

HISTORIC AND DESIGN REVIEW COMMISSION

February 06, 2019

HDRC CASE NO: 2019-048
ADDRESS: 1507 MISSION RD
LEGAL DESCRIPTION: NCB 20 LOT 61 EXCEPT E IRR 20 FT (MELA)
ZONING: IDZ, RIO-6, H
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Andres Pena/Kaufman & Killen, Inc.
OWNER: MELA PHASE 1, LTD
TYPE OF WORK: Amendment to previously approved window materials for new construction
APPLICATION RECEIVED: January 28, 2019
60-DAY REVIEW:
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to amend the previously approved windows for the new construction at 1507 Mission Road, previously reviewed under the address of 1515 Mission Road. Aluminum windows were included in the original approval by the Historic and Design Review Commission, on February 17, 2016. At this time, the applicant has proposed to install vinyl, single-hung windows.

APPLICABLE CITATIONS:

Unified Development Code – Section 35-674

(e) Facade Composition. Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: First, a "base" exists, which establishes a scale at the street level; second a "mid-section," or shaft is used, which may include several floors. Finally a "cap" finishes the composition. The cap may take the form of an ornamental roof form or decorative molding and may also include the top floors of the building. This organization helps to give a sense of scale to a building and its use should be encouraged. In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

In contrast, the traditional treatment of facades along the riverside has been more modest. This treatment is largely a result of the fact that the riverside was a utilitarian edge and was not oriented to the public. Today, even though orienting buildings to the river is a high priority objective, it is appropriate that these river-oriented facades be simpler in character than those facing the street.

(1) Street Facade. Buildings that are taller than the street-wall (sixty (60) feet) shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include a base, a middle and a cap.

A. High rise buildings, more than one hundred (100) feet tall, shall terminate with a distinctive top or cap. This can be accomplished by:

- i. Reducing the bulk of the top twenty (20) percent of the building by ten (10) percent.
- ii. By stepping back the top twenty (20) percent of the building.
- iii. Changing the material of the cap.

B. Roof forms shall be used to conceal all mechanical equipment and to add architectural interest to the structure.

C. Roof surfaces should include strategies to reduce heat island effects such as use of green roofs, photo voltaic panels, and/or the use of roof materials with high solar reflectivity.

(2) Fenestration. Windows help provide a human scale and so shall be proportioned accordingly.

D. Curtain wall systems shall be designed with modulating features such as projecting horizontal and/or vertical mullions.

(3) Entrances. Entrances shall be easy to find, be a special feature of the building, and be appropriately scaled.

A. Entrances shall be the most prominent on the street side and less prominent on the river side.

B. Entrances shall be placed so as to be highly visible.

C. The scale of the entrance is determined by the prominence of the function and or the amount of use.

D. Entrances shall have a change in material and/or wall plane.

E. Entrances should not use excessive storefront systems.

(4) Riverside facade. The riverside facade of a building shall have simpler detailing and composition than the street facade.

A. Architectural details such as cornices, sills, lintels, door surrounds, water tables and other similar details should use simple curves and handcrafted detailing.

B. Stone detailing shall be rough hewn, and chiseled faced. Smooth faced stone is not permitted as the primