

# HISTORIC AND DESIGN REVIEW COMMISSION

December 19, 2018

**HDRC CASE NO:** 2018-620  
**ADDRESS:** 421 PIERCE  
**LEGAL DESCRIPTION:** NCB 1265 BLK 1 LOT 5 & S 51 FT OF 4  
**ZONING:** RM-5  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Government Hill Historic District  
**APPLICANT:** Peggy Brimhall/Figurd  
**OWNER:** 1807 Land and Cattle Company, LLC  
**TYPE OF WORK:** Construction of five residential structures  
**APPLICATION RECEIVED:** December 07, 2018  
**60-DAY REVIEW:** February 05, 2019  
**REQUEST:**

The applicant is requesting conceptual approval to construct five residential structures at the corner of Pierce and Colita Streets in the Government Hill Historic District. The proposed development will incorporate an existing, two story historic structure, located immediately at the corner.

## APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

*i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

*ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

*i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

*i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

*ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

*iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

*i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.

*ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

#### D. LOT COVERAGE

*i. Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

### 3. Materials and Textures

#### A. NEW MATERIALS

*i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*iv. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### 4. Architectural Details

#### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

### 5. Garages and Outbuildings

#### A. DESIGN AND CHARACTER

*v. Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

### 6. Mechanical Equipment and Roof Appurtenances

#### A. LOCATION AND SITING

*i. Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

*ii. Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

## B. SCREENING

- i. Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
  - ii. Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
  - iii. Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.
- Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

## B. NEW FENCES AND WALLS

- i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
  - ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
  - iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
  - iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
  - v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure.
- Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 3. Landscape Design

### A. PLANTINGS

- i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

### B. ROCKS OR HARDSCAPE

- i. Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel*—Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## D. TREES

- i. Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

## 5. Sidewalks, Walkways, Driveways, and Curbing

### A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

### B. DRIVEWAYS

- i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

## 7. Off-Street Parking

### A. LOCATION

- i. Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.
- ii. Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.
- iii. Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

### B. DESIGN

- i. Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.
- ii. Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.
- iii. Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

## FINDINGS:

- a. The applicant is requesting conceptual approval to construct five residential structures at the corner of Pierce, Carson and Colita Streets in the Government Hill Historic District. The proposed development will incorporate an existing, two story historic structure, located immediately at the corner.
- b. **CONCEPTUAL APPROVAL** – Conceptual approval is the review of general design ideas and principles (such as scale and setback). Specific design details reviewed at this stage are not binding and may only be approved through a Certificate of Appropriateness for final approval.
- c. **SETBACKS & ORIENTATION** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. On E Carson, the applicant has proposed a setback that is less than those found historically in the district. On Pierce Avenue, the applicant has proposed setbacks that generally are greater than those found historically on Pierce; most historic structures feature a side façade front Pierce, not a front façade. On Colita, the applicant has proposed setbacks that are greater than those found historically on this block. Staff finds that the applicant should propose a greater setback on E Carson.
- d. **ENTRANCES** – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. Per the submitted documents, primary entrances will front each street. This is consistent with the Guidelines.
- e. **SCALE & MASS (E Carson)** – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. This block of E Carson features seven historic structures, three of which feature multiple stories in height. The applicant has proposed a height on E Carson of approximately thirty-three (33) feet. Staff finds that the proposed height should be reduced to heights comparable with those found on the block. More than one story in height may be appropriate; however, the proposed height should be consistent with adjacent historic structures.
- f. **SCALE & MASS – (Pierce & Colita)** – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed for each structure on Pierce to feature two stories in height. There currently is a two story, historic structure at the corner of Pierce and Colita. Staff finds that proposed massing for structures on Pierce and Colita should be comparable to and not exceed the height of the existing, historic structure.
- g. **FOUNDATION & FLOOR HEIGHTS** – According to the Guidelines for New Construction 2.A.iii., foundation and floor height should be aligned within one (1) foot of neighboring structure's foundation and floor heights. The applicant is responsible for complying with this requirement.
- h. **ROOF FORMS** – The applicant has proposed a number of roof forms, including gabled and hipped roofs. The applicant has also proposed mansard roofs, which are not historic to the Government Hill Historic District. Staff finds that gabled and hipped roofs should be featured in the proposed new construction.
- i. **WINDOW & DOOR OPENINGS** – Per the Guidelines for New Construction 2.C.i., window and door openings with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. Generally, the applicant has proposed fenestration that features an overall size consistent with that found on historic structures throughout the district.
- j. **LOT COVERAGE** – Per the Guidelines, the building footprint for new construction should be no more than fifty (50) percent of the size of the total lot area. The applicant has proposed to introduce a large amount of square footage that currently is not typical of the district. Staff finds that the applicant should confirm that the proposed building to lot ratio does not exceed fifty (50) percent.
- k. **MATERIALS** – At this time the applicant has not provided specific information regarding materials. The applicant should propose materials that are appropriate for the district and in keeping with the Guidelines.
- l. **WINDOW MATERIALS** – At this time, the applicant has not specified window materials. Staff finds that a double-hung, one-over-one wood windows or aluminum-clad wood windows be used. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be

- painted to match the window trim or concealed by a wood window screen set within the opening.
- m. **ARCHITECTURAL DETAILS** – The applicant has proposed new construction that features architectural elements that are consistent with those found historically in the district; however, many elements that the applicant has proposed should be modified to feature appropriate massing and architectural details. Front porch elements should be included into the massing of each structure and roof forms should remain consistent with those found historically in the Government Hill Historic District.
  - n. **MECHANICAL EQUIPMENT** – Per the Guidelines for New Construction 6., all mechanical equipment should be screened from view at the public right of way. The applicant is responsible for screening all mechanical equipment where it cannot be viewed from the public right of way.
  - o. **VEHICULAR ACCESS** – The applicant has proposed vehicular access to the proposed structures in the form of a new driveway on Pierce and on Colita. The applicant has proposed for the driveway on Pierce to be located at the rear of the proposed new construction on Pierce and feature a width of nine (9) feet. The proposed driveway on Colita is to feature a width of 17' – 6". This is inconsistent with the Guidelines. Additionally, staff finds that pervious paving is most appropriate for the proposed driveways, located in non-original driveway locations.
  - p. **LANDSCAPING** – The applicant has provided an overall site plan with some landscaping elements. Staff finds that both a landscaping plan and tree preservation plan be submitted for review.

## **RECOMMENDATION:**

Staff does not recommend conceptual approval at this time. Staff recommends that the applicant provide additional information and address the following prior to receiving conceptual approval:

- i. That the applicant ensure that the proposed structure on E Carson features a setback that is greater than the historic structures on the block.
- ii. That the applicant reduce the proposed massing for the proposed structure on E Carson to be comparable with the two story structures on the block.
- iii. That the applicant reduce the proposed massing for the proposed structures on Pierce and Colita to not exceed the existing, two story historic structure at that location.
- iv. That the applicant confirm that the proposed foundation heights are consistent with the Guidelines.
- v. That the applicant provide information regarding materials and windows materials that are consistent with the Guidelines.
- vi. That a double-hung, one-over-one wood windows or aluminum-clad wood windows be used.. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- vii. That the applicant provide information regarding lot sizes and footprints to confirm that the proposed new construction does not cover more than fifty (50) percent of the lot.
- viii. That the applicant modify the proposed roof forms to feature gabled and hipped roofs and eliminate any mansard roof elements.
- ix. That the applicant incorporate front porch elements into the massing of each structure.
- x. That all mechanical equipment be screened from view at the public right of way.
- xi. That the applicant reduce the proposed driveway width on Colita to ten feet in width and that each new driveway feature pervious paving.
- xii. That the applicant submit a landscaping and tree preservation plan.

