDLING UNIT SCHEDULE														
MARK	TOTAL AIR	OUTSIDE AIR	EXT. SP. IN. WTR.	EAT °F	COOLING MBTUH (1)		COIL KW	MBTUH HEAT AT 47°F AMBIENT	FAN F.L.A.	ELEC. V/Ø	MCA	MOCP	OPER. WT.	REMARKS (MITSUBISHI MODEL #)
					TOTAL	SENS								
AC-3	420-600	(2)	N/A	75/ 63	18.0	15.3	N/A	23.0	0.36	208/1	1.0	(4)	36#	PLA-A18 (3)(5)(6)

- AT 80°/67°F WET/DRY BULB INDOOR, 95°F AMBIENT.
 - UNIT NOT CAPABLE OF BRINGING IN OA.
 - PROVIDE 24V REMOTE WALL THERMOSTAT.
 - INDOOR UNIT SHALL RECEIVE POWER FROM OUTDOOR UNIT THROUGH FIELD-SUPPLIED INTERCONNECTED WIRING.
 - UNIT SHALL BE FURNISHED WITH CONDENSATE PUMP, ASPEN MODEL #FP2124 OR APPROVED EQUAL.
 - UNIT SHALL BE FURNISHED WITH TAZ-MS303 3-POLE DISCONNECT SWITCH.
- EQUIVALENT MANUFACTURERS: LG AND DAIKIN

CONDENSING UNIT SCHEDULE									
MARK	TOT. MBTUH/ SENS. MBTUH	(1)	AMBIENT TEMP.	EFFICIENCY	SEER	(4)	MCA	MOCP	REMARKS (MITSUBISHI MODEL #)
CU-3	18.0/15.3		95°F	24.6 SEER	13.0	11.0	28	208/1/N/A	90# PUZ-A18NK (2)(3)(5)(6)

- AT 95°F AMBIENT WITH CORRESPONDING AC AT IT'S COOLING COIL EAT.
 - PROVIDE SINGLE POINT CONNECTION FOR BOTH CONDENSING UNIT AND AIR HANDLING UNIT.
 - REFRIGERANT LINE SIZE SHALL BE PER MANUFACTURER RECOMMENDATION. MAXIMUM VERTICAL REFRIGERANT PIPE LENGTH SHALL BE 20" (MAX). TOTAL REFRIGERANT PIPE LENGTH SHALL NOT EXCEED 60'.
 - MINIMUM EFFICIENCY REQUIRED PER TABLE 503.2.3(1); IECC 2018.
 - PROVIDE LOW AMBIENT CONTROLLER (DOWN TO 0°F AMBIENT) AT FULL COOLING CAPACITY.
 - HSPF = 11.0
- EQUIVALENT MANUFACTURERS: LG AND DAIKIN

PRELIMINARY:
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ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 68692
DATE: 11-16-18
TBP# FIRM REG. NO. #F-4137

REVISIONS		
NO	DATE	DESCRIPTION

NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE

7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

cmp

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architecture/interior design

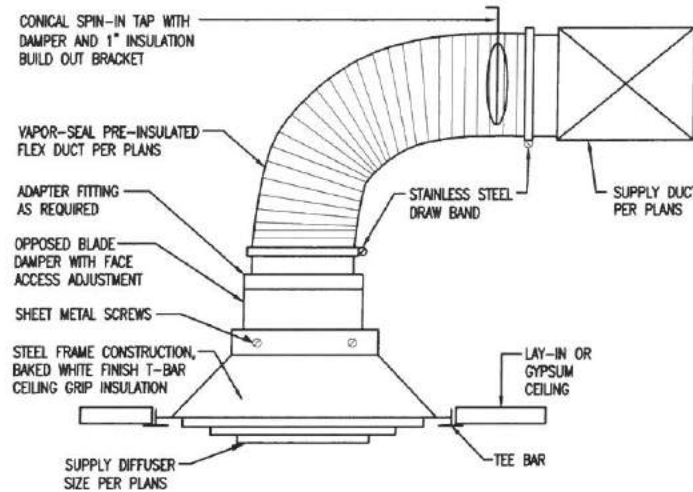
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JOB NO #1829
DATE 11/16/18
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SHEET
M2.2
CF *

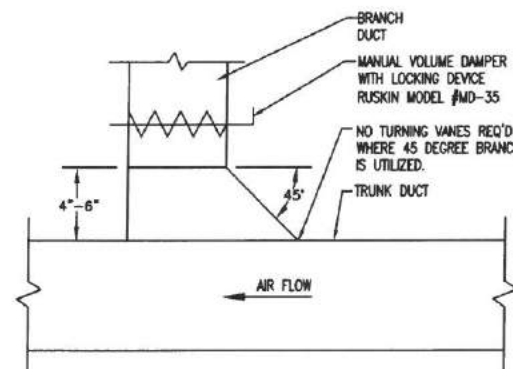
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San Antonio, Texas 78213 F 210.342.3041
TSPS FIRM REGISTRATION NO. F-4137
JOB NO.: 18042

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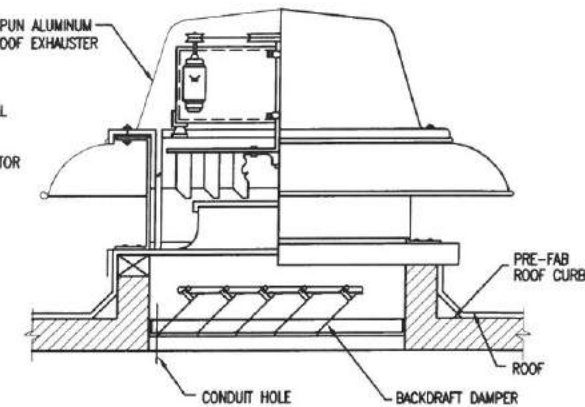


1 FLEX DUCT INSTALLATION
SCALE N.T.S.

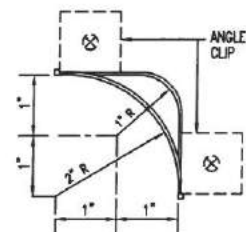


2 BRANCH TAKE OFF
SCALE N.T.S.

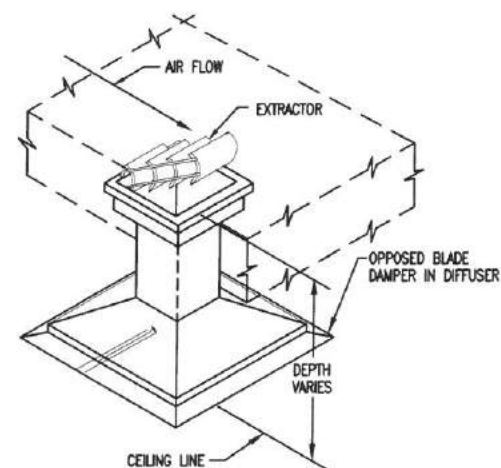
- NOTES:
1. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 2. ROOF FLASHINGS, COUNTERFLASHINGS AND MEMBRANES SHALL BE PROVIDED BY ROOFING CONTRACTOR.
 3. ROOF CURBS SHALL BE FURNISHED BY MECHANICAL CONTRACTOR AND INSTALLED BY ROOFING CONTRACTOR.



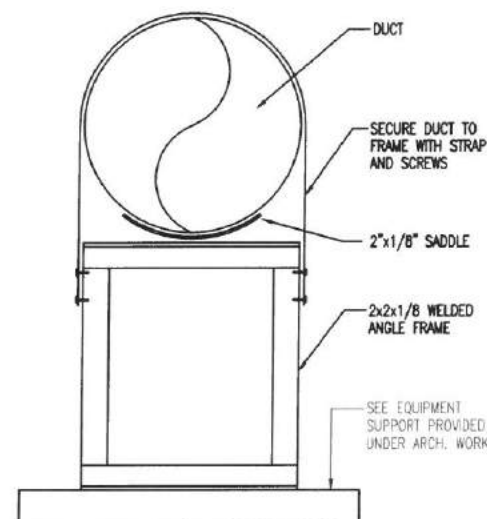
3 TYPICAL ROOF EXHAUST FAN
SCALE N.T.S.



4 TURNING VANE
SCALE N.T.S.

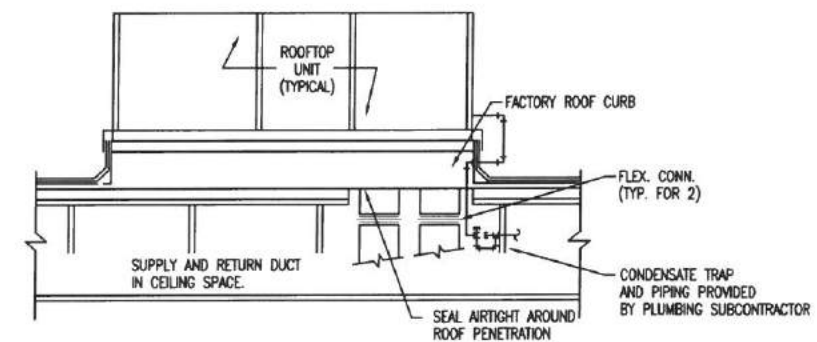


5 DIFFUSER DROP DETAIL
SCALE N.T.S.



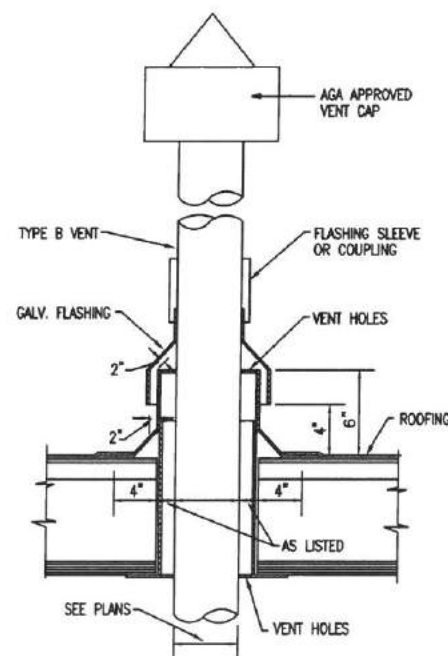
6 DUCT SUPPORT DETAIL
SCALE N.T.S.

NOTE: DUCT SUPPORT FOR ROUND DUCT SHOWN; SIMILAR FOR RECTANGULAR DUCT

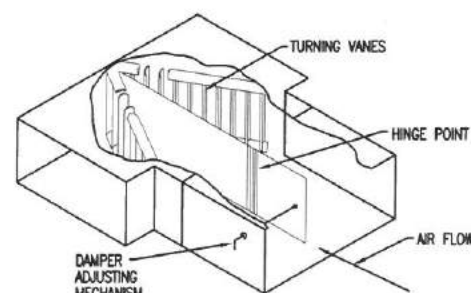


7 ROOF TOP UNIT DETAIL
SCALE N.T.S.

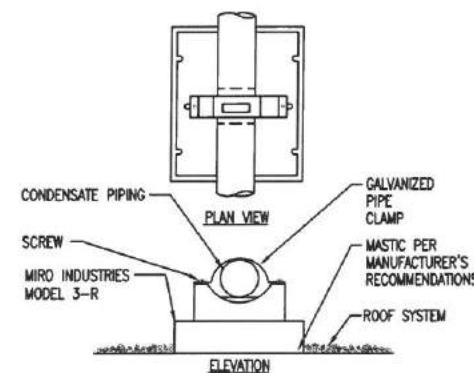
- NOTE:
1. SEE ARCH. DETAILS FOR ADDITIONAL INFORMATION



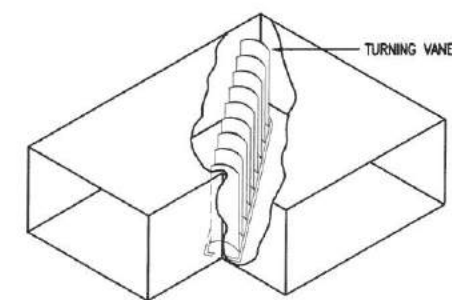
8 FLUE THRU ROOF DETAIL
SCALE N.T.S.



9 SPLITTER DAMPER
SCALE N.T.S.



10 CONDENSATE PIPING SUPPORT ROOF
SCALE N.T.S.



11 ELBOW DETAIL
SCALE N.T.S.

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DATE 11/16/18

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SHEET

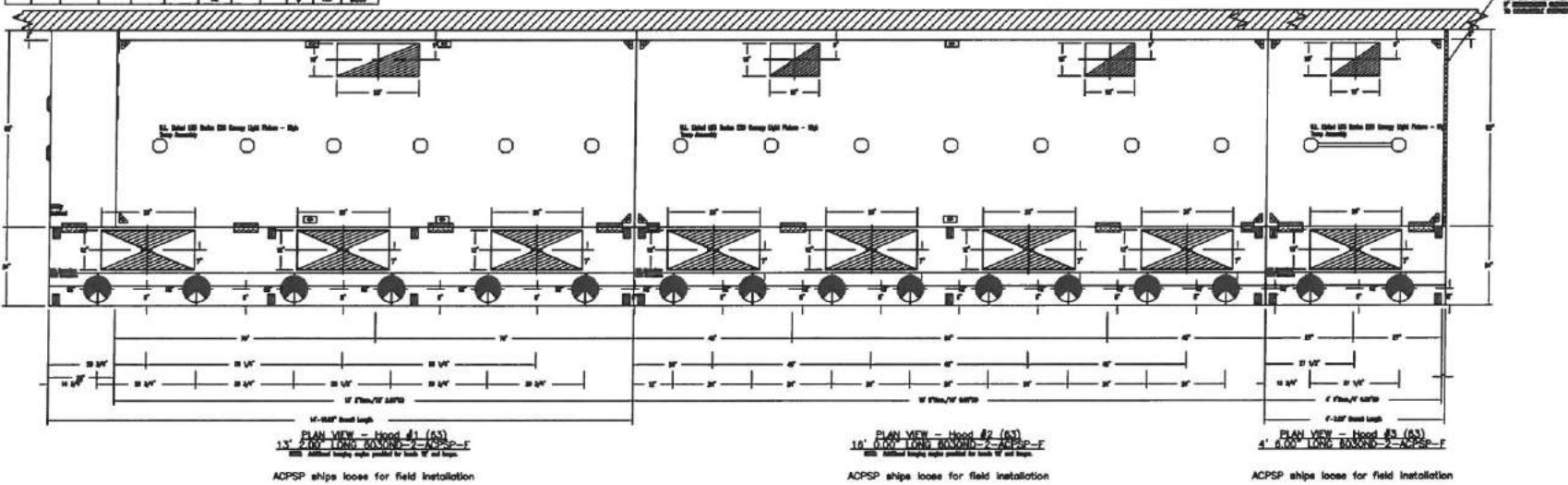
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CF *

**NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE**
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

PRELIMINARY
FOR INTERIM REVIEW NOT
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OR PERMIT PURPOSES
ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 68595
DATE: 11-16-18
T&PE FIRM REG. NO. #F-5137

REVISIONS		
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ENGINEER: BRUCE CECIL SMITH	68532
P.E. SERIAL NUMBER:	
DATE: 11-16-18	
TBPE FIRM REG. NO. #F-4137	

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NO	DATE	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE

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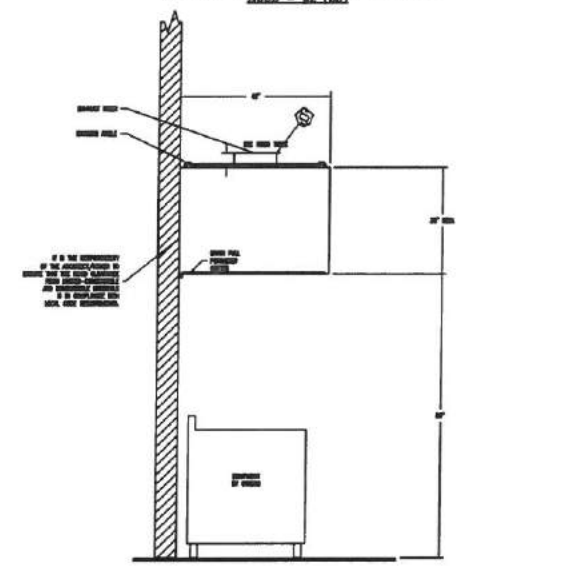
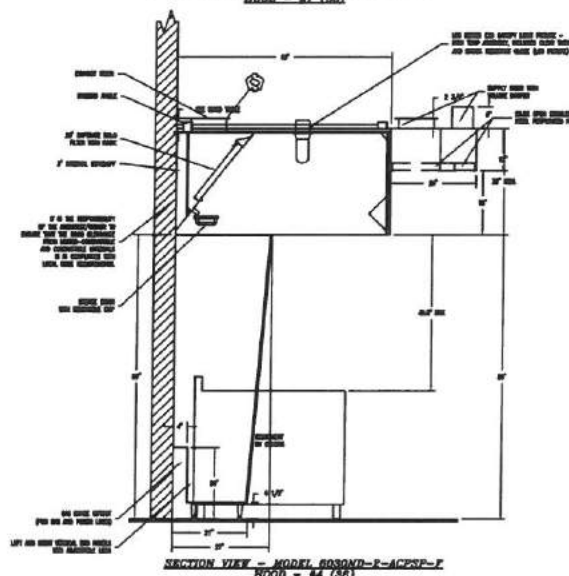
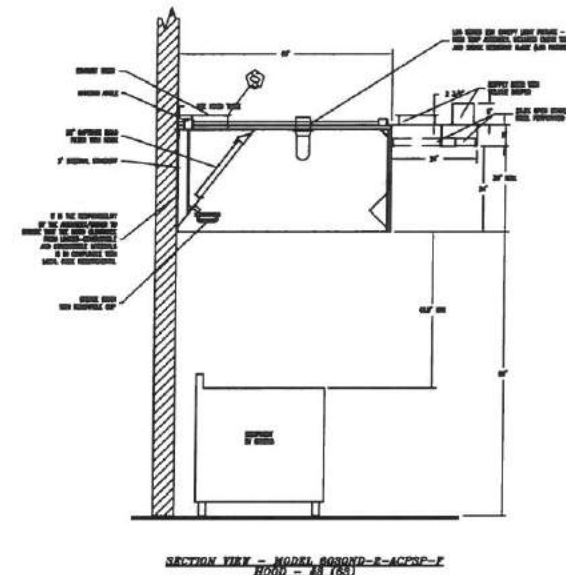
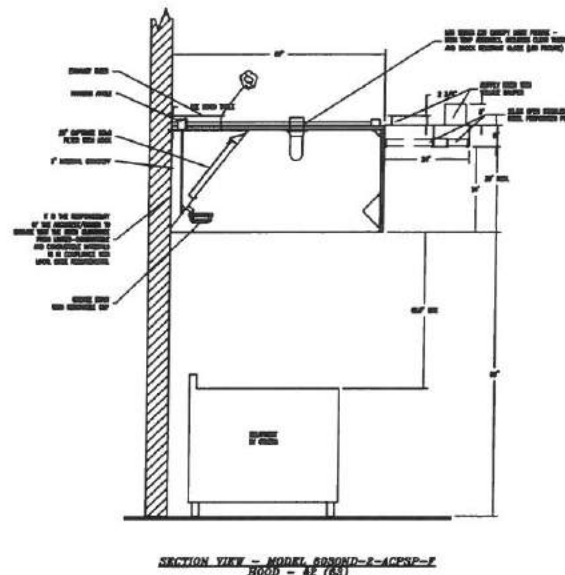
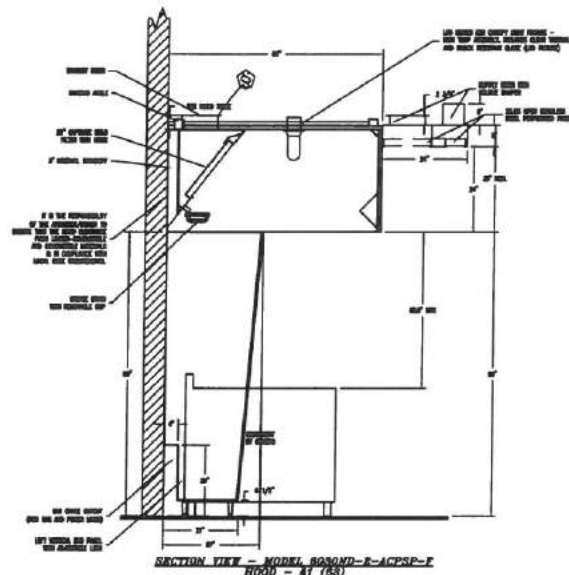
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Ida Claire San Antonio
SAN ANTONIO, TX, 78247

DATE: 10/10/2018
DWG. #: 3577104
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SCALE: 3/4" = 1'-0"
MASTER DRAWING

SHEET NO.
2

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ENGINEER: BRUCE COOL SMITH
P.E. SERIAL NUMBER: 68655
DATE: 11-16-18
TBPE FIRM REG. NO. #T-4137

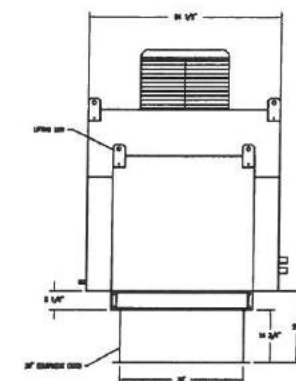
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NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE

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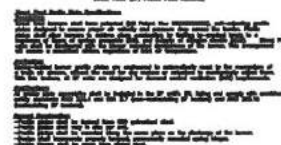
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DATE 11/16/18
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WHEN TEMPERATURE = 275, THERM. CTE = 47
 AND DECREASED BY 0.001, AS TEMPT
 INPUT 275 AT ACTUAL OF 26.5 A. = 71490
 INPUT 275 AT ACTUAL OF 26.5 A. = 10400
 INPUT 275 AT ACTUAL OF 26.5 A. = 10000
 INPUT 275 AT ACTUAL OF 26.5 A. = 10000



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ENGINEER BRUCE CECIL SMITH
P.E. SERIAL NUMBER : 68595
DATE: 11-15-18
TBPE FIRM REG. NO. 47-413

REVISIONS		
NO	DATE	DESCRIPTION

**NEW RESTAURANT ADDITION
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7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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JOB NO 71829

DATE 11/16/18

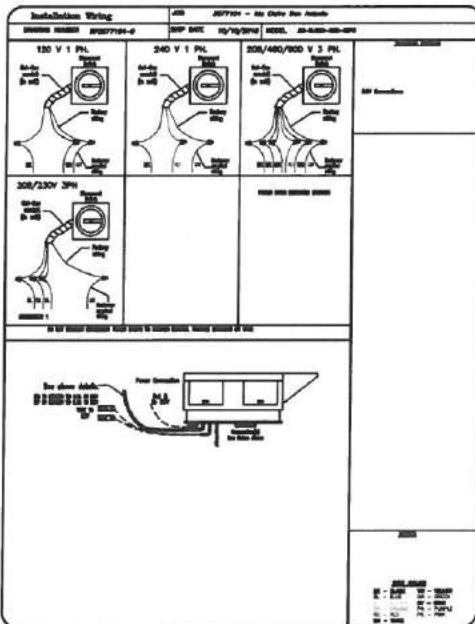
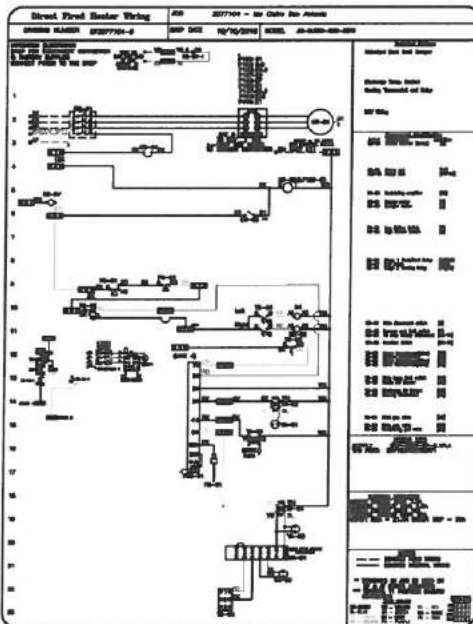
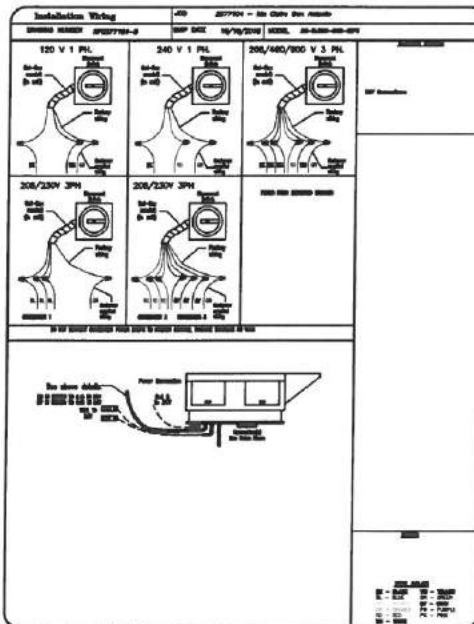
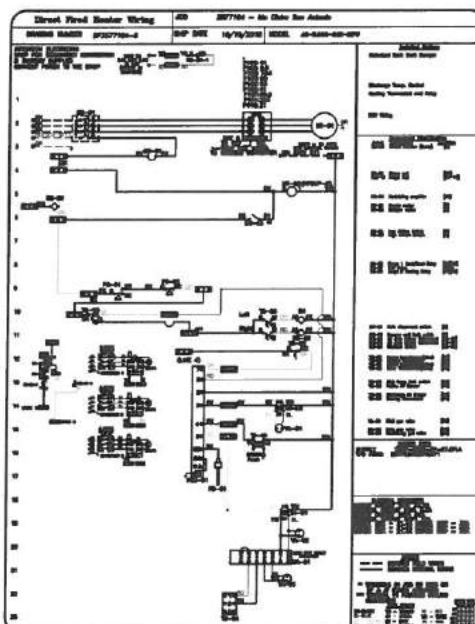
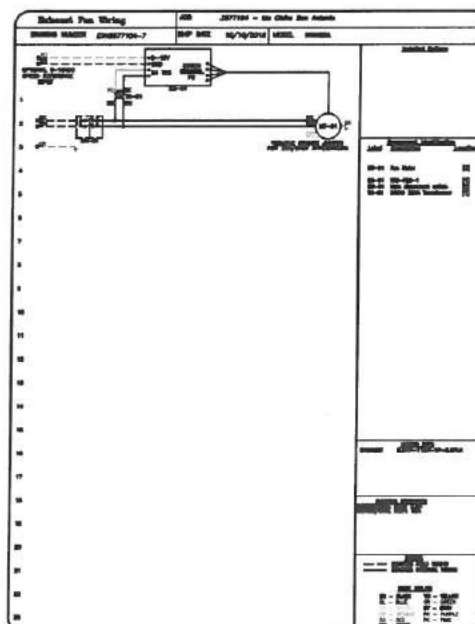
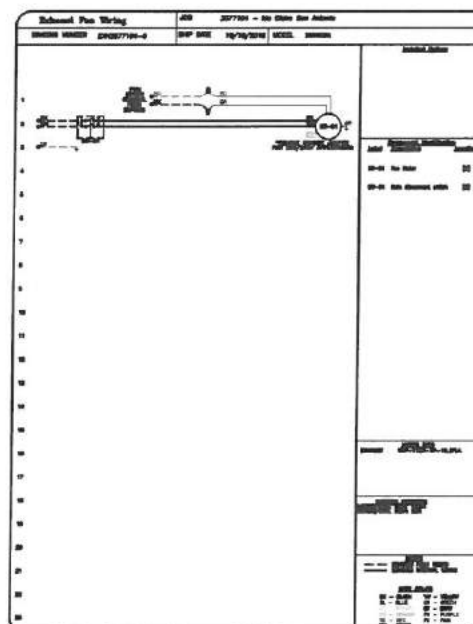
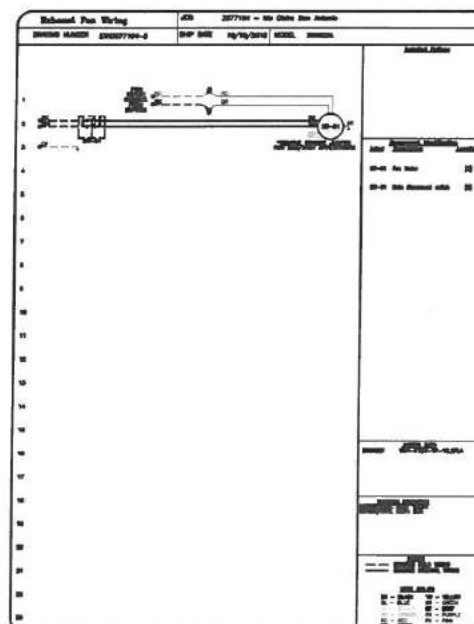
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NO	DATE	DESCRIPTION

DATE: 10/10/2015

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**NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE**
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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ENGINEER: BRUCE CEDIL SMITH
P.E. SERIAL NUMBER: 68595
DATE: 11-16-18
T&E FIRM REG. NO. #F-4173

3577104

NAME: **SAFARI** Doc: **2111** PART OF: **SAFARI** DESCRIPTION OF OPERATION: **SAFARI** PART OF: **SAFARI**

JOB NAME: **SAFARI** JOB NO: **SAFARI**

BREAKER PANEL TO PRIMARY CONTROL PANEL
Responsibility: **SAFARI**

BREAKER PANEL TO FMS
Responsibility: **SAFARI**

CONTROL PANEL TO PRIMARY CONTROL PANEL
Responsibility: **SAFARI**

CONTROL PANEL TO FMS
Responsibility: **SAFARI**

CONTROL PANEL TO ACCESSORY ITEMS
Responsibility: **SAFARI**

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ENG

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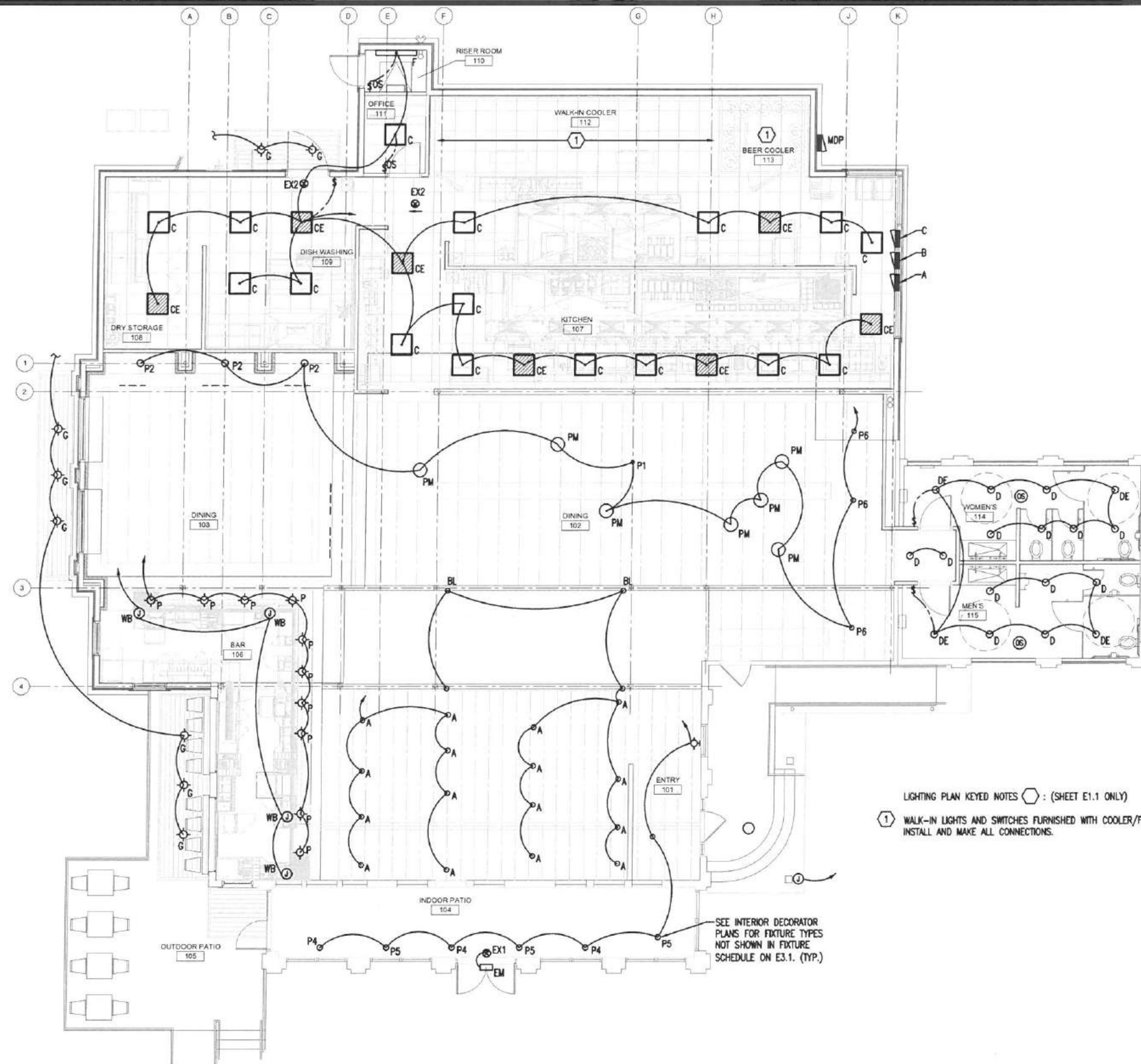
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1 LIGHTING PLAN
SCALE 3/16" = 1'-0"

LIGHTING PLAN KEYED NOTES (SHEET E1.1 ONLY)

1 WALK-IN LIGHTS AND SWITCHES FURNISHED WITH COOLER/FREEZER. INSTALL AND MAKE ALL CONNECTIONS.

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ENGINEER: STEPHEN MITCHELL
P.E. SERIAL NUMBER: #99313
DATE: 11-16-18
T&E FIRM REG. NO. #F-6137

NO.	DATE	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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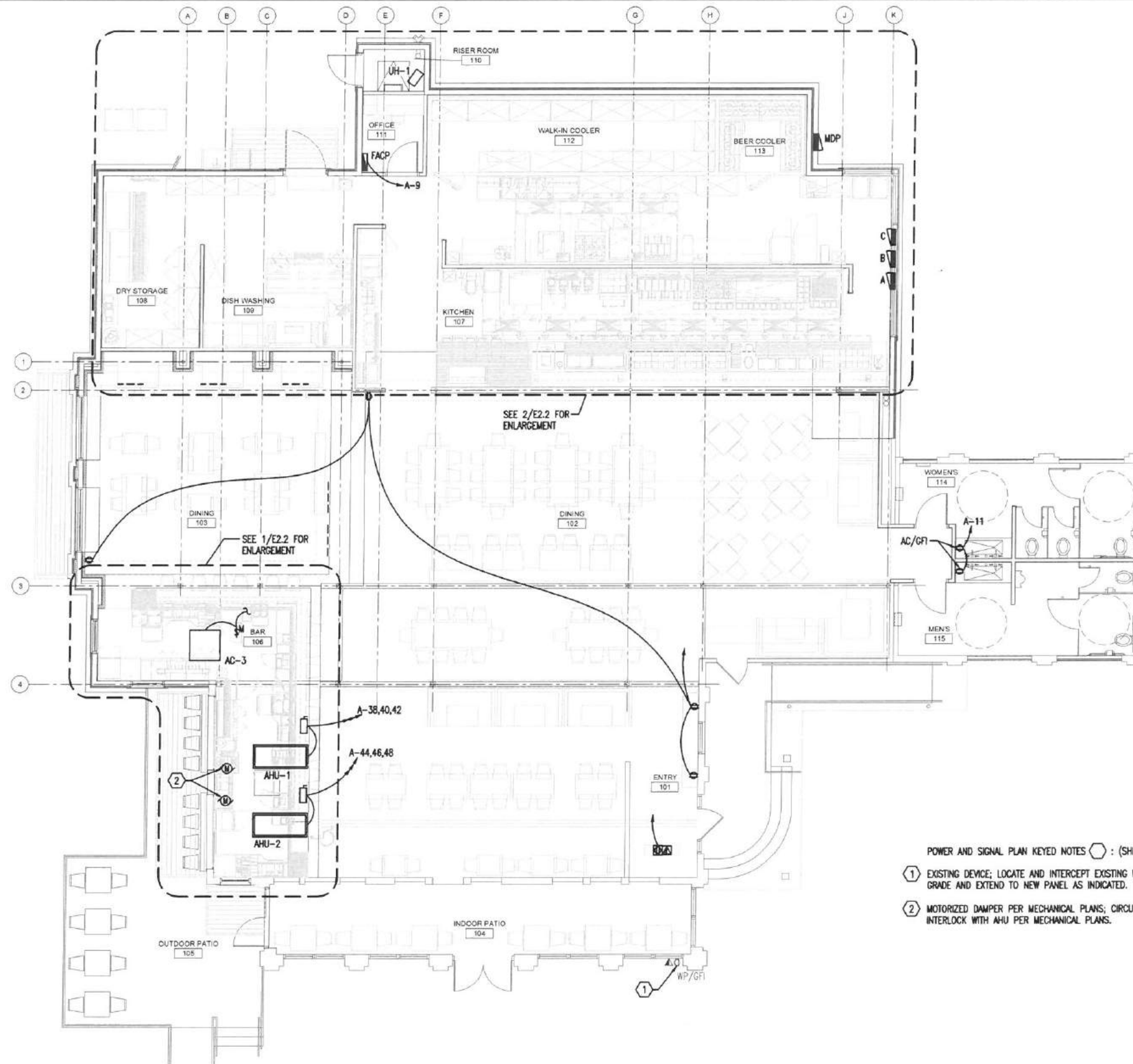
JOB NO.: 9829
DATE: 11/16/18
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E1.1
OF 8

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1 POWER AND SIGNAL PLAN
SCALE 3/16" = 1'-0"

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OR PERMIT PURPOSES
ENGINEER: STEPHEN MITCHELL
P.E. SERIAL NUMBER: #99313
DATE: 11-18-18
TBPE FIRM REG. NO. #F-4137

REVISIONS		
NO	DATE	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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JOB NO: 1829

DATE: 11/16/18

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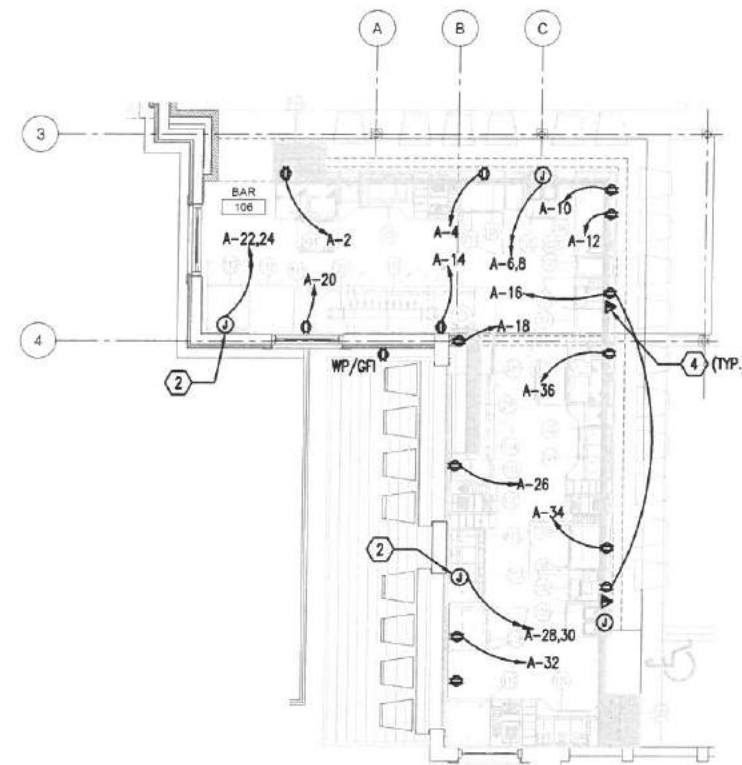
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OF 8

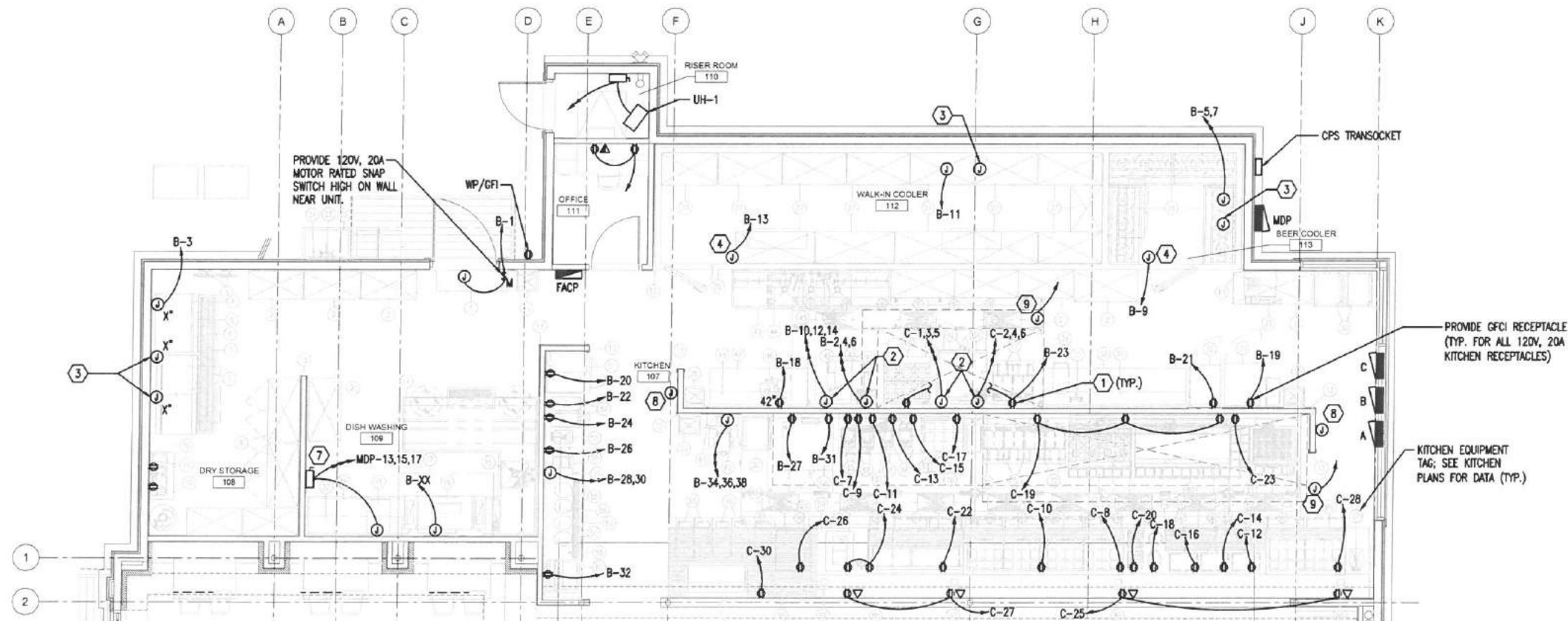
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Engineering, Inc.

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1 ENLARGED POWER AND SIGNAL PLAN
SCALE 1/4" = 1'-0"



2 ENLARGED POWER AND SIGNAL PLAN
SCALE 1/4" = 1'-0"

ENLARGED POWER AND SIGNAL PLAN KEYED NOTES (SHEET E2.2 ONLY)

- 1 CIRCUITS BELOW HOOD SHALL BE SHUNT-TRIP CONTROLLED. INTERLOCK SHUNT-TRIP BREAKER WITH RELAY PROVIDED IN HOOD PER HOOD DRAWINGS WITH WIRE AND CONDUIT.
- 2 PROVIDE LIQUID-TIGHT FLEX CONNECTION.
- 3 PROVIDE EMPTY 1/2" CONDUIT WITH PULL STRING FROM INDOOR UNIT TO REMOTE ON ROOF.
- 4 PROVIDE POWER/INTERLOCK CONNECTIONS TO CONDENSE DRAIN LINE HEATER, PRESSURE RELIEF PORT, DOOR HEATER, LIGHTING, EVAPORATORS, ETC. AS INDICATED ON EQUIPMENT PROVIDER SHOP DRAWINGS AND/OR AS REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEMS.
- 5 ?????
- 6 SEE X/E4.1 FOR COMMUNICATION DROP DETAIL.
- 7 PROVIDE 600V, 200A3P4W NEMA 4X DISCONNECT SWITCH ON WALL.
- 8 PROVIDE 4X4 OCTAGONAL BOX RECESSED IN WALL WITH 1/2" EMPTY CONDUIT WITH PULL STRING STUBBED 6" ABOVE CEILING FOR ANSUL PULL STATION. MAKE ALL FINAL CONNECTIONS PER HOOD DRAWINGS.
- 9 PROVIDE CONNECTION TO HOOD AND SUPPRESSION SYSTEM FURNISHED UNDER BY OWNER. PROVIDE REMOTE HOOD FAN AND LIGHT SWITCHES AT 48" AFF. MAKE ALL FINAL CONNECTIONS PER HOOD DRAWINGS.

PRELIMINARY:
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ENGINEER: STEPHEN MITCHELL
P.E. SERIAL NUMBER: #99313
DATE: 11-16-18
T&E FIRM REG. NO. #F-4137

REVISIONS		
NO.	DATE	DESCRIPTION

NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

cmp

chesneymoralespartners, inc.
architecture/interior design
4000 San Antonio, Texas 78209
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JOB NO: 9829
DATE: 11/16/18
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SALM
SHEET
E2.2
CF *

ESA Mechanical & Electrical
Engineering, Inc.

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(T&E FIRM REGISTRATION NO. F-14137)
J&E NO. 18042

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PANEL	RA	COMMENTS																				
LOCATION:	ROOF																					
120 / 208 VOLTS, 3 PHASE, 4 WIRE				225	AMP	MAIN LUGS ONLY					22	KVA										
CIRCUIT DATA				CB	AMP	CB	LOAD	PHASE	PHASE	PHASE	CB	CB	CB	LOAD				CBT	CIRCUIT DATA			
NR	WIRE	CHD	C	DKT NR	POLE NR	TRIP	LOAD	A	A	B	LOAD	TRIP	POLE NR	NR	MS	WIRE	CHD	C				
1	12	12	1/2"	3					1383		1383	25	2		2	10	12	1/2"				
				3							1383				4							
2	12	12	1/2"	5							749	15	2		2	12	12	1/2"				
				7					749		749				8							
3	8	16	3/4"	9	CU-1	2100			4020		1920	25	1		10	2	10	12	1/2"			
				11						4020	1920	25	1		12	2	10	12	1/2"			
				13					2100	3276		1176	20	1	14	2	12	10	1/2"			
3	8	16	3/4"	15	CU-2	2100			4104		2054	30	3		16	3	10	10	1/2"			
				17					2100		4104	2054			18							
				19					2100	4104		2054			20							
3	10	10	1/2"	21	CU-3		3	30	815		1851	826	20	2	22	3	12	12	1/2"			
				23					815			836			24							
3	10	10	1/2"	25	SE-1 (CU-1)		3	30	2504	2980		536			26							
				27					2504		5818	5818	80	3	28	3	4	8	1"			
				29					2504		5818	5818			30							
3	10	10	1/2"	31	SE-1 (CU-2)		3	30	2504	5818		5818			32							
				33					2504		2054		20	1	34							
				35					2504		2054				36							
3	10	10	1/2"	37	SE-1 (CU-3)		3	30	2054		2054				38							
				39					2054		3054				40							
				41					2054		2054				42							
PANEL TYPE				NOMAL SR		PHASE CONV.		20524	21434	20800	VA	0 % SPARE CAPACITY										
MOUNTING				SURFACE		TOTAL CONNECTED LOAD		E.S		KVA	100 % DEMAND FACTOR											
FED FROM				MSP		CONNECTED + SPARE LOAD		E.S		KVA	174 AMPS CONNECTED											
						TOTAL DEMAND		E.S		KVA												
						TOTAL DEMAND AMPS		174		AMPS	AT	208	WOLTS									

PANEL:	B	COMMENTS:																																															
LOCATION:	KITCHEN																																																
120/ 208		VOLTS, 3 PHASE, 4 WIRE		225	AMP	MAIN LOGS ONLY				10				KVA																																			
CIRCUIT DATA				EXT	LOAD	CB	CB	PHASE	PHASE	PHASE	CB	CB	CB	LOAD				EXT	CIRCUIT DATA																														
NR	WIRE	END	C	NR		POLE	TRIP	A	B	C	LOAD	TRIP	POLE			NR	WIRE	END	C																														
1	12	12	1/2"	1	AMP CIRCUM-1	1	20	1500	6000							1	3																																
2	12	12	1/2"	2	SEE CUISER-4	1	20	1200								2	3																																
3	12	12	1/2"	3	BEEF COOLER EXH.	2	20	104								3																																	
				7				104	104							8																																	
3	12	12	1/2"	8	BEEF COOLER LYS/INTS	1	20	1704								10	3																																
3	12	12	1/2"	11	WALK-IN EXH.	1	20	185								13																																	
2	12	12	1/2"	13	WALK-IN COOLER LYS/HBRS	1	20	1704	5804							14	3	12	12	1/2"																													
				15	SPARE				0							16																																	
				17	SPARE											18	2	12	12	1/2"																													
2	12	12	1/2"	19	FIRST/REF-31	1	20	1184	1769							20	2	12	12	1/2"																													
2	12	12	1/2"	21	PROSECT-2	1	20	1020		3609						22	2	12	12	1/2"																													
2	12	12	1/2"	23	RECEPT. BELOW HOOD	1	20	360								24	2	12	12	1/2"																													
				25	SHUNT TRIP SPACE				220							26	2	12	12	1/2"																													
2	12	12	1/2"	27	CONNECTION OVEN-54	1	20	840		2985						28	2	10	12	1/2"																													
				29	SHUNT TRIP SPACE											30	2	10	12	1/2"																													
2	12	12	1/2"	31	CONNECTION OVEN-54	1	20	840	840							32	3	12	12	1/2"																													
				33	SHUNT TRIP SPACE					0						34	3																																
				35	SPARE	1	20			0						36																																	
				37	SPARE	1	20			0						38																																	
				39	SPARE	1	20			0						40																																	
				41	SPARE	1	20			0						42																																	
<table><tr><td>PHASE CONN.</td><td>14860</td><td>17869</td><td>12801</td><td>VA</td><td>0 % SPARE CAPACITY</td></tr><tr><td>TOTAL CONNECTED LOAD</td><td>46</td><td>KVA</td><td></td><td></td><td>100 % DEMAND FACTOR</td></tr><tr><td>CONNECTED + SPARE LOAD</td><td>46</td><td>KVA</td><td></td><td></td><td>127 AMPS CONNECTED</td></tr><tr><td>TOTAL DEMAND</td><td>46</td><td>KVA</td><td></td><td></td><td></td></tr><tr><td>TOTAL DEMAND, AMPS</td><td>127</td><td>AMPS</td><td>AT</td><td>208</td><td>VOLTS</td></tr></table>																				PHASE CONN.	14860	17869	12801	VA	0 % SPARE CAPACITY	TOTAL CONNECTED LOAD	46	KVA			100 % DEMAND FACTOR	CONNECTED + SPARE LOAD	46	KVA			127 AMPS CONNECTED	TOTAL DEMAND	46	KVA				TOTAL DEMAND, AMPS	127	AMPS	AT	208	VOLTS
PHASE CONN.	14860	17869	12801	VA	0 % SPARE CAPACITY																																												
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TOTAL DEMAND	46	KVA																																															
TOTAL DEMAND, AMPS	127	AMPS	AT	208	VOLTS																																												
PANEL TYPE:		NEMA 1																																															
MOUNTING:		FLUSH																																															
FED FROM:		MCP																																															

PANEL	C	COMMENTS																	
LOCATION:	KITCHEN																		
120/ 208		VOLTS, 3 PHASE, 4 WIRE		225	AMP	MAIN LUGS ONLY				10 KAIC									
CIRCUIT DATA		CKT	LOAD	CB	CB	CB	PHASE	PHASE	PHASE	CB	CB	CB	LOAD		EXT	CIRCUIT DATA			
NR	WIRE	END	C	NR	TRIP	LOAD	VR	B	C	VR	TRIP	NR			NR	WIRE	END	C	
				3	125	11300	15167			4157	50	3	CONNECTION OVER-38	2	5				
				4		11300		15167		4157				4					
				5		11300			15167	4157				6					
2	12	12	1/2"	7	HOLDING CAB-55	1	20	1008	1936		20	1	REFRIGERATOR-80	8	2	12	12	1/2"	
3	12	12	1/2"	8	WASTE WATER	1	20	1200		2150	20	1	REFRIGERATOR-80	10	2	12	12	1/2"	
4	12	12	1/2"	11	WASTE WATER	1	20	1200		2400	20	1	HOT WELLS-B1	12	2	12	12	1/2"	
5	12	12	1/2"	13	RUFFLE WATER	1	20	1200	2430		20	1	HOT WELLS-B1	14	2	12	12	1/2"	
6	12	12	1/2"	15	RUFFLE WATER	1	20	1200		2400	20	1	HOT WELLS-B1	16	2	12	12	1/2"	
7	12	12	1/2"	17	REFR. REFRIGERATOR-70	1	20	864		2584	20	1	THAW-85	18	2	12	12	1/2"	
8	12	12	1/2"	18	REF-CT. BELOW CASE	1	20	540	2340		20	1	TOASTER-55	20	2	12	12	1/2"	
				21	SHUNT TOP SPACE			SHUNT		1080	20	1	PICZA PROP. REF-B5	22	2	12	12	1/2"	
2	12	12	1/2"	23	REF. BASE-77	1	20	804		1720	565	30	1	ICE CREAM-87 B88	24	2	12	12	1/2"
3	12	12	1/2"	25	POS-KITCHEN	1	20	360	1260		20	1	USE REF-93	26	2	12	12	1/2"	
4	12	12	1/2"	27	POS-KITCHEN	1	20	360		1260	550	20	1	REFRIGERATOR-80	28	2	12	12	1/2"
5	12	12	1/2"	28		1	20				550	20	1	REF. REF-97	30	2	12	12	1/2"
6	12	12	1/2"	31		1	20	0			20	1		32	2	12	12	1/2"	
7	12	12	1/2"	33		1	20	0			20	1		34	2	12	12	1/2"	
8	12	12	1/2"	35		1	20	0			20	1	RECEP/ABLE	36	2	12	12	1/2"	
9	12	12	1/2"	36	SPACE	1	20	0			0		BUSSED SPACE	38					
10	12	12	1/2"	37	SPACE	1	20	0			0		BUSSED SPACE	40					
11	12	12	1/2"	41	SPACE	1	20	0			0		BUSSED SPACE	42					
PANEL TYPE: NEMA 1				TOTAL CONNECTED LOAD		23075		22007		22553		VA		0 % SPARE CAPACITY					
MOUNTING: FLUSH				CONNECTED + SPARE LOAD		68		KVA						100 % DEMAND FACTOR					
FED FROM: MDP				TOTAL DEMAND		66		KVA						188 AMPS CONNECTED					
				TOTAL DEMAND, AMPS		188		amps		AT		208		VOLTS					

OS NO: 1829
DATE: 11/16/18
DRAWN BY:
CHECKED BY: SALM
SHEET
E3.2
OF *



7. THE EQUIPMENT AND INSTALLATION FURNISHED UNDER THIS PROJECT SHALL BE PROVIDED BY A MANUFACTURER WHO HAS BEEN ENGAGED IN PRODUCTION OF THE TYPE (SOFTWARE DRIVEN) OF EQUIPMENT FOR AT LEAST FIVE (5) YEARS, AND HAS A FULLY EQUIPPED SERVICE ORGANIZATION WITHIN FIFTY (50) MILES OF THE INSTALLATION.
8. ALL CONTROL EQUIPMENT MUST HAVE TRANSIENT PROTECTION DEVICES TO COMPLY WITH UL864 REQUIREMENTS.
9. THE COMPLETED FIRE ALARM SYSTEM SHALL BE FULLY TESTED IN ACCORDANCE WITH NFPA-72 BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND THE LOCAL FIRE MARSHAL. UPON COMPLETION OF A SUCCESSFUL TEST THE CONTRACTOR SHALL SO CERTIFY IN WRITING TO THE OWNER AND GENERAL CONTRACTOR.
10. CONTRACTOR SHALL COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS, OTHER TRADES, AND VERIFY LOCATION OF ALL EQUIPMENT WITH OWNER OR ARCHITECT BEFORE CONSTRUCTION. FAILURE TO DO SO SHALL RESULT IN MOVING EQUIPMENT AT NO COST TO OWNER.
11. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE TO THE SATISFACTION OF THE OWNER, ARCHITECT, AND ENGINEER, ANY UTILITIES, MATERIALS, EQUIPMENT, WALLS, FOUNDATIONS, INSTALLATION, DAMAGED BY REMOVAL OR ACCIDENT. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND EQUIPMENT PRIOR TO ANY EXCAVATIONS. ALL STRUCTURAL PENETRATIONS SHALL BE SEALED IN SUCH A MANNER AS TO EQUAL OR EXCEED THE ORIGINAL STRUCTURAL CHARACTERISTICS, INCLUDING FIRE RATINGS AND WEATHERPROOFING.



- ① TWO (2) SETS (4#500 KCMIL, 4°C)
- ② THREE (3) SETS (4#300 KCMIL, 1#2/0 GND, 3°C)
- ③ 3#2/0, 1#6 GND, 2°C
- ④ 4#3/0, 1#6 GND, 2°C
- ⑤ 1#2/0 GND; BOND TO 3/4" X 10' GROUND ROD, UFER GROUND, BUILDING STEEL, AND DOMESTIC COLD WATER PIPE.

2X4 EMPTY BOX

SYMBOL ON PLANS (TYP.)

3 TELEPHONE/DATA DETAIL
SCALE N.T.S.



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**NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE**
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209



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BALM

E4.1

CE:

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ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 68595
DATE: 11-16-18
TEPE FIRM REG. NO. #F-4137

REVISIONS		
NO	DATE	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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DATE 11/16/18

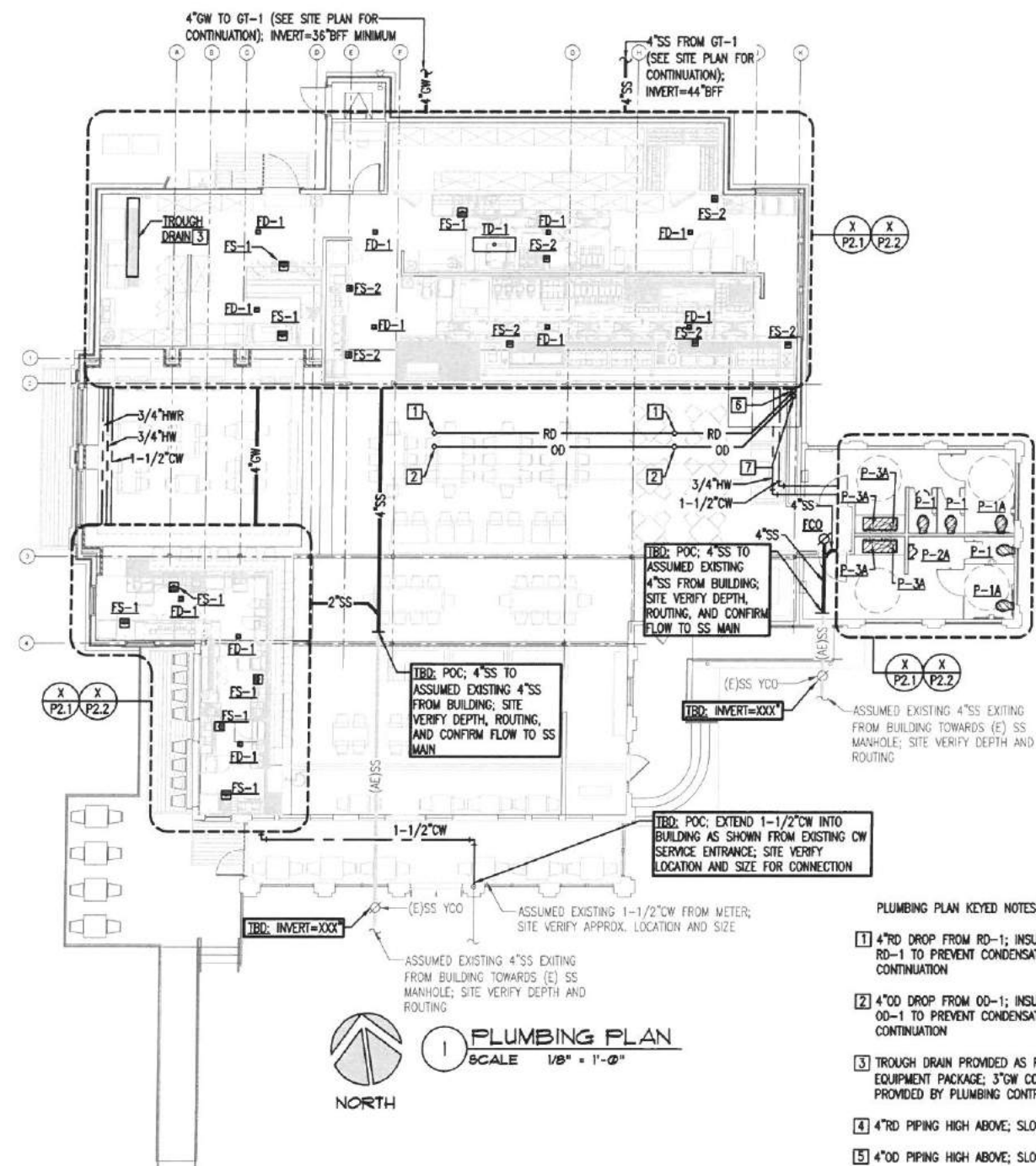
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6-SHEET

P1.1

OF 6



1 PLUMBING PLAN
SCALE 1/8" = 1'-0"

PLUMBING PLAN KEYED NOTES □: (P.1 ONLY)

- 1 4"RD DROP FROM RD-1; INSULATE FIRST 15'-FT OF PIPING FROM RD-1 TO PREVENT CONDENSATION; SEE MEP1.2 FOR CONTINUATION
- 2 4"OD DROP FROM OD-1; INSULATE FIRST 15'-FT OF PIPING FROM OD-1 TO PREVENT CONDENSATION; SEE MEP1.2 FOR CONTINUATION
- 3 TROUGH DRAIN PROVIDED AS PART OF KITCHEN SUPPLIER'S EQUIPMENT PACKAGE; 3"GW CONNECTION WITH P-TRAP SHALL BE PROVIDED BY PLUMBING CONTRACTOR
- 4 4"RD PIPING HIGH ABOVE; SLOPE AT 1/4" FALL PER FOOT.
- 5 4"OD PIPING HIGH ABOVE; SLOPE AT 1/4" FALL PER FOOT.
- 6 4"RD PIPING DROP IN WALL AND TURN TO DS-1; CONTRACTOR SHALL PROVIDE J.R. SMITH 1770-05-NB DOWNSPOUT NOZZLE W/ NICKEL BRONZE FINISH
- 7 4"OD PIPING DROP IN WALL AND TURN TO DS-1; CONTRACTOR SHALL PROVIDE J.R. SMITH 1770-05-NB DOWNSPOUT NOZZLE W/ NICKEL BRONZE FINISH

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JULY 10, 18042

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ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 58595
DATE: 11-15-18
TBMF FIRM REG. NO. #F-4137

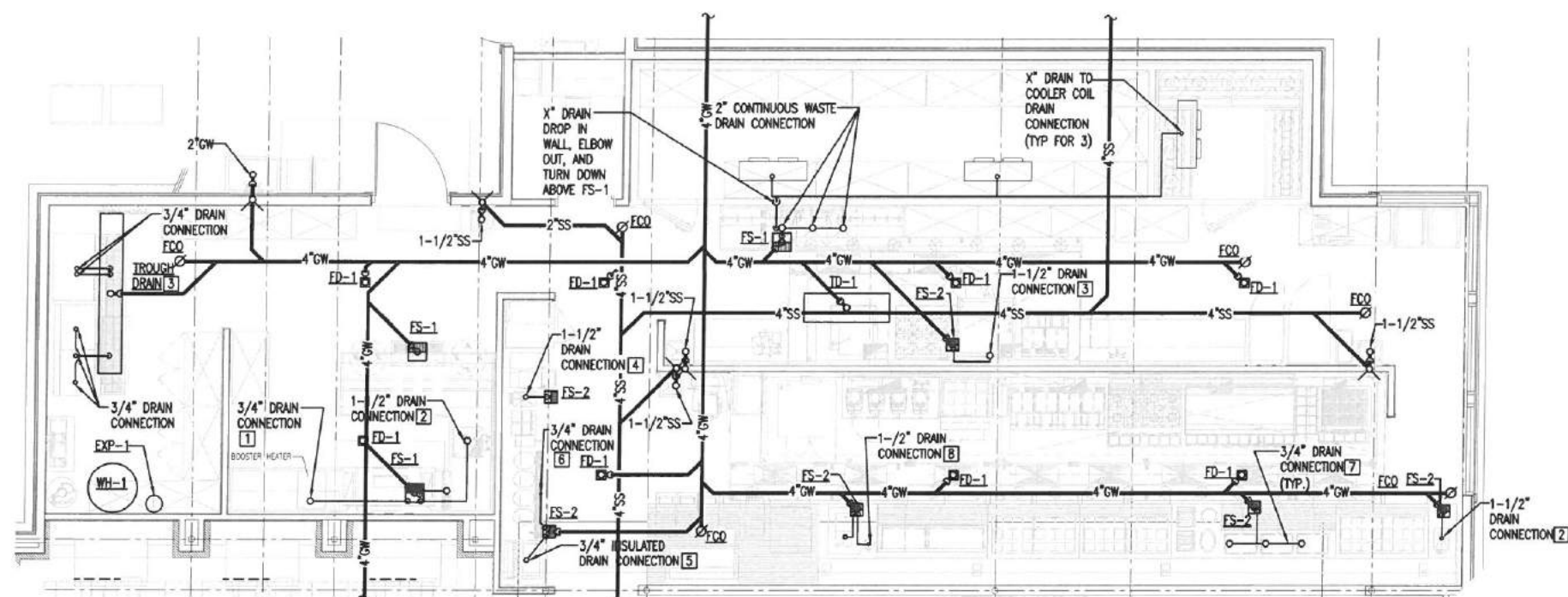
REVISIONS		
NO	DATE	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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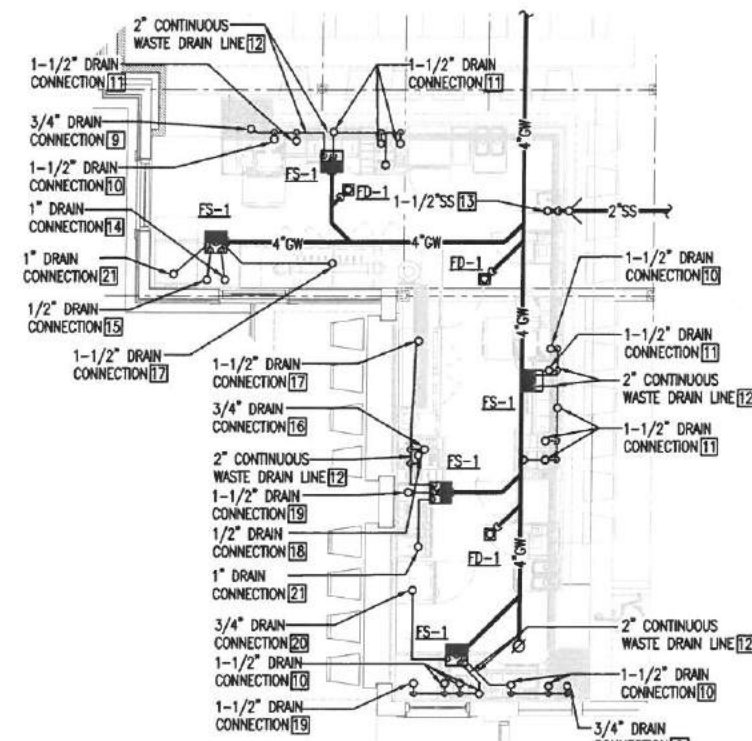
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OF 8



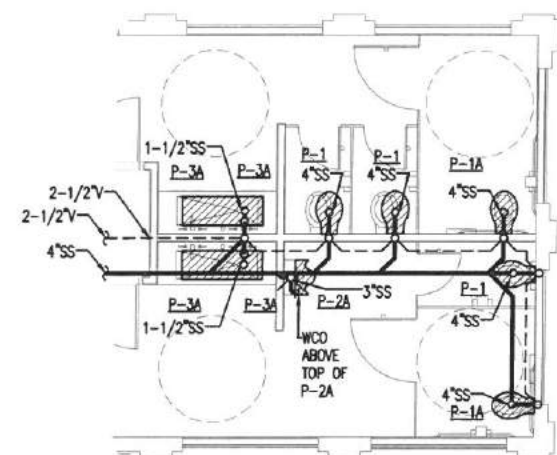
1 ENLARGED PLUMBING PLAN - WASTE & VENT
SCALE 1/4" = 1'-0"

- PLUMBING PLAN KEYED NOTES (P2.1 ONLY)
- ROUTE 3/4" DRAIN LINE ALONG WALL BELOW DISH TABLE AND TURN DOWN ABOVE FS-1.
 - ROUTE 1-1/2" DRAIN LINE ALONG WALL BELOW SINK, TURN, AND ELBOW DOWN ABOVE FS-2.
 - PROVIDE 1-1/2" DRAIN LINE CONNECTION TO ELECTRIC COMBI-OVEN WITH VERTICAL VENT TO RISE ABOVE TOP OF UNIT, ROUTE DOWN ALONG WALL AND FLOOR TO ELBOW DOWN ABOVE FS-2.
 - ROUTE 1-1/2" DRAIN LINE IN MILLWORK BELOW SINK, TURN, AND ELBOW DOWN ABOVE FS-2.
 - ROUTE INSULATED 3/4" DRAIN LINE FROM BEVERAGE DISPENSER ICE BIN CONNECTION IN MILLWORK, TURN, AND ELBOW DOWN ABOVE FS-2.
 - PROVIDE LINE-SIZE DRAIN CONNECTION TO BEVERAGE COUNTER DRIP TRAY AND INCREASE TO 3/4" DRAIN LINE, ROUTE DOWN IN MILLWORK AND ELBOW DOWN ABOVE FS-2.
 - PROVIDE 3/4" DRAIN CONNECTION TO DROP-IN HOT FOOD WELLS, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE FS-2.
 - PROVIDE 1-1/2" DRAIN CONNECTION TO ICE CREAM DIPPING CABINET, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE FS-2.
 - PROVIDE 3/4" DRAIN CONNECTION TO S/S DRINK PICK-UP PAN, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.
 - PROVIDE 3/4" DRAIN CONNECTION TO BACK BAR REFRIGERATOR, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.

- PROVIDE 1-1/2" DRAIN CONNECTION TO COCKTAIL STATION, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.
- PROVIDE 2" CONTINUOUS WASTE, SLOPED AT 1/4" FALL PER FOOT, ALONG WALL AND TURN AS NEEDED AND ELBOW DOWN ABOVE FS-1.
- PROVIDE 1-1/2"SS CONNECTION TO HAND SINK; PROVIDE ISLAND VENT PIPING CONFIGURATION - SEE DETAIL X/XXX.
- PROVIDE 1/2" DRAIN CONNECTION TO REAR OF GLASS RACK, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE FS-1.
- PROVIDE 1" DRAIN CONNECTION TO BOTTOM SHELF OF GLASS RACK, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE FS-1.
- PROVIDE 1-1/2" DRAIN CONNECTION TO BLENDER STATION, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.
- PROVIDE 3/4" DRAIN CONNECTION TO BEER STATION DRIP TRAY, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.
- PROVIDE 1/2" DRAIN CONNECTION TO ICE BIN, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.
- PROVIDE 1-1/2" DRAIN CONNECTION TO DRAIN BOARD, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.
- PROVIDE 3/4" DRAIN CONNECTION TO BACK BAR CABINET, ROUTE DOWN ALONG WALL TO FS-1.
- PROVIDE 1" DRAIN CONNECTION TO GLASS DISHWASHER, ROUTE DOWN ALONG WALL TO FS-1.



