

HARLOW DRIVE
(50' R.O.W.)

134.72'

EXIST. SIDEWALK

CONC.
DRIVEWAY

DBL. GATE

25' BLDG. SETBACK
(VOL. 5700 PG. 260).

EXIST. SIDEWALK

GRASS

EISENHAUER ROAD

(68' R.O.W.)

LOT 11

N.C.B. 12524, BLK 2, LOT 11
EXISTING ZONING C-2
SAN ANTONIO, BEXAR COUNTY, TEXAS

ASPHALT / PARKING

Decorative Transparent Fence

25' BLDG. SETBACK
(VOL. 5700 PG. 260).

DBL. GATE

CONC.
DRIVEWAY

EXISTING
CONC.
DRIVEWAY

Proposed Zoning Change from C-2
to C-2S for Auto Sales full service

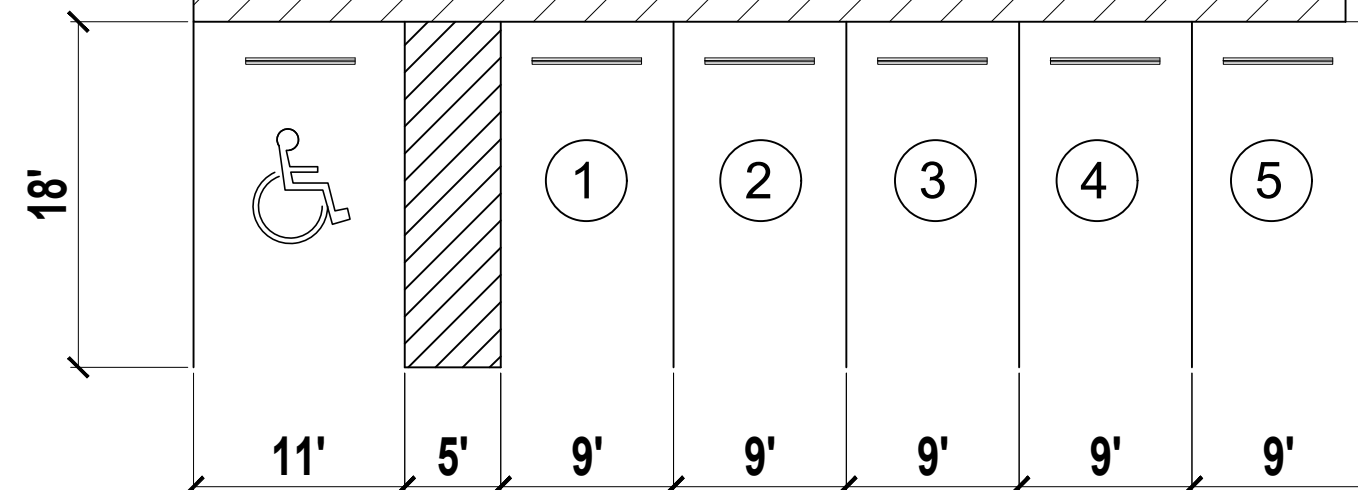
ADJACENT LOT 10

132.13'