## **CASE MANAGER:**

Edward Hall





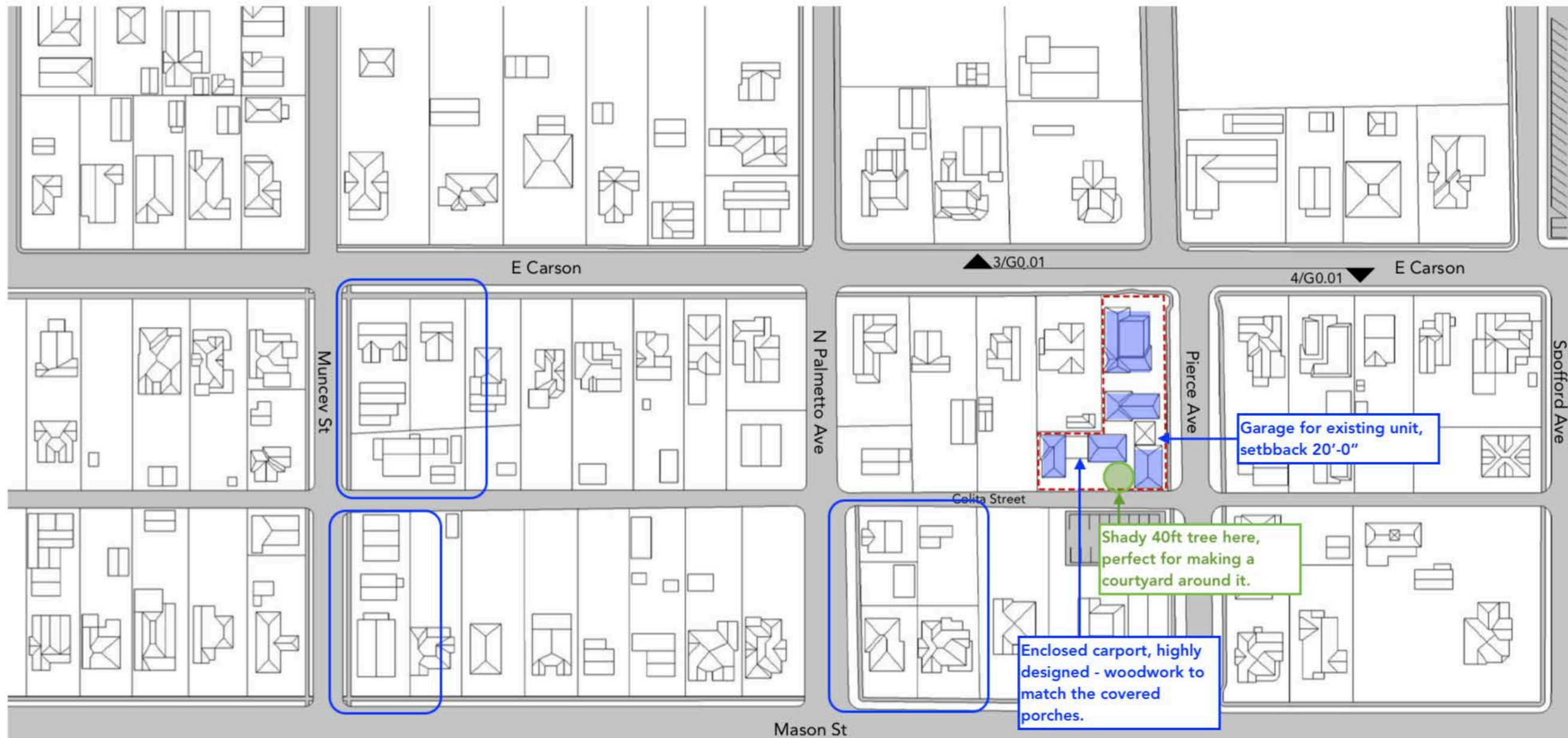
















**1 PERSPECTIVE VIEW FROM NORTH ENTRY**  
G0.00 NTS



**2 PERSPECTIVE VIEW FROM SOUTH ENTRY**  
G0.00 NTS



**3 LOCATION PLAN**  
G0.00 SCALE 1" = 100' - 0"



## General Notes

- A - General Requirements**
- 1 If there are any questions regarding these plans, contact Peggy Brimhall at 646-726-3173.
  - 2 No work shall be performed or materials furnished other than as shown on these plans or authorized as an addendum to these documents by the owner.
  - 3 No changes to or variations from these plans may be made except upon written instruction from owner.
  - 4 An operation and maintenance manual shall be provided to the occupant or owner.
  - 5 Contractor to propose and code compliant waste management plan to be approved by environmental services division and implemented through job completion.
  - 6 Contractor will provide temporary sanitary facilities on the job site before the start of work.
  - 7 Contractor shall protect and keep clean all areas not affected by scope of project.
  - 8 Contractor shall verify all dimensions on the job site.
  - 9 Contractor shall be responsible for ensuring that all workmanship and/or materials furnished meet with all applicable city, county, and other jurisdictional agency requirements.
  - 10 Contractor shall be responsible for being familiar with and complying with manufacturer's instructions for correct installation and use of all material used.
  - 11 All materials furnished shall be new and of first quality, no used materials or seconds will be permitted except upon written instruction from owner.
  - 12 Adhesives, sealants, caulks, paints, stains, carpets, and other components shall be compliant with voc limits and other toxic compound limits.
  - 13 Provide for removal of existing landscaping as necessary for construction of the proposed improvements, verify with owner prior to removal.
  - 14 Storm water drainage management plan shall be implemented during construction.
  - 15 Upon completion of work, clear the area of all construction debris and provide positive drainage away from new foundations and new flatwork, dress disturbed areas around building with topsoil remove clods, mortar, brick and stone, and other debris from soil and rake smooth, prepare for landscaping.
  - 16 Building to be located per existing stakes on site, done by others. Builder to visit site for verification.
  - 17 Builder to provide allowance for 4" deep drive pavement to connect street to parkway.
  - 18 Escape/rescue window from sleeping areas shall have a minimum of 5.7 sq. ft. clear net opening and a minimum clear opening height of 24" and a minimum clear opening width of 20". Finished sill height shall be a maximum of 44" above the floor and per IRC sec 310.
  - 19 One-hour rated gypsum board shall be installed under stairs.
  - 20 Smoke alarms shall be hard wired in series with battery backup power as per IRC sec R312.
  - 21 Handrails shall be installed along all steps/stairs with 4 or more risers and conform to IRC sec R311.
  - 22 All horizontal guard rails will be a minimum of 36" in height and comply to IRC sec R312.
  - 23 Walls shall be braced in accordance of IRC sec R602.10.
  - 24 Glazing shall comply with IRC sec R308.
  - 25 All details are general and illustrative in nature. Builder shall be responsible for overseeing and insuring all water-proofing, structural, and other construction is built properly, per codes, industry standards, and manufacturer's specifications.

- S-Structural**
- 1 Engineer specifications shall override architectural specifications.
  - 2 The bottom of all footing trenches shall be level and clean.
  - 3 Subcontractor shall verify locations with the job superintendent to avoid needless cutting of misplaced bolts.
  - 4 Moisture content of building materials used in wall and floor framing is checked before enclosure.
  - 5 Vapor retarders and capillary break is installed at slab-on-grade foundations.
  - 6 See Structural Insulation Panel System shop drawings for exterior envelope specifications.
  - 7 Install fire blocking to cut off concealed draft openings (both vertical and horizontal).
  - 8 Plumbing walls shall be 2x6 wood studs at 16" on center, unless otherwise noted.
  - 9 Install 2x6 backing at bath accessories.
  - 10 All fascia, barge boards, trim, siding, etc. shall be free of splinters, where it can be touched under normal living conditions shall have a texture not so rough as to be injurious or irritating to the skin.

- MEP - Mechanical, Electrical, Plumbing**
- 1 Engineer and specialist specifications shall override architectural specifications.
  - 2 Duct openings and other air distribution component openings shall be covered during construction.
  - 3 Install fire blocking to cut off concealed draft openings (both vertical and horizontal).
  - 4 Hvac system installers are trained and certified in the installation of hvac equipment.
  - 5 Hvac supplier to specify air ventilation pump required for SIP panel system in accordance with IRC, IMC, and IECC standards.
  - 6 Unless functioning as a whole house ventilation system, bathroom fans shall be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
  - 7 Maximum plumbing fixture flow requirements shall be as follows, (a) shower heads 2gpm, (b) lavatory faucets 1.5 gpm, (c) kitchen faucets 1.8 gpm, (c) water closets 1.28 gallons per flush.
  - 8 When a shower is served by more than one shower head, the combined flow rate of all shower heads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi.
  - 9 Water softeners are not a part of this scope.
  - 10 Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
  - 11 Automatic irrigation system controllers installed at the time of final inspection shall be weather based.
  - 12 Sprinkler system shall be provided in accordance with section P2904, 2015 International Residential Code, Section R302. Section P2904 indicates that design and installation of residential sprinkler systems shall be in accordance with NFPA 13D or section P2904, which shall be considered equivalent to NFPA 13D.
  - 13 All outside electrical outlets to be WP/GFCI outlets.
  - 14 Recessed lighting fixtures to be IC rated as required by code.
  - 15 Access doors separating conditioned from unconditioned spaces to be weather stripped and insulated to at least the level of insulation on the surrounding surfaces. Where loose fill insulation exists, a baffle or retainer is to be installed to maintain insulation application.
  - 16 Recessed lights in the building thermal envelope to be:
    - 1) Type IC rated and ASTM E283 labeled and
    - 2) Sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

## Construction Notes

Construction Type: II-A  
Occupancy Group: Group R-2

Property Address:  
Legal Lot Description:  
Zoning:

NO CHANGE TO PLAT

**Applicable Codes**  
International Residential Code 2016  
International Fire Code 2009  
International Mechanical Code 2009  
International Plumbing Code 2009  
National Electric Code 2008

International energy conservation code 2016

Total Lot area:  
Total area North structure:  
Total area South structure:  
Total area Central structure:  
Total impervious cover:  
Total metal roof area:  
Total foundation slab area:

Total living units:

## Sheet Index

G0.00 General Information  
G0.01 Historical Context  
G0.02 Site Construction Plan

A2.00 Exterior Elevations, Estate House  
A2.01 Exterior Elevations, Estate House  
A2.02 Exterior Elevations, Pierce Carriage House  
A2.03 Exterior Elevations, Garage  
A2.04 Exterior Elevations, Existing House  
A2.05 Exterior Elevations, Tree House  
A2.06 Exterior Elevations, Colita Carriage House

## Symbols Index

- |  |                           |
|--|---------------------------|
|  | Drawing Note              |
|  | Sheet Reference Marker    |
|  | Sheet Reference Marker    |
|  | Schedule Reference Number |
|  | Revision Item             |
|  | Directional Indicator     |
|  | Elevation Marker          |
|  | True North                |
|  | Sheet Reference Marker    |

Designer, Project Manager:  
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Structural Engineer:  
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UP Engineering  
1270 N Loop 1604 E  
San Antonio, Texas 78232  
Mobile: 210-774-5504

## The Hill

421 Pierce Street,  
San Antonio, Texas 78249

Project No. 201801

APN: 00000

Issue title:  
FOR CONCEPT

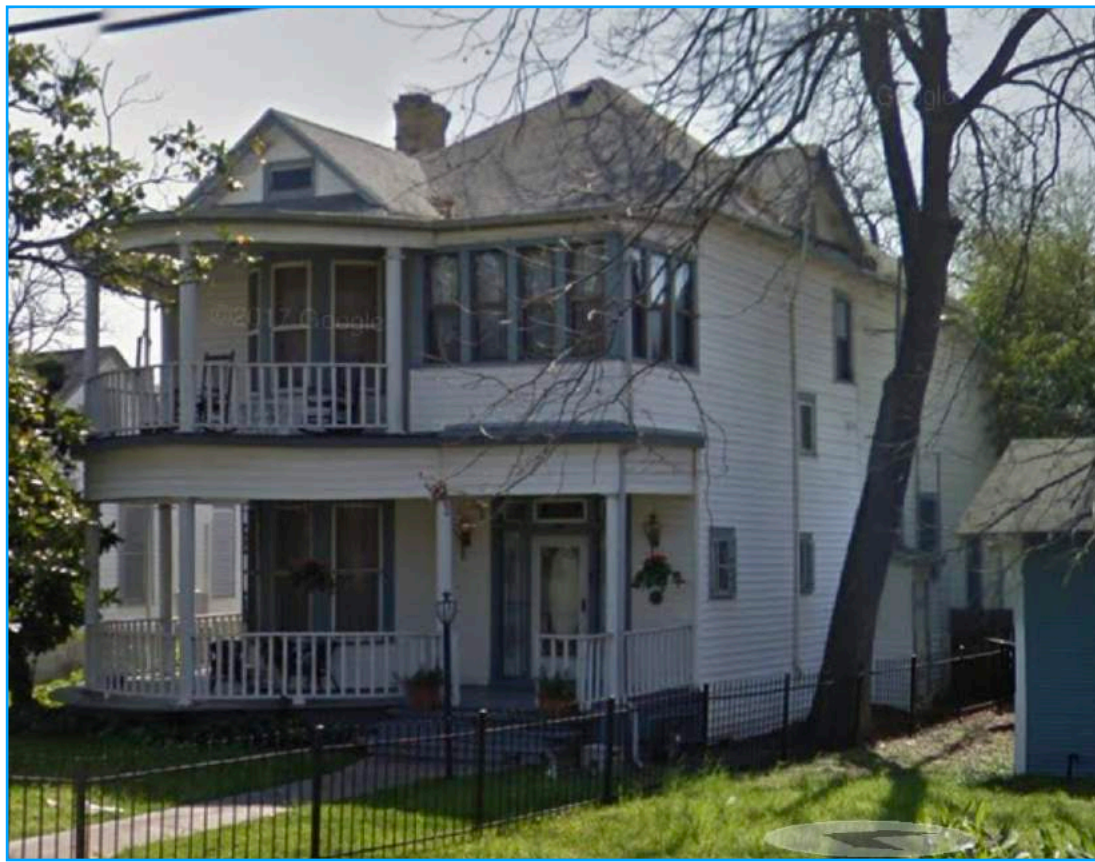
Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
**General Information**

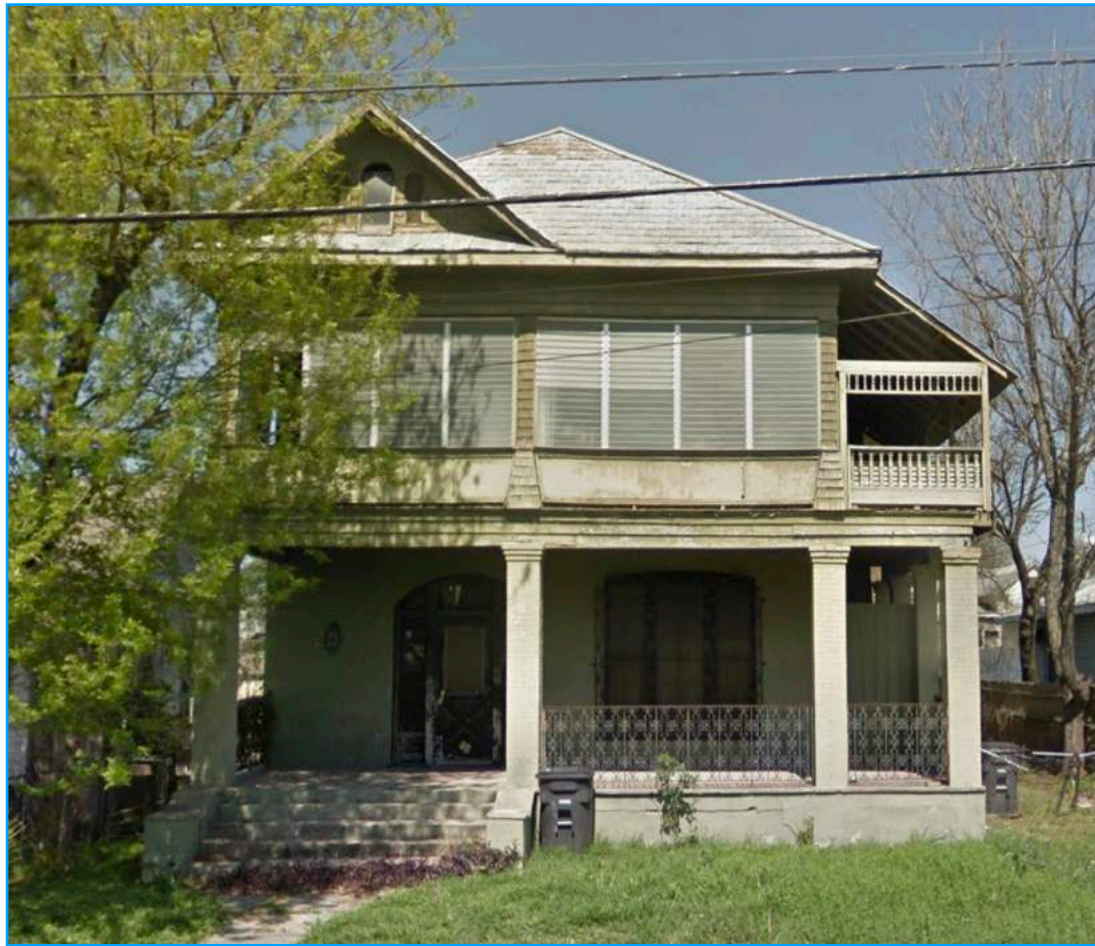
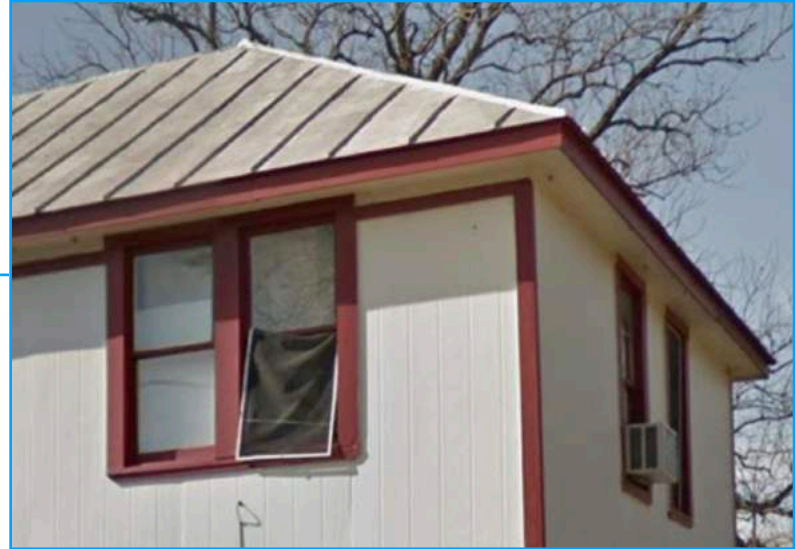
Sheet Number:

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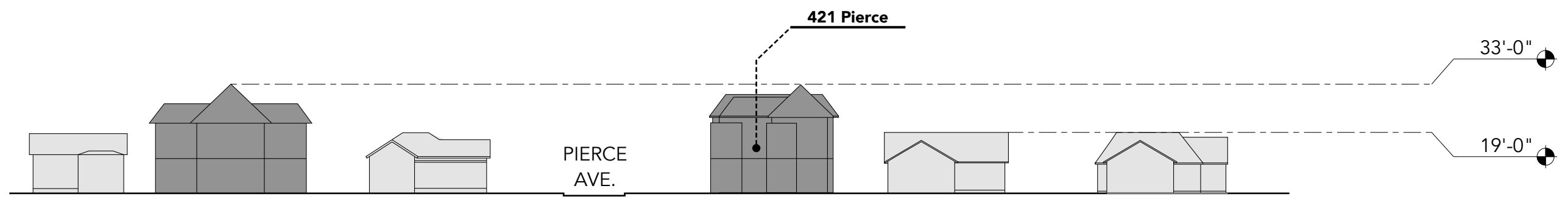




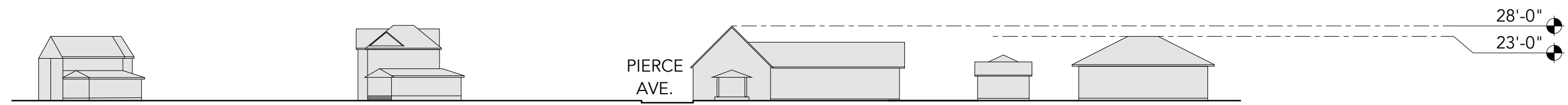
**1** PERSPECTIVE VIEW FROM NORTH  
G0.01 NTS



**2** PERSPECTIVE VIEW FROM SOUTH  
G0.00 NTS



**3** ELEVATION STUDY DIAGRAM  
G0.01



**4** ELEVATION STUDY DIAGRAM  
G0.01

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## The Hill

421 Pierce Street,  
San Antonio, Texas 78249

Project No. 201801

APN: 00000

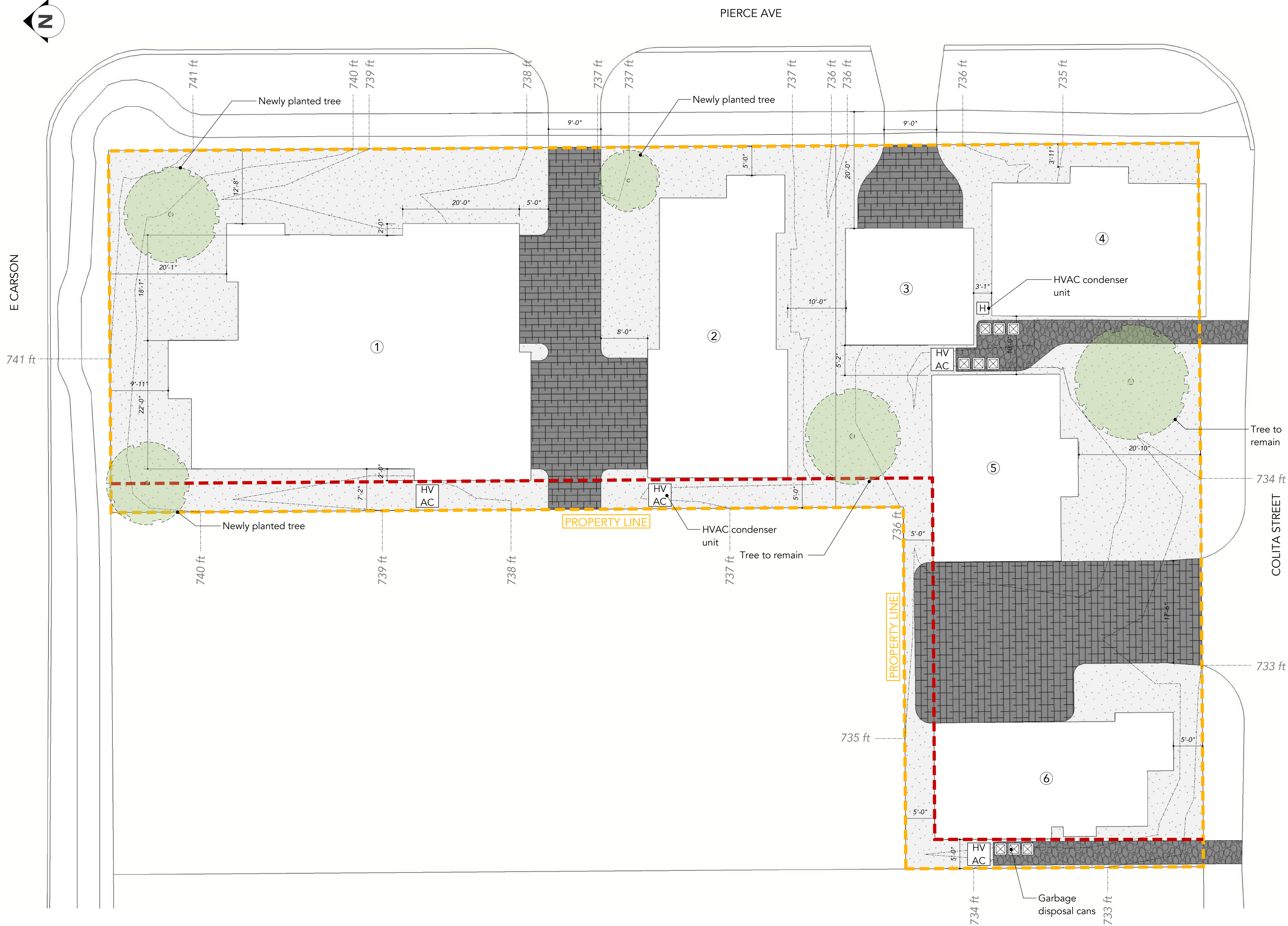
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FOR CONCEPT

Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
Inspirations

Sheet Number:





**1 CONSTRUCTION PLAN**  
G0.02 SCALE 1" = 10'-0"

HARDSCAPE LEGEND				
	Material	Color	Size	Notes
	2 x 4 concrete pavers	Light grey	2" x 4"	Place max 4" apart, equally distributed
	Small gravel	Dark grey	0'-5/8" particle	x
	Permeable pavement	Dark grey	0'-5/8" particle	Romex trass bed, install per manufacturer
	Concrete driveway	Grey	x	See details on page 3/G0.02

PLANTING LEGEND	
Plant	Plant species name
	St. Augustine grass
	Post oak tree

## General Notes

- 1 Locate and verify the location of existing utilities prior to excavation. Take responsibility of contacting location services and any cost incurred for bodily injury and/or damage to Owner's property or said utility.
- 2 The designer shall be notified by the contractor of any discrepancies discovered between the plans and actual site conditions before proceeding with work. The contractor shall be liable for all modifications and damages if work proceeds without the notification.
- 3 The contractor is responsible for all aspects of maintaining a safe work site including but, not limited to providing traffic control, installation and placements of fencing and barricades, excavation and trench protection, and compliance with all federal and local regulations and codes. All safety exposures or violations shall be rectified immediately.
- 4 The contractor is responsible for protection of all existing improvements both on site and adjacent to the work site and shall repair any damage to these improvements to the satisfaction to the owner.
- 5 The contractor shall notify designer 48 hours prior to commencement of work to coordinate project inspection schedules.
- 6 Any alternatives and/or substitutions proposed by the contractor shall be submitted to the designer for approval. Changes to the scope of work and/or contract documents resulting from the acceptance of the contractor's alternates and/or substitutes shall be the responsibility of the contractor.
- 7 The contractor is responsible for removal of trash on a daily basis.
- 8 The contractor shall comply with all applicable codes, regulations, and ordinances. Prior to construction, all permits and approvals required for construction of the project shall be paid for and obtained by the contractor.
- 9 Coordinate work with subcontractors to accomplish the scope of work as shown and noted in the contract documents as well as coordinate construction with other contractors working on the site.
- 10 The contractor shall coordinate the storing of materials, parking of vehicles, and restrictions of work and access with the Owner. Under no circumstances shall any contractor store materials, park vehicles or equipment under the canopy of existing trees.
- 11 Unless otherwise specified, the contractor is responsible for providing and paying all temporary utilities and services necessary to completely install all work as shown and noted in the contract documents.
- 12 The contractor is responsible for the legal off-site disposal of surplus material and debris.
- 13 Upon completion of construction and prior to final approval, the contractor shall thoroughly clean the project site of all trash, repair all damage to finish grade, including tailings form excavations, wheel ruts and any settling or erosion that has occurred prior to completion. All areas of the project site shall be left in a neat and presentable condition satisfactory to the Owner prior to submittal of the final payment.
- 14 The contractor is responsible for providing and servicing temporary toilet facilities.
- 15 The contractor is to procure and install a porous pipe drip sprinkler system to cover all areas required by code. Contractor to submit selection and layout to designer prior to permit approval. Contractor is responsible for installation and inspection.

## Building Index

①	Estate House	A2.00 / A2.01
②	Pierce Carriage House	A2.02
③	Garage	A2.03
④	Existing House	A2.04
⑤	Tree House	A2.05
⑥	Colita Carriage House	A2.06

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Designer will not be responsible for construction means, methods, techniques, or procedure, or for the safety precautions and program in connection with the project.

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Sheet Contents:  
**Site Construction Plan**

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1 - 11/30/2018 Council Hearing

Sheet Contents:  
Elevations, Estate  
House

Sheet Number:

**A2.00**

ROOF RIDGE  
33' - 0" A. F. F.

LEVEL 2  
20' - 0" A. F. F.

LEVEL 1  
10' - 0" A. F. F.

LEVEL 0  
0' - 0" A. F. F.

1'-0"

**1** NORTH ELEVATION  
A2.00 SCALE 1/4" = 1'-0"

ROOF RIDGE  
33' - 0" A. F. F.

LEVEL 2  
20' - 0" A. F. F.

LEVEL 1  
10' - 0" A. F. F.

LEVEL 0  
0' - 0" A. F. F.

3'-0"

**2** EAST ELEVATION  
A2.00 SCALE 1/4" = 1'-0"



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Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
Elevations, Estate  
House

Sheet Number:

**A2.01**

ROOF RIDGE  
33' - 0" A. F. F.

LEVEL 2  
20' - 0" A. F. F.

LEVEL 1  
10' - 0" A. F. F.

LEVEL 0  
0' - 0" A. F. F.

GARAGE FLOOR  
- 3' - 6" A. F. F.



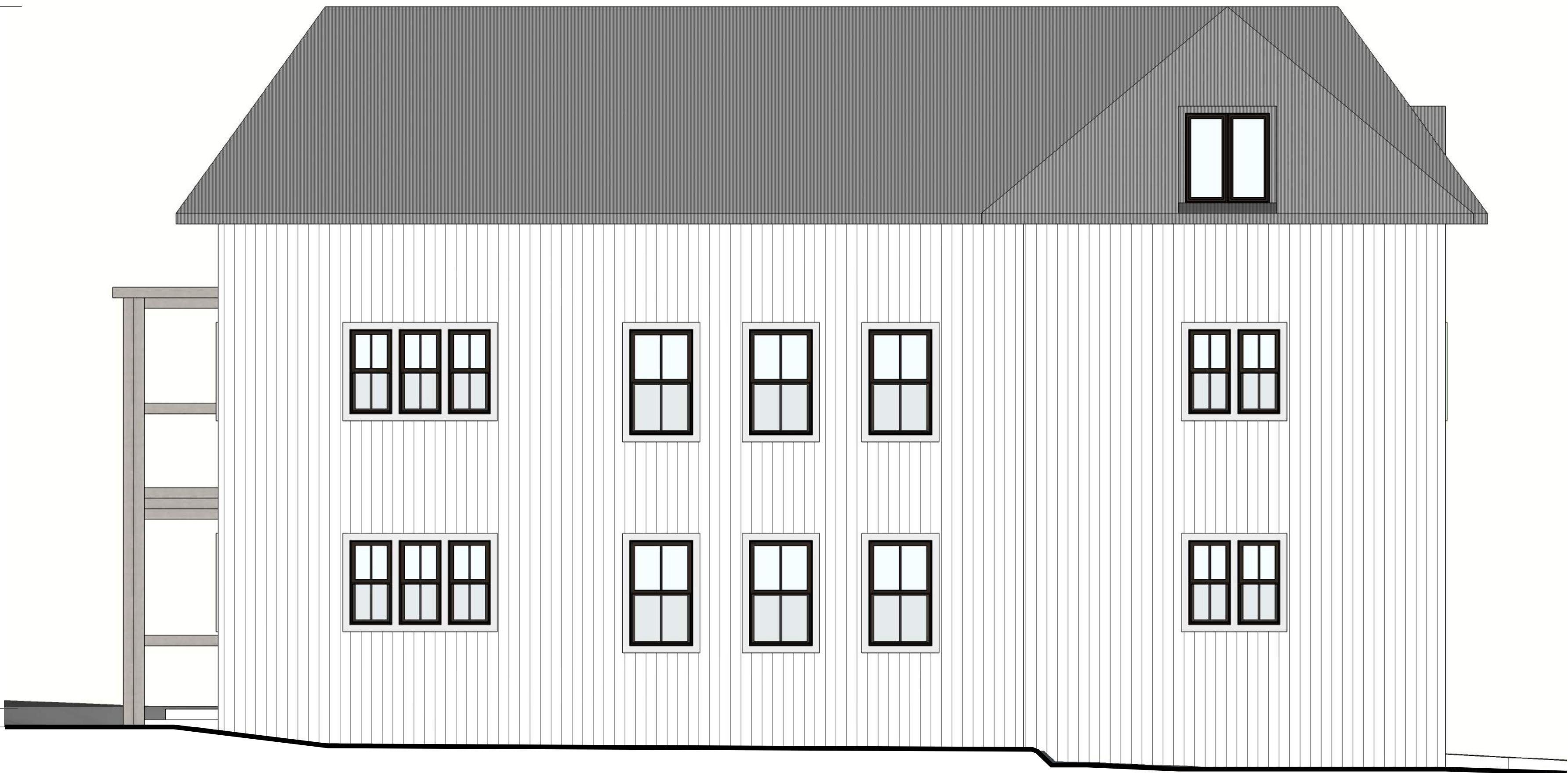
**1** SOUTH ELEVATION  
A2.01 SCALE 1/4" = 1'-0"

ROOF RIDGE  
33' - 0" A. F. F.

LEVEL 2  
20' - 0" A. F. F.

LEVEL 1  
10' - 0" A. F. F.

LEVEL 0  
0' - 0" A. F. F.



**2** WEST ELEVATION  
A2.01 SCALE 1/4" = 1'-0"





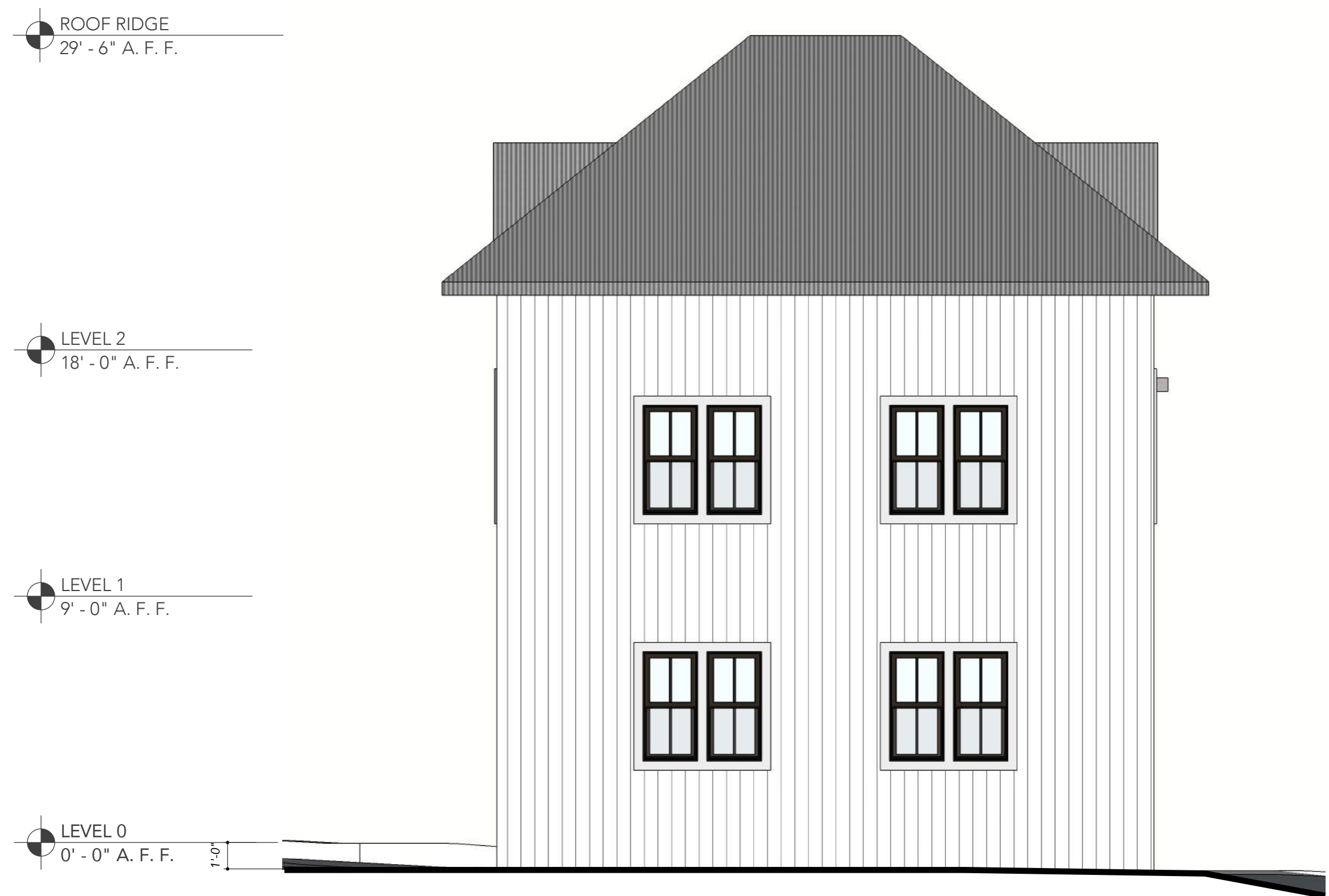
1 NORTH ELEVATION  
A2.02 SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION  
A2.02 SCALE 1/4" = 1'-0"



2 EAST ELEVATION  
A2.02 SCALE 1/4" = 1'-0"



4 WEST ELEVATION  
A2.02 SCALE 1/4" = 1'-0"

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Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
Elevations, Pierce  
Carriage House

Sheet Number:

