### HISTORIC AND DESIGN REVIEW COMMISSION

**December 19, 2018** 

**HDRC CASE NO:** 2018-474

**ADDRESS:** 7300 JONES MALTSBERGER RD

**LEGAL DESCRIPTION:** NCB 18208 BLK 8 LOT E 137.41 FT OF 1 (ALAMO CEMENT UT-3D)

**ZONING:** C-3,HS

CITY COUNCIL DIST.: 1

LANDMARK: Commercial Building

**APPLICANT:** Daniel Long

**OWNER:** Quarry Coyotes Ltd

**TYPE OF WORK:** Construction of an addition, exterior modifications

**APPLICATION RECEIVED:** November 30, 2018 **60-DAY REVIEW:** January 29, 2018

**REQUEST:** 

The applicant is requesting a Certificate of Appropriateness for approval to:

- 1. Modify the fenestration of the existing structure.
- 2. Construct a new raised patio on the west side of the existing structure to include an ADA ramp and new steel pipe and cable railing.
- 3. Construct a rear addition to total approximately 2,800 square feet.
- 4. Install two airstreams on the landscaped area of the property.

### **APPLICABLE CITATIONS:**

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. Clear area—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation. iii. Vegetation—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method. B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)
- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco. ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can appear the other strength of historic measure and results in deterioration. Ensure the
- when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
- iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.
- 6. Architectural Features: Doors, Windows, and Screens
- A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. Doors—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. Screens and shutters—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. Glazed area—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

### 10. Commercial Facades

### A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

### 11. Canopies and Awnings

### A. MAINTENANCE (PRESERVATION)

i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Replacement canopies and awnings—Replace canopies and awnings in-kind whenever possible.
- ii. New canopies and awnings—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural

style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

- iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.
- iv. Awning materials—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.
- v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings. vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

### **FINDINGS:**

- a. The primary structure located at 7300 Jones Maltsberger Road is a 1-story commercial structure constructed in approximately 1920 in the Spanish Eclectic style with Mission influences. The structure is an individual local landmark with the common name Commercial Building.
- b. The applicant received conceptual approval from the Historic and Design Review Commission (HDRC) on October 3, 2018. The approval carried the following stipulations:
  - 1. That the applicant provides material and construction details on the proposed fenestration modifications and new canopy to be affixed to the existing structure as noted in findings c and d; **this stipulation has been met.**
  - 2. That the applicant reduces the height of the proposed gable as noted in finding e; this stipulation has been addressed through an alternative design proposal for the addition.
  - 3. That the applicant provides details on how the proposed new patio will affect the existing façade of the historic structure as noted in finding k; **this stipulation has been met.**
  - 4. That the applicant provides a comprehensive landscaping and hardscaping plan that illustrates the impacts, if any, to the historic fountain. The historic fountain and its immediate surroundings should not be adversely impacted by any proposal. All modifications to the site are required to be indicated for review by the HDRC; this stipulation has been met.
  - 5. That the applicant provides more detail regarding the proposed airstream element, including any permanent or temporary docking or parking elements, associated landscaping or hardscaping, or any additional exterior elements; **this stipulation has been partially met.**
- c. FENESTRATION MODIFICATIONS The applicant has proposed to modify the existing fenestration on the western façade. The applicant has proposed to modify two rectangular window openings to incorporate larger casement-style openings to increase the indoor-outdoor relationship near the open landscaped area. The applicant has also proposed to remove an existing pair of wood doors and arched transom to install a new arched double door. Staff finds the proposal generally acceptable due to their location on a non-primary façade.
- d. NEW CANOPY The applicant has proposed to add a new flat canopy element over the proposed windows to be modified. The canopy will be affixed to the structure with ties and will closely match the proportions, detailing, and materiality of the existing canopy above the door facing the south. Staff finds the proposal appropriate.
- e. FOOTPRINT The applicant has proposed to construct a new addition totaling approximately 2,800 square feet. The addition incorporates an existing enclosed service bay, which was an addition to the 1920s structure. The Guidelines state that new additions should not double the footprint of the existing structure. Though the addition is substantial in square footage, the integration of the existing service bay reduces the overall footprint to be newly introduced. The addition is also distinguished from the primary historic structure in terms of the offsets in its wall planes and the parapet detailing. Staff finds the footprint generally appropriate based on the site-specific context of the proposal.
- f. SCALE & MASSING The applicant has proposed to construct a 1-story addition. Based on the submitted drawings, the addition will be shorter in height than the tallest ridge height of the primary structure and feature a parapet wall detail to distinguish the new element architecturally from the original structure, which features a gable roof. Staff generally finds the scale and massing appropriate.
- g. ROOF The applicant has proposed a primary gable roofline for the addition flanked by flat roofs with a parapet detail. The gable mimics the existing gables on the primary structure. Staff finds the proposal generally appropriate with the stipulations listed in the recommendation.
- h. WINDOWS AND DOORS The applicant has proposed storefront-style windows on the new addition. The

- applicant has not proposed windows on the rear of the structure, which faces the parking lot and encloses back-ofhouse space. Staff does not find the blank facades consistent with the Guidelines. Staff finds that façade articulation or the addition of openings would be appropriate.
- i. MATERIALITY The applicant has proposed to clad the additions in stucco to closely match the finish of the original structure. Staff finds the proposal consistent with the Guidelines.
- j. ARCHITECTURAL DETAILS Architectural details should not visually compete with the original structure and should be indicative of its time while remaining compatible. Architectural details include a capped parapet surrounding the flat roof and window canopies that closely match those existing. Staff finds the proposal generally appropriate with the stipulations in the recommendation.
- k. PATIO The applicant has proposed a new raised poured concrete patio element adjacent to the west side of the existing structure. The northern edge of the patio will meet the southern edge of the proposed addition. Staff finds the proposal generally appropriate.
- 1. RAMP AND RAILING The applicant has proposed to install a new ADA ramp connected to the proposed patio modifications. The ramp and patio will include a new steel pipe and cable railing. Staff finds the proposal generally appropriate.
- m. FOUNTAIN The applicant has not indicated any modifications to the historic fountain located to the southwest of the original structure.
- n. LANDSCAPING AND HARDSCAPING The applicant has proposed to modify the existing hardscaping and landscaping to provide greater connectivity between the exterior patio spaces. Staff finds the proposal to be generally appropriate.
- o. AIRSTREAMS The applicant has proposed to incorporate two freestanding airstreams on the southern portion of the site. According to the applicant, the airstreams will provide private seating and serve as an outdoor remote bar. Their placement will not affect any character defining landscape features or obscure the historic structure. Staff finds this acceptable with the stipulation listed in the recommendation.
- p. SIGNAGE While a monument sign is indicated on the site plan, signage design information such as height, material, lighting, color, and text information has not been proposed as part of this application. The applicant is responsible for submitting a separate signage application for consideration by the Commission.

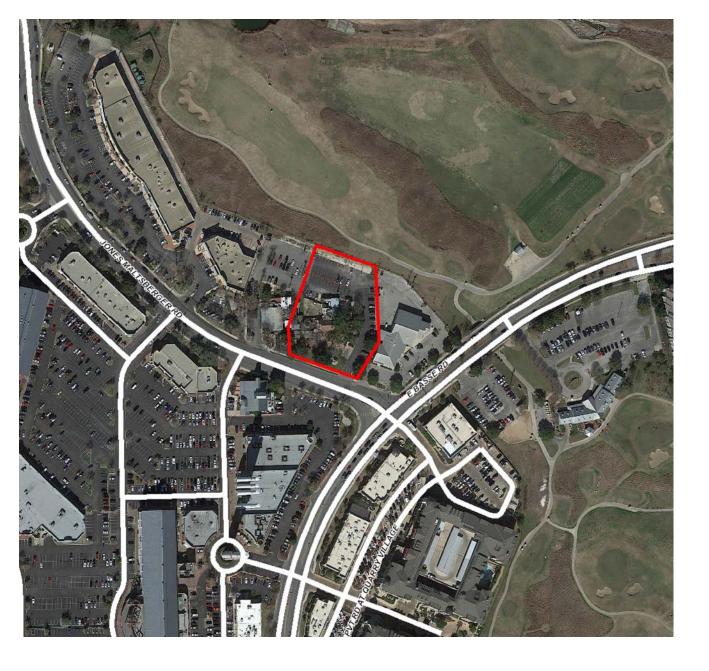
### **RECOMMENDATION:**

Staff recommends final approval based on findings a through o with the following stipulations:

i. That the applicant meets all other building requirements outlined in the UDC.

### **CASE MANAGER:**

Stephanie Phillips





# **Flex Viewer**

**Powered by ArcGIS Server** 

Printed:Sep 28, 2018

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West facade (Original structure and 93 kitchen addition to rear)



Back of building Service yard with 2012 outdoor bar addition



Main Entrance and 2012 outdoor bar addition



Back of Building Service Yard



Original Structure front facade facing Jones Maltsberger



Original Structure and 2012 outdoor bar addition from main entry drive



November 30th, 2018

## City of San Antonio, Historic Design Review Commission - Project Narrative

**Project:** Additions to the Quarry Office - Restaurant

Address: 7300 Jones-Maltsberger Legal Address: NCB 18208, Block 8, Lot 1

Zoning: C-2

### **Existing Building Description**

The existing building was constructed as the Alamo Cement Office Building in 1920. The 1600 square feet structure consists of light wood framed walls and trusses. The exterior is designed in the Mission Style architecture with stucco finish and clay tile roof. Along the Jones-Maltsberger elevation there is a loggia porch with the framed openings bordered with plaster pilasters and a clay tile cap detail. Later the porch was enclosed with arched windows as it sits today. Adjacent to the structure a large fountain and gazebo was commissioned by artist/sculptor, Dionicio Rodriguez, in his acclaimed Faux Bois technique, seen throughout San Antonio. It was also at this time the Lab building was done to create a campus for the quarry offices.

The building was added on to in 1993-94 as the property was developed into a restaurant. An approximate 1200 square feet addition was built to incorporate a kitchen and restroom facilities for the building. At this time there was also extensive site work done to create a large patio for the restaurant. The new additions were modeled in a similar motif to the existing structure. Heavy textured plaster exterior walls with a similar pilaster and clay tile cap details at the corners to blend with the existing building. It is of note that when this addition was done there was a Certificate of Appropriateness was given for the new work.

Later in 2012 another addition was done to the east side of the building. This addition was similar in style and material to the 1993-94 addition. The primary function of this addition was to serve as a covered outdoor bar and seating area for the large outdoor patio space. It is of note that when this addition was done there was a Certificate of Appropriateness was given for the new work.

After the previously completed renovations the building is 3,412 SF, not including the enclose service yard. Please see accompanying existing photographs of the existing building.

### **Proposed New Work Description**

The new proposed tenant of the building is requiring additional indoor seating and a complete re-work of the kitchen and majority of the interior layout. It is proposed that the new work consist of a roughly 2,800 SF addition bringing the total square footage of the building to 6,200 SF. The bulk of this addition is taking place where the existing service yard is located. The current service yard is enclosed by a roughly 8-9' high cmu wall with plaster veneer. There are multiple storage buildings and a walk-in cooler within the perimeter wall enclosure. The remainder of the addition would be to the west side of the 1993-94 building addition. The addition done in 2012 will be reclaimed for the interior building function as a new set of accessible/compliant restrooms. A rework of the existing parking layout would also be done to provide additional parking for the property with the increased footage. It is of note that the neighboring restaurant and the neighboring retail building have a cross parking access agreement in place.

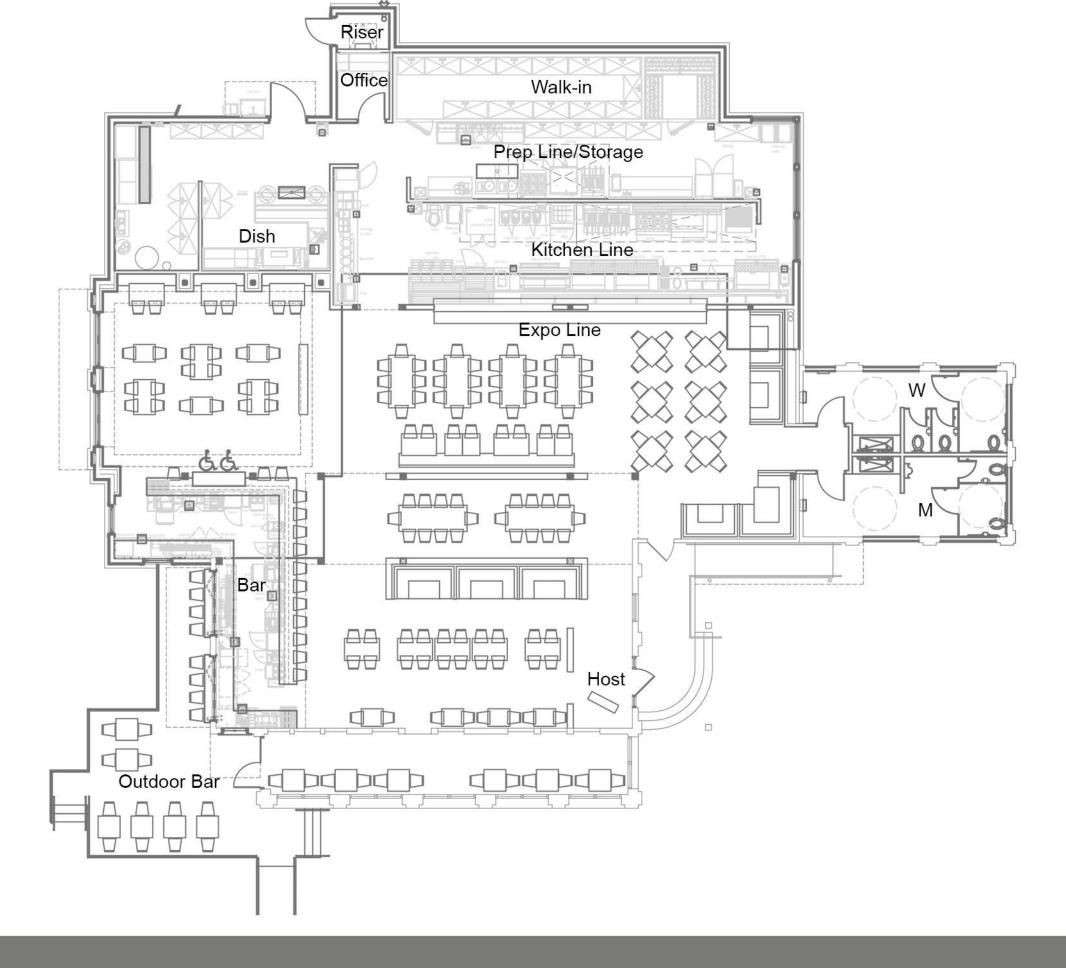
The new building design would be very much in keeping with the previously done additions primarily consisting of painted stucco walls and similar pilasters and parapet detailing. Parapet and tile cap detailing would be used to blend the existing with the new. We would propose to re-paint the exterior walls, doors, windows, and trim. (See attached images for proposed paint colors). A new trellis is also being proposed in line with the existing entrance canopy. This would be heavy timber wood columns and main beams with 2x purlin/trellis members.

A feature of the new layout would be to re-establish an outdoor bar/serving component since the previous addition has been re-purposed into restrooms. We would propose this element on the west side of the existing building. There are multiple openings on this elevation we would like to utilize to provide outdoor service and bar access using large bi-folding doors that could be opened during restaurant operation. Service to the exterior seating areas would take place at a new elevated patio adjacent to the existing fountain. (Please see attached images and elevations for proposed new work)

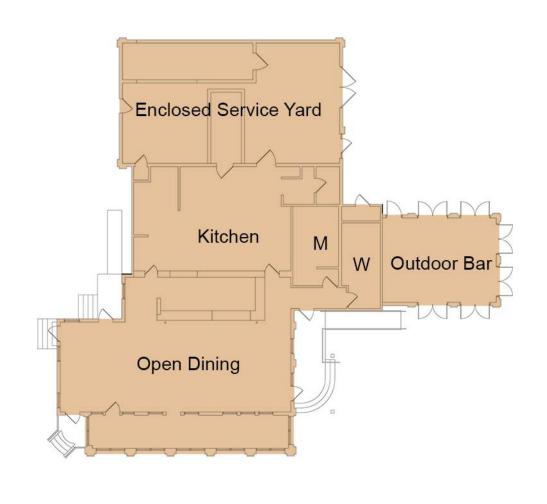
The design concept for the new restaurant has a trademark patio element incorporated into their other locations, an Airstream trailer that has been gutted and retrofitted to provide private seating and another to serve as a remote outdoor Bar. (See attached images of previously installed trailers). The Trailers are located flanking either side of the existing patio space. With the trailers spread across the front elevation the major view of the existing building from the street is left intact. It also helps establish a defined edge of the patio spaces.



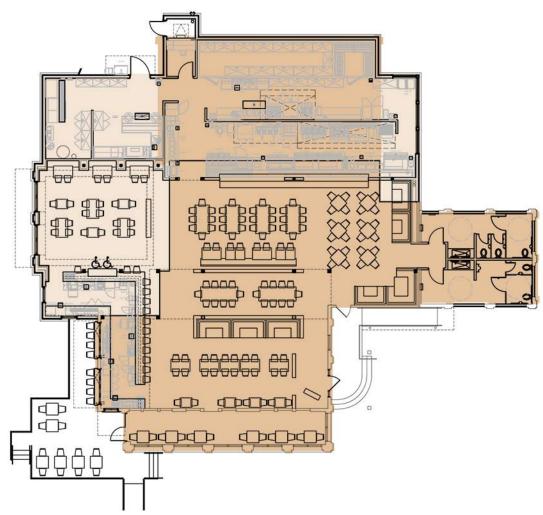
Proposed Site Plan



New Floor Plan



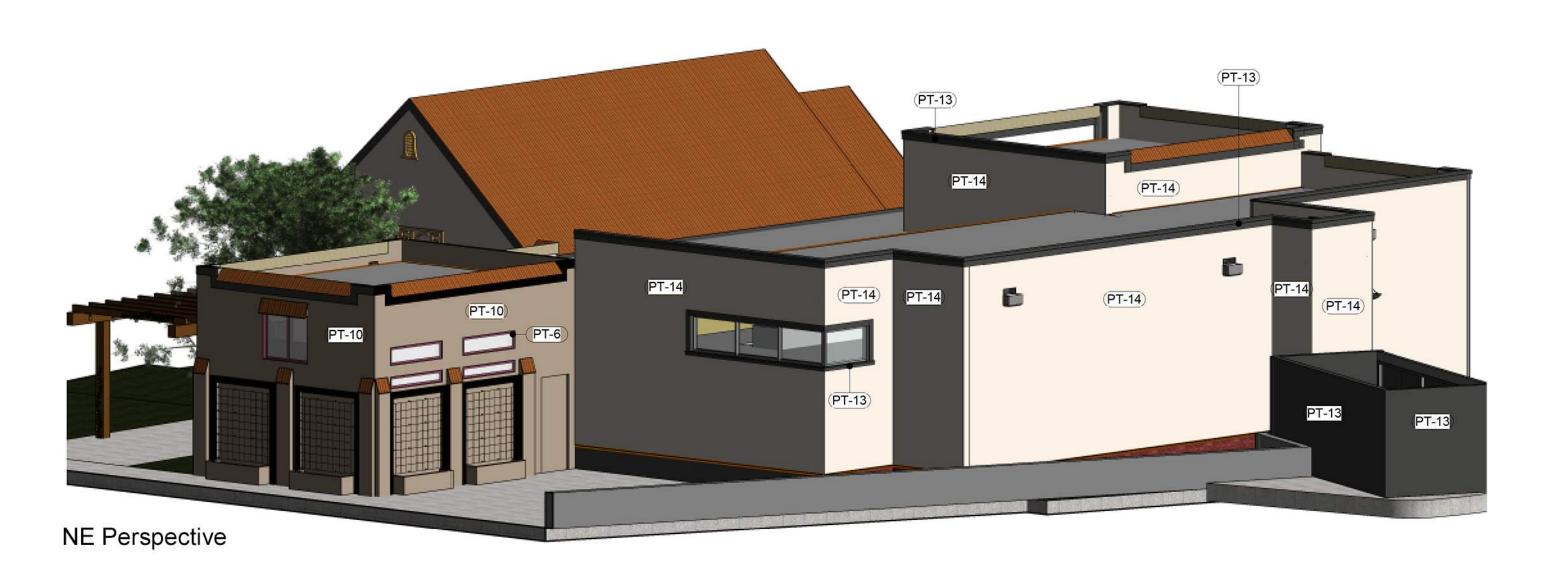
Existing Plan w/ highlighted footprint



New Floor Plan w/ new and existing highlighted foorprint



PT-5	PAINT - EXTERIOR	DUNN EDWARDS	ECOLOGICAL DE5719	
PT-6	PAINT - EXTERIOR	DUNN EDWARDS	PUTNAM PLUM DEA100	
PT-7	PAINT - EXTERIOR	DUNN EDWARDS	WHERE THE BUFFALO ROAM DET480	
PT-10	PAINT - EXTERIOR & INTERIOR	SHERWIN WILLIAMS	MOTH WING SW9174	
PT-11	PAINT - INTERIOR	SHERWIN WILLIAMS	CONTENDTED SW6191	
PT-12	PAINT - EXTERIOR & INTERIOR	SHERWIN WILLIAMS	WORLDLY GRAY SW7043	
PT-13	PAINT - EXTERIOR	SHERWIN WILLIAMS	IRON ORE SW7069	
PT-14	PAINT - EXTERIOR & INTERIOR	SHERWIN WILLIAMS	PORCELAIN SW0053	
PT-16	PAINT - INTERIOR	SHERWIN WILLIAMS	LOYAL BLUE SW6510	



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NW Perspective	NW	Perspe	ective
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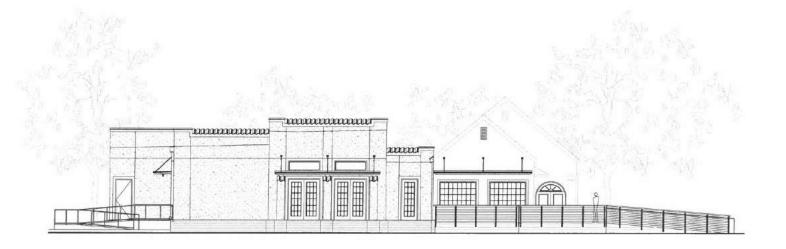


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PT-16	PAINT - INTERIOR	SHERWIN WILLIAMS	LOYAL BLUE SW6510



# NEW RESTAURANT ADDITION AND RENOVATION FOR IDA CLAIRE

7300 Jones Maltsberger San Antonio, Texas 100% Permit Set date



# **ARCHITECTURAL**

chesneymoralespartners, inc.

architecture/interior design 4901 Broadway, Suite 250 San Antonio, Texas 78209 210.828.9481 v 210.828.9719 f TBAE Firm Reg BR1010

**LANDSCAPE** 



CIVIL

**STRUCTURAL** 

BEICKER CONSULTNATS STRUCTURAL ENGINEERS

2702 N LOOP 1604 E. SUITE 201 SAN ANTONIO, TEXAS 78232

(210) 824-2908 Phone (210) 496-9330 Fax.

beicker.com E-mail

# MECHANICAL / PLUMBING / ELECTRICAL

ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.

1100 NW Loop 410, Suite 810 San Antonio, Texas 78213

f 210.342 3641

100 Willow Cove Cibolo, Texas 78108

(210) 831-8564

### 1. GENERAL NOTES

- GENERAL CONTRACTOR SHALL BY SUBMISSION OF HIS / HER BID OBLIGATE HIMSELF TO ALL REQUIREMENTS OF THE GENERAL CONTRACTOR AS STATED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL CAREFULLY READ A.I.A. DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION". AS THEY WILL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS.
- PRIOR TO BID SUBMITTAL THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION FURNISHED BY THE OWNER, AND SHALL AT ONCE REPORT TO THE ARCHITECT ERRORS. INCONSISTENCIES OR
- PRIOR TO BIO SUBMITTAL. THE GENERAL CONTRACTOR SHALL WISH THE SITE AND VERBIY FIELD CONDITIONS AND CAREFULLY COMPARE SUCH FIELD CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS, ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE.
- GENERAL CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN HIS BID ALL ADJUSTMENTS AND COSTS AFFECTING ALL EXISTING SERVICES, LE, WATER LINES, WASTE LINES, GAS LINES, ELECTRICAL SERVICE, AND TELEPHONE/DATE LINES.
- GENERAL CONTRACTOR SHALL BID THE PLANS AND SPECIFICATIONS AS DETAILED AND INSURE A FULLY COMPLETE PROJECT WITH NO ADDITIONAL COSTS INVOLVED OVER WHAT IS INCLUDED IN THE DOCUMENTS.
- OWER WHAT IS INCLUDED IN THE DOCUMENTS.

  GENERAL CONTRACTOR SHALL INCLUDE IN THEIR BID HIS
  INER TIME SCHEDULE FOR THE COMPLETION OF THE
  WORK. WHERE A CONSTRUCTION PHASE PLAN IS
  INCLUDED IN THE DRAWINGS. THE TIME SCHEDULE SHALL
  INCLUDE START TO FINISH TIME FOR EACH PHASE.

  GENERAL CONTRACTOR SHALL TAKE FIELD MEASUREMENTS
  AND VERIFY FIELD COMDITIONS AND SHALL CAREFULLY
  COMPARE SUCH FIELD WEASUREMENTS AND CONDITIONS
  AND OTHER INFORMATION KNOWN TO THE CONTRACTOR
  WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING
  ACTIVITIES. THE CONTRACTOR SHALL IMMEDIATELY
  CONTACT THE ARCHITECT FOR ICARIFICATION SHOULD ANY
  FERRORS, INCONSISTENCIES OR OMISSIONS BE DISCOVERED. ERRORS, INCONSISTENCIES OR OMISSIONS BE DISCOVERED
- GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS,
- RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL TRADES, AND ALL PORTIONS OF THE WORK UNDER THE CONTRACT UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS. MERCRAL CONTRACTOR SHALL REPORT ANY UNFORESSEN FIELD CONDITIONS, ERRORS, INCONSISTENCIES, OR GMISSIONS DISCOVERED AT ANY TIME BEFORE AND DURING THE WORK TO THE ARCHITECT, BEFORE PROCEEDING WITH THAT PORTION OF THE WORK, AS HE WILL BE RESPONSIBLE FOR ALL WORK AFFECTING THE PROJECTION OF THE PROPERTY OF THE WORK, AS HE WILL BE RESPONSIBLE FOR ALL WORK AFFECTING THE PROJECTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO THE GENERAL CONTRACTOR SHALL BE RESPUBBILED TO THE OWNER FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING PORTIONS OF THE WORK UNDER A CONTRACT WITH THE GENERAL CONTRACTOR
- 12 IF A CHANGE IS REQUESTED BY OWNER. THE I IF A CHANGE IS HOUSE LID BY OWNER, THE ARCHITECT SHALL ISSUE AN APPROPRIATE PROPOSAL REDUEST, WHICH THE GENERAL CONTRACTOR SHALL PRICE OUT WITHIN TEN DAYS.

  GENERAL CONTRACTOR SHALL NOT COVER WORK UNTIL GENERAL CONTRACTOR SHALL PROUNED INSPECTIONS HAVE BEEN MADE.
- .14 ALL WORK SHALL CONFORM TO U.B.C. 1997 EDITION AND TO ALL CITY AMENDMENTS.
- TO ALL CLIY AMENDMENTS.

  15 GENERAL CONTRACT SUB-CONTRACTORS, SUPPLIERS AND MANUFACTURERS ARE TO CERTIFY THAT ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION OF THIS PROJECT DO NOT CONTAIN ASBESTOS IN ANY AMOUNT IN ACCORDANCE WITH THE 1978 TOXIC SUBSTANCE CONTROL ACT.
- SUBSTANCE CONTROL ACT.

  1 HARDWARE SCHEDULE APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING HARDWARE.

  22 SHOP DRAWINGSICATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING TOLLET ROOM AND OTHER ACCESSORIES.

  23 SHOP DRAWINGSICATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING PLUMBING PATTURES.

  24 SHOP DRAWINGSICATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING CABINETS.

  25 SHOP DRAWINGSICATALOG CUT APPROVAL BY ARCHITECT REQUIRED BEFORE ORDERING CABINETS.

- 25 VERIFY SIZES OF AND REQUIRED CONNECTIONS FOR OWNER FURNISHED EQUIPMENT AND APPLIANCES WITH
- TOILET ACCESSORIES SHALL BE BOBRICK OR APPROVED EQUAL. REFER TO SCHEDULE.
- NO PARTICLE BOARD SHALL BE USED FOR COUNTERTOPS WHERE SINKS ARE INSTALLED.
- GENERAL CONTRACTOR SHALL VERIFY ELECTRICAL SERVICE VOLTAGES PRIOR TO ORDERING ELECTRICAL OR LIGHTING

- 2.9 ANY ADDITIONS OR DELETIONS TO THE WORK WHICH IS NOT SHOWN ON THE PLANS SHALL BE COORDINATED WITH THE ARCHITECT.
- COORDINATED WITH THE ARCHRISTIC

  2.10DOOR HARDWARE WILL BE FURNISHED BY
  CONTRACTOR, ALL HARDWARE, TO BE INSTALLED BY
  CONTRACTOR COORDINATE TEMPLATES REQUIRED.
- CONTRACTOR COORDINATE TEMPLATES REQUIRED,
  2.11 THE ARCHITECT IS NOT PRACTICED OR EXPERIENCED IN THE
  IDENTIFICATION, REMOVAL, AND OR DISPOSAL OF
  HAZARDOUS MATERIALS, THIS CONTRACT IS FOR
  NON-HAZARDOUS MATERIAL, REMEDIATION ONLY. IF THE
  CONTRACTOR ENCOUNTERS ANY MATERIALS HE
  REASONABLY SELEVES TO BE HAZARDOUS HE IS TO CEASE
  WORK IMMEDIATELY AND NOTIFY THE ARCHITECT OF SUCH,
- 2. IZINTERIOR DIMENSIONS ON FLOOR PLAN ARE FROM FINISH FACE OF PARTITION TO FINISH FACE OF PARTITION OR CENTER OF PARTY WALL.
- 3.1 ALL WORK SHALL COMPLY WITH ALL NATIONAL, STATE, AND LOCAL CODES APPLICABLE AND THE REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS.
- THE NATIONAL BOARD OF UNDERWRITERS.

  3.2 WHERE THE CONTRACT CONSTRUCTION NOTES OR DRAWNINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT RECTL BY THE BUILDING CODE OR ANY OTHER OPER OF ENTITY HAWNON, JURISDICTION OWER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED FOR BY THE CONTRACT CONSTRUCTION NOTES, DRAWNINGS, SPEC'S, SHALL IN ALL CASES PREVAIL.

  3.4 ALL DRAWNINGS AND ALL CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY EITHER WILL BE AS BINDING AS IF CALLED FOR BY ALL ANY WORK SHOWN OR REFERRED TO ON ANY ONE SET OF DRAWNINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWNINGS THE DRAWNINGS TAKE PRECEDENCE OVER THESE NOTES.

  3.4 ALL WORK LISTED ON THIS CONSTRUCTION NOTE SHEET AND SHOWN OR BINDINGS SHALL BE
- ALL WORK LIS IEU ON THIS CONSTRUCTION THIS SHEET AND SHOWN OR IMPLED ON ALL DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT AS NOTED. THE SCOPE OF THE WORK UNDER THIS CONTRACT INCLUDES, BUT NOT LIMITED TO TEMPORRAY UTILITIES, SAMITARY FACILITIES AND PAYMENT OF ALL FEES, PERMIT FILING, AND UTILITIES, SCHEDULING AND ANY OTHER TEMS OR SERVICES REQUIRED TO ASSURE A COMPLETE AND FINAL INSTALLATION.
- 3.5 THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT IMMEDIATELY DURING THE BIDDING PROCESS IF HE CANNOT COMPLY WITH ALL NOTES CALLED FOR IN THIS SHEET AND ON ALL OTHER DRAWINGS AND ANY PART OF THE SPECIFICATIONS.
- ANY PART OF THE SPECIFICATIONS.

  3. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWNIGS, NOTES AND ACTULA, FIELD CONDITIONS BEFORE BIDDING AND COMMENCING ANY WORK AND REQUEST CLARIFICATION IN WRITING.

  3. THE SUBMISSION OF A PROPOSAL BY A GENERAL CONTRACTOR SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN HADE AND CLAIMS FOR LADOR MATERIAL OF EQUIPMENT REQUIRED, WHICH COULD HAVE BEEN FORESSEN, HAD SUCH AN EXAMINATION DEED MADE TO WHICH COULD HAVE BEEN FORESSEN, HAD SUCH AN EXAMINATION BEEN MADE.
- WILL NOT BE ACCEPTABLE.

  3.8 EACH SUB-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE.

  3) PRIOR TO BEGINNING ANY WORK THE GENERAL CONTRACTOR
  SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING THE
  CHROMOLOGICAL PHASES OF HIS WORK AND ALL RELATED
  WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE
  SHALL INDICATE ALL ORDERING LEAD TIME, LENGTH OF TIME
  FOR EACH PHASE. ITS START AND COMPLETION, WITHIN THE
  GENERAL CONTRACTORS STIPULATED PROJECT COMPLETION
  TIME.
- TIME.
  3.10 THE GENERAL CONTRACTOR, HIS SUB-CONTRACTORS, AND ANY
  OTHER CONTRACTOR INVOLVED IN THIS PROJECT SHALL AGREE
  THAT ANY COST CAUSED BY DEFECTIVE OR POORLY-TIMED
  WORK, AS A RESULT OF, BUT NOT LIMITED TO INFERIOR
  WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR,
  DELINOUENT ORDERING SHALL BE BORNE BY THE PARTY
  PERSONNEY.
- HESPONSIBLE.

  3.11THE USE OF THE WORDS 'PROVIDE' OR 'PROVIDED' IN
  CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN
  UNLESS NOTED OTHERWISE. THAT SUCH ITEM SHALL BE
  FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQUIRED.
- 3.12 WHERE THE TERMS "APPROVED EQUAL", "EQUAL TO",
  "ACCEPTABLE"
- ACCOTTABLE IN A SAME AND A SAME A
- 3.15 THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE TO
- 3.15THE CONSTRUCTION NOTES AND/OR DRAWINGS ARE TO ILLUSTRATE THE DESIGN AND THE GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIAL AND WORKMANSHIP THROUGHOUT. 3.16THE GENERAL CONTRACTOR SHALL KEEP AND MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS INCULDING ALL CHANGE ORDERS AT THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AS WELL AS FOR REFERENCE.

- 3.17 THE GENERAL CONTRACTOR, UPON ACCEPTANCE AND 3.17THE GENERAL CONTRACTOR, UPON ACCEPTANCE AND APPROVAL OF THE CONSTRUCTION DOCUMENTS, ASSUMES FULL RESPONSIBILITY FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE WORK DESCRIBED IN THE SITE NOTES, DRAWINGS AND SPECIFICATIONS. HE WILL BE EXPECTED TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY ARE WRITTEN.

  3.18AL IR EQUIRED EXITS, WAYS OF APPROACH THERETO, AND ANY WAY OF TRAVEL FROM EXIT INTO THE STREET SHALL BE CONTINUOUSLY MAINTAINEO FREE FROM ALL AND ANY OBSTRUCTIONS, OR IMPEDIMENTS TO FULL AND INSTANT USE IN THE CASE OF FIRS OR ANY OTHER EMERGENCY OR REQUIRED SERVICE.
- 3.19 THE DRAWINGS ARE NOT TO BE SCALED, ONLY DIMENSIONS AND NOTES ARE TO BE USED. ALL DIMENSIONAL DISCREPANCIES SHALL BE CALLED TO THE ARCHITECT'S ATTENTION. ALL DIMENSIONS SHALL BE VERIFIED BEFORE
- ATTENTION, ALL DIMENSIONS SHALL BE VERPIED BEFORE STARTING WORK BY THE RESPECTIVE SUBCONTRACTOR WHO SHALL BE RESPONSIBLE FOR HIS PHASE OF THE WORK AND BY THE GENERAL CONTRACTOR WHO IS RESPONSIBLE FOR THE ENTIRE PROJECT.

  3.0T HE GENERAL CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECUTECTION OF ALL DAMAGED AND DEFECTIVE MATERIALS AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK, HE SHALL REPLACE OR REPAIR AS DIRECTED BY THE ARCHITECT AND THE OWNER ALL SUCH DAMAGE OR SPECTIVE MATERIALS OR WORKMANSHIP WHICH APPEARS WITHIN A PERIOD OF CINE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

  3.21 THE GENERAL CONTRACTOR SHALL VERIFY WITH THE OWNER FOR WITHIN THE OWNER ALL TIENS TO BE SUPPLIED BY THE GENERAL CONTRACTOR SHALL VERIFY WITH THE
- 21 THE GENERAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ITEMS TO BE SUPPLIED BY THE OWNER FOR INSTALLATION AS WELL AS DELIVERY OF SUCH ITEMS. THE GENERAL CONTRACTOR SHALL VERIFY ALL LOCATIONS OF DIVINER FURNISHED EQUIPMENT AND PREPARE SURFACES ACCORDINGLY AS REQUIRED.
- 3.22 WHERE MOUNTING HEIGHTS ARE NOT INDICATED INSTALL COMPONENTS USING MANUFACTURER'S OR INDUSTRY STANDARDS. WHERE STANDARDS DO NOT EXIST, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- THE ANCHITECT FOR CLAMPICATION.
  3.23 ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
  SUBSTITUTIONS FOR TIEMS INDICATED FOR EQUAL SHALL
  BE SUBMITTED TO THE ARCHITECTS AND THE OWNER FOR
  APPROVAL PRIOR TO THE BID OPENING. NO
  SUBSTITUTIONS SHALL BE CONSIDERED AFTER THE BID
  OPENING WITHOUT APPROVAL OF THE ARCHITECTS AND
- 3.24 "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE.
  3.25 THE GREERAL CONTRACTOR SHALL BO ALL CUTTING, FITTING AND PATCHING OF WORK THAT MAY BE REQUIRED TO MAKE ALL PARTS COME TOGETHER AND FIT. TO RECEIVE OR BE RECEIVED BY WORK OF ALL CONTRACTORS SHOWN UPON OR REASONABLY MAPLED BY DRAWINGS, SPECIFICATIONS AND NOTES.

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PROJECT

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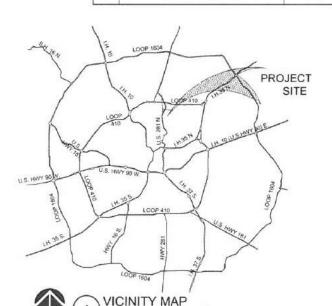
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DRAWN BY: JP CHECKED BY:

SHEET

A0.1



1 SCALE NONE



2 SCALE NONE NORTH

LOCATION MAP

# ACCESSIBILITY STANDARDS REQUIREMENTS:

F A DOOR HAS A DOOR CLOSER THEN THE SLEEP I. IF A DOOR HAS A DOOR CLOSER THEN THE SUEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 9D DEGREES, THE DOOR UILL TAKE AT LEAST 5 SECOND TO MOVE A POINT IZ DEGREES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

2. THE MAXIMUM FORCE FOR PUSHINGS OR FOR PILLING.

THE MAXIMUM FORCE FOR FUSHING OR FOR PILLING OFFEN A DOOR SHALL BE AS FOLLOUS:

(a) EXTERIOR HINGED DOORS: 89 by 
(c) SILDING OR FOLDING DOORS; 5-by 
(d) SILDING OR FOLDING DOORS; 5-by 
(d) FIRE DOORS: AS REQUIRED BY THE 
GOVERNING CODE OFFICIAL.

THE FORCES DO NOT AFFICIAL.

3. THE THRESHOLDS SPECIFED AND DETAILED IN THESE DOCUMENTS DO NOT EXCEED 3/4" IN HEIGHT FOR EXTERIOR SUDING DOORS AND 10" IN HEIGHT FOR OTHER TYPES OF DOORS. THESE THRESHOLDS SHALL HAVE A DEVELED EDGE LESS THAN 12 (50%) NO SUBSTITUTIONS UILL DE ACCEPTED THAT DO NOT CONFORT TO THESE REQUIREMENTS AND ALL STATE AND ADA REQUIREMENTS.

4. THE DOOR HARDWARE SPECIFIED AND DETAILED IN THESE DOCUMENTS INCLUDES ONLY HANDLES PULLS LATCHES LOCKS DOCUMENTS NOLLDES ONLY HANDLES, PHILS, LATCHES, LUCKS
AND OTHER OPERATING DEVICES SHALL HAVE A SHAPE THAT IS
EAST TO GRASE WITH ONE HAND AND DO NOT REQUIRE TIGHT
GRASPING, TIGHT PRICHING OR TWISTING OF THE WRIST TO OPERATE NO SUBSTITUTIONS WILL BE ACCEPTED THAT DO NOT CONFORM TO THESE REQUIREMENTS AND ALL STATE AND A.D.A. REQUIREMENTS.

5. ALL NEW DOORS ON THIS PROJECT HAVE BEEN SELECTED/DETAILED TO PROVIDE A MINMUM CLEAR OPENING OF 32 INCHES IN WIDTH WITH THE DOOR OPEN SO DEGREES MEASURED SET PLACE OF THE DOOR AND THE OPPOSITES STOP NO SUBSTITUTIONS OR MODIFICATIONS WILL BE CONSIDERED THAT REDUCE THE CLEARANCE OR COMPLICT WITH ANY STATE OR ADA. REQUIREMENTS.

a. ALL DOORS ON THIS PROJECT HAVE BEEN SELECTED AND DETAILED TO PROVIDE A MINIMUM CLEAR OPENING OF 84 INCLES IN HEIGHT, NO SUBSTITUTIONS OR MODIFICATIONS WILL BE CONSIDERED THAT REDUCE THE CLEARANCE OR COMPLICT WITH ANY STATE OR ADA REQUIREMENT

THE STRUCTURAL STRENGTH OF GRAB RARS TUB AND SHOVER SEATS FASTENERS AND MOUNTING DEVICES SHALL MEET THE

(8) BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING IMMENT FROM THE APPLICATION OF 358 for FINALL BELLESS FIANT HE ALLOWABLE STRESSES FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

(P) SHARR STRESS INDUCED IN A GRAP BAR OR SEAT BY THE APPLICATION OF 286 for SHALL BE LESS THAN THE ALLOWABLE SHARR STRESS FOR THE MATERIAL, OF THE GRAP BAR OR SEAT IN THE CONNECTION BETWEEN THE GRAP BAR OR SEAT AND 115 MOUNTING BRACKET OR OTHER SHIPPORT IS CONSIDERED TO BE MOUNTING ENACKET OR OTHER SUPPORT IS CONSIDERED TO FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSS SHALL BE TOTALED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR

(C) SHEAR FORCE NDUCED IN A FASTENER OR MOUNTING DEVICE FRONT THE APPLICATION OF 390 Int SHALL BE LESS THAN THE ALLCUABLE LATREAL LOAD OF SITHER THE FASTENER OR THE SUPPORTING STRUCTURE WHICH EVER IS THE

(D) TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 for PLUS THE MAXIMUM MOVIENT FROM THE APPLICATION OF 355 for SHALL BE LESS THAN THE ALCOUNTE UTHORAMIAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.

(E) GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. (F) PROVIDE SOLID BLOCKING FOR MOUNTING.

THE DIAMETER OF WIDTH OF THE GRIPPING SURFACES OF A GRAS BAR SHALL BE I MAY TO I MY OR THE SHAPE SHALL PROVIDE AN BOUNDALENT GRIPPING SURFACE, FITHE GRAZE BARS ARE MONTED ADJACENT TO A WALL THE SPACE BETWEEN THE WALL AND THE GRASS BARS SHALL BE I I MY.

### CONTROLS

L. ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO DE OPERATED BY DOCUMANTS, VISITORS OR CHIER USERS OF A BUILDING OR FACILITY SHALL COPPLY UNTO DETAILS \$1,402 AND LINE SHAD SHOT LINE SHAD SHOT LINE SHAD SHOT LINE SHAD SHOT LINE TO THE PROSTATS. LIGHT SHATCHES ALARY ACTIVATING UNITS, VENTLATORS, ELECTRICAL OUTLETS, ETC.

DLESS INDICATED CTHERWISE THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES PROVIDED IN DETAIL ISADZ AND INADZ EXCEPT WHERE OTHERWISE NOTED, ELECTRICAL, AND COMMUNICATIONS SYSTEMS RECEPTACED ON WALLS SHALL BE MOUNTED NO LESS THAN IS."

HEIGHT HEISHT.

WALL-HAYS WITH A TAPERED ELONGATED RIM MOUNTED AT A MAXIMUM OF IT IN (4300M) ABOVE THE FINISH FLOOR A TAPERED ELONG ATEC RIM IS ONE THAT NARROUS TOWARD. THE FRONT TO ALLOW A UMERLICHARY USER TO STRADDLE THE BASIN AND WHICH EXTENDS AT LEAST IN FROM THE YERTICAL SURFACE ON WHICH THE FIXTURE IS MOUNTED.

 CLEAR FLOOR SPACE.
 30 IN BY 48 IN (160 MM BY 1210 MM) SHALL BE PROVIDED IN FRONT OF URINALS TO ALLOU FORWARD APPROACH. THIS CLEAR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND ADJON OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL COPINY WITH THE AND SPACE FOR WHEELCHAIRS) URINALS INSTALLED IN ALCOVES DEEPER THAN 24 IN REQUIRE ADDITIONAL MANEUVERNIS AREA URINAL SHIELDS THAT DO NOT EXTEND BEYOND THE FROM TEDGE OF THE URINAL RIM MAY BE PROVIDED WITH 79 IN CLEARANCE BETWEEN THEM.

FLUSH CONTROLS
OPERATED OR AUTOMATIC, AND SHALL COMPLY
WITH 4214, AND SHALL BE MOUNTED NO MORE THAN
44 IN (1926 MM) ABOVE THE FNISH FLOOR.

CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING. PINCHAIN OR TWISTING OF THE WEIGHT. HE PORCE REQUIRED TO ACTIVATE CONTROLS SHALL BEING GREATER THAN SIDT.

### 4. WATER CLOSETS

I, THE HEIGHT OF WATER CLOSETS SHALL BE IT' TO IS' MEASURED TO THE TOP OF THE TOILET SEAT.

2. GRAB BARS FOR WATER CLOSETS NOT LOCATED IN STALLS SHALL COMPLY WITH 2/AD2 THE GRAB BAR BEHIND THE WATER CLOSET SHALL BE 35" TO CENTERLINE AFF.

3. TOILET PAPER DISPENSERS SHALL BE INSTALLED WITHIN REACH AS SHOWN IN VACIO DISPENSERS THAT CONTROL DELIVERY OR THAT DO NOT PERMIT CONTINUOUS PAPER FLOW SHALL NOT BE USED.

4 CONTROLS SHALL BE NO HIGHER THAN 44" AND LOCATED ON THE WIDE SIDE.

### 5. TOILET STALLS

I. WATER CLOSETS IN ACCESSIBLE STALLS SHALL COMPLY WITH THE INFORMATION ON WATER CLOSETS ABOVE.

2. GRAB BARS COMPLYNS WITH THE LENGTH AND POSITIONING SHOUN N (1492 1 27402 SHALL BE PROVIDED, GRAB BARS HAY BE MOUNTED WITH ANY DESIRED METHOD AS LONG AS THEY HAVE A GRIPPING SURFACE AT THE LOCATIONS SHOUN AND DO NOT OSSTRUCT THE REQUIRED LEAR FLOOR AREA.

### LAVATORIES AND MIRRORS

I, THESE REQUIREMENTS SHALL APPLY TO LAVATORY FIXTURES, VANITIES, AND BUILT-IN LAVATORIES. 2. LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34 NO-85 THE PINSH FLOOR. PROVIDE A CLEARANCE OF AT LEAST 3. NO-458 ABOVE THE FINISH FLOOR TO THE BOTTOM OF THE APROX. WEE AND TOE CLEARANCE SHALL COMPLY WITH THE DRAWNES ON THIS SHEET.

3. A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES SHALL BE PROVIDE IN PROMI OF A LAVATORY TO ALLOW FORWARD APPROACH, SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE AND SHALL EXTEND A MAXIMUT OF IN INCHES INCEPTENTIT THE LAVATORY.

4. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERUSE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

5. LEVER-OPERATED, PUSH-TYPE, AND ELECTRON-TICLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. IF SELF-CLOSING VALVES USED THE FAUCET SHALL REMAIN OPEN FOR AT LEAST TO SECONDS.

6. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE NO HIGHER THAN 40. INCHES ABOVE FINISH FLOOR, AND TOP SURFACES NO LOUER THAN 6'-4" AFF.

1. FIRE EXTINGUISHERS
1. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES
BETWEEN 37 INCHES AND BO NOVES ABOVE THE FINISHED FLOOR SHALL
PROTRICE NO TIORE THAN 4 NOVES INTO WALKS HALLS, CORRIDORS
PASSAGEWAYS, OR ABUES, OBJECTS HOUNTED WITH THEIR LEADING EDGES
AT OR BELOW 37 INCHES ABOVE THE PRINSHED FLOOR HAY PROTRICE ANY

8. DRINKING FOUNTAINS AND WATER COOLERS.

I SPOUTS SHALL BE NO HIGHER THAN 36 INCHES MEASURED FROM THE FLOOR OR GROUND OR FLOOR SURFACES TO THE SPOUT OUTLET.

2. UNIT CONTROLS SHALL BE FRONT HOUNTED OR SIDE MOUNTED NEAR THE FRONT EDGE.

3. U.A.L. - AND POST - YOUNTED CANTILEVERED UNITS SHALL HAVE A CLEAR KNEE SPACE DETUED THE BOTTOM OF THE APRON AND THE FLOOR OR GROUND AT LEAST 21 INCHES HIGH, 30 INCHES WIDE, AND IN INCHES HIGH, SO HAVE A MINIMUM CLEAR FLOOR SPACE 30 INCHES BY 40 INCHES TO ALLOW A PERSON IN A UHEBLICHARY TO APPROXIMATE THE INIT FACING FORWARD, PREESTADING OR BUILT-IN UNITS NOT HAVING A CLEAR SPACE FUNDER THEY SHALL HAVE A CLEAR SPACE SUPPORT HET SHALL HAVE A CLEAR SPACE SHALL HAVE SHALL HAVE A CLEAR SPACE SHA SPACE UNDER THEM SHALL HAVE A CLEAR FLOOR SPACE AT LEAST 30 INCHES BY 48 INCHES THAT ALLOUS A PERSON IN A UNEELCHAIR TO MAKE PARALLEL APPROACH TO THE UNIT

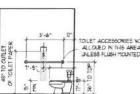
### 9 SURFACES

LITEXTURES SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE ROUGHPUR CONCRETE RUBBER RAISED ABRASINE STRIPES OR GROOVES EXTENDING THE FILL WIDTH AND DEPTH OF THE CURB RAITH SURFACES THAT ARE RAISED, ECHCED, OR GROOVED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.

SURFACES OF CURB RATIPS SHALL COMPLY WITH THE FOLLOWING 2 FOR PURPOSES OF WARNING, THE RULL WIDTH AND DEPTH OF THE CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS. WITH THAT OF ADJOINING PEDESTRIAN ROUTES.

SURFACES OF CURB RAMPS SHALL COMPLY WITH THE FOLLOWING. TEXTURES SHALL CONSIST OF GROOMES (V8) DEEP, V4" TO 3.4" WDE, AND SPACED 314" TO 2" APART) EXTENDING THE FULL WOTH AND DEPTH OF CURB RAMP SURFACE.

4. FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF THE CURE RAME SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNEICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES, COLOR CONCRETE OF CURB RAMP TO MATCH ARCHITECTS



WATER CLOSET

2'-1" MA

IC-3 AND HC-4

4'-2"

HC-1

ELEVATION

IC-I AND HC-2

SCALE: 3/8" = 1'-0

5 )SCALE: 1/4" = 1'-0

HC-4

SCALE: 1/4" = 1'-0

1-8"

OR GREATER

1.-3. COORDINATE HEIGHT OF FLUSH VALVE UTH GRAB BAR LOCATION-TYPICAL SINGLE USER TOILET ROOM

TYPICAL SINGLE USER TOILET ROOM WATER CLOSET & LAVATORY SCALE: 1/4" = 1'-0"

NOTE: FOURMEN

PERMITTED IN SHADED AREA

F IN PATH OF

DRINKING FOUNTAINS

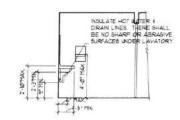
AND WATER COOLERS

(6)

SPOUT HEIGHT AND KNEE CLEARANCE

SCALE: 1/4" = 1'-0'

10



TYPICAL SINGLE USER OILET ROOM LAVATORY

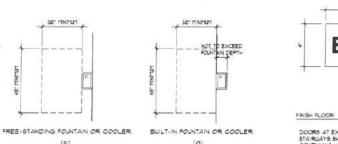


TYPICAL ACCESSIBLE RINAL AND SCREEN 4 )SCALE: 1/4" = 1'-0

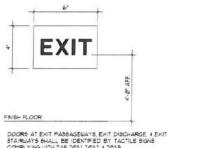


LOCATION AND HEIGHT TYPICAL SIGNAGE MOUNTING SCALE: 1/4" = 1'-0

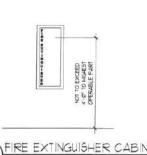
HI-LOW DRINKING FOUNTAIN ELEVATIONS 8 SCALE: 1/4" = 1'-0



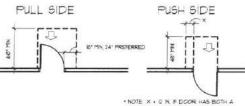
DRINKING FOUNTAIN AND WATER COOLER



DOORS AT EXIT PASSAGEWAYS, EXIT DISCHARGE. ( EXIT STAIRWAYS SHALL BE IDENTRED BY TACTILE SIGNS COMPLYING WITH TAS 1031, 1032 ( 1035 EXIT SIGNS



FIRE EXTINGUISHER CABINET 12



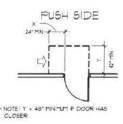
4.0

HC-2

PLAN VIEW

NOTE: X + 36" MNIMUM IF Y + 60"; X + 42" MINIMUM IF Y + 54";

CLEAR FLOOR SPACE



LATCH SIDE APPROACHES-SWINGING DOORS

NOTE: ALL DOORS IN ALCOVES

1ANEUVERING SPACE AT ALL ENTRIES AND DOORS TO HAVE 2% MAXIMUM SLOPE IN ALL DIRECTIONS.

JOB NO: #1829

THIS DOCUMENT IS OMPLETE AND IS NOT TO BE USED FOR NOT TO BE USED FOR REGULATORY, APPROVAL, PERMIT, OF CONSTRUCTION CHESNEY MORALES PARTNERS, INC.

DANIEL LONG

ADDITION IDA CLAIRI CLAIR

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Antonio, TBAE Firm

oy, Suite 250 Suite 210 828 9719 F

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RESTAURANT

NEW

TEXAS REG. 24853

DRAWN BY:

SHEET

moralespartners

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A0.2

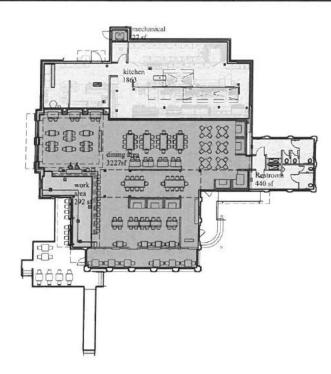
NOTE X . Q IN IF DOOR HAS BOTH A CLOSER AND LATCH (b) FRONT APPROACHES-SUINGING DOORS HINGE SIDE APPROACHES-SWINGING DOORS CLEAR MANEUVERING SPACE REQUIRED AT DOORS

PULL SIDE PUSH SIDE PULL SIDE 54" MIN NOTE: Y : 54" MINIMUM IF DOOR HAS CLOSER NOTE: Y . 48" MINIMUM IF DOOR HAS BOTH A LATCH AND CLOSER

SCALE: 3/16" = 1'-0"

SHALL COMPLY WITH THE CLEARANCE FOR FRONT APPROACHES.

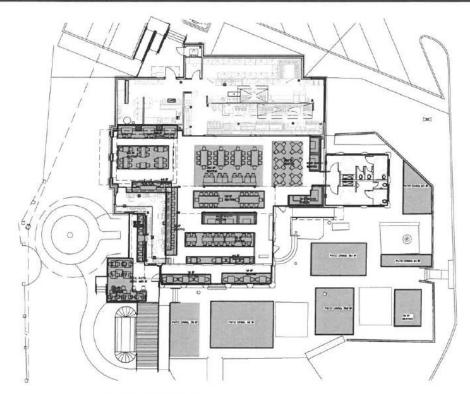
DATE: 10/29/18 CHECKED BY:



# FIRST FLOOR

6,823 GROSS CONSTRUCTION SQUARE FEET NOTE: AREA INCLUDES EXISTING AND NEW STRUCTURAL SLAB

The registered Design F	KSIDE CROSSING, NEW BRAUNFELS, TX.  Folessional responsible for all required spec  Of this project during construction is:	cial inspections (as required by the
SEEDEBICK E LIEDIKY	Chasney Morales 4 Associates	
12200	Danieg Craus - Percentage	
INSPECTIONS REQUIRED		
Geo-technical / Structure	1=100(4)17(1) (4=174) (5)17(1)(4+1)(4	
Chapter (184.1	Solis	Refer to Earthwork Notes
2) Chapter (7648-9)		Not Applicable
3) Chapter (164.3		Not Applicable
4) Non Cospilant Item		Not Applicable
	\	
Structural related inspec	1.2p	
5) Chapter 1924	1	
6) Chepter 1104.4	Concrete Construction	Refer to Concrete Steel Notes
1) Chapter 17043	Shuctural Steel	Rafer to Structural Steel NOtes
B) Chapter TIE42	Inspection of Fabricators	Refer to Various Notes
Onapter 17046		Not Applicable .
0) Chapter NO4B		Not Applicable
Union Compilant Item		
1) Charles Hills 14		
COCHE PARCE STATE OF THE STATE	Ext Insulation 4 Intel System	Not Required
3) Chepter 1784.12	Ext Insulation 4 Shieh System Sprayed Fire Resultive Materials	Not Required
7) Chépter (184)4 3) Chépter (184)2 4) Chépter (184)3 5) Non Compliant (Len		Not Required
3) Chapter 118412 4) Chapter 118413		Not: Required
3) Chepter 1/24/2 4) Chepter 1/24/3 5) Non Complians Item	Sprayed Fire Repetive Materials	Not Required
3) Chepter 18412 4) Chepter 18413 5) Non Compliant Item Sechanical related inspec	Sprayed Fire Repetive Materials	Not Required
3) Chapter (18412 4) Chapter (18413 5) Non Compliant Item Sechanical related inspec 6) Chapter (1894)4	Sprayed Fire Repetive Materials	Not. Required  Not. Required
3) Chapter 118412 4) Chapter 118413	Sprayed Fire Resistive Materials	·
3) Chepter 118412 4) Chepter 118413 5) Non Compiliant Item Sechanical related inspec 6) Chepter 118414 1) Chepter 118413	Sprayed Fire Resistive Materials	·
3) Chapter 11:2412 4) Chapter 11:2413 5) Non Compliant Item (achanical related inspec 5) Chapter 11:2414 1) Chapter 11:2413 5) Non Compliant Item	Sprayed Fire Resistive Materials	Not Required
3) Chapter 11:2412 4) Chapter 11:2413 5) Non Compliant Item (achanical related inspec 5) Chapter 11:2414 1) Chapter 11:2413 5) Non Compliant Item	Sprayed Fire Resolution Materials  Citions  Snoke Control Systems	Not Required
Orapter 1842 Chapter 1643 Chapter 1643 Chor Compiliant Item eschanical related inspect Orapter 1644 Chapter 1643 Non Compiliant Item Plank inspections are as	Sprayed Fire Resolution Materials  citions  Snoke Control Systems  pecial case inspections according to Chapte	Not Required in Tid415.
Orapter 1984 IZ Orapter 1984 IZ Orapter 1984 IZ Orapter 1984 IZ Orapter 1984 IX Orapter 1984	Sprayed Fire Resilver Materials  Clione  Secker Control Systems  Decial case inspections according to Chapte  Fill BNS  Faching	Not Required  F (1641).
Orapter (1842) Orapter (1843) Orapter (1843) Non Compilers Item eachenical related respect Orapter (1844) Orapter (1843) Orap	Sprayed Fire Residues Materials  Stone  Secke Control Systems  Decid Case Repections according to Chapte  PLUTSING  - Underground Repection  - Underground Impaction  - Underground Impaction  - Underground Impaction  - Underground Impaction	Not Required  r 10413.  al Electrical count inspection - shadarground inspection
Orapter (1942)     Orapter (1942)     Orapter (1943)     Non Compilent Item     Orapter (1944)     Orapter (1944)     Orapter (1944)     Orapter (1943)     Non Compilant Item     Plats Impactione are ap	Sprayed Fire Resolutive Materials  Citions  Snoke Control Systems  Puttennia According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities Facilities Facilities  Top-Out Impection Rough	Not Required  r FIG413.  al Electrical count inspection - linderground inspection by inspection - Rough-ir inspection
3) Chapter 1994 12 4) Chapter 1994 13 5) Non Compilient Item feachanical related inspect 5) Chapter 1994 14 5) Chapter 1994 15 5) Non Compilient Item 49 Elank inspections are ap 61 Elank inspection Feature Inspection headstion Impaction headstion Impaction	Sprayed Fire Residues Materials  Stone  Secke Control Systems  Decid Case Repections according to Chapte  PLUTSING  - Underground Repection  - Underground Impaction  - Underground Impaction  - Underground Impaction  - Underground Impaction	Not Required  r FIG413.  al Electrical count inspection - linderground inspection by inspection - Rough-ir inspection
3) Chapter 1994 12 4) Chapter 1994 13 5) Non Compilient Item feachanical related inspect 5) Chapter 1994 14 5) Chapter 1994 15 5) Non Compilient Item 49 Elank inspections are ap 61 Elank inspection Feature Inspection headstion Impaction headstion Impaction	Sprayed Fire Resolutive Materials  Citions  Snoke Control Systems  Puttennia According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities Facilities Facilities  Top-Out Impection Rough	Not Required  r FIG413.  al Electrical count inspection - linderground inspection by inspection - Rough-ir inspection
3) Chapter 11:2412 4) Chapter 11:2413 5) Non Compliant Item (achanical related inspec 5) Chapter 11:2414 1) Chapter 11:2413 5) Non Compliant Item	Sprayed Fire Resolutive Materials  Citions  Snoke Control Systems  Puttennia According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities Facilities Facilities  Top-Out Impection Rough	Not Required  r FIG413.  al Electrical count inspection - linderground inspection by inspection - Rough-ir inspection
3) Chapter 1994 12 4) Chapter 1994 13 5) Non Compilient Item feachanical related inspect 5) Chapter 1994 14 5) Chapter 1994 15 5) Non Compilient Item 49 Elank inspections are ap 61 Elank inspection Feature Inspection headstion Impaction headstion Impaction	Sprayed Fire Resolutive Materials  Citions  Snoke Control Systems  Puttennia According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities According to Chapte  Futtennia Facilities Facilities Facilities  Top-Out Impection Rough	Not Required  r FIG413.  al Electrical count inspection - linderground inspection by inspection - Rough-ir inspection
3) Chapter 1994 12 4) Chapter 1994 13 5) Non Compilient Item feachanical related inspect 5) Chapter 1994 14 5) Chapter 1994 15 5) Non Compilient Item 49 Elank inspections are ap 61 Elank inspection Feature Inspection headstion Impaction headstion Impaction	Sprayed Fire Residues Materials  Store  Snoke Control Systems  Pacific Case Inspection according to Chepte  PLINBNS  - Underground Inspection  - Top-Out Inspection  - Final Inspection	Not Required  r FIG413.  al Electrical count inspection - linderground inspection by inspection - Rough-ir inspection



## OCCUPANT LOAD

440 SQUARE FEET 27 SQUARE TOLET ROOMS MECHANIC	FEET AL/BTORAG	E AREA	1863 SQUI COMMERC
292 SQUARE FEET WORK AREA			
27 SF MECH/SERV / 300 SF per Person			
292 SF WORK AREA/ 200 SF per person	=	3 persons	.
1863 SF KITCHEN / 200 SF per Person	*	10 persons	
3227 SF DINING AREA			
= 210 SF BOOTH SEATING / 18 SF per Person	. =	12 persons	-
=1418 SF SEATING / 15 SF per Person		95 persons	
1739 SF OUTDOOR SEATING / 15 SF per Person	*	116 persons	.
TOTAL OCCUPANT LOAD		343 persons	

Note: Restrooms not tabulated for Occupant Loss

### TOTAL OCCUPANT LOAD -343

### PLUMBING FIXTURE COUNT

Per 2006 IPC, Section 403, Table 403.1 Total Occupants = 343 (172 Male and 172 Female) Water Closets Male 1 wc 1-75 Calculated Population 172 / 75 = 2 Water closets required Water Closets Female 1 ws 1-75 Calculated Population 171 / 75 = 3 Water closets required Urinals
1 urinal 10-50 Males (shall not be substituted for more than 50% of the required WCs. Drinking Fountains IPC 410.1 not required in restaurants drinking fountains not provided 1 Service Sink Required 1 service sink provided

APPLICABLE CODES	
2018 INTERNATIONAL BUILDING CODE	
2018 INTERNATIONAL PLUMBING CODE	

2018 INTER 2018 INTER 2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION
2018 INTERNATIONAL FIRE CODE
E2012 TEXAS ACCESSIBILITY STANDARDS

### CODE COMPLIANCE - 1 STORY BUILDING

ZONNG

BUILDING TYPE OCCUPANCY

TYPE V B - FULLY SPRINKLERED IN ACCORDANCE WITH NFPA IS

"A-2" - RESTAURANT

BULDING HEIGHT 1014L ALLOWABLE HEIGHT 1 461-615042 AUTOMATIC SPRINKLER INCREASE) 1 60-6 PROPOSED HEIGHT 1 35-61 AVERAGE ROOF HEIGHT 480VE GRADE PLANE ALLOWABLE STORIES + I (AUTOMATIC SPRINKLER NOREASE) + 2 PROPOSED STORIES + I

BULDING AREA
BASC ALLOHABLE AREA + 6,000 SOUARE FIET
AUTOMATIC SPRINGLER INCREASE 5063 + 15 + 3
TOTATIC SPRINGLER INCREASE 5063 + 15 + 3
TOTATIC SPRINGLER INCREASE 5033 + 15 000 SOUARE FIET
PROPOSED AREA = 1734 SOUARE FIET

### FIRE RESISTANCE KATING REQUIREMENTS

PRIMARY STRUCTURAL FRAME FLOOR & HOUR FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL & HOUR BOOR CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL & HOUR

BEARING UNLLS - EXTERIOR / INTERIOR & HOUR NON BEARING MALLS - EXTERIOR ID HOURS NON BEARING MALLS - INTERIOR & HOURS

### PARKING

CITY OF NEW BRAINFELS

REQUIRED PARKING JONE FOR EACH 4 SEATS FOR PATRON USE, OR ONE PER 180 SOLIARE FEET, LHICHEVER 15 GREATER

SEATS JII /4 153 PARKING SPACES 1794 SQ FT. / 100 1 15 PARKING SPACES 18 SPACES REQUIRED, 101 PROVIDED

EXITING

TABLE 10041 - 14-2" SEE OCCUPANT LOAD CALCULATIONS OCCUPANT LOAD

EGRESS MOTH

SECON 1005 -STAIRDAYS - 03" FER OCCUPAN ALL OTHERS - 03" FER OCCUPAN

EXIT WIDTH

347 OCCUPANTS × Ø2 = 684 INCHES PROVIDED MDTH = 66 + 66 + 33 + 3

EXIT ACCESS

TUD EXITS OR EXIT ACCESS DOCRUATS REQUIRED FOR OCCUPANT LOAD OVER 49 THREE EXITS OR EXIT ACCESS DOCRUATS REQUIRED FOR OCCUPANT LOAD OVER

FOR DOCUMENT LOAD - 347 DE EXITS PROVIDED THE EXITS REQUIRED - THE EXITS REQUIRED - THE EXITS PROVIDED THE PROVIDED THE PROVIDED THE PROVIDED BY THE PROVIDED BY THE BUILDING - SECTION 1014 21 EXCEPTION 2

RECISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE

Frederick F. Liedtka CHESNEY MORALES + 4850CIATES Texas Registration \*4177 1/0-828-9481

MOTE.
FRE EXTINGUISHERS TO BE PLACED THROUGHOUT BUILDING COMPLYING WITH BUILDING
CODE. FINAL NUMBER AND LOCATION TO BE DETERTINED BY FIRE OFFICIAL.

CODE ANALYSIS

THIS DOCUMENT IS INCOMPLETE AND IS NOT TO BE USED FOR REGULATORY, APPROVAL, PERMIT, OF CONSTRUCTION CHESNEY MORALES PARTNERS, INC. DANIEL LONG TEXAS REG. 24853

NEW RESTAURANT ADDITION RENOVATION FOR IDA CLAIR

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JOB NO: #1829 DATE: 10/29/18

DRAWN BY: CHECKED BY:

SHEET

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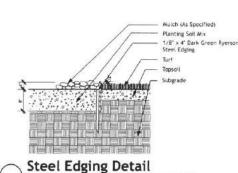
# Landscape Requirements & Tabulations

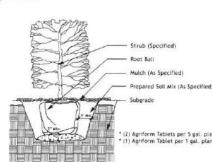
### Vicinity Map



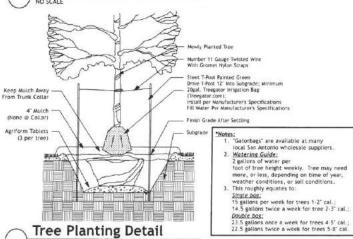
# **Property Description**

Lot 1, Block 8, NCB 18208





# Shrub Planting Detail



### Plant List

Key	Oty.	Common Name	Botanica   Name	Size	Heleht	Spread	Remarks
ΑB	20	Abelia	Abetia x grandifiora 'Edward Goucher'	5 Gal.	24" Ht.	24" width	Full and Symmetrical
LA	1700	Asian Jasmine	Trachelospermum astaticum	4" Pot	6" Ht.	9" width	Full and Symmetrical; 12" o.c.
DIA	54	Variegated Flax Lify	Danella tasmanica 'Variegata'	3 Gal.	9-12" Ht.	12" width	Full and Symmetrical; 24" o.c.
GL	55	Giant Liriope	Liriope gigantea	1 Gal.	12" Ht	12" width	Full and Symmetrical; 24" o.c.
IH	16	Indian Hawthorne	Raphiolepis Indica 'Clara'	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 42" o.c.
MOK	81.	Monterrey Cak	Quercus polymorpha	2" Cal.	8-10' Ht.	4-5 width	Full, Symmetrical, Uniform Height and Spread 4' Maximum Clear Trunks
PHI	7	Philodendron	Philodendron selloum	15 Gal.	30" Ht	42" width	Full and Symmetrical; 42" o.c.
PLU	18	White Plumbago	Plumbago auriculata	5 Gal.	18" Ht.	18" width	Full and Symmetrical; 36° o.c.
ROK	2	Shumard Red Oak	Quercus shumardii	3" Cat.	9-11' Ht.	4-5" width	Full, Symmetrical, Uniform Height and Spread 4 Maximum Clear Trunks; Staked
VG	3	Variegated Ginger	Alpinia vittata	3 Gal.	12" Ht	18" width	Full and Symmetrical; 30" o.c.
VIB	12	Viburnum	Viburnum suspensum	15 Gal.	30" Ht.	24" width	Full and Symmetrical; 36" o.c.
Boulde	rrs	42"x24"x24", Limestone					

1/8" x 4" Ryerson Steel Edging

Boulders To Be 1/3 Buried, 2/3 Above Grade And Have Relatively Flat Tops.

# Landscape Tabulations

### I. Manditory Requirements

Α.	Screening:				
	1.	Meter 5			

Meter Screens: 7-0" Wooden Screen Mechanical Equipment: 4-0" Wooden Screen; Vegetative Refuse / Trash: 6'-0' Wooden Fence

Mulch:

Minimum Sizes in Streetyard - 2° Caliper Minimum Sizes in Streetyard - 8-10° Height, Minimum Size for Large Shrubs: 24° tall. All Trees and Shrubs to be mulched with minimum

### II. Elective Requirements (25 points required: New Off Street Parking NOT in Street Yard)

	11.000	T C MC I W G L ROYI	ILQ106	Ontribe		
	1.	Caliper of >4" to <6" (3pts) (In - No.'s )	0 pts	0 pts	Points ea.	0.0 pts
	2.	Caliper of >6" to <12" (4pts)	0 pts	2 pts	Points ea.	2.0 pts
		(Out-No. s 4054)				
	3.	Caliper of >12" to <18" (6pts) (In - No.'s 4060) (Out-No.'s 4053)	6 pts	3 pts	Points ea.	9.0 pts.
	4.	Caliper of >18" (8pts)	72 pts	4 pts	Points ea.	76.0 pts.
		(In - No.'s 4056,4057,4058,4061, (Out-No.'s 4055)	4062,4063,4	065,4066,40	67)	
		Points Maximum	30 pts	15 pts		
					Total Points	87.0 pts.
					Actual Points	39 pts.
					Maximum Points Credit	40 pts.
		Note: See notes for tree preservation	ит.			
9	Street	Tree Planting			Points Credit	0 pts.
	Surfac	e Of Parking Screening			Points Credit	0 pts.
	Parkin	g Lot Shading			Points Credit	20 pts.
					Total Beleve	E0 ess

**Boulder Detail** 

## Parking Lot **Shading Calculations**

(Mandatory Requirement)

Trees Are To Be Planted Within 12'-0" of Edge Of Pavement

Parking Lot Area	22.920 sf
25% Shading Minimum	5,730 sf
Number of Existing Trees @ 1200sf · 0	O sf
Number of Trees @ 1200sf (Islands-75%) - 2	1,800 sf
Number of Trees @ 1200sf (Curbs-50%) - 0	0 sf
Number of Existing Trees @ 875s1 - 4	3,500 sf
Number of Trees @ 875sf (Islands-75%) - 0	0 st
Number of Trees @ 875st (Curbs-50%) - 1	438 st
Number of Existing Trees @ 275sf - 0	0 sf
Number of Trees @ 275sf (Islands-75%) - 0	D sf
Number of Trees @ 275sf (Curbs-50%) - 0	0 sf
Square Footage of Trees Provided	5,738 sf

# Site Tree Canopy **Shading Calculations**

Site Area	59,976
25% Shading Minimum	14,994 1
Number of Existing Trees @ 1200sf · 4	4,800 s
Number of Trees @ 1200sf @ 90% - 2	2,160 s
Number of Trees @ 1200sf @ 90% (x1.5) -	0 0 s
Number of Existing Trees @ 875sf · 9	7,875 9
Number of Trees @ 875sf @ 90% · 0	0 s
Number of Trees @ 875sf @ 90% (x1.5) - 0	0 s
Number of Existing Trees @ 275sf - 3	825 s
Number of Trees @ 275sf @ 90% - 0	0 s
Number of Trees @ 275sf @ 90% (x1.5) - 0	0 s
Square Footage of Trees Provided	15.660 s
admire i sociale di sicca Linkingo	12,400 2

### **General Notes**

- 1. All quantities shown on plans to be verified by Landscape Contractor. Landscape Contractor shall be responsible for installing all labeled plant material.
- 2. Landscape Contractor shall familiarize himself with the Landscape Plan and Specifications and shall
- 3. Landscape Contractor shall familiarize himself with the location of all underground utilities and easements prior to the installation of any plant material.
- 4. All plants must comply with the American Standards for Nursery Stock, by the American Association
- 5. All final shaping and raking of the topsoil shall be approved by the Landscape Architect prior to application of Hydromulch or sod, shaping planting beds, installing trees and installing irrigation Excessive slopes on berms which may cause maintenance problems shall be reviewed by the Landscape Architect. Berms shall be installed in 12" layers and compacted to 90% proctor.
- 6 All topsoil shall be fine sandy loam, raked smooth to grade 1-1/2" below curbs, sidewalks, or edging
- All beds to be mulched to a depth of 4" with BLACK dyed mulch from New Earth (210.661.5180).
- 8 All backfill to be sandy loam material and shall be the responsibility of the General Contractor General Contractor shall allow for the installation of 2° of topsoil at hydroseed areas, 6° of topsoil at lawn areas, and 8" of specified backfill (New Earth 4-way Mix) in shrub areas to be supplied by the Landscape Contractor. Any backfill material shall be compacted sufficiently to prevent excessive settling of topsoil that may effect the finished grade or drainage.
- 9. Landscape Contractor shall notify the Landscape Architect of any questions regarding application of proposed plant material prior to installation-especially questions that may effect or after the warranty of
- 10. Landscape Contractor shall maintain all trees, shrubs, groundcover and turf areas in a healthy state under the contract until acceptance by the owner. A 90 day maintenance period, after acceptance, shall be included in base bid.
- 11. Trees shall be warrantied 1 year from acceptance of owner. Shrubs and groundcovers shall be warrantied 5 months in the same period.
- 12. All container grown shrubs and groundcovers shall be healthy, vigorous, well-rooted and established in the container in which they are growing.
- 13. Landscape Irrigation to be provided throughout project and shall provide 100% coverage at all

OLE cevallos suite #32

n antonio, texas 7820 210.269.5454 tel

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November 2, 2018

Issue / Revision

City Suberittal 11.02.18

# Restaurante aíre

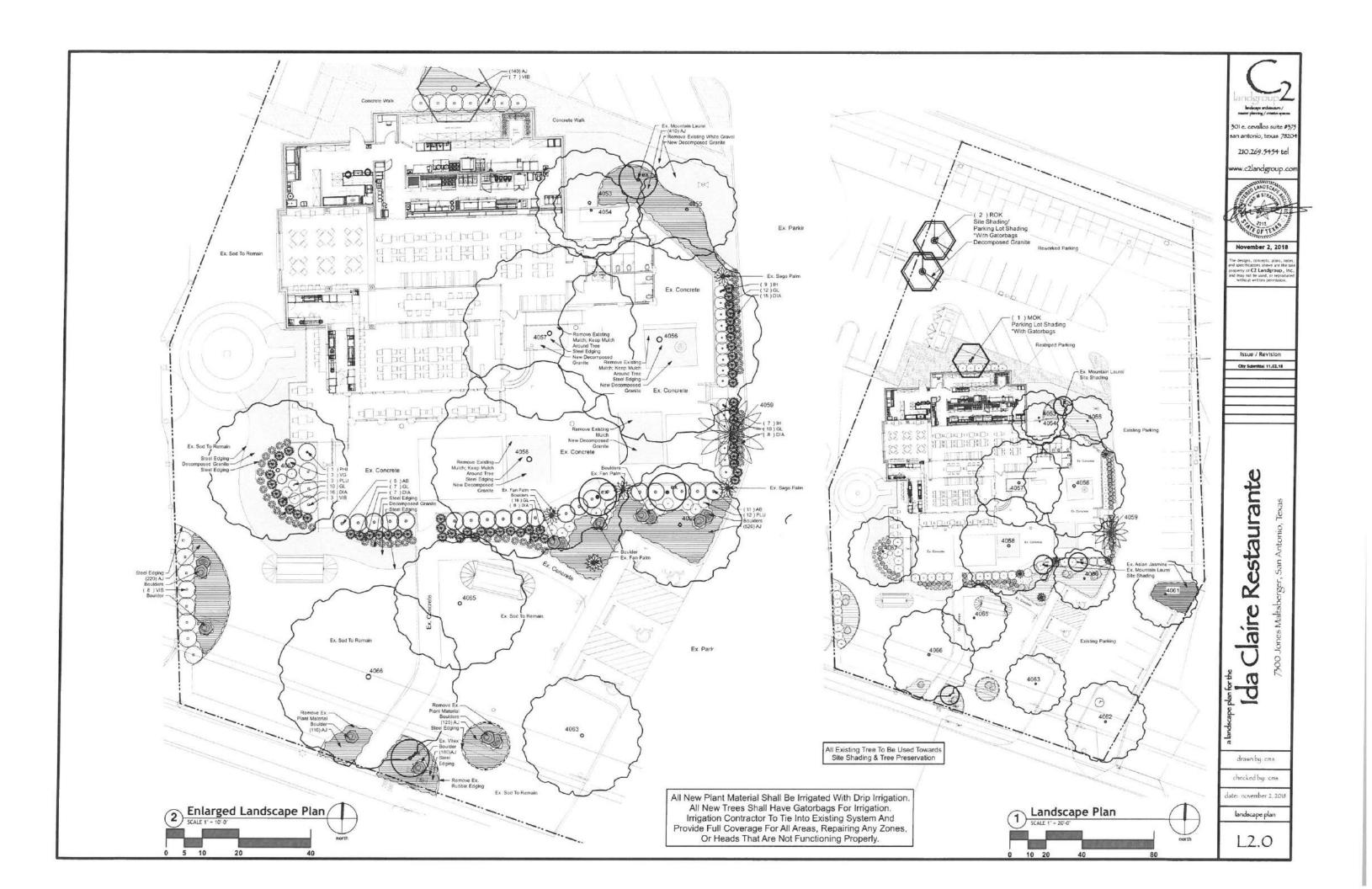
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drawn by: cms checked by cms

date: november 2, 201 andscape notes & deta

Decomposed Granite @ Curb Detail

**Decomposed Granite Detail** 



# **Landscape Requirements & Tabulations**

### Tree Preservation Notes

- All existing trees denoted on plan to be preserved as shown. Those trees requested for credit
  have been delineated to be protected at the root zone. The root zone shall be determined by the
  crown of the tree. Preservation notes apply only for those trees that are designated to be preserved
  for credit.
- A protective barrier to protect the root protection zone shall be erected and maintained until
  construction is completed. The barrier shall be fenced or cabled with a semi-permanent barrier
  that will visually denote those areas being protected.
- 3. Protected areas shall be sustained in a natural state until landscape installation begins
- 5. During construction, no excess soil, additional fill, equipment, liquids, or construction debris shall be placed inside the protective barrier nor shall any soil be removed from within the barrier.
- The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than three inches. Welling and retaining methods are allowed outside the root protection zone,
- 7. The root protection zone for each designated protected tree must remain unpaved.
- B. All designated / protected trees shall have ground cover or turf at the base of the tree. See plan for
- 9. All trenches and digging within the Root Protection Zone shall be hand digging only. No automatic trenchers allowed

# Site Tree Canopy **Shading Calculations**

(Mandatory Rodan emant)	
Site Area	59,976
25% Shading Minimum	14,994
Number of Existing Trees @ 1200sf - 4	4,800
Number of Trees @ 1200sf @ 90% - 2	2,160
Number of Trees @ 1200sf @ 90% (x1.5) - 0	0
Number of Existing Trees ⊕ 875sf - 9	7,875
Number of Trees @ 875sf @ 90% - 0	0
Number of Trees @ 875sf @ 90% (x1.5) - 0	0
Number of Existing Trees @ 275sf - 3	825
Number of Trees @ 275sf @ 90% - 0	0 :
Number of Trees @ 275sf @ 90% (x1.5) - 0	0 :
Square Epotage of Trees Provided	15 660

Understory Trees					
Total Diameter Inches	28"				
Total Diameter Inches Removed	12				
Total Diameter Inches Preserved	16"				
3. Diameter Inches Preserved	57.14 %				
Number of Inches over/under 40%	4.8"				
To be used against mitigation of large herita	ee trec				
Number of Inches Mitigated with Excess Existin					
Number of Inches Mitigated with Excess New Tr					
Total Mitigation	0"				
Amount To Pay Into Tree Preservation Fund	50				
(Number of remaining inches at \$200/inch)	0.00				
Significant Trees					
Total Diameter Inches	206.7				
Total Diameter Inches Removed	51"				
Total Diameter Inches Preserved	155.7				
% Diameter Inches Preserved	75.33 %				
Number of Inches over/under 40%	73.02"				
Number To Be Used Towards Mitigation of Herita Number To Be Used Towards Mitigation of Palms					
Number of Inches Mitigated with Excess New Tre					
Total Mitigation	36.75				
Amount To Pay Into Tree Preservation Fund	50				
(Number of remaining inches at \$200/inch)					
Heritage Trees					
Total Diameter Inches	0"				
Total Diameter Inches Removed	0-				
Total Diameter Inches Preserved	0-				
K Diameter Inches Preserved	#DIV 0! %				
Number of Inches To Mitigate (3:1)	o-				
Number of Inches Mitigated with Excess Existing	Trees 0				
Number of Inches Mitigated with Excess New Tre	es o				
Total Mitigation	0*				
Amount To Pay Into Tree Preservation Fund	50				
Number of remaining inches at \$200/inch)					
Total # Trees 24" cal. & above	0				
Palm Trees					
local Diameter Inches	24.5"				
Total Diameter Inches Removed  Total Diameter Inches Preserved	24.5"				
Diameter Inches Preserved	0.00 %				
Number of Inches To Mittigate (1.5:1) 36.75					
number of Inches Mitigated with Excess Signiffica					

### Tree Inventory

4053	16" Pecan	Remain	4058	17 Live Oak	Remain	4063	23	Red Oak	Remain
4054	11" Pecan	Remain	4059	16" Palm	Remain	4065	19	Pecan	Remain
4055	23" Red Oak	Remain	4060	17" Red Oak	Remain	4066	25	Live Oak	Remain
4056	28' Live Oak	Remain	4061	19" Live Oak	Remain	4067	20"	Pecan	Remain
4057	37" Live Dak	Remain	4062	22" Live Oak	Remain				

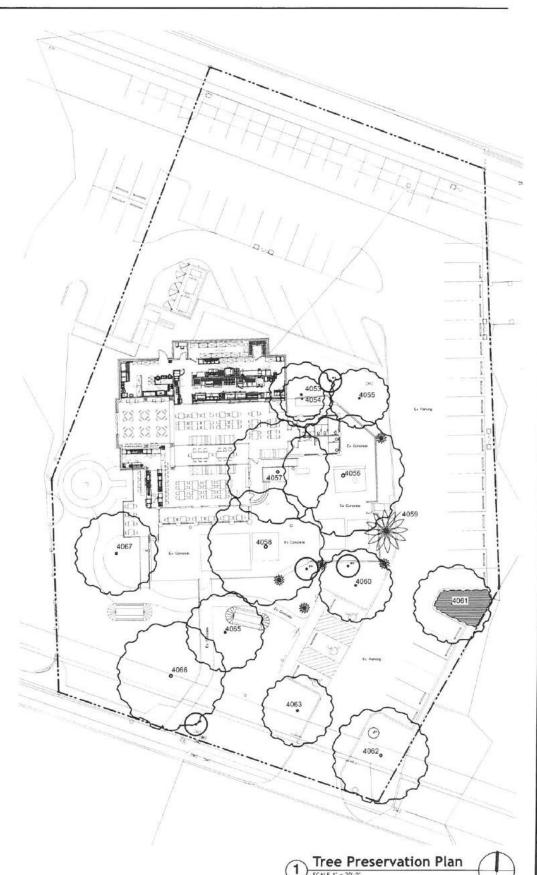
### Highlighted Trees are "Heritage Trees" (+24")

Remain = Tree is counted and will remain.

Remain; N.C. = Tree is not counted because it is not a protected size, yet will remain. Remain; Esmt = Tree is not counted because it is in an

easment, yet will remain.
Remain; OPL = Tree is not counted because it is outside the property line, yet will remain.

Remove = Tree is counted and will be removed. Remove; N.C. = Tree is not counted because it is not a protected size, or species, and will be removed. Remove; Esmt = Tree is not counted because it is in an easment, and will be removed.



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November 2, 2018

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Issue / Revision City Submittal 11.02.18

Restaurante laire

Ida

drawn by: cms

checked by: cms

date: november 2, 2018

notes & details

### LEGAL DESCRIPTION

PEING A TOTAL OF 1299 ACRES ESTABLISHING LOT 1, 8LOCK 8, MCB 18208
ALAMO CEMENT SUBDIVISION UNIT 3D (VOL. 9526 PG 80 DPR)

### BENCHMARKS

BM#1 - ELEVATION = 758.29 "SET PK NAIL" IN CONCRETE
BM #3 - ELEVATION = 758.29 "SET PK NAIL" IN CONCRETE SIDEWALK
BM #3 - ELEVATION = 746.84 "SET PK NAIL" IN CONCRETE SIDEWALK

### COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210)-244-0500.

2 CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (2101-363-2286)

3 CONTACT AT&T TO COORDINATE TELEPHONE SERVICE, 1-800-449-7928

4 CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES: (210)-353-2256 5 CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANTARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

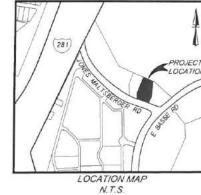
CAUTIONS THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT DO LIMITED TO: WATER, SEMER, TELEPHON AND RIBBER OFFICILINES, SITE LICHTING ELECTRICS, SECONDAY ELECTRIC, PRIMARY ELECTRICAL DUCTBANIS, LANDISCAPE IRRIGATION FACILITIES, AND GAS LINES. AND UTILITY COMPLICITS THAT ARRISE SHOULD BE COMMUNICATED IN RHMARY ELECTRICAL DUCTRAINS, LAUDISCAPE RIGHTS AND ACQUITES, AND AS LINES, ANY UTILITY COMPLICTS THAT PARISH SHOULD BE COMMUNICATED O THE ENGINEER HAMEDIATELY AND PRIOR TO CONSTRUCTION THE CONTRACTO HALL CONTACT, HOROCHIC TESS A MANIMUM OF A HOURDS FROM TO THE START O ONSTRUCTION, ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE CONSTRUCTION ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONT SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT

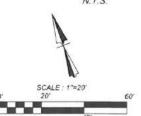
### TRENCH EXCAVATION SAFETY PROTECTION

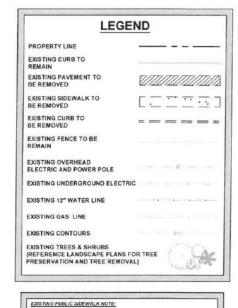
CONTRACTOR AND OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGNAGEOFECHNICALISARETY/EQUIPMENT CONSULTAIT. IF ANY, ORALL REVIEW THESE PLANG AND ANY AVAILABLE GOTOCHNICAL. INFORMATION AND THE ANY CONTRACTOR STRUCTURES WITHIN THE PROJECT INFORMATION AND THE ANY CONTRACT BOSTILLATION STRESS WITHIN THE PROJECT SAFETY PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S MAPPER PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S MAPPER PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S MAPPER PROJECT OF SAFETY PROJECT ON THE TOWN OF THESE SYSTEMS, PROGRAMA SANDOR PROFEDED AND EXPENSE AND ADMINISTRATION OF THESE SYSTEMS, PROGRAMA SANDOR PROFEDENT SITEMAL PROJECT ON THE THE PROJECT OF THE PROJECT ON THE SAFETY OF THE PROJECT OF THE PROJECT OF THE SAFETY OF THE PROJECT OF THE PROJ

### EXISTING UTILITY NOTES

- THIS PLAN HAS BEEN PREPARED TO THE BEST OF OUR ABILITY USING THE DATA AVAILABLE. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED PROB A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED PROM UTILITY COMPANIES.
- 2 IT IS ESSENTIAL THAT 48 HOURS PRIOR TO CONSTRUCTION ALL LITILITY COMPANIES BE NOTIFIED TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
- 3. THE CONTRACTOR MEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWNOS. THE CONTRACTOR IS RESPONDIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
- 4 LOCATION AND DEPTH OF EYISTING UTLITIES SHOWN HEREON ARE APPROXIMATE CRLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERHED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION AND THE CONTRACTOR SHALL BE RESPONSIBLE. FOR THE PROTECTING EXISTING UTLITIES DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.







ITEMS TO BE REMOVED O POWER POLE & OVERHEAD UTILITY

CONCRETE PAVEMENT CONCRETE CURB (2) PAVEMENT STRIPING LIGHT POLE CONCRETE CURB TREE WHEELSTOP ASPHALT PAVEMEN LIGHT POLE IRRIGATION VALVE CONCRETE / SIDEWALK CONCRETE SIDEWALK WHEELSTOP FENCE PLAYGROUND PAVEMENT STRIPING WOOD FENCE

ITEMS TO REMAIN

(B) FREEZER/SHED/STORAGE 9 WOOD FENCE GATE / FENCE SUMP PUMP/LOCATE AND EXISTING STORM DRAIN L (REF. SHEET C50)

13 FOUNTAIN RELOCATED REF LANDSCAPE PLANS) 15 FIRE HYDRANT HANDRAIL

CONCRETE STEPS ASPHALT PAVEMENT / BASE

WALL (REF. ARCH PLANS) GAS METER (COORDINATE WITH CAS) CONCRETE PAVEMENT

PLAYGROUND AREA (20) SIDEWALK BOX (21) METAL FENCE

78209

RESTAURANT ADDITION AT THE QUARRY JONES MALTSBERGER RD, SAN ANTONIO, TX CONDITION / DEMOLITION PLAN EXISTING

TE NOVEMBER 2018 SHEET NUMBER

7300

C1.0

### DEMOLITION NOTES

- LOCATION OF EXISTING UTILITIES AND DIVANAGE SHOWN HEREON ARE APPROXIMATE ONLY ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL UTILITY COMPANIES RECARDING REMOVAL OF EXISTING SERVICES. POWER PRIES TO ERE REMOVED VERIFIYING UTILIES ARE SHYLO OFF OR DISCONNECTED, AND ALL POSSIBLE AMETY PRECAUTIONS HAVE BEEN EVACITED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PRESCURE.
- CONTRACTOR SHALL COORDINATE WITH THE CHARER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR SHALL REPLACE AT MS EXPENSE ANY DESTROYED MATERIAL OR EQUIPMENT THAT WAS MARKED FOR SALVAGE.

- CONTRACTOR SHALL COORDINATE WITH CPS TO REMOVE ANY OVERHEAD ELECTRIC LINES OR POLLES DESIGNATED TO BE REMOVED UP ANY, ANY DISCREPANCIES BETWEEN THIS PLAN AND EXISTING CONDITIONS SHALL BE COMMUNICATED WITH THE ENGINEER.
- CONTRACTOR SHALL NOT START DEMOLITION OF ANY FEATURE SHOWN ON THIS DRAWNIG UNTIL A STORM WATER POLLUTION PREVENTION PLAN IS INSTALLED AND COMPLETED.
- THE CONTRACTOR SHALL COMPLY WITH ALL GINA REQUIREMENTS FOR DEMOLITION THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNERS AND SHALL HAVE AT HIS EXPENSE, ALL CORNERS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL NOT DEMOLISH ANY WATER OR SANTARY SEWER LINE WITHOUT SAN ANTONIO WATER SYSTEM (SAWS) APPROVAL.
- CONTRACTOR SHALL MISTALL A MANAMIM 6-POOT HIGH, CHAIR LINK, PROTECTIVE FENCE AS SHOWN ALONG THE PERMETER OF THE CONSTRUCTION/DEMOLITION LINETS PROTECTIVE FENCE SHALL BE IN PLACE REPORT ANY DEMOLITION OF CONSTRUCTION BEGINS AND SHALL REMAIN IN PLACE AND IN GOOD REPAIR THROUGHOUT CONSTRUCTION CONTRACTOR SHALL TAKE SPOUL CARE TO INSTALL VIANCE BARRIERS AND FENCING TO PROHET VEHICULAR AND PEDESTRAN ACCESSTO THAT AREA CONTRACTOR SHALL CORDOMATE WITH THE OWNER TO ENSURE THAT FENCING AND BARRIERS INSTALLED ARE ADEQUATE.

<u>zpezzzzzzzzzzzzzzz</u> AT! LOT 5, BLOCK 8 N.C.B. 18208 ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9538, PG. 60 D.P.R.) (3) (D) 12

4(8)

(29)-

-

LOS COYOTES SUBDIVISION VOL. 9533, PG 211

JONES MALTSBERGER ROAD

3

(86" RIGHT-DF-WAY VOL. 9525 PG. 215)

**™** BM Z

7:00 JONES MALTSBERGER DR. SAN ANTOMO, TX 78209 BEING A TOTAL OF 1,39 ACRES ESTABLISHING LOT 1, BLOCK B. NCB 18208 ALAMO CEMENT SUBDIVISION UNIT 3D (VOL. 9526 PG 60 DPR)

BENCHMARKS
BREY-REPARTON - 728-75 SET PK MAIL 'IN CONCRETE
BM 82 - ELEVATION - 728-77 SET PK MAIL 'IN CONCRETE SOEWALK
BM 52 - ELEVATION - 728-84 SET PK MAIL 'IN CONCRETE SOEWALK

### COORDINATION NOTE:

1 CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210-244-0500

2 CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210)-353-2256

3 CONTACT ATST TO COORDINATE TELEPHONE SERVICE 1-800-449-7928 4 CONTRACTOR TO COGRUNATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210)-959-2256

5 CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297. 8 CONTRACTOR SHALL CONTACT 1-800-DIGITESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

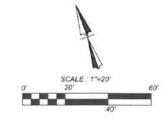
### NOTE

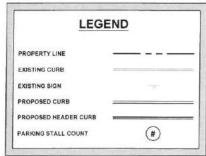
- I UNLESS OTHERWISE NOTED, ALL RETURNS SHALL HAVE A 3' RADIUS
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
- 4 ALL DIMENSIONS ARE TO FACE OF CURB OR STRIPING.
- 5 CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT. PLACEMENT, OF LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- 6 ALL DYMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION
- CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH CITY INSPECTOR PRIOR TO THE CONSTRUCTION OF ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF DAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS CITY OF SAN ANTIONID DESIGN STANDARDS.

CAUTION!! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: MATRE, SEWER TELEPHONE AND FIRED PORT LINES, SITE URIGHTNIC BELECTING, SECOMERAY PLECTING, DRIMARY ELECTRICAL DUSTRINE, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES, ANY UTILITY COMPLICTS THAT ARES SHAULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION THE CONTRACTO, SHALL CONTRACTOR INDOCKSIESSAS AMMINIMAD OF AN HOUSE PRIOR TO THE STRAT. CONSTRUCTION, ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE. RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONT SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

CONTRACTOR AND OR CONTRACTOR'S INDEPENDENT, Y RETAINED EMPLOYEE
OR STRUCTURAL DESIGNAGEORRAPHICAL/SAFETY/EGUPMENT CONSULTANT
FANT, SHALL REVIEW THESE ENINS AND ANY AVAILABLE GEOGRAPHICAL
INFORMATION AND THE ANYTICIPATED INSTALLATION STEES WITHIN THE PROLECT
WORK AREA, IN ORDER TO INFORMENT CONTRACTOR'S TREACHE EXCAULTION
SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROJECTIONS FOR
THE PROJECT TESCRIBLED IN THE CONTRACT DOCUMENTS FOR THE CONTRACTOR'S
PROVIDE FOR ADEQUAL, TESCRIBLED AND ANY AVAILABLE DESCRIBLED TO ANY
OWNEY WITH AS A MANIMUM, DOSHUS STRUMDED FOR TRENCHE CAULTIONS,
SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENT A TESTANDE
PROJECT SAFETY CONSILIATION SAFETY PROPERTIES FOR
PROJECT SAFETY CONSILIATION SAFETY MEMBERS TO SERVING SAFETY
PROGRAM IN ACCORDANCE WITH JOSHUS STANDARDS GOVERNING TH
PROSESSIONE. PRESENCE
BND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION (281) LOCATION MAP

N.T.S.





### KEYED NOTES

- TYPICAL PARKING SPACES (SEE SHEET CZ.0)
- (2) 45" PARKING SPACES (SEE SHEET C7.0)
- (3) PROPOSED SIDEWALK
- PROPOSED & CURB PROPOSED TRAFFIC FLOW A
- (7) I WHITE STRIPING (TYP)
- PROPOSED WHEELSTOP DUMPSTER PAD (24' × 36)
   (SEE SHEET C7.0)
- PROPOSED MONUMENT SIGN
  REF. LANDSCAPE PLANS FOR DETAILS
- PROPOSED CONCRETE RAMP (SEE SHEET C7.0) PROPOSED DUMPSTER AREA
  (REF ARCH PLANS FOR DETAILS)
- 13 PROPOSED LIGHT POLE ISEE SHEET C7.0)

- (14) PROPOSED SUMP PUMP W GRATE (SEE SHEET CS.0)
- (15) COMPACT PARKING SPACES (9 TOTAL)
- PROPOSED (AIRSTREAM) TRAILER (INC.) (
- PROPOSED HEADER CURB
- (18) PROPOSED HANDRAILS (SEE SHEET C7.0)
- 19 PROPOSED TOO NOT ENTER" SIGN PROPOSED DCA WIFDC AND VALLT (SEE SHEET CS.O)
- PROPOSED HANDICAP SYMBOL (SEE SHEET CT.0)
- PROPOSED HANDICAP SIGN (SEE SHEET C7.0) PROPOSED STEEL GATE & FENCING (REF.ARCH PLANS FOR DETAILS)
- PROPOSED AREA OF PAVERS
  (REF. LANDSCAPE PLANS FOR DETAILS

DATE: NOVEMBER 2018 SHEET NUMBER

7300

78209

PLAN

CONTROL

SITE PLAN / DIMENSIONAL

**AT THE QUARRY** SAN ANTONIO, TX

RESTAURANT ADDITION JONES MALTSBERGER RD,

C2.0

(15) (B) (1) LOT 5, BLOCK 8 N.C.B. 19209 ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9538, PG. 60 D.P.R.) EXISTING BUILDING LOT 4, BLOCK 8 N.C.B. 18208 LOS COYOTES SUBDIVISION VOL. 9533, PG. 211 (0) -JONES MALTSBERGER ROAD

(86 RIGHT-OF-WAY VOL 9525, PG. 215)

REMAINDER OF HUME'S FARM SUBDIVISION VOL. 105, PGS, 118-119

T200 JONES MALTSBERGER DR. SAN ANTONIO, TX 78209
BEING A TOTAL OF 1,229 ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18208
ALAMO CEMENT SUBCIVISION UNIT 3ID (VOL 9526 PG 60 DPR)

BENCHMARKS
BM 91 - ELEVATION = 755.79 "SET PK NAUL" IN CONCRETE
BM 92 - ELEVATION = 755.77 "SET PK NAUL" IN CONCRETE SIDEWALK
SM 93 - ELEVATION = 756.95 "SET PK NAUL" IN CONCRETE SIDEWALK

### COORDINATION NOTE:

1. CONTACT SPECIFIUM CABLE TO COORDINATE CABLE TV SERVICE. (210)-244-0500

2 CONFIRM REQUIREMENTS AND COORDINATE WITH CRS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUST SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (216-353-3256)

3 CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-440-7928

4 CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAIF GAS SERVICES (210)-253-2258.

5 CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER 5 YSTEM) TO PLAN SAWITARY SEWER AND WATER SERVICES. (210)-104-7197.

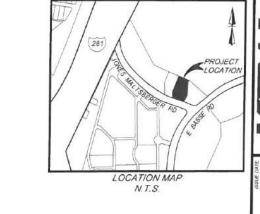
E. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

### NOTE

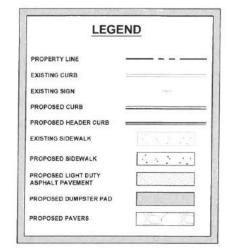
- 1 UNLESS OTHERWISE NOTED, ALL RETURNS SHALL HAVE A 3 RADIUS
- 2 THE CONTRACTOR SHALL SAW-OUT EXISTING PAVEMENT CURBS, AND SIDEWALKS AT NEW JUNGTURES, NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
- 2 PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED OTHERWISE
- 4 ALL DIMENSIONS ARE TO FACE OF CURB OR STRIPING.
- 5 CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENCINEER OF ANY OVESTICNS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- 6 ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH CITY INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH ALL SIDEWALKS, CURBS RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WINT SHALL BE COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS CITY OF SAN ANYONIO DESIGN STANDARDS.
- CONTRACTOR TO PISSURE LIMITS OF PROPOSED HANDICAP PARKING SPOTS AND ADJOINING PROPOSED SIDEWALK SHALL NOT EXCEED 2 OK IN ANY DIRECTION.
- IT THE AREA (±1,600 SF) SHALL BE RECONSTRUCTED TO DRAIN PROPERLY. THE ASPAULT SHALL BE REMOVED AND THE UNDERLING BASE REMORKED TO PROVIDE POSITIVE DRAINAGE TO THE EAST AT A MIX OF THE BASE IST OBE COMPACTED TO AT LEAST 99% OF THE MAX DENSITY DETERMINED BY TEX-11-SE ANY NEW BASE REQUIRED TO MEET FINAL GRADES SHALL BE TYPE A OF B. 7.0 F MAKE TYPE D'S SHALL BE LAD UP TO BUT NOT EXCEED THE ENSITING TOP OF CURB ALONG THE WEST SIDE OF THE LOT.
- 18 ALL AREAS THAT WILL NOT BE REWORKED OR RECEIVE NEW ASPHALT SHALL BE SEALED
  WITH A DOUBLE APPLICATION OF GENERAL FEDSING PHYEMEN'S SEALER CONCENTRATE
  WHICH MEETS ASTMOSTZY ASTMOSMAS ASTMOSTZO AND PAR ENGINEERING BRIEF
  NO 48.

### RENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND OR CONTRACTOR'S MICERENDENT'S PETAINED EMPLOYEE OR STRUCTURAL DESIGNATIONS DECEMBER. MICERENDENT'S PETAINED EMPLOYEE OR STRUCTURAL DESIGNATION STEEMEN AND AND ANY ANALABLE GEOFCONICAL MICHAEL REVIEW THESE RANK AND ANY ANALABLE GEOFCONICAL MICHAEL REVIEW THESE RANK AND ANY ANALABLE CONTRACTOR STRUCK, DECEMBER OF ANY AND AND THE ANY CONTRACTOR STRUCK, DECEMBER OF THE ANY CONTRACTOR STRUCK, DECEMBER OF THE PROJECT CONTRACTOR'S THE ANY AND ANY OF THE PROJECT DESCRIBED IN THE CONTRACTOR STRUCK PROJECTION THAT FOR PROJECT DESCRIBED IN THE CONTRACTOR SHET PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHIS STANDARDS FOR TRENCH EXCLUSIONS SECURIFICATIVE CONTRACTOR SHOULD BE ANY CONTRACTOR SHOULD BE ANY MITH AS A MINIMUM, OSHIS STANDARDS FOR TRENCH EXCLUSIONS THE PROGRAMM AN CONTRACTOR SHOULD BE ANY SECURIFICATIVE CONSISTENCY FOR SHEET PROGRAMM AND CONTRACTOR'S MICEPENDENT IS PETAINED EMPLOYEE OR SAFETY CONSISTENCY FOR SHEET PROGRAMM AND THE PROSENCE AND CONDITIONS THAT SHALL IMPLEMENT A TRENCH SHEET PROGRAMM AND CONDITIONS OF STRUCK OF OF S

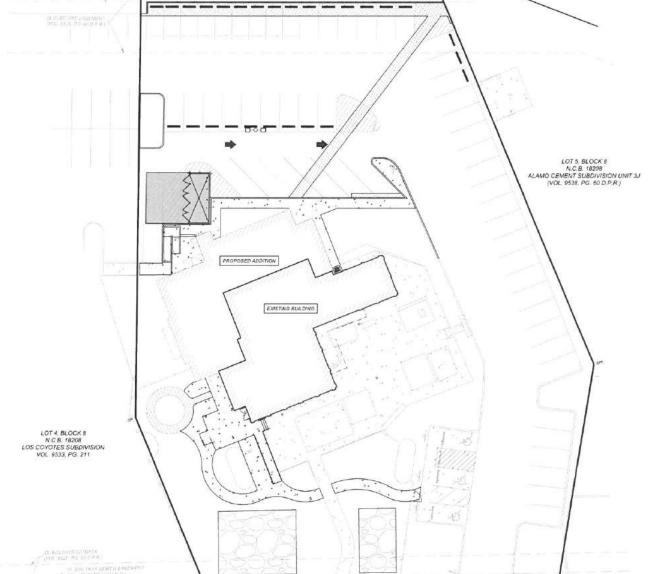






PAVING USE	THICKNESS (INCHES)	DESCRIPTION
DUMPSTER PAD	7.0	REINFORCED GONCRETE PAVEMENT NO. 3 BARS @ 18" D.C.B.W.
LIGHT DUTY ASPHALT PAVEMENT	2 8	HMAC SURFACE COURSE FLEXIBLE BASE

ALL PAVEMENTS TO HAVE 5" COMPACTED SUBGRADE.



50

JONES MALTSBERGER ROAD (85 RIGHT OF-WAY VOL. 9525, PG. 215)

DATE NOVEMBER 2018 DRAWN KW CHECKED BO SHEET NUMBER

C3.0

7300

78209

RESTAURANT ADDITION AT THE QUARRY JONES MALTSBERGER RD, SAN ANTONIO, TX

PAVING PLAN

LEGAL DESCRIPTION
7200 JONES MALTSBERGER DR. SAN ANTONIO, TX 75209
BEING A TOTAL OF 125 ACRES ESTABLISHNÓ LOT 1 BLOCK B. NCB 18706
ALANO CERREN T SUBDINISTON UNITS OF OC. SERT RG 50 DPH)

BENCHMARKS
BM #1-ELEVATION = 755.59 "SET PK MAIL" IN CONCRETE
BM #2-ELEVATION = 722.47 "SET PK MAIL" IN CONCRETE SIDEWALK
BM #3-ELEVATION = 724.64 "SET PK MAIL" IN CONCRETE SIDEWALK

### COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE (210)-244-0506.

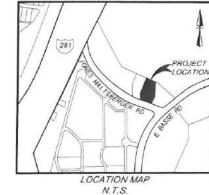
2 CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUST SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210-938-2256

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-449-7928. 4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN DAS SERVICES (210)-353-2256

5 CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SAMTARY SEWER AND WATER SERVICES, (210)-704-7297. 6 CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION CAUTIONII: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PANATE UTLUTIES WILLIAMS BUT NOT UNITED TO HATER'S SOMER, TELEPHONE AND PROP OFFICIALES. SITE UNITING SECTION, ELECTRIC PROPERTY ELECTRIC. BUCHTS SHALL FOR C. SECONDIN'S PLECTRIC PROPERTOR FACILITIES. AND GAS LIMES. AND UNITED SOMERIES THAT ARE SHOULD BE COMMENCED FOR SHOULD BE COMMENCED TO THE ENGINEER HAMEDIATELY AND PROP TO CONSTRUCTION FACILITIES. AND SHALL BOTH THE COMMENCED FOR SHALL BOTH THE COMMENCED FOR SHALL BOTH THE SHALL BE THE SOLE EXPONSIBILITY OF THE CONTRACTOR MOTHER EPROPERSHILL BE AT CONTRACTOR SOLE EXPENSE WHETHER THE UTLITY IS SHOWN ON THESE PLANS OR NOT.

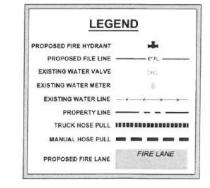
TREMONESCAVATION SAFETY PROTECTIONS

CONTRACTOR AND OR CONTRACTOR'S INCEPENDENTLY RETAINED EMPLOYEE OF STRUCTURAL DESIGNAGEOFECHWICH, OR PETUDIAMENT CONSULTANT, IF ANY, SHALL REVIEW THREE PLANS AND ANY AVAILABLE GEOTEONISM. IN CONSULTANT, IF ANY, SHALL REVIEW THREE PLANS AND ANY AVAILABLE GEOTEONISM. OR CONSULTANCE OF WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TREMONER'S FOR THE PROJECT DESCRIPEE ON THE CONTRACTOR'S TREMONER'S FOR THE PROJECT DESCRIPEE ON THE CONTRACTOR'S MAPLEMENTATION OF THESE SYSTEMS, PROGRAMS ANDOR PROCEDURES SHALL PROJUBE FOR ADOUGHENT THE CONTRACTOR'S MAPLEMENTATION OF THESE SYSTEMS, PROGRAMS ANDOR PROCEDURES SHALL PROJUBE FOR ADOUGHENT OF STATE CONTRACTOR'S CONTRACTOR'S SHORT WITH AS A MINIMUM OSHA STANDARDE FOR TREMONE CONTRACTOR'S INDEPENDENTLY PETAMELE EMPLOYEE OF SAFETY CONSULTANT SHALL IMPLEMENT A TREMON SAFETY PROTECTION THAT CONSULTANT SHALL IMPLEMENT A TREMON SAFETY PROFESSION. YE PROGRAMM IN AND AROUND TREMCH ENCAVATION.

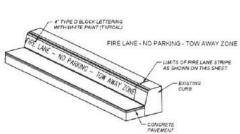








LOT 5, BLOCK 8 N.C.B. 18208 ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9538, PG. 60 D.P.R.)



### TYPICAL FIRE LANE MARKING DETAIL N.T.S.

2 ALONG NON-CURBED AREAS, PAINT RED LANE STRIPE ON PAVEMENT AND PAINT WHITE LETTERS.

3 40' FOOT SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING

1. ALONG CURBED AREAS: PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB. PAINT WHITE LETTERS ON FACE OF CURB. DINLY.

JOB NO. 721-01-01 DATE: NO VEMBER 2018 SHEET NUMBER

RESTAURANT ADDITION AT THE QUARRY
7300 JONES MALTSBERGER RD, SAN ANTONIO, TX 78209

FIRE PROTECTION PLAN

C4.0

| 45

-45

1 25

JONES MALTSBERGER ROAD (86' RIGHT-OF-WAY VOL 9523, PG 215)

EXISTING BUILDING

LOT 4, BLOCK 8 N.C.B. 18208 LOS COYOTES SUBDIVISION VOL. 9533, PG. 211

7200 JONES MALTSBERGER DP. SAN ANTONIO, TX 78205 BEING A TOTAL DF 1.2M ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18208 ALAMO CEMENT SUBDIVISION UNIT 30 (VICL 982 PG 60 DPR)

BENCHMARKS
BM #T - ELEVATION \* 758.29 "SET PK NAIL" IN CONCRETE
BM #T - ELEVATION \* 758.47 "SET PK NAIL IN CONCRETE SIDEWALK
BM \$ - ELEVATION \* 748.44 "SET PK NAIL" IN CONCRETE SIDEWALK

### COORDINATION NOTE:

1 CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE

2 CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210)-353-2256

3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.

4 CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210)-353-2256

5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.

6 CONTRACTOR SHALL CONTACT LEGACIG-TESS A MINIMUM OF 48 HOURS PRICE TO THE START OF CONSTRUCTION

### UTILITY GENERAL NOTES:

T ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL CONFORM TO ALL MAPLICABLE ETT OF SAM ANTONIO STANDAMD SPECIFICATIONS FOR PUBLIC MORKS CONSTRUCTION WELL AS DIFFER SAFETY COCKS AND INSPECTION PROVISIONS APPLICABLE TO THE PROJECT AND RECURREMENTS OF THE PIRE DEPARTMENT, SANTARY SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH THE 2015 FOR ADD APPLICABLE TO CER DEGLACIANCY.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.

ALL UTILITY CONNECTIONS TO BUILDING SHALL BE COORDINATED WITH MECHANICAL AND ELECTRIC PLANS FOR INFORMATION ON GAS. ELECTRIC, AND TELEPHONE UTILITIES, SEE THE MECHANICAL AND ELECTRIC PLANS.

4. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL TRAFFIC CONTROL DEVICES, LIGHTING, OR WARNING CONTROL DEVICES USED OR REQUIRED TO COMPLETE THE WORK, CONTRACTOR TO COORDINATE WITH CITY OF SAN ANTONO FOR ALL WORK WITHIN REPHT OF MAY.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGES DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT, CURBS OR DEVICENCY SING SEPRANTE PAY ITEM

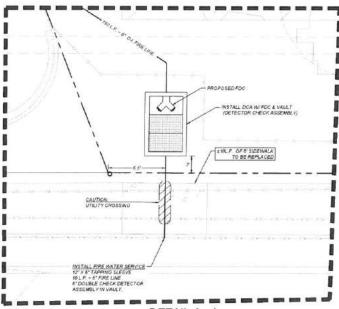
6. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT. PLACEMENT, OR LIMITS, OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.

7. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURE JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE ALLOWED OR ACCEPTED.

8. ALL EXCAVATIONS AND BACK FILLING OF UTILITY TRENCHES SHALL MEET GEOTECHNICAL REPORT RECOMMENDATIONS OF TYPICAL SAMS UTILITY TRENCH SPECIFICATIONS, ALL BACK FILL MUST BE IN COMPACTED LINCH LITER, AND NO WATER LETTING IS ALLOWED.

9. SANITARY SEWER PIPE IS SDR 26 (ASTM D224), D3139). WATER PIPE SHALL CONFORM TO ASTM D1745, ASTM D2341PVC) SCHEDULE 40, OR AMMS C151/A21.51, AMMS C115/A21.15(D1.). WATER MAINS SHALL CONFORM TO AMMS GROW, ASTM D2139.

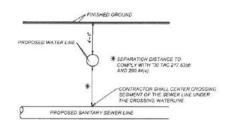
10. THE CONSTRUCTION OF ANY PRIMARY ELECTRIC AND GAS DISTRIBUTION SYSTEMS SHALL BE GOVERNED BY THE ENGINEERING CONSTRUCTION PLANS PREPARED BY CPS ENERGY. THIS DRAWN'S SHALL SERVE ONLY AS REFERENCE DOCUMENT TO COORDINATE LOCATION OF THE PROPOSED PRIMARY ELECTRIC AND GAS DISTRUCTION PETALS SHALL GOVERN.



CAUTIONS: THE CONTRACTOR SHALL BE REQUARED TO LOCATE ALL PUBLIC OR PRIVATE DITLINES INCLUDIONS BUT NOT LIMITED TO: WATER SEMBER TELEMENCE AND PIBLE OF CILIMES, SITE LIMITIOS LECETIFIC, SECONMENT LECETIFIC, PRIMARY ELECTRICAL DUCTEAMEN, LANDSCAPE MRIGATION FACILITIES AND GAS LIMES. ANY MUTLITY CONVEYTOT THAT ARRES EMOLUD BE COMMINIORATED TO THE ENGINEER IMMEDIATELY AND PROOF TO CONSTRUCTION THE CONTRACTOR SHALL CONTRACT REMOCIPIES AND MINIMARY OF AN HOURS PROPE TO THE STATE OF CONSTRUCTION, DAY DAMAGE TO EXISTING UTILITIES SHALL BE THE SIDE RESPONSIBILITY OF THE CONTRACTOR AND THE BERMA SHALL BE AT CONTRACTOR SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR MOT.

### TRENCH EXCAVATION SAFETY PROTECTION

ITRACTOR AND/ OR CONTRACTOR'S INDEPEN CONTRACTOR AND OR CONTRACTOR'S INDEPENDENT, VETANED EMPLOYEE OR STRUCTURAL DESIGNAGE OF CENHACILARER VEG CUPMENT, CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY ANALABLE GEOTECHMICAL SHE WIS PROGRAMON AND THE ANTIPOTED INSTALLAND SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TREMICH EXCLARITION SHEET WHITE CONSULTANT SHOOTMAS MANDOR PROCEDURES FOR THE PROJECT ESSCHOOLD THE CONTRACT DOCUMENTS. THE CONTRACTOR'S MAPLEMENT ON OF THESE STREAM, PROGRAMS ANDOR PROCEDURES SHALL COMPACTOR OF THE PROJECT ESSCHOOLD STREAM, PROGRAMS ANDOR PROCEDURES SHALL COMPACTOR OF THE PROJECT SHOOTMAS AND OR PROCEDURES SHALL COMPACTOR OF THE PROJECT SHALL COMPACTOR SHOOTMAS AND OR THE PROJECT SHALL COMPACTOR SHOOTMAS AND OR THE PROJECT SHALL COMPACTOR'S INDEPENDENTLY PRETAINED EMPLOYEE OR SHEFT CONSULTANT SHALL IMPLEMENT A TRENCH SHEET.

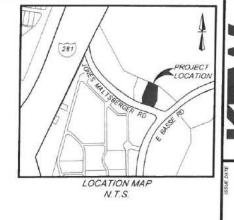


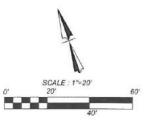
TYPICAL SANITARY SEWERWATER CROSSING DETAIL N.T.S.

LOT 4 BLOCK 8 N.C.B. 18208 DYOTES SUBDIVISION

VOL. 9533, PG. 211

LOSCOY





CONTRACTOR TO COORDINATE WITH CPS TO CONFIRM ROUTING METHOD OF SERVING BUILDING WITH ELECTRICAL SERVICE

LOT 5. BLOCK B N.C.B. 18208 ALAMO CEMENT SUBDIVISION UNIT 3J

(VOL. 9538, PG. 60 D.P.R.) **LEGEND** EXISTING FIRE HYDRANT EXISTING WATER VALVE / METER EXISTING SANITARY SEWER LINE OVERHEAD ELECTRIC LINE / UTILITY POLE EXISTING WATER LINE EXISTING GAS LINE PROPOSED UNDERGROUND COMM. --- ver --- ver --- ver --- ver ---

AT THE QUARRY SAN ANTONIO, TX PLAN UTILITY RESTAURANT ADDITION JONES MALTSBERGER RD, OVERALL 7300

78209

DATE: NOVEMBER 2018 NAME KW CHECKED B SHEET NUMBER

DETAIL A

JONES MALTSBERGER ROAD

DETAIL A

D-0-0

EXISTING BUILDING

ADDITION

C5.0

7200 JONES MALTSBERGER DR. SAN ANTONIO. TX 78209 BEING A TOTAL OF 1,239 ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18206 ALAMO CEMENT SUBCIVISION UNIT 3D (VOL. 9526 PG 60 DPR)

BENCHMARKS
BM 81 - ELEVATION = 758.29 "SET PK MAIL" IN CONCRETE
BM 80 - ELEVATION = 758.29 "SET PK MAIL" IN CONCRETE SIDEWALK
BM 50 - ELEVATION = 768.69 "SET PK MAIL" IN CONCRETE SIDEWALK

### COORDINATION NOTE:

1 CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE, (210)-244-0500,

J. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.

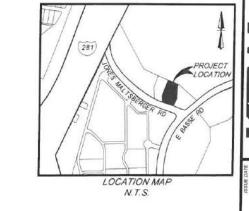
4 CONTRACTOR TO COORDINATE WITH CPS (CITY PLBLIC SERVICE) TO PLAN GAS SERVICES. (210)-353-2256

5 CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SAMTARY SEWER AND WATER SERVICES. (210)-704-7297.

6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

- THE CONTRACTOR SHALL SAWGUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES NO JAGGED OR PRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
- ALL DIMENSIONS ARE TO FACE OF CURB OR STRIPING.
- 4 CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.

CONTRACTOR AND OR CONTRACTORS INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURED, OR SIGNATURED STATEMENT OF MOST AND THE CONTRACTORS OF THE CONTRACTOR STEEM WITHIN THE PROJECT WHICH ADD AND THE ANTIDIPATED INSTALLATION SITES WITHIN THE PROJECT WHICH ADD AND THE CONTRACTOR STEEM HE CONTRACTOR OF THE CONTRACTOR OF THE CONTRACTOR OF THE PROJECT DESCRIBED IN THE CONTRACTOR OF THE PROJECT DESCRIBED IN THE CONTRACTOR OF THE PROJECT DESCRIBED AND THE CONTRACTOR OF THE SOUTH OF THE CONTRACTOR OF THE CONTR







RESTAURANT ADDITION AT THE QUARRY JONES MALTSBERGER RD, SAN ANTONIO, TX GRADING PLAN 7300

78209

DATE: NOVEMBER 2018 DRAWN KW CHECKED BO SHEET NUMBER

C6.0

JONES MALTSBERGER ROAD (85' RIGHT-OF-WAY VOL. 8625, PG. 215)

PS ±745 01 PS ±744 2

PS 751.35

PS ±749.60 PS ±749 63 -

- PS 749.81

PS ±750.14 -

PS ±750.18

FG ±75f 12 . EX ±750 62

TC ±750 79 EX ±750 29

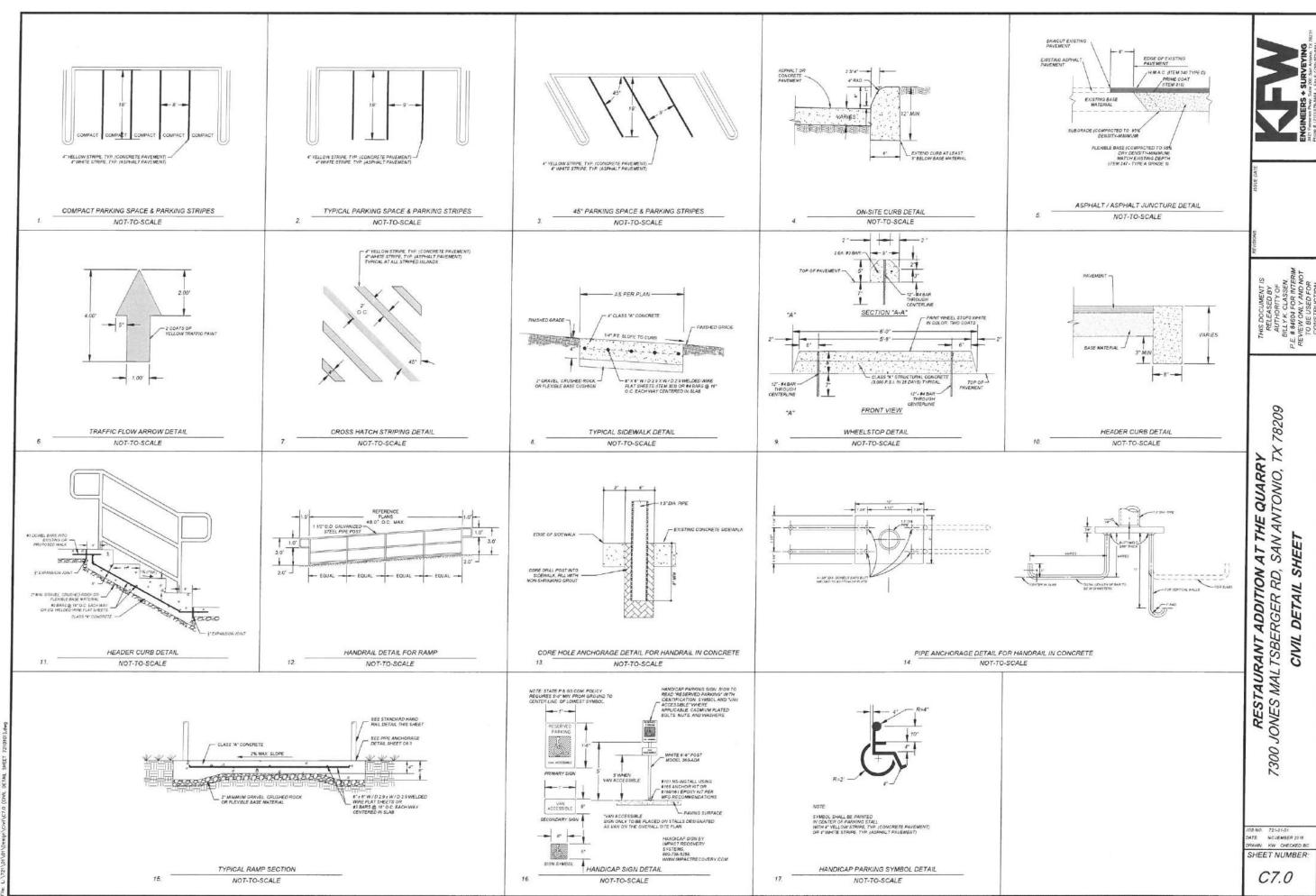
PS 1750 00

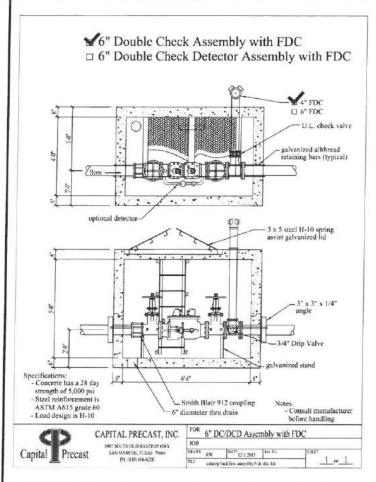
PS ±750.00

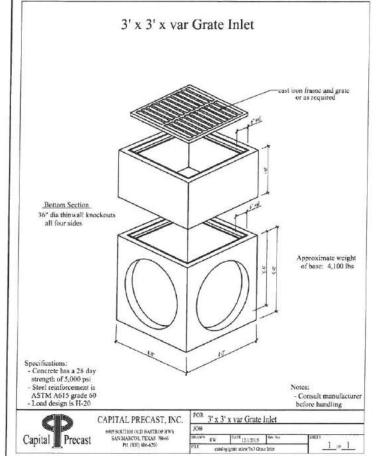
MATCHEXISTING

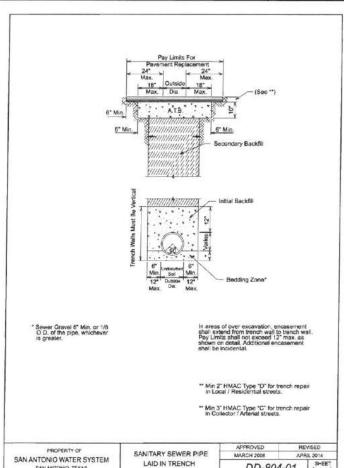
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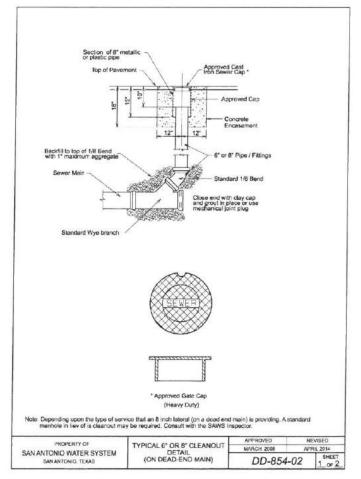
S BNS











### SAWS GENERAL NOTES

- A. Cument Texas Commission on Enrinormental Quality (TCEQ): 'Design Criteria for Domestic Wasterdater System', Texas Administrative Cool (TAC) Title 10 Feet 1 Chapter 171 and Finisio Christicy Valent', TAC Title 30 Part 1 Chapter 290 B. Cument 2001: 'Standard Generalization for Continuous on Prightings', Sheeks and Careful Cool B. Cument City of See Administrative Continuous Continu

- 4 The Contractor is to make arrangements with the SAWS Construction Inspection Division at (2.10) 233-2973, on notification procedures that will be used to notify affected home residents and/or property owners 48 hours prior to beginning any work.
- 5. Location and depth of existing utilities and service laterals shown on the plans are understood to be approximate. Actual location deaths must be field verified by the Cortaction at least 1 week prior to construction. It shall be the Cortaction's responsibility to locate hittly service lines as respective for construction and to provide them along construction on end out 5 STM2.

- 8 At work in Texas Department of Transportation (TxDOT) and/or Beser County right-of-resy shall be done in accordance with respective construction specifications and permit requirements.

- 12. Compaction note (Item 804). The contractor shall be responsible for meeting the compaction requirements on all tranch backful and for paying for the texts performed by a third party. Compaction less will be done at one beating point motionly elected, or a minicial-risk by the SAMS improve caskfor he feet administration, per each Cyrich boose lift per 40 feature field at minimum. This project will not be accepted and finalized by SAMS without this requirement dering mail and verified by providing all necessary documental feet trautin.

78209

RESTAURANT ADDITION AT THE QUARRY JONES MALTSBERGER RD, SAN ANTONIO, TX SHEET UTILITY DETAIL

JOB NO. 721-01-01 DATE: NOVEMBER 2018 SHEET NUMBER:

C7.1

LEGAL DESCRIPTION 7200 JONES MALTSBERGER DR. SAN ANTO 7200 JONES MALTSBERGER DR. SAN ANTONIO, TX 78209 BEING A TOTAL OF 1,239 ACRES ESTABLISHING LOT 1, BLOCK 8, NCB 18708 ALAMO CEMENT SUBDIVISION UNIT 30 (VOL. 9526 PG 60 DPR)

BENCHMARKS
BM 61 - ELEVATION = 735-79 "SET PK NAIL" IN CONCRETE
BM 61 - ELEVATION = 735-79 "SET PK NAIL" IN CONCRETE SIDEWALK
BM 61 - ELEVATION = 746 47 "SET PK NAIL" IN CONCRETE SIDEWALK
BM 61 - ELEVATION = 746 44 "SET PK NAIL" IN CONCRETE SIDEWALK

### COORDINATION NOTE:

- CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE
- 2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSFECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES (210)-353-2258.
- 3 CONTACT AT&T TO COORDINATE TELEPHONE SERVICE 1-800-449-7926
- 4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN. GAS SERVICES. (210)-253-2256.
- 5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.
- 6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

CAUTIONI: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UNTURE INCLUDING BUT NOT LIMITED TO WATER SEMER TELEPHONE AND PREP OFFIC LIMES SITE LIGHTHAGE LECTORIC BECOMDAY LIECTRIC. PRIVARY ELECTRICAL DUCTBAMES LANDSCAPE REVIGATION FACULTIES, AND GAS LIMES AN UNLITY CONTLICTS THAT THESE SHOULD BE COMMISTICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTRACTOR ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE CONTRACTOR ANY DAMAGE TO EXISTING UTILITIES SHALL BE AT CONTRACTOR SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE FLANS OR NOT.

### TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGNAGED TECHNICALIZARET MEQUIPMENT CONSULTAN. INFORMATION AND THE ANTIDIENT ENTSTALL THIS WITHIN THE PROJECT WORK ADMONITHMENT OF THE METALL THE PROJECT STRUCT WORK ADMENT OF THE METALL THE METALL THE PROJECT SAFETY PROTECTION SYSTEMS, PROGRAMS ANDONE PROJECTIONS OF THE METALL THE SAFETY PROTECTION SYSTEMS, PROGRAMS ANDONE PROJECTIONS OF THE THE METALL THE SAFETY OF THE SAFE SAFETY PROTECTION SYSTEMS, RPOGRAMS AND/OR PROJECTURES FOR THE PROJECT LOSS ORBIGINATES OF CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACT THE TRENCH EXCAUTION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM DOME STANDARDED FOR TRENCH EXCAUTIONS SPECIFICALLY, CONTRACTOR AND/OR CONTRACTORS INDEPENDENTLY RETAIN FROM THE CONTRACT OR SAFETY OF THE CONTRACT SHALL MEMORY AT REVIEW OR ASSETT OF THE CONTRACT SHALL MEMORY AT REVIEW OR ASSETT OF THE CONTRACT SHALL MEMORY AT REVIEW OR ASSETT OF THE CONTRACT SHALL MEMORY AT REVIEW OR ASSETT OF THE CONTRACT SHALL MEMORY AT REVIEW OR ASSETT OF THE CONTRACT SHALL MEMORY AND ASSETT OF THE CONTRACT SHALL MEMORY ASSETT OF THE CONTRACT OF THE CONTRACT SHALL MEMORY ASSETT OF THE CONTRACT OF

# SW3P MODIFICATIONS

DATE	SIGNATURE	DESCRIPTION

### INSTALLATION:

- I ALL OPERATORS SHALL SLBMIT A NOTICE OF INTENT (NOI) AT LEAST 48 HOURS IN ADVANCE AND ALL BEST MANAGEMENT PRACTICES (BMPS) SHALL BE IN PLACE PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
- 2. CONTRACTOR TO ENSURE THAT STRUCTURAL BMP'S ARE INSTALLED WITHIN THE LIMITS OF THE SITE BOUNDARY.
- 3 CONTRACTOR MAY INSTALL THE BEST MANAGEMENT PRACTICES IN PHASES THAT COMMONE WITH THE UNSTURBANCE OF UPGRADIENT AREAS. THAS PHASING SHOULD BE NOTED WITH THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
- 4 CONTRACTOR TO VERIFY SUFFICIENT VEGETATION IVI AREAS DENOTED AS VEGETATED INTER STIMP. IN INSUFFICIENT VEGETATION EXISTS, CONTRACTOR SHALL IMPLEMENT A DIFFERENT SESSET AMANGEMENT FRACTICE AND MULL SHOW IT ON THE FALM WITH NOTATION IN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.

### MAINTENANCE AND INSPECTION.

- 1. CONTRACTOR SHOULD LIMIT CONSTRUCTION ACTIVITIES TO ONLY THOSE AREAS SHOWN TO BE DISTURBED ON THIS FILM. HE ADDITIONAL VEGETATED AREAS ARE DISTURBED. HE'V SHOULD BE PROTECTED WITH APPROPRIATE BEST MANGEMENT PRACTICES WITH THE AREAS HAVE BEEN STABILIZED AS PER THE SPECIFICATIONS OF THE SWEPP. THE AREAS OF THE ADDITIONAL SOE, DISTURBANCE AND THE MESSURES USED SHOULD BE SHOWN ON THE SITE PLAN AND NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PERSONS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF BMPS AS PER THE SPECIFICATIONS OF THE SWPPP. THE CONTRACTOR MAY MODIFY THE CONTROL AND RECESSARY TO PREVENT SEMEMENT RUNDEY. THESE MODIFICATIONS SHOULD BE SHOWN ON THE SITE PLAN AND INSTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DRIFED FRESPONSIBLE PROPERTY.
- J.LOCATION OF CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND ECUPMENT AND STORAGE ARE TO BE FIELD DETERMINED. LOCATIONS SHALL BE UPDATED ON THIS PLAN.

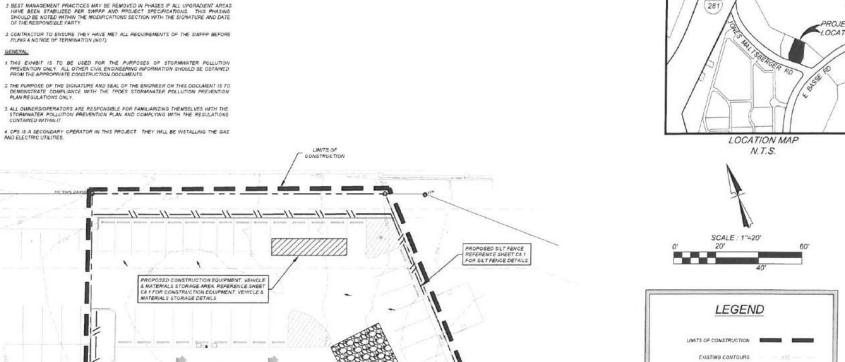
### PROJECT COMPLETION:

- ALL DISTURBED AREAS NOT COVERED BY IMPERVIOUS COVER ARE TO BE STABILIZED PER
  THE SWIPP AND PROJECT SPECIFICATIONS PRIOR TO REMOVAL OF ANY BMP'S ANDOR
  PRIOR TO PLUIS A NOTICE OF TERMINATION (NOT).
- Z BEST MANAGEMENT PRACTICES MAY BE REMOVED IN PHASES IF ALL UPGRADIENT AREAS NAME BEEN STABILIZED PER SWEPP AND PROJECT SPECIFICATIONS. THIS PHASING SHOULD BE NOTED WITHIN THE MODIFICATIONS SECTION WITH THE SIGNATURE AND DATE OF THE RESPONSIBLE PARTY.
- 2 CONTRACTOR TO ENSURE THEY HAVE MET ALL REQUIREMENTS OF THE SWIPPP BEFORE PLING A NOTICE OF TERMINATION (NOT).

### GENERAL

LOT 4, BLOCK 8 N.C.B. 18208 LOS COYOTES SUBDIVISION VOL 9533, PG, 211

- ALL OWNERS/OPERATORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE STORMWATER POLLUTION PREVENTION PLAN AND COMPLYING WITH THE REGULATIONS



LOT 5, BLOCK 8 N.C.B. 18208 ALAMO CEMENT SUBDIVISION UNIT 3J (VOL. 9538, PG. 60 D.P.R.)

LIMITS OF

PROPOSEC STABILIZED CONSTRUCTION ENTRANCE / EXIT REFERENCE SHEET CN 1 FOR STABILIZED CONSTRUCTION ENTRANCE DETAILS.

78209

P.E.

CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA

RESTAURANT ADDITION AT THE QUARRY JONES MALTSBERGER RD, SAN ANTONIO, TX PREVENTION PL STORMWATER POLLUTION 7300

DB NO. 721-01-0 DATE: NOVEMBER 2018 DRAWN: NW CHECKED BO SHEET NUMBER

C8.0

PROPOSED ADDITION

EXISTING BUILDING

JONES MALTSBERGER ROAD (85° R/GHT-OF-WAY VOL. 9525, PG 215)

SILT FENCE

SECTION ALA

Materials (1) Silf fence mellarial should be polypropylene, polyethylane or polyamide waven or numerower fabile: The fabric width should be 35 inches, with a minimum unit weight of 4.5 colyd, mallan found staength exceeding 190 Mary, althougher stability exceeding 70%, and minimum apparent opening size of US. Sieve No.

(2) Fence posts should be made of hot rolled steel, at least 4 feet long with Tee or Ybar cross section, surface painted or getvanised, minimum nominal weight 1,25 fb.ff.2, and Bindels hardness exceeding 140. (3) Wover wire becking to support the febric should be galvanized 2' x 4' walded wire, 12 sauge minimum.

Installation:

(1) Steel past, which support the six tence, should be installed on a sight angle toward
the anticipated runoff source. Post must be embedded a minimum of 1- foot deep and
spaced not more than 8 feet on center. Where water concentrates, the maximum specing
should be 6 feet.

ay out fenoing down-slope of disturbed erea, following the contour as closely as sible. The fence should be sited so that the maximum drainage area is ½ acresi 00 feet

possible. The fence should be sited as that the meximum drawage erea is Nacroli OV feet of fence.

(3) The load of the still fence should be trenched in with a spadle or mechanical trencher, so that the down-slope face of the tench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g., pavement or rook outropy, weight fabric flap with 3 inches of sea given on outpill side to prevent flow from seeping under fence.

(4) The trench must be a minimum of 8 inches deep and 6 inches wide to allow for the side fence fabric to be laid in the ground and backfilled with compacted material.

(5) Sill fence should be securely flashed to each steel support post or fo reven wire, which is in turn attached to the shell fence post. There should be a 3-feot overlap, society flashed to what the final material is completely stabilized so as not to block or impede stane flow or drawinge.

PLAN VIEW

SECTION A-A

CURB INLET PROTECTION GRAVEL FILTER BAGS

GENERAL NOTES

Inspection and Maintenance Guidelines:

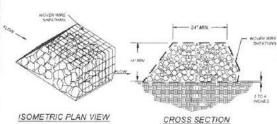
(3) Inspect all fancing weekly, and after any rainfall.

(3) Remove sedement which buddepreaches 6 inches.

(3) Replace any form febro or install a second line of fencing parallel to the lorn section.

(4) Replace on repair any sections considered or collapsed in the course of construction section; If a section of fence is obstituting vehicular access, consider relocating at a spot where it will provide equal profession, but with not disturct vehicles. At thingular black other may be preferable to a still fence at common vehicle access points.

(3) White construction is complete, the sectioned held budgesed of in a manner that will not couse additional affation and the prior location of the six fance should be revegededs. The fermi releaf should be disposed of in an approved hardly.



Materials:
(1) The born structure should be secured with a woven wire sheathing having maximum opening of 1 inch and e-minimum wire identifier of 20 gauge getventized and should be secured with sheat rings (2) Clean, open graded 3-to 5-inch dameter not should be used accept in area where high velocities or large volumes of flow are expected, where 5-to burch diameter rocks may be used.

Installation:

(f) Lay out the woven wire shealthing perpendicular to the flow line. The shealthing should be 20 gauge review wire meab with 1 inch openings.

(2) Berm should have a lop width of 2 feet minimum with side slopes being 2.1 (H.V) or flatter.

(3) Place the rock along the shealthing as shown in the diagram Figure 1-20, to a height not less than

18".

(4) When the were sheathing eround the rock and secure with the wire so that the ends of the sheathing overlap at least 2 mohes, and the berm retains its shape when veliked upon.

(5) Berm should be built along the contour at zero percent grade or a near as possible.

(6) The ends of the berm should be test aim existing upstage grade and the berm should be builted in a franch approximately 3 To 4 indicate deep to prevent feature of the control stage.

Inspection and Maintenance Guidelines:
(I) Inspection should be made weekly and after each reinfall by the responsible party. For installations in streambeds, additional daily inspections should be made.
(2) Remove sediment and other debris when buildup reaches 6 inches and dispose of the accumulated saft or an approved memor that with and cause any additional sitiation.

The pair of the process of the pair of the

ROCK BERM

CROSS-SECTION A-A

THE ROCK SHOULD BE ENCLOSED IN THIS WOVEN WIRE SHEATHING HAVING MAXIMUM HIS DAMETER OF ZO GAIDE MUS MAD INSTITUTE OF ZO GAIDE MUS MAD PED IN GEOTERIUS WITH JOST SHEATER STREAM HIS FILE RELIBRO

INSPECTION SHOULD BE MADE PREQUENTLY ON SEVERE SERVICE ROCK BERMS. SET DHOULD BE REMOVED WHEN ACCUMULATION REACHES & WICHES OR MORE

WHEN THE SITE IS COMPLETELY STABILIZED, THE BERN AND ACCUMULATED SILT CHOULD BE REMOVED WITH DISPOSED DE IN AN APPROVED MANUER.

GRATE INLET PROTECTION

GENERAL NOTES

ISOMETRIC PLAN VIEW CROSS SECTION

Molenais:
(f) Silf feed material should be polypropylene, polyethylene or polyamide woven or normoven fabric. The fabric width should be 36 inches, with a maintain unit weight of 4.5 ozlyd, mullen burst strength exceeding 190 blin2, sitravoides steadity exceeding 190s, and minimum appearent opening size of U.S. Sees Mo. 30.
(g) Fence posts abould be made of his friete state at least if feet long with Fee or Year dross section, surface, painted or galvanized, minimum normal weight 1.25 lb/l2, and bindes hardness exceeding 140. Rebar (either #5 or #5) may also be used to enable the berim.
(g) Woven were backing to support the fabric should be galvanized 2" 4" welded wire, 12 gauge minimum.
(g) Woven were backing to support the fabric should be galvanized 2" 4" welded wire, 12 gauge minimum.
(g) Woven were backing to support the fabric should be galvanized 2" 4" welded wire, 12 gauge minimum opening of 1" nich and a minimum wire diameter 6" 00 gauge galvanized and should be secured with a should rouge.

(g) Clean, open graded 3 to 5 inch diameter rocks may be used.

<u>installation:</u> (I) Lay out the woven wire sheathing perpendicular to the flow line. The sheathing should be 20 gauge woven wire mash with Linch popularies. i) Install the silt fence along the center of the proposed berm placement, as with a normal silt fence described in:

Section 2.4.3" (ii) Place the rock stong the cheathing on both sides of the silf fence as shown in the diagram (figure 1-29), to a height not fess then 24 inches. Clean, open graded 3-5" diameter rock should be used, except, in areas where high velocifies or large volumes of flow are expected, where 5-to 8 inch diameter rock may be used.

(ii) Whay the wire sheathing around the cock and secure with the wire so that the ends of the sheathing overlap at least 2 inches, and the aem relation its behave time waited upon.

ndicipables. Plakes time to dimensions and grade shown on plans. Leave surface smooth and slope for drainage. I) Diwert all surface runnif and davinage from the store pad to a sediment frep or besin. I) Instalf pre-under pad as needed to maintain proper public road diavrinage. (5) The high service rock berm should be removed when the site is revegefated or otherwise stabilized or it may remain in place as a permanent BMP if drainage is adequate. respection and Maintenance Guidelines.

1) The entrance should be maintened in a condition, which will prevent tracking or flowing of sediment onto bubble right-of-level. The may require periodic top diesaing with additional stone as conditions demand and epair and archerologic and any measures used to trap sediment.

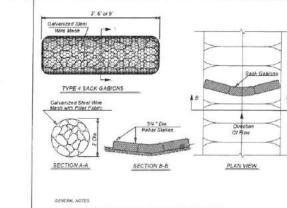
2) All sediment spilled, dispected whether of tracked onto public rights-of-way should be removed immediately.

& VEHICLE

raspection and Maintenance Guidelines: 1) Inspection should be made weekly and after each rainfall by the responsible party. For installations in treambeds, additional diely inspections should be made on rock bern. 2) Remove sediment and other debris whan buildup reaches 6 inches and dispose of the accumulated sit of in an

HIGH SERVICE ROCK BERM

approved manner.
(3) Repair any loose wire sheathing.
(4) The berm should be reshaped as needed during inspection.
(5) The berm should be reshaped as needed during inspection.
(5) The berm should be replaced when the structure ceases to function as intended due to six accumulation amon the rooks, washout, construction traffic damage, etc.
(6) The rook berm should be left in place until at upstream areas are stabilized and accumulated six removed.



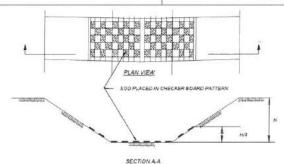
THE TOP OF THE SACK CABIONS SHOULD BE LEVEL AND ORIENTED PERPENDICULAR TO THE DIRECTION OF FLOW

PLITER PABRIC MATERIAL SHALL BE PASTENED TO WOVEN WIRE SUPPORT

STONE SIZE HISP OREN GRADED CAUSHED LINESTONE WISHELT WEEKLY OR WITER END RAMPALLEVENT AND REPAR OR REPLACE AS

SILT FENCE

TYPE 4 SACK GABIONS



CHANNEL TO BE STABILIZED WITH SOD PLACED IN A CHECKER BOARD PATTERN TON THE CHANNEL BOTTOM AND ON THE SIDES UP TO 1/3 THE DEPTH OF CHANNEL

CHANNEL LINING

ay continence;
(3) When necessary, wheels should be cleaned to remove sediment prior to entrance onto public right-cliway.
(4) When washing is required if should be done on an area stabilized with crushed stone that drams into an approved as defined trap or sediment beain.
(5) All sediment should be prevented from entering any storm drain, ditch or water course by using approved. STABILIZED CONSTRUCTION ENTRANCE / EXIT

ference to the terminal

(1) The aggregate should consist of 4 to 8 inch washed

(1) The aggregate should correct as specified in the plan.

(2) The aggregate should be placed with a minimum thickness of 8 inches.

(3) The generative laboric should be designed specifically for use as a soil filtration media with an approximate.

rur use as a soli hitration media with an approximate weight of 6 objyd2, a mullen burst rating of 140 lb/n2, and an equivalent opening size greater than a number 50 siere.

50 siere.
(4) if a washing fecility is required, a level area with a minimum of 4 inch diameter washed stone or commercial rack should be included in the plans. Divertinatewater to a sediment trap or basin.

CROSS-SECTION OF A CONSTRUCTION ENTRANCE/EXIT

statistics (North Carolina, 1993). A mid-rimas on public roads and steep slopes. Remove vegetation and other objectionable material from

e foundation area. Grade crown foundation for positive drawage.

The minimum width of the entrance/exit should be 12 feet or the full width of exit roadway, whichever is

yeater.
3) The construction entrance should be at least 50 feel long.
4) if the slope toward the road exceeds 2%, construct a ridge, 5 to 8 inches high with 3.1 (H V) side slopes, tecess the foundednot approximately 15 feel from the entrance to devert rundf every from the public road.
5) Place geotesials fabric and grade foundation to improve stability, expecially where wat conditions are

TEMPORARY CONSTRUCTION ENTRANCE/EXIT

FIELD OFFICE LEGEND

TYPICAL CONSTRUCTION STAGING AREA

TYPE "BELOW GRADE"

DATE ABOVE

 DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS, PIT DAW SE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE WASHOUT PIT SHALL BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC

CONCRETE TRUCK WASHOUT PIT

SECTION A-A

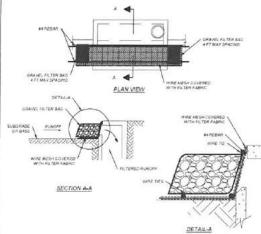
GENERAL NOTES

PLAN WEW

GENERAL NOTES

THE PLITER BAG SHALL BE FILLED WITH CLEAN MEDIUM TO COURSE GRAVEL ID STITO 6 75 INCH DAMPETER:

GRAVEL FILTER BAG DETAIL



CURB INLET PROTECTION (ALRTERNATE)

CROSS-SECTION A-A GENERAL NOTES:

ALL MATERIALS AND ERECTION PROCEDURES WILL BE THE SAME AS DESCRIBED IN THE STANDARD SLIT FENCE REGUIREMENTS.

GRATE INLET PROTECTION (ALRTERNATE)

DATE: NOVEMBER 2018 SHEET NUMBER

78209 S

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SAN ANTONIO, T

RESTAURANT ADDITION JONES MALTSBERGER RD,

DETAIL

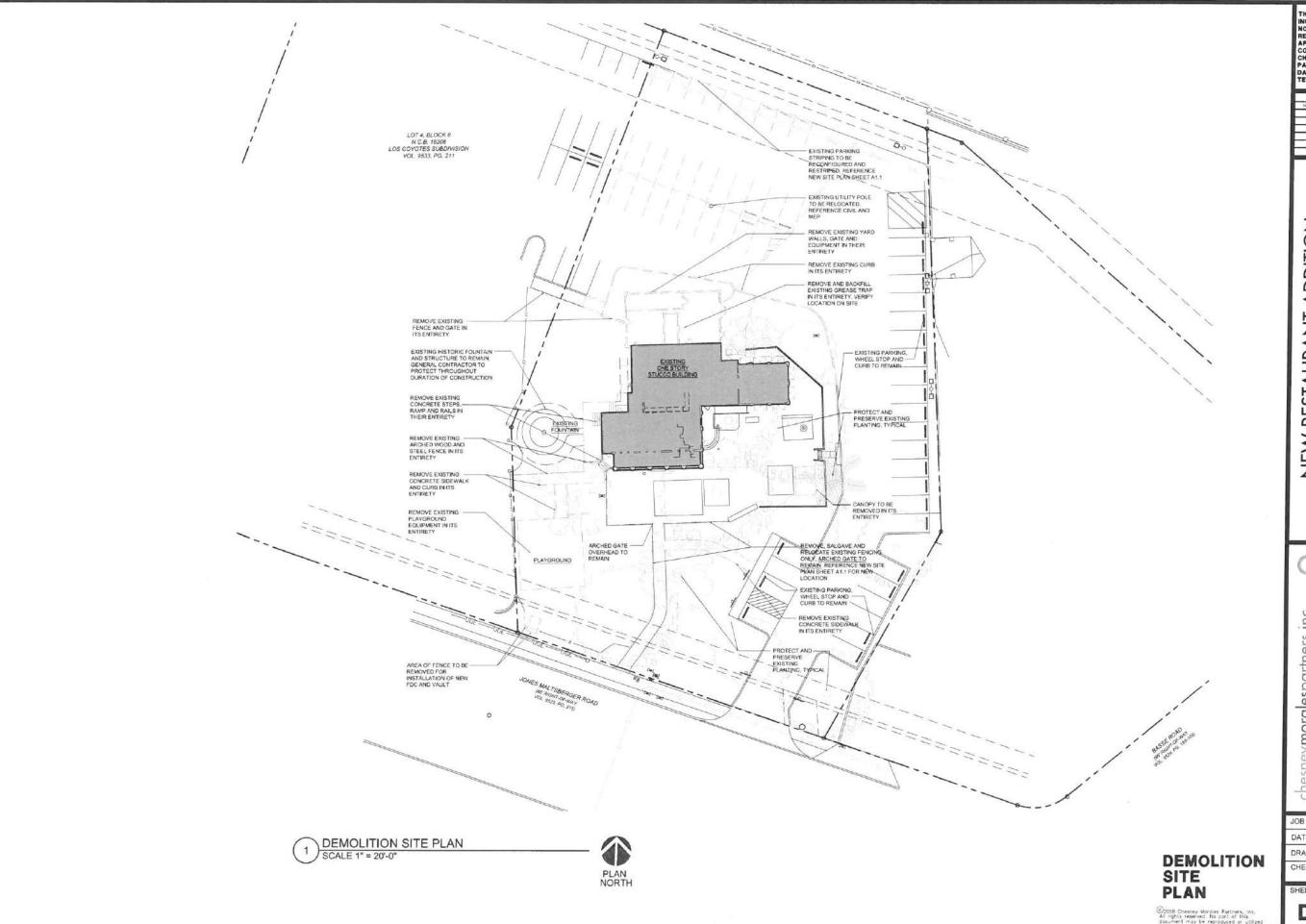
PLAN

POLLUTION PREVENTION

STORMWATER

C8.1

7300



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CHESNEY MORALES
PARTNERS, INC.
DANIEL LONG
TEXAS REG. 24853

NEW RESTAURANT ADDITION
RENOVATION FOR IDA CLAIRE
RANDONES MALTSBERGER
SAN ANTONIO, TX 78209

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chesney moralespartners, inc.

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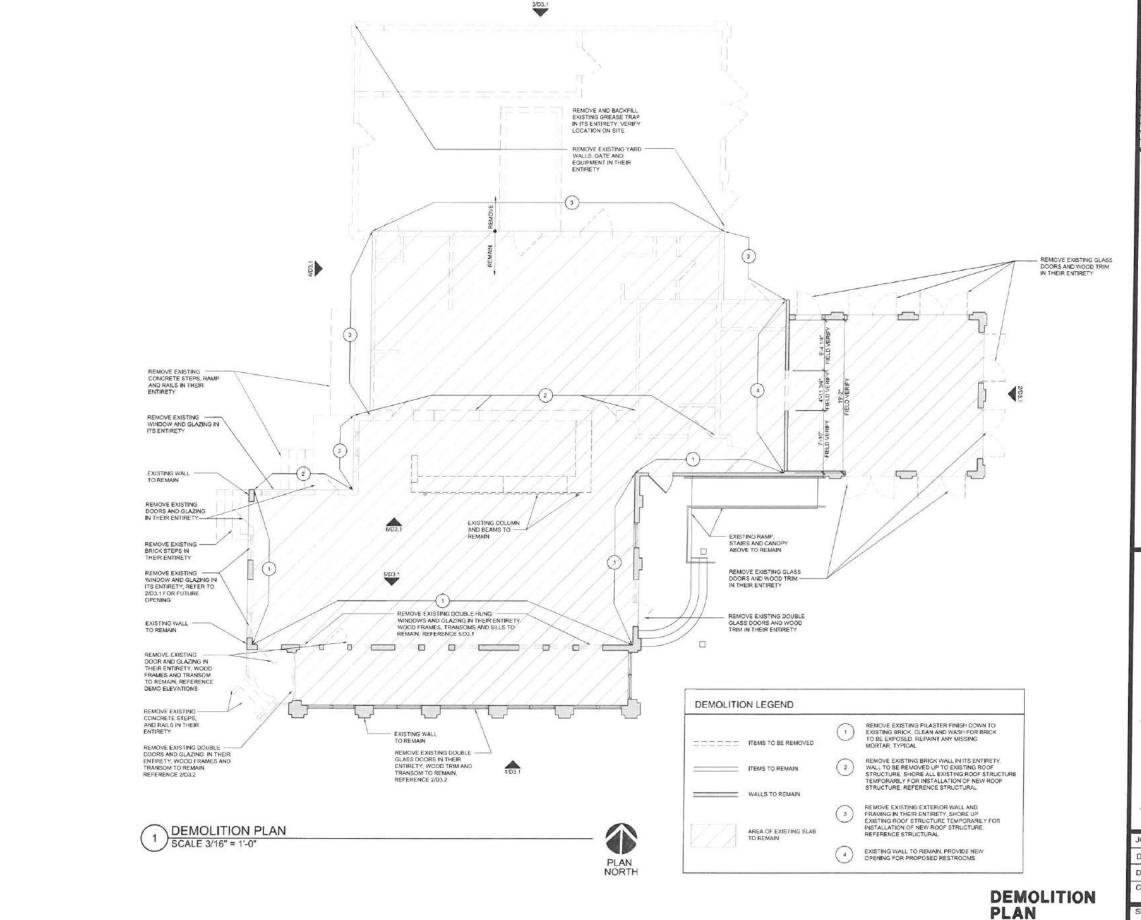
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PARTNERS, INC.
DANIEL LONG
TEXAS REG. 24853

ADDITION R IDA CLAIRE NEW RESTAURANT ADDIT & RENOVATION FOR IDA C 7300 JONES MALISBERGER SAN ANTONIO, TX 78209

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NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, IX 78209

JOB NO: #1829

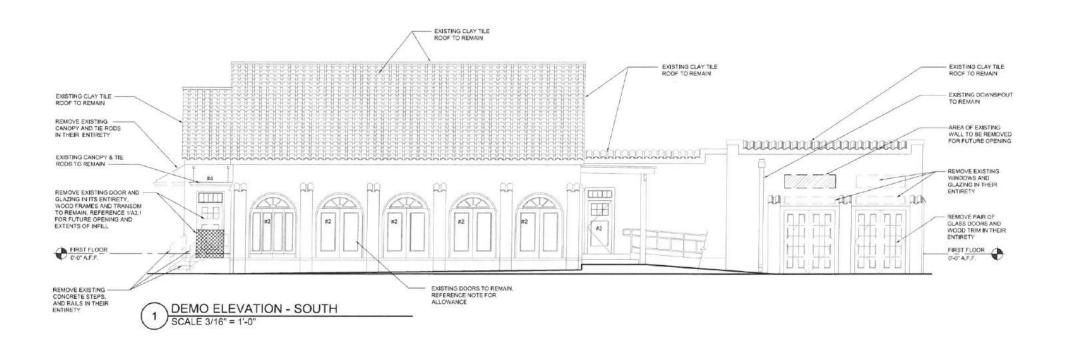
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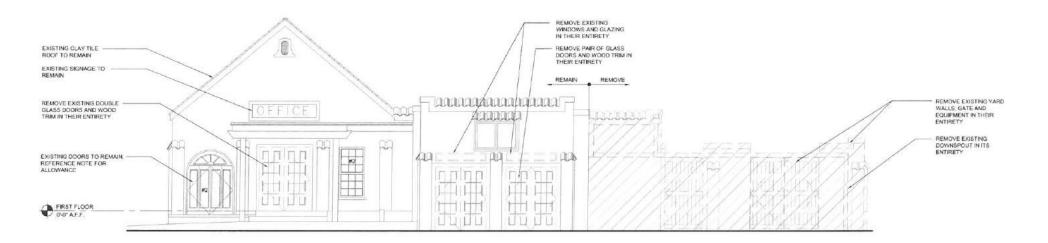
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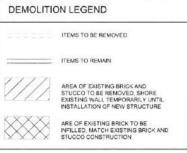
D2.2

**DEMOLITION ROOF PLAN** 





**DEMO ELEVATION - EAST** SCALE 3/16" = 1'-0"



# ALLOWANCE LEGEND:

ALLOWANCE #2:
PROVIDE \$500
ALLOWANCE FOR EACH
ALLOWANCE FOR EACH
EXISTING DOOR 6.
WINDOWS THROUGHOUT
THE PROJECT FOR REPAIR
OF WATER
OF WATER DAMAGE 8 OR
ROT

ROT

ALLOWANCE #6:
PROJECT FOR REPAIR
EXISTING CAROPY,
OF WATER DAMAGE 8. OR ROT TO
REPAINT. ALLOWANCE #3: PROVIDE 51500 ALLOWANCE FOR PROVIDING OPERABLE PAINTED WOOD DOORS, MATCH EXISTING

GENERAL NOTES:

. ALL DIMENSIONS TO BE FIELD VERIFIED 2. GENERAL CONTRACTOR IS TO VERIFY THAT ALL DRAWINGS IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITING ARCHITECTURAL. STRUCTURAL, MEP, CIVIL 8. LANDSCAPING TO EACH SUBCONTRACTOR TO AVOID CONFLICTS THAT MAY POTENTIALLY OCCUR BETWEEN DISCIPLINES.

> **DEMO ELEVATIONS**

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# CLAIRE NEW RESTAURANT ADDITION RENOVATION FOR IDA CLAIR RANDONES MALTSBERGER SAN ANTONIO, TX 78209

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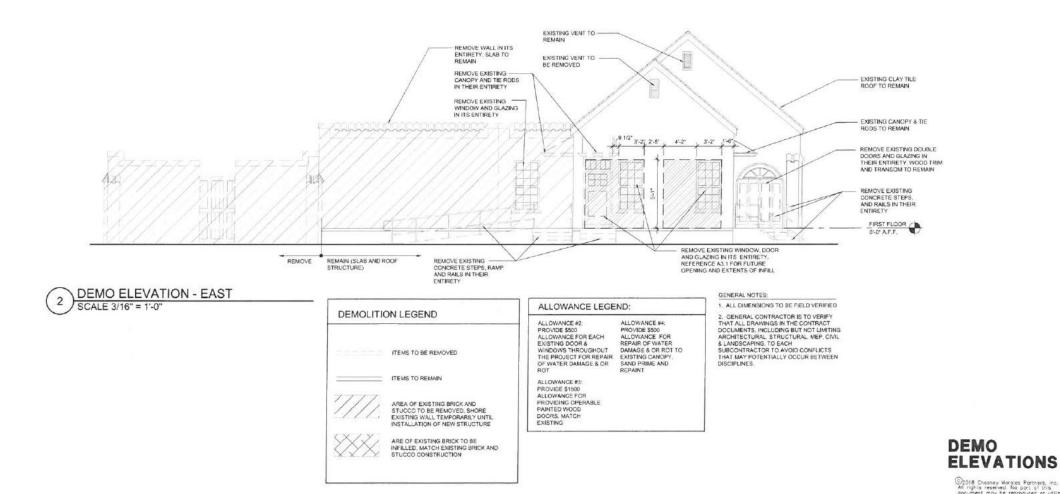
hesneymoralespartners, inc.
architecture/interior design
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JOB NO: #1829 DATE: 10/29/18

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DANIEL LONG
TEXAS REG. 24853

R IDA CLAIRE NEW RESTAURANT A & RENOVATION FOR I 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209 FOR I

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state and sealers, sale 200 parameter, teas 1700
200 Especial and 1700 parameters and parameter paramete

JOB NO: #1829

DATE: 10/29/18

DRAWN BY: JP CHECKED BY: JZ

SHEET

D3.2



1 INTERIOR ELEVATION SCALE 3/16" = 1'-0"

2 INTERIOR ELEVATION SCALE 3/16" = 1'-0"

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DANIEL LONG
TEXAS REG. 24853

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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Chesneymoralespartners,inc.

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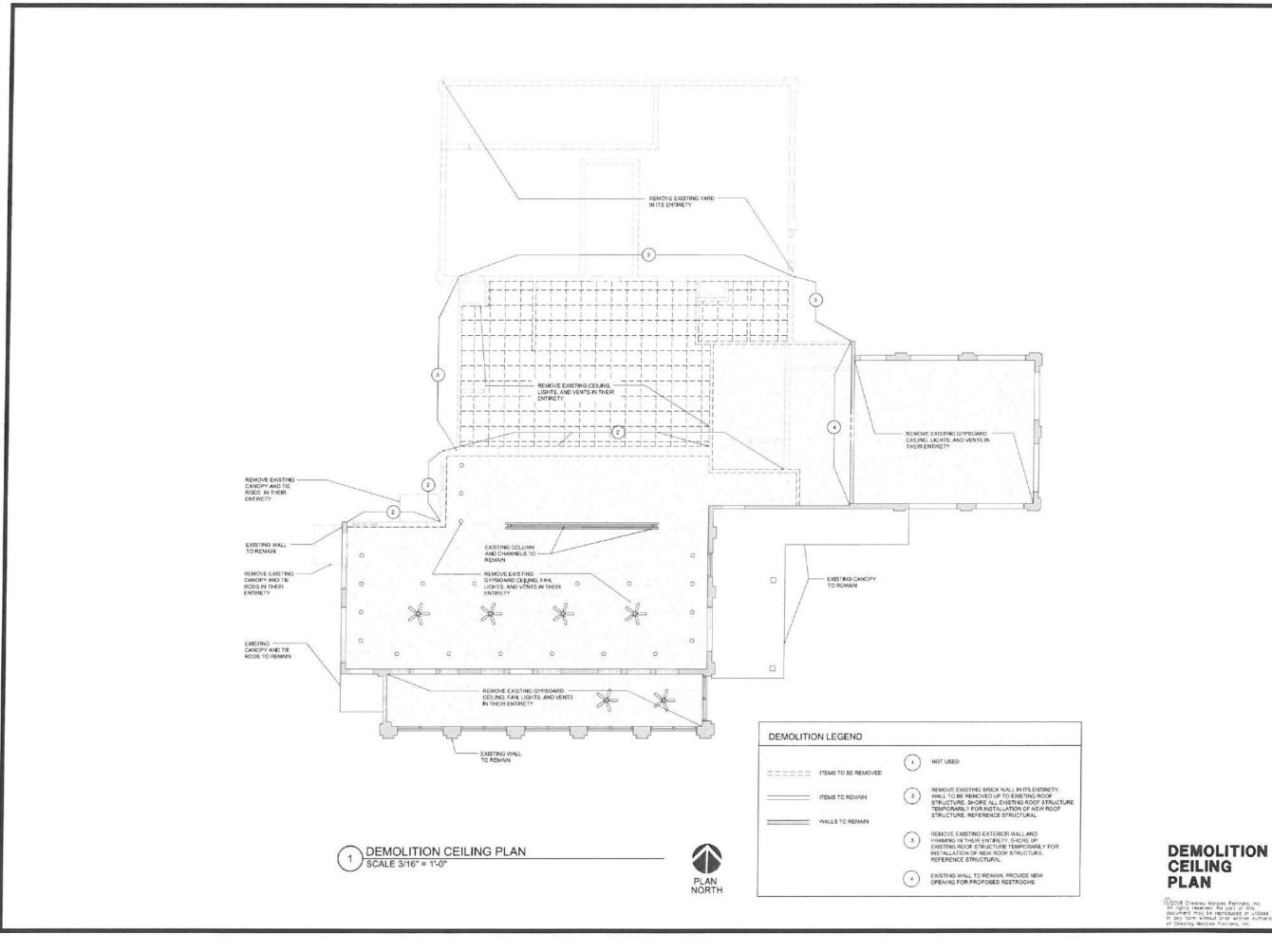
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DEMO INTERIOR ELEVATIONS



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NEW RESTAURANT ADDITION

RENOVATION FOR IDA CLAIRE
RAN ANTONIO, IX 78209 ∞ŏ

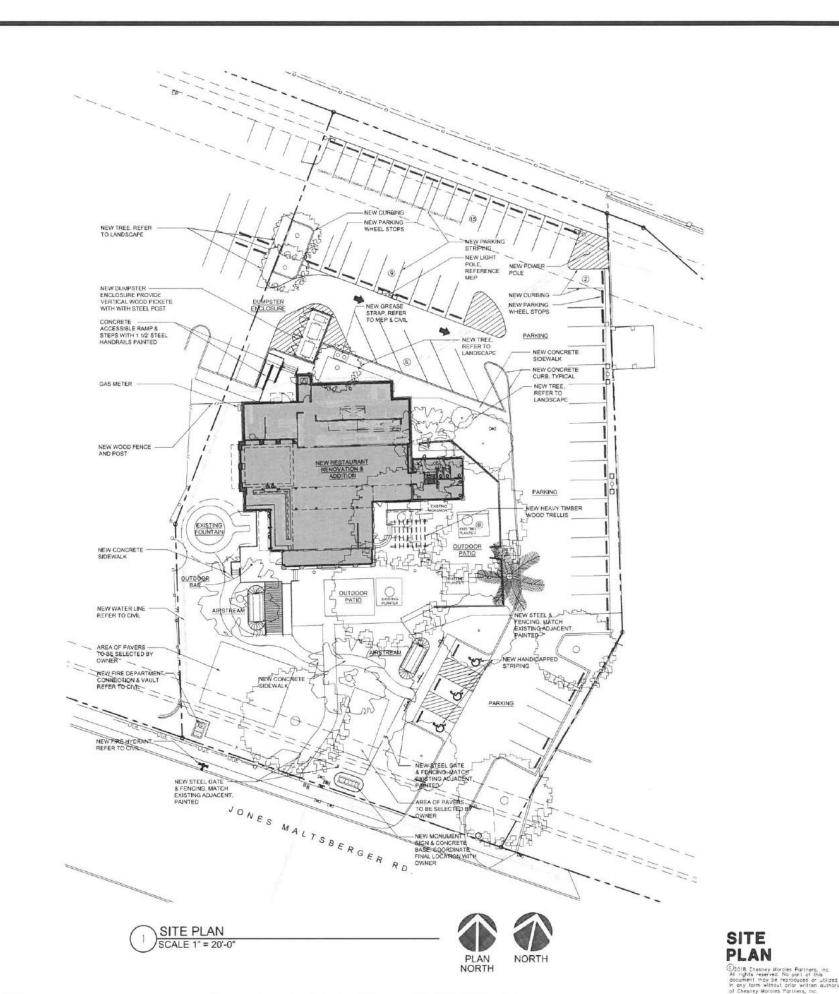
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TEXAS REG. 24853

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NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE

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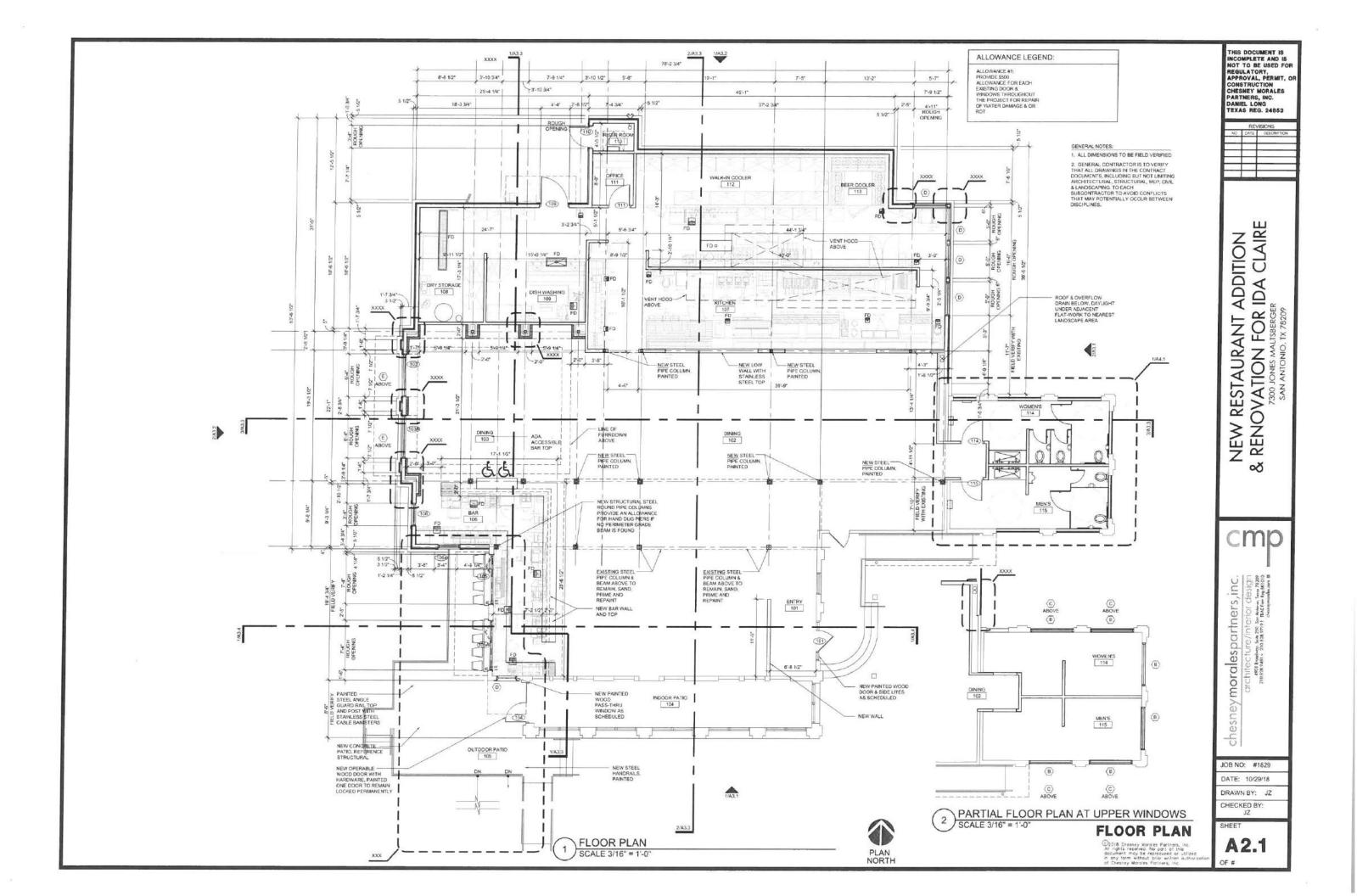
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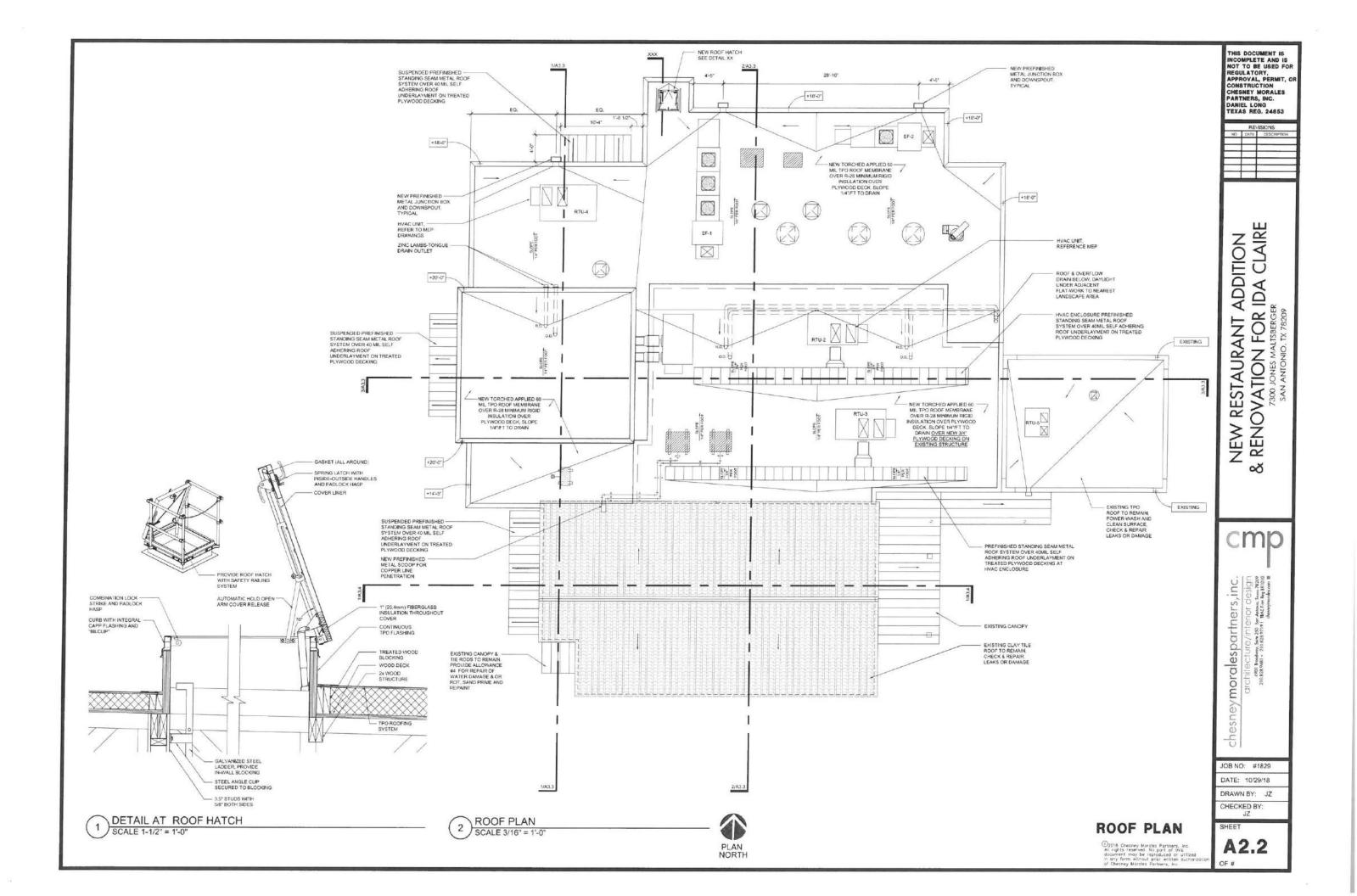
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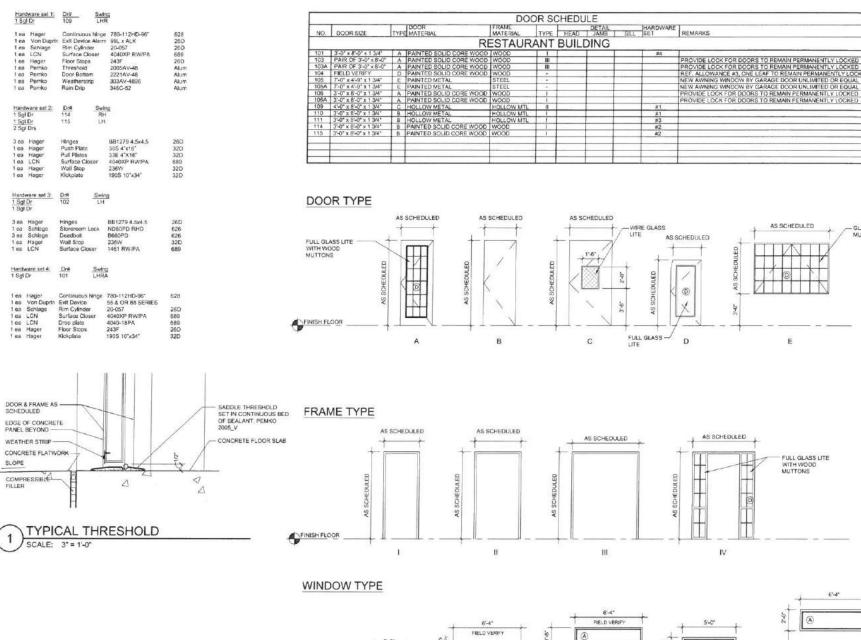
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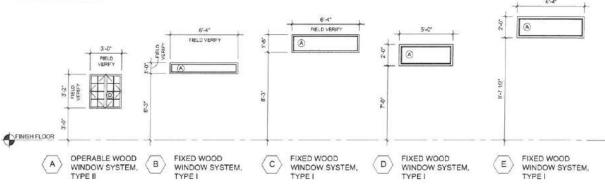
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	GLASS ANI	GLAZING LEGEND
MARK	DESCRIPTION	COLOR
(8)	1* INSULATED GLASS UNIT	OUTSIDE LITE - SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY (2) INSIDE LITE - CLEAR
8	1" INSULATED GLASS UNIT, TEMPERED	OUTSIDE LITE - SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY (2) INSIDE LITE - CLEAR
0	1/4" GLASS UNIT,	SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY
0	1/4" GLASS UNIT, TEMPERED	SOLEXIA WITH SOLARBAN 70XL ON SOLARGRAY

# WINDOW SYSTEMS

TYPE I - FACTORY PRIMED FIXED WOOD WINDOWS BY PELLA OR EQUAL TYPE II - FACTORY PRIMED OPERABLE WOOD WINDOWS SYSTEM BY PELLA OR EQUAL

DOOR & WINDOW SCHEDULE

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RENOVATION FOR IDA CLAIRE
RAN ANTONIO, TX 78209

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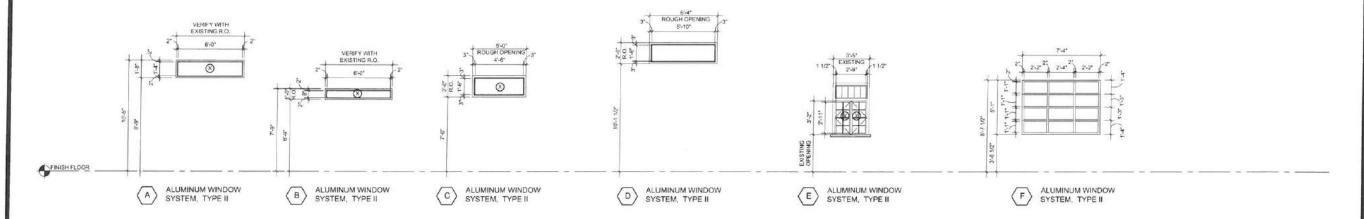
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# WINDOW TYPES

FINISH FLOOR



GLASS AND GLAZING LEGEND

NOT USED

WINDOW SYSTEMS

TYPE I - CURTAINWALL, OLDCASTLE BUILDING ENVELOPE - RELIANCE - 2 1/2" X 6"
TYPE II - STOREFRONT, OLDCASTLE BUILDING ENVELOPE - SERIES 3000 - 2" X 4 1/2"

(A) OUTSIDE LITE - SOLEXIA WITH SOLARBAN 70XL (2) HISIDE LITE - CLEAR OUTSIDE LITE - SOLEXIA WITH SOLARBAN 67 (2) INSIDE LITE - CLEAR 1" INSULATED GLASS UNIT ® 1\* INSULATED TYPE FG-FT, FULLY TEMPERED 0 0 NOT USED NOT USED OUTSIDE LITE - SOLARBLUE MEH SOLARBAN 70XL (2) INSIDE TITE - CLEAR OUTSIDE LITE - SOLARBLUE WITH SOLARBAN 70XL (2) INSIDE LITE - CLEAR DOTSIDE LITE - SOLARBLUE WITH SOLARBAN 70XL (2) INSIDE LITE - CLEAR WITH WARM GRAY COAT. SPANDREL 1" INSULATED GLASS UNIT (E) ® 1" INSULATED GLASS UNIT SPANDREL **©** NOT USED NOT USED G ALUMINUM WINDOW SYSTEM, TYPE II

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TEXAS REG. 24853

NEW RESTAURANT ADDITION
RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209 ∞ŏ

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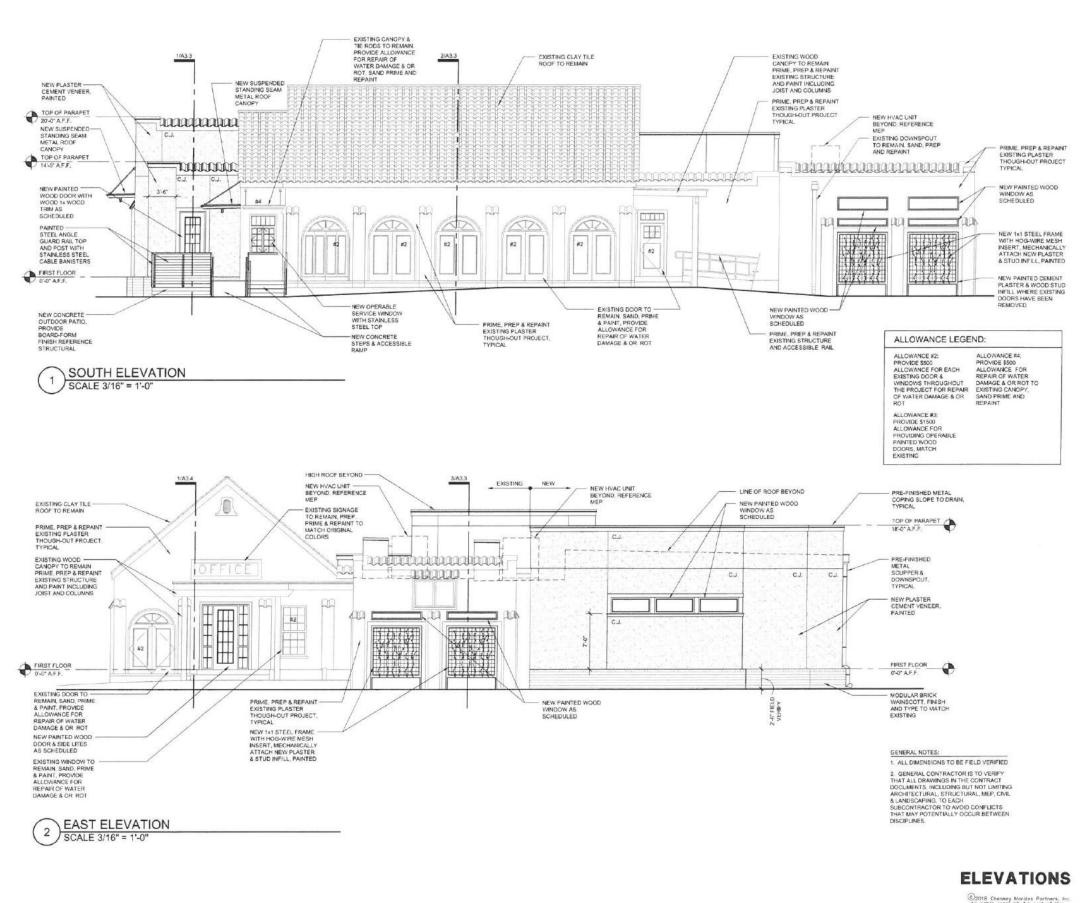
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WINDOW SCHEDULE



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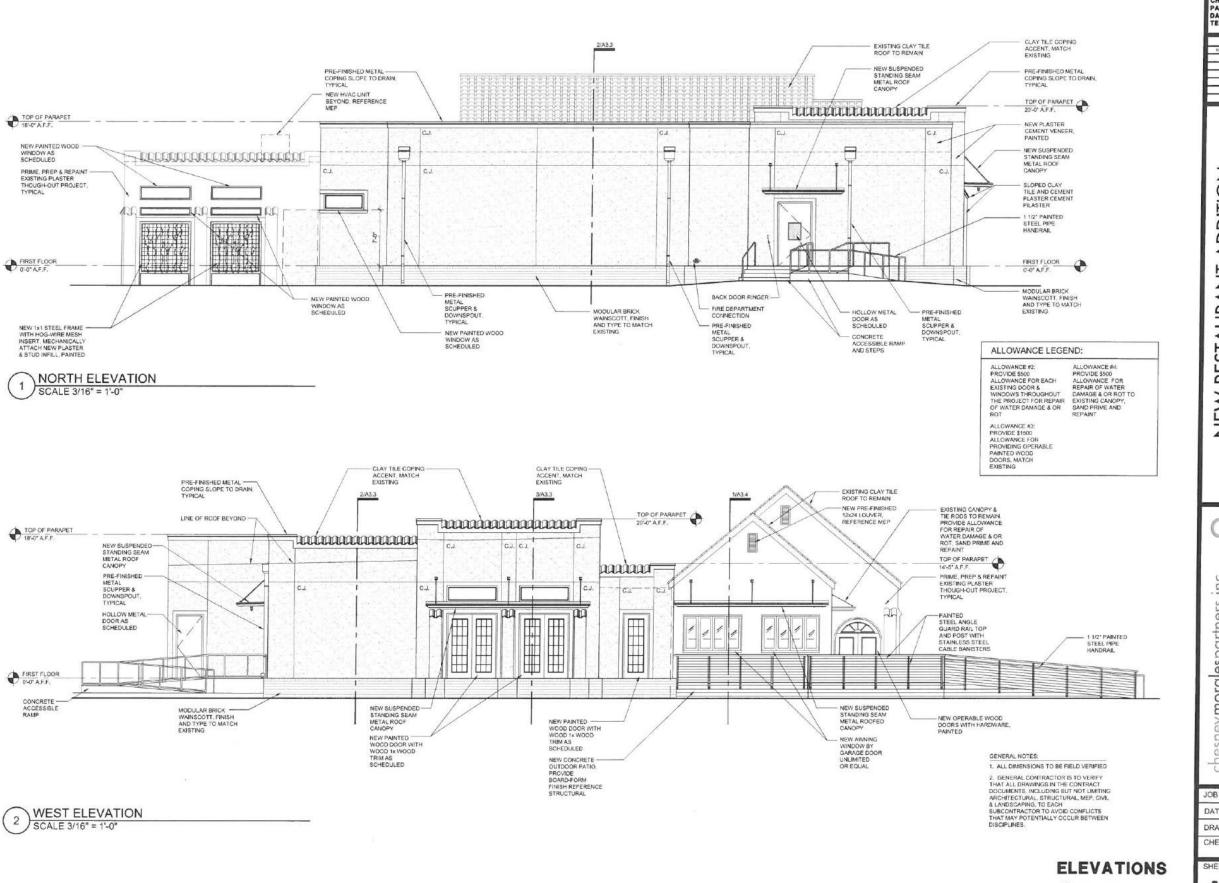
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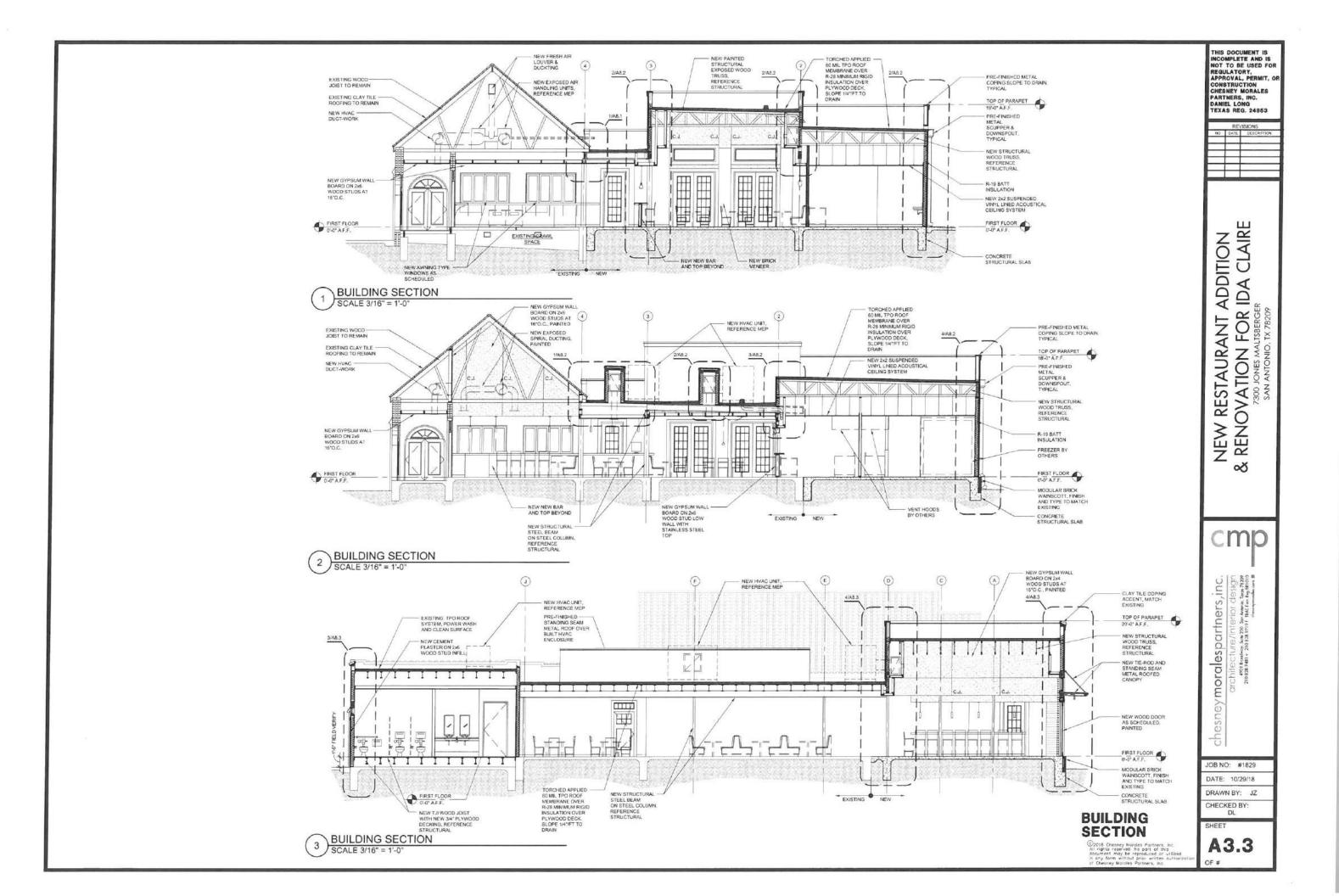
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1 BUILDING SECTION SCALE 3/16" = 1'-0"

> BUILDING SECTION

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NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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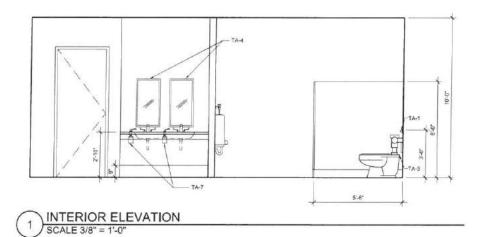
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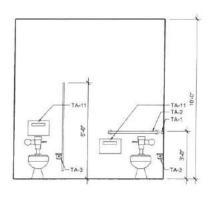
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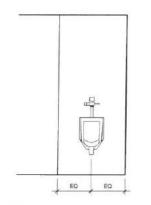
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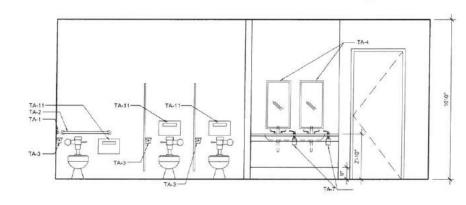
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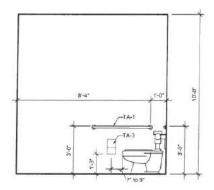
2 INTERIOR ELEVATION
SCALE 3/8" = 1'-0"





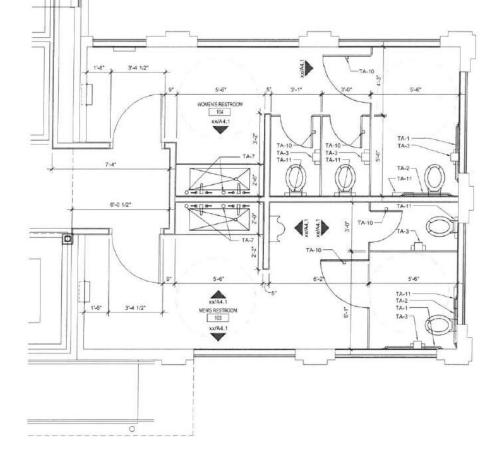
3 INTERIOR ELEVATION SCALE 3/8" = 1'-0"

INTERIOR ELEVATION



5 INTERIOR ELEVATION
SCALE 3/8" = 1'-0"

	TOIL	ET ACCESSORIES	SCHEDULE
MARK	DESCRIPTION	MANUFACTURER	MOUNTING HEIGHT
TA-1	42" GRAB BAR	BOBRICK: 8-6806-42	36" A.F.F. TO CENTERLINE
TA-2	36° GRAS BAR	BOBRICK: B-6806-35	36° A.F.F. TO CENTERLINE
TA-3	TOILET PAPER DISPENSER	KIMBERLY-CLARK: KCC 09604	MUST BE INFRONT OF TOILET/ BELOW GRAB BAR @ 36" A.F.F. TO TOP MA
TA-4	MIRROR		18" X 60" 6"6" TO TOP
TA-5	NOT USED		
TA-6	SANITARY NAPKIN DISPOSAL	BOBRICK: 8-4354	PARTITION, 31° TO TOP OF UNIT
TA-7	SOAP DISPENSER	BOBRICK: 6-8226	LAVATORY MOUNTED
TA-8	MIRROR		PLATE GLASS 38" AFF TO BOTTOM EDGE
TA-9	MOP HOLDER/UTILITY SHELF	BOBRICK: B-224	60° A.F.F. AT TOP
TA-10	COAT HOOK	BOBRICK: B-677	48" ADA/ 68" STD, A.F.F., CLEAR COAT ALUMINUM
TA-11	SEAT COVER DISPENSER	BOBR/CK: B-4221	BELOW GRAB BAR ADA / 45" A.F.F. RECOMMENDED MOUNTING HEIGHT
TA-12	PAPER TOWEL DISPENSER	BOBRICK: 8-26212	48" A.F.F. RECOMMENDED MOUNTING HEIGHT
TA-13	PAPER TOWEL DISPENSER AND RECE.	BOBRICK: 8-43944 (RECESSED)	48" A.F.F. TO DISPENSING SLOT



6 ENLARGED PLAN SCALE 3/8" = 1'-0"



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TEXAS REG. 24853

NEW RESTAURANT ADDITION
RENOVATION FOR IDA CLAIRE
RAN ANTONIO, IX 78209 ∞ŏ

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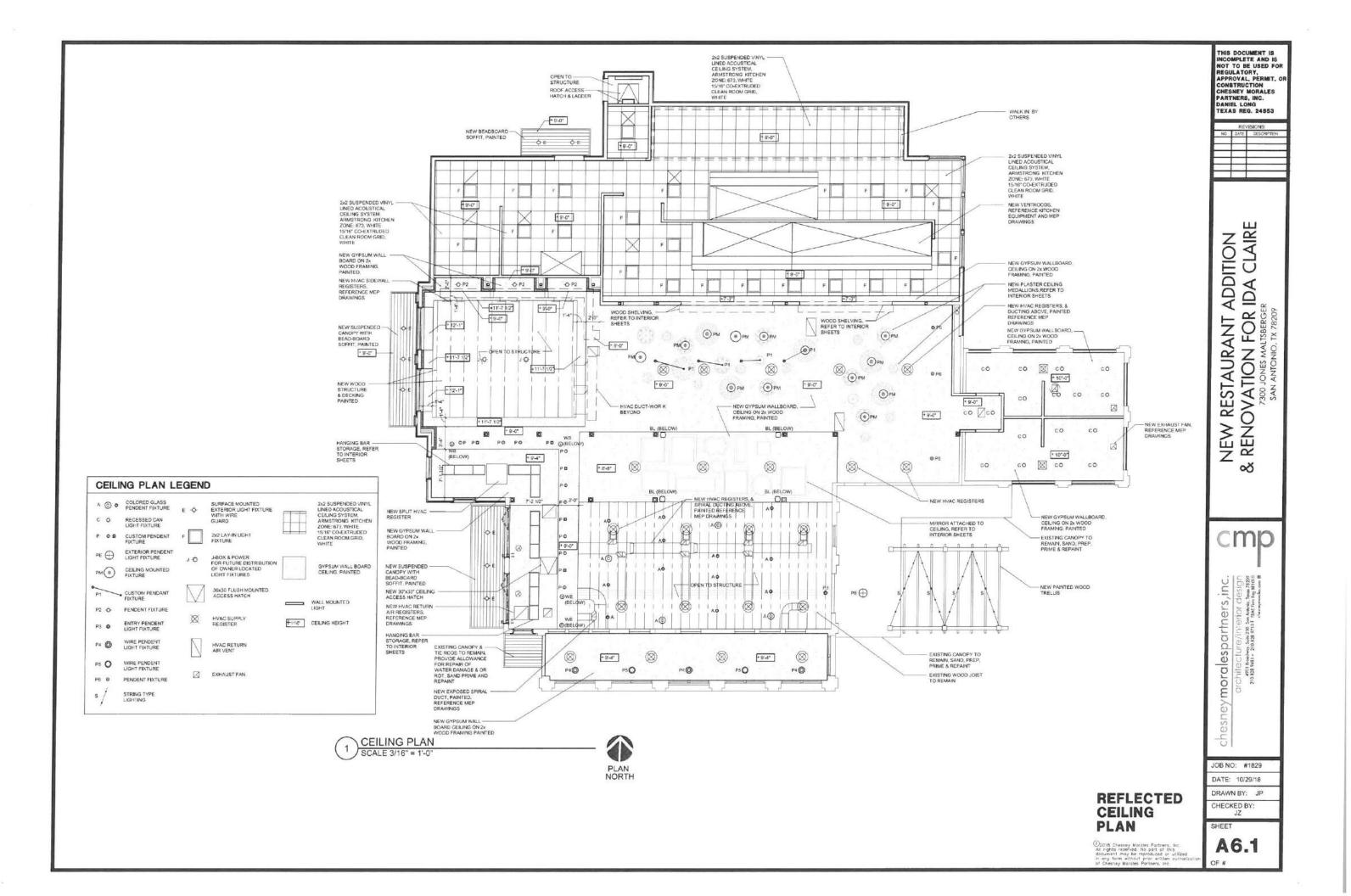
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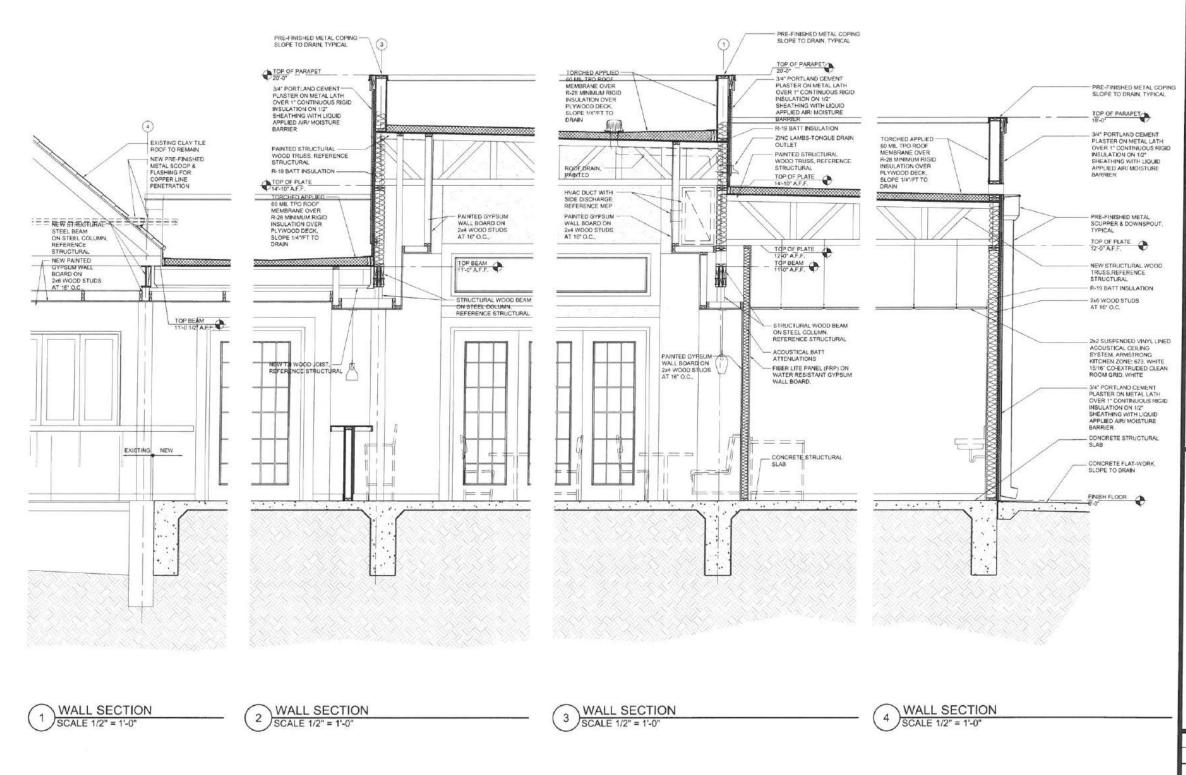
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ENLARGED PLAN & INTERIOR **ELEVATION** 





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ADDITION IDA CLAIRE NEW RESTAURANT ADDIT

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7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

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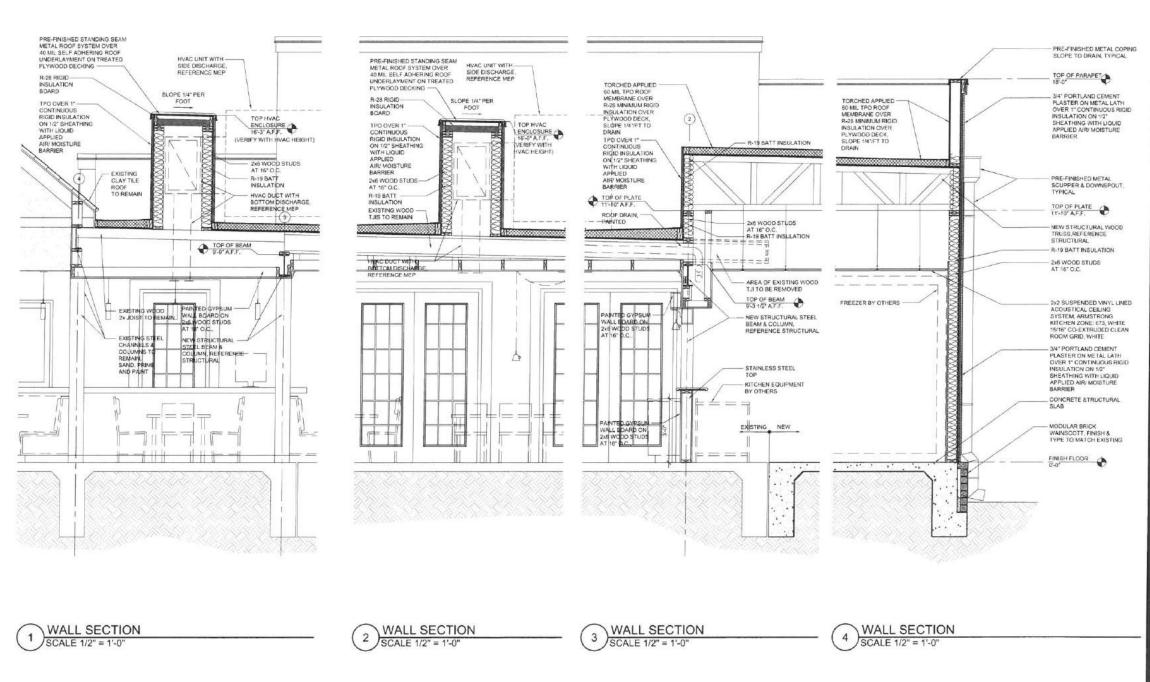
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WALL

**SECTIONS** 

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NO DATE DESCRIPTION

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RENOVATION FOR II

SAN ANTONIO, TX 78209 ∞ŏ

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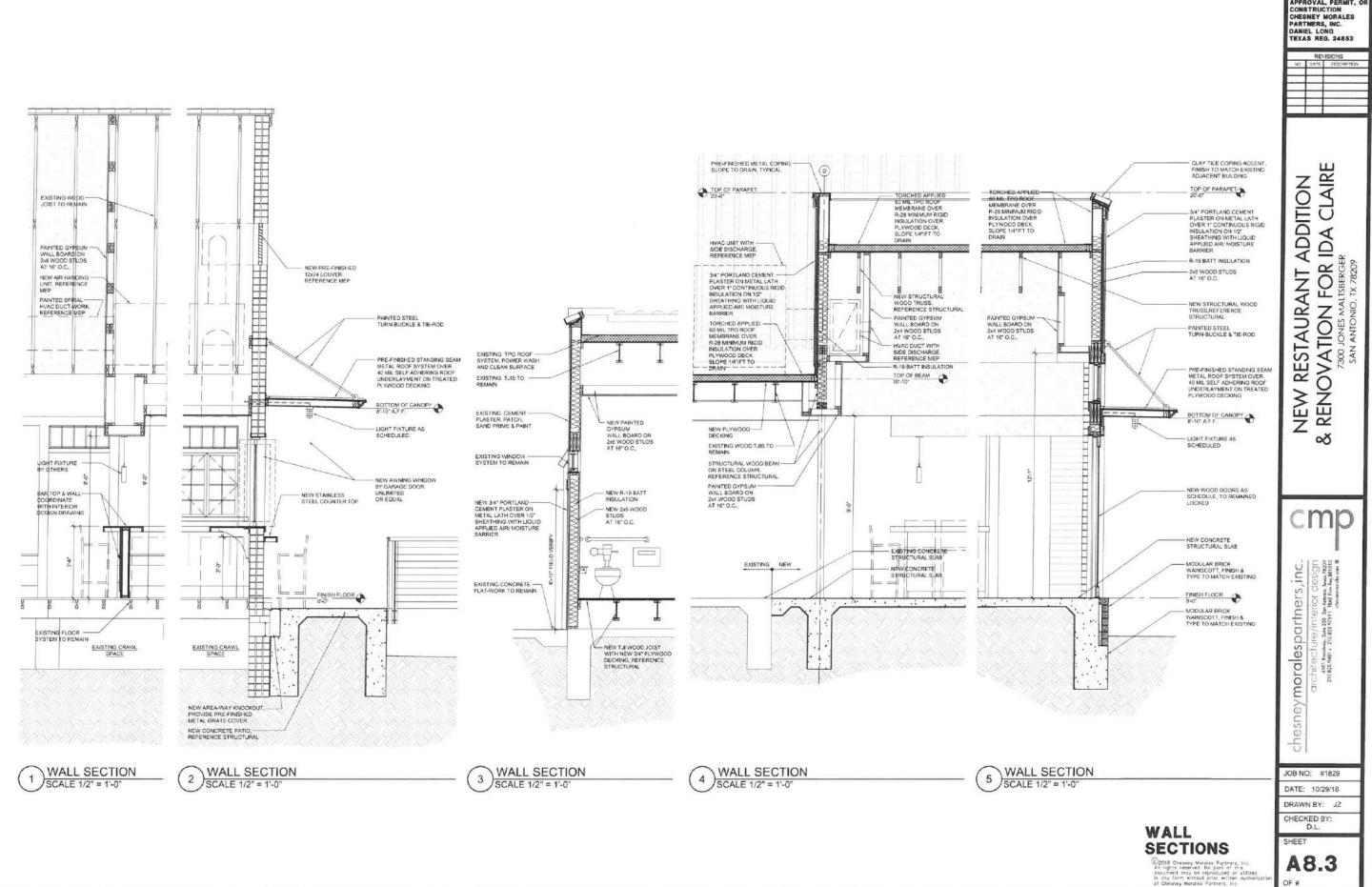
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WALL SECTIONS

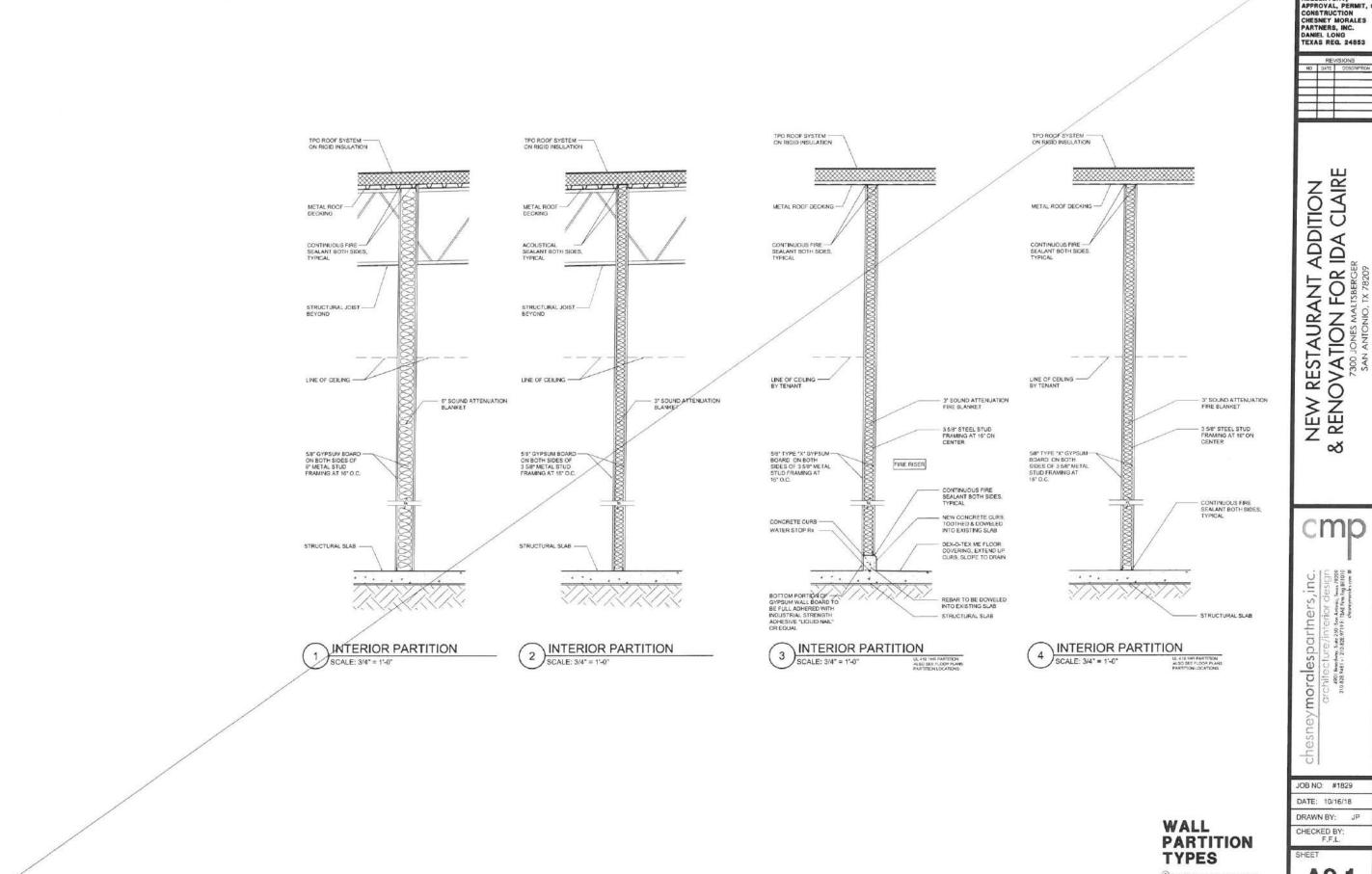
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A9.1

# Structural Design Criteria 1 The Building Code Requirements for 2015 International Building Code is the basic code documents. Additional codes and references are as noted. All structural work shall be according to all local codes in addition to this basic code document. Beicker Consultants LLC designed the addition for this project as a specialty engineer and is not accepting the responsibility of "Engineer of Record" for the entire building. Beicker Consultants LLC did not design other structural components and the overall building integrity.

- Drawings of specific dotalis on the drawings indicate the Intent of the structural design and in most asset, are typical conditions or very similar to other details. Consider typical conditions not necessarily noted as typical as typical for other conditions.
- Understanding the structural requirements shown on the structural documents requires cooperation among all parties involved. Design and construction are complex. Although Seicker Consultants LLC designed the project with duce are and dispince, we do not guarantee perfection. Communication is necessary. Invandablely report structural descriptionates for our interpretation. Consider unlessforded discrepancies as the more costly interpretation of the discrepancy.
- The structural documents represent the finished structure. Total project definition (and theeriore the definition of all requirements) will be provided by combining all documents with the Structural Documents. The Contractor shall verify all feels conditions within will affect the februation of compensation for more properties of the contractor prior to the start of construction. Unless otherwise indicated, the documents do not indicate the method of construction. The Contractor shall be all measures more encessary to protect the saddy of the public soing with the safety of the structure cutring construction. Such measures shall include but not be limited to tracted pand shallong of seed loads, contriction loads, and wind leads. The Contractor will be entered to contect the safety of the safety of the safety of the safety of the contractor will be considered to contect the safety of th

Structural design is based on the following:
 Floor five loads = 40 pet
 Roof leve loads = 50 pet. Tributary area considered. Ponding not considered
 Roof dead load = 20 pet
 Mechanics Weights = 56e Roof Plan

Structural framing is designed only for gravity (static) loads indicated. Accusto and dynamic loading from mechanical equipment including induced vibrations is not considered.

Joist supplier shall verify location of unit(s) according to mechanical plan(s) and add weight of unit(s) to design, (motify size if required) of allocated roof joist. Joist designs sten on construction documents are noted as "SP" meeting "possible special loading condition".

Ground Snow Load = 5 pel, Importance Factor (I) = 1.0

D+Lr D+.75(L)+.75(Lr or S or R) D+.(6W or 0.7E) D+.75(6W)+.75 L+.75(Lr or S or R) D+.75(7E)+.75 L+.75 S .5D+.6W 0-6D+0.7E

Wind Loads

ASCE 7-10 Chapter 27 Pert 2 - Enclosed Single Diagoningm Buildings with Hon 160' Ultimate design wind speed (3-econd garst) = 115' mph,

Design wind pressure:

Well Edge Zone (11 ft from comm) = 19.3 perf

Roof Interior Zone = -21.3 perf

Roof Edge Zone (11 ft from odge) = -30.5 perf

Parage Wal = 3.5 perf

Overhang/Canopy Upst Pressure = 47.5 perf

Structure Pipe = Building-goody IL Exposure Categopy C

Topographic Effects (40t) = 1.0 Cate Effect Factor (6) = 0.85, Rigid Structure

Enclosure Classification: Enclosed

Importance Factor 1

mic Seasmic Use Group
Seismic lin portance Factor
Spectral Response Coefficient(Ce)=
Short Duration Sds = 0,05
One Second Duration Sd1 = 0,039
Site Class = 0

Site Class = 0
Seam\times Configure (Seam\times Configure Configure Seam\times Configure Seam

Frost depth below finel grade is not applicable. Min ext beam depth below final grade = 30°. Allowable soil bearing capacity (\*p) = 2,000 psf total load Coefficient of Sabs Subgrade Faction = 0.75 to 1.00 Modulus of Subgrade Reaction (k) = 90 pci.

Structural Submittials

Submit to the Securium Engineer for review appropriate schedules, shop drawings, semples, test reports, and product data that is related to the securium portion of the Work seconding to AM Document A201 General Conditions of the Contract for Construction. No work shall be febricated until Structural Engineer's revent has been obtained. A feet of securium submittee required for this project is:

Fabrication / Exection Drawings: Vapor Retarder Foundation reinforcing steel Structural steel Prefabricated wood trusses: teports:

Earthwork below building testing reports:
Concrets mix design:
Concrete mortioning during concrete place
Weider custodations
Bot tightening test results: DATE BY REMARKS

Structural Special Inspections and Testing
1) The repetited design professional in responsible charge (RDPRC) for this project is the Architect
Submit all special impaction reports directly by the RDPRC for review. Also, submit the structurally related special inspection reports to the structural engineer for the review.

- The general contractor is responsible for coordinating all testing, inspections and notifying the Architect@rigineer and Special Inspections of work ready for inspection. The general contractor must provide access to and means for proper inspection of such work.
- A qualified independent testing laboratory (meeting the qualifications of ASTM-329 and accredited by American Association of State Highway and Temporation Officials (AASTM-329 and accredited by American Association of State Highway and Temporation Officials (AASTM-329 and other American Laboratory (CERL) of the National Bureau of Standards) in tall perform the inspection end testing services as the special impactor(s) as required by lews, orderances, rules, requisitions, orders or approvate for public authorities, and also additional impactors, temping and testing required for its own convections and for restesting when Work does not comply with the requirements of the Contract Documents.
- Special inspectors shall meet the qualification requirements set both in ASTM C1077 for concrete inspectors and feeting. ASTM C 1038 for making impaction and testing. ASTM C 1038 for making inspector and testing. Special impactors for soils shall be the geotechnical engineer for this project, who is Terraccin Constitutions, inc.
- Furnish to the Testing Laboratory(s) two complete sets of project Contract Documents to facilitate monitoring, inspections and feeting.

- Special inspection shall propers, also and submit to the RCPIRC with a copy to the owner and the general contractor (and to the Building Official if he requests) his "Report of Required Special respections" lefts the general contractor completion he work according to the approved plans. The Special respector shall proper his "Report of Required Inspections" using the form approved by and available from the Building Official his "Report of Required Inspections" using the form approved by and available from the Building Official his "Report of Required Inspections" using the form approved by and available from the Building Official his "Report of Required Inspections" using the form approved by and available from the Building Official his "Report of Required Inspections" and the Report of Required Inspections of Required Inspections (Report of Required Inspections).
- Provide for the epocial inspector a "Special inspector Status Log" at the project site using the standard form approved by and available from the building official so that the special inspectors can sign the form of each of their visits to the eith.
- 5) The RIDPRC is responsible to prepare, sign and submit the "Final Report of Required Inspections" for submittal to the Bulkding Official effect the general contractor completes his work according to the approved plant. The RIDPRC shall prepare the "Final Report of Required Inspections" using the form approved by and available from the building official.

- Earthwork Below Building
  Earthwork Below Building
  Earthwork below the building shall consist of construction of a building paid of select competited fill material that will
  classify the sold as not considered expensive (IBC 1808.6.3 and 1808.6.4) according to the geotechnical engancer's
  report. Earthwork according to this geotechnical engancer's report as unministrated below for convenience. Finals floor
  evention is a summer to match to the exhalling buildings floor elevation. Refer to the report of building reporterments.
- 1) Exceive to the idevation required for placement of the fill and foundation foor size. As a minimum, strip toppiod and all organic materials from the building foundation area. Exceived on shall extend to a cut attended on 61 it below think foot. Earthwork inside death all infilliation of 5 feet beyond the building foundation perimeter, drive-thru foundation, and any movement sensitive flatwork.
- Proofroi the subgrade exposed surface with a 15-ton roler. Remove all soft or local soils and replace with select fill.
- Scartly this subgrade to a depth of 6". Compact the exposed scarified subgrade to dry density of at least 95% of the mashhum dry density as determined by standard Proctor compaction test method D-898 at zero to plus fo
- 3a) Coordinate inspection and lesting services in order for the special inspector to test the subgrade mosture/sensity at least every 2,500 of obuilding pad area for "Dentity Control of Compaction" according to the street ASTM D-8338 (et loses? I seen innimum per part.)
- 4) Salect \$\frac{1}{2}\$ below the slab shall meet the specifications recommended in the geotechnical report. Select \$\frac{1}{2}\$ se
- (4a) Coordinate inspection and testing services in order for the special inspector to test moisture/density for each select fill lift at least every 2,500 of of building pad area for "Density Control of Competion" according to the lesses ASTM D-0303 for least 3 tress minimum per IRD.
- Utility trenches within the building shall be carefully backfilled, moisture conditioned and compacted so that the trench does not become an avenue for moisture to more freely travel under the building.
- 5a) Coordinate inspection and testing services in order for the special inspector to test moisture/density for each fill iff within the utility brench at least every 100 if of trench length for "Density Control of Compection" according to the lettest ASTM D-6/336 (or least 2 lests nammum per lit per thereb).
- 6) The finish surface grading, final drainage of surface water and landscaping shall be constructed in a manner as recommended in the geotechnical report.
- 7.8) Coordinate building official inspection after excavating for beams and placement of all reinforcing steel, with formwork in place (IBC Chapter 110.3.1) The Building Official may accept a seriew by the structural engineer in place of the Building Official conducting the review.

- 2) Trunch grade beams in order to provide the beam cross section indicated. Beam and siab depths and width indicated are minimum acceptable sizes. Lut per size beams and sizes toward by test sociulate terriching may review. All loses did from older and bottom of transhes that be removed. Cut hearnhas on each size of second depths are the control of designants are to maintain the vertices sides of the transh. Penetrate extendor beam softlis a minimum of 24° below the first extendor possing sides.
- 3) Where trees exist within five feet of foundation, deepen beams a minimum of 24" below specified beam depth for a distance of ten feet in each direction of tree (bits length of hereby feet). Out off and frest all roots astending under the foundation to prevent any future root growth under the foundation. Forefront produces the product of the pr
- 4) Trench below the siab thickness for placing electrical conduit and plumbing lines. Bury electrical conduit and plumbing lines below the siab thickness and outside of the grade beam therefore. Do not place bondly appear under and parallel to grade beams. White pure severe, some, water or electrical piping lines crossing grade beams with PVC service for protection from ground movements. Existing all leaves at least 0 inches past the send-work lines for protection from ground movements.
- Rendricing stee shall comply with the requirements of ASTN A-615, grade 60. Welddor lake mesh shall comply with the requirements of ASTN A-185, fat shared only. Reinforcing steel shall be confinious with splicious lapped at least 40 diameters. Strrups and tee may be grade 40 for bers #3 and smaller. The wire shall be 18 gage annealed type.
- Fabricate bent bars according to ACI 315. Install reinforcing with clearance for concrete coverage around reinforcing steel according to ACI 318. Submit for review tetrocation and placement whop drawings indicating bar sizes, spacings, lengths, laps, locations, and quantities of reinforcing steel, bending and cutting schedules, and supporting and specing devices.
- The proportions of materials and use of admotures influence the concrete strength along with the means and methods of construction. The contractor is responsible to determine that the concrete is suitable for its intended purpose. The engineer recommends the contractor consider the following in determining the concrete for this project. Cement shall be Type 1 (gray) Fy ash shall be Borst Materials, Cleas C (Cleas F ty shi he not acceptable) if \$y\$ ash is used, on one exceed 20% of the botal by shall and cisment used by weight include a polymenic compound water-reducing admitisture that complete with ASTM C44A. Do not add an air entranment addit Mat shall result in a fishand concrete product with measure content an encessary to properly cure the concrete. Floor seelers, hardwares, finishes and coverings shall be compatible with contracts properlies.

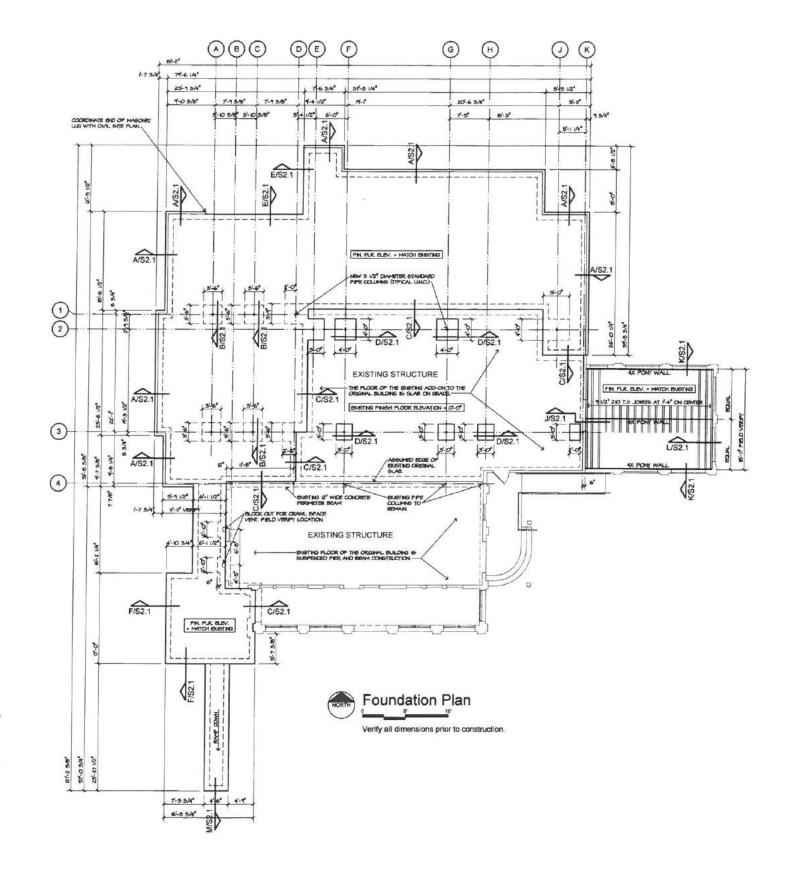
- Coordinate structural engineer's review, the building official inspection and the special inspection inspection and tosting services before each concrete placement.

  The Building Official shall inspect flootings and foundations (IBC Section 110.3.1). The Building Official may accept a review by the structural engineer in place of the Building Official conducting the review.

Before concrete placement, the special inspector (SI) shall inspect all reinforcing steel, verify quantities and placement slong with proper concrete protection for reinforcement, inspect wedded reinforcing steel, inspect all bods installation concrete, and verify the use of the reported mix design(s) at the beganning of each day's pour for each spec of concrete.

During concrete placement, the special inspector (S) shall monitor and test: the concrete according to ACI 311.5R. Batch plant inspection is not required. Test according to frequency requirements in ACI 316, Section 5.6.2.1. Test number of test specimens according to ACI 311.5R, Section 2.4.13. Reject or accept concrete based on the results of tests.

During concrete placement, the special inspector (SI) shall witness proper application techniques. Verify and inspect for maintenance of the curing temperature and techniques.





Structural Steel

Roled steel angles, plates, and bars analt be structural quality complying with ASTM A-36 (fy=36 las). Roled steel structure and be structural quality carbon steel complying with ASTM A-36A50 dual grade complying with ASTM A992 grade 50.

- Structural steel tubular products shall be cold formed structural quality carbon steel, welded or seamless, complying with ASTM A1085.
- Cold-formed steel structural mombers shall be cold formed to shape from carbon or low-alloy, shaet or strip steels complying with ASTM A245 or ASTM A374.
- 4) Pipe columns shall conform to the requirements of ASTM A-538 (Type E or S).
- Structural steel members framing the entry canopy shall be constructed as Architecturally Exposed Structural Steel and shall comply with Section 10. AISC 303-05; Code of Standard Practice for Steel Buildings and Bridges
- impection of Fabricators (IBC Chapter 1704.2.5). The fabricator shall submit to the RDPIRC with a copy to the owner and the general contractor a conflictate of compliance stating that he fabricated his work atthe under the inspection services of a special inspector or under the inspection services of his nationally recognized trade organization that requires quality control inspections.
- Febricate and erect all structural steel according to the drawings and as AISC Manual of Steel Construction
- Prime paint all structural steel with 1.0 to 1.5 mill dry film thickness Alkyd Primer or equal, except for plates embedded in concrete.

- Coordinate structural engineer's review, the building official respection and the special inspector inspection and tentors services.
- 13a) The Building Official shall inspect the primary structural framing. The Building Official may accept a review by a licensed professional engineer in place of the Building Official conducting his inspection. (IBC Chapter 110.3.4)
- 13c) The special hispector (SI) shall inspect botted connections according to AISC specifications for the snug-light method. (IBC Chapter 1705.2)

The special inspector (SI) shall inspect the steel frame to verify compliance with the details shown on the approved construction documents, such as braining, stiffening, member locations and proper application of joint details at each connection. (BC Chapter 1705.)

- All framing designated as BCI, TJI or LPI joints on the plans shall consist of solid plywood web joints manufactured by Borse-Cascade or the Trus-Joint Corp, or Louisiana Pacific, respectively.
- Nais, spikes, and stapies shall be galvanized for exterior locations, high humidity locations, and treated wood; plain high for other interior locations, exce and type to suit eppication. Typical hashing shall be valid on even rails. Existing plain and be railed with \$11 (sept. ) 34f (eng., 7/16" head, dismonly-point, galvanized cooler naits, or cadmium platfed W bugis head screws 1 1/4" long. Stuples shall not be used intered of recurrent and.
- Bots, nuts, weshers, lags and screws shall be medium carbon steet; size and type to sult application; gahranized for exterior locations, high humidity locations, and treated wood; plain finish for other interior
- Fasteners shall be toggle bolt type for encharage to hollow mesonry, expansion shield lag bolt type for anchorage to solid mesonry or concrete, bolts or powder activated type for anchorage to steel.

Bottom place anchors to foundation shall be A307 carbon steel, 172" damater shank, with 7" embedment into the mesoniny with 90 diogree bend. Fastern to plates with heasponal head note and out versions. Provide continuous bead of sestem between plate and foundation. Interior non-load bearing wall bottom plates may be featered to foundation with powder driver fasteriors instituted of with bots.

# Floor Truss Hangers shall be. Simpson Strong-Tie fight double shear joiet hangers Model LUS410, or equal having an allowable load capacity of at least \$15%.

Plywood sheathing clips shall be Simpson Strong-Tie 20 gage galvanized steel x plywood thickness.

Unless otherwise indicated, use type LUS joint hangers as manufactured by the Simpson Company for flash type joint connections to supporting bearns. Column cap and base connections shall be as manufactured by The Simpson Company, type as recommended by the manufacturer for the size of joint or column and beams being

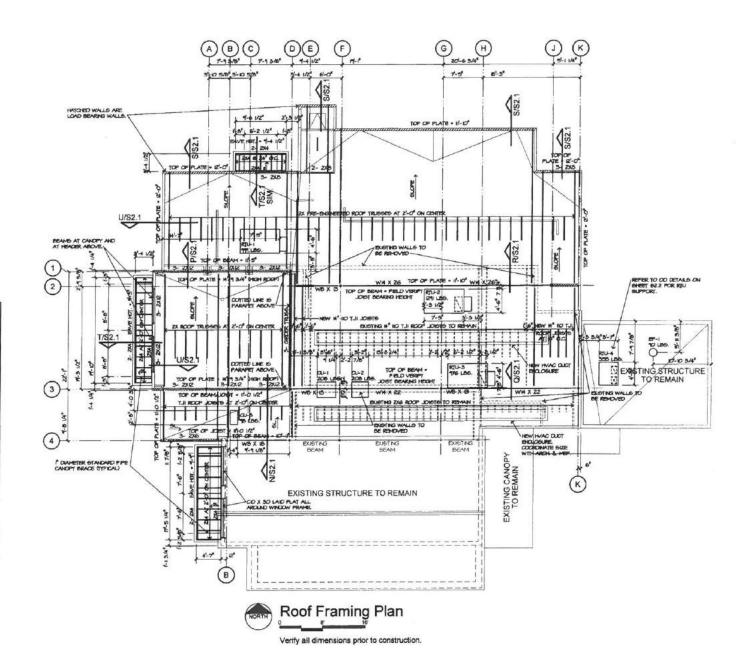
- Submit evidance of compliance with specified requirements showing design values for selected species and grades. Indicate aces and spacing of prefabricated plywood web joints, loads and joint cambers, framed openings, bearing and annote details, indiging and braider.
- Store freming material a minimum of 12" above the ground in a manner to allow for proper drainage versitation and protection from the weather.
- 5) The "Manual of House Framing" by National Lumber Manufacturer's Association shall set the minimum standard revorkmenship. Install menin framing miscollameous blocking, furring, nating stips, framing, and shadning install members true, plumb, and swit Install similaring whore requiring whore requiring and proper alignment. Secure framing in piece. Space miscollameous feating and furring no more than 24 inches on center. Constitute remember of confirtuous pieces of foreign possible lengths. Faming member connection shall be realed with no tests than 2-160 nels, or an noted. Frovide rough hardware as indicated. Comply with Fast Housing Act provides: Install for and defaultops econding to code requirements.
- Make proper provisions for the Work of other trades. Refer to the Drawings for wood blocking and plywood required as back-up and framed openings for all other trades and their accessories. All bathrooms can be handcap accessories between and receive sold 25 was blocking for grab bars at toleks and fulbishower handcap accessories levice shall be receive sold 25 was blocking for grab bars at toleks and fulbishower.
- At headers built-up with multiple SYP #1#2 2x members, nell together with at least 16d nais at 16° on centra along each edge and with at least 1-16d nais per 6° nominal daight of header. Provide plywood spacets between 2x members to wident haader to the width of the stud with.
- Framing members shall be installed within 1/4" from true position. Square and cuts shall be within 1/16" per foot of depth and width. End surfaces ahall be out to provide contact over substantially the entitle surface. Lengths of framing members shall be 1/16" + up to 20 feet in length, and 1/16" per 20 feet of specified length for members over 20 feet in length.
- Maintain sheathing surface flatness of maximum 1/8 inch in 10 feet or more.
- 9) Install building paper on all extenor walls. Install horizontally and weather lap a minimum of 2" for horizontal joints and 6" for vertical joints. Stagger vertical joints. Stagle securely with roof tin caps.
- Coordinate structural engineer's review, the building official inspection and the special inspector inspead and testing services.
- The Building Official shall inspect the primary abructural framing. The Building Official may accept a review by a learned professional engineer in place of the Building Official conducting his inspection. (BC Chapter 110.3.4)

- Prefabricated Wood Trusses
  1) Design of plate connected trusses shell conform to National Design Standards (NDS-91), Truss Plate institute Criterio (TP-17).
- Inspection of Fabrication (IBC Chapter 1704.2.5). The fabricator shall submit to the RDPRC with a copy to the owner and the general contractor a certificate of compliance stating that he fabricated his work either under the inspection services of a special inspection or under the inspection services of his nationally recognized that or organization that requires quality control inspections.
- Trues designs and layouts shall be seeled by a Texas licensed Professional Engineer and submitted to Architect/Engineer for review prior to fabrication. Submittal shall clearly indicate design leads, memoral stresses, lumoer grades, space occidence, exclused blooking, briging, tracking, failsement, descentent procedures, load obering wells, trues despiration, building number, and name of project. Eaching small be an incide and indicated on the drawings. Any non-signed and sealed submittals with not be reviewed.
- During construction trueses shall be erected, braced, and blocked in accordance with commentary and recommendations for handling, installing and bracing of Metal Plata Consected Viscot Trueses (HID-81) by TPI. At temporary bracing shall not be removed and considered permanent unless service is required for completion of work.
- Provide permanent 2x4 lateral "X" bracing in the plane of the truss webs and frame at a 45 degree angle. Nat to wach crossing truss with at least 2-16d nats. The "X" bracing shall align with the bottom chord stored bracing and occur at each and of the building and at 25 intervals.
- Roof truspes shall be connected to bearing plate with Simpson Strong-Tie Hurricane Clips. Clip type to be specified after signed and sealed truss submittals are reviewed. Attach clip as recommended by Simpson.
- Provide pre-engineered truss shear blocking between trusses at all shear wall locations. Truss supplier shall provide truss shear block to truss component connection/detail. Shear block shall be full height of truss
- Attach tops of non-load bearing wells to truss bottom chord with Simpson Strong-Tie STC Roof Truse Clips attached se recommended.

Special expections of the fabrication process of prefabricated wood elements and assembles shall be in accordance with Section (IBC Chapter 1704.2.5)

## List of IBC Chapter 17 Special Inspections

IBC Section	Special Inspections	Applicable	Location
1705.1.1	Special Cases	No	La Sassalla Sassa
1705.2	Steel Construction	Yes	Structural Steel Notes
1705.3	Concrete Construction	Yes	Concrete Notes
1705.4	Masonry Construction	No	
1705.5	Wood Construction	No	Wood Framing Notes
1705.8	Soils	Yes	Earthwork Below the Building Notes
1705.7	Driven Deep Foundations	No	
1705.8	Cast-in-Place Deep Foundations	No	
1705.9	Helical Pile Foundations	No	
1705.10	Fabricated Items	No	100000000000000000000000000000000000000
1705.11	Special inspections for Wind Resistance	No	
1705.12	Special Inspections for Seismic Resistance	No	
1705 13	Testing for Seismic Resistance	No	
1705 14	Sprayed Fire-Resistant Materials		M
1705.15	Mestic and Intumescent Fire-Resistant Coating		
1705.16	EFS		Refer To Architectural
1705.17	Fire-Resistance Penetrations and Joint	(6)	
1705.18	Testing for Smake Control		
1706	Design Strengths of Materials	No	
1707	Alternative Test Procedures	No	
1708	In-Situ Load Teste	No	
1700	Preconstruction Load Tests	No	





BEICKER CONSULTANTS, LLC

SE SERVICION DE COMMENT REPORT DE L'ORIGINATION DE L'ORIG

STRUCTURAL / CONSTRUCTION ENGINEERS Sept. 2, 2018 7300 Jones Maltsberger San Antonio, Texas 78209 0 \* 2702 N Loop 1804 E, Suite 201 \* Sen Antonio, Tense, 7822 \* Phone (215) 52+2508 \* Par (210) 489-2300

- Keynotes
  1.1) Existing construction to remain.
- 2.1) Select structural compacted fill as recommended by the geotechnical engineer

- 3.1) 10 mil Block plastic vapor retarder, type recommended to be in contact with the soil or fill under a concrete siab, fisted in ASTM 1746 Clase A with a permanenc less than 0.1 as determined by ASTM EQB. Polythyrhem is not acceptable, including only retarder solicity within an oblicivity but but with joints lapped or least 6 inches and taped continuously with recommended pressure-sensitive Edend vapor retarder down the sides of the been benches and terminate so that it does not exit.

- 3.4) Footing reinforcing shall be #6 bars at 8" on center both ways 3" clear from bottom of footing
- 3.6) #4 dowers x 30" long at 12" on center. Drill 6" angled downward into existing
- 4.90) Masonry veneer refer to architectural.

- 5.2) 12" x 12" x 3/4" column bese plate with 4-3/4" diameter HCA x 6" long.
- 5.3) Steel column see plan
- 5.10) 3/8" trick guisset plate through column welded continuous. Bolt beam with number of 3/4" diameter high attength bolts as required for 1/2 wheer in AISC beam tables.

- 5.17) 1 inch diameter standard pipe canopy brace with 1/4" thick steel gusset plates at each end. Pin to canopy and wall brackets with 1 inch diameter pins.
- 5.18) 1/4" thick shed bracket bolled to canopy frame with 1-1/2" diameter through boll
- 5.19) 1/4" thick steel bracket bolted to wall with 4-1/2" diameter through bolts
- 6.1) 2x wolmanized sill plate anchored to foundation as noted.

- 6.2) Exterior wood stud wells shall be framed with 2x5 stude at 15" on center unless noted otherwise. Interior Wood stud wells shall be framed with 2x4 stude at 16" on center unless noted otherwise.
- Install double endfor triple stude at all beam bearing points and at the ends of all diagonal let in bracing. In edition, stude shall be doubled at all angles, coment, and around all openings. Not less than 3 stude shall be installed at each wat come. Block between core stude and not slong full height of stud with 16d note at least at 24" on center.
- ovide 2x solid blocking at mid-height of all wood stud bearing walls located on the first or of buildings three floors in height.
- Provide a continuous sole plate at the bottom of all stud walls. Load bearing wall sole plates educant to masonry and those walls identified as shear walls shall be wolfmarized and shall be bottom to masonry and those walls identified as shall are swall mad 27° on center specing unit otherwise noted and within 12° from ends of discontinuous plates. Interior non-load bearing well can'b be bottom of the other to contact to 7° on the special to 10° of the continuous plates. Interior non-load bearing well can'b be bottom of which to contact to 7° on the continuous plates. Interior non-load bearing well can'b be offer with a contact 4° 8° of the continuous plates. In the continuous plates with a case 4° of the continuous plates.
- At framing around openings, trimmer and header joists shall be double for spans greater than 4 text, unless noted otherwise.
- Provide a continuous double plate at the top of all well stude. End joints in double top plates shall be offset at least 48 inches. Corner joints in double top plates shall be tapped and face naded with at least 52 16d neals. End neal top plate to each stud with all least 2- 16d neals. Face nail top plates with 18d neals at least at 16° on center.
- 6.3) Plywood wall sheathing shall be 19/32" APA rated sheathing, exposure 1

Floor and roof trusses shall bear within 5° of the stude beneath the double top plate. Toe neil truss to top plate with at least 4- 8d neils. Humones dip shall be specified after review of truss as benefities.

54

-(53)

Q- Beam/Column to Existing

6.8) T.ll joist - see plan

- 6.10) Plywood Flooring shall be 3/4" APA rated, 42/24 Exposure 1, tongue and groovs plywood floor deci Place longue an groove plywood floor with required joint spaces between sheets and with end joints staggered. Plywood grain shall be perpendicular to traming. Secure sheets over firm bearing. Providing floor periods. Nell to traming members at plywood edges at 6" on center and a infarmedate supports at 6" on center. Nall with at least 6d screw sheets over the center.
- 8.11) Phywood Roof Deck shell be 5/8" APA rated deck, 48/24 Exposure 1

- 8.13) 2x parapet wall stude at 24" on center between trusses nailed to each truss with 16d nails. Extend from wall double top plate to parapet double top plate. Toe nail to wall top plate.
- 6.14) 2x blocking between parapet wall stud and roof truss at locations show

- 6.19) Simpson H2.5A Hurricane Tile connecting examing 2x roof reflers to the new continuous blocking below. Affacts per menufacturers recommendations.

6.7

623

(54)

53

R- New Roof to Existing

6.25) Two (2) continuous 2x runners located between the beam flanges as shown to provide a firm edge for with the joint hangers can be supported from. Screw to steel beam web with two #12-24 TEKS self-diffing feata x 2-344 long spaced at 16° on center. Locate screws 1° from the top and beform of the 2x member being statistance.

6.5

63

(6.B)

6.7

S- Roof Truss to Wall

6.16

36

(26)

L- Wood Floor at Existing

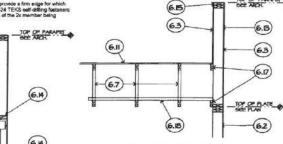
(6.1)

(32)

(2.1)

TOP OF PLATE

SLOPE, G.II

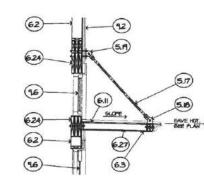


8.27) 2x canopy frame - see plan.

9.2) Extenor finish - refer to erchdecturel

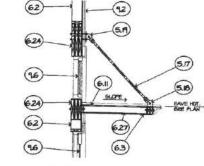
9.6) Store front - refer to erchitectural

U- Roof Deck to Wall

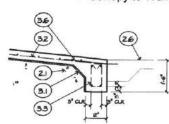


6.26) Two (2) continuous 2x runners ripped to fit between the adeting roof rathers and the 2x naises on top of the stock bears to provide support to the shallower roof framing members. Nail sects member to the TJI blocking with 1-100 rail at the pand between to hold numers in place. If necessary, provide physicol shall set get sold bearing at nating location.

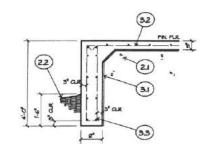
6.43) 2x6 continuous bearing plate boilted to beam flange with 1/2" diameter boilts at 16" on center stagger



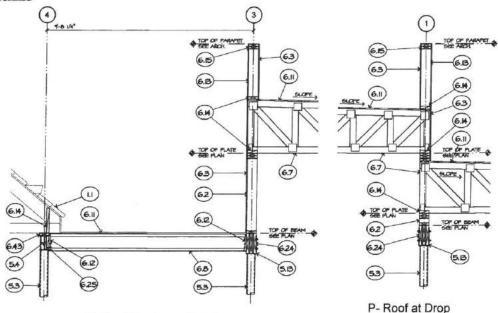
T- Canopy to Wall



M- Beam at Ramp



F- Exterior Beam at Patio



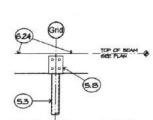
N- Roof Framing to Existing

G- Beams to Column

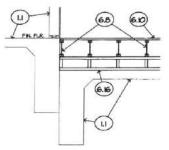
5.16 (5.10)

(6.1)

(2.1)

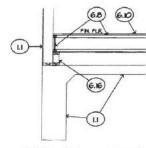


H- Wood Beams to Column



626

J- Wood Floor at Drop



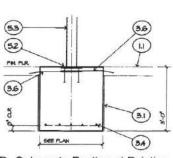
63

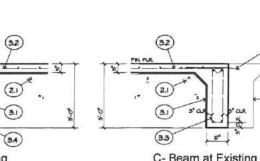
62

(II)

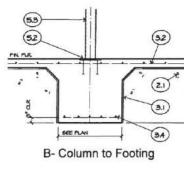
TOP OF PLATE

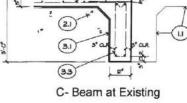
K- Wood Floor at Existing

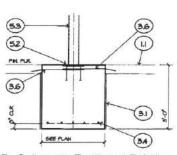


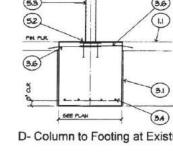


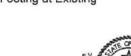
D- Column to Footing at Existing











BEICKER CONSULTANTS, LLC O

6,

E- Exterior Beam

**New Restaurant Addition** & Renovation for Ida Claire 7300 Jones Maltsberger San Antonio Texas 78209

STRUCTURAL / CONSTRUCTION ENGINEERS REVISION DESCRIPTION DATE JOB NO.

REV. • DESCRIPTION DATE DATE Sept. 2, 2018

Typical Structural Sections

1-5 1/2" A- Exterior Beam

63

(4.90)

(22)

- Keynotes
  1.1) Existing construction to remain.
- 2.1) Select structural compacted fill as recommended by the geotechnical engineer.
- 2.2) Final drainage of surface water from under floor and landscaped areas shall be constructed in a manner as recommended in the geotechnical report refer to civil site plan.
- 2.6) Flatwork refer to architectural
- 3.1) 10 mll thick plastic vapor retarder, type recommended to be in contact with the soil or fill under a concrete stab, lated in ASTM 1745 Class A with a permence less than 0.1 as determined by ASTM ESP. Polyetrieyne in ont acceptable, install supor retarder soldly within an observe table surface with joints supped at least 0 hohes and taped continuously with recommended pressure entarthy tape. Extend vapor related valor that such or the surface of the surface and fermand so that if does not within the control of the surface of the surf
- 3.2) #4 at 12 inches on center each way centered in concrete stab thickness. Extend elab trenforcing to tog custade perimeter beam ber. Staff elab steol specing not more than it inches from top inside beam ber. Add 3-44 diagonal bars x foliag slove bysoids sab reinforcing at all size interior corners. Add 44 47 bers on center where slab stops down greater than 3 inches.
- 3.3) 2-86 continuous beam reinforcing bars top and bottom with \$3 stirrups at 12" on center. Start stirrup spacing at ends of horizonate beam bars. Lap 69"2" bars to horizonate bars where beam stape down greater than 3". Lap 2-86 corner beam bars and 2-86 corner beam bottom to horizonate beam bars at beam corners and dead end beam intersections. For beams with depth exceeding 3-0", add \$4 continued height horizontal beam start and traveled to the same with depth exceeding 3-0", add \$4 continued height horizontal beam start and the same beam beam as declarated as \$6 continuous beam with \$6 of the same and \$6 continuous beams with \$6 of the same below mascenty lags.
- 3.4). Footing reinforcing shall be #5 bars at 8" on center both wave 3" clear from bottom of footing
- 3.6) #4 dowels x 30" long at 12" on center. Drill 6" angled downward into existing.
- 4.90) Mesoniy veneer refer to architectural.
- 5.2) 12" x 12" x 3/4" column base plate with 4-3/4" diameter HCA x 8" long.
- 5.3) Steel column see plan
- 5.4) Steel beam see plan.
- 5.10) 3/8" thick guiset plate through column welded continuous. Boll beam with number of 3/4" dismeter high strength bods as required for 1/2 elses in AISC beam tables.
- 5.13) 1/4" thick steel plate saddle welded to column continuous and botted to wood beam with 2-56" diameter through beats.
- 5.17) 1 inch diameter standard pipe canopy brace with 1/4" thick steel gueset plates at each end. Piri to canopy and wall brackets with 1 inch diameter pina.
- 5.18) 1/4" thick steel bracket botted to canopy frame with 1-1/2" diameter through boit.
- 5.19) 1/4" thick steel bracket bolted to wall with 4- 1/2" diameter through bolts.
- 5.1) 2x wolmenized slif piete anchored to foundation as noted
- 8.2) Extenor wood stud walls shall be framed with 2x5 stude at 16" on center unless noted otherwise, interior Wood stud walls shall be framed with 2x4 stude at 16" on center unless noted otherwise.

Install double end/or triple stude at all beam bearing points and at the ends of all diagonal left-in bracing. In addition, stude shall be doubted at all angles, corriers, and around all openings. Not less than 3 stude shall be installed at each wild comer. Blook between corner stude and nati along full height of stud with 18d natils at least at 24" on penter.

Provide a continuous sole plate at the bottom of all stud walls. Load bearing wall sole plates adjacent to mesonny and florae walls identified as sheer walls sink be workmarked and shall be blooked to the foundation as noted. Place anchors are maintainum of 22° or contest agracing to otherwise noted and within 12° from ends of discontinuous plates. Interfor non-load bearing walls can be bothed or shock to foundation. Toercall each stud to sole gives with at least 4.6d nails or end neil with at least 2.6 d nails. Face neal sole plates in upper level walls with of the study of the stud

Provide a continuous double plate at the top of all was stude. End joints in double top plates shall be offset at teas 48 inches. Corner joints in double top plates shall be lapped and face nailed with at least 2-186 mails. End nat top plate beach stud with at loast 2-18d nails. Face nail top plates with 15d nails at least at 15° on center.

6.3) Plywood wall sheething shall be 19/32" APA rated sheathing, exposure 1.

All exterior walls shall be effectively and thoroughly sheethed with solid exterior quality APA stated sheething. Block all edges. Nail with 8d nails at 4 inches on center at all edges and supports. Stateles shall not be used in place of nails.

6.7) Prefabricated 2x wood roof truss - see plan.

Floor and roof trusses shall bear within 5" of the stude beneath the double top pilate. Toe nail truss to top plate with at least 4-8d nails. Hurricane dip shall be specified after roview of truss submittals.

Unless otherwise indicated on the drawings, all certifievered joints shall extend into the building is distance equal to the antifiever. Caritievered joints running primphodicular to freming inside the building shall be connected to inside employ with standard joint hanges. Carrifievered joint running parallel to freming inside the building shall be nailed to the side of the inside members with 125d nails at 12°d center top and bottom.

- 6.8) TJi joist see plan
- 6.10) Phywood Flooring shall be 3/4" APA rated, 42/24 Exposure 1, tongue and groove phywood floor deck

Place tongue an groove plywood floor with required joint spaces between sheets and with end joints, staggered. Plywood grain shall be perpendicular to framing. Secure sheets over firm bearing. Provide adge blooking at all floor openings. Nat to framing members at plywood edges at 6" on center and at intermediate supports at 6" on center. Nat with at least 5d screw sharit nais.

6.11) Plywood Roof Deck shall be 5/8" APA rated deck, 48/24 Exposure 1.

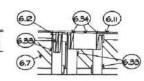
Place plywood roof sheathing with required joint spaces between sherts and with end joints staggared. Plywood gain shall be perpendicular to framing. Secure sheets over firm bearing. Provide acid to the province of the p

- 5.13) 2x paraper wall stude at 24" on center between trusses nailed to each truss with 16d nails. Extend from wall double top plate to parapet double top plate. Toe nail to wall top plate.
- 6.14) 2x blocking between parapet wall stud and roof truss at locations shown.
- 8.16) 2x4 party well.
- 6.17) 2x4 continuous nailed to each stud with at least 2-16d nails
- 6.18) 2x4 brace at 4'-0" on center naked to each truss bottom chord and continuous 2x4 with at least 2-16d risks.
- 5.19) Simpson H2.5A Hurricane Tie connecting existing 2x roof reffers to the new continuous blocking below. Attach per manufacturer recommendations.
- 5.23) 2x full height blocking between existing joints.
- 5.24) Wood beam see plan.
- 8.25) Two (2) continuous 2x runners located between the beam flanges as shown to provide a firm edge for which the joint hangers can be supported from. Screw to size the beam web with two #12-24 TEMS sed-difficing flastness x 22 CMT pagespaced at 15 or certain. Locate convex 11 from the top and bottom of the 2x members being separate.
- 6.26) Two (2) continuous 2x runners ripped to fit between the existing roof ruitiers and the 2x naise on top of the steet beam to provide support to the shallower roof framing members. Nat each member to the TJI blooking with 1-100 and at top and bottom to hold runners in place. If necessary, provide plywood shims to get solid bearing at nailing location.
- 6.33) 2x support at weight locations for roof mounted equipment. All equipment shall be mounted over a minimum of 2 joists or trusses.
- 6.34) 2x frame at edge of roof deck penetrations to provide firm support for roof deck.
- 6.43) 2x5 continuous bearing plate bolted to beam flange with 1/2" diameter bots at 16" on center staggered.
- 9.2) Extenor finish refer to architectural.







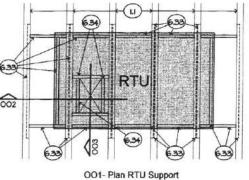


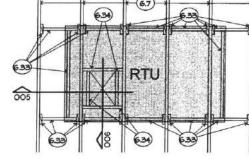
OO2- RTU Support

OO3- RTU Support

OO5- RTU Support

OO6- RTU Support

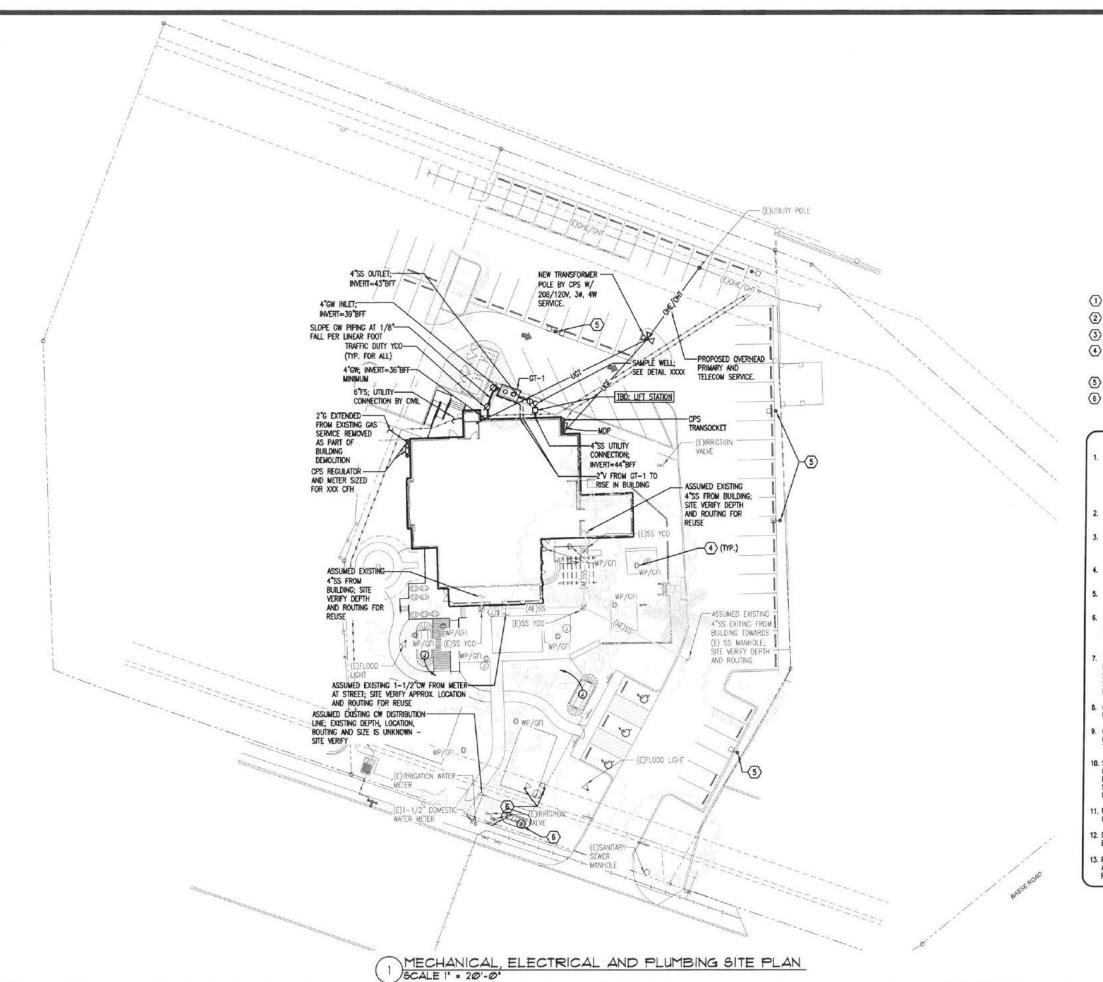




OO- RTU and Opening Details

004- Plan RTU Support





OR PERMIT PURPOSE NGINEER STEPHEN MITCHE #9931

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ADDITION I IDA CLAIRE

FOR II

NEW RESTAURANT A
RENOVATION FOR I
SAN ANTONIO, 1X 78209

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ELECTRICAL SITE PLAN KEYED NOTES (SHEET MEP1.1 ONLY)

- 1 THROUGH LIGHTING CONTACTOR; SEE 2/E4.1.
- (2) 2#12, 1#12 GND 3/4°C.
- 3 2 10, 1 10 GND, 3/4°C.
- (4) Egisting Device; locate and intercept egisting wire and conduit below grade and extend to New Panel as
- (5) EXISTING AREA LIGHT; CLEAN AND RELAMP.
- (6) EXISTING FLOOD LIGHT; SHALL BE REMOVED. EXTEND CIRCUIT TO NEW SIGN CIRCUIT LOCATION.

# GENERAL SITE ELECTRICAL NOTES:

- CALL BIT TO SUBMIT A LOCATE REDUEST, CONTRACTOR TO DETERMINE THE PRESENCE AND LOCATION OF ANY UNDERGROUND UTILITIES SUCH AS TELEPHONE, ELECTRIC POWER, MAYER, GAS, SYMACE LINES, ETC. WHICHER PREVIOUSLY EXISTING OR AS INSTALLED BY OTHER TRADES, PRIOR TO THE START OF
- 2. HAND DIG IN AREAS SUSPECTED TO CONTAIN EXISTING OR NEW UTILITIES.
- . ALL SITE UNDERGROUND CONDUIT SHALL BE BURIED A MINIMUM OF 24 INCHES DEEP BELOW FINISHED GRADE UNLESS OTHERWISE NOTED. MINIMUM CONDUIT SIZE BELOW GRADE SHALL BE 3/4".
- PROVIDE ANSI COLOR TAPE FOR IDENTIFICATION AT 18 INCHES DEEP ABOVE SERVICE CONDUIT RUNS.
- ALL CONDUIT ELBOWS AND TURNS SHALL BE MADE WITH LONG SWEEP ELLS.
- CONTRACTOR SHALL PROVIDE ALL EXCAVATING AND BACK FILLING REQUIRED FOR ALL NEW WORK INCLUDING FILL, COMPACTION, SURFACE, ETC. TO MEET ALL REQUIREMENTS AS APPLICABLE FOR
- . TELEPHONE AND CABLE TV CONDUITS SHALL BE BURIED 24"
  MINIMUM BELOW GRAVE, WITH LONG SWEEP TURNS AND A MINIMUM
  SEPARATION OF 2"-0" FROM POWER CONDUITS. COORDINATE ALL
  SERVICE CONDUIT ROUTING WITH UTILITY COMPANY
- COORDINATE ALL ELECTRICAL SERVICE REQUIREMENTS WITH POWER UTILITY COMPANY REPRESENTATIVE PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL MAINTAIN AN AS-BUILT DIMENSIONAL DRAWING ON SITE SHOWING ALL UNDERGROUND CONDUIT ROUTING AND
- 10. SECONDARY POWER CONDUIT, TELEPHONE SERVICE CONDUIT, AND CABLE TV CONDUIT ROUTING SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. ACTUAL ROUTING AND TERMINATION POINTS SHALL BE VERRIFED AND COORDINATED WITH OWNER AND LOCAL UTILITIES PRIOR TO START OF WORK.
- PROVIDE PULL-STRING IN ALL EMPTY CONDUITS. CAP EMPTY CONDUITS BELOW GRADE WATER TIGHT.
- DO NOT TRENCH OR ROUTE CONDUIT WITHIN DRIP LINES OF EXISTING TREES.
- REPAIR AT NO ADDITIONAL COST TO OWNER OR A/E DAMAGE TO ALL EXISTING SITE ELEMENTS AS REQUIRED TO MATCH EXISTING PRECONSTRUCTION CONDITIONS.

ESA Mechanical & Electrical Engineering, Inc.

1100 MW Loop 410, Suffe 610 210.342,3483
Sen Antonio, Terzes 78213 F 210.342,3641

384 No. 1644 F-H37

DATE: 11/16/18

espartners,inc

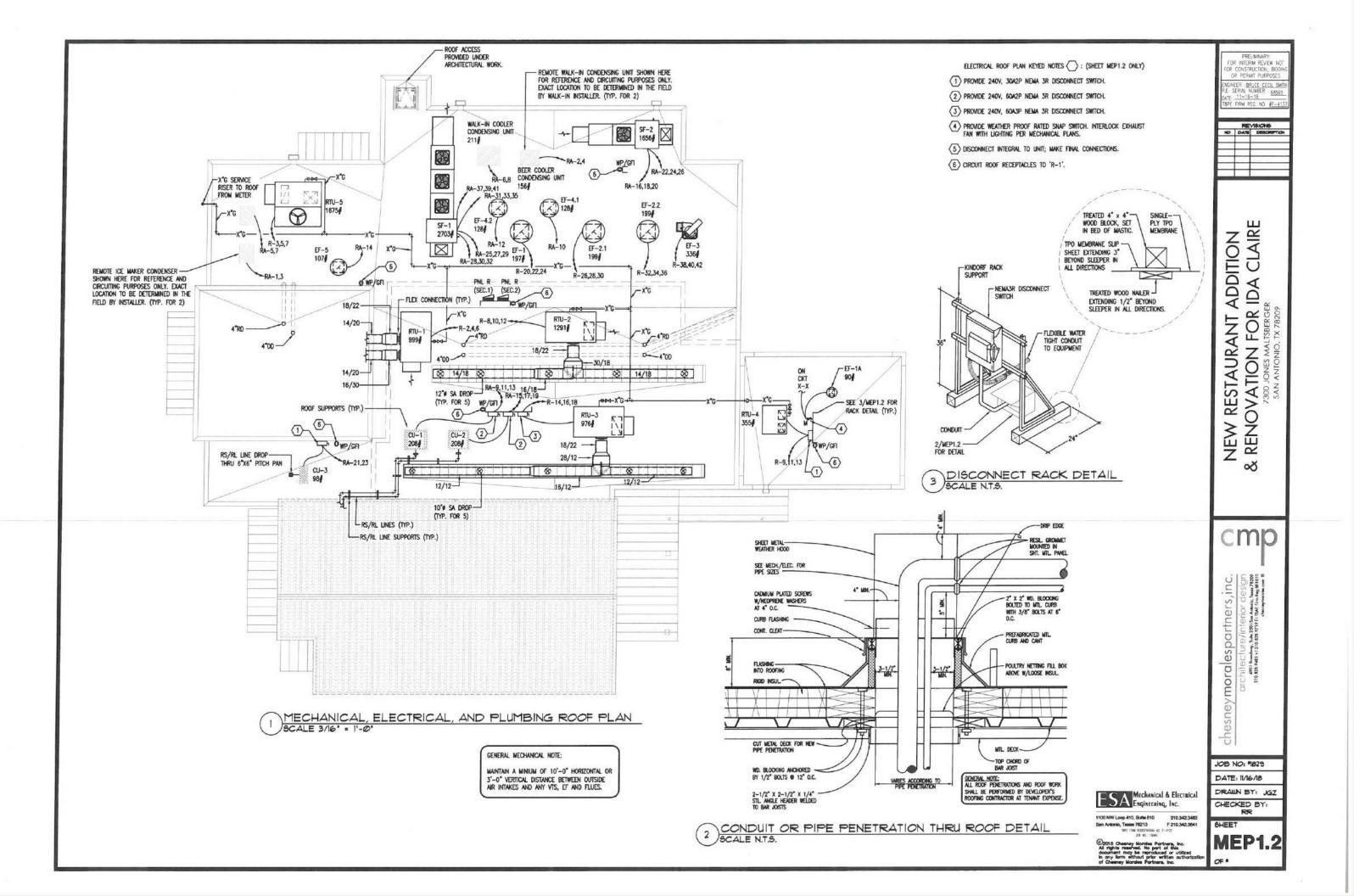
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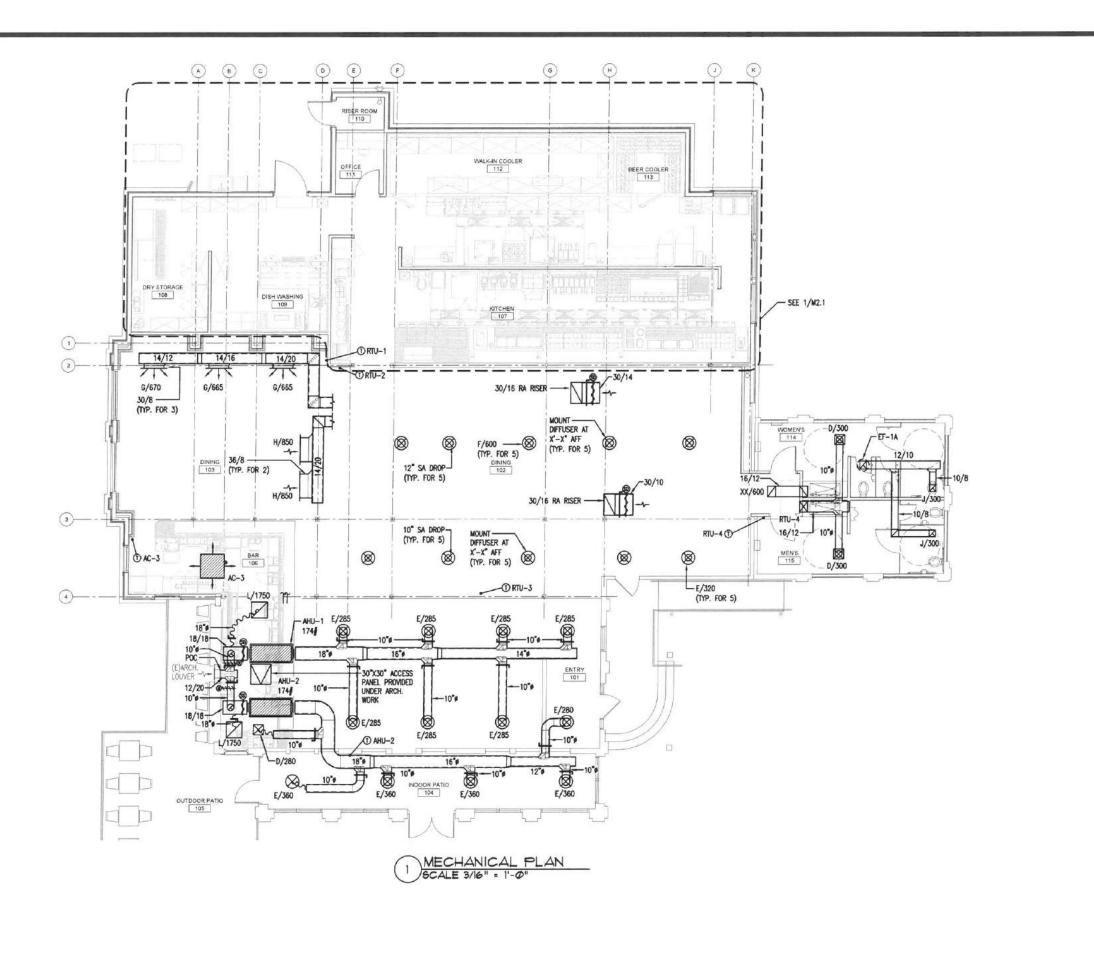
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CHECKED BY: SALM

SHEET **MEP1.1** 





PRELIMINARY: FOR INTERIM REVIEW NO OR PERMIT PURPOSES

ENGINEER :BRUCE CECIL SMIT P.E. SERIAL NUMBER : 68595 DATE 11-16-18 TBPE FIRM REG. NO. #F-413

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

cmp

CTHECTURE/INTERIOR DESIGN
4001 Brooking, Suit 2501 San Androin, Tean 78209
210 828,9481 vi 210.828,9719 i Track firm Reg 810100
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chesney morales partners, inc.

JOB NO 9829

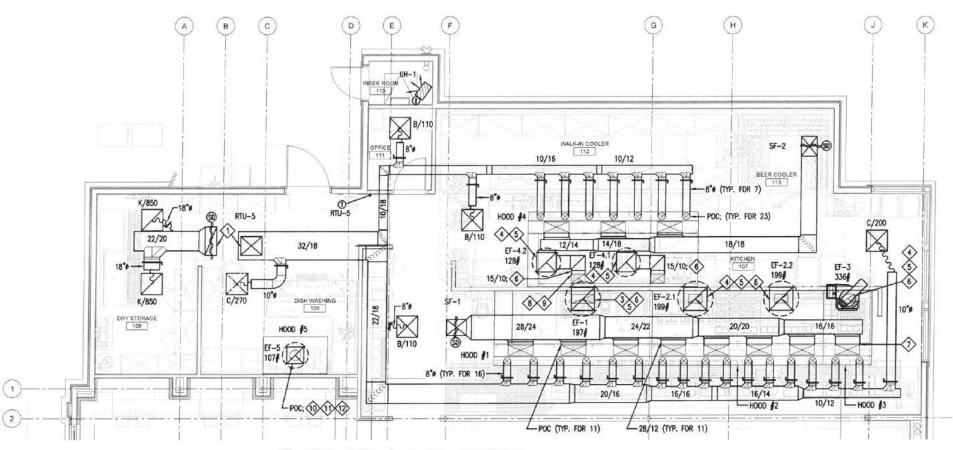
DATE 11/16/18

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SHEET M1.1

1100 NW Loop 410, Suite 810 210.342.3483 Sen Antonio, Texas 78213 F 210.342.3841 Text Text September 40 F-4137

ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.



MECHANICAL PLAN - KITCHEN SCALE 1/4" = 1'-0"

MECHANICAL KEYED NOTES : (SHEET M1.2 ONLY)

- 1 PROVIDE FULL RADIUS TURN WITH TURNING VANES FOR SUPPLY AIR DROP
  AND RETURN AIR RISER.
- 2 LINE OF KITCHEN HOOD, COORDINATE WITH OWNERS KITCHEN CONSULTANT FOR HOOD NO., CONNECTION ETC.
- 3 3 25/10 EA RISER WITH TRANSITION TO EXHAUST FAN ON THE ROOF.
- 4 15/10 EA RISER WITH TRANSITION TO EXHAUST FAN ON THE ROOF.
- 5> 5 PROVIDE 3M 'FIREMASTER OR APPROVED EQUAL FLEXIBLE DUCT WRAP SYSTEM ASSOCIATED ACCESS PANELS, ETC. PER MANUFACTURER'S RECOMMENDATION; PROVIDE DUCTWORK CLEANOUTS AS REQUIRED TO CEILING ACCESS PANELS TO CAIN ACCESS TO AFORMENTIONED DUCTWORK ACCESS PANELS; COORDINATE MANUFACTURER, STYLE AND LOCATION WITH ARCHITECT AND OWNERS KITCHEN
- 6) 6 CREASE DUCT FABRICATED AND INSTALLED IN ACCORDANCE WITH NFPA 96. PROVIDE ACCESS PANELS AS REQUIRED FOR INSPECTION AND CLEANING.
- 7 7 28/12 SA HOOD DUCT CONNECTION; POC (TYP. FOR 11).
- 8 8 15/10 EA HOOD DUCT CONNECTION; POC (TYP. FOR 6).
- 9 DUCTWORK SHALL BE INSTALLED TO PROVIDE MAXIMUM SLOPE AS POSSIBLE;
  CONTRACTOR SHALL COORDINATE WITH BUILDING STRUCTURE, ELECTRICAL AND PLUMBING WORK PRIOR TO INSTALLATION (TYP.).
- 10 10 12 SS EA RISER WITH TRANSITION TO EXHAUST FAN ON THE ROOF.
- 11 12'SS EA DUCT CONNECT TO DISH MACHINE VENT COWL.
- 12 SS DISH MACHINE EA DUCT SHALL BE FURNISHED BY CAPTIVEAURE ND INSTALLED BY OWNERS KITCHEN CONSULTANT...

GENERAL HOOD, FAN UNIT, DISHWASHER, DUCTWORK, AIR DEVICE AND HOOD CONTROLS NOTES: (TYP. FOR M1.2, M4.1 THRU M4.7)

- 1. HOODS, FAN UNITS, ANSUL FIRE SUPPRESSION SYSTEM AND HOOD CONTROLS SIZED AND FURNISHED BY CAPTIVE AIRE AND INSTALLED BY OWNER'S KITCHEN CONSULTANT.
- DISHWASHER SHALL BE FURNISHED AND INSTALLED BY OWNER'S KITCHEN CONSULTANT.
- 3. ALL GREASE DUCT SHALL BE FURNISHED BY CAPTIVE AIRE AND INSTALLED BY OWNER'S KITCHEN CONSULTANT.
- 4. ALL DUCTWORK (EXCEPT GREASE DUCT) SHALL BE FURNISHED AND
- 5. HOOD/RTU INTERLOCKS AND FAN UNIT NO. 1-5 MANUAL WALL SWITCHES PROVIDED UNDER OWNER'S KITCHEN CONSULTANT.
- 6. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #1 UNDER OWNER'S KITCHEN CONSULTANT.
- 7. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #2.1 AND FAN UNIT \$2.2 UNDER OWNER'S KITCHEN CONSULTANT.
- 8. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #3 UNDER OWNER'S KITCHEN CONSULTANT.
- 9. PROVIDE CONTACTORS IN HOOD TO INTERLOCK FAN UNIT #4.1 AND FAN UNIT #4.2 UNDER OWNER'S KITCHEN CONSULTANT.
- MECHANICAL CONTRACTOR SHALL INSTALL THE DUCTWORK TO MAKE SURE NO GAP BETWEEN THE DUCTWORK AND ROOF CURB, ANY GAP WILL MAKE RAIN, GREASE AND SMOKE LEAK BACK INTO THE BUILDING, CAUSE DAMAGE AND IMPROPER EXHAUST FLOW RATE.
- MECHANICAL CONTRACTOR SHALL USE CONTINUOUS WELDING FOR ANY DUCT EXTENSION. SPOT WELDING IS NOT ACCEPTABLE.

OR PERMIT PURPOSES CINEER : BRUCE CECIL SMIT 68595

REVISIONS NO DATE DESCRI

ADDITION R IDA CLAIRE NEW RESTAURANT ADD RENOVATION FOR IDA



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4901 Broadway, Sulte 2501 San Autonio, Texas 78209 828.9481 v 1210.828 9719 f. Taxae Fran Reg BR1010 moralespartners,inc

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ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.

1100 NW Loop 410, Suite 810 210.342.3483 Sen Antonio, Texas 78213 F 210.342.3641

WARK	CFM RANGE	SUPPLY	RETURN	DAY/	NECK SIZE	THROW	DAMPER	LOCATION	REMARKS (TITUS MODEL #)
A	5-100				6"#	4-W	NO	LAY-IN CEILING	TMS-AA, TYPE 3 BORDER 24"X24" MODULE
В	105-200	•			8*#	4-W	NO	LAY-IN CEILING	TMS-AA, TYPE 3 BORDER 24"X24" MODULE
С	205-330	•			10*#	4-W	NO	LAY-IN CEILING	TMS-AA, TYPE 3 BORDER 24"X24" MODULE
D	205-330	•			10"≠	4-W	YES	SURFACE	TDC, TYPE 1 BORDER 12"X12" MODULE
E	220-360	•			10"#		YES	22	TMRA
F	365-600	•			12"#		YES		TMRA
G	595-745	•			30"X8"		YES	WALL	272RL; 22-1/2" DEFLECTION
Н	750-1000		•	4	36"X8"		YES	WALL	350RL
J	250-300				10"X10"		YES	SURFACE	350RL
K	850-1500		•		18"X18"		NO	LAY-IN CEILING	PAR, TYPE 3 BORDER 24"X24" MODULE
L	1500-2000		•		22"X22"		NO	SURFACE	PAR, TYPE 1 BORDER 24"X24" MODULE

### NOTES:

- 1. NOT ALL MARKS MAY BE USED.
- 2. PROVIDE SQUARE-TO-ROUND TRANSITIONS WHERE ROUND DUCT ATTACHED TO AIR DEVICE WITH SQUARE OR RECTANGULAR NECK.

EQUIVALENT MANUFACTURERS: ANEMOSTAT, METAL-AIRE, E.H. PRICE AND KRUEGER

	4054	-	/C SYSTE	М	KITCHEN E	H. HOODS	GEN. EXH
MARK	AREA SERVED	SA CFM	RA CFM	OA CFM	EXHAUST CFM	MAKE-UP CFM	EXHAUST CFM
RTU-1	DINNING 106	2000	1700	300			
RTU-2	DINNING 113/115	3000	2400	600			
RTU-3	DINNING 114	1600	1300	300			
RTU-4	MEN/WOMEN	600	600	-			
RTU-5	KITCHEN	4000	1700	2300			
AHU-1&2	DINING 102, INDOOR PATIO 103	4000	3500	500			
EF-1A	MEN/WOMEN						600
KH #1,2	KITCHEN				8033 EF-1, 2.1, 2.2 & 3	6194 SF-1	$\vdash$
KH #4	KITCHEN				3120 EF-4.1 & 4.2	2496 E-2	
KH <b>∦</b> 5	DISH WASHER				900 EF-5		
	KITCHEN SIDE	4,000	1,700	2,300	12,053	8690	0
	N-KITCHEN SIDE	11,200	9,500	1700	0 1	0	600
OUTSIDE AIR MAKE-UP AI FOTAL OUTSI	FROM KITCHEN EXH. GENERAL EXHAUST			KITCHEN 2,30 = 8,69 = 10,99 = 12,05 = 12,05	0 0 0 0 3	1,700 N/A 1,700 N/A 600 600	)
OTAL OUTSI				= 10,99 = 12,05		1,700	)

					RO	OFTO	PI	JNIT	S	CHE	DUI	LE-	-GAS	S H	EAT	
MARK	SA	OA	ESP	EAT	COOLING I	MBTUH (1)	MBTU	H HEAT	FAN	ELEC	EER	FLA	MCA	MOCP	WT	REMARKS
MATTA	CFM	CFM	IN. WG	DEG F	TOTAL	SENS	INPUT	OUTPUT	HP	V/PH	EEK	TLA	AMPS	AMPS	LBS	(TRANE MODEL ₽)
RTU-1	2,000	300	0.50"	81.0/68.6	57.5	41.4	80	64	1.0	208/3	13.0	27.6	32.2	45	999#	YHC067E 2 3 4 5 6 7 8 9 11 10 13
RTU-2	3,000	600	1.0"	81.0/68.6	88.9	64.1	150	120	2.75	208/3	12.6	37.2	42.4	50	1291#	YHC092F 2 3 4 5 6 7 8 9 11 10 14
RTU-3	1,600	300	0.5°	80.6/68.5	48.3	33.6	80	64	1.0	208/3	13.0	25.4	29.4	40	9764	YHC047E 2 (3) (4) (6) (7) (8) (9) (10) (12
RTU-4	600		0.5"	75.0/64.0	23.8	18.5	48	38.8	0.50	208/1	12.0	15.7	18.4	25	355#	4YCY5024

- 1 AT 105'F AMBIENT AND COIL EAT.
- ② UNIT SHALL BE FURNISHED WITH FACTORY LOUVERED STEEL HAIL GUARD, LOW AMBIENT KIT, ③ PROVIDE THERMOSTAT LOCKING COVER. 24" HIGH ROOF CURB, BIRDSCREEN, 2" THICK THROWAWAY FILTERS AND DUAL COMPRESSORS.
- 3 UNIT SHALL BE FURNISHED WITH ULTRA LOW LEAKAGE ECONOMIZER WITH ENTHALPY CONTROL AND FAULT DETECTION AND DIAGNOSTIC, AND WEATHERPROOF OA HOOD.
- ① DUCT SMOKE DETECTORS PROVIDED AND CIRCUITED BY FIRE ALARM CONTRACTOR.
- (5) PROVIDE WALL MOUNTED HUMIDISTAT (HUMIDITY SHALL BE SET AT 60% MAX.).
- 6 PROMDE BAROMETRIC RELIEF.
- PROVIDE FACTORY MOUNTED AND WIRED CONDENSATE OVERFLOW SWITCH. EQUIVALENT MANUFACTURER: YORK, LENNOX, DAIKIN AND CARRIER.

- 8 PROVIDE REMOTE TEMPERATURE SENSOR WITH THERMOSTAT.
- 10 PROVIDE 1ST YEAR PARTS AND LABOR WARRANTY.
- 1 PROVIDE HOT GAS RE-HEAT.
- (12) ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-3 AND HOOD 

  1.
- (3) ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-1 AND HOOD  $\slash\!\!/\ 2$ .

			AIF	R H	ANDLI	NG U	NIT SCH	EDULE	_	ELEC	TRIC	СН	EAT		
MARK	TOTAL AIR	OUTSIDE AIR	EXT. SP. IN WTR.	EAT	COOLING TOTAL	MBTUH(1) SENS	MBTUH HEAT 0 47F AMB (5)	KW HEAT 0 208/3#	FAN HP	ELEC. (V/ø)	MCA	MOCP	WT.	REM (TRANE A	
AHU-1	2000	250	0.50°	78.7/ 64.9	53.1	43.7	55.0	10.8	3/4	208/3	45.0	45	174#	TEM6A0C60	2346
AHU-2	2000	250	0.50"	78.7/ 64.9	53.1	43.7	55.0	10.8	3/4	208/3	45.0	45	174	TEM6A0C60	2346

- 1) AT 105'F AMBIENT AND COIL ENTERING AIR TEMPERATURE WITH CORRESPONDING CONDENSING UNIT.
- (2) UNIT SHALL BE FURNISHED WITH PROGRAMMABLE THERMOSTAT WITH NIGHT SETBACK, AND 1" THICK THROWAWAY FILTERS.
- PROVIDE 1" THICK FILTER IN E-Z FILTER BASE (E-Z FILTER BASE MANUFACTURING: 214-328-9800; AVAILABLE THRU INSCO AND OTHER LOCAL SUPPLIER).
- 4 PROVIDE THERMOSTAT GUARD WITH LOCKING COVER.
- (5) WITH CORRESPONDING HEAT PUMP CONDENSING UNIT.
- (6) DUCT SMOKE DAMPER SHALL BE PROVIDED AND INSTALLED BY FIRE ALARM CONTRACTOR.

EQUIVALENT MANUFACTURERS: CARRIER, YORK, DAIKIN, AND LENNOX

		HEAT	PUMP	CONDE	NSING U	INIT	SCH	EDUI	E			
MARK	TOT. MBTUH/ 1	NOM. CAPACITY	AMBIENT TEMP.	MIN. EFFICY.	ELEC V/#/FLA	COP	HSPF	MCA	MOCP	OPER. WT.	REMARKS (TRANE MODEL #)	
CU-1	53.1/43.7	5.0 TONS	105°F	16.5 SEER	208/3/17.5	4.0	9.5	22.0	35	2934	4TWA7060	2
CU-2	53.1/43.7	5.0 TONS	105°F	16.5 SEER	208/3/17.5	4.0	9.5	22.0	35	293#	4TWA7060	2

- 1) AT 105'F AMBIENT WITH CORRESPONDING COOLING COIL EAT
- Unit shall be furnished with factory low ambient controller, evaporator freezestat, cycle protector, condenser coil hail guard, crankcase heater and filter drier.

EQUIVALENT MANUFACTURERS: CARRIER, YORK, DAIKIN, AND LENNOX

			EXH	HAUST	FA	N S	SCH	EDULE			
	AREA	200		EXT.	ELI	CTRIC	AL.	CONTROL	OPER	REMARKS	87
MARK	SERVED	TYPE	CFM	EXT. SP	٧		HP	WITH	WT	(COOK MODEL	4)
EF-1A	MEN/WOMEN RR	ROOF EXH.	600	0.50*	115	1	1/8	LIGHT SWITCH	70#	ACED-K101C15D	1

1 UNIT SHALL BE U.L. LISTED, A.M.C.A. CERTIFIED AND FURNISHED WITH FACTORY BACKDRAFT DAMPER, FAN SPEED CONTROL, 9.5" CURB BIRDSCREEN, DAMPER TRAY, AND DISCONNECT SWITCH.

EQUIVALENT MANUFACTURERS: GREENHECK, PENN-VENTILATOR, TWIN CITY, AND ACME.

	MARK	DESCRIPTION	
	Ø A/350	AIR DEVICE W/MARK, CITM	
	20/16	DUCT WITH DIMENSION: PLAN/DEPTH	
1	$\boxtimes$	SUPPLY AIR SA	
	Ø	RETURN AIR RA	
		OUTSIDE/EXH. OR TRANSFER AIR OA/EA/TA	
ĺ	A PA	RADIUS ELBOW WITH TURNING VANES	
	747	SPLITTER DAMPER	
I	四田	TRANSITION	
I	==	FLEXIBLE CONNECTION	
l		DUCT DROP	
	®~~	DUCT SMOKE DETECTOR	
İ	~~~~	FLEXIBLE DUCT	
İ	H 4~~	VOLUME DAMPER VD	
Ì		return or exhaust air	
ĺ	_	DIRECTION OF AIR FLOW	
I	•	DENOTES MECHANICAL KEYED NOTE	
I	① RTU	TEMPERATURE SENSOR	
	AFF	ABOVE FINISHED FLOOR	
	QA.	OUTSIDE AIR	
	RTU	ROOFTOP UNIT	
	W.	ACCESS PANEL	
I	Œ	EXHAUST FAN	
l	WW	variable air volume	
	FPVAV	FAN POWERED VARIABLE AIR VOLLIME BOX	
	POC	POINT OF CONNECTION	
	(E)	DENOTES EXISTING	
	UH	UNIT HEATER	
Ī	(E)	CARBON DICKEDE	
	КН	KITCHEN HOOD	
ľ	⊕ <sub>KTU</sub>	HUMIDISTAT	

MECHANICAL LEGEND

DESCRIPTION

	ELEC1	TRIC	UNI	T HEA	TER	SC	HED	ULE
MARK	TYPE	CFM	KW	MOTOR (V/PH)	FLA	MOCP	OPER. WT.	REMARKS (MARKEL MODEL#)
UH-1	HORIZONTAL DISCHARGE	400	2.5	208/3	6.9	15	25#	HF2B5103N 1 2

- 1 UNIT SHALL BE FURNISHED WITH ADJUSTABLE LOUVERS, THERMOSTAT (STAND ALONE), SUMMER FAN SWITCH, AND CEILING SUSPENSION KITS.
- VERTICAL DISCHARGE UNIT. PROVIDE VERTICAL MOUNT BRACKET. EQUIVALENT MANUFACTURERS: REDD-I, Q-MARK AND TRANE

	0U1	ISIDE A	AIR SCHE	DULE		
UNIT	SPACE	AREA (SQ.FT.)	CFM/PEOPLE	CFM/SF	O/A REQUIRED	0/A PROMDED
RTU-1,2,3 & RTU-4	DINING AREA	2,728	7.5 (X129)	0.18	1458	1200
AHU-1&2	DINING AREA	1,199	7.5 (X57)	0.18	643	500
RTU-5	KITCHEN	1,860	7.5 (X10)	0.18	410	2300
	BUILDING TOTAL	5,787			2511	4000

\* PER TABLE 403.3, CITY OF SAN ANTONIO AMENDMENT TO THE 2018 INTERNATIONAL MECHANICAL CODE.

ESA Mechanical & Electrical Engineering, Inc.

1100 NW Loop 410, Suffie 810 210.342.3483
Sen Antonio, Texas 78213 F 210.342.3641
18FC RRW RESERVICE NO. 7-4137

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NONEER BRUCE CECIL SMI E. SERIAL NUMBER 68595

HO DATE DESCRIP

OR PERMIT PURPOSES

CLAIRE ADDITION NEW RESTAURANT ADDIT
& RENOVATION FOR IDA C
7300 JONES MALTSBERGER
SAN ANTONIO, IX 78209

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moralespartners,inc. Salte 250 | San Antonio, Texas 78209 1.828.9719 F | TMAE Firm Reg 881010 chessensorales com III 4901 Broodway.

JOB NO 4829

DATE 11/16/18 DRAWN BY JGZ

CHECKED BY

SHEET

						GA	S-FI	RED F	ROOF	TOP	UNIT	SCH	HEDU	LE			
MARK	SA	OA.	ESP	EAT		MBTUH (1)		MBTUH	FAN	ELEC	FLA	EER	MÇA	MOCP	WT	MODEL NUMBER	REMARKS
	CFM	CFM	IN. WG	DEG F	TOTAL	SENS	INPUT	OUTPUT	HP	V/PH			AMPS	AMPS	LBS	AAON	
RTU-5	4000	2300	1.0	89.9/72.2	128.9	121.1	120.0	97.2	3.0	208/3	46.0	10.0	54	80	1315	RN-010-B-0-EA09	023056789
										No. No.					acontrops		

NOTES:

- 1 AT 105'F DB/77'F WB AMBIENT AND COIL EAT.
- ② UNIT SHALL BE FURNISHED WITH CONDENSER COIL HAIL GUARD, LOW AMBIENT KIT, BIRDSCREEN, BAROMETRIC RELIEF, AND 2" THICK THROWAWAY FILTERS.
- DUCT SMOKE DETECTOR PROVIDED AND INSTALLED BY FIRE ALARM CONTRACTOR. 3
- PROVIDE PROGRAMMABLE THERMOSTAT WITH NIGHT SET-BACK. 0
- PROMDE FIVE (5) YEARS PARTS AND ONE (1) YEAR LABOR WARRANTY. 3 EQUIVALENT MANUFACTURER: DESERT-AIRE

(6) UNIT SHALL BE FURNISHED WITH ULTRA LOW LEAKAGE ECONOMIZER WITH ENTHALPY CONTROL FAULT DETECTION AND DIAGNOSTIC, AND WEATHERPROOF OA

- 7 PROVIDE THERMOSTAT GUARD WITH LOCKING COVER.
- B PROVIDE FACTORY MOUNTED AND WIRED CONDENSATE OVERFLOW SWITCH.
- (9) ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS TO HARDWIRE INTERLOCK RTU-5 AND HOOD NO #4.

TO	-										OIL	DULE	•		
	OTAL O	OUTSIDE AIR	EXT. SP. IN WTR.	EAT 'F	COOLING	MBTUH (1) SENS	COIL	MBTUH HEAT AT 47'F AMBIENT	FAN F.LA	ELEC. V/ø	MCA	MOCP	OPER. WT.	REMAR (MITSUBISHI N	KS MODEL #)
AC-3 420-	0-600	2	N/A	75/ 63	18.0	15.3	N/A	23.0	0.36	208/1	1.0	•	364	PLA-A18	350

- 1 AT 80"/67"F WET/DRY BULB INDOOR, 95"F AMBIENT.
- 4 INDOOR UNIT SHALL RECEIVE POWER FROM OUTDOOR UNIT THROUGH FIELD—SUPPLIED INTERCONNECTED WIRING.
- 2 UNIT NOT CAPABLE OF BRINGING IN OA.
- 3 PROVIDE 24V REMOTE WALL THERMOSTAT.
- (5) UNIT SHALL BE FURNISHED WITH CONDENSATE PUMP. ASPEN MODEL #FP2124 OR APPROVED EQUAL.
- EQUIVALENT MANUFACTURERS: LG AND DAIKIN
- 6 UNIT SHALL BE FURNISHED WITH TAZ-MS303 3-POLE DISCONNECT SWITCH.

		(	CONDENS	SING	UNIT	SCH	EDULE			
MARK	TOT. MBTUH/ (1 SENS. MBTUH	AMBIENT TEMP.	EFFIC'Y.	SEER (4)	MCA	MOCP	ELEC V/#/FLA	OPER. WT.		MARKS HI MODEL #)
CU-3	18.0/15.3	95°F	24.6 SEER	13.0	11.0	28	208/1/N/A	90#	PUZ-A18NK	2356

- 1) AT 95'F AMBIENT WITH CORRESPONDING AC AT IT'S COOLING COIL EAT.
- (2) PROVIDE SINGLE POINT CONNECTION FOR BOTH CONDENSING UNIT AND AIR HANDLING UNIT.
- 3 REFRIGERANT LINE SIZE SHALL BE PER MANUFACTURER RECOMMENDATION. MAXIMUM VERTICAL REFRIGERANT PIPE LENGTH SHALL BE 20' (MAX). TOTAL REFRIGERANT PIPE LENGTH SHALL NOT EXCEED 60'.
  - EQUIVALENT MANUFACTURERS: LG AND DAIKIN

- MINIMUM EFFICIENCY REQUIRED PER TABLE 503.2.3(1); IECC 2018.
- 5) PROVIDE LOW AMBIENT CONTROLLER (DOWN TO O'F AMBIENT) AT FULL COOLING CAPACITY.
- 6 HSPF = 11.0

ENGINEER BRUCE CECIL SMITH P.E. SERIAL NUMBER 68595 DATE 11-16-18 TBPE FIRM REG. NO. #F-413

REVISIONS
NO DATE DESCRIPT

NEW RESTAURANT ADDITION
RENOVATION FOR IDA CLAIR
RANDOMES MALTSBERGER
SAN ANTONIO, TX 78209

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4901 Breadway, Suite 2201 San Arbeiro, Tears 78209 825 9481 v 1210 828 9719 Flank Frim Reg 8R1010 moralespartners,inc.

JOB NO 4829 DATE 11/16/18

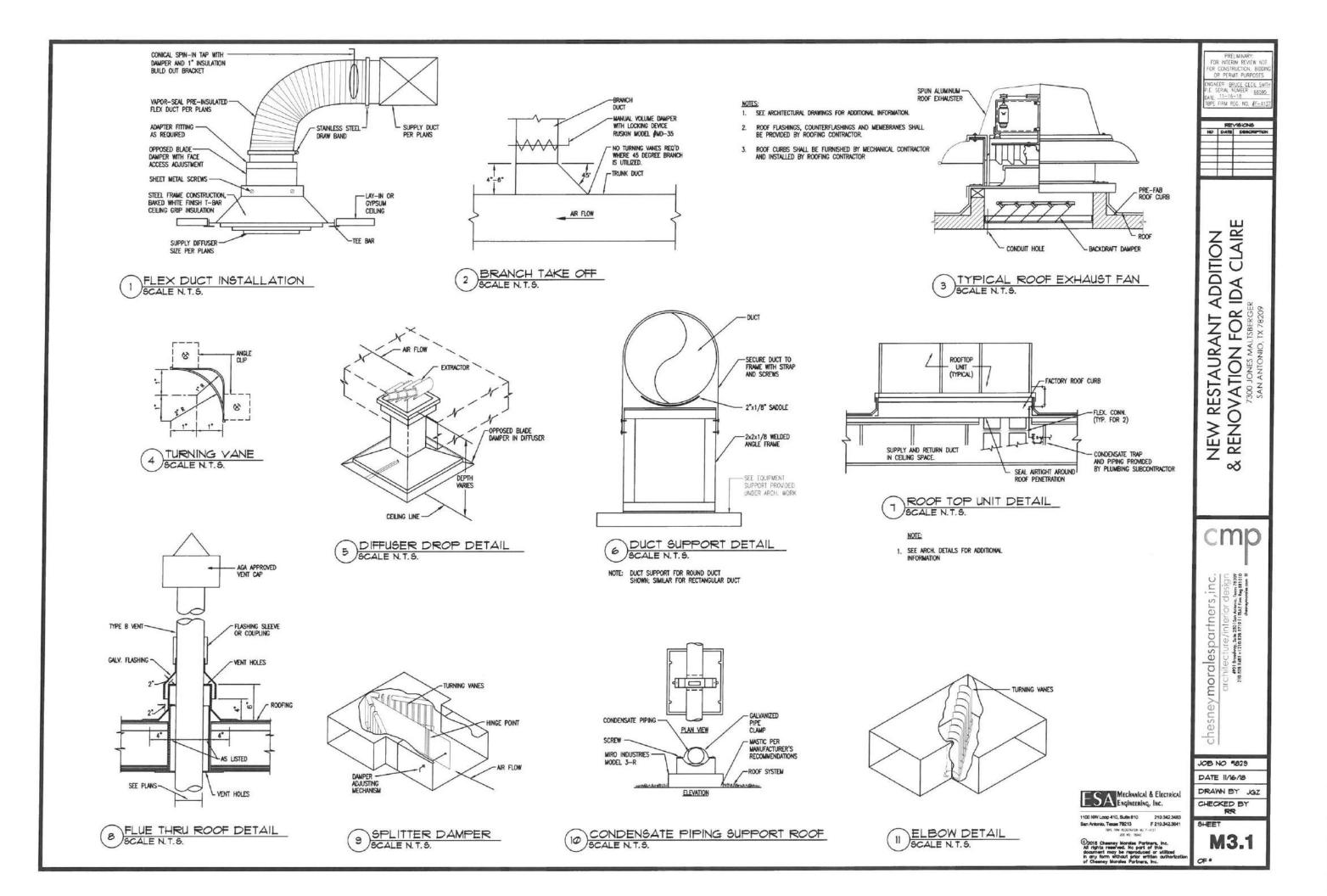
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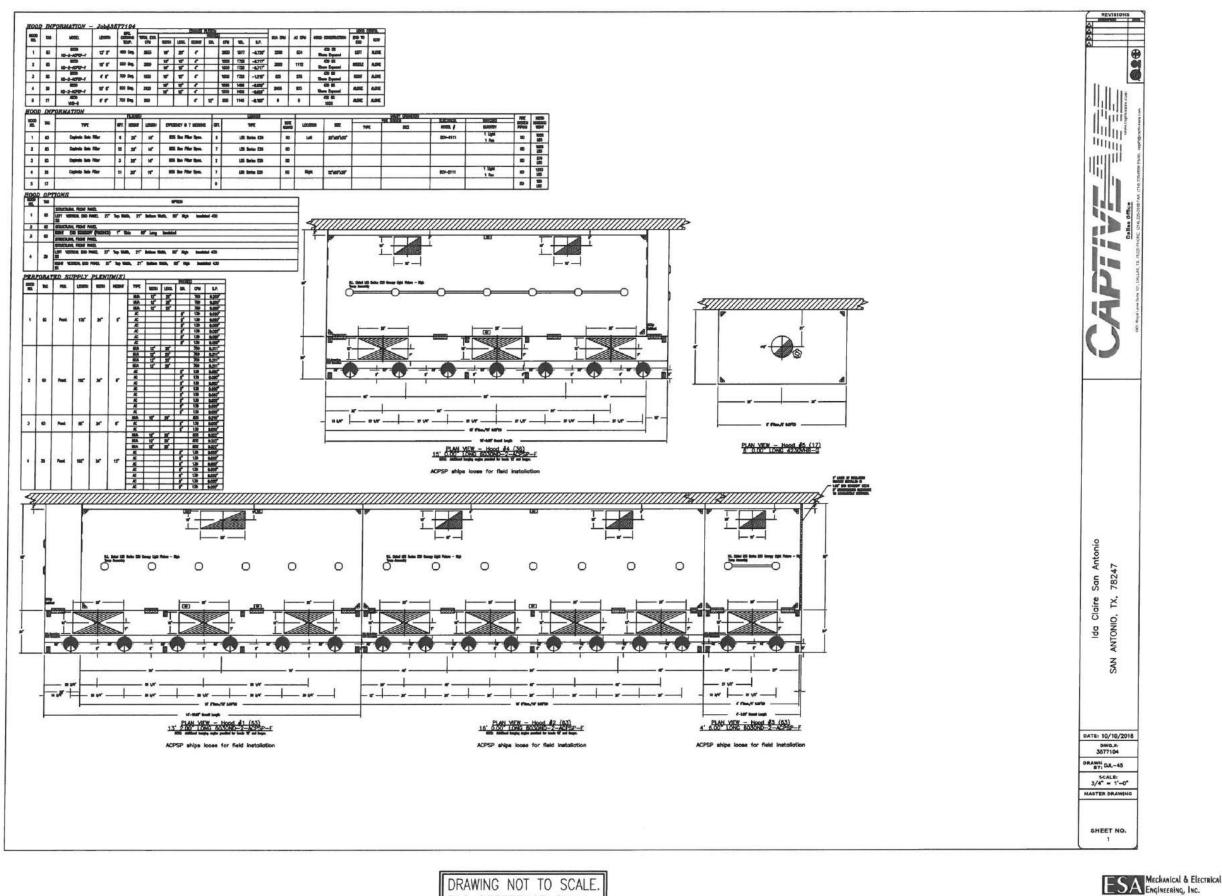
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ESA Mechanical & Electrical Engineering, Inc.

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NGINEER : BRUCE CECIL SMITH E. SERIAL NUMBER : 68595 BPE FIRM REG. NO. #F-4

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esney moralespartners, inc. 4701 Broadway, Sulte 2501 San 1828,9481 v | 210.828,9719 f

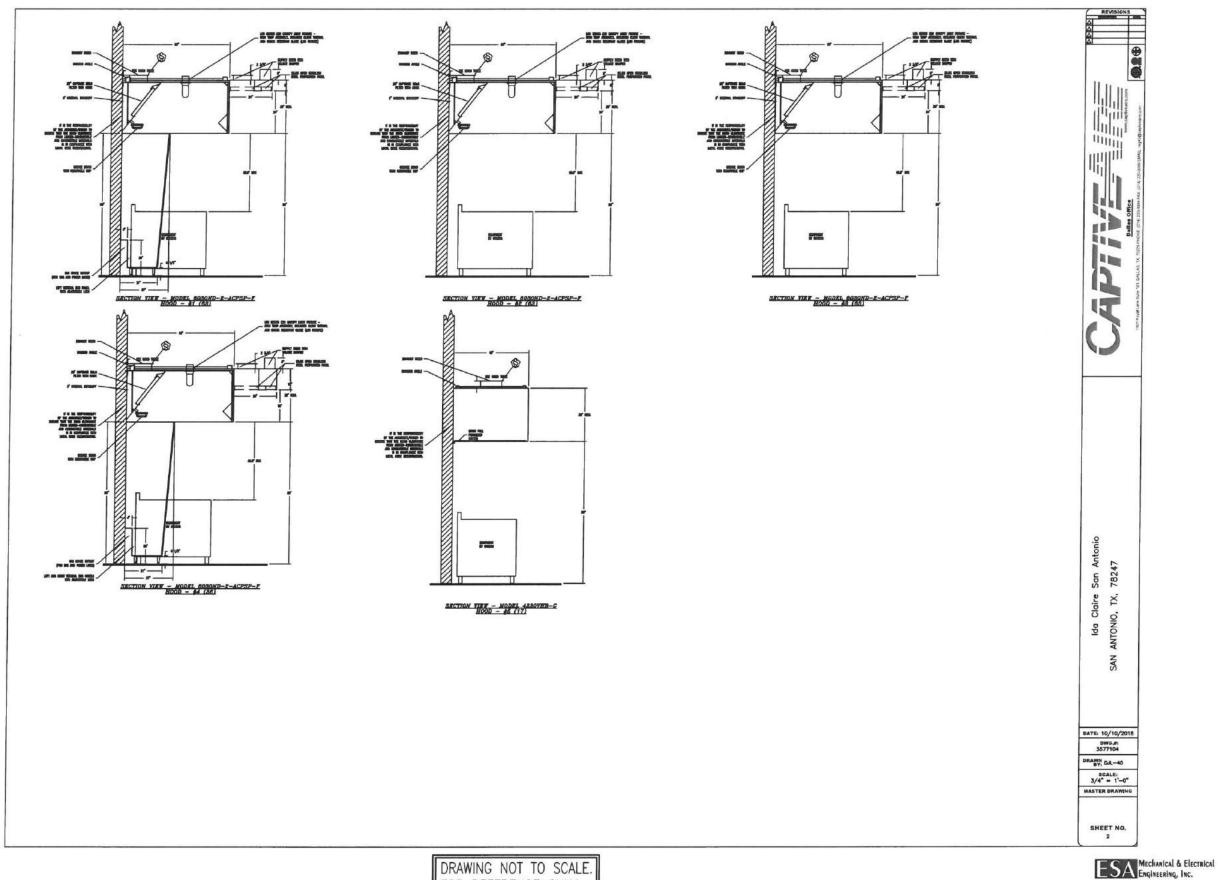
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REVISIONS
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NEW RESTAURANT ADDITION
RENOVATION FOR IDA CLAIRE
7300 JONES MALISBERGER
SAN ANTONIO, IX 78209

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chesneymoralespartners, inc.

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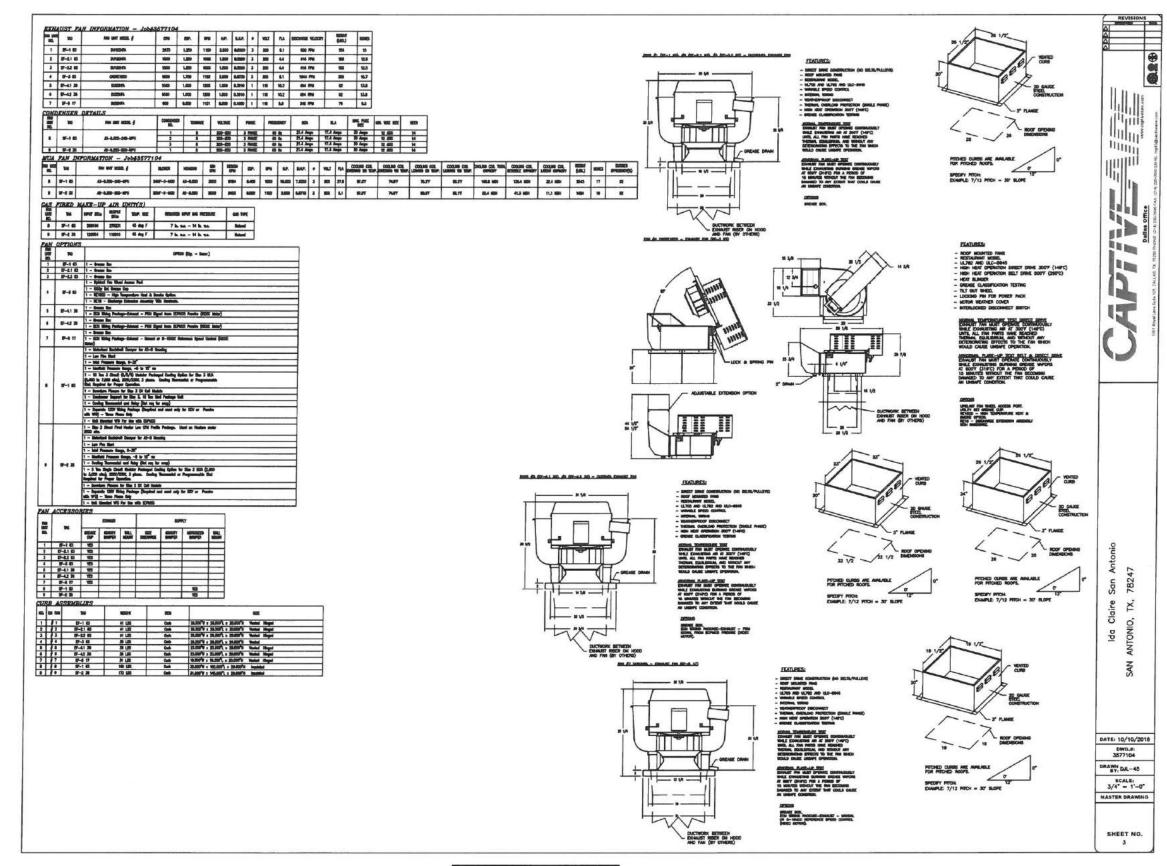
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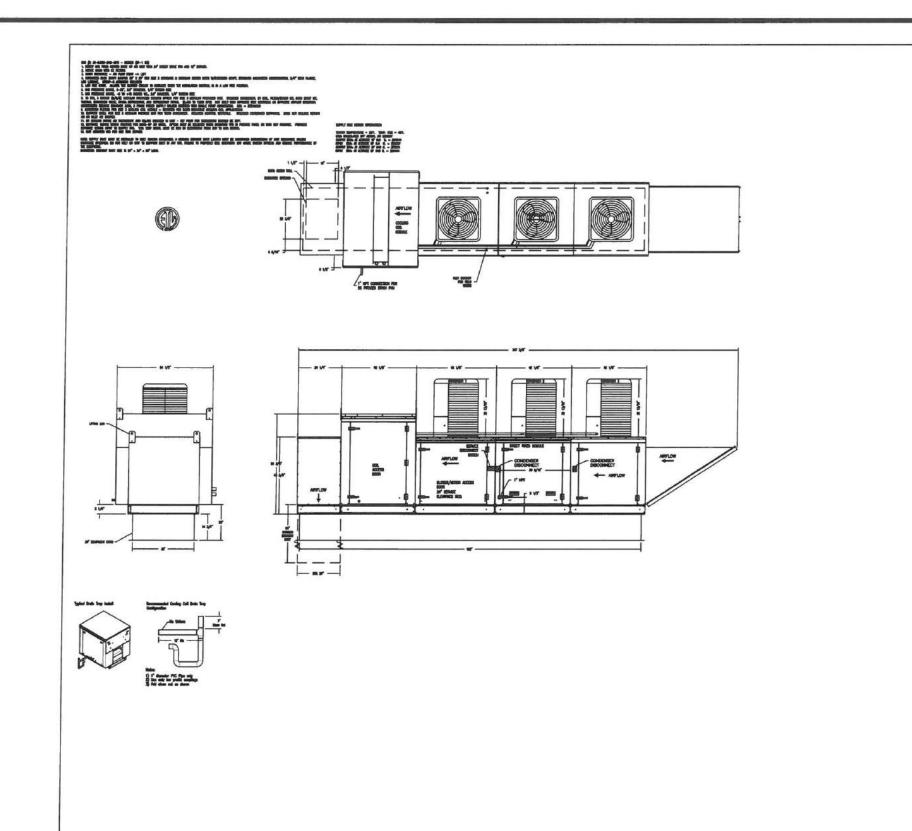
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NEW RESTAURANT ADDITION
& RENOVATION FOR IDA CLAIRE
7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

GINEER BRUCE CECIL SMIT E SERML NUMBER : 68595 TE: 11-16-18

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DATE: 10/10/2018

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ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.

1100 NW Loop 410, Sulin 810 210 342,3483
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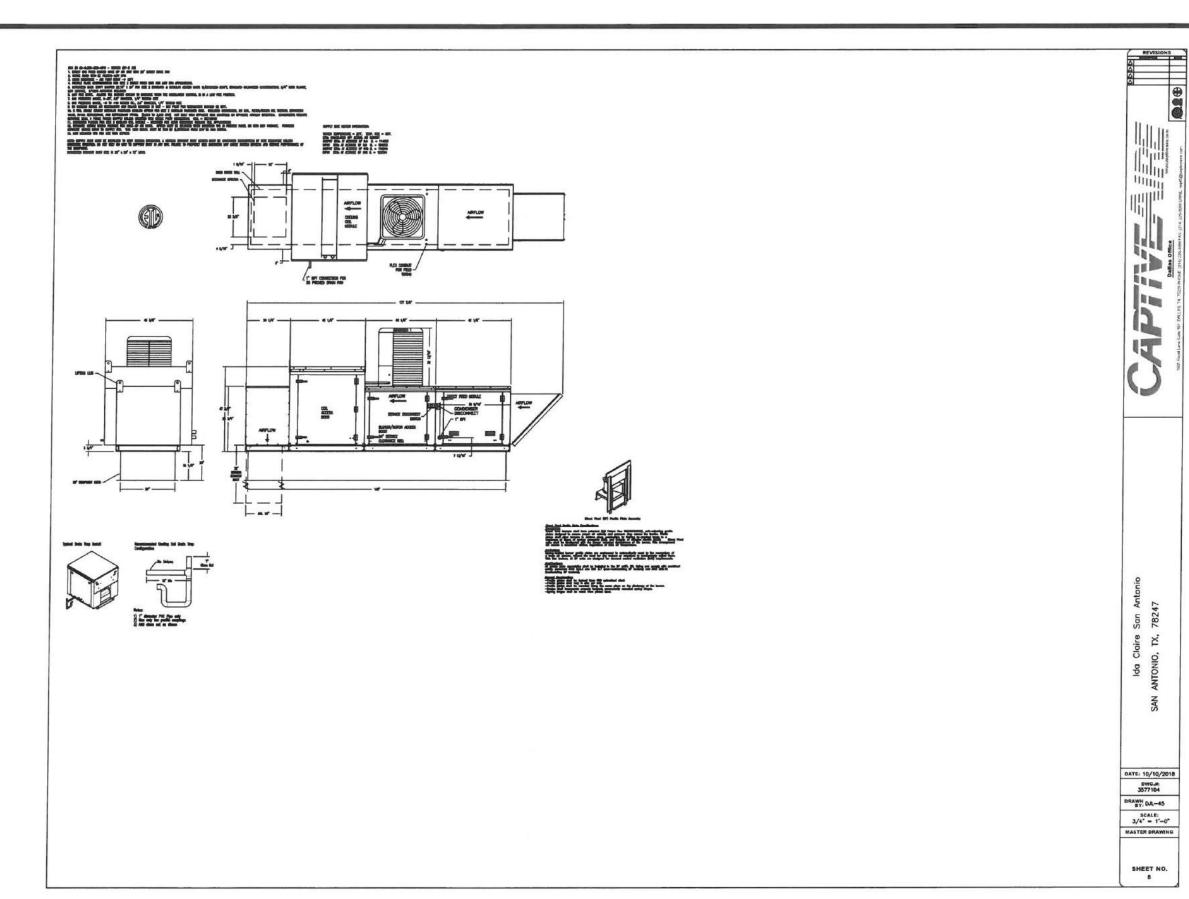
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7300 JONES MALTSBERGER
SAN ANTONIO, TX 78209

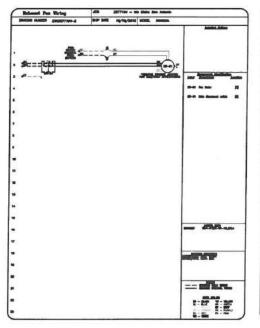
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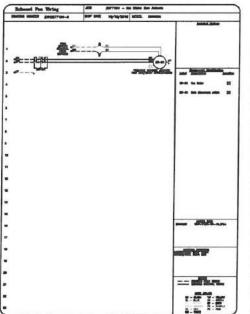
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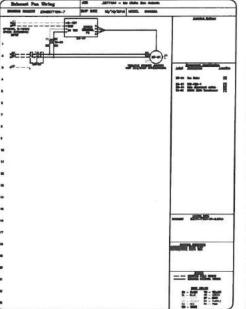
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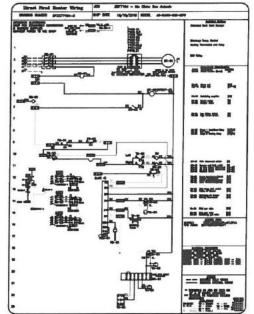
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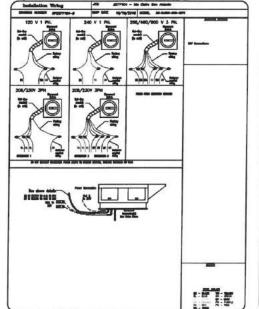


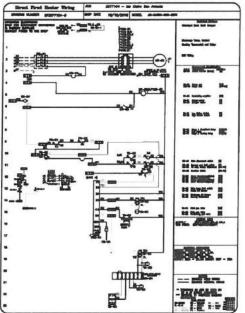


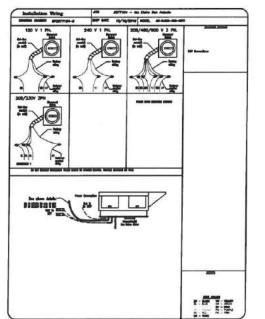












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CLAIRE NEW RESTAURANT ADDITION

RENOVATION FOR IDA CLAIR

7300 JONES MALISBERGER
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FOR INTERIM REVIEW NO

ENGINEER : BRUCE CECIL SWIT P.E. SERIAL NUMBER : 68595 DATE: 11-16-18 TBPE FIRM REG. NO. #F-413

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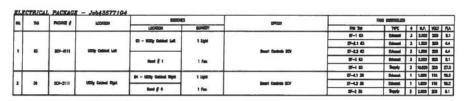
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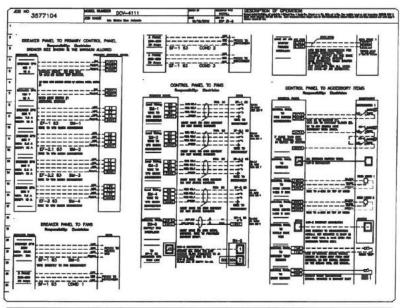
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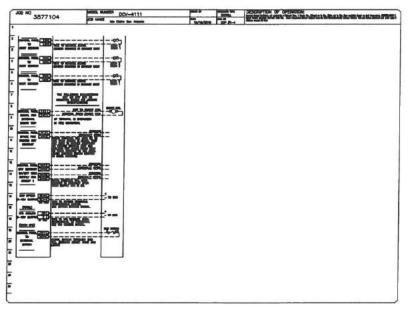
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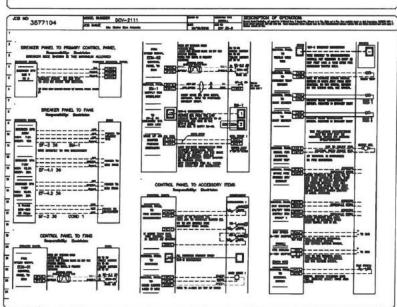
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DATE: 10/10/2018 DWQ.#: 3577104

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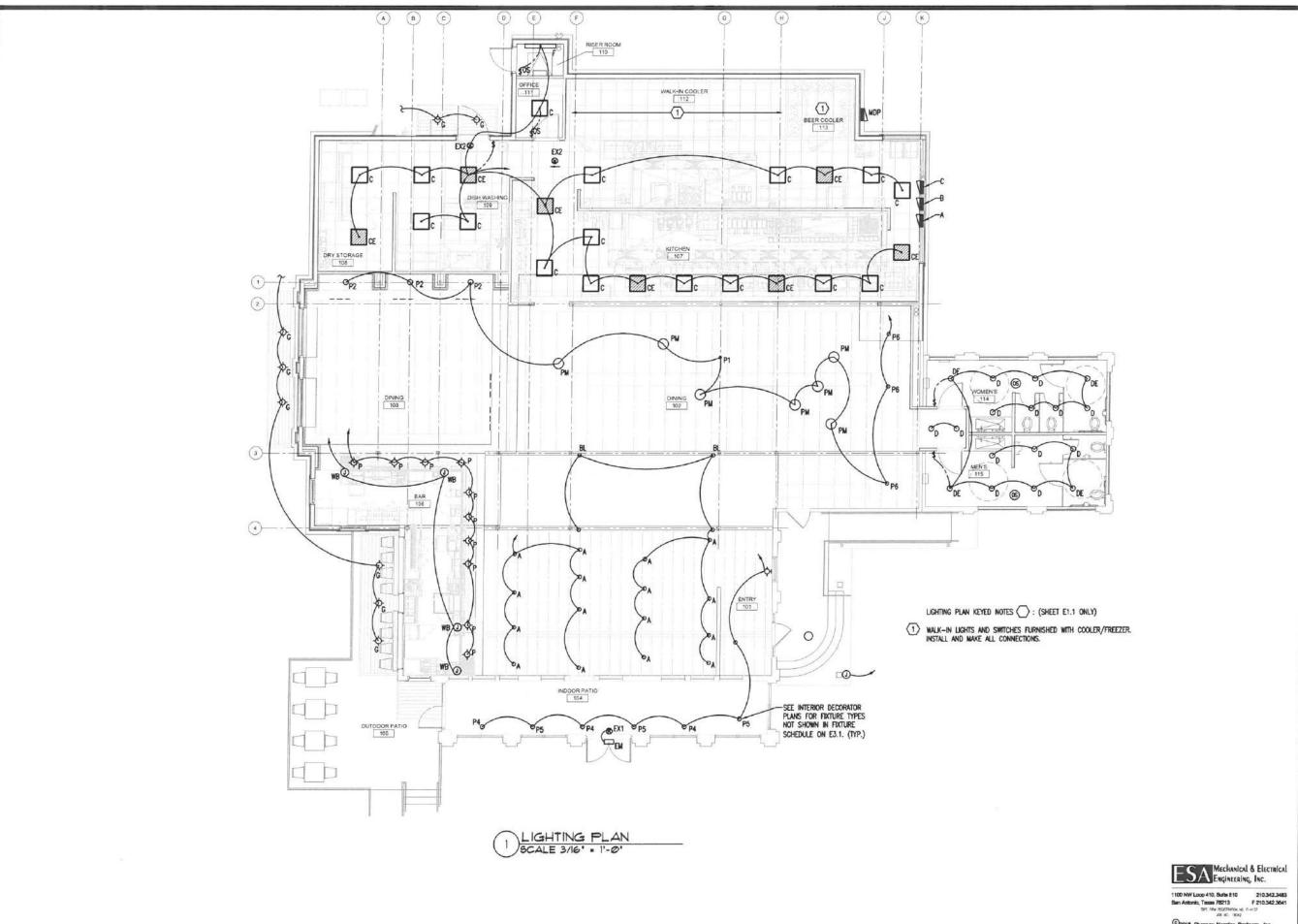
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OR PERMIT PURPOSES
ENGINEER: STEPHEN MITCHELL

ENGINEER : STEPHEN MITCHELS P.E. SERIAL NUMBER : 499313 DATE: 11-16-18 TBPE FRM REG. NO. #F-413

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DATE DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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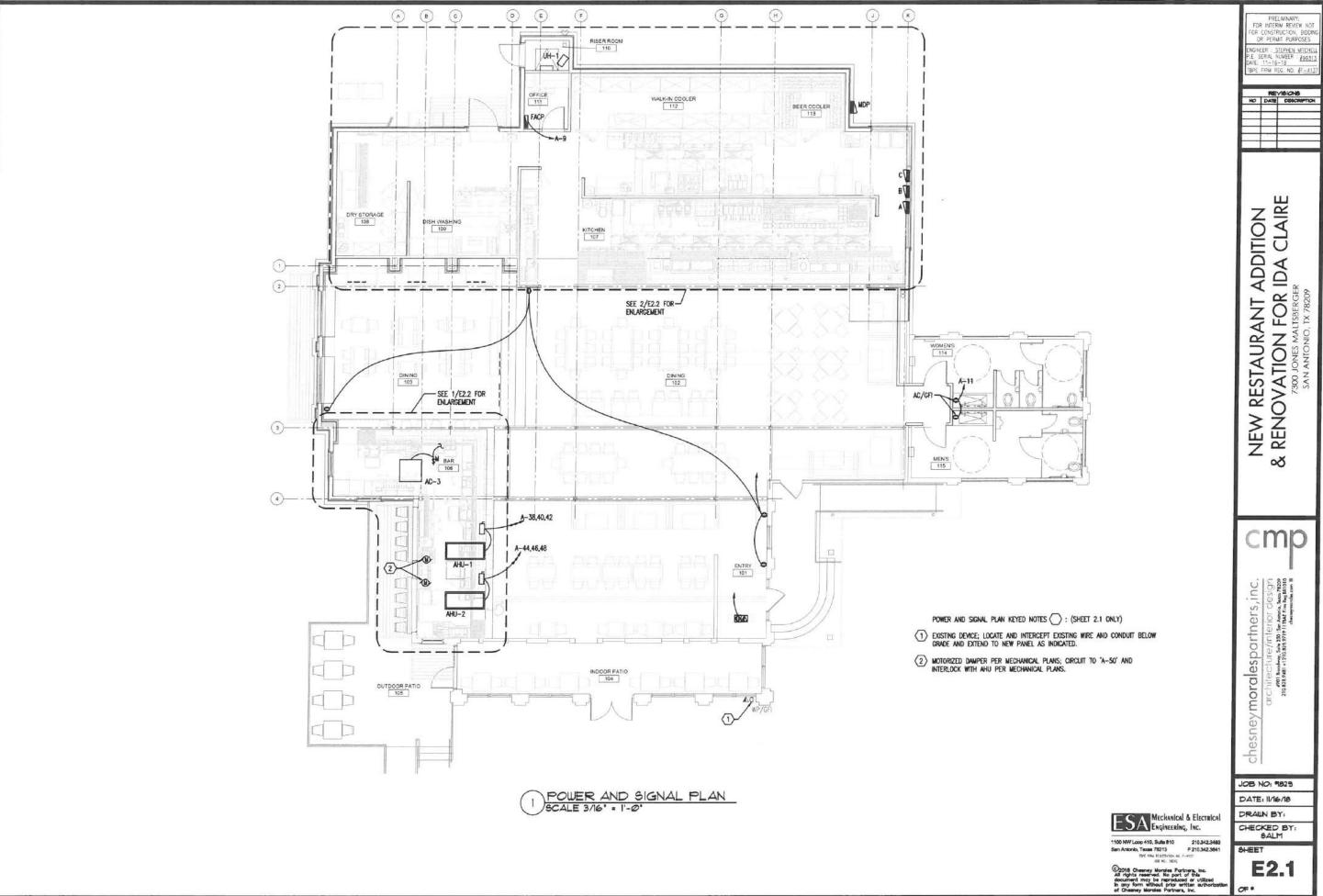
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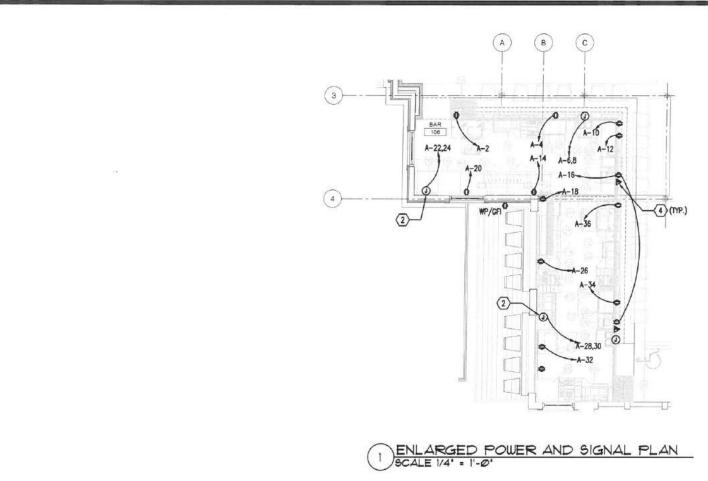
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E2.1



ENLARGED POWER AND SIGNAL PLAN KEYED NOTES : (SHEET E2.2 ONLY)

CIRCUITS BELOW HOOD SHALL BE SHUNT-TRIP CONTROLLED. INTERLOCK SHUNT-TRIP BREAKER WITH RELAY PROVIDED IN HOOD PER HOOD DRAWINGS WITH WIRE AND CONDUIT.

2 PROVIDE LIQUID-TIGHT FLEX CONNECTION.

(3) PROVIDE EMPTY 1/2" CONDUIT WITH PULL STRING FROM INDOOR UNIT TO REMOTE ON ROOF.

4 PROWIDE POWER/INTERLOCK CONNECTIONS TO CONDENSE DRAIN LINE HEATER, PRESSURE RELIEF PORT, DOOR HEATER, LIGHTING, EVAPORATORS, ETC. AS INDICATED ON EQUIPMENT PROVIDER SHOP DRAWINGS AND/OR AS REQUIRED FOR COMPLETE AND OPERATIONAL SYSTEMS.

(5) mm

(6) SEE X/E4.1 FOR COMMUNICATION DROP DETAIL

7 PROVIDE 600V, 200A3PNF NEMA 4X DISCONNECT SWITCH ON WALL.

8 PROVIDE 4X4 OCTAGONAL BOX RECESSED IN WALL WITH 1/2" EMPTY CONDUIT WITH PULL STRING STUBBED 6" ABOVE CEILING FOR ANSUL PULL STATION. MAKE ALL FINAL CONNECTIONS PER HOOD DRAWINGS.

PROVIDE CONNECTION TO HOOD AND SUPPRESSION SYSTEM FURNISHED UNDER BY OWNER. PROVIDE REMOTE HOOD FAN AND LIGHT SWITCHES AT 48"AFF. MAKE ALL FINAL CONNECTIONS PER

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PE FIRM REG. NO. #F-41.

CLAIRE NEW RESTAURANT ADDITION
RENOVATION FOR IDA CLAIR
7300 JONES MALTSBERGER

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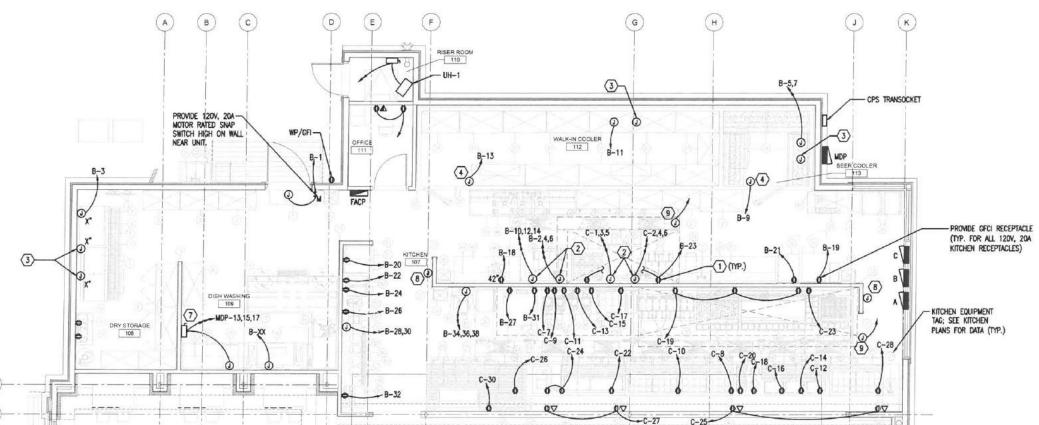
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JOB NO: 4829

DATE: 11/16/18

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ENLARGED POWER AND SIGNAL PLAN (2) SCALE 1/4' = 1'-0'

ESA Mechanical & Electrical Engineering, Inc.

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MARK	FIXTURE DESCRIPTION	LIGHT	LAMP MODEL	NO. LAMPS	WATTS	VOLTS	MOUNTING	MANUFACTURER	MODEL	NOTES
С	2X2 LENSED TROFFER	LED LM79 & LM80 TESTED		-		120	LAY-IN			1, 2
D	6" DOWN LIGHT	LED LM79 & LM80 TESTED		-		120	RECESSED			1
EM	EGRESS LIGHT BLACK	LED		-		120	UNIVERSAL			
EX1	EXIT SIGN CLEAR	LED				120	UNIVERSAL			
EX2	EXIT SIGN (BACK OF HOUSE)	LED		-		120	UNIVERSAL			
F	STRIP	LM79 & LM80 TESTED		-		120				

## LIGHT FIXTURE SCHEDULE GENERAL NOTES:

- 1 SUFFIX "E" INDICATES BATTERY PACK. PROVIDE HOT LEAD TO INSURE LAMP IS CONTROLLED WITH WALL SWITCH.
- 2 PAY SPECIAL ATTENTION TO LAMP COLOR LISTED IN THE LIGHT FIXTURE SCHEDULE.
- 3 THE FIXTURE DESIGNATIONS ON THIS SCHEDULE ARE TYPICAL AND NOT INTENDED TO BE RESTRICTIVE BUT ARE INDICATIVE OF A PARTICULAR QUALITY AND CLASS OF FIXTURE UON. LIGHT FIXTURE SCHEDULE NUMBERED NOTES:
  - 1 0-10V DIMMING DRIVER.
  - 2 PROVIDE FIXTURE WITH INVERTED LENS (SMOOTH SIDE DOWN).

PROJECT AREA (SF)	LOAD ANALYSIS : IDA CLAIRE :	VOLTS:	208	THREE PHASE	
LDAD DESCRIPTION		T	CONNECTED	DIVERSITY	DEMAND KVA
LIGHTING.		-		1.25	0
RECEPTACLES				1.0/0.5	0
AIR CONDITIONING:				1.00	0
SPACE HEATING: (NON-COINCIDENT LOAD; COOLING LO	AD IS LARGER)			N/A	N/A
WATER HEATING: (CAS)				1.00	0
КПСНЕМ ЕОИРМЕМ:				0.65	D
REFRIGERATION EQUIPMENT:				0.90	0
FAIS:				1.00	0
MISC. EQUIPMENT:				1.00	0
TOTAL KVA			0		0
TOTAL AMPS:					Q
SERVICE ENTRANCE SIZE, AMPS					

MARK	GENERAL TO SERVICE OF THE PROPERTY OF THE PROP	MARK	DESCRIPTION
<u>⊗</u>		-	PUSHBUTTON SWITCH
⊗	CIRCUIT HOME-RUN TO PANEL	<b>⊕</b>	Top some
(20)	SWITCH LEG	<u>F</u>	KEYPAD
100000	DENOTES ELECTRICAL KEYED NOTE	6	BUZZER
(E)	DENOTES EXISTING	Ô	BELL
m	DENOTES TEMPORARY	(0)	CHIME
(R)	DENOTES RELOCATED		CAMERA
	LIGHTING	(3)	SPEAKER
•	FLUORESCENT FIXTURE	\$	SPEAKER VOLUME CONTROL
	HATCHED FIXTURE INDICATES FIXTURE WITH BATTERY PACK	100	CABLE TELEVISION OUTLET
_	FLUORESCENT STRIP FIXTURE		FIRE ALARM
9	WALL BRACKET FIXTURE	100	FIRE ALARM PULL STATION
4	INCANDESCENT FIXTURE	Blx	FIRE ALARM AUDIO-VISUAL DEVICE WITH CANDELA RATING, 15 CD MIN.
0	DOWNLIGHT FIXTURE	DO <sub>X</sub>	FIRE ALARM VISUAL DEVICE WITH CANDELA RATING, 15 CD MIN.
9.6	WALL WASHER	9	SMOKE DETECTOR
Δ	SCONCE	FACP	FIRE ALARM CONTROL PANEL
7777	TRACK LIGHT FIXTURE	RA	REMOTE ANNUNCIATOR
⊗.⊛	EXIT LIGHT; ARROWS INDICATE DIRECTIONAL	<u></u>	FLOW SWITCH
9.0	CHEVRONS  EMERGENCY LIGHT	18	TAMPER SWITCH
4	FLOOD LIGHT	Ô	FIRE ALARM BELL
D-0	AREA LIGHT	1 00	HORN
\$			
	WALL SWITCH	(S)	DUCT SMOKE DETECTOR
\$2	DOUBLE POLE SWITCH	<u>®</u>	HEAT DETECTOR
5	3-WAY SWITCH	F30	FIRE SMOKE DAMPER
Ę,	4—WAY SWITCH	La serie	ABBREVIATIONS
ъ	SWITCH, DIAMER TYPE	AC	ABOVE COUNTER
4	FAN SWITCH	—OHE—	OVERHEAD ELECTRICAL SERVICE
k	KEY OPERATED SWITCH	—UGE—	UNDERGROUND ELECTRICAL SERVICE
\$	SWIFCH WITH PILOT LIGHT	UCT	UNDERGROUND TELE-IPHONE
1 41	PASSIVE INFRARED SWITCH/SENSOR	F	EXHAUST FAN
4	SWITCH, TIMER TYPE	CCTV	CLOSED CIRCUIT TV
€	PHOTO CELL	POS	POINT OF SALE
<b>©</b>	OCCUPANCY SENSOR-CEILING MOUNTED	NO.	NORMALLY OPEN
10	POWER	NC	NORMALLY CLOSED
0	CLOCK OUTLET	HOA	HAND-OFF-AUTO
Φ	SIMPLEX RECEPTACLE	WP	WEATHER PROOF
0	DUPLEX CONVENIENCE OUTLET	ML	MIGHT LIGHT
0	208V 1# RECEPTACLE	AFF	ABOVE FINISHED FLOOR
	QUADPLEX CONVENIENCE OUTLET	AFG	ABOVE FINISHED GRADE
	OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER	ст	CURRENT TRANSFORMER
	OUTLET WITH ISOLATED GROUND	TVSS	TRANSIANT VOLTAGE SURGE SUPPRESSION
-	FLOOR MOUNTED RECEPTACLE	EDF	ELECTRIC DRINKING FOUNTAIN
-	JUNCTION BOX	POC	POINT OF CONNECTION
	PULL BOX		
_	TRANSFORMER		
	PANEL		
	DISCONNECT SWITCH		
	MOTOR; NUMBER INDICATES HP		
	COMBINATION STARTER DISCONNECT		
-	GROUND		
	TIME CLOCK		
-	54156564150055		
2	NOMIDUAL METER STARTER, RELAY OR CONTACTOR		

NOTE: NOT ALL MARKS MAY BE USED.

MOUNTING	G HEIGHTS
DEVICE	HEIGHT (PER ADA)
RECEPTACLES, DATA/TELEPHONE, TV	15"AFF TO BOTTOM OF DEVICE
SWITCHES, PULL STATIONS	48"AFF TO CENTER OF DEVICE
AUDIO VISUAL / VISUAL	80"AFF TO BOTTOM OF LENS OR 6" BELOW CEILING (WHICHEVER IS LOWER)
COUNTERTOP RECEPTACLES	MOUNTED VERTICALLY, 8" ABOVE COUNTER TO CENTER MOUNTED HORIZONTALLY, 6" ABOVE COUNTER TO CENTER

NOTE: ALL DEVICES SHALL BE MOUNTED AT THESE HEIGHTS UNLESS OTHERWISE NOTED.

<b>ESA</b>	Mechanical & Electrica Engineering, Inc.
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NO DATE DESCRIPTION

NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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PANEL	MOR		COMMENTS	3:														
LOCATION:																		
120/ 208	VOLTS.	3 PHA	SE, 4 WIRE	800	AMP	MAIN C	RCUIT BREA	KER		35	KAIC							
CIRCUIT DATA		DXT NR	LOAD.	CB POLE	CB 1962	CB CB	PHASE A	PHISE II	PHASE E	C8 1040	(25 178F	CB POLE	LCAD	DKT NR	CIR	CUIT E	ATA	
AR WRE GND	E			NR		W				- 14	A	NE			NR	WRE	CNO	0
EE PISE FOR DATE	30	1	PANEL A	3	700	12940	27900			14860	200	- 3	PANEL B	7.		RISE FOR		
		1				1040E		28275		17850				- 4		1	1	
		. 5				12550			25351	12801								
EE RISE FOR DATA		7	PANEL R	3	200	21708	64783	1		23075	200	- 3	PANEL C	8	SEE	RESE FOR	DATA.	122
		9		1	100	22441	0	44448		22007	1000000			10		-		
		11				22441			44994	22553				12				
		15	DISHWASHER BOOSTER- NB	1	175	15000	35524			20574	200	3	PANEL RA	14	SEE	RISE FOR	ATM	
		15				15000		35434	E	21434	2	-		18				
		17				15000	à un		25500	20800				18	Т			
		19	BUSSED SPACE	18			0						SUSSED SPACE	-20				
		21	BUSSED SPACE										BUSSED SPACE	72				
			BUSSED SPACE						0				BUSSED SPACE	24				
			BUSSED SPACE				6						BUSSED SPACE	26				
		27	BUSSETI SPACE		1			0					BUSSED SPACE	28		1		
		29	BUSSED SPACE						Ò			i	BUSSED SPACE	30				
																972		
				PHASE C	ONN.		108107	109157	106145	VA:	1	. 0	% SPARE CAPACITY					
	PANEL	TYPE	NEWA 3R	TOTAL CO	INNECTED	LOAD		323	KVA		25	100	% DEMAND FACTOR					
			SURFACE			ARE LOAD		323	KVA				AMPS CONNECTED					
						wer Frisch			F15 100000000			-077	Dame of Countries En					
	160	FROM:	SIE RISER	45000000	EMAND			323	XVA									
				TOTAL D	EMAND.	AMPS		899	Amos	AT	208	17.75						

PAN	EL		R		COMM	NIS:										100				
no	ATION:		ROOF																	_
LUV	AHONE		ISOUT			_		1				-		-						
	120/	208	V0L15,	3 PH	ISE, 4 WIRE	225	AMP	NAIN L	UGS ONLY			22	KAIC							
CIRC	CUIT DA	TA		CKT	LOAD	83	CB 18th	C8 LCAD	PHISE	PHYSE	PHASE	CBI	125 1997	EB POLE	LOAD	DIT	CIRC	UIT DA	TA	
NR.	MRE	90	1 0	60		NP.		196	102	1		W	1	NO.			90	WRE	CND	Te
1	12	12	1/2"	1	ROOF RECEPT.	1 1	20	900	4212			3312	45		PIU-1		1 1	A	10	3/4
1	15	12	1/2"	3	91U-4	1 2	25	1633		4945	1	3312	1		100	1	1		1 1	100
ETTY.		1000	1000000	5				1653			4945	3312				- 6				1
				7	BUSSED SPACE				4464	1		4454	50.	3	M1U+2	1	3	8	10	3/4
2	4	8	1-1/4	9	RTU-5	3	80	5525		9984	1	4454				10				
				. 11				5520			9984	4454				12				1
				1.5				5520	8568			3048	40	3	RT9-3	14	3	8	10	3/4
				-15	SPARE		25			3048	1	3046				16				
	110			17	BUSSED SPACE						3048	3048				18		- n 3		
			2	19	BUSSED SPACE		The second		1404			1404	20	- 3	Ø-1	20	3	12	12	1/2
	7			. 21	BUSSED SPACE					1404		1404	-			22			-	
				23	BLOSED SPACE						5404	1404				24				
				25	BLESED SPACE				828	I		828	15	3	9F-2.1	26	3.	12	12	1/2
				27	BLESED SPACE					828	025-5-	B28		2.7.		28		- '''	100	
-				29	BLESSED SPACE						828	828				30				
_				31	BUSSED SPACE		-	_	828	-		828	35	.3	E+22	52	3	12	12	1/2
-				33	BUSSED SPACE	_	-			828	-	828				34				
-		-	3 7	35	BUSSED SPACE		1				678	828			Transport of the Control of the Cont	36				1
-				37	BUSSED SPACE	_	-		1404			1494	20	- 3	U-3	38	3	12	17	1/2
-	_		-	39	BUSSED SPACE	-	-	-		1404		1404				40	$\vdash$			
_		_		41	BUSSED SPACE						1404	1404				42				
						PHASE	CONN		21708	22441	22441	VA		.0	% SPARE CAPACITY	77				
			PANEL	TYPE :	NEMA 3R	TOTAL O	ONNECTED	1.040		67	KVA			100	% DEMAND FACTOR					
					SURFACE			PARE LOAD		67	KVA		1		AMPS CONNECTED	-				
				FROM			DEMAND	WILL LONG		67	KVA		- 1	100	AND SOURCES					
			100	10.00	and.				-		200,000	7.0	222							
						TOTAL	DEMAND.	AMPS		185	Amps	AT	208	VOLTS						

PAN	EL		RA		COMMEN	S:								1000						
LOCA	ATION:		ROOF																	
	120/	208	VOLTS.	3 PH/	ISE, 4 WIRE	225	AMP	MAIN T	UGS ONLY			22	KAIC				115-			
CIRC	UIT DA			DA1	LOAD	DB POLE	CB TRUP	CE LONG	PHASE A	PHASE B	PHASE	CB LDAD	CB TRIP	C8 POLI	LOAD	CKT AR	CIRC	CUIT DA	TA	
NR I	MAE	940	1 c	1 500		MS.	1	VA.	570		4:	LUNE	A	MR	1	an	ME	WRC.	CHO	1 6
2	12	12	1/2"	1	NUCCET ICE WAYER-&	1 2	20	1	1303		_	1383	25	3	BEEF COOLER COND.	1 2	1 2	10	12	1/2
	10.13			- 3					-	1383	T	1383	-		GLE SOURCE STATE	1 1	1	100	1	1 7 -
2	12	12	1/2"	5	MUGGET ICE MAKER-B	2	20				749	749	15	- 2	WALK-IN COOLER COND.	5	1.2	-12	12	1/2
	al Contract			7					749	1		749				- 1				
3	. 5	10	3/4"	. 9	Qj-1	3	35	2100		4020		1920	25	TT.	(F-4.1	10	1 2	10	12	172"
				31				2100		1000	4000	1920	25	1	₹F-42	12	2	10	12	1/2
				13				2100	3276	1		1176	20	1.	EF=5	14	2	12	12	1/2
3	8	10	3/4"		CU-2	3	35	2100		4154		2054	30	3	5F-2 (CB-1)	16	3	10	10.	1/2
				17				2100			4154	2054			8-8-2	18				
_				19				2100	4154			2054				20				
2	10	10	1/2"		CU-3	2	30	915		1851		936	20	3	SF-2 (FAN)	22	3	12	12	1/2"
				23				615			1851	934				24				
3	10	10	1/2"		SF-1 (CU-1)	3	- 50	2054	2990			936	Carrier 1	1 14		26				
_				_ 27				2054		5918		3884	an	3	SF-1 [FAN]	78	3	4	- 8	12
_				79				2054			5518	3854	1000			30				
3	10	10	1/2"	31	SF-1 (DU-2)	3	30	2054	5918		-	3054				32		- 6		
-				33			-	2054		2054	-		20	. 1	SPARS	34				
	- 11	- 10	-	35				2054			2054				BUSSED SPACE	36				
2	10	10	1/2"		SF-1 (DJ-3)	3	30	2054	2054		-				BUSSED SPACE	38	$\vdash$			
$\rightarrow$	_	_		39		+		2054		2054		-			BUSSED SPACE	40	$\vdash$			_
-	_			at		1		2034			2054				BUSSED SPACE	- 42			- 1	
						PHASE C	ONN.		20524	21434	20800	1 VA		0	% SPARE CAPACITY					
			PANEL	TYPE	NEMA 3R	TOTAL CO	NNECTEU	LOAD		5.5	KVA		1		% DEMAND FACTOR					
					SURFACE			DAOL BRA		53	KVA.		- 1		AMPS CONNECTED	_				
								MAL LUND	3				1	174	TAMES COMMECTED					
			91.0	FROM	WUP	TOTAL D				63	KVA	Sec. 19								
						TOTAL D	EMAND	AMPS		174	Amps	AT	208	VIRTS.						

PAN	EL		A		COMMENTS															
LOC	ATION		KITCH	EN																
-	120	208	1		WASE, 4 WIFE	225	AMP	MAIN I	UGS ONLY			22	KAIC	1						
CiR	UIT D	ATA		CKT	LOAD	CB POLE	CB TRIP	CB LOVO	PMSE	PHRSE B	₽446 <u>£</u> Ĉ	DB LOAD	CB	83	LOAD	CKT NR	CIR	CUIT DA	TΑ	
NR.	MRE	DND				MR	A	VA.				. VA		68			NR	WHE	CND	1 5
2	12	17	1/2"	1	LIGHTS	1	20	-	38€			384	20	1	REF. BACK BAR-101	2	7	12	12	1/2
2	52	12	1/2"	3	LIGHTS	1	20			276		276	20	1	UC FREEZER-103	4	2	12	12	1/2
2	12	12	1/2"	5	TID-UZ	1	20				1768	1768	20	2	FROZEN BEV. DISP105.	5	3	12	12	1/2
7	12.	12	1/2	7	URRIS	1.	20		1.768	and the second		1758				8			1	
2	12	172	3/2"	9	TACP	1 1	20	200		1550		1350	20	1	GUASS POUS-ER-106	10	1.7	17	12	1/2"
2	12	12	1/2"	11	RECEPTAGLES.	1.1	20	360			1710	1350	20	1	SUASS POLISHER-106	12	2	12	12	1/2
2	12	17	1/2"	1,5	RECEPTAGES	1	20		660	1		660	20	1	RET. BACK BAR-110	14	2	12	12	1/2"
2	12	12	1/2"	15	RECEPTACLES	1	20			369	1	360	20	1	POS-BAR	16	1.2	12	1.2	1/2
2	12	12	1/2"	17	RECEPTACLES	1	20				764	764	20	1	GLASS FROSTER-111	18	7	12	12	1/2"
2	12	12	1/20	19	RECEPTACLES	1	20		764	1		764	20	1.1	GLASS_FROSTER-111	20	2.	-52	12	1/2"
2.	12	12	1/2"	21	RECEPTACLES	1	20						20	2	GLASS WASHER-113	22	1 2	12	12	1/2"
2	.12	12	1/2	- 25	RECEPTACLES	1	20								100000000000000000000000000000000000000	24	1 2	12	12	1/2"
7	12	17	142	25	RECEPTAGLES	1	20		180			180	20	1	BAR RECEPT	26	2	12	12	1/7
2	-12	12	1/2"	27	EXTERIOR LIGHTING	- 7	20			:0			20	2	GLASS WISHER-113	28	ż	12	12	1/2"
2	12	12	1/2"	29							0					30	2	12	12	1/2"
				31	EXTERIOR LIGHTING	2	70		550			660	20	13	RET. BACK BAR-118	32	2	12	12	1/2"
				33	Transaction and the second sec					276		176	20	1	UC FREEZER-102	34	2	12	12	1/2"
2	12	12	1/2"	35	SCHACE	1	20				384	384	20	1	REF: BACK BAH-101	34	1	12	12	1/2"
				.57	SGNACE		20		3972	1		3972	45	3	AHU-1	38	3.1	- 6	10	3/4"
				39	SONAGE	1	20			3972		3972				40				-
				41	BUSSED SPACE		700				3972	3972		-		42				
				43	BUSSED SPACE				3972	1		3972	45	-3	AHU-7	44	3	8	10	3/4"
				45	BUSSED SPACE					3912		3972				44				1
				41	BUSSED SPACE						3972	3972				41.				
				49	BUSSED SPACE				680			600	20	1	MOTORIZED DAMPER	50	2	12	12	1/2"
				- 51	BUSSED SPACE					0		-			BUSSED SPACE	52	1			7.
				-53	BUSSED SPACE						6	1			BUSSEU SPACE	34				
$\overline{}$					1							-								
						PHASE CO	ONN.		12940	10406	12550	VA		0	% SPARE CAPACITY					
			PANEL	TYPE	NEMA 1	TOTAL CO	NNECTED	LOAD		36	KVA			100	7 DEMAND FACTOR	= 1				
			MC	UNTING	FLUSH	CONNECTE			9	36	KVA		- 1	100	AMPS CONNECTED					
			FE	FROM	MDb	TOTAL DE	MAND		8	36	KVA									
						TOTAL DE		POLICE		100	Amps	AT.	208	NO. 20.						
_	_	_	_	_		LIGHAL DE	MUNICIPAL .	446.2	-	100	amps	MI.	TAG	A0E12			_			

PAN	EL		8		COMME	VTS:								1						
00/	ATION:		KITCHE	N	ŝ.															
	120/	208	WOLTS,	3 PHA	SE, 4 WRE	225	AMP	MAIN L	UGS ONLY			10	KAIC							
CIRC	CUIT DA	TA		ČKT MR	LCAD	EB PDLE	DB TRP	CS 10AC	PHASE	PHASE	PHASE E	85 1040	CB TREP	CB POLE	LOAD	CKT NR	CIRC	CUIT DA	TA	
NR	KFE.	CND	0			MG	A	VA				VA.	A.	NR.	1		NR:	WRE	0.0	T . c
2	10	12	1/2"	1	AR DJETAN-1	1	25	1920	6029			4130	45	3.	TEX METRE-AS	2	1 1			1
2	12	12	1/2"	3	ICE CUBER-4		20	1380		5482		4100				1 4	1		0	
2	12	12	1/2"	. 5	BEER COOLER EVAP.	2	20	104	1		4204	4100				- 8				
				7				104	104						55HJW7??)	8				
2	12	12	1/2"	- 6	BEER COOLER LTS/HTRS	1	20	1704		5604		4100	45	3	TLT KETTLE-41	10	1.3		-	-
2.	12	12	1/2"	- 11	WALK-IN EVAP	1	20	192	1	1	4292	4100			- Contraction -	12				1
2	12	12	1/2"	13	MALK-IN COOLER LTS/HTRS	1 1	20	1704	5804			4100				14	7.3	12	12	1/2
				15	SPARE					0	1				SSRUMTES	16				
				17	SPARE						240	240	20	. 1	SUCER-46	18.	2	12	12	1/2"
2	12	. 12	1/2"	19	FREEZER-31	1 1	20	1164	1752	1	-	588	20	1.	RETRIGERATOR -51	26	2	12	12	1/2"
2	52	12	1/2"	25	PRODEER-32		20	1929		3600	1	1680	20	1	TCA BREWER-52	22	2	12	12	1/2"
2	12	12	1/2"	23	RECEPT. BELOW HOOD	1	20	360			2040	1580	20	1	TEA BREWER-52	24	2	12	12	1/2"
			Variation 1	75	SHUNT TRIP SPACE		SHUNT		220			220	20	1	FETER GRINDER-54	26	2	12	12	1/2"
2	12	12	1/2"	27	CONVECTION OVEN-54	1 1	20	980	100	2985		2025	25	1	HOT WATER DISP-55	28	2	10	12	1/2"
				25	SHUNT TRIP SPACE		SHUNT				2025	2025			Virtual Control Control	36				
2	12	12	1/2"	31	CONNECTION OVEN-54	- 1	20	950	960	1			20	1.	5064 6/5P+62	32	2	12	12	1/2*
				.23	SHUNT TRP SPACE		SHUNT			0				5	MXER-62	. 34	3			
				35	SPARE	1	.20								TO STATE OF THE PARTY OF THE PA	36				
				37	SPARE	1	20		0							38				
$\equiv$					SPARE	1.3	20			-0			20	t.	SPARS	40				
				41	SPARE	1	20				0		20	1	SPARL	42		_		
						PHASE (	CONN.		14860	17869	12801	VA		0	% SPARE CAPACITY					
			PANEL	TYPE :	NEMA T	TOTAL C	ONNECTED	LOAD		46	KVA			100	% DEMAND FACTOR					
			MD	UNTING:	FLUSH	CONNEC	TED + SP	ARE LOAD		46	KVA		- 9	127	AMPS CONNECTED					
				FROM:		TOTAL I			1	46	XVA		1.9		A company of the comp					
					100	125.00	DEMAND.	runc		127	Amps	AT I	208							

CIRCUIT DATA NOTES:
1. PROVIDE SHUNT TRIP BREAKER.

PAN	EL.		C		COMMENTS															
LOC	ATION:		KITCHE	N.																
			1					T				1								_
_	120/	208	VUL15,	3 PH	ASE, 4 WIRE	225	AMP	MAIN L	JGS ONLY			10	KAIC							
CIRC	AD TIUC	TA:		CHT	LOAD	63 2,09	C8 1840	C8 LOAD	PHUSE	Pruse	PHISE	CB LDAD	CR TRIP	CB POLE	LOAD	Cct MR	CIRC	CUIT DA	TA	
M	WISE	040	0	2007		NR	1	12		7.7	- 17.	70	1	NR		- 4	NR.	358	DND	1 (
				1	COMBI CNEN-39	3.	125	11000	15167			4157	50	- 3	CONVECTION OVEN-38	- 7	3			1
				. 3		-		11000		15167	E avenue	4157				- 4				
				5				11000			151E7	4157				1.5				
2	12	12	1/2"	7	HOLDING CAB-65	1.	20	1008	1908			900	20	31	RETRIGERATOR - 80	8	2	12	12	17
2	12	12	1/2"	<b>9</b>	WATER WATER	1	20	1200		2100		900	20	1	FE!RIGERATOR-80	10	2	12	12	1/
1	12	12	1/2"	11	NATTLE MAXER	1	20	1200		-	2400	1200	20	1	HOT WELLS-B1	12	2	12	12	1/3
2	12	12	1/2"	13	WATTLE MAKER	1	20	1200	2400	9		1200	20	- 11	HOT WELLS-BT	16	1 2	12	12	1/
1	12	12	1/2"	15	KATTLE WAKER	. 1	20	1200		2400		1200	20	1	HOT WELLS-B)	16	2	12:	12:	3/
2	17	12	1/2"	17	PREP REFRIGERATOR-70	1	20	.864			2554	1500	20	- 1	TOASTER-85	1.5	1 2	12	12	1/2
2	12	12	1/2"	19	RECEPT BELOW HOLD	1	20	340	2540	3		1500	20	1	TDASTER-65	20	2	12	12	1/3
20	100	110		21	SHORT TRIP SPACE		SHUNT			1080		1560	20	1	PIZZA PRIP REF-85	27	2	12	12	1/2
2	12	.12	1/2"		RET BASE-77	1.1	20.	804			1770	986	20	1.	ICE CREAM-87 #88	24	2	12	12	1/2
2	12	12	1/2"	25	POS-XITCHEN	1	20	360	1260	1		900	20	1:	UC FET-93	26	2	12	12	1/3
2	12	12	1/2"	27	POS-KITCHEN	1	20	360		1260	12	900	20	- 1	REFROGERATOR-80	28	7.	12	12	1/3
2	12	12	1/2"	29	W1=013645	1	20			7	562	552	20	- 1	DELI P(Y-97	30	2	12	12	1/6
7	12	12	1/2	31		1.	20		0				20	- 1		32	2	12	12	1/3
2	12	32	1/2"	.53			20			0.:			20			34	2	12	12	1/2
2	12	.12	1/2"	3.5		1	20				0		20:	- X	RECEPTACIE	36	2	12	12	1/2
	- W- 3			37	SPARI	1	20							120	BUSSED SPACE	38		123 31 2 2	-	
	. 0				SPARE	1	20	100		0	Š-				BUSSED SPACE	40				
				45	SPARE	1	26				. 0	_			BUSSED SPACE	43				
						PHASE C	ONN.		23075	22007	22553	I VA		- 0	% SPARE CAPACITY					
			PANFI	TYPE :	REMA 1	TOTAL CO	ONNECTED	LOAD		68	KVA		8	- more time	% DEMAND FACTOR					
				UNTING:							KVA				AMPS CONNECTED					
								ARE LOAD		68	23333			188	MMPS COMMECTED					
			FEO	FROM:	MDP	TOTAL D	EMAND		- 1	68	KVA									
						TOTAL D	EMAND.	SHIPE		188	Amps	AT	208	100 TC						

CIRCUIT DATA NOTES:

1. PROVICE SHUNT TRIP BREAKER.

NGMEER STEPPEN MITCHELL
P.E. SERIAL NUMBER #99313
NATE: 11-16-18
BPE FIRM REG. NO. #F-413

## NEW RESTAURANT ADDITION & RENOVATION FOR IDA CLAIRE 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

cmp

chesneymoralesparthers, inc.

architecture/interior design

are became, san stollen design

are became, san stollen designer, frest grater

are became, visiosze syte i tract frest graterion

characteristic com 

are

JOB NO: 4829

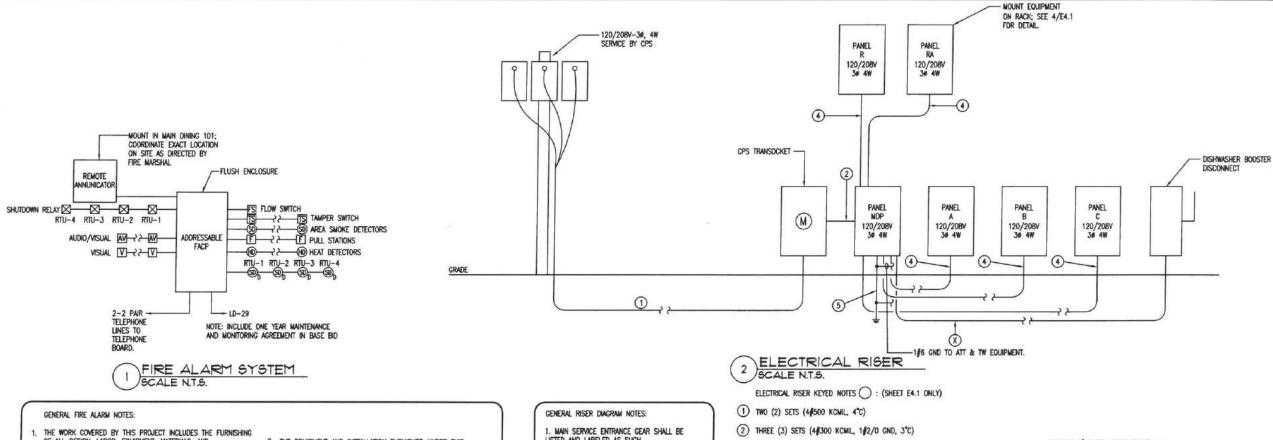
DATE: 11/16/18 DRAUN BY: CHECKED BY: SALM

SHEET

MECHANICAI & EIECTRICAI
ENGINEERING, INC.