2 ENLARGED PLUMBING PLAN - WASTE & VENT
SCALE 1/4" = 1'-0"



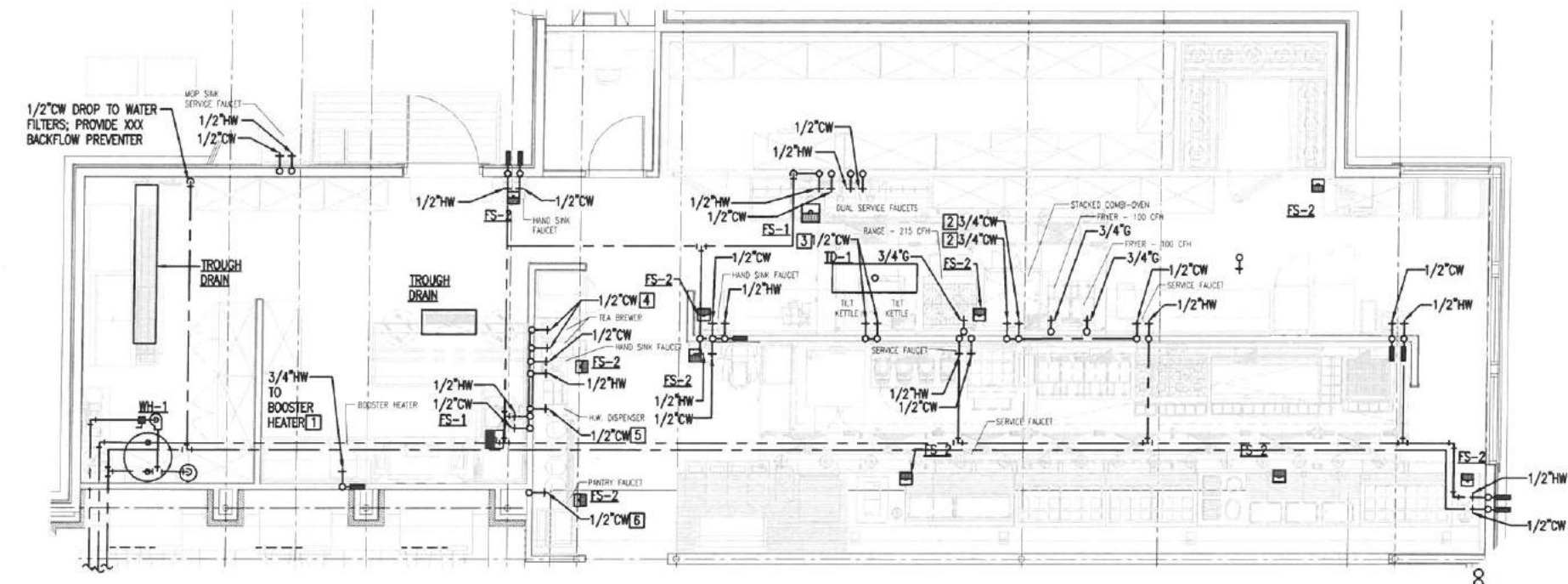
3 ENLARGED PLUMBING PLAN - WASTE & VENT
SCALE 1/4" = 1'-0"

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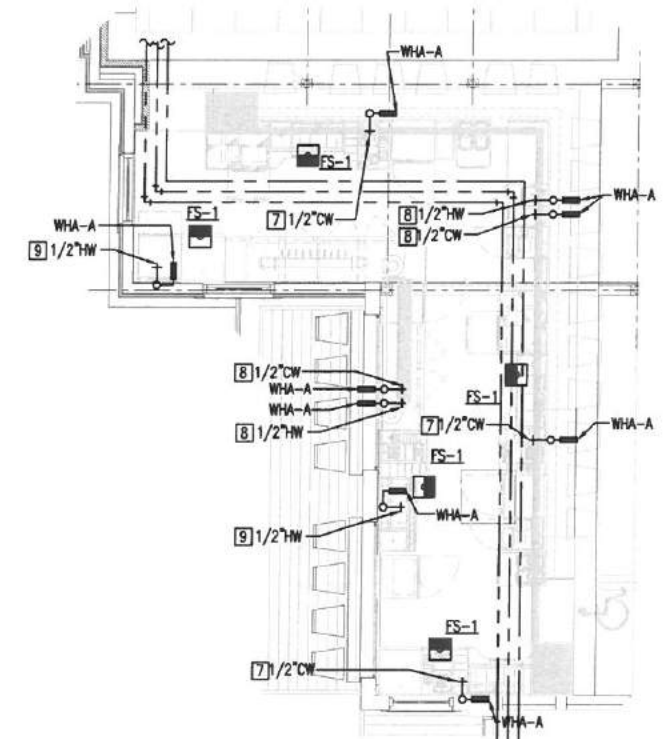
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ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 60596
DATE: 11-16-18
TYPE FIRM REG. NO. 4137

REVISIONS		
NO	DATE	DESCRIPTION

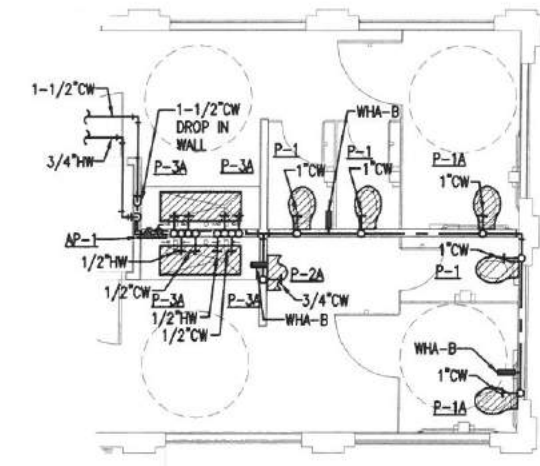


1 ENLARGED PLUMBING PLAN - WATER & GAS
SCALE 1/4" = 1'-0"

- PLUMBING PLAN KEYED NOTES □: (P2.2 ONLY)
- 1 PROVIDE 3/4" HW STUB-OUT CAPPED AND VALVED WITH BALL VALVE.
 - 2 PROVIDE 3/4" CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE FOR CONNECTION TO ELECTRIC COMBI-OVEN.
 - 3 PROVIDE 1/2" CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR 3/8" NPT CONNECTION TO ELECTRIC TILT KETTLE.
 - 4 PROVIDE 1/2" CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO WATER FILTER AND FINAL 1/4" OD FLARE CONNECTION TO TEA BREWER.
 - 5 PROVIDE 1/2" CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO WATER FILTER AND FINAL 1/4" OD FLARE CONNECTION TO HOT WATER DISPENSER.
 - 6 PROVIDE 1/2" CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO PANTRY FAUCET WITH 1/2" NPS THREAD.
 - 7 PROVIDE 1/2" CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO ICE BIN FAUCET WITH 1/2" NPS THREAD.
 - 8 PROVIDE 1/2" CW AND 1/2" HW CONNECTIONS FOR SINK FAUCET.
 - 9 PROVIDE 1/2" HW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO GLASS DISHWASHER.



2 ENLARGED PLUMBING PLAN - WATER
SCALE 1/4" = 1'-0"



3 ENLARGED PLUMBING PLAN - WATER
SCALE 1/4" = 1'-0"

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JOB NO. 1829
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GENERAL PLUMBING NOTES:

1. ALL PLUMBING INSTALLATIONS TO BE MADE IN ACCORDANCE WITH LATEST LOCAL ADOPTED CODES AND CURRENT A.D.A. CRITERIA.
2. WASTE AND VENT LINES TO BE SCHEDULE 40 PVC.
3. COPPER LINES IN CONCRETE TO BE PROTECTED WITH PLASTIC JACKET.
4. ALL WATER LINES IN BUILDING SHALL BE RUN ABOVE CEILING UNLESS NOTED OTHERWISE.
5. SLOPE ALL GREASE WASTE LINES AT 1/4" PER FOOT AND ALL SANITARY SEWER LINES AT 1/8" PER FOOT.
6. INSULATE ALL HOT WATER LINES (INCLUDING LINES RUN ABOVE CEILING) WITH 1" OWENS-CORNING FIBERGLASS AS/SSL-11 OR EQUIVALENT.
7. FIRE-SEAL ALL PIPE PENETRATIONS THRU FIRE-RATED WALLS.
8. PLUMBING LINES SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS. COORDINATE PANEL LOCATIONS WITH ELECTRICAL CONTRACTOR.
9. PROVIDE LOCAL CODE APPROVED BACKFLOW PREVENTERS CONFORMING TO ASSE 1022 FOR ALL BEVERAGE DISPENSERS AND WATER DISPENSING FOOD SERVICE EQUIPMENT. FOR ALL CARBONATED BEVERAGE DISPENSERS, PROVIDE LOCAL CODE APPROVED STAINLESS STEEL BACKFLOW PREVENTERS CONFORMING TO ASSE 1022.
10. ALL POTABLE WATER PIPING SHALL BE COPPER. ALL COPPER LINES IN SLAB TO BE TYPE "K" SOFT COPPER WITH NO JOINTS. COPPER LINES NOT INSTALLED IN SLAB TO BE TYPE "L" HARD COPPER.
11. PROVIDE ALTERNATE BID WITH ALL POTABLE WATER LINES TO BE PEX. PIPE SIZE INDICATED ON THESE DRAWINGS ARE SIZED PER COPPER AND SHALL BE ADJUSTED AS REQUIRED FOR PEX. APPROVED PEX MANUFACTURERS: AQUATHERM GREENPIPE, UPONOR MIRSBO AND REHAU. PEX PIPING MUST BE APPLICABLE FOR HOT WATER RECIRCULATION SYSTEM.
12. COORDINATE ROUGH-IN HEIGHTS, FIXTURE MOUNTING HEIGHTS, AND ADA CLEARANCES WITH VENDOR EQUIPMENT DRAWINGS, ARCHITECT, AND TEXAS ADA ACCESSIBILITY STANDARDS.
13. GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL FOR ABOVE GROUND INSTALLATIONS.
14. ALL PIPING BELOW GRADE SHALL HAVE NO JOINTS BELOW GRADE.
15. ALL WATER HAMMER ARRESTORS TO BE SIOUX CHIEF PISTON TYPE OR EQUAL. PROVIDE ACCESS PANELS WHERE REQUIRED.
16. ALL CONDENSATE DRAIN LINES SHALL SLOPE AT 1/8" PER FOOT.
17. ALL INTERIOR CONDENSATE PIPING SHALL BE INSULATED SCHEDULE 40 PVC.
18. ALL EXTERIOR CONDENSATE PIPING SHALL BE TYPE "L" HARD COPPER.
19. DO NOT INSTALL WATER LINES OR VENT LINES ABOVE ELECTRICAL PANELBOARDS. COORDINATE PANELBOARD LOCATIONS WITH ELECTRICAL CONTRACTOR.
20. ALL PLUMBING SHALL COMPLY WITH THE MOST STRINGENT OF APPLICABLE CODES, ORDINANCES, OR SPECIFICATIONS.
21. ALL FIXTURES SHALL BE PROPERLY VENTED TO THE ATMOSPHERE.
22. REFER TO MECHANICAL SHEETS FOR LOCATIONS OF MECHANICAL EQUIPMENT AND DUCTWORK AND CORRELATE ALL WORK TO FIT AVAILABLE SPACE.
23. WATER PIPING AND VENT PIPING MARKS SHALL BE INSTALLED ABOVE LAY-IN CEILING UNLESS OTHERWISE NOTED.
24. FOR INDIVIDUAL LINE SIZES TO FIXTURES SEE PLUMBING FIXTURE SCHEDULE.
25. DO NOT RUN PLUMBING IN SHEAR WALLS.
26. REFER TO ARCHITECTURAL DRAWINGS FOR ADA MOUNTING HEIGHTS.
27. PROVIDE WATER HAMMER ARRESTORS FOR DISHWASHER AND KITCHEN SINKS PER CITY OF SAN ANTONIO CHAPTER 24 PLUMBING CODE SECTION 604.9. INSTALL WATER HAMMER ARRESTORS ABOVE CEILING ON HOT AND COLD WATER LINES.
28. GAS PIPING ALONG EXTERIOR WALL AND GAS METER SHALL BE PAINTED TO MATCH BUILDING EXTERIOR WALL COLOR.
29. SEAL AROUND PIPE PENETRATIONS WHERE PIPE PASSES BETWEEN LOCATIONS WITH DIFFERENCES IN TEMPERATURE, SUCH AS REFRIGERATED SPACES.
30. PROVIDE GAS VALVES WITH SHUNT TRIP FOR GAS LINES SERVING KITCHEN EQUIPMENT LOCATED UNDER HOODS. GAS VALVE SHUNT TRIP SHALL BE INTERLOCKED WITH THE HOOD ANSUL SYSTEM.
31. VENT LINES SHALL BE INSTALLED ABOVE CEILING OR A MINIMUM OF 6" ABOVE THE FLOOR RIM OF THE FIXTURE SERVED. VENT LINES SHOWN IN SLAB CONNECT TO TRAPS OF FLOOR DRAINS AND FLOOR SINKS. ENSURE VENT PIPING IS INSTALLED WITH A SLOPE OF 1/8" RISE PER FOOT TOWARDS VENT RISER IN NEAREST WALL.
32. EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6" ABOVE THE FLOOR LEVEL RIM OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED. WHEN STRUCTURAL CONDITIONS REQUIRE HORIZONTAL VENTS TO BE INSTALLED BELOW THE FLOOR LEVEL RIM OF THE FIXTURE THEY SERVE, THEY SHALL HAVE A CLEANOUT INSTALLED ON THE RISER IN AN ACCESSIBLE LOCATION.
33. A CONNECTION BETWEEN A VENT PIPE AND A VENT STACK OR STACK VENT SHALL BE MADE AT LEAST 6" ABOVE THE FLOOR LEVEL RIM OF THE HIGHEST FIXTURE SERVED BY THE VENT. HORIZONTAL VENT PIPES FORMING BRANCH VENTS, RELIEF VENTS OR LOOP VENTS SHALL BE AT LEAST 6" ABOVE THE FLOOR LEVEL RIM OF THE HIGHEST FIXTURE SERVED.

GENERAL KITCHEN PLUMBING NOTES:

1. REFER TO FOOD SERVICE DRAWINGS FOR ADDITIONAL ROUGH-IN AND WATER AND DRAINAGE REQUIREMENT INCLUDING LOCATION AND MOUNTING HEIGHTS. FOOD SERVICE DRAWINGS SHALL TAKE PRECEDENCE OVER DIVISION 15 DRAWINGS WITH RESPECT TO KITCHEN EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS.
2. KITCHEN EQUIPMENT CONNECTIONS SHALL BE LOCATED IN ACCORDANCE WITH APPROVED DIMENSIONED SHOP DRAWINGS. MAKE ALL FINAL CONNECTIONS UNLESS OTHERWISE NOTED BY FOOD SERVICE DRAWINGS.
3. SEAL AROUND PIPE PENETRATIONS WHERE PIPE PASSES BETWEEN LOCATIONS WITH DIFFERENCES IN TEMPERATURE, SUCH AS REFRIGERATED SPACES.
4. PROVIDE GAS VALVES WITH SHUNT TRIP FOR GAS LINES SERVING KITCHEN EQUIPMENT LOCATED UNDER HOODS. GAS VALVE SHUNT TRIP SHALL BE INTERLOCKED WITH THE HOOD ANSUL SYSTEM.
5. SEE FOOD SERVICE DRAWINGS FOR SYRUP LINE CHASE INSTALLATION.
6. PLUMBING FIXTURES SHOWN ON FOOD SERVICE CONSULTANT DRAWINGS SHALL BE FURNISHED BY FOOD SERVICE CONTRACTOR AND INSTALLED BY PLUMBING CONTRACTOR.

