

HISTORIC AND DESIGN REVIEW COMMISSION

February 06, 2019

HDRC CASE NO: 2019-039
ADDRESS: 1601/1625 PALO ALTO RD/PALO ALTO PARK
LEGAL DESCRIPTION: NCB 14219 BLK 6 LOT 77 PALO ALTO PARK SUBD
ZONING: R-4
CITY COUNCIL DIST.: 4
APPLICANT: Desiree Salmon/COSA Parks
OWNER: City of San Antonio
TYPE OF WORK: Park improvements
APPLICATION RECEIVED: January 08, 2019
60-DAY REVIEW: March 09, 2019

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Expand an existing asphalt parking lot and install new lighting.
2. Construct new concrete walkways.
3. Add a new restroom enclosure for portable facilities to match an existing structure.
4. Extend the existing soccer field.
5. Relocate existing signage.
6. Add new landscaping.

APPLICABLE CITATIONS:

Unified Development Code Sec. 35-640. - Public Property and Rights-of-Way.

(a) Public Property. Generally, the historic and design review commission will consider applications for actions affecting the exterior of public properties except in the case of building interiors that are the sites of major public assemblies or public lobbies. The historic and design review commission will also consider applications for actions affecting public properties such as city parks, open spaces, plazas, parking lots, signs and appurtenances.

(b) Public Rights-of-Way. Generally, the historic and design review commission will consider applications for actions affecting public rights-of-way whose construction or reconstruction exceeds in quality of design or materials standards of the design manual of the public works department.

Unified Development Code Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

Unified Development Code Sec. 35-643. - Alteration, Restoration and Rehabilitation.

In considering an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure the historic and design review commission shall be guided by the following general standards of the Secretary of the Interior's Standards for Rehabilitation in addition to any specific design guidelines included in this article:

(a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.

- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- (d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting, high pressure washes and other cleaning methods that will damage the historic building's materials shall not be undertaken.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

Unified Development Code Sec. 35-646. - Construction in Public Rights-of-Way.

- (a) General Provisions. All construction in the public right-of-way shall conform to all city codes. In considering an application, the historic and design review commission shall be guided by the following:
 - (1) Sidewalk Zones. Pedestrian movement should be pleasant, allowing for store browsing, comfortable transit waiting and easy accessibility for disabled people. Where possible, sidewalks should at least five (5) feet in width. Existing sidewalks should not be narrowed when replaced.
 - (2) Sidewalk Paving and Surfaces. Materials should complement stylistic differences of individual buildings, particularly when related to historic buildings.
 - A. Materials. Materials should be chosen for beauty, strength, longevity, easy maintenance and traction when dry or wet.
 - B. Color and Texture. To ensure the safety of pedestrians, all changes in surfaces should be defined by contrasting color, texture or materials.
 - (3) Street Features and Arrangements. Historic districts and the downtown, as well as other distinct areas of the city have diverse character and any street furniture selected for these areas should complement these differences. In addition, the clustering of street furniture in one (1) place is recommended. Trash receptacles, seating, telephones and other street furniture should be grouped together.
 - A. Circulation. A clear path-of-travel of thirty-six (36) inches wide shall be maintained in and around street features and arrangement.
 - B. Seating. Seating should be physically comfortable and inviting, durable and attractive. Plaza and open space seating should also be socially comfortable by offering a variety of choices such as in the sun or shade, near traffic and activity or not, and alone or in groups.
 - C. Drinking Fountains. Placing drinking fountains in new development is encouraged. Fountains should be placed within general areas of pedestrian traffic and located on accessible surfaces.
 - D. Trash Receptacles. Trash receptacles should blend visually with their surroundings and their design and location should make use as convenient as possible.
 - E. Vending Machines. Vending machines will not dispense items other than newspapers and periodicals. Vending machines shall be clustered together and away from intersection corners.

- F. Vending Carts and Kiosks. Vending carts and kiosks are encouraged in locations that do not impede normal pedestrian traffic.
- G. Outdoor Dining. Lease of public right-of-way for outdoor dining is encouraged in appropriate locations. Lease of sidewalk space for outdoor dining shall be managed through the department of parks and recreation and shall comply with all city codes. It is recommended that at least eight (8) feet of sidewalk be retained between the curb and the leased or licensed space to provide an uninterrupted public walkway.
- H. Street Objects. Utility boxes, vending machines and so on should not be located in sidewalk zones. Their design and color should be compatible with character of their surroundings.

(4) Streetscape Landscaping. Landscaping, particularly streets trees, are an important addition to the streetscape because of the hot Texas climate. Appropriate application along sidewalks strengthens the visual quality of public streets. Careful selection of plant materials, using native and low-water use plants, is recommended.

(Ord. No. 98697 § 6)

FINDINGS:

- a. The property located at 1601/1625 Palo Alto Rd, commonly known as Palo Alto Park, is a city-owned public park located southwest of downtown and directly north of the Palo Alto School. The park features several pavilions, trails, a playground, and basketball courts. The applicant is requesting approval for various park improvements and public amenities.
- b. PARKING LOT AND LIGHTING – The applicant has proposed to expand the existing asphalt parking lot along Palo Alto Rd. Additional parking spaces will be added to the north and south of the existing parking lot, to include new ADA accessible parking spots. Lighting will be added as part of the improvements. Staff finds the proposal generally consistent with the UDC.
- c. RESTROOM FACILITY – The applicant has proposed install a new restroom facility enclosure. The facility will closely match an existing on site. Staff finds the proposal consistent with the UDC.
- d. SIDEWALKS AND PAVING – The applicant has proposed to install new sidewalks and paving within the park. Staff finds the proposal generally consistent with the UDC.
- e. PARK AMENITIES – The applicant has proposed to install several park amenities, including picnic tables, a drinking fountain, and trash receptacles. Staff finds the proposal generally consistent with the UDC Sec. 35-642 (b), but requires final material specification information for final approval.
- f. SIGNAGE – The applicant has proposed to relocate an existing entry sign to an alternative location within the park. No modifications to the signage are requested as part of this application. Staff finds the proposal generally consistent.
- g. LANDSCAPING – The applicant has proposed to perform various landscaping modifications, including the addition of new trees. The landscaping and stormwater modifications will help with drainage control and will not affect character defining elements of the park. Staff finds the proposal consistent with the UDC Sec. 35-642 (a).
- h. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

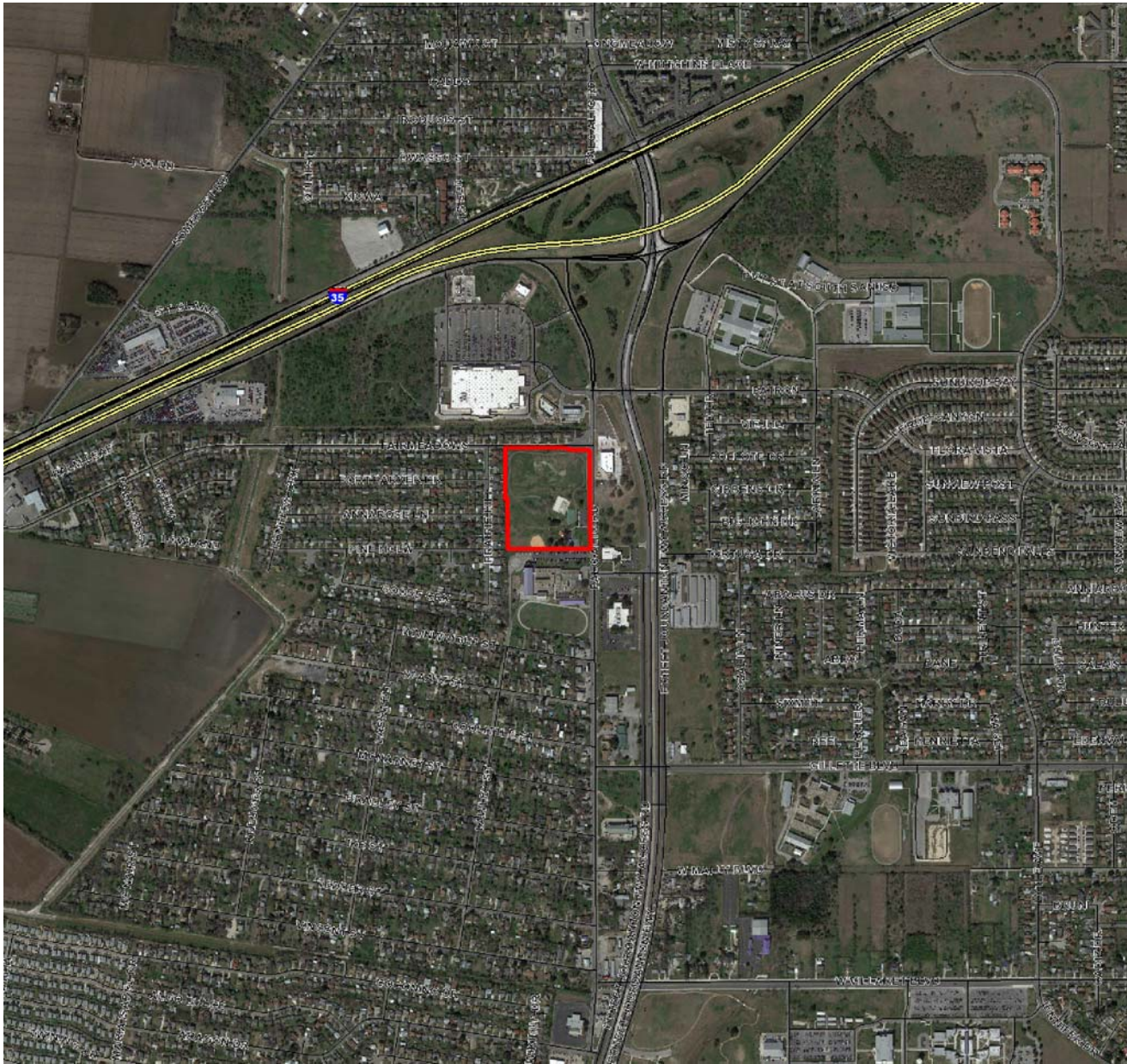
RECOMMENDATION:

Staff recommends approval based on findings a through h with the following stipulations:

- i. That the applicant complies with the UDC regarding landscaping and parking lot buffer requirements.
- ii. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

CASE MANAGER:

Stephanie Phillips

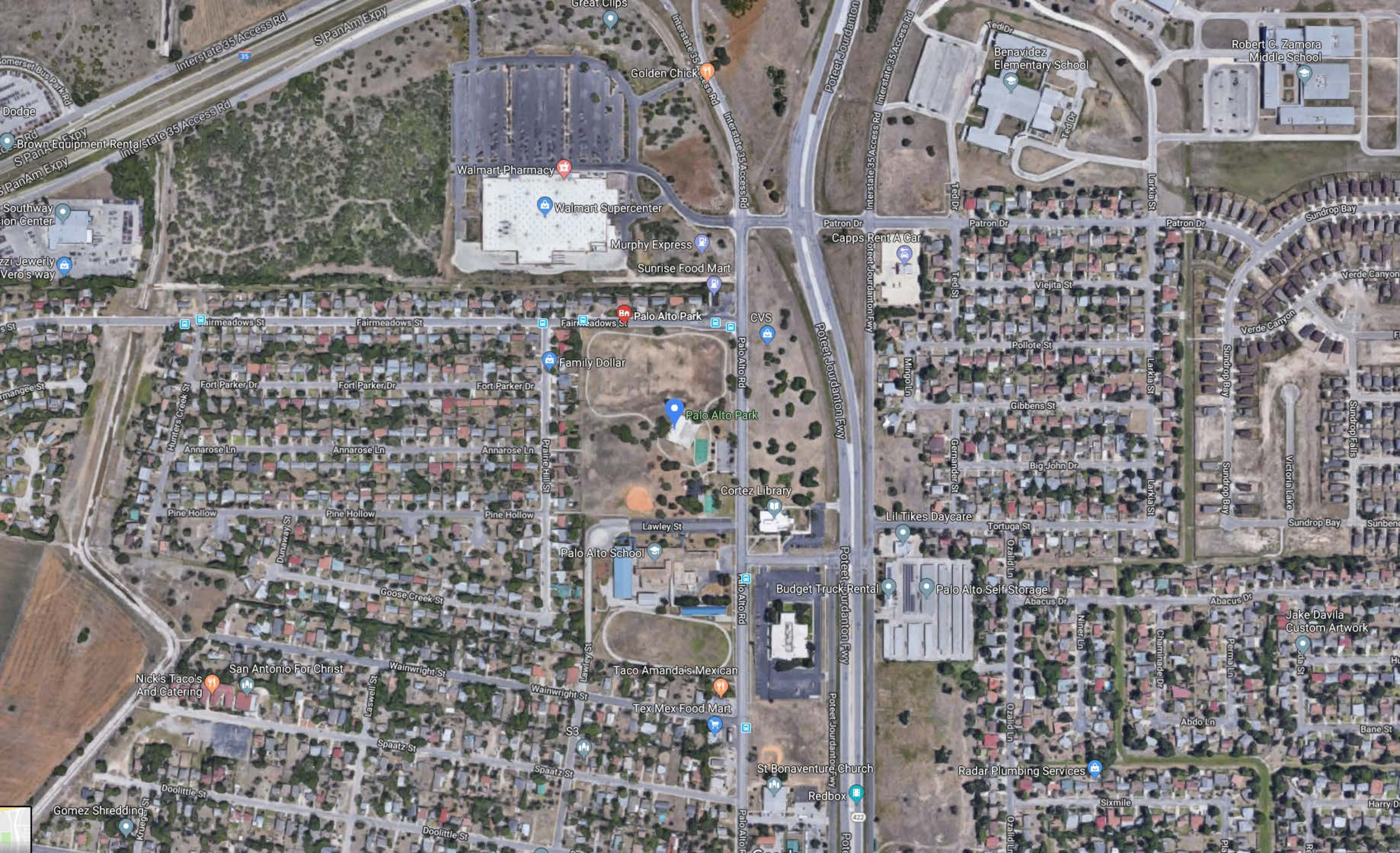


Flex Viewer

Powered by ArcGIS Server

Printed: Feb 01, 2019

The City of San Antonio does not guarantee the accuracy, adequacy, completeness or usefulness of any information. The City does not warrant the completeness, timeliness, or positional, thematic, and attribute accuracy of the GIS data. The GIS data, cartographic products, and associated applications are not legal representations of the depicted data. Information shown on these maps is derived from public records that are constantly undergoing revision. Under no circumstances should GIS-derived products be used for final design purposes. The City provides this information on an "as is" basis without warranty of any kind, express or implied, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.





January 8, 2019

HDRC Review Board
City of San Antonio
Office of Historic Preservation
1901 S. Alamo, San Antonio, Texas 78204



LANDSCAPE ARCHITECTURE
SITE PLANNING
MASTER PLANNING
URBAN PLANNING

SAN ANTONIO OFFICE

1000 Central Parkway North
Suite 268
San Antonio, TX 78232
210.349.3500
210.349.3508 Fax

HOUSTON
SAN ANTONIO

www.kwtexas.com

Re: Written Narrative for HDRC Application for Final Approval for Palo Alto Park
(1601 Palo Alto Road, San Antonio, Texas 78211)

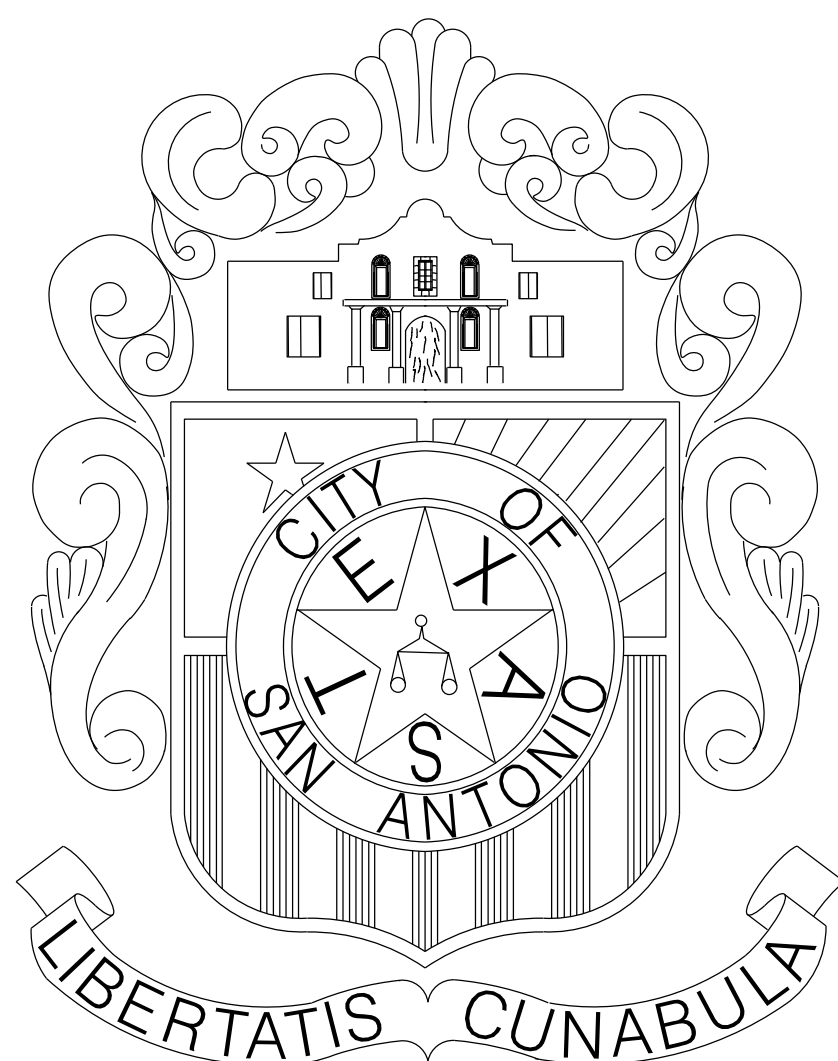
Dear HDRC Review Board:

The following are proposed park improvements at the existing Palo Alto Park:

- Expanded asphalt parking lot
- New concrete walks adjacent to parking lot
- New restroom enclosure for portable restroom, to match existing
- New lighting for expanded parking, to match existing
- New lighting for existing soccer field, to match existing
- Relocated park entry sign
- New landscaping around park entry sign.

Sincerely,

Kristen Guinn, PLA
LEED Green Associate
Kudela & Weinheimer
1000 Central Parkway N., Suite 268
San Antonio, Texas 78232
210-610-7103
kguinn@kwtexas.com



CITY OF SAN ANTONIO

PALO ALTO PARK

1625 PALO ALTO ROAD
SAN ANTONIO, TEXAS

CITY MANAGER

SHERYL SCULLEY

TCI DIRECTOR

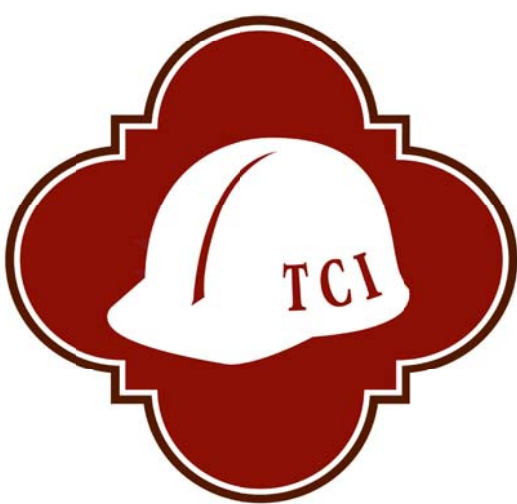
MIKE FRISBIE

PROJECT MANAGER

DESIREE SALMON
SR. LANDSCAPE ARCHITECT
PH. # 210-207-2113
FAX # 210-207-2197

PRIME CONSULTANT

KUDELA & WEINHEIMER, INC.
LANDSCAPE ARCHITECT
PH. # 210-349-3500
FAX # 210-349-3508



SHEET INDEX

LANDSCAPE ARCHITECTURE

L0.01 GENERAL NOTES

TP1.01 TREE PRESERVATION

L1.01 MATERIALS & LAYOUT PLAN

L2.01 DETAILS

L2.02 DETAILS

CIVIL ENGINEER

C1.00 EXISTING CONDITIONS PLAN

C1.20 DEMOLITION PLAN

C1.30 SITE PLAN

C1.31 DIMENSIONAL CONTROL PLAN

C1.40 GRADING PLAN

C5.10 CIVIL DETAILS

C5.11 CIVIL DETAILS

C5.12 CIVIL DETAILS

DATE OF ISSUE: 12/06/2018

PROJECT NUMBER

XX-XXXXX

FUNDING

2017-22 GENERAL OBLIGATION BOND PROGRAM

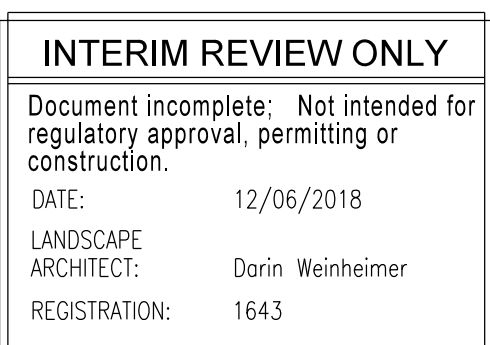
CITY COUNCIL

MAYOR

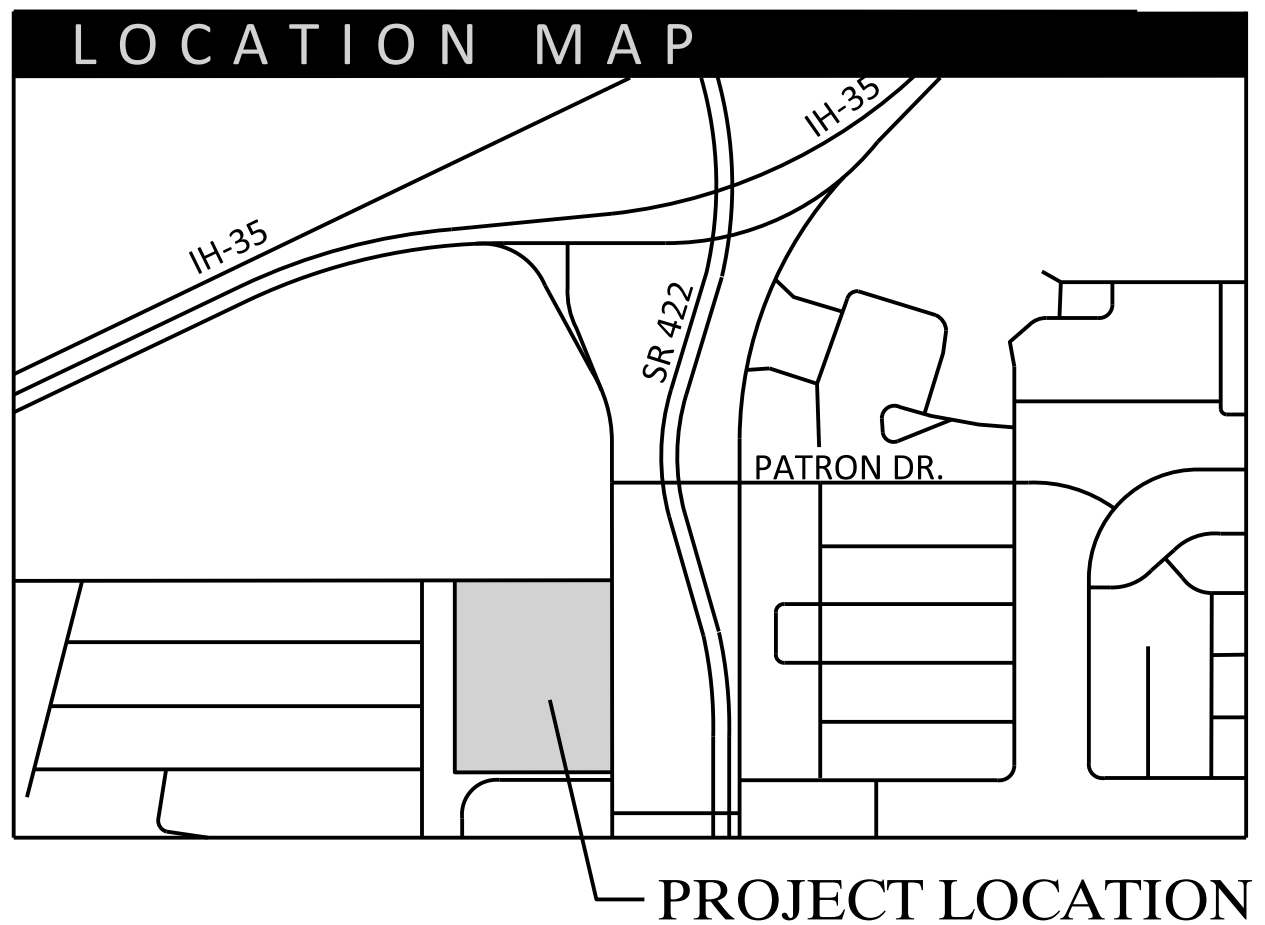
RON NIRENBERG

COUNCIL

ROBERTO C. TREVIÑO
WILLIAM 'CRUZ' SHAW
REBECCA J. VIAGRAN
REY SALDAÑA
SHIRLEY GONZALES
GREG BROCKHOUSE
ANA SANDOVAL
MANNY PELÁEZ
JOHN COURAGE
CLAYTON PERRY



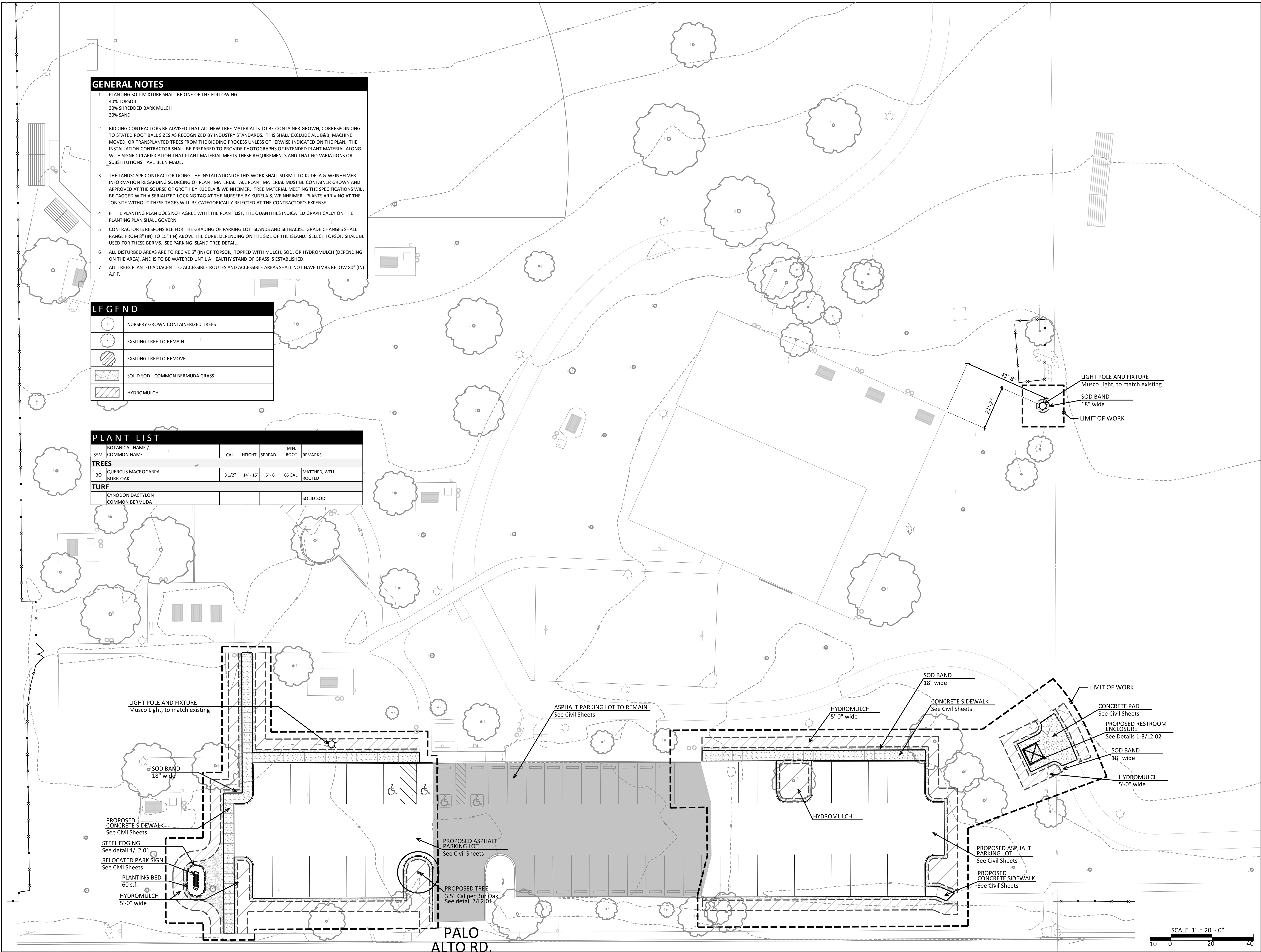
DISTRICT 1
DISTRICT 2
DISTRICT 3
DISTRICT 4
DISTRICT 5
DISTRICT 6
DISTRICT 7
DISTRICT 8
DISTRICT 9
DISTRICT 10



OUR MISSION: THROUGH INNOVATION AND DEDICATION, WE BUILD AND
MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT

MUNICIPAL PLAZA BUILDING 114 W. COMMERCE SAN ANTONIO, TX 78238 PH # 210-207-2879 FAX # 210-207-2197



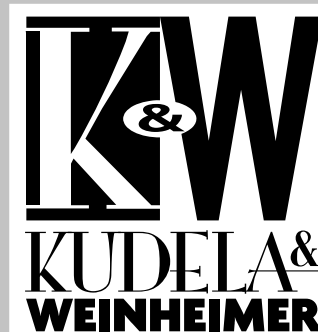
INTERIM REVIEW ONLY

Document incomplete; Not intended for regulatory approval, permitting or construction.

DATE: 12/06/2018

LANDSCAPE ARCHITECT: Dorin Weinheimer

REGISTRATION: 1643

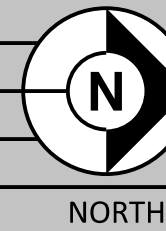


LANDSCAPE ARCHITECTURE
SITE PLANNING
URBAN DESIGN

7155 OLD KATY ROAD
SUITE 270
HOUSTON, TEXAS 77024
713-869-6987
713-869-0908 FAX
WWW.KWTEXAS.COM

PROJECT NUMBER
CSA-852

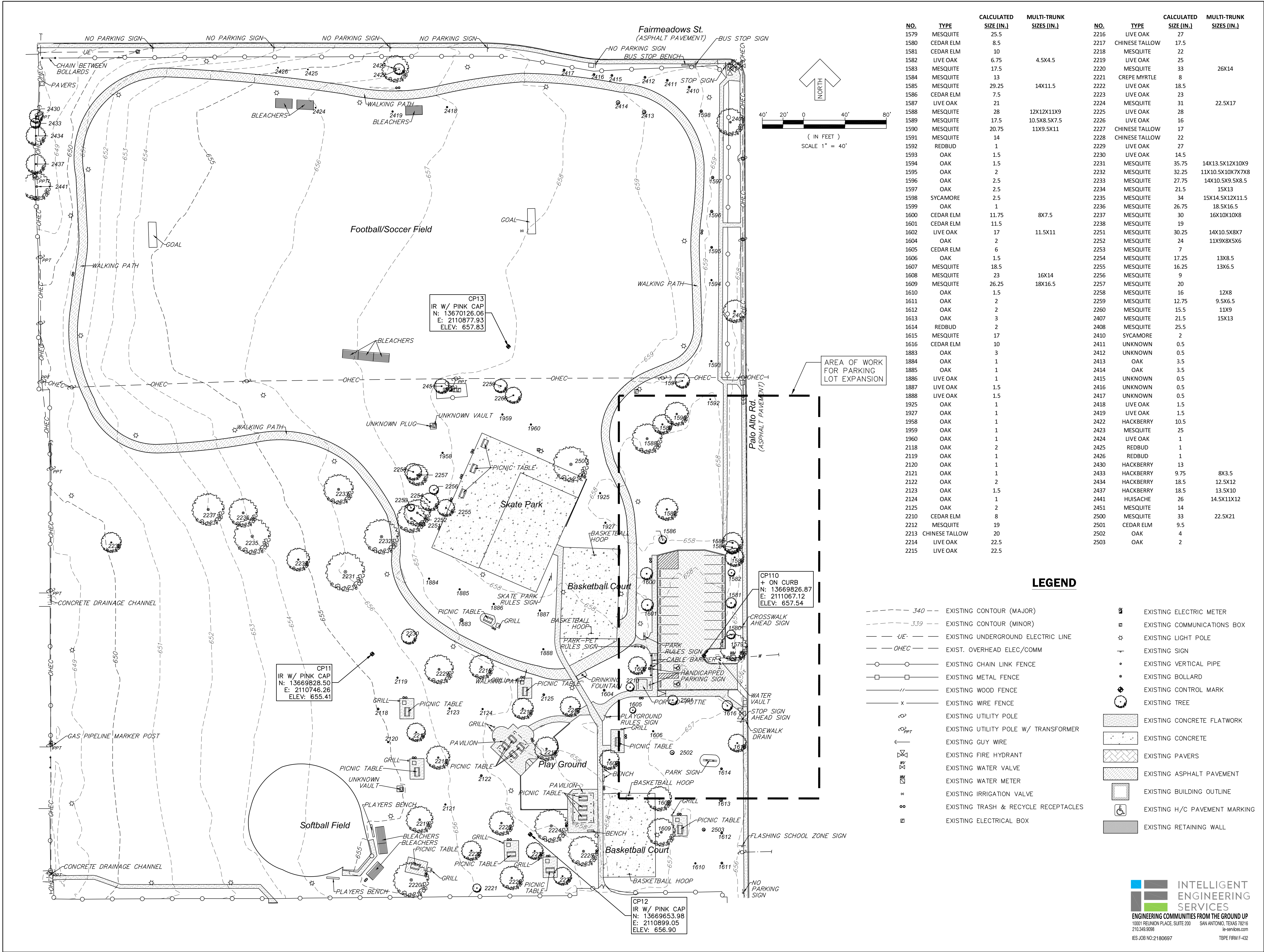
SCALE
1" = 20' - 0"



SHEET TITLE
MATERIALS &
LAYOUT PLAN

SHEET NUMBER
L1.01





PALO ALTO PARK

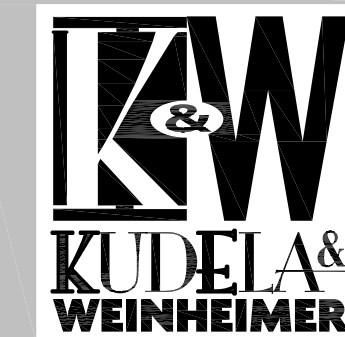
CITY OF SAN ANTONIO

DATE/ISSUE

6 DEC 2018 ISSUE FOR DD

INTERIM REVIEW DOCUMENTS

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF TEXAS W. KUDELA & WEINHEIMER, INC. ON 12/06/18. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR POINT PURPOSES. INTELLIGENT ENGINEERING SERVICES. TBPPE FIRM REG. NO. F-432.



LANDSCAPE ARCHITECTURE
SITE PLANNING
URBAN DESIGN

7155 OLD KATY ROAD
SUITE 270
HOUSTON, TEXAS 77024
713-869-6987
713-869-0908 FAX
WWW.KWTEXAS.COM

PROJECT NUMBER

CSA-852

SCALE 1" = 40' - 0"



SHEET TITLE

EXISTING
CONDITIONS PLAN

SHEET NUMBER

C1.00

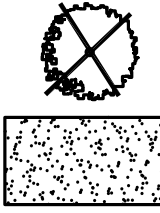
INTELLIGENT
ENGINEERING
SERVICES
ENGINEERING COMMUNITIES FROM THE GROUND UP
10001 REUNION PLACE, SUITE 200 SAN ANTONIO, TEXAS 78216
210.348.9088 ie-services.com
IES JOB NO: 2180697 TBPPE FIRM F-432

DEMOLITION NOTES:

1. ALL EXISTING ITEMS THAT ARE NOT SPECIFICALLY NOTED TO BE REMOVED SHALL REMAIN. CONTRACTOR IS RESPONSIBLE FOR REPLACING EXISTING ITEMS REMOVED DURING DEMOLITION THAT WERE TO REMAIN.
2. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED. REFERENCE ARCHITECTURAL PLANS FOR TREE DEMOLITION AND TREE PROTECTION INFORMATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, LANDSCAPE ARCHITECT AND ENGINEER SHOULD ANY QUESTIONS ARISE REGARDING EXISTING TREES. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO PREVENT DAMAGE TO TREES OR ROOT SYSTEMS OF TREES TO REMAIN. ANY TREES DAMAGED OR KILLED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS AND SIDEWALKS AT LOCATIONS AS SHOWN ON THE PLANS. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT, CURBS OR SIDEWALKS WILL BE ALLOWED OR ACCEPTED.
4. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER REGARDING ANY QUESTIONS FOR DEMOLITION WORK ON THIS PROJECT.

5. EXISTING UTILITIES SHOWN ON THIS LAYOUT ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THESE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL TAKE PRECAUTIONS WHEN EXCAVATING FOR THIS PROJECT. UTILITIES ARE KNOWN TO EXIST AROUND THE EXCAVATION SITE, HOWEVER THEIR EXACT LOCATION/ALIGNMENT, & DEPTH IS UNKNOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE PRECAUTIONS WHEN LOCATING/ENCOUNTERING UNKNOWN UTILITIES.
7. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES THAT ARE TO REMAIN DURING THE COURSE OF CONSTRUCTION. EXISTING UTILITIES WHICH ARE DAMAGED WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
8. UTILITY SHUTDOWNS SHALL OCCUR ON WEEKENDS ONLY. UTILITY SHUTDOWNS SHALL BE COORDINATED WITH THE UNIVERSITY, OWNER DESIGNATED REPRESENTATIVE, AND RESPECTIVE UTILITY PROVIDER. A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN.

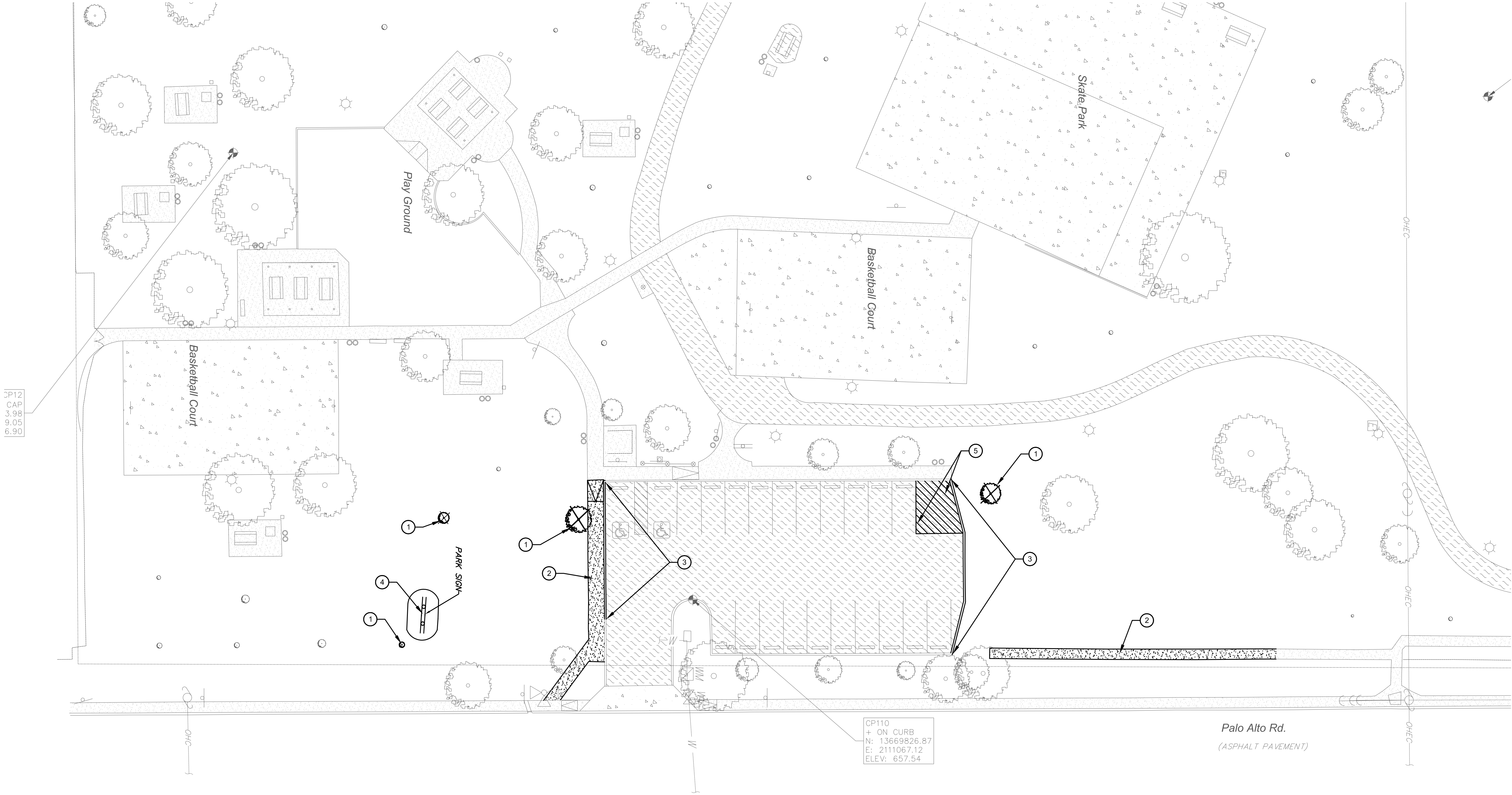
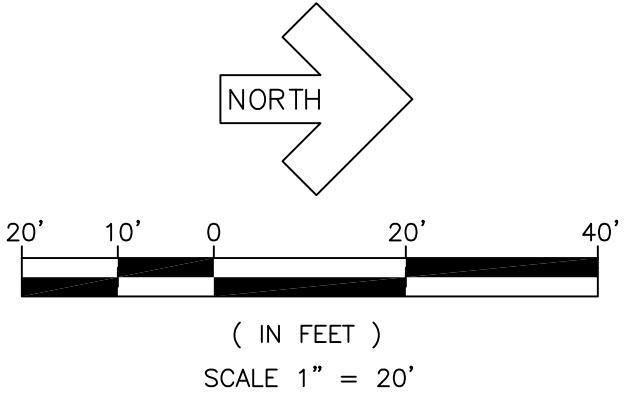
LEGEND:



EXISTING TREE TO BE REMOVED
SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK

KEYNOTES:

- 1 EXISTING TREE TO BE REMOVED
- 2 SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK
- 3 SAWCUT AND REMOVE EXISTING CONCRETE CURB
- 4 EXISTING PARK SIGN AND ASSOCIATED LANDSCAPING TO BE REMOVED, PROTECT SIGN DURING REMOVAL FOR REUSE
- 5 EXISTING PARKING STRIPES TO BE BLACKED OUT



INTELLIGENT
ENGINEERING
SERVICES
ENGINEERING COMMUNITIES FROM THE GROUND UP
10001 REUNION PLACE, SUITE 200 SAN ANTONIO, TEXAS 78216
210.348.9098 ie-services.com
IES JOB NO: 2180697 TBPE FIRM F-432

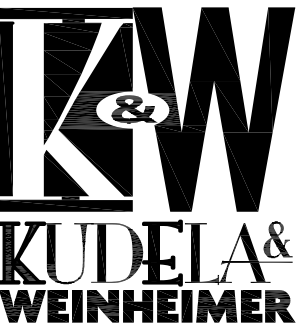
PALO ALTO PARK

CITY OF SAN ANTONIO

DATE/ISSUE

6 DEC 2018 ISSUE FOR DD

INTERIM
REVIEW
DOCUMENTS
THIS DOCUMENT IS RELEASED FOR THE
PURPOSE OF INTERIM REVIEW UNDER THE
AUTHORITY OF ERLATH W. ZUEHL, P.E. 88535
ON 12/06/18. IT IS NOT TO BE USED FOR
CONSTRUCTION, BIDDING, OR POINT PURPOSES.
INTELLIGENT ENGINEERING SERVICES,
TBPE FIRM REG. NO. F-432.



LANDSCAPE ARCHITECTURE
SITE PLANNING
URBAN DESIGN

7155 OLD KATY ROAD
SUITE 270
HOUSTON, TEXAS 77024
713-869-6987
713-869-0908 FAX
WWW.KWTEXAS.COM

PROJECT NUMBER
CSA-852


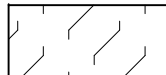
SCALE 1" = 20' - 0"



SHEET TITLE
DEMOLITION PLAN

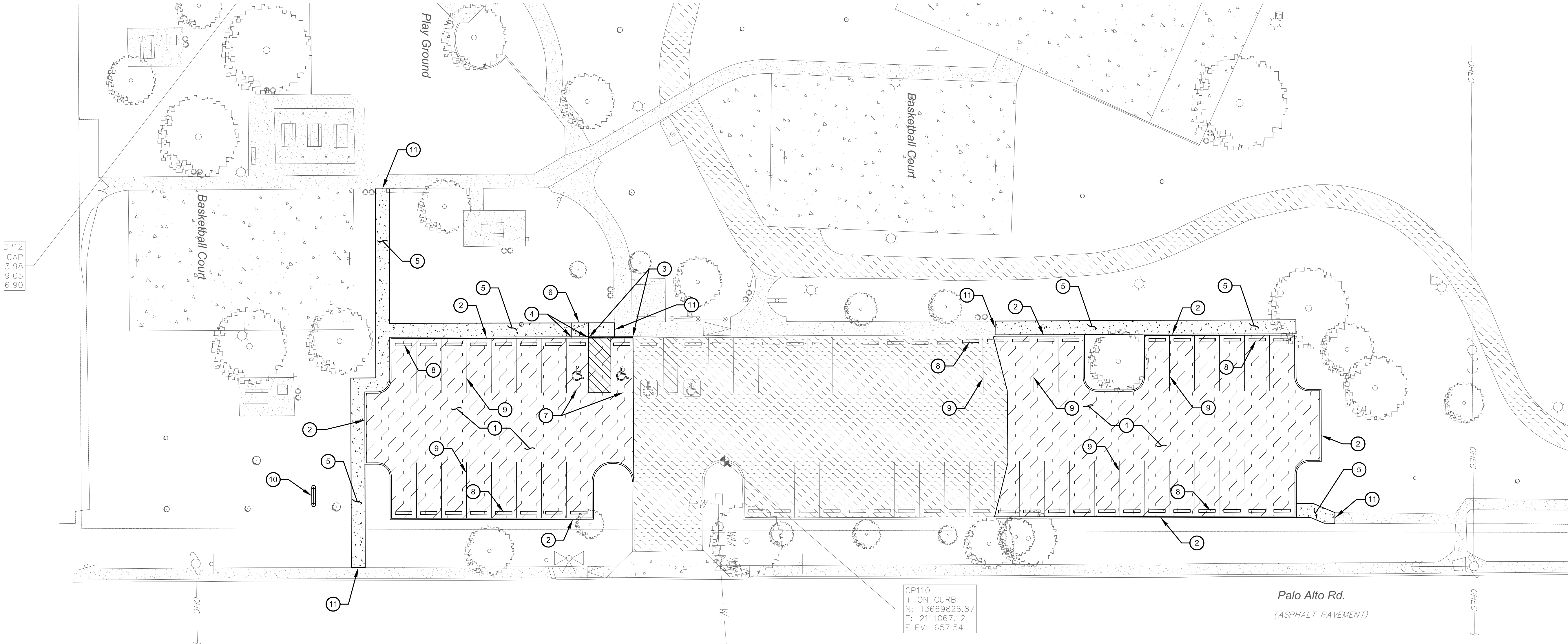
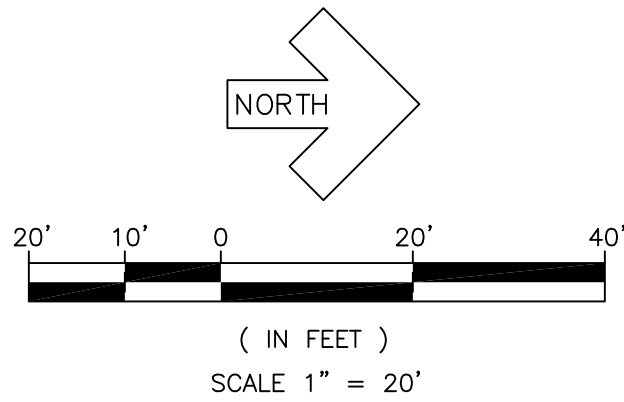
SHEET NUMBER
C1.20

LEGEND

-  NEW CONCRETE FLATWORK, SEE DETAIL 1/C5.11
-  NEW ASPHALT PAVEMENT, SEE DETAIL 1/C5.10

KEYNOTES:

- 1 NEW ASPHALT PAVEMENT, SEE DETAIL 1/C5.10
- 2 NEW CONCRETE CURB, SEE DETAIL 3/C5.10
- 3 NEW CONCRETE FLUSH CURB, SEE DETAIL 4/C5.10
- 4 NEW CONCRETE TRANSITION CURB, SEE DETAIL 5/C5.10
- 5 NEW CONCRETE FLATWORK, SEE DETAIL 1/C5.11
- 6 NEW CURB RAMP, SEE DETAIL 1/C5.12
- 7 NEW ACCESSIBLE PARKING, SEE DETAIL 2/C5.12
- 8 NEW PARKING BUMPER (TYP), SEE DETAIL 5/C5.11
- 9 NEW PARKING STRIPE (TYP), SEE DETAIL 4/C5.11
- 10 RELOCATED PARK SIGN
- 11 CONNECT TO EXISTING CONCRETE SIDEWALK, SEE DETAIL 2/C5.11



GENERAL NOTES:

1. EXISTING UTILITY SERVICES TO ALL EXISTING BUILDINGS SHALL BE MAINTAINED UNTIL CONNECTION TO THE NEWLY CONSTRUCTED SYSTEMS CAN BE ESTABLISHED, ONCE CONNECTIONS TO THE NEW SYSTEMS HAVE BEEN ESTABLISHED AND THE EXISTING SYSTEMS ARE NO LONGER NEEDED, THE EXISTING SYSTEMS SHALL BE DECOMMISSIONED IN THE FOLLOWING MANNER. ALL LARGE STRUCTURES SUCH AS MANHOLES, JUNCTION BOXES, INLETS ETC. SHALL BE REMOVED. UNDERGROUND PIPING SHALL BE REMOVED WHEN THE OPPORTUNITY ARISES AND IS CONVENIENT. ALL UNDERGROUND PIPING THAT CANNOT BE REMOVED CONVENIENTLY SHALL BE ANTICIPATED TO BE FILLED WITH AN APPROPRIATE GROUT OR FLOWABLE FILL MIXTURE APPROVED BY THE ENGINEER.
2. CONTRACTOR SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT AND ENGINEER SHOULD ANY QUESTIONS ARISE REGARDING EXISTING TREES. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO TREES NOT BEING REMOVED. ALL TREES TO REMAIN SHALL BE ADEQUATELY PROTECTED TO PREVENT DAMAGE TO TREES OR ROOT SYSTEMS OF TREES. ANY TREES NOT BEING REMOVED BY THIS CONSTRUCTION AND DAMAGED OR KILLED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH APPLICABLE NATIONAL, STATE, MUNICIPAL AND LOCAL CODES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
5. EXISTING UTILITIES SHOWN ON THESE DRAWINGS WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING UTILITY SERVICE TO EXISTING BUILDINGS AT ALL TIMES. EXISTING UTILITIES WHICH ARE DAMAGED WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. OWNER TO BE NOTIFIED 14 DAYS IN ADVANCE OF ANY UTILITY SHUTDOWN.
7. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES THAT ARE TO REMAIN DURING THE COURSE OF CONSTRUCTION. EXISTING UTILITIES WHICH ARE DAMAGED WILL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL PREVENT DAMAGE TO ALL EQUIPMENT BEING REMOVED (SIGNS, LIGHT POLES, ETC.), AND THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR DESIGNATED REPRESENTATIVE REGARDING THE OWNER'S PREFERENCE AS TO WHERE ALL SALVAGED MATERIAL(S) SHALL BE RELOCATED TO.