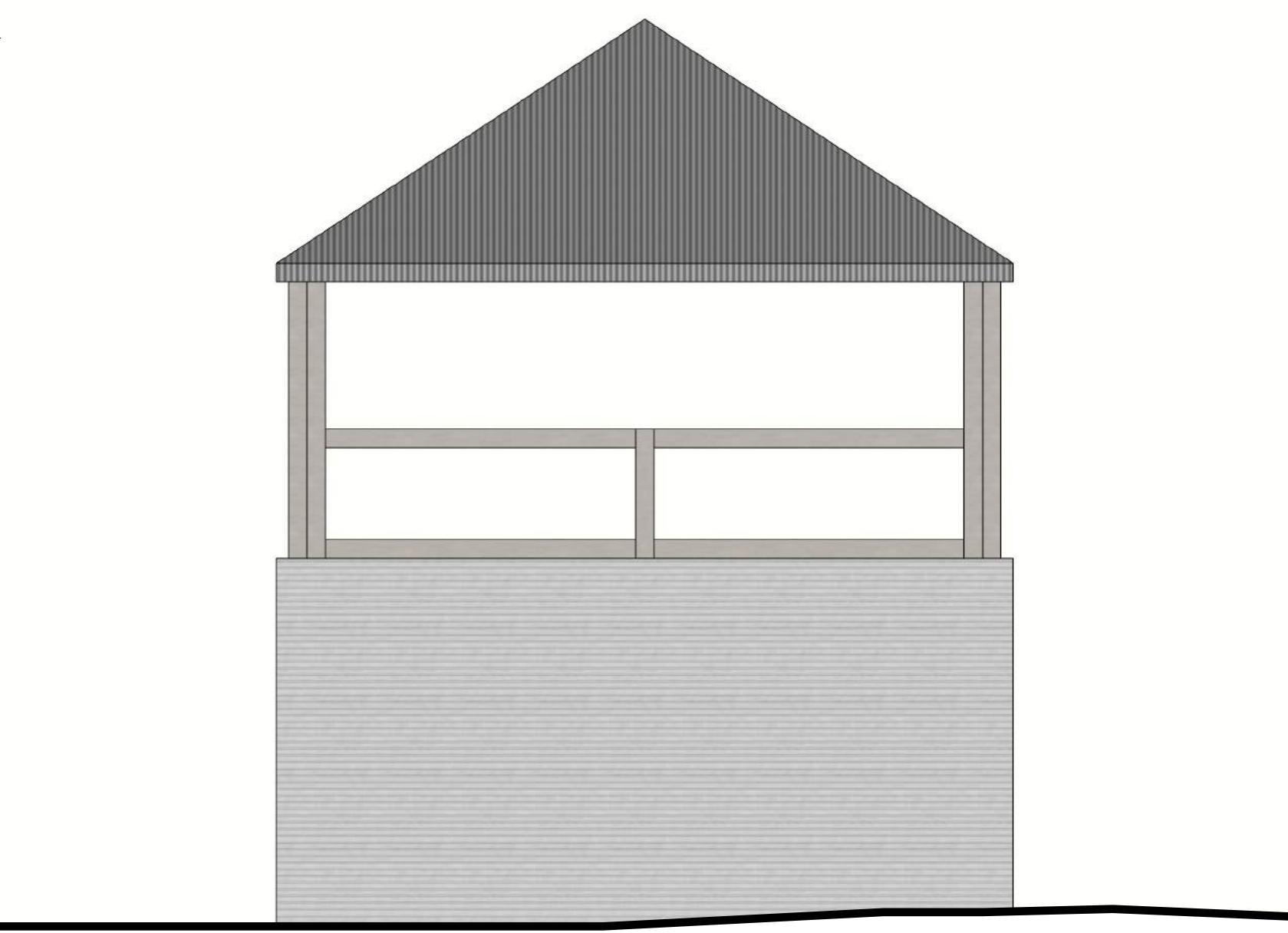
# A2.02



ROOF RIDGE  
24' - 2" A. F. F.

LEVEL 1  
9' - 6" A. F. F.

LEVEL 0  
0' - 0" A. F. F.

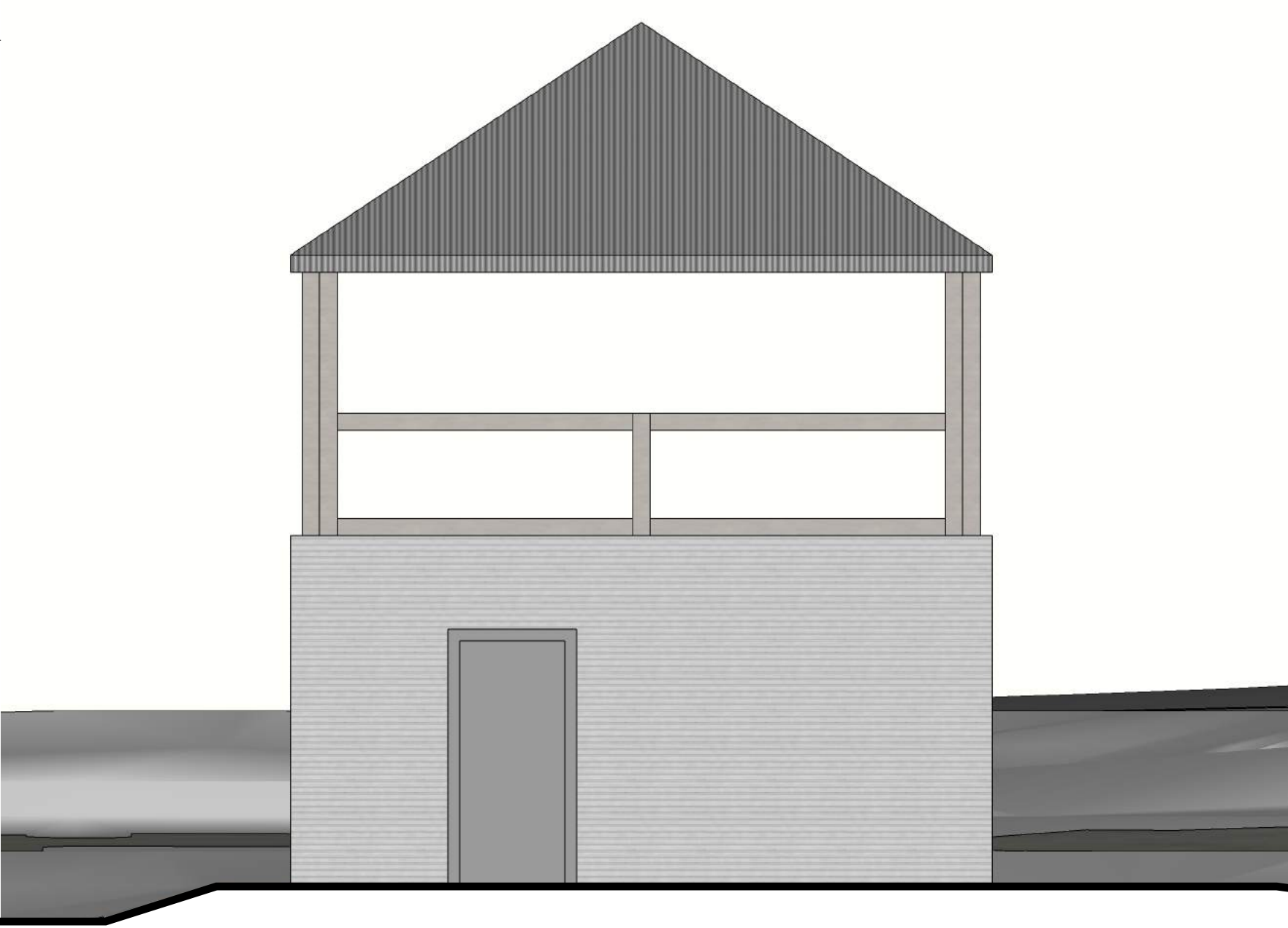


1 NORTH ELEVATION  
A2.03 SCALE 1/4" = 1'-0"

ROOF RIDGE  
24' - 2" A. F. F.

LEVEL 1  
9' - 6" A. F. F.

LEVEL 0  
0' - 0" A. F. F.

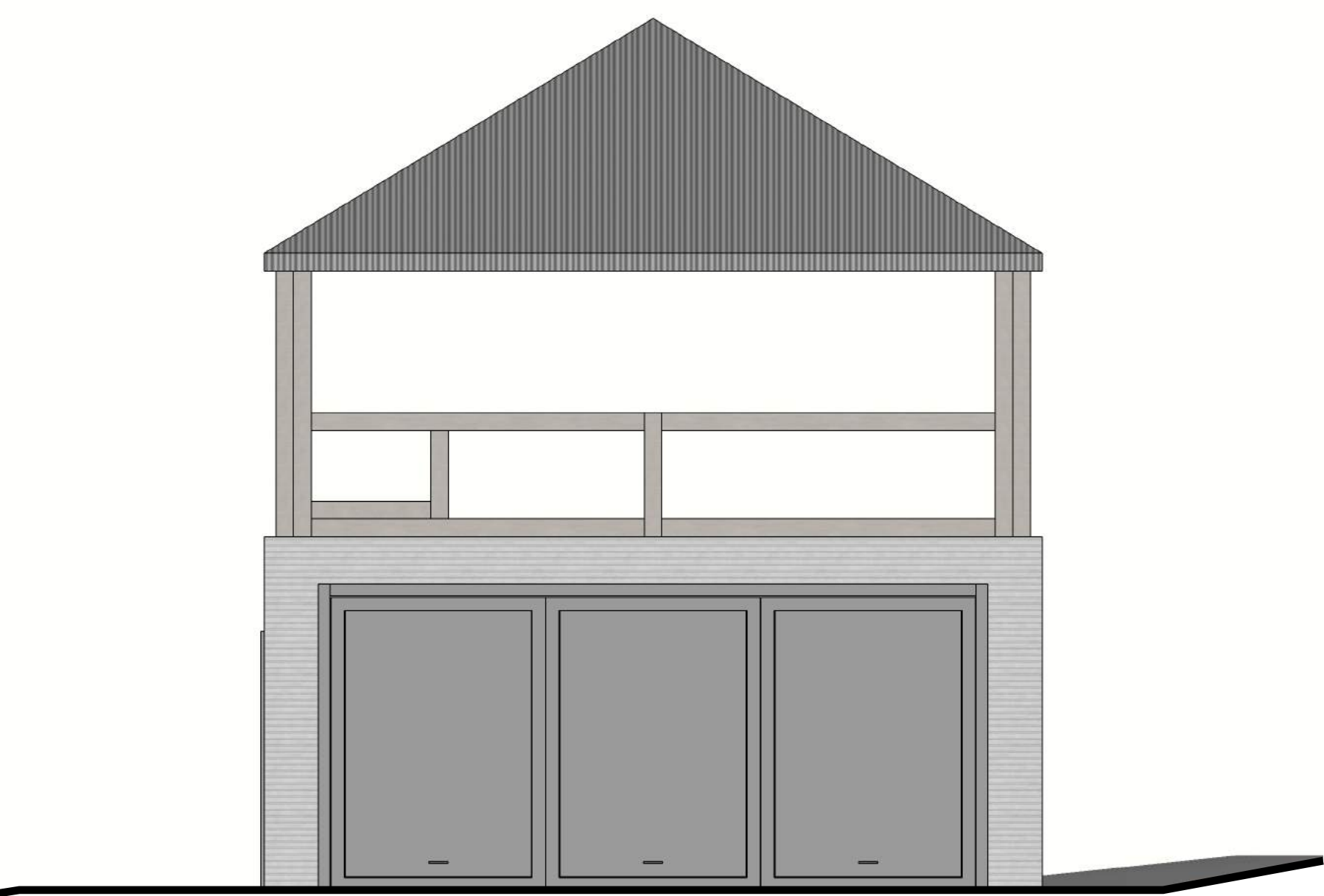


3 SOUTH ELEVATION  
A2.03 SCALE 1/4" = 1'-0"

ROOF RIDGE  
24' - 2" A. F. F.