PLUMBING FIXTURE SCHEDULE

MARK	ITEM	HW	CW	DRAIN	VENT	REMARKS
P-1	WATER CLOSET - WALL MOUNT FLUSH VALVE	-	1"	4"	2"	AMERICAN STANDARD 2294.011EC AFWALL FLOWISE ELONGATED BOWL W/ EVERCLEAN SURFACE, TOP SPUD, WHITE (1.28 GPF); SLOAN ROYAL 111-1.28 EXPOSED FLUSHOMETER (1.28 GPF); BEMIS 1955CC OPEN FRONT SEAT; ZURN Z-1203 FLOOR MOUNTED CLOSET CARRIER (1) (4)
P-1A	WATER CLOSET - WALL MOUNT FLUSH VALVE (ADA)	-	1"	4"	2"	AMERICAN STANDARD 2294.011EC AFWALL FLOWISE ELONGATED BOWL W/ EVERCLEAN SURFACE, TOP SPUD, WHITE (1.28 GPF); SLOAN ROYAL 111-1.28 EXPOSED FLUSHOMETER (1.28 GPF); BEMIS 1955CC OPEN FRONT SEAT; ZURN Z-1203 FLOOR MOUNTED CLOSET CARRIER (1) (4)
P-2A	URINAL (ADA)	-	3/4"	2"	1-1/2"	AMERICAN STANDARD 6590.001 WASHBROOK FLOWISE WALL-HUNG URINAL, WHITE (0.5 GPF), 3/4" TOP SPUD; SLOAN ROYAL 186-0.5 EXPOSED URINAL FLUSHOMETER; ZURN Z-1218 FLOOR MOUNTED URINAL CARRIER (4)
P-3A	LAVATORY (ADA)	1/2"	1/2"	2"	1-1/2"	KOHLER K-20213-P5 "IRON PLAINS"; SEE ARCHITECTURAL FOR MORE; KOHLER K-T14414-4 "PURIST" FAUCET, HEAVY-DUTY CAST BRASS; (2) MCGUIRE 2167LK FLEXIBLE SUPPLIES AND LOOSE KEY STOP, MCGUIRE 8912 "P" TRAP; WATTS USG-B UNDERSINK GUARDIAN (SET AT 105F) (2) (3) (4) (5)
TD-1	TROUGH DRAIN	-	-	SEE PLANS	SEE PLANS	MC/TEDDY ASFT-1860 WITH 14GA, 304 STAINLESS STEEL, AND ADA STAINLESS STEEL GRATE. SIZES SHALL BE AS SHOWN ON PLANS.
FD-1	FLOOR DRAIN	-	-	SEE PLANS	SEE PLANS	ZURN Z415N BODY ASSEMBLY WITH POLISHED NICKEL BRONZE TOP AND TRAP PRIMER CONNECTION, 5-INCH DIA.
FS-1	FLOOR SINK - 12" x 12" x 10"	-	-	SEE PLANS	SEE PLANS	ZURN #ZN-1902-P-33, C.I. GRATE, TRAP PRIMER CONNECTION AND SEDIMENT BUCKET, WHITE ACID RESISTING EPOXY COATING. 1/2" OPEN GRATE STYLE; ATTEMPT TO CONCEAL FLOOR SINK BELOW MILLWORK WHERE POSSIBLE, COORDINATE W/ ARCH.
FS-2	FLOOR SINK - 8" x 8" x 6"	-	-	SEE PLANS	SEE PLANS	ZURN #ZN-1910-P-33, C.I. GRATE, TRAP PRIMER CONNECTION AND SEDIMENT BUCKET, WHITE ACID RESISTING EPOXY COATING. COORDINATE GRATE OPENING STYLE WITH FOOD SERVICE CONSULTANT.
AP-1	ACCESS PANEL	-	-	-	-	MIFAB SERIES UA SERIES, 12" x 12" KEY OPERATED LOCK. COORDINATE FINISH WITH ARCHITECT
TP-1	TRAP PRIMER	-	1/2"	-	-	PPP INC. # PR-500 WITH DISTRIBUTION UNIT DU-2, DU-3, OR DU-4 WHERE MULTIPLE LINES ARE REQUIRED
EXP-1	EXPANSION TANK	-	-	-	-	WATTS #DETA-30-M1
FCO	FLOOR CLEANOUT	-	-	SEE PLANS	-	ZURN Z1400-BZ ADJUSTABLE LEVELING FLOOR CLEANOUT
YCO	YARD CLEANOUT	-	-	SEE PLANS	-	ZURN Z1400 ADJUSTABLE LEVELING FLOOR CLEANOUT
WCO	WALL CLEANOUT	-	-	SEE PLANS	-	ZURN Z1441 WITH POLISHED CHROME FINISH
HB-1	HOSE BIBB	-	3/4"	-	-	WOODFORD #RB67 FREEZEPROOF WITH VACUUM BREAKER AND LOOSE KEY
RCP-1	RECIRCULATION PUMP POTABLE WATER	1/2"	-	-	-	----
MV-1	MIXING VALVE	SEE PLANS	SEE PLANS	-	-	WATTS #L111 1/2" THERMOSTATIC MIXING VALVE WITH #CS CHECK STOP VALVES; SET AT 105F; LOCATE UNDER KITCHEN HAND SINKS
WB-1	WALL BOX	SEE PLANS	SEE PLANS	-	-	DATEY 38688 METAL WATER OUTLET BOX W/ QUARTER TURN BRASS HAMMER BALL VALVE; PROVIDE SOV AND 6" OF COILED SOFT COPPER FOR CONNECTION TO WB-1
GI-1	GREASE INTERCEPTOR	-	-	4"	2"	----

- 1 PROVIDE TRIP LEVER ON OPEN SIDE OF RESTROOM. SEE PLANS.
- 2 PROVIDE OFFSET DRAIN.
- 3 PROVIDE TRUEBRO HAND-LAV GUARD KITS #102 AND #105 OFFSET DRAIN.
- 4 REFER TO ARCHITECTURAL PLANS FOR ADA INSTALLATION HEIGHTS.
- 5 PROVIDE TAILPIECE FITTING FOR ROUTING TO FLOOR DRAIN TRAP PRIMER CONNECTION

WATER HEATER SCHEDULE

MARK	GAS		TANK GALS.	RECOVERY GPH @ 80°F ΔT	REMARKS
	BTUH	FLUE			
WH-1 (1)	199,000	6"Ø; PROVIDE FLUE PER MFG. RECOMMENDATIONS	100	239	A.O. SMITH BTH199 CYCLONE Mx (CONCENTRIC DIRECT VENT); PROVIDE GALVANIZED DRAIN PAN WITH 3/4" DRAIN WITH AIR GAP AS NOTED; PROVIDE T&P AND FULL-SIZE DRAIN WITH AIR GAP AS NOTED; SET AT 140°F (OPER. WT. = 1305#); SEE 6/P.4.1

EQUIVALENT MANUFACTURERS: NONE

- 1 PROVIDE CONCENTRIC VENT KIT 9006328005

WATER HAMMER ARRESTER SCHEDULE

"PD" CROSS REF.	N.P.T.	FIXTURE UNIT CAPACITY	LOCATION	SIOUX CHIEF MODEL NO. OR EQUAL	REMARKS
AA	1/2"	1-4	ACCESSIBLE VIA ACCESS PANEL	660	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
A	1/2"	5-11		652-A	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
B	3/4"	12-32		653-B	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
C	1"	33-60		654-C	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
D	1"	61-113		655-D	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)

PLUMBING LEGEND

MARK	DESCRIPTION
----	COLD WATER CW
----	HOT WATER PIPING (120°) HW
----	HOT WATER RETURN PIPING (120°) HWR
SS	SANITARY SEWER PIPING SW
FCO	FLOOR CLEANOUT
V	VENT PIPING
P-X	FIXTURE WITH MARK
DA	DATE VALVE
ED	ELBOW DOWN
EU	ELBOW UP
EF	ELBOW FITTING
TF	TEE FITTING
CD	CONDENSATE OR OVERFLOW DRAIN PIPING
WCO	WALL CLEANOUT
CO	CLEANOUT
(AE)	INDICATES ASSUMED EXISTING
(E)	INDICATES EXISTING
FS	FLOOR SINK
BV	BALL VALVE
[]	DENOTES PLUMBING KEYED NOTE
AF	ABOVE FINISHED FLOOR
[A]	DENOTES PLUMBING DEMOLITION KEYED NOTE
POC	POINT OF CONNECTION
VTR	VENT THRU ROOF
AC	ABOVE CEILING
BFF	BELOW FINISH FLOOR
WHA	WATER HAMMER ARRESTOR
CW	COLD WATER
HW	HOT WATER
SW	SOFT WATER
TW	TEMPERED WATER
G	GAS PIPING

NOTE: NOT ALL MARKS MAY BE USED.

PRELIMINARY:
FOR INTERIM REVIEW NOT
FOR CONSTRUCTION, BIDDING
OR PERMIT PURPOSES
ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 68593
DATE: 11-16-18
TPEE FIRM REG. NO. #F-4137

REVISIONS		
NO	DATE	DESCRIPTION

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SAN ANTONIO, TX 78209

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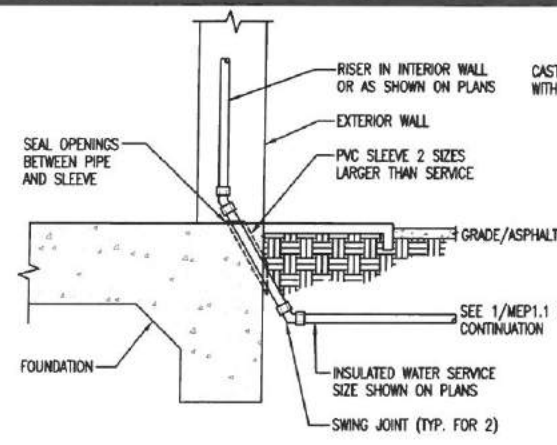
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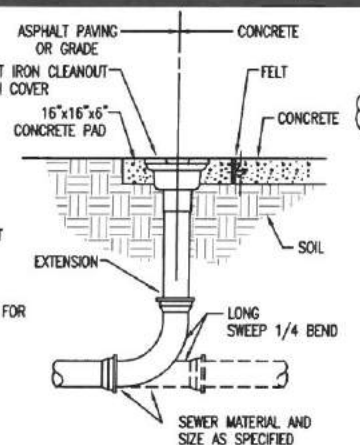
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JOB NO: 18042

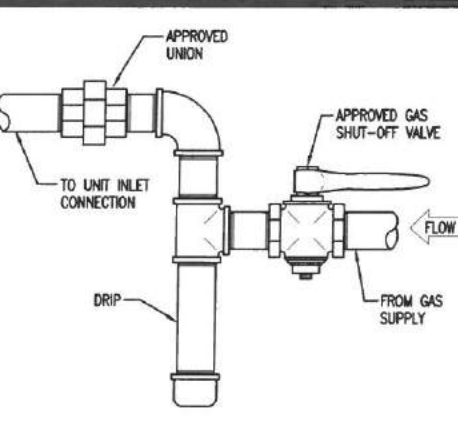
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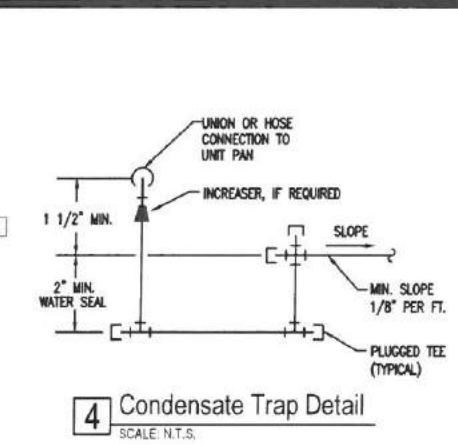
1 Water Entrance Detail
SCALE: N.T.S.



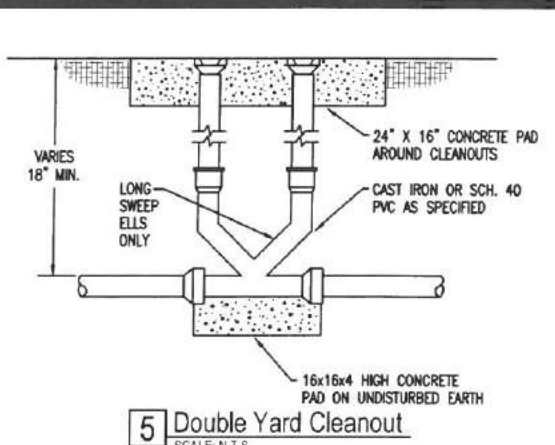
2 Yard Cleanout Detail
SCALE: N.T.S.



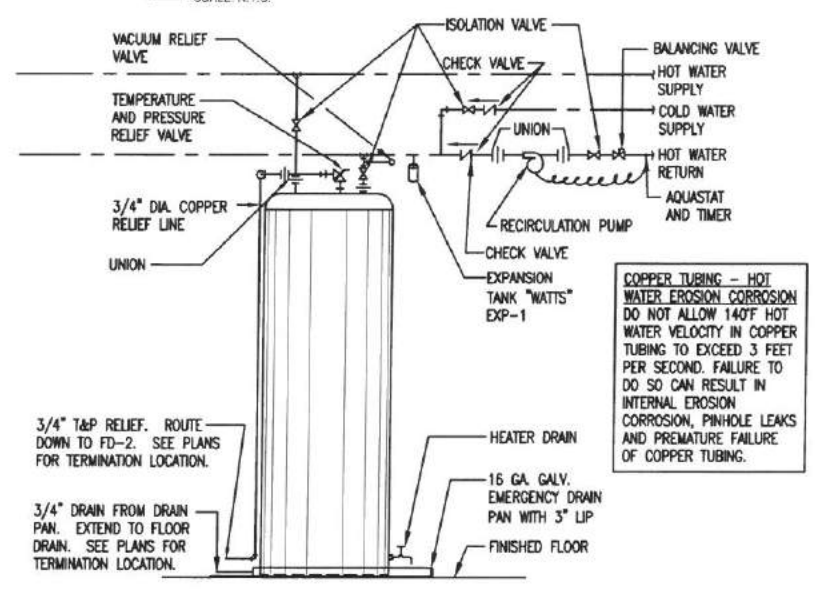
3 Gas Connection Detail
SCALE: N.T.S.



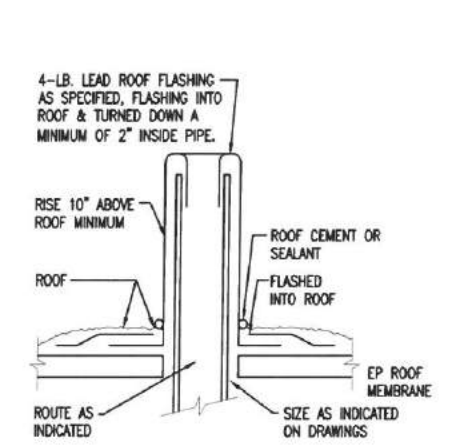
4 Condensate Trap Detail
SCALE: N.T.S.



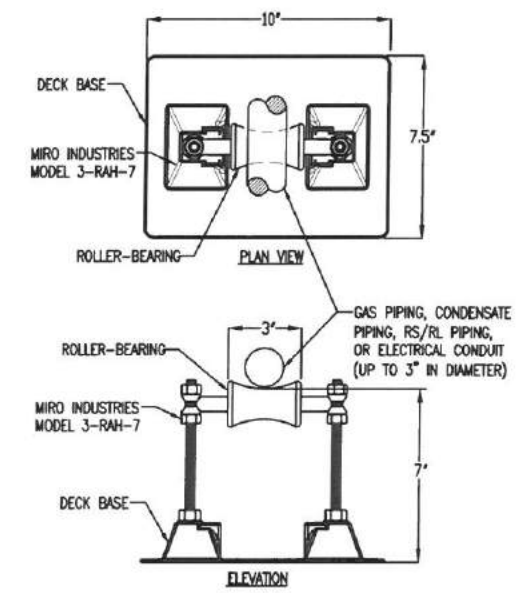
5 Double Yard Cleanout
SCALE: N.T.S.