1100 NW Loop 410, Suite B10
Sen Antonio, Tensen 78213
FIRM ROSWICS NO. 1-4131
AND NO. 100
GO. 200
G

E3.2



- THE WORK COVERED BY THIS PROJECT INCLUDES THE FURNISHING OF ALL DESIGN, LABOR, EQUIPMENT, MATERIALS, AND PERFORMANCE OF ALL OPERATIONS IN CONNECTION WITH THE DESIGN AND INSTALLATION OF A NEW ADDRESSABLE FIRE ALARM SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED.
- THE COMPLETE DESIGN AND INSTALLATION ARE TO CONFORM TO THE APPLICABLE SECTION OF NFPA-72, NFPA-90A, NFPA 101, INTERNATIONAL FIRE CODE, LOCAL CODE AMENDMENTS, AND NATIONAL ELECTRICAL CODE WITH PARTICULAR ATTENTION TO
- 3. THE ENTIRE SYSTEM AND ALL INTECRATED SYSTEM OPERATIONS SHALL BE WITHIN THE GUIDELINES OF THE INTERNATIONAL BUILDING
- . THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROMDING THE COMPLETE SET OF PLANS TO THE FIRE ALARM VERIFY THAT THE DESIGN MEETS ALL CODES AND COMPLIES WITH ALL CITY REQUIREMENTS. ALARM AND SIGNAL DEVICE PLACEMENT SHOWN ON PLANS IS FOR INFORMATION ONLY: FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITY AND LOCATION. FAILURE TO DO SO SHALL NOT BE JUSTIFICATION FOR THE OWNER TO INCUR EXTRA EXPENSES.
- 5. THE FIRE ALARM CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE MECHANICAL AND ELECTRICAL EQUIPMENT CONTROLS. PROVIDE DUCT DETECTORS AND COORDINATE INSTALLATION WITH MECHANICAL CONTRACTOR. PROVIDE REMOTE TEST STATIONS WHERE INSTALLATION WARRANTS.
- 6. EACH AND ALL ITEMS OF THE FIRE ALARM SYSTEM SHALL BE LISTED AS A PRODUCT OF A SINGLE FIRE ALARM SYSTEM MANUFACTURER UNDER THE APPROPRIATE CATEGORY BY UNDERWRITERS' LABORATORIES, INC. (UL) AND SHALL BEAR THE "U.L." LABEL ALL CONTROL EQUIPMENT IS TO BE LISTED UNDER U.L. AS A SINGLE CONTROL UNIT. PARTIAL LISTING SHALL NOT BE

- 7. THE EQUIPMENT AND INSTALLATION FURNISHED UNDER THIS PROJECT SHALL BE PROVIDED BY A MANUFACTURER WHO HAS BEEN ENGAGED IN PRODUCTION OF THE TYPE (SOFTWARE DRIVEN) OF EQUIPMENT FOR AT LEAST FIVE (5) YEARS, AND HAS A FULLY EQUIPPED SERVICE ORGANIZATION WITHIN FIFTY (50) MILES OF THE INSTALLATION.
- 8. ALL CONTROL EQUIPMENT MUST HAVE TRANSIENT PROTECTION DEVICES TO COMPLY WITH ULB64 REQUIREMENTS
- 9. THE COMPLETED FIRE ALARM SYSTEM SHALL BE FULLY TESTED IN ACCORDANCE WITH NFPA-72 BY THE CONTRACTOR IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND THE LOCAL FIRE MARSHAL UPON COMPLETION OF A SUCCESSFUL TEST THE CONTRACTOR SHALL SO CERTIFY IN WRITING TO THE OWNER AND GENERAL CONTRACTOR.
- 10. CONTRACTOR SHALL COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS, OTHER TRADES, AND VERIFY LOCATION OF ALL EQUIPMENT WITH OWNER OR ARCHITECT BEFORE CONSTRUCTION. FAILURE TO DO SO SHALL RESULT IN MOVING EQUIPMENT AT NO COST TO OWNER.
- 11 CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE TO THE SATISFACTION OF THE OWNER, ARCHITECT, AND ENGINEER, ANY UTILITIES, MATERIALS, EQUIPMENT, WALLS, FOUNDATIONS, SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND EQUIPMENT PRIOR TO ANY EXCAVATIONS. ALL STRUCTURA PENETRATIONS SHALL BE SEALED IN SUCH A MANNER AS TO EQUAL OR EXCEED THE ORIGINAL STRUCTURAL CHARACTERISTICS, INCLUDING FIRE RATINGS AND WEATHERPROOFING.

LISTED AND LABELED AS SUCH.

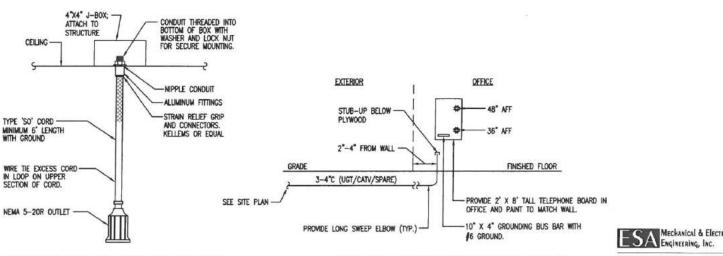
2. GROUND RODS SHALL BE 5/8" X B' MINIMUM. TEST SOIL FOR LESS THAN 25-OHM RESISTANCE AND ADD ADDITIONAL GROUND RODS AS REQUIRED. AT A MINIMUM, THE SERVICE GROUND SHALL BE BONDED TO BUILDING STRUCTURAL STEEL, DOMESTIC METAL COLD WATER PIPE AND CONCRETE ENCASED REBAR (LIFER) LOCATED WITHIN FOOTING OR BEAM OF POURED SLAB IN DIRECT CONTACT WITH EARTH, MINIMUM 20' OF 1/2" REBAR OR #4 AWG.

3. CONNECTIONS TO GROUND RODS BELOW GRADE SHALL BE EXOTHERMIC WELD CONNECTIONS.

- (3) 3/2/0, 1/6 GND, 2°C)
- 4 4 3/0, 1 6 GND, 2°C
- (5) 1/2/0 GND; BOND TO 3/4" X 10' GROUND ROD, UFER GROUND, BUILDING STEEL, AND DOMESTIC COLD WATER PIPE.

PROVIDE 1" EMPTY CONDUIT WITH -PULL-STRING. SWEEP CONDUIT ABOVE ACCESSIBLE CEILING AND PROVIDE BUSHING FITTING. - 2X4 EMPTY -SYMBOL ON PLANS (TYP.)

TELEPHONE/DATA DETAIL 3 SCALE N.T.S.



EQUIPMENT OUTLET DROPS 4 SCALE N.T.S.

TELECOMMUNICATION RISER 5 SCALE N.T.S.

Mechanical & Electrical

Sen Antonio, Texas 78213 F 210.342.3641

INTERIM REVIEW N

GNEER : STEPHEN MITCHE E. SERIAL NUMBER : \$9931 ₫9931 BPE FIRM REC. NO. #F-4

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JOB NO: 4829

DATE: 11/16/18 DRAWN BY:

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E4.1

5 4"OD PIPING HIGH ABOVE; SLOPE AT 1/4" FALL PER FOOT.

[6] 4"RD PIPING DROP IN WALL AND TURN TO DS-1: CONTRACTOR SHALL PROVIDE J.R. SMITH 1770-05-NB DOWNSPOUT NOZZLE W/ NICKEL BRONZE FINISH

[7] 4"OD PIPING DROP IN WALL AND TURN TO DS-1; CONTRACTOR SHALL PROVIDE J.R. SMITH 1770-05-NB DOWNSPOUT NOZZLE W/ NICKEL BRONZE FINISH

4"SS FROM GT-1

4"GW TO GT-1 (SEE SITE PLAN FOR-CONTINUATION); INVERT=36"BFF MINIMUM

PRELIMINARY: INTERIM REVIEW N OR PERMIT PURPOS GINEER BRUCE CECIL SM 68595

REVISIONS NO DATE DESCRIPTION

NEW RESTAURANT ADDITION

RENOVATION FOR IDA CLAIRE

AND JONES MALITSBERGER
SAN ANTONIO, IX 78209

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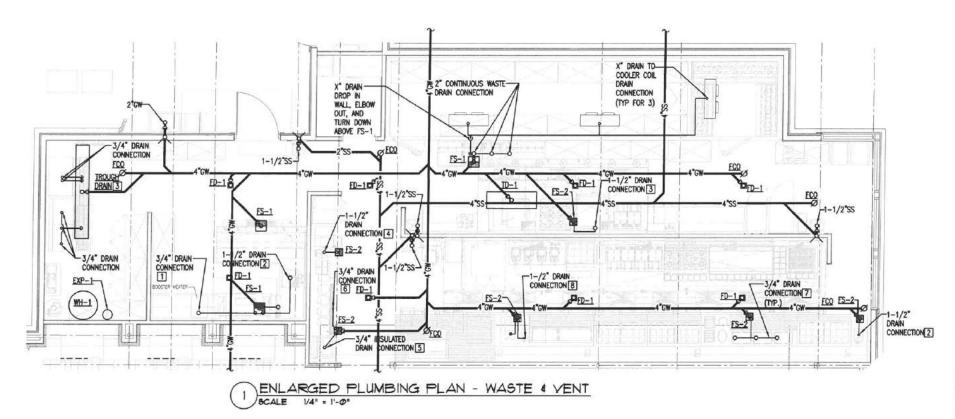
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ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.

1100 NW Loop 410, Suite 810 210.342,9483
Sen Antonio, Texas 78213 F 210.342,3641
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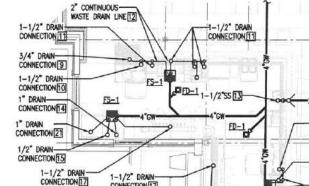
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PLUMBING PLAN KEYED NOTES : (P2.1 ONLY)

- ROUTE 3/4" DRAIN LINE ALONG WALL BELOW DISH TABLE AND TURN DOWN ABOVE FS-1.
- [2] ROUTE 1-1/2" DRAIN LINE ALONG WALL BELOW SINK, TURN, AND ELBOW DOWN ABOVE FS-2.
- 3 PROVIDE 1-1/2" DRAIN LINE CONNECTION TO ELECTRIC COMBI-OVEN WITH VERTICAL VENT TO RISE ABOVE TOP OF UNIT, ROUTE DOWN ALONG WALL AND FLOOR TO ELBOW DOWN ABOVE
- 4 ROUTE 1-1/2" DRAIN LINE IN MILLWORK BELOW SINK, TURN,
- [5] ROUTE INSULATED 3/4" DRAIN LINE FROM BEVERAGE DISPENSER ICE BIN CONNECTION IN MILLWORK, TURN, AND ELBOW DOWN
- 6 PROVIDE LINE-SIZE DRAIN CONNECTION TO BEVERAGE COUNTER DRIP TRAY AND INCREASE TO 3/4" DRAIN LINE, ROUTE DOWN IN MILLWORK AND ELBOW DOWN ABOVE FS-2.
- PROVIDE 3/4" DRAIN CONNECTION TO DROP-IN HOT FOOD WELLS, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE
- 8 PROVIDE 1-1/2" DRAIN CONNECTION TO ICE CREAM DIPPING CABINET, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE
- 9 PROVIDE 3/4" DRAIN CONNECTION TO S/S DRINK PICK-UP PAN, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE
- PROVIDE 3/4" DRAIN CONNECTION TO BACK BAR REFRIGERATOR, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO FS-1.

- 11 PROVIDE 1-1/2" DRAIN CONNECTION TO COCKTAIL STATION, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE
- 12 PROVIDE 2" CONTINUOUS WASTE, SLOPED AT 1/4" FALL PER FOOT, ALONG WALL AND TURN AS NEEDED AND ELBOW DOWN ABOVE FS-1.
- 13 PROVIDE 1-1/2"SS CONNECTION TO HAND SINK; PROVIDE ISLAND VENT PIPING CONFIGURATION - SEE DETAIL X/XXX.
- PROVIDE 1/2" DRAIN CONNECTION TO REAR OF GLASS RACK, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE FS-1.
- [3] PROVIDE 1" DRAIN CONNECTION TO BOTTOM SHELF OF GLASS RACK, ROUTE DOWN ALONG WALL AND ELBOW DOWN ABOVE
- 16 PROVIDE 1-1/2" DRAIN CONNECTION TO BLENDER STATION, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE
- 17 PROVIDE 3/4" DRAIN CONNECTION TO BEER STATION DRIP TRAY, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE
- 18 PROVIDE 1/2" DRAIN CONNECTION TO ICE BIN, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED TO
- 19 PROVIDE 1-1/2" DRAIN CONNECTION TO DRAIN BOARD, ROUTE DOWN ALONG WALL AND TIE-TO 2" CONTINUOUS WASTE ROUTED
- 20 PROVIDE 3/4" DRAIN CONNECTION TO BACK BAR CABINET, ROUTE DOWN ALONG WALL TO FS-1.
- [21] PROVIDE 1" DRAIN CONNECTION TO GLASS DISHWASHER, ROUTE



CONNECTION 10 -1-1/2" DRAIN CONNECTION [1] 2" CONTINUOUS CONNECTION 17 WASTE DRAIN LINE 12 ES-3/4" DRAIN CONNECTION 16 CONNECTION 11 2" CONTINUOUS-FS-1 WASTE DRAIN LINE 12 1-1/2" DRAIN-CONNECTION 19 1/2" DRAIN CONNECTION 18 FD-1 1" DRAIN CONNECTION 21 WASTE DRAIN LINE 12 CONNECTION 20 1-1/2" DRAIN -1-1/2" DRAIN CONNECTION 10

ENLARGED PLUMBING PLAN - WASTE & VENT 3 SCALE 1/4" = 1'-0" -3/4" DRAIN CONNECTION 9

ENLARGED PLUMBING PLAN - WASTE & VENT SCALE 1/4" = 1'-0"

1-1/2" DRAIN

PRELIMINARY; INTERIM REVIEW N OR PERMIT PURPOSE SERIAL MUMBER : EREC

FIRM REG. NO. #F-4

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CLAIRE ADDITION IDA S. RESTAURANT

NEW RESTAURAL & RENOVATION F ంర

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JOB NO 9829

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ESA Mechanical & Electrical Engineering, Inc.

1100 NW Loop 410, Suite 810

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P-2A

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TOP OF

P-3A

P-3A

1-1/2"55

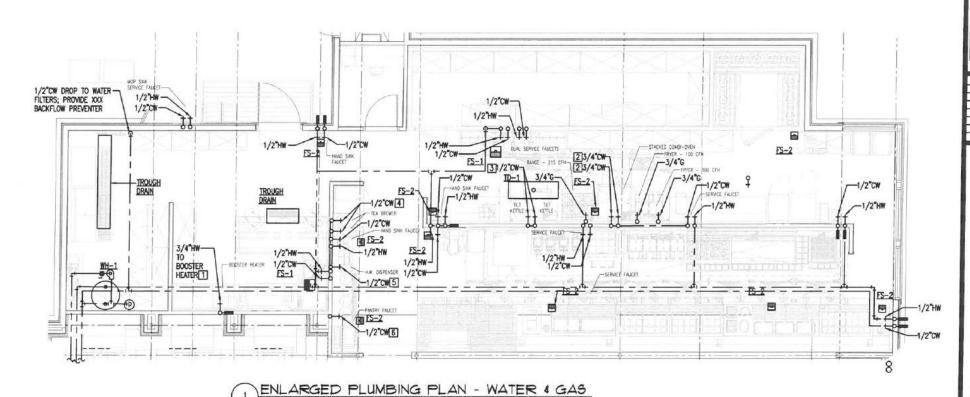
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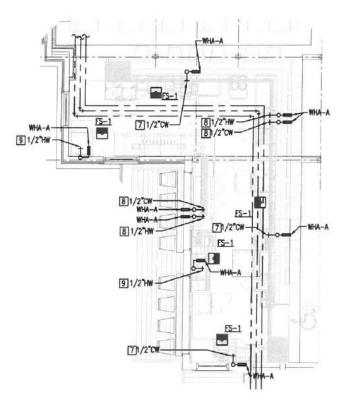
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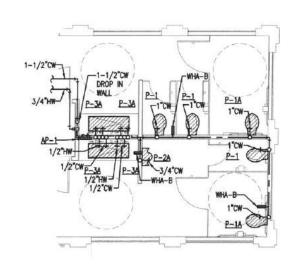
PLUMBING PLAN KEYED NOTES : (P2.2 ONLY)

- PROVIDE 3/4"HW STUB-OUT CAPPED AND VALVED WITH BALL VALVE.
- [2] PROVIDE 3/4"CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE FOR CONNECTION TO ELECTRIC COMBI-OVEN.
- [3] PROVIDE 1/2"CW STUB—OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR 3/8"NPT CONNECTION TO ELECTRIC TILT KETTLE.
- 4 PROVIDE 1/2"CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO WATER FILTER AND FINAL 1/4" OD FLARE COMMNECTION TO TEA BREWER.
- [5] PROVIDE 1/2"CW STUB—OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO WATER FILTER AND FINAL 1/4" OD FLARE COMMECTION TO HOT WATER DISPENSER.
- [5] PROVIDE 1/2"CW STUB—OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO PANTRY FAUCET WITH 1/2" NPS THREAD.
- 7 PROVIDE 1/2"CW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO ICE BIN FAUCET WITH 1/2" NPS THREAD.
- 8 PROVIDE 1/2"CW AND 1/2"HW CONNECTIONS FOR SINK FAUCET.
- 9 PROVIDE 1/2"HW STUB-OUT CAPPED AND VALVED WITH BALL VALVE AND PREP FOR CONNECTION TO GLASS DISHWASHER.



SCALE 1/4" = 1'-0"

ENLARGED PLUMBING PLAN - WATER BCALE 1/4" = 1'-0"



ENLARGED PLUMBING PLAN - WATER SCALE 1/4" = 1'-0"

ESA Mechanical & Electrical Engineering, Inc.

1100 NW Loop 410, Suite 810 Sen Antonio, Texas 78213

PRELIMINARY.

TOR INTERIM REVIEW N R CONSTRUCTION, BIDD DR PERMIT PURPOSES NGINEER BRUCE CECIL SI 68595

DATE 11-16-18 66590 TBPE FIRM REG. NO. #F-41

REVISIONS
HD DATE DESCRIPTS

CLAIRE ADDITION NEW RESTAURANT ADDIT & RENOVATION FOR IDA C 7300 JONES MALTSBERGER SAN ANTONIO, TX 78209

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4901 Broadway, Suite 2501 San Antonio, Tenas, 78209 210,828,9481 v (210,828,979) (Titade Firm Reg 8R1010 moralespartners,inc.

JOB NO 9829

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P2.2

- ALL PLUMBING INSTALLATIONS TO BE MADE IN ACCORDANCE WITH LATEST LOCAL ADOPTED CODES AND CURRENT A.D.A.
- 2. WASTE AND VENT LINES TO BE SCHEDULE 40 PVC.
- 3. COPPER LINES IN CONCRETE TO BE PROTECTED WITH PLASTIC JACKET.
- 4. ALL WATER LINES IN BUILDING SHALL BE RUN ABOVE CELLING UNLESS MOTED OTHERWISE.
- 5. SLOPE ALL GREASE WASTE LINES AT 1/4" PER FOOT AND ALL SANITARY SEWER LINES AT 1/8" PER FOOT.
- INSULATE ALL HOT WATER LINES (INCLUDING LINES RUN ABOVE CEILING) WITH 1" OWENS-COPHING FIBERGLASS ASJ/SSL-11 OR EQUIVALENT.
- 7. FIRE-SEAL ALL PIPE PENETRATIONS THRU FIRE-RATED WALLS.
- PLIAMENG LINES SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS. COORDINATE PANEL LOCATIONS WITH ELECTRICAL CONTRACTOR.
- PROVIDE LOCAL CODE APPROVED BACKFLOW PREVENTERS CONFORMING TO ASSE 1022 FOR ALL BEVERAGE DISPENSERS
  AND WATER DISPENSING FOOD SERVICE EQUIPMENT. FOR ALL CARBONATED BEVERAGE DISPENSERS, PROVIDE LOCAL CODE
  APPROVED STAINLESS STEEL BACKFLOW PREVENTERS CONFORMING TO ASSE 1022.
- 10. ALL POTABLE WATER PIPING SHALL BE COPPER. ALL COPPER LINES IN SLAB TO BE TYPE "K" SOFT COPPER WITH NO JOINTS, COPPER LINES NOT INSTALLED IN SLAB TO BE TYPE "L" HARD COPPER.
- PROVIDE ALTERNATE BID WITH ALL POTABLE WATER LINES TO BE PEX. PIPE SIZE INDICATED ON THESE DRAWINGS ARE SIZED PER COPPER AND SHALL BE ADJUSTED AS REQUIRED FOR PEX. APPROVED PEX MANUFACTURERS: AQUATHERM GREENPIPE, UPHOR WIRSBO AND REHAU. PEX PIPHIG MUST BE APPLICABLE FOR HOT WATER RECIRCULATION SYSTEM.
- COORDINATE ROUGH—IN HEIGHTS, FIXTURE MOUNTING HEIGHTS, AND ADA CLEARANCES WITH VENDOR EQUIPMENT DRAWNINGS, ARCHITECT, AND TEXAS ADA ACCESSIBILITY STANDARDS.
- 13. GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL FOR ABOVE GROUND INSTALLATIONS.
- 14. ALL PIPING BELOW GRADE SHALL HAVE NO JOINTS BELOW GRADE.
- 15. ALL NATER HAMMER ARRESTORS TO BE SIOUX CHIEF PISTON TYPE OR EQUAL PROVIDE ACCESS PANELS WHERE
- 16. ALL CONDENSATE DRAIN LINES SHALL SLOPE AT 1/8" PER FOOT.
- 17. ALL INTERIOR CONDENSATE PIPING SHALL BE INSULATED SCHEDULE 40 PVC.
- 18. ALL EXTERIOR CONDENSATE PIPING SHALL BE TYPE "L" HARD COPPER.
- DO NOT INSTALL WATER LINES OR VENT LINES ABOVE ELECTRICAL PANELBOARDS. COORDINATE PANELBOARD LOCATIONS WITH ELECTRICAL CONTRACTOR.
- 20. ALL PLUMBING SHALL COMPLY WITH THE MOST STRINGENT OF APPLICABLE CODES, ORDINANCES, OR SPECIFICATIONS,
- 21. ALL FIXTURES SHALL BE PROPERLY VENTED TO THE ATMOSPHERE.
- 22. REFER TO MECHANICAL SHEETS FOR LOCATIONS OF MECHANICAL EQUIPMENT AND DUCTWORK AND CORRELATE ALL WORK TO FIT AVAILABLE SPACE.
- 23. WATER PIPING AND VENT PIPING MAINS SHALL BE INSTALLED ABOVE LAY-IN CEILING UNLESS OTHERWISE NOTED.
- 24. FOR INDIMOUAL LINE SIZES TO FIXTURES SEE PLUMBING FIXTURE SCHEDULE.
- 25. DO NOT RUN PLUMBING IN SHEAR WALLS.
- 26. REFER TO ARCHITECTURAL DRAWINGS FOR ADA MOUNTING HEIGHTS.
- PROVIDE WATER HAMMER ARRESTORS FOR DISHMASHER AND KITCHEN SINKS PER CITY OF SAN ANTONIO CHAPTER 24
  PLUMBING CODE SECTION 604.9. INSTALL WATER HAMMER ARRESTORS ABOVE CEILING ON HOT AND COLD WATER LINES.
- 28. GAS PIPING ALONG EXTERIOR WALL AND GAS METER SHALL BE PAINTED TO MATCH BUILDING EXTERIOR WALL COLOR.
- SEAL AROUND PIPE PENETRATIONS WHERE PIPE PASSES BETWEEN LOCATIONS WITH DIFFERENCES IN TEMPERATURE, SUCH AS REFRIGERATED SPACES.
- PROVIDE GAS VALVES WITH SHURT TRIP FOR GAS LINES SERVING KITCHEN EQUIPMENT LOCATED UNDER HOODS, GAS
  VALVE SHURT TRIP SHALL BE INTERLOCKED WITH THE HOOD ANSUL SYSTEM.
- 31. VENT LINES SHALL BE INSTALLED ABOVE CEILING OR A MINIMUM OF 6" ABOVE THE FLOOD RIM OF THE FIXTURE SERVED. VENT LINES SHOWN IN SLAB CONNECT TO TRAPS OF FLOOR DRAMS AND FLOOR SINKS. BISSURE VENT PIPING IS INSTALLED WITH A SLOPE OF 1/8" RISE PER FOOT TOWARDS VENT RISER IN NEAREST WALL.
- 32. EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6" ABOVE THE FLOOD LEVEL RIM OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED, WHEN STRUCTURAL CONDITIONS REQUIRE HORIZONTAL VENTS TO BE INSTALLED BELOW THE FLOOD LEVEL RIM OF THE FIXTURE THEY SERVE, THEY SHALL HAVE A CLEANOUT INSTALLED ON THE RISER IN AN APPENDED FOR THE FIXTURE THEY SERVE, THEY SHALL HAVE A CLEANOUT INSTALLED ON THE RISER IN AN
- 33. A CONNECTION BETWEEN A VENT PIPE AND A VENT STACK OR STACK VENT SHALL BE MADE AT LEAST 6" ABOVE THE FLOOD LEVEL RM OF THE HIGHEST FIXTURE SERVED BY THE YENT. HORIZONTAL VENT PIPES FORMING BRANCH VENTS, RELIEF VENTS OR LOOP VENTS SHALL BE AT LEAST 6"ABOVE THE FLOOD LEVEL RIM OF THE HIGHEST FIXTURE SERVED.

## GENERAL KITCHEN PLUMBING NOTES:

- REFER TO FOOD SERVICE DRAWINGS FOR ADDITIONAL ROUGH—IN AND WATER AND DRAINAGE REQUIREMENT INCLUDING LOCATION AND MOUNTING HEIGHTS. FOOD SERVICE DRAWINGS SHALL TAKE PRECEDENCE OVER DIVISION 15 DRAWINGS WITH RESPECT TO KITCHEN EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS.
- KITCHEN EQUIPMENT CONNECTIONS SHALL BE LOCATED IN ACCORDANCE WITH APPROVED DIMENSIONED SHOP DRAWINGS. MAKE ALL FINAL CONNECTIONS UNLESS OTHERWISE NOTED BY FOOD SERVICE DRAWINGS.
- 3. SEAL AROUND PIPE PENETRATIONS WHERE PIPE PASSES BETWEEN LOCATIONS WITH DIFFERENCES IN TEMPERATURE, SUCH AS REFRIGERATED SPACES.
- PROVIDE GAS VALVES WITH SHUNT TRIP FOR GAS LINES SERVING KITCHEN EQUIPMENT LOCATED UNDER HOODS. GAS VALVE SHUNT TRIP SHALL BE INTERLOCKED WITH THE HOOD ANSUL SYSTEM.
- 5. SEE FOOD SERVICE DRAWINGS FOR SYRUP LINE CHASE INSTALLATION.
- PLUMBING FIXTURES SHOWN ON FOOD SERVICE CONSULTANT DRAWINGS SHALL BE FURNISHED BY FOOD SERVICE CONTRACTOR AND INSTALLED BY PLUMBING CONTRACTOR.

MARK	ITEM	HW	CW	DRAIN	VENT	REMARKS
P-1	WATER CLOSET - WALL MOUNT FLUSH VALVE	-	1"	4-	2"	AMERICAN STANDARD 2294.011EC AFWALL FLOWISE ELONGATED BOWL W/ EVERCLEAN SURFACE, TOP SPUD, WHITE (1.28 GPF); SLOAN ROYAL 111-1.28 EXPOSED FLUSHOMETER (1.28 GPF); BEWIS 1955CC OPEN FRONT SEAT; ZURN Z-1203 FLOOR MOUNTED CLOSET CARRIER
P-1A	WATER CLOSET - WALL MOUNT FLUSH VALVE (ADA)	-	1*	4*	2"	AMERICAN STANDARD 2294.011EC AFWALL FLOWISE ELONGATED BOWL W/ EVERCLEAN SURFACE, TOP SPUD, WHITE (1.28 GPF); SLOAN ROYAL 111-1.28 EXPOSED FLUSHOMETER (1.28 GPF); BEMIS 1955CC OPEN FRONT SEAT; ZURN Z-1203 FLOOR MOUNTED CLOSET CARRIER
P-2A	URINAL (ADA)	-	3/4"	2*	1-1/2	AMERICAN STANDARD 6590.001 WASHBROOK FLOWISE WALL-HUNG URINAL, WHITE (0.5 GPF), 3/4" TOP SPUD; SLOAN ROYAL 186-0.5  EXPOSED URINAL FLUSHOMETER; ZURN Z-1218 FLOOR MOUNTED URINAL CARRIER
P-3A	LAVATORY (ADA)	1/2°	1/2"	2*	1-1/2	KOHLER K-20213-P5 "IRON PLAINS"; SEE ARCHITECTURAL FOR MORE; KOHLER K-T14414-4 "PURISI" FAUCET, HEAVY-DUTY CAST BRASS; (2) MCGUIRE 2167LK FLEXIBLE SUPPLIES AND LOOSE KEY STOP, MCGUIRE 8912 "P" TRAP; WATTS USG-B UNDERSINK GUARDIAN (SET AT 105'F)
TD-1	TROUGH DRAIN	-	-	SEE PLANS	SEE Plans	INC/TEDDY ASFT-1860 WITH 14GA, 304 STAINLESS STEEL, AND ADA STAINLESS STEEL GRATE. SIZES SHALL BE AS SHOWN ON PLANS.
FD-1	FLOOR DRAIN	-	-	SEE PLANS	SEE	ZURN Z415N BODY ASSEMBLY WITH POLISHED NICKEL BRONZE TOP AND TRAP PRIMER CONNECTION, 5-INCH DIA.
FS-1	FLOOR SINK - 12" x 12" x 10"	-	1	SEE PLANS	SEE	ZURN #ZN-1902-P-33, C.I. GRATE, TRAP PRIMER CONNECTION AND SEDIMENT BUCKET, WHITE ACID RESISTING EPOXY COATING. 1/2" OPEN GRATE STYLE; ATTEMPT TO CONCEAL FLOOR SINK BELOW MILLWORK WHERE POSSIBLE, COORDINATE W/ ARCH.
FS-2	FLOOR SINK - 8" x 8" x 6"	-	- wax	SEE	SEE	ZURN #ZN-1910-P-33, C.I. GRATE, TRAP PRIMER CONNECTION AND SEDIMENT BUCKET, WHITE ACID RESISTING EPOXY COATING. COORDINATE GRATE OPENING STYLE WITH FOOD SERVICE CONSULTANT.
AP-1	ACCESS PANEL	-	-	-	-	MIFAB SERIES UA SERIES, 12" X 12" KEY OPERATED LOCK. COORDINATE FINISH WITH ARCHITECT
TP-1	TRAP PRIMER	-	1/2"	-	-	PPP INC. # PR-500 WITH DISTRIBUTION UNIT DU-2, DU-3, OR DU-4 WHERE MULTIPLE LINES ARE REQUIRED
XP-1	EXPANSION TANK	-	-	-	-	WATTS   DETA-30-M1
FCO	FLOOR CLEANOUT	-	-	SEE PLANS	-	ZURN Z1400-BZ ADJUSTABLE LEVELING FLOOR CLEANOUT
YCO	YARD CLEANOUT	-	-	SEE PLANS	-	ZURN Z1400 ADJUSTABLE LEVELING FLOOR CLEANOUT
WCO	WALL CLEANOUT	-	-	SEE PLANS	-	ZURN Z1441 WITH POLISHED CHROME FINISH
HB-1	HOSE BIBB	-	3/4"	-	-	WOODFORD #RB67 FREEZEPROOF WITH VACUUM BREAKER AND LOOSE KEY
CP-1	RECIRCULATION PUMP POTABLE WATER	1/2*	-	-	-	<del></del>
W-1	MIXING VALVE	SEE PLANS	SEE PLANS	-	-	WATTS ∮L111 1/2" THERMOSTATIC MIXING VALVE WITH ∳CS CHECK STOP VALVES; SET AT 105°F; LOCATE UNDER KITCHEN HAND SINKS
WB-1	WALL BOX	SEE PLANS	SEE Plans	-		DATEY 38688 METAL WATER OUTLET BOX W/ QUARTER TURN BRASS HAMMER BALL VALVE; PROVIDE SOV AND 6' OF COILED SOFT COPPER FOR CONNECTION TO WB-1
GI-1	GREASE INTERCEPTOR	-	-	4"	2*	

- 1) PROVIDE TRIP LEVER ON OPEN SIDE OF RESTROOM. SEE PLANS.
- 4) REFER TO ARCHITECTURAL PLANS FOR ADA INSTALLATION HEIGHTS.

2 PROVIDE OFFSET DRAIN.

- 5 PROVIDE TAILPIECE FITTING FOR ROUTING TO FLOOR DRAIN TRAP PRIMER CONNECTION
- 3 PROVIDE TRUEBRO HANDI-LAV GUARD KITS \$102 AND \$105 OFFSET DRAIN.

	WATER HEATER SCHEDULE										
MARK	GAS		TANK	RECOVERY	PC-MONG.						
MANUT	BTUH	FLUE		CPH O BOT AT	REMARKS						
WH-1	199,000	6"#; PROVIDE FLUE PER MFG. RECOMMENDATIONS	100	239	A.O. SMITH BTH199 CYCLONE Mod (CONCENTRIC DIRECT VENT); PROVIDE GALVANIZED DRAIN PAN WITH 3/4" DRAIN WITH AIR GAP AS NOTED; PROVIDE TAUP AND FULL-SIZE DRAIN WITH AIR GAP AS NOTED; SET AT 140"F (OPER. WIT. = 1305#); SEE 6/P4.1						

EQUIVALENT MANUFACTURERS: NONE

1) PROVIDE CONCENTRIC VENT KIT 9006328005

"PDI" CROSS REF.	N.P.T.	FIXTURE UNIT CAPACITY	LOCATION	SIOUX CHIEF MODEL NO. OR EQUAL	REMARKS
м	1/2*	1-4		660	PISTON OPERATED, MAINTENANCE FREE MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
A	1/2"	5-11	ACCEPTED E	652-A	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
В	3/4"	12-32	ACCESSIBLE VIA ACCESS PANEL	653-B	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
С	1*	33-60		654-C	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)
D	1*	61-113		655-0	PISTON OPERATED, MAINTENANCE FREE, MIL-D-82036, TYPE II, NON-BLADDER TYPE. PD-WH-201 (R1983)

MARK	DESCRIPTION			
	- COLD WATER	CW		
	- HOT WATER PIPING (120°)	HW		
	- HOT WATER RETURN PIPING (120')	HWR		
55-	- SANITARY SEWER PIPING	SW		
DO FO	FLOOR CLEANOUT	23.7		
V	- VENT PIPING			
B <sub>P-X</sub>	FIXTURE WITH MARK			
<b>−₩</b>	- GATE VALVE			
<del>+</del> 0	ELBOW DOWN			
<del></del> ∞	ELBOW UP			
7	ELBOW FITTING			
141	TEE FITTING			
D	- CONDENSATE OR OVERFLOW DRAIN PIP	ING		
	WALL CLEANOUT	WALL CLEANOUT		
—— <sub>II</sub> c	CLEANOUT	CLEANOUT		
(AE)	INDICATES ASSUMED EXISTING			
(E)	INDICATES EXISTING			
□ <sub>FS</sub>	FLOOR SINK			
&-	BALL VALVE			
1	DENOTES PLUMBING KEYED NOTE			
AFF	ABOVE FINISHED FLOOR			
A	DENOTES PLUMBING DEMOLITION KEYED	NOTE		
POC 🕞	POINT OF CONNECTION	$\neg$		
VTR	VENT THRU ROOF			
AC	ABOVE CEILING			
BFF	BELOW FINISH FLOOR	$\neg$		
[ WHA	WATER HAMMER ARRESTOR			
CW	COLD WATER	ヿ		
HW	HOT WATER	$\neg$		
SW	SOFT WATER	$\neg$		
TW	TEMPERED WATER			
C	GAS PIPING	$\neg$		
		_		

NOTE: NOT ALL MARKS MAY BE USED.

JOB NO 9829 DATE 11/16/18

moralespartners,

ESA MECHANICAL & ELECTRICAL ENGINEERING, INC.

1100 NW Loop 410, Suite 810 210.342,3483 Sen Antonio, Texas 78213 F 210.342,3641 305 NO: 1890 7 1457

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OR PERMIT PURPOSES

11-16-18

NO DATE DESCRIP

LAIRI

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FOR LTSBERGEI . TX 78209

ADDITION

RESTAURANT

NEW RESTAURA & RENOVATION F

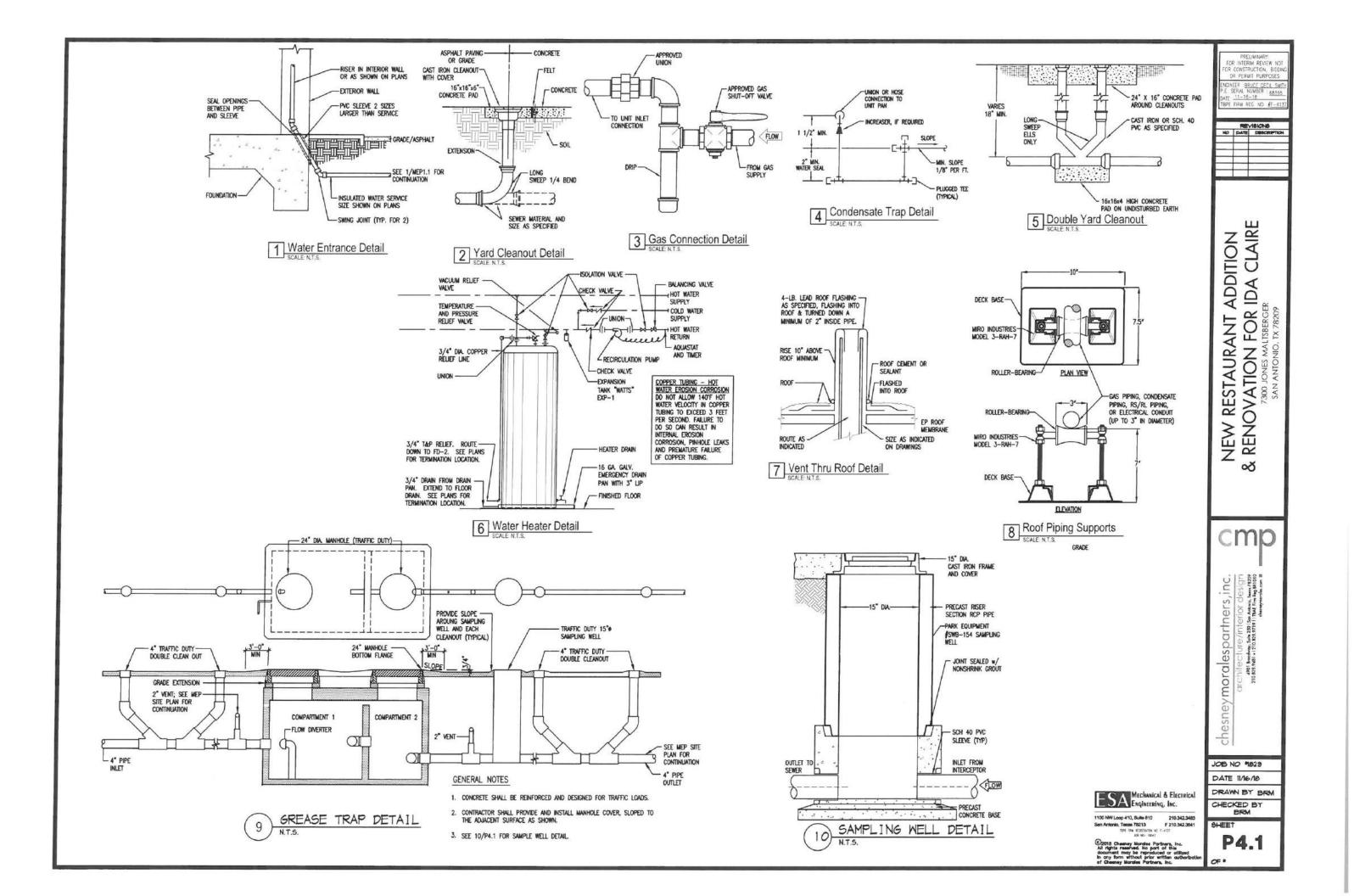
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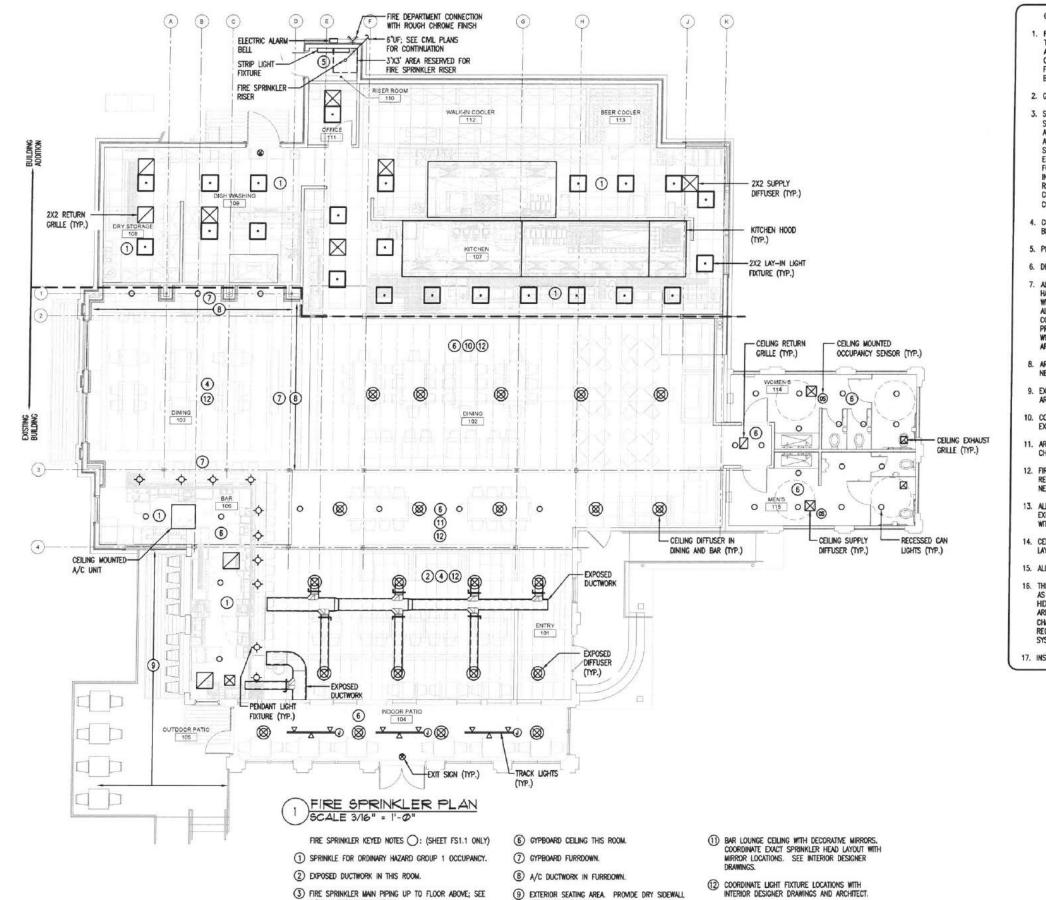
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SHEET





SPRINKLER COVERAGE.

DESIGNER DRAWINGS.

(1) DINING ROOM CEILING WITH DECORATIVE CIRCULAR MEDALLIONS. COORDINATE EXACT SPRINKLER HEAD

LAYOUT WITH MEDALLION LOCATIONS. SEE INTERIOR

2/FS-1 FOR CONTINUATION.

(5) NO CEILING IN THIS ROOM.

(4) OPEN TO ABOVE.

GENERAL SPRINKLER NOTES:

- FULL CONSIDERATION SHALL BE GIVEN TO AESTHETIC CONSIDERATIONS OF THE FACILITY, HEADS SHALL BE LOCATED IN CEILINGS, TRIM, OR OTHER ARCHITECTURAL FEATURES TO MINIMIZE ADVERSE APPEARANCES OR CONFLICTS. HEADS SHALL BE SYMMETRICALLY LOCATED WHERE FEASIBLE. FINISHED HEADS SHALL BE INSTALLED IN ALL FINISHED AREAS. HEADS SHALL BE CENTERED IN CEILING TILES.
- 2. GUARDS SHALL BE INSTALLED ON ALL HEADS SUBJECT TO PHYSICAL DAMAGE.
- 3. SYSTEM SHALL BE IN COMPLETE COMPLIANCE WITH NFPA 13 AND ALL STATE/LOCAL REQUIREMENTS. PLANS MUST CONFORM TO THE LOCALLY ADOPTED FIRE CODE, APPLICABLE NFPA CODES AND LOCAL CITY AMENDMENTS. SPRINKLER CONTRACTOR SHALL REFER TO OTHER DISCIPLINES SUCH AS ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR OTHER REQUIREMENTS, RESTRICTIONS, CONFLICTS, ETC. THE FOLLOWING SPRINKLER PLANS ARE CONCEPTUAL IN NATURE AND ARE NOT INTENDED TO REPRESENT THE DETAILED SCOPE OF SPRINKLER WORK REQUIRED. ADDITIONAL WORK REQUIRED AS A RESULT OF FAILING TO COORDINATE WITH OTHER TRADES WILL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER OR A/E.
- CONTRACTOR SHALL CONDUCT FIRE FLOW TEST AS REQUIRED TO VERIFY FLOW BEFORE BEGINNING FINAL DESIGN.
- 5. PLASTIC PIPING NOT ACCEPTABLE.
- 6. DESIGN FOR LIGHT HAZARD OCCUPANCY UNLESS OTHERWISE NOTED.
- 7. ALL PENDANT SPRINKLER HEADS IN FINISHED AREAS WITH GYPBOARD AND HARD CEILINGS SHALL BE CONCEALED TYPE AUTOMATIC SPRINKLER HEADS WITH COVER PLATES. COORDINATE COVER PLATE COLORS WITH ARCHITECT. ALL SPRINKLER HEADS IN FINISHED AREAS WITH LAY—IN CEILINGS SHALL BE CONCEALED TYPE AUTOMATIC SPRINKLER HEADS WITH WHITE COVER PLATES. PROVIDE UPRIGHT HEADS WITH BRASS FINISH FOR NON-PUBLIC AREAS WITHOUT CEILINGS. PROVIDE DRY SIDEMAL HEADS FOR EXTERIOR SEATING AREAS. COORDINATE HEAD AND TRIM COLOR WITH ARCHITECT.
- ARCHITECT RESERVES THE RIGHT TO ADJUST HEAD LOCATIONS AND IF NECESSARY, HEAD QUANTITIES DURING SUBMITTAL PHASE.
- EXPOSED FIRE SPRINKLER PIPING SHALL BE PAINTED AS DIRECTED BY ARCHITECT.
- CONTRACTOR SHALL VISIT THE SITE AND SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS AND PROJECT SCOPE PRIOR TO SUBMITTING BID.
- ARRANGE WITH AUTHORITIES FOR PERMITS AND FEES AND PAYING ALL CHARGES, INCLUDING INSPECTIONS.
- FIRE SEAL ALL PIPE PENETRATIONS THROUGH FIRE RATED ASSEMBLIES AS REQUIRED. FIRE CAULK ANY PENETRATIONS MADE TO DEMISING WALLS AND NEW WALLS.
- ALL SPRINKLER HEADS IN PUBLIC AREAS WITHOUT CEILINGS SHALL BE EXPOSED TYPE UPRIGHT AUTOMATIC SPRINKLER HEADS. COORDINATE FINISH WITH ARCHITECT.
- CEILING HEIGHTS AND TYPES VARY THROUGHOUT BUILDING. SOME AREAS HAVE LAY-IN CEILINGS, AND OTHER AREAS HAVE GYPBOARD CEILINGS. CEILINGS.
- 15. ALL SPRINKLER PIPING SHALL BE HIDDEN IN FINISHED AREAS.
- 16. THE SPRINKLER SYSTEM PLAN LAYOUT SHOWN IS TO PROVIDE A GUIDELINE AS TO THE INTENT OF THE DESIRED DESIGN. SPRINKLER LINES SHALL REMAIN HIDDEN ABOVE CEILINGS WHERE POSSIBLE. SPRINKLER LAYOUT IN EXPOSED AREAS IS CRITICAL TO MINIMIZE VISIBILITY OF SPRINKLER SYSTEM. ANY CHANGE IN LAYOUT DUE TO CONFLICTS/SPRINKLER SYSTEM DESIGN REQUIREMENT SHALL BE COORDINATED WITH ARCHITECT DURING SPRINKLER SYSTEM DESIGN PHASE.
- 17. INSTALL FIRE SPRINKLER PIPING AS HIGH AS POSSIBLE.

PRELIMINARY:
FOR INTERIM REVIEW NOT
OR CONSTRUCTION, BIDDING
OR PERMIT PURPOSES
IGMEER BRUCE CECIL SWITH
E. SERIAL NUMBER: 68595

11-16-18 E FIRM REG. NO. 4F-413

REVISIONS
NO DATE DESCRIPTIO

NEW RESTAURANT ADDITION

& RENOVATION FOR IDA CLAIRE
SAN ANTONIO, IX 28209

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SA Mechanical & Electrical DRAWN
Engineering, Inc.
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