LEVEL 1  
9' - 6" A. F. F.

LEVEL 0  
0' - 0" A. F. F.

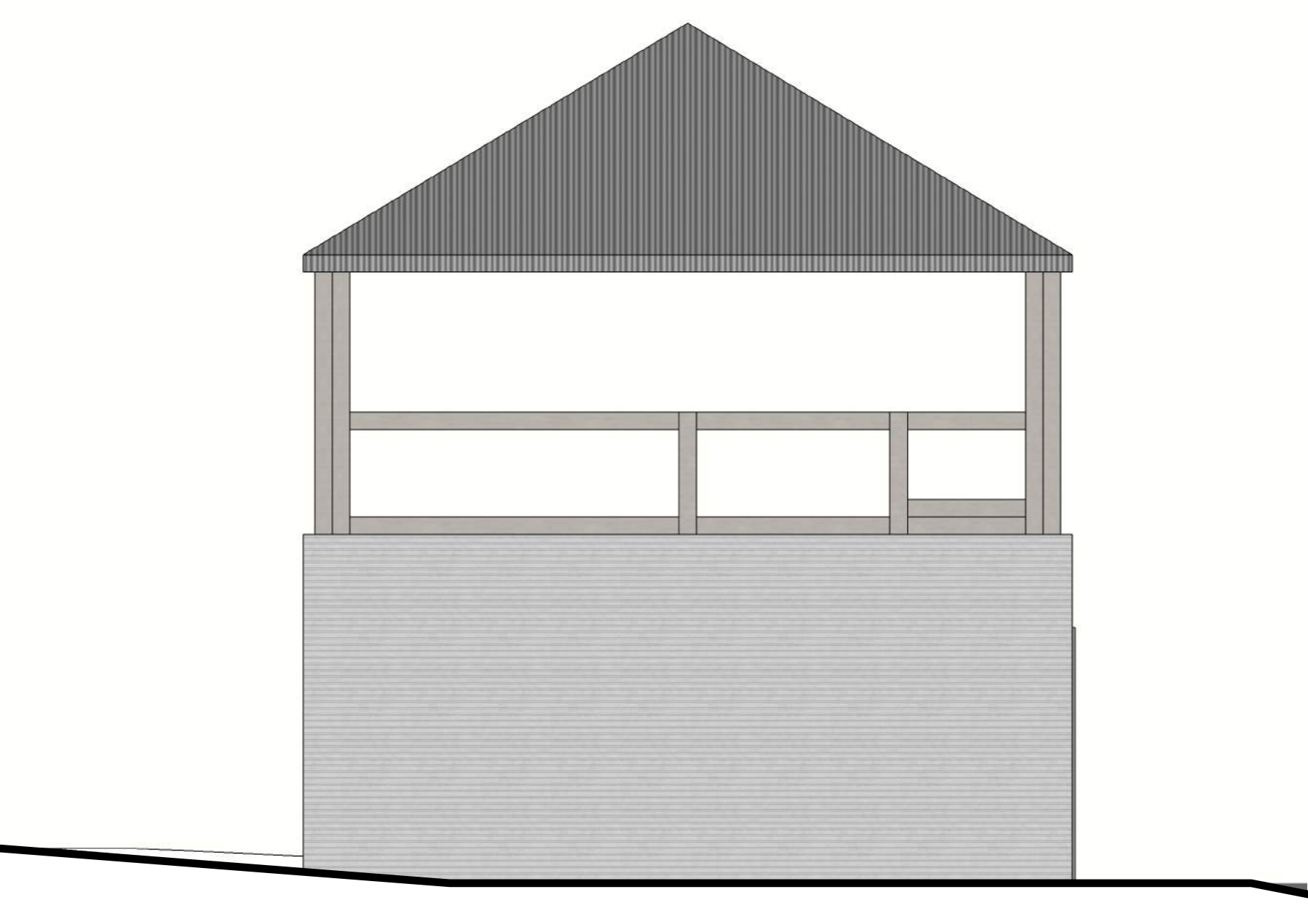


2 EAST ELEVATION  
A2.03 SCALE 1/4" = 1'-0"

ROOF RIDGE  
24' - 2" A. F. F.

LEVEL 1  
9' - 6" A. F. F.

LEVEL 0  
0' - 0" A. F. F.



4 WEST ELEVATION  
A2.03 SCALE 1/4" = 1'-0"

## The Hill

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FOR CONCEPT

Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
Elevations, Garage

Sheet Number:

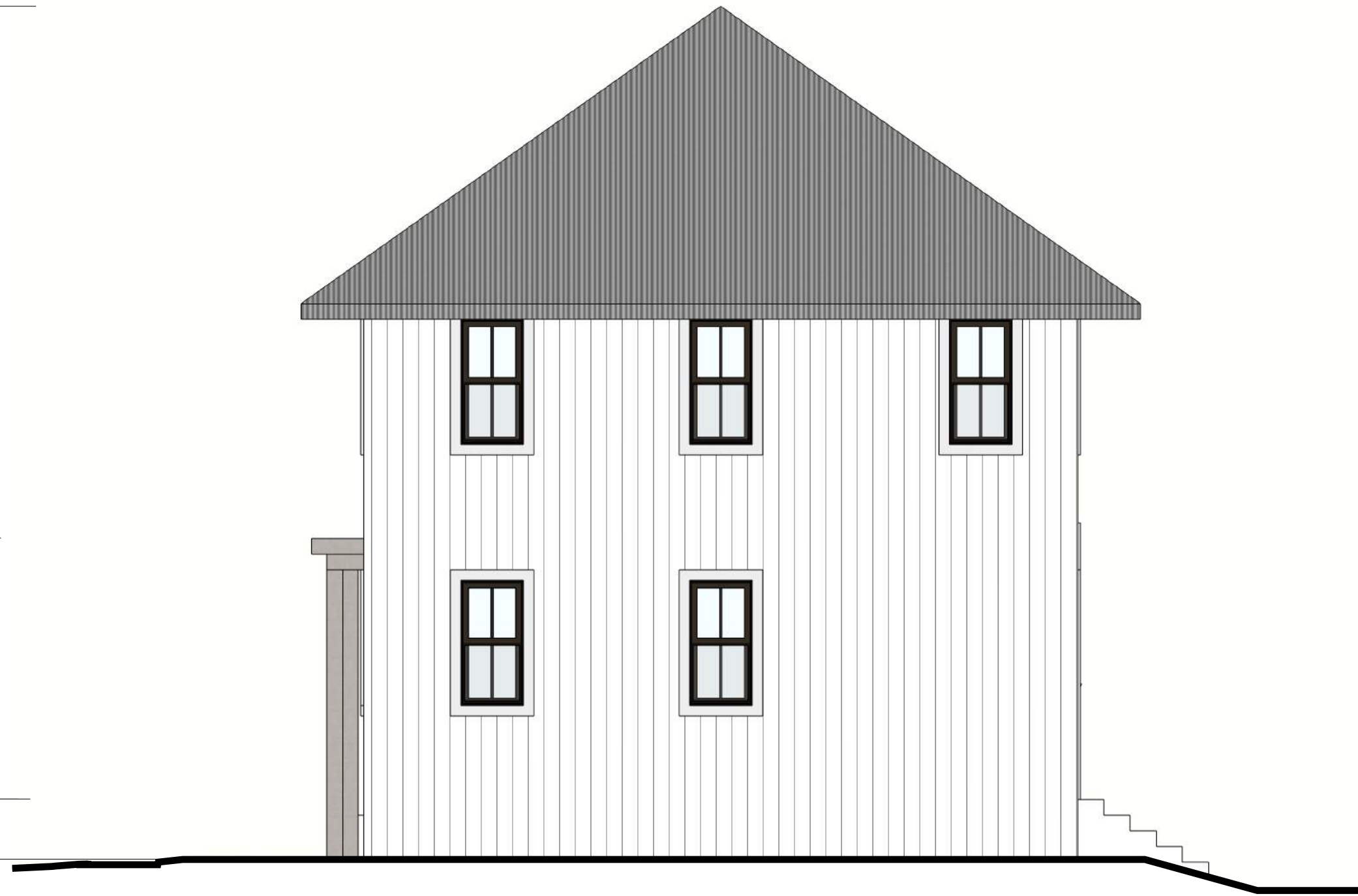
**A2.03**



ROOF RIDGE  
25' - 4" A. F. F.