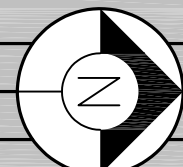
9. THE POTENTIAL EXISTS FOR ASBESTOS CONTAINING MATERIALS TO BE DISCOVERED IN AREAS YET UNSURVEYED, UNTESTED OR UNKNOWN. ACCORDINGLY, ALL CONTRACTORS AND SUBCONTRACTORS SHALL INFORM ALL PROJECT WORKERS AS TO THIS POTENTIAL HAZARD, AND SHALL INSTRUCT THEM OF ALL THE ACTIONS TO FOLLOW IN THE EVENT SUSPICIOUS MATERIALS ARE DISCOVERED. THE INFORMATION AND INSTRUCTION SHALL BE REPEATED AT EACH PROJECT SAFETY MEETING, BUT NOT LESS THAN WEEKLY. CONTACT THE OWNER'S DESIGNATED REPRESENTATIVE OR ARCHITECT IMMEDIATELY SHOULD ANY SUSPICIOUS MATERIALS BE DISCOVERED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE JOB SITE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFEGUARDING AND PROTECTING ALL MATERIAL AND EQUIPMENT STORED ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORING OF MATERIALS IN A SAFE AND WORKMAN LIKE MANNER TO PREVENT INJURIES, DURING AND AFTER WORKING HOURS, UNTIL PROJECT IS COMPLETE.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUPERVISE AND COORDINATE ALL WORK TO ENSURE THE PROPER EXECUTION. ALL WORK IS TO BE ACCOMPLISHED IN A NEAT, WORKMAN LIKE MANNER, AND ALL EXCESS MATERIALS, TRASH, DEBRIS, ETC., SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR, AT HIS EXPENSE.
13. THE CONTRACTOR SHALL KEEP ALL STREETS AND ACCESS DRIVES THAT ARE TO REMAIN OPEN TO THE GENERAL PUBLIC FREE OF DIRT, MUD, ETC. DURING THE COURSE OF CONSTRUCTION.
14. THE CONTRACTOR SHALL NOT LEAVE ANY PITS OR TRENCHES OPEN OVER NIGHT.
15. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE JOB SITE.
16. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY AND ALL UTILITY(S) CONTACTS REGARDING LOCATES AND/OR PROBES FOR SPECIFIC UTILITY IDENTIFICATION/CONSTRUCTION. THE FOLLOWING NUMBERS ARE PROVIDED TO ASSIST THE CONTRACTOR:
- UTILITY LOCATORS:
TEXAS STATE WIDE ONE CALL: 800-545-6005
TEXAS EXCAVATION SAFETY SYSTEM (TESS): 800-DIG-TESS
17. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO RELOCATE EXISTING POWER POLES AND/OR UTILITY BOXES OR ANY OTHER UTILITIES AS DEEMED NECESSARY BY THE ENGINEER. CONTRACTOR SHALL COORDINATE THE RELOCATION AND PAY ANY FEES.
18. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER.

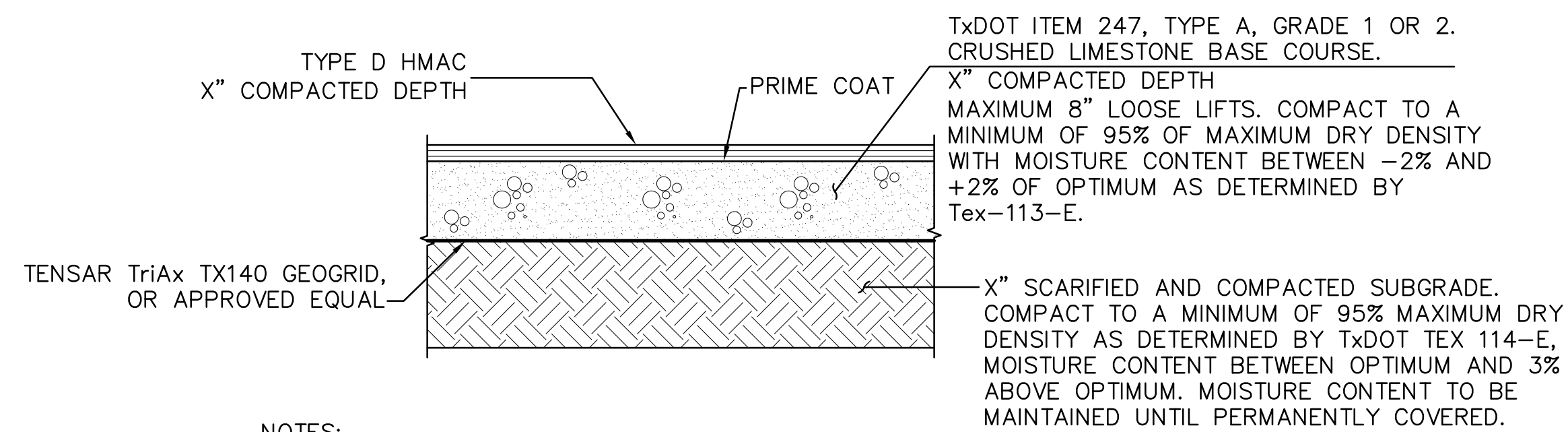
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND MAINTAINING ALL SIGNS, BARRICADES, AND LIGHTING OR WARNING DEVICE(S) USED/REQUIRED WITH THIS WORK. ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE "TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION.
21. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING.
22. REFERENCE LANDSCAPE PLANS AND SPECIFICATIONS FOR TREE, SHRUB AND PLANT PROTECTION.
23. SEE DETAIL SHEETS FOR ALL APPLICABLE DETAILS.
24. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR THE ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS AND STATE OF TEXAS LAW GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
25. CONTRACTOR SHALL PROVIDE A UNIT PRICE LIST FOR ALL ITEMS REQUIRED TO SATISFACTORILY COMPLETE PROJECT AS SHOWN ON THESE PLANS.
26. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
27. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SILT FENCES, ETC.) TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/ DEBRIS THAT WASHES OFFSITE OR INTO EXISTING STORM DRAIN SYSTEMS.
28. ALL CURBS ARE 6" HIGH, UNLESS OTHERWISE NOTED.
29. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS
30. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, LANDSCAPING, STRUCTURES, OR SIGNS.

31. CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER APPOINTED BY THE OWNER FOR ALL SOIL TESTING. SERVICES PROVIDED BY THE GEOTECHNICAL ENGINEER SHALL BE COMPENSATED BY THE OWNER ON THE INITIAL TEST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SOILS RE-TESTING & RE-WORKING OF ALL SUBSTANDARD WORK.
32. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY ARBORIST AT 207-8053 FOR GUIDANCE. CONSTRUCTION INSPECTOR SHALL ALSO BE NOTIFIED.
33. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN PERMIT.
34. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND LOCATIONS OF ABOVE GROUND EXISTING EQUIPMENT, PIPING, GRADES, VEGETATION, ETC. TO DETERMINE EXACT SIZE AND LOCATION PRIOR TO BID.
35. COORDINATE WITH OWNER DESIGNATED REPRESENTATIVE FOR SCHEDULING ANY/ALL DOWNTIMES OR DISRUPTIONS OF SERVICES. ALL DISRUPTIONS MUST BE KEPT TO A MINIMUM DURATION. CONTRACTOR SHALL USE MULTIPLE SHIFTS FOR ALL TRADES WHERE REQUIRED TO ACCOMPLISH OWNER'S LIMITATION OF DOWNTIME/DISRUPTIONS. OWNER TO BE NOTIFIED 14 DAYS IN ADVANCE OF ANY UTILITY SHUTDOWN.
36. NO EXTRA-PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS BUT NOT INCLUDED ON THE BID SCHEDULE. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED UNDER THE PAY ITEM TO WHICH IT RELATES.
37. REMOVE FENCING AS NECESSARY FOR WORK SPACE. PROVIDE NEW FENCE MATCHING EXISTING INSTALLED IN SAME LOCATION. FENCE TO BE INSTALLED AS SOON AS WORK IN THIS AREA IS COMPLETED.
38. CONTRACTOR IS RESPONSIBLE FOR ALL WORK REQUIRED TO SATISFACTORILY COMPLETE PROJECT AS SHOWN ON THESE PLANS.
39. DUE TO FEDERAL REGULATION TITLE 49, PART 192.181, GAS PURVEYOR MUST MAINTAIN ACCES TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

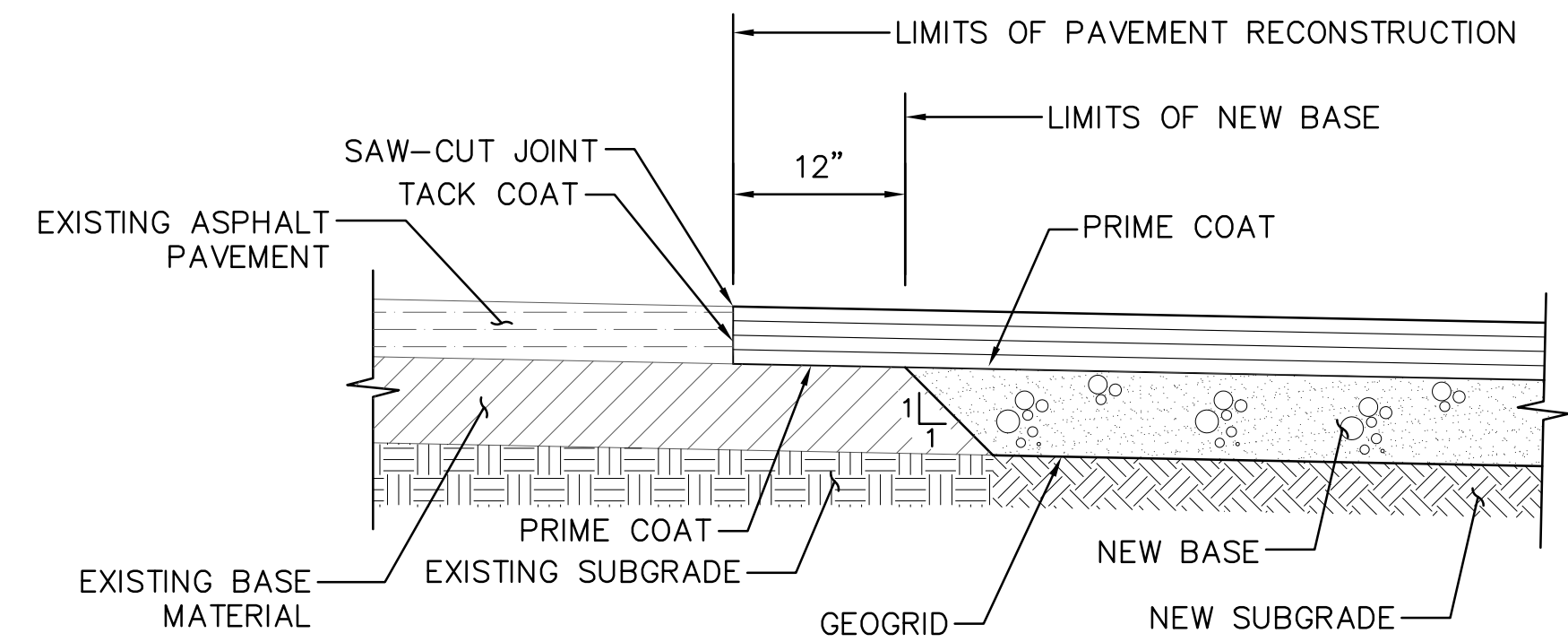
INTERIM
REVIEW
DOCUMENTS

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF ERLAH W. ZUEHLIG, P.E. 885335 ON 12/06/18. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR POINT PURPOSES. INTELLIGENT ENGINEERING SERVICES, TBPE FIRM REG. NO. F-432.