5' SETBACK

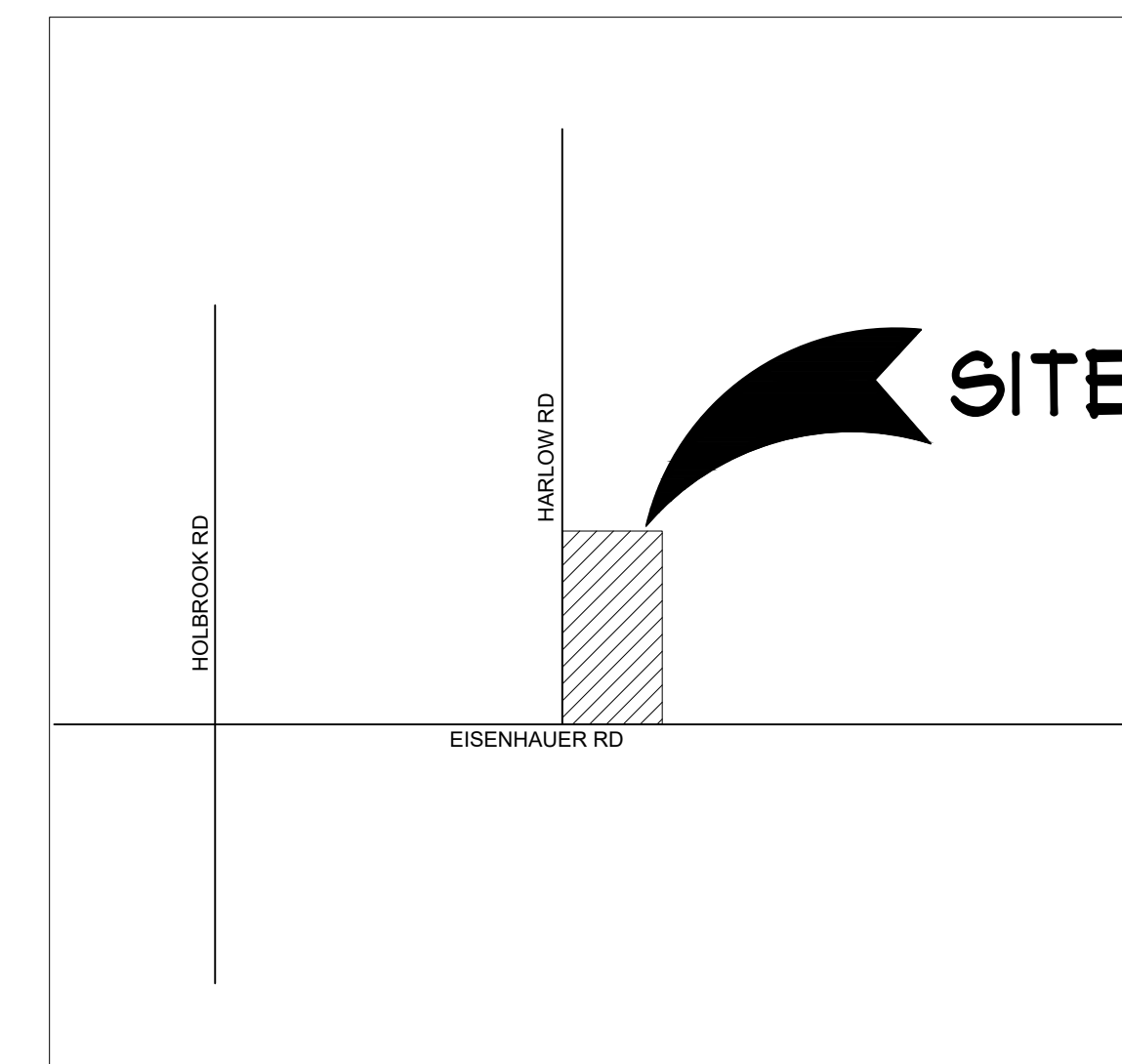
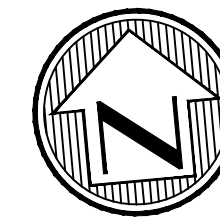
OFFICE
& Garage

EXISTING
SIGN SPEED
LIMIT



150.04'

SCALE: 1"=10"
0 5 10 20



LOCATION PLAN

LEGEND:

- FENCE
- NEW TREE
- SETBACK LINE

AREAS:

- OFFICE AREA.....1,800 S.F. (0.041ACRE)
- ASPHALT AREA17,672.35 S.F. (0.406 ACRE)
- LANDSCAPE AREA.....1,560.65 S.F. (0.035 ACRE)
- LAND AREA.....21,033.00 S.F. (0.482 ACRE)**

"I **STEPHEN ROOF**, THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSED OF REZONING THIS PROPERTY IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONJUNCTION WITH A REZONING CASE DOES NOT RELIEVE ME FROM ADHERENCE TO ANY/ ALL CITY ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS."

date 12/6/2018

The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. Neither the printed document nor the digital media may be altered or amended without the express written permission of the named professional.

SITE PLAN

3951 EISENHAUER ROAD
SAN ANTONIO, TEXAS 78218

Date: 12/6/2018

Drawn by: LR

Drawing Title:
SITE PLAN

Drawn Number:

C-101