LEVEL 1  
8' - 4" A. F. F.

LEVEL 0  
0' - 0" A. F. F.  
1'-11"



1 NORTH ELEVATION  
A2.04 SCALE 1/4" = 1'-0"

ROOF RIDGE  
25' - 4" A. F. F.

LEVEL 1  
8' - 4" A. F. F.

LEVEL 0  
0' - 0" A. F. F.  
4'-1"

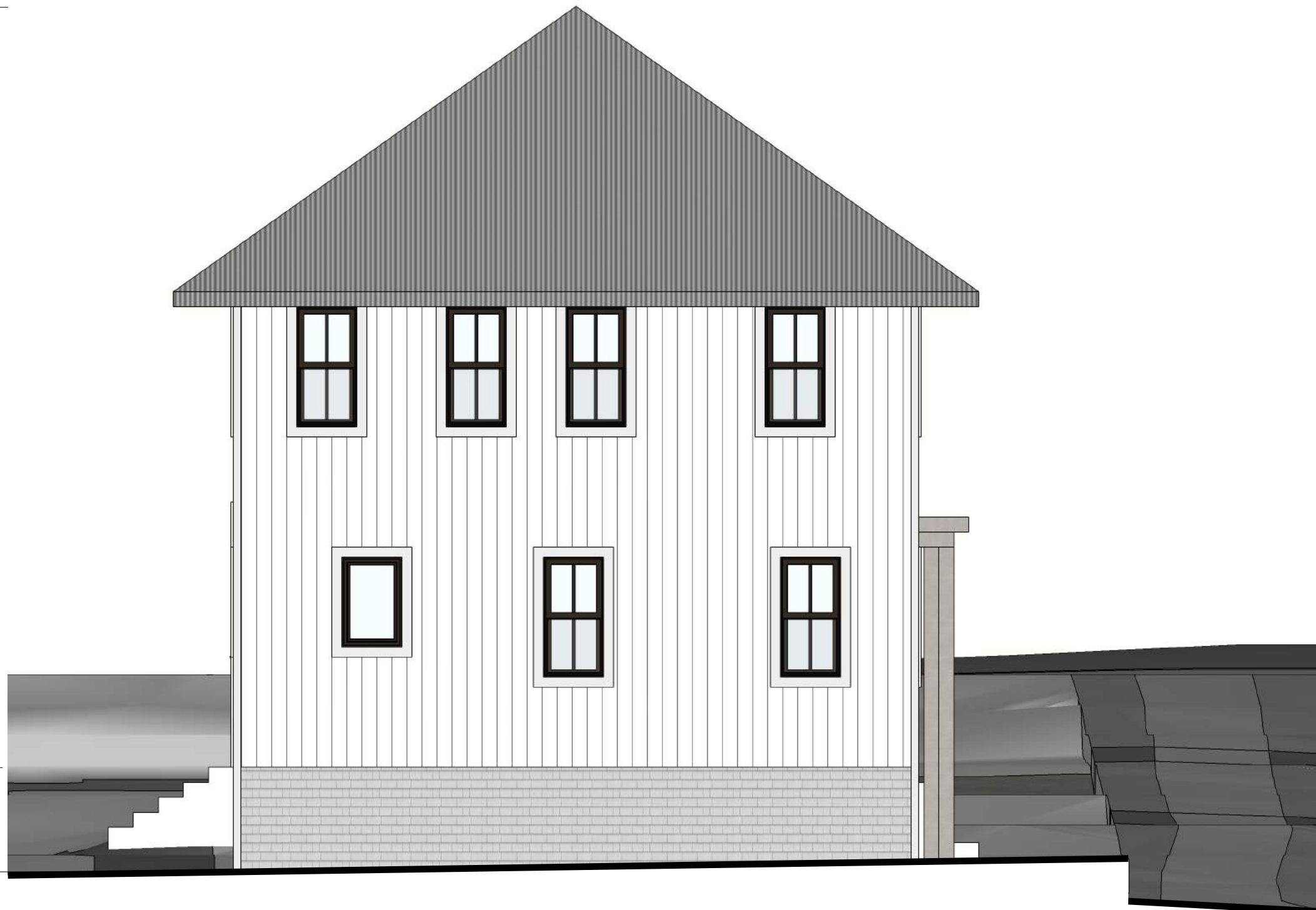


2 EAST ELEVATION  
A2.04 SCALE 1/4" = 1'-0"

ROOF RIDGE  
25' - 4" A. F. F.

LEVEL 1  
8' - 4" A. F. F.

LEVEL 0  
0' - 0" A. F. F.  
3'-6"



3 SOUTH ELEVATION  
A2.04 SCALE 1/4" = 1'-0"

ROOF RIDGE  
25' - 4" A. F. F.

LEVEL 1  
8' - 4" A. F. F.

LEVEL 0  
0' - 0" A. F. F.  
1'-11"



4 WEST ELEVATION  
A2.04 SCALE 1/4" = 1'-0"

## The Hill

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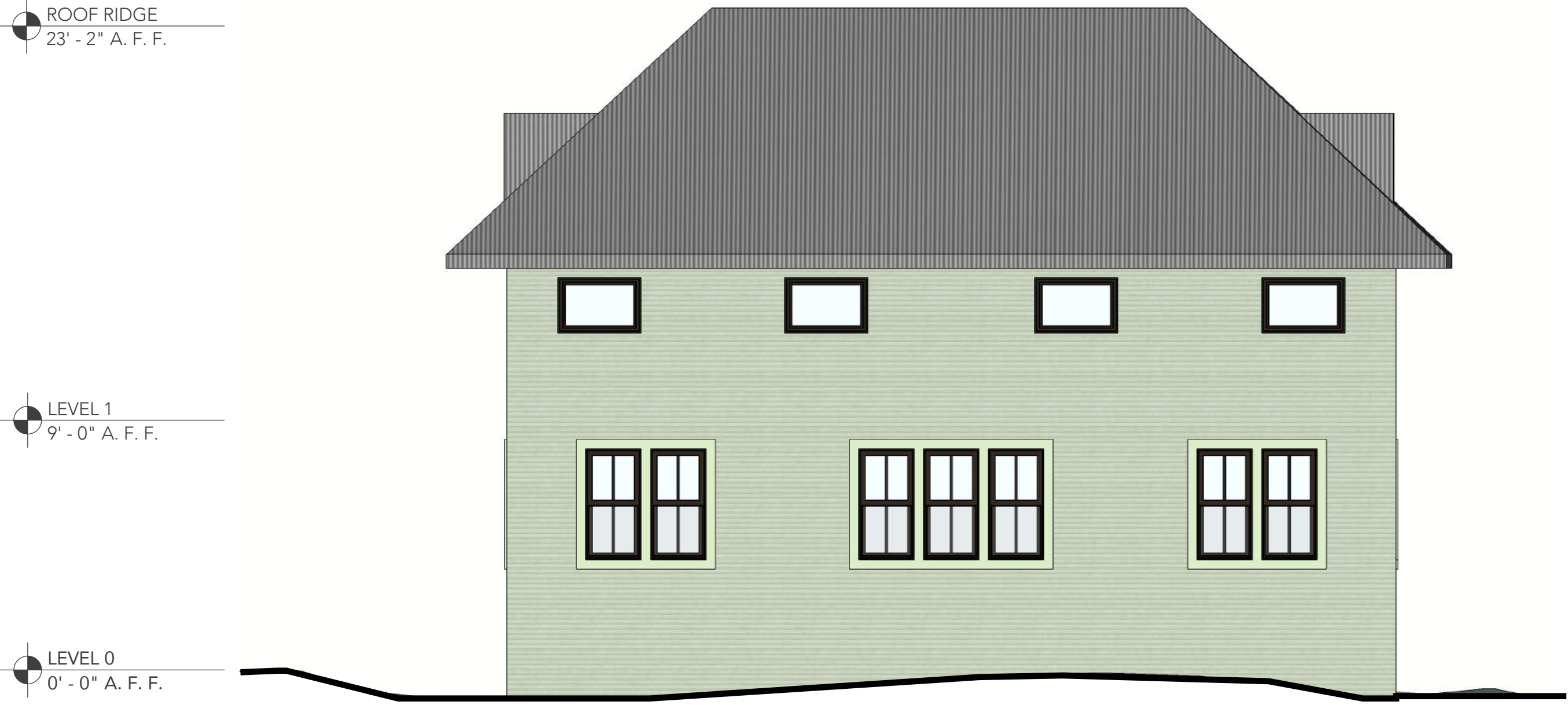
Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
Elevations, Existing  
House

Sheet Number:

**A2.04**





1 NORTH ELEVATION  
A2.05 SCALE 1/4" = 1'-0"



2 EAST ELEVATION  
A2.05 SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION  
A2.05 SCALE 1/4" = 1'-0"



4 WEST ELEVATION  
A2.05 SCALE 1/4" = 1'-0"

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Revisions:  
1 - 11/30/2018 Council Hearing

Sheet Contents:  
Elevations, Tree  
House

Sheet Number:

**A2.05**





1 NORTH ELEVATION  
A2.06 SCALE 1/4" = 1'-0"



2 EAST ELEVATION  
A2.06 SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION  
A2.06 SCALE 1/4" = 1'-0"



4 WEST ELEVATION  
A2.06 SCALE 1/4" = 1'-0"

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Elevations, Colita  
Carriage House

Sheet Number:

**A2.06**