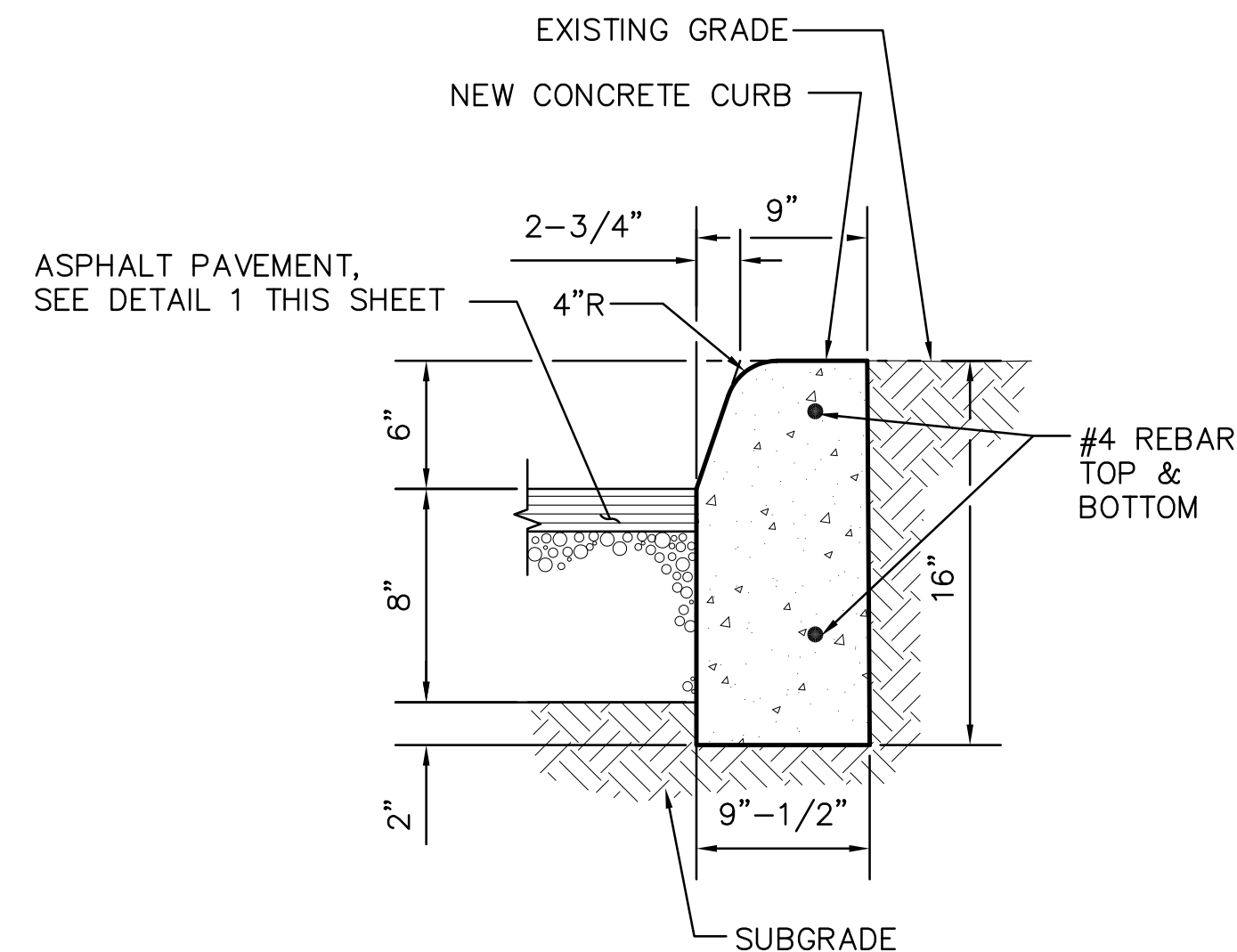


1 **ASPHALT PAVEMENT DETAIL**
NOT TO SCALE

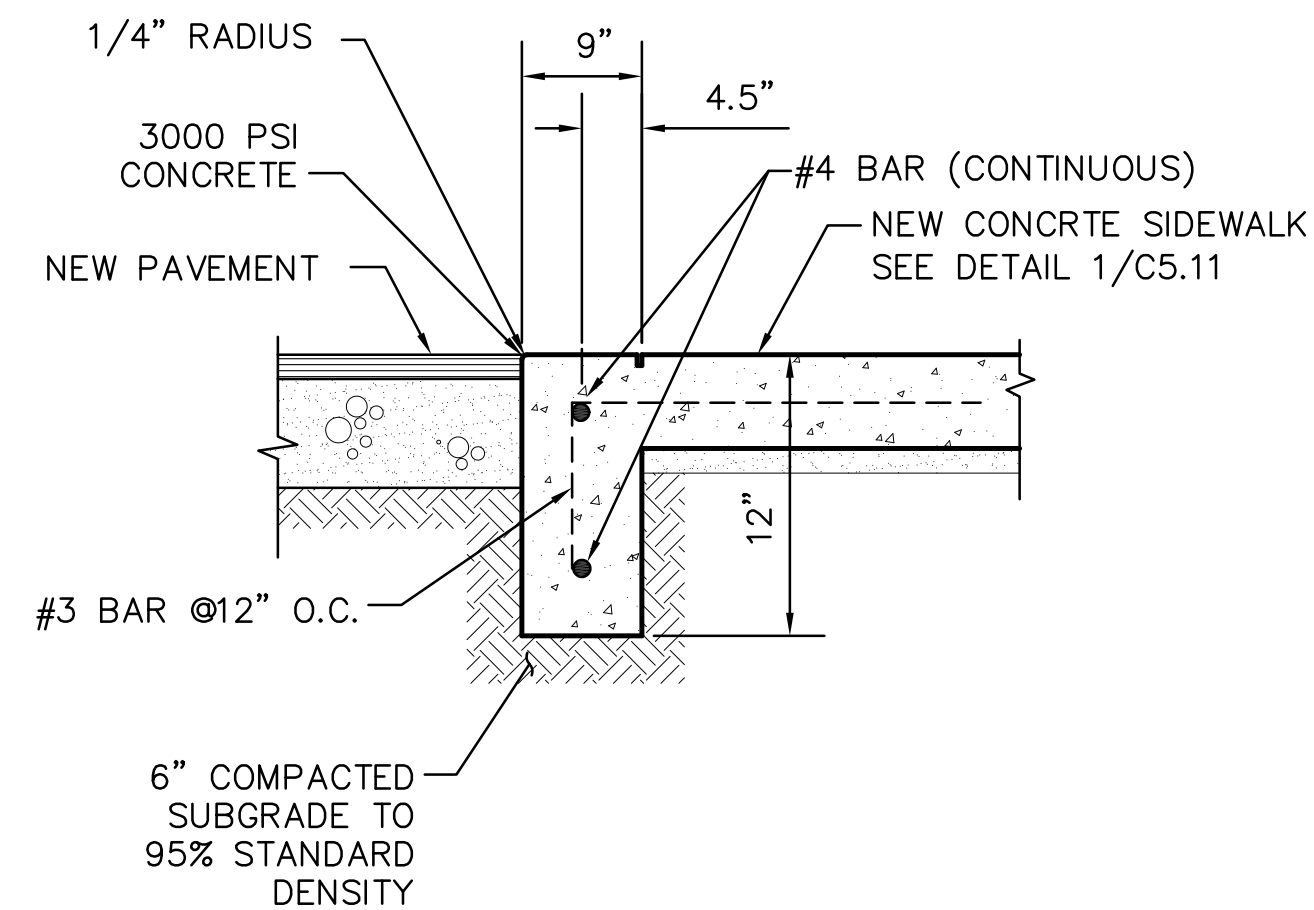


NOTES:
1. SEE DETAIL 1 THIS SHEET FOR NEW PAVEMENT SECTION.

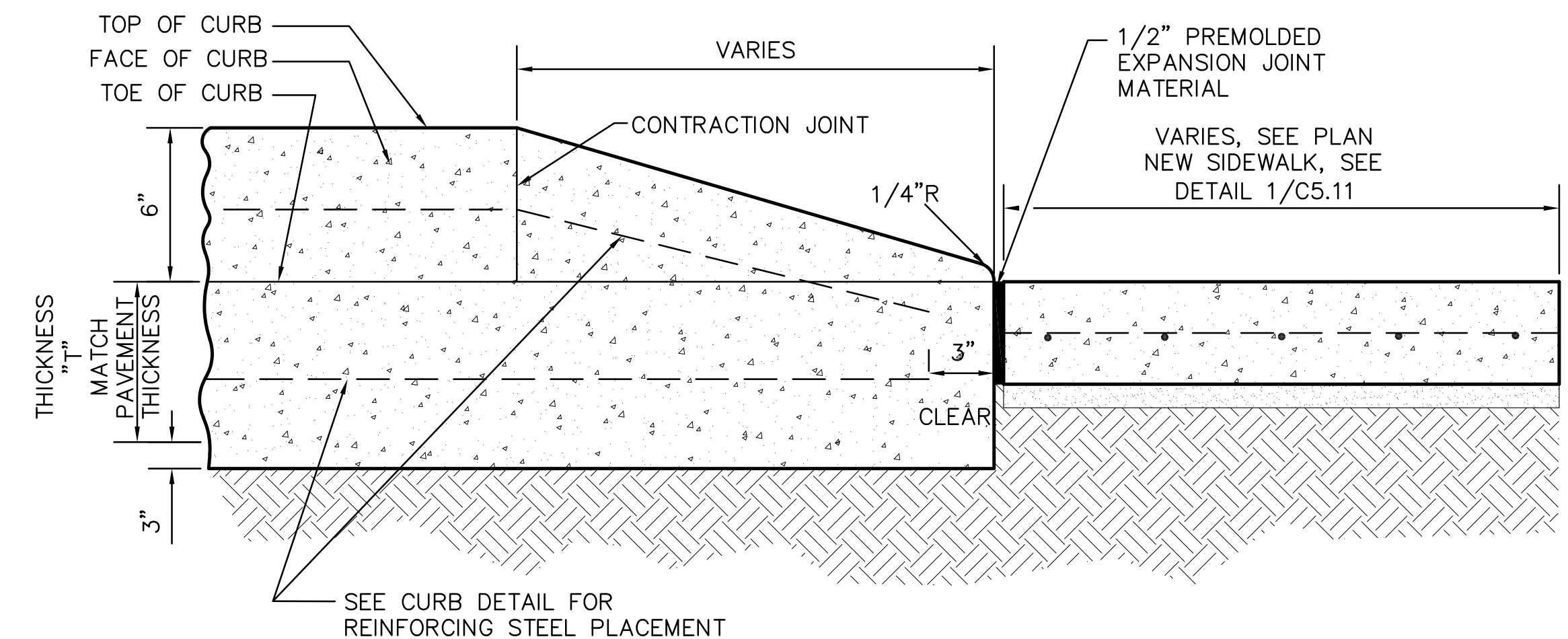
2 **ASPHALT TO ASPHALT PAVEMENT JUNCTION DETAIL**
NOT TO SCALE



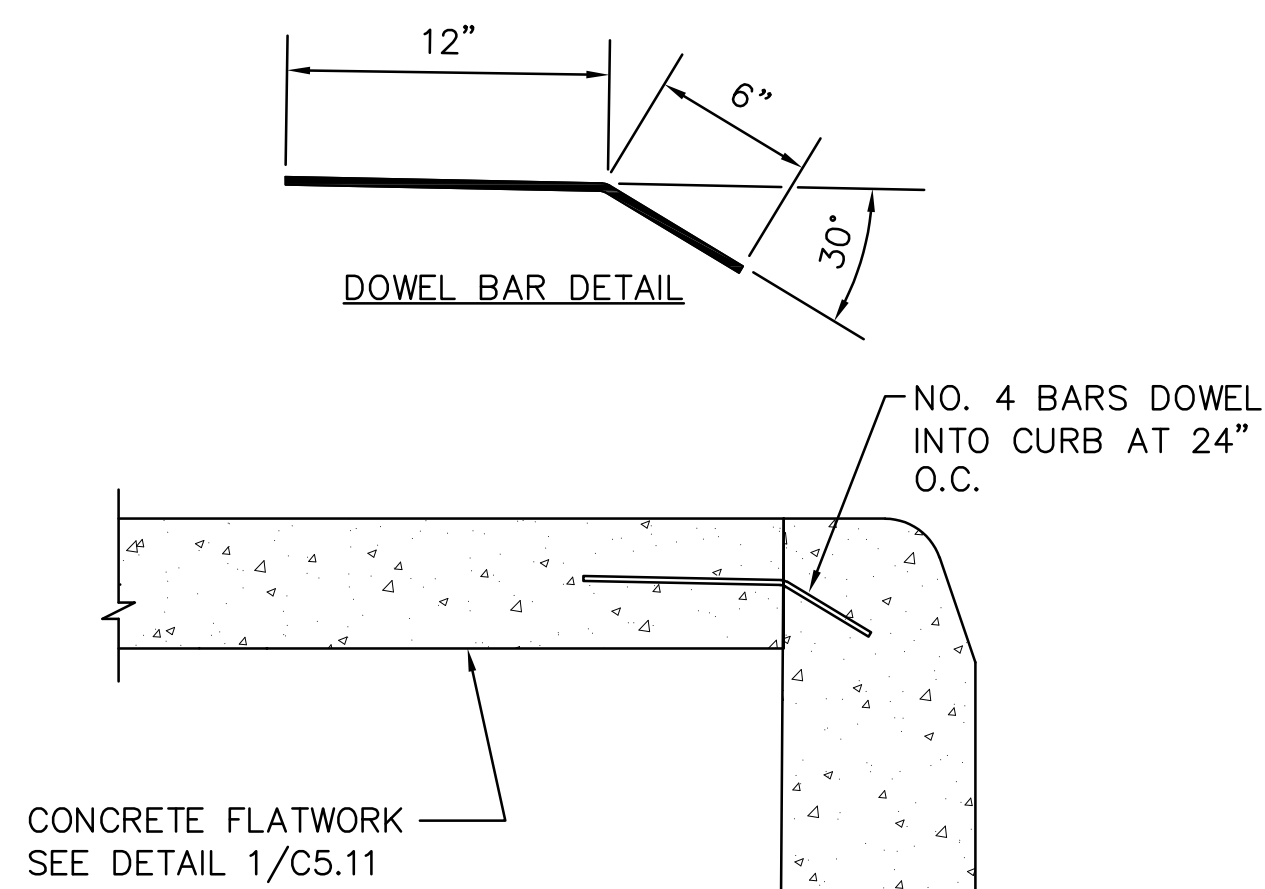
3 **CURB AT NATURAL GRADE SECTION**
NOT TO SCALE



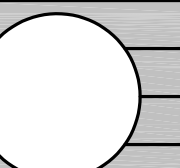
4 **FLUSH CURB DETAIL**
NOT TO SCALE

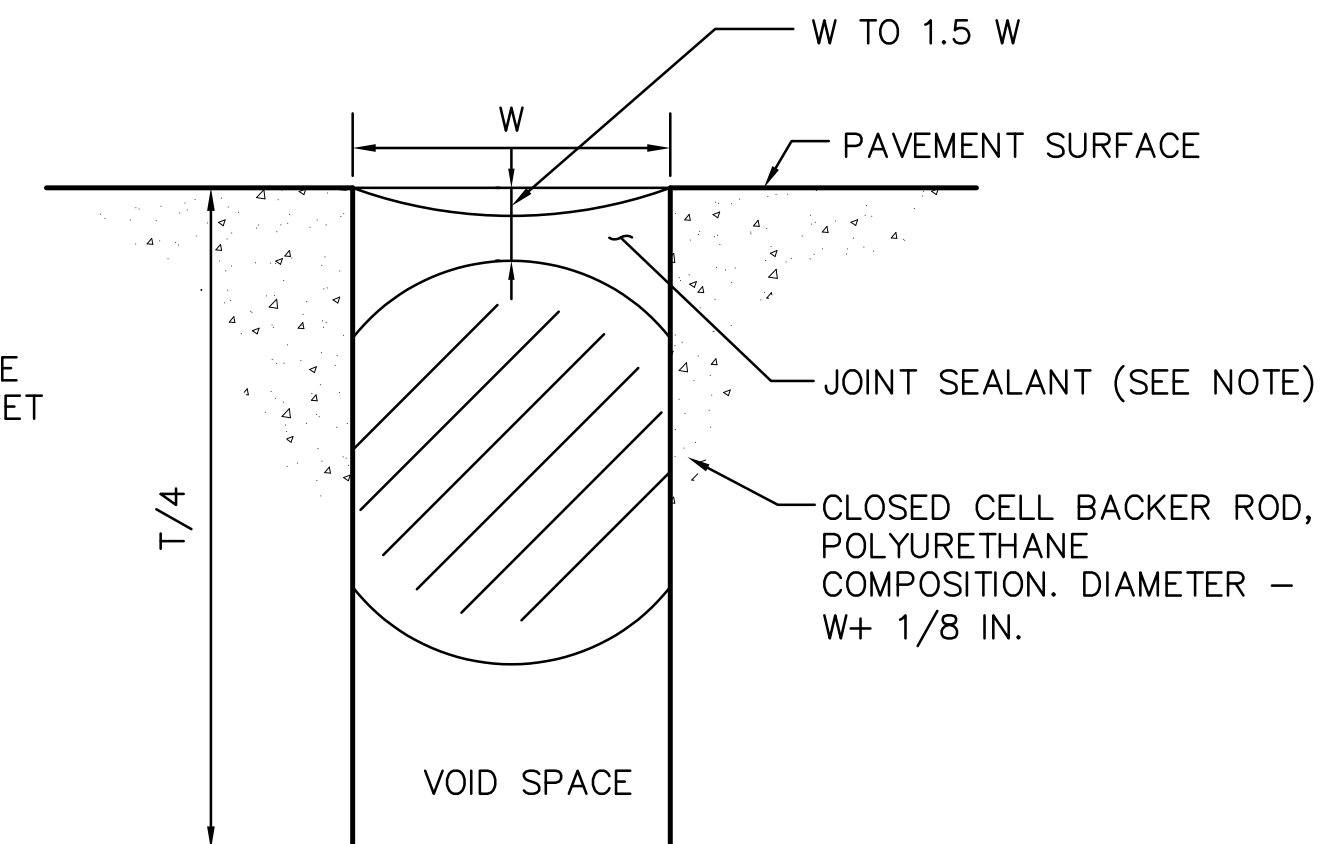
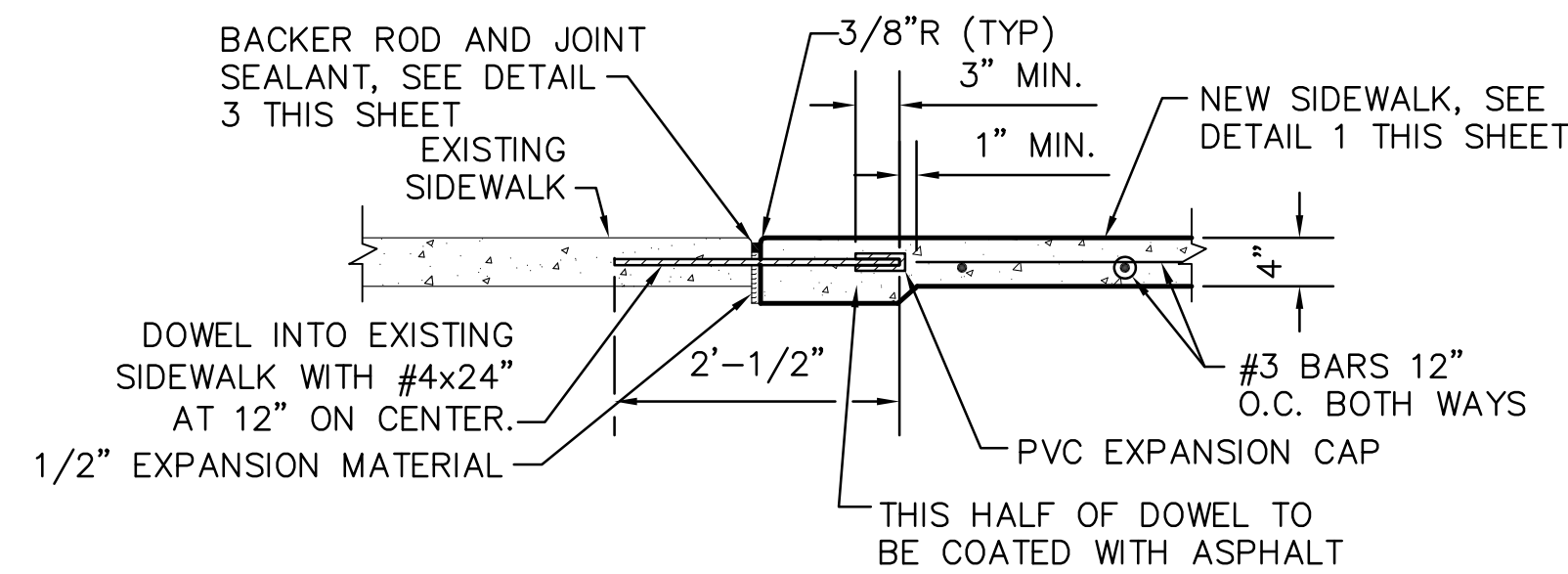
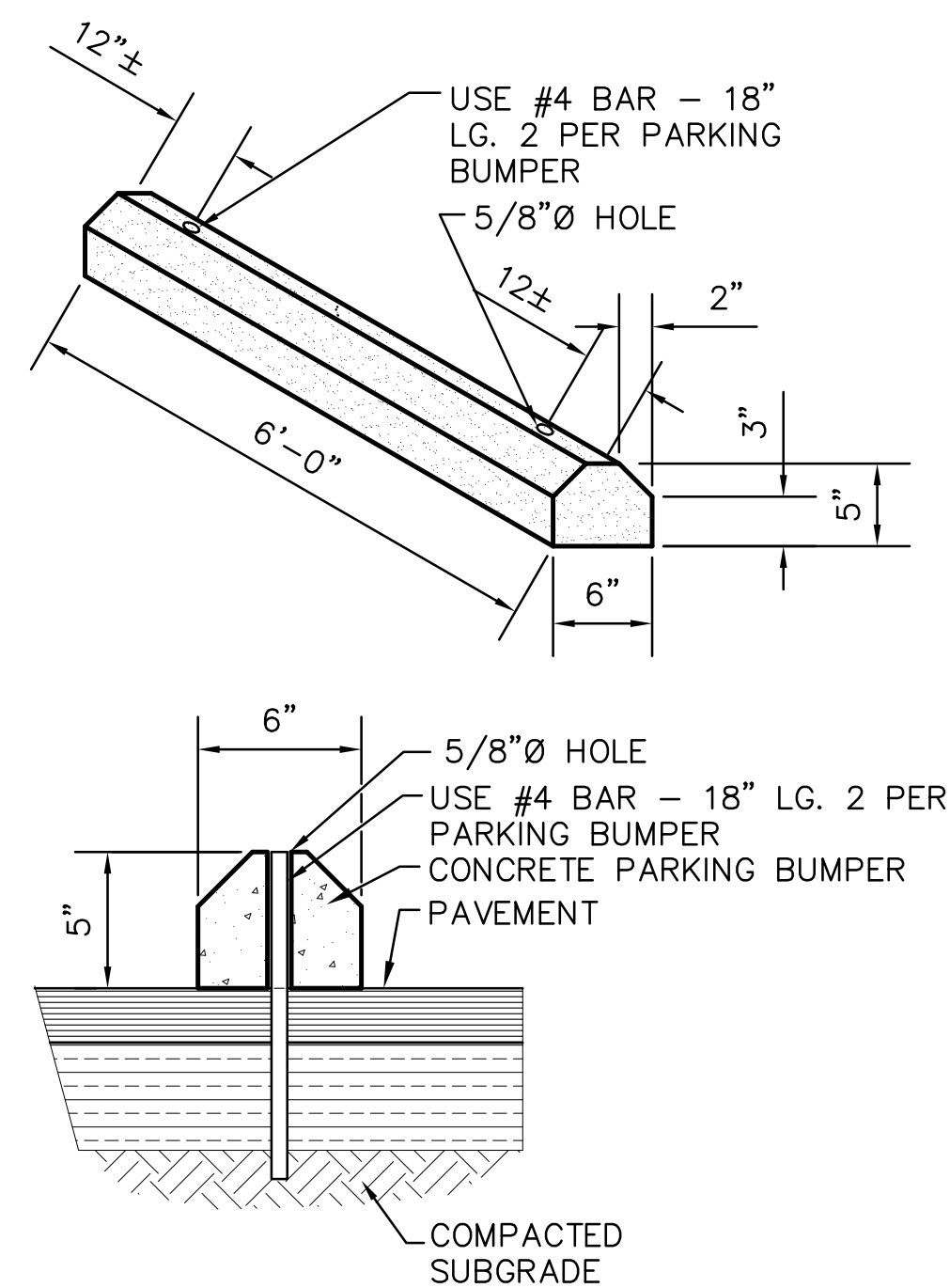
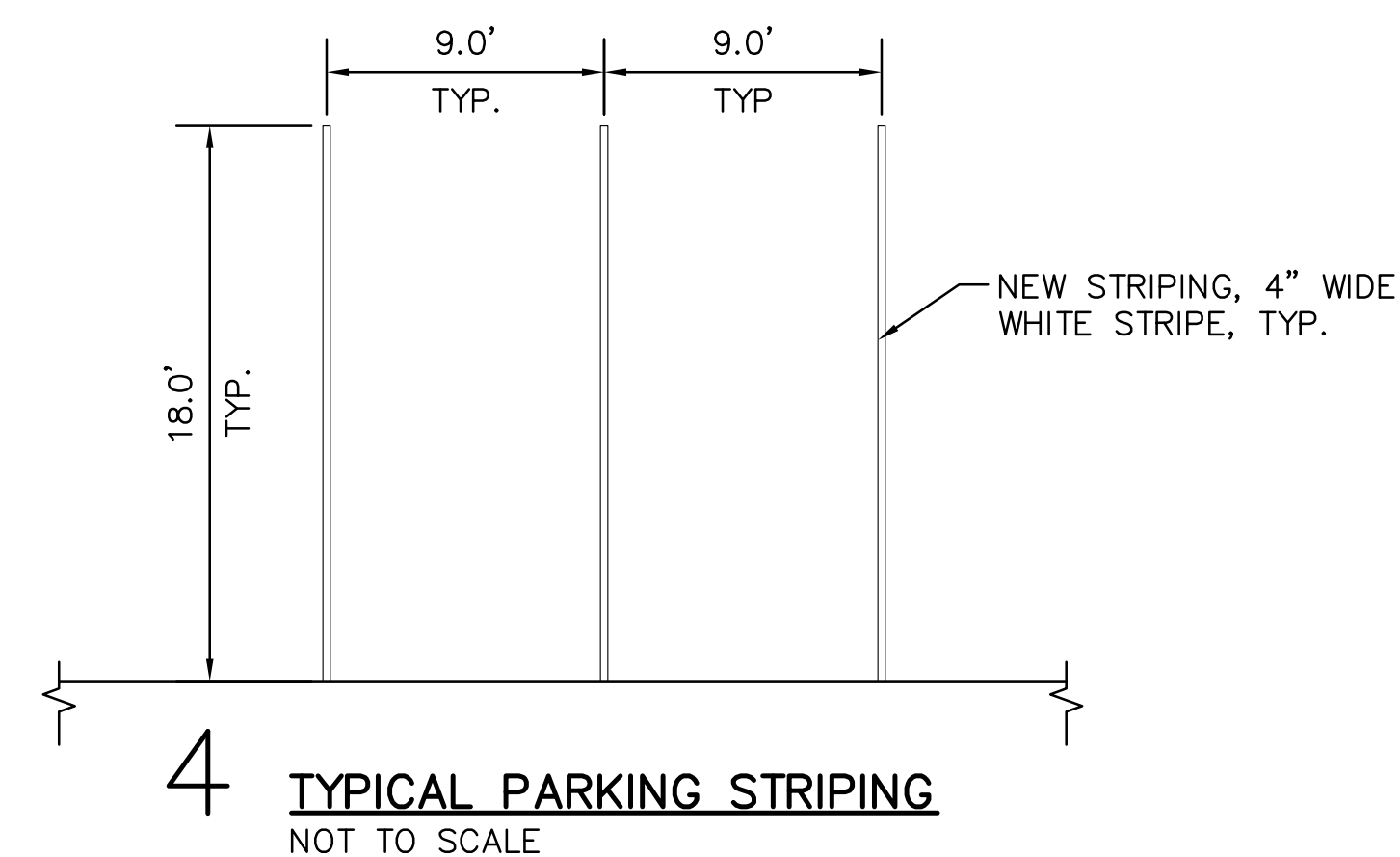
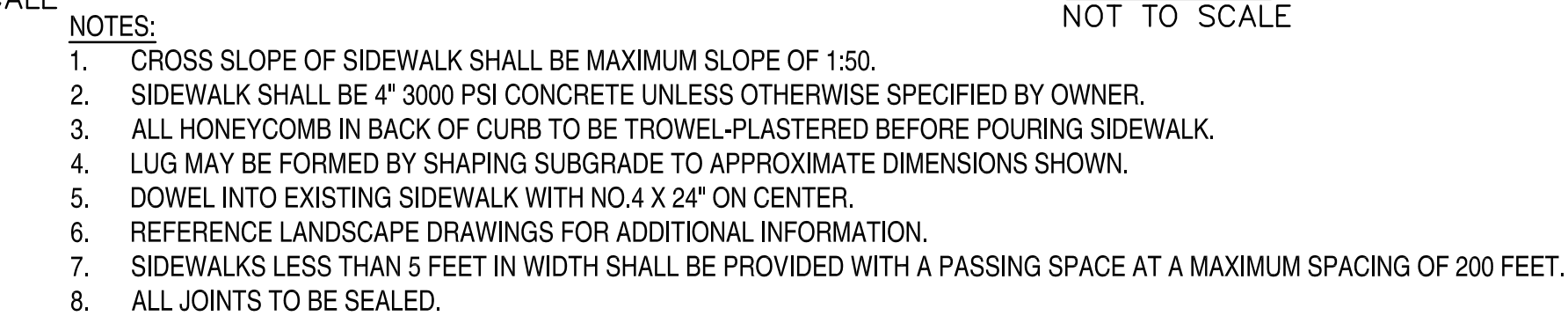


5 **TRANSITION CURB**
NOT TO SCALE



6 **CONCRETE FLATWORK & CONCRETE CURB JUNCTION DETAIL**
NOT TO SCALE





- NOTES:
1. W = JOINT WIDTH
 2. T = SLAB THICKNESS
 3. JOINT SEALANT SHALL BE COLD POUR JOINT SEALANT, BASF SONOLASTIC SL 1 OR APPROVED EQUAL.