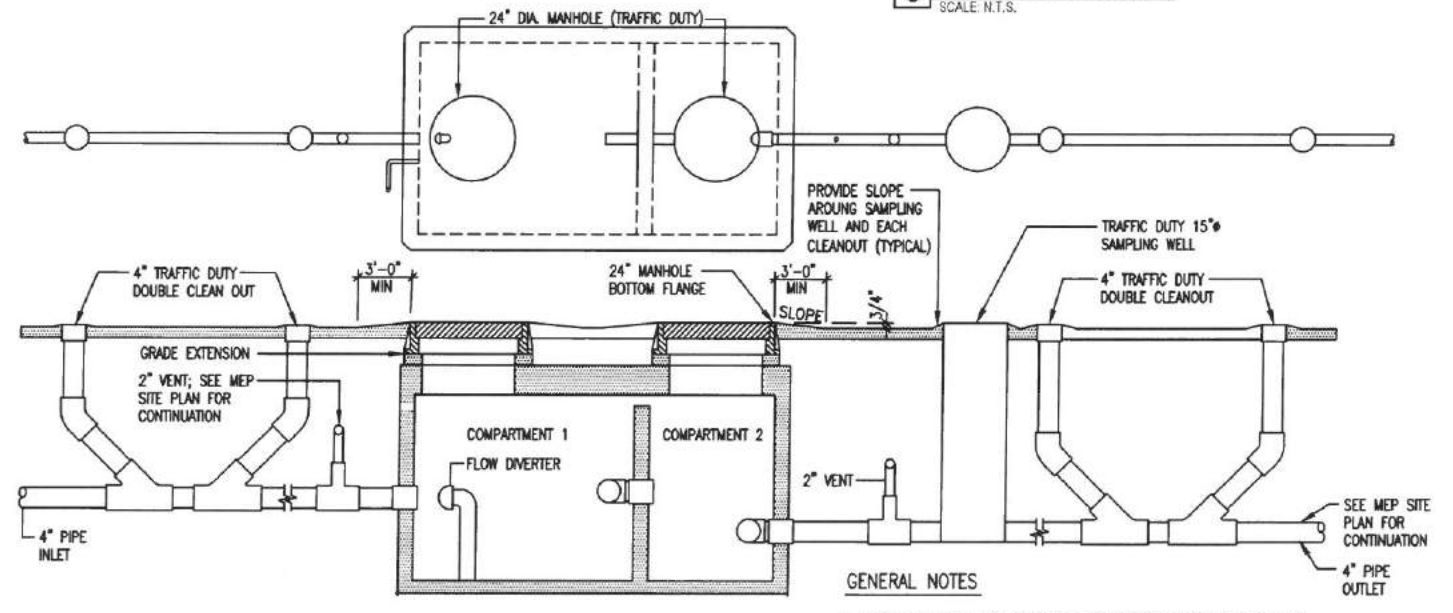
6 Water Heater Detail
SCALE: N.T.S.



7 Vent Thru Roof Detail
SCALE: N.T.S.



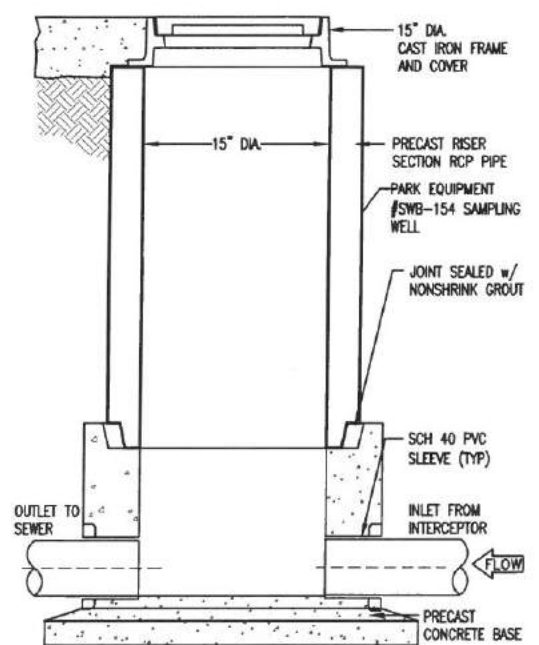
8 Roof Piping Supports
SCALE: N.T.S.



9 GREASE TRAP DETAIL
N.T.S.

GENERAL NOTES

1. CONCRETE SHALL BE REINFORCED AND DESIGNED FOR TRAFFIC LOADS.
2. CONTRACTOR SHALL PROVIDE AND INSTALL MANHOLE COVER, SLOPED TO THE ADJACENT SURFACE AS SHOWN.
3. SEE 10/P4.1 FOR SAMPLE WELL DETAIL.



10 SAMPLING WELL DETAIL
N.T.S.

PRELIMINARY
FOR INTERIM REVIEW NOT
FOR CONSTRUCTION, BIDDING
OR PERMIT PURPOSES
ENGINEER: BRUCE CECIL SMITH
P.E. SERIAL NUMBER: 68555
DATE: 11-16-18
TPE FIRM REG. NO. #F-4137

NO.	DATE	DESCRIPTION

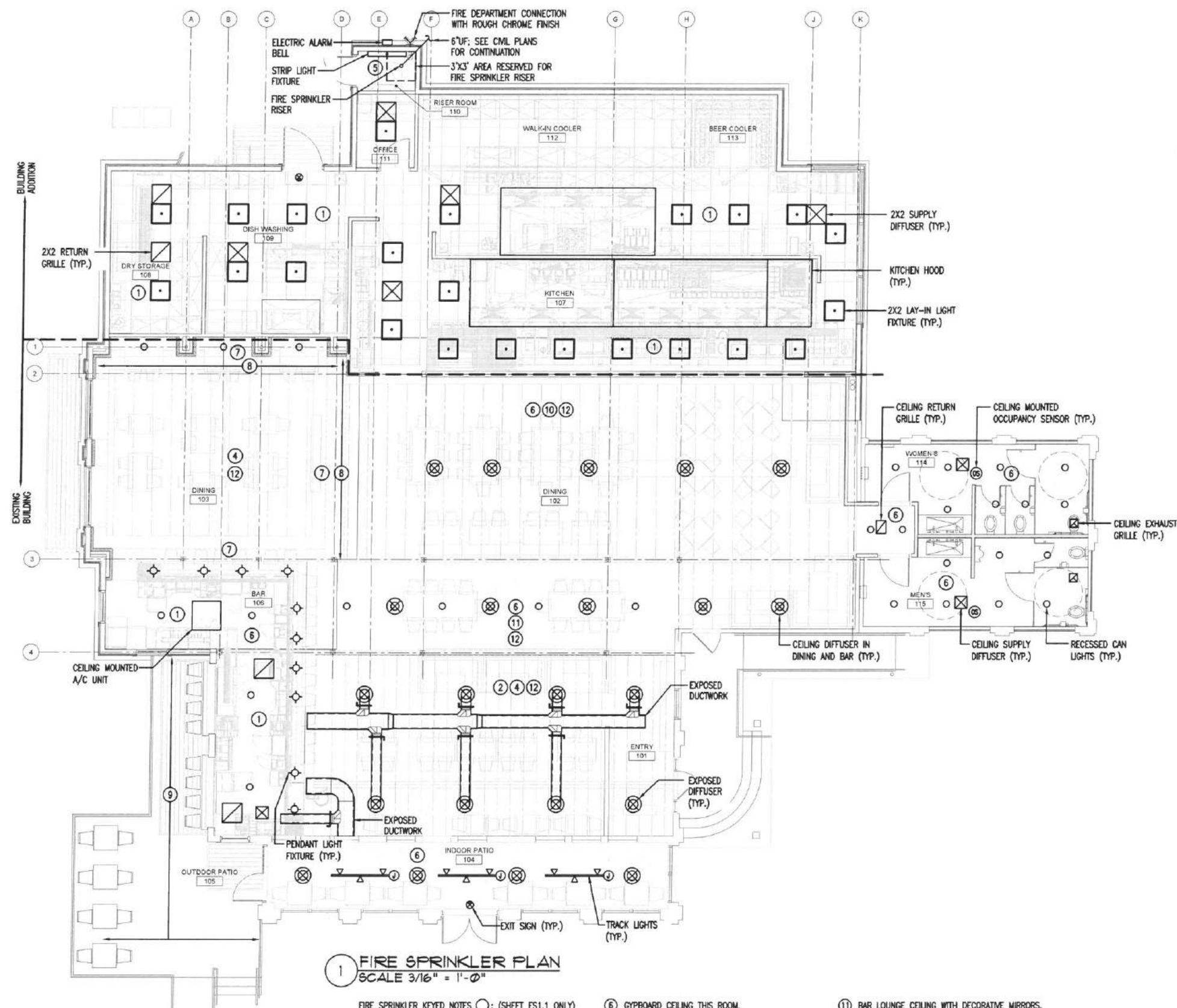
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FIRE SPRINKLER KEYED NOTES ○: (SHEET FS1.1 ONLY)

- 1 SPRINKLE FOR ORDINARY HAZARD GROUP 1 OCCUPANCY.
- 2 EXPOSED DUCTWORK IN THIS ROOM.
- 3 FIRE SPRINKLER MAIN PIPING UP TO FLOOR ABOVE; SEE 2/FS-1 FOR CONTINUATION.
- 4 OPEN TO ABOVE.
- 5 NO CEILING IN THIS ROOM.

6 GYPBOARD CEILING THIS ROOM.

7 GYPBOARD FURRDOWN.

8 A/C DUCTWORK IN FURRDOWN.

9 EXTERIOR SEATING AREA. PROVIDE DRY SIDEWALL SPRINKLER COVERAGE.

10 DINING ROOM CEILING WITH DECORATIVE CIRCULAR MEDALLIONS. COORDINATE EXACT SPRINKLER HEAD LAYOUT WITH MEDALLION LOCATIONS. SEE INTERIOR DESIGNER DRAWINGS.

11 BAR LOUNGE CEILING WITH DECORATIVE MIRRORS. COORDINATE EXACT SPRINKLER HEAD LAYOUT WITH MIRROR LOCATIONS. SEE INTERIOR DESIGNER DRAWINGS.

12 COORDINATE LIGHT FIXTURE LOCATIONS WITH INTERIOR DESIGNER DRAWINGS AND ARCHITECT.

GENERAL SPRINKLER NOTES:

1. FULL CONSIDERATION SHALL BE GIVEN TO AESTHETIC CONSIDERATIONS OF THE FACILITY. HEADS SHALL BE LOCATED IN CEILINGS, TRIM, OR OTHER ARCHITECTURAL FEATURES TO MINIMIZE ADVERSE APPEARANCES OR CONFLICTS. HEADS SHALL BE SYMMETRICALLY LOCATED WHERE FEASIBLE. FINISHED HEADS SHALL BE INSTALLED IN ALL FINISHED AREAS. HEADS SHALL BE CENTERED IN CEILING TILES.
2. GUARDS SHALL BE INSTALLED ON ALL HEADS SUBJECT TO PHYSICAL DAMAGE.
3. SYSTEM SHALL BE IN COMPLETE COMPLIANCE WITH NFPA 13 AND ALL STATE/LOCAL REQUIREMENTS. PLANS MUST CONFORM TO THE LOCALLY ADOPTED FIRE CODE, APPLICABLE NFPA CODES AND LOCAL CITY AMENDMENTS. SPRINKLER CONTRACTOR SHALL REFER TO OTHER DISCIPLINES SUCH AS ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR OTHER REQUIREMENTS, RESTRICTIONS, CONFLICTS, ETC. THE FOLLOWING SPRINKLER PLANS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT THE DETAILED SCOPE OF SPRINKLER WORK REQUIRED. ADDITIONAL WORK REQUIRED AS A RESULT OF FAILING TO COORDINATE WITH OTHER TRADES WILL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER OR A/E.
4. CONTRACTOR SHALL CONDUCT FIRE FLOW TEST AS REQUIRED TO VERIFY FLOW BEFORE BEGINNING FINAL DESIGN.
5. PLASTIC PIPING NOT ACCEPTABLE.
6. DESIGN FOR LIGHT HAZARD OCCUPANCY UNLESS OTHERWISE NOTED.
7. ALL PENDANT SPRINKLER HEADS IN FINISHED AREAS WITH GYPBOARD AND HARD CEILINGS SHALL BE CONCEALED TYPE AUTOMATIC SPRINKLER HEADS WITH COVER PLATES. COORDINATE COVER PLATE COLORS WITH ARCHITECT. ALL SPRINKLER HEADS IN FINISHED AREAS WITH LAY-IN CEILINGS SHALL BE CONCEALED TYPE AUTOMATIC SPRINKLER HEADS WITH WHITE COVER PLATES. PROVIDE UPRIGHT HEADS WITH BRASS FINISH FOR NON-PUBLIC AREAS WITHOUT CEILINGS. PROVIDE DRY SIDEWALL HEADS FOR EXTERIOR SEATING AREAS. COORDINATE HEAD AND TRIM COLOR WITH ARCHITECT.
8. ARCHITECT RESERVES THE RIGHT TO ADJUST HEAD LOCATIONS AND IF NECESSARY, HEAD QUANTITIES DURING SUBMITTAL PHASE.
9. EXPOSED FIRE SPRINKLER PIPING SHALL BE PAINTED AS DIRECTED BY ARCHITECT.
10. CONTRACTOR SHALL VISIT THE SITE AND SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS AND PROJECT SCOPE PRIOR TO SUBMITTING BID.
11. ARRANGE WITH AUTHORITIES FOR PERMITS AND FEES AND PAYING ALL CHARGES, INCLUDING INSPECTIONS.
12. FIRE SEAL ALL PIPE PENETRATIONS THROUGH FIRE RATED ASSEMBLIES AS REQUIRED. FIRE CAULK ANY PENETRATIONS MADE TO DEMISING WALLS AND NEW WALLS.
13. ALL SPRINKLER HEADS IN PUBLIC AREAS WITHOUT CEILINGS SHALL BE EXPOSED TYPE UPRIGHT AUTOMATIC SPRINKLER HEADS. COORDINATE FINISH WITH ARCHITECT.
14. CEILING HEIGHTS AND TYPES VARY THROUGHOUT BUILDING. SOME AREAS HAVE LAY-IN CEILINGS, AND OTHER AREAS HAVE GYPBOARD CEILINGS.
15. ALL SPRINKLER PIPING SHALL BE HIDDEN IN FINISHED AREAS.
16. THE SPRINKLER SYSTEM PLAN LAYOUT SHOWN IS TO PROVIDE A GUIDELINE AS TO THE INTENT OF THE DESIRED DESIGN. SPRINKLER LINES SHALL REMAIN HIDDEN ABOVE CEILINGS WHERE POSSIBLE. SPRINKLER LAYOUT IN EXPOSED AREAS IS CRITICAL TO MINIMIZE VISIBILITY OF SPRINKLER SYSTEM. ANY CHANGE IN LAYOUT DUE TO CONFLICTS/SPRINKLER SYSTEM DESIGN REQUIREMENT SHALL BE COORDINATED WITH ARCHITECT DURING SPRINKLER SYSTEM DESIGN PHASE.
17. INSTALL FIRE SPRINKLER PIPING AS HIGH AS POSSIBLE.

PRELIMINARY:
FOR INTERIM REVIEW NOT
FOR CONSTRUCTION, BIDDING
OR PERMIT PURPOSES
ENGINEER: BRUCE GECIL SMITH
P.E. SERIAL NUMBER: 68595
DATE: 11-16-18
TPE FORM REG. NO. 87-4137

REVISIONS		
NO.	DATE	DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE

7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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JOB NO. 1829

DATE 11/16/18

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TPE REG. REGISTRATION NO. 1-1137
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