TYPICAL SIDEWALK RAMP

SECTION B

GENERAL NOTES

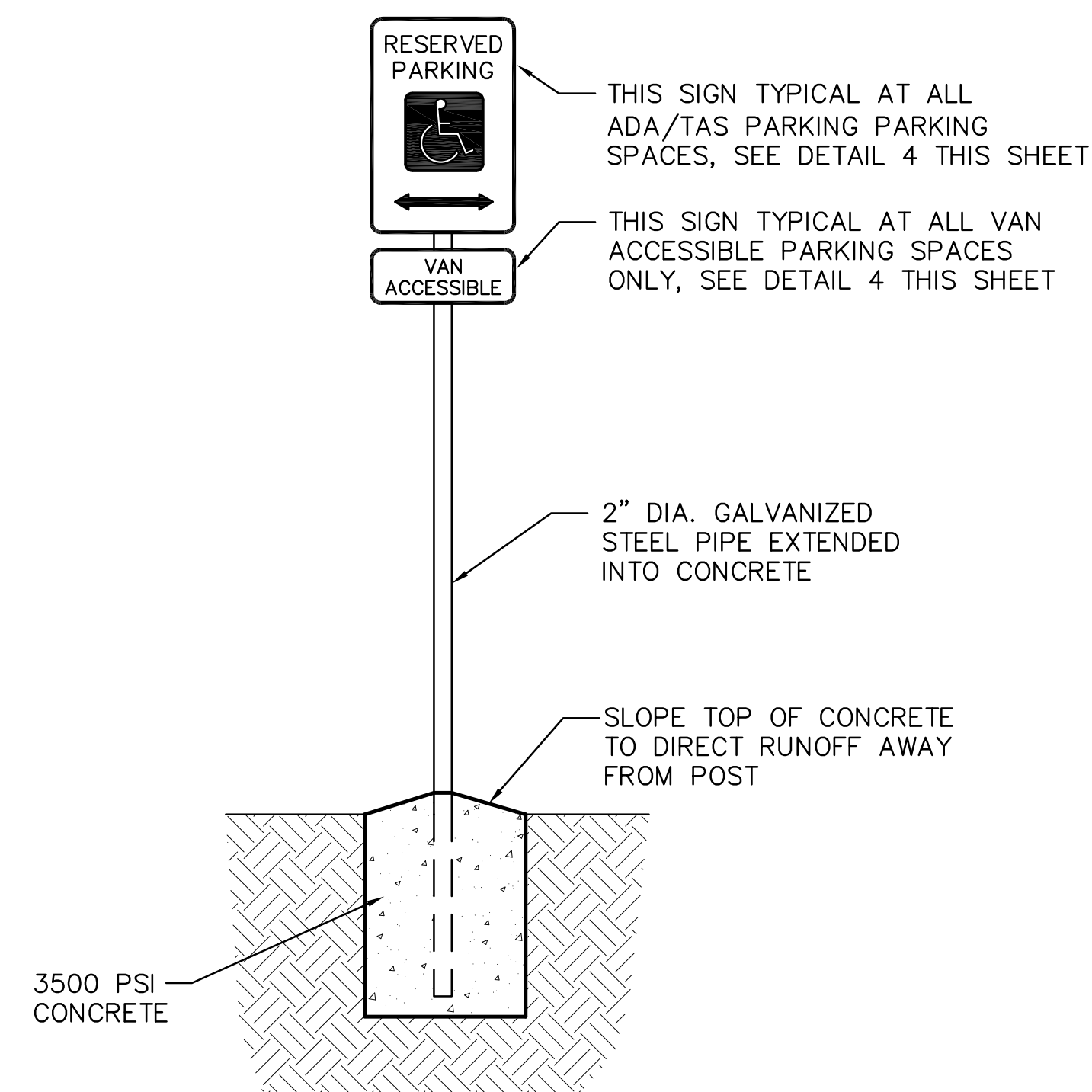
1. SIDEWALKS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 4' AND IF SEPARATED FROM THE CURB, THE SIDEWALK SHALL BE LOCATED A MINIMUM OF 2' FROM THE BACK OF CURB.
2. SIDEWALK RAMP LENGTHS SHALL BE OF SUFFICIENT LENGTH TO MAINTAIN 1:12 MAXIMUM SLOPE.
3. ALL RAMPS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
4. RAMP SURFACE SHALL BE BRUSH FINISHED AND GROOVED.
5. ADA/TAS RAMP CONSTRUCTION (CONCRETE STRENGTH AND THICKNESS, REINFORCEMENT AND SUBGRADE) SHALL MEET THE REQUIREMENTS FOR SIDEWALK, SEE DETAIL 1/C5.11.
6. WHEELCHAIR AND SIDEWALK RAMP GROOVES SHALL BE 1/4" DEEP, 3/4" WIDE AND 2" APART.
7. LANDINGS SHALL HAVE A MAXIMUM SLOPE OF 1:48 IN ANY DIRECTION.

SECTION A

NOTES:

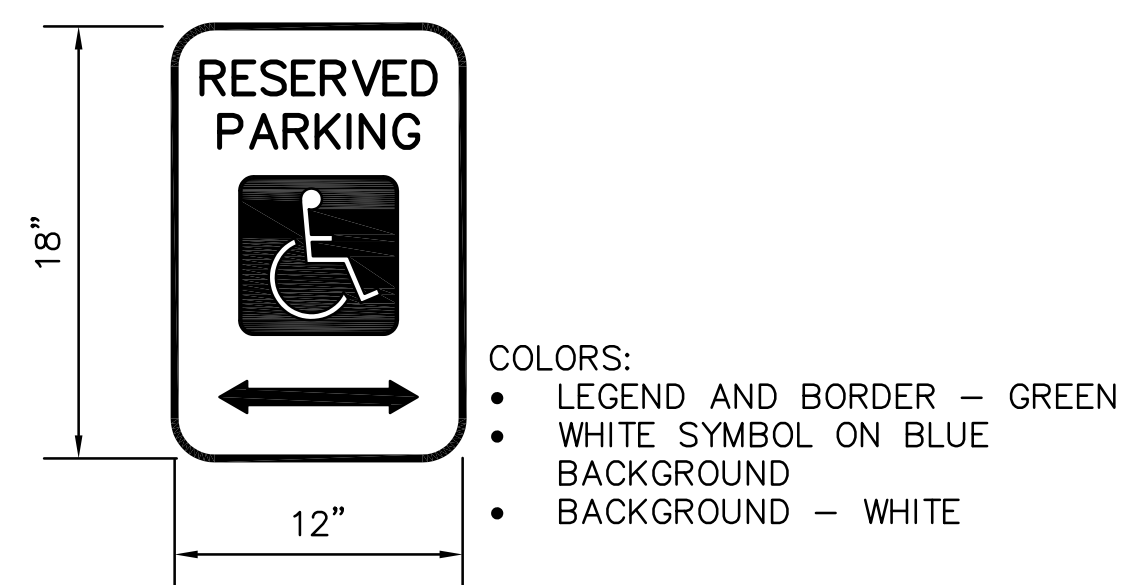
1. ALL WALKWAYS, RAMPS, HANDICAP PARKING SIGNAGE, ETC. SHALL MEET APPROVED ADA/TAS STANDARDS.
2. ALL STRIPING WITHIN ADA/TAS SPACES TO BE BLUE TRAFFIC PAINT.

1 PARALLEL CURB RAMP DETAIL
NOT TO SCALE

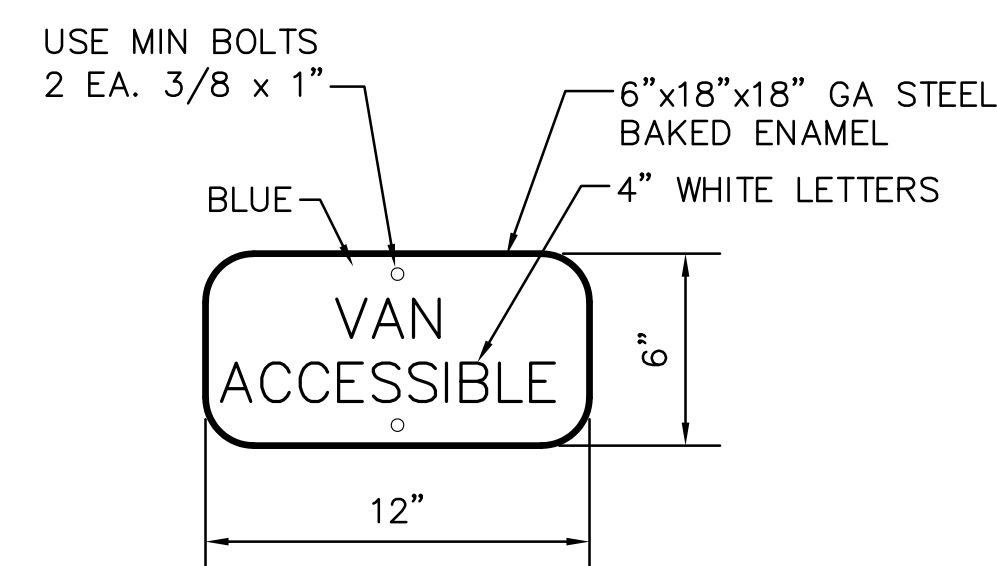


3 ACCESSIBLE SIGNAGE ASSEMBLY DETAIL

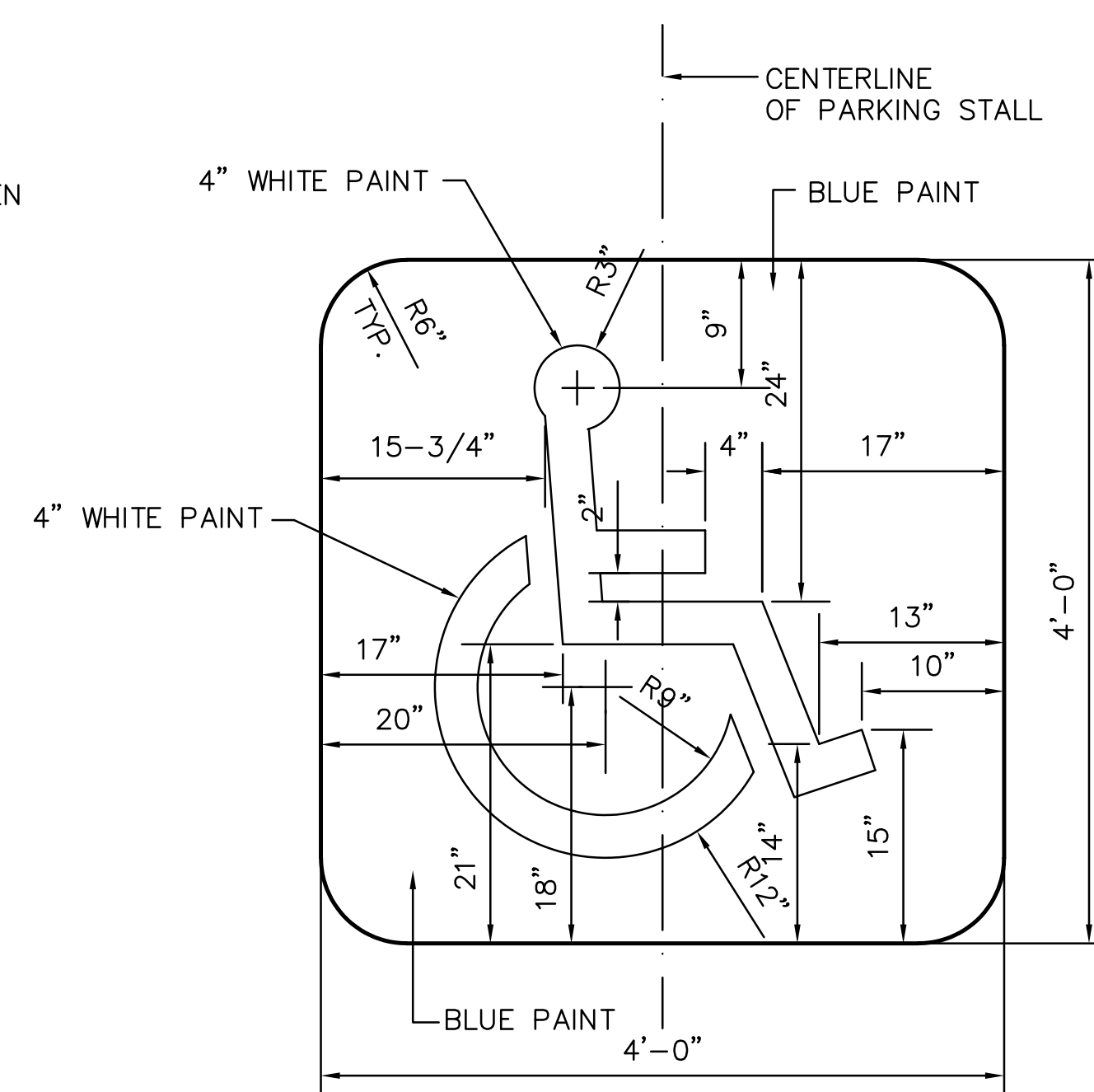
NOT TO SCALE



SIGN DETAIL



SIGN DETAIL



5 PARKING SPACE ACCESSIBLE SYMBOL DETAIL

NOT TO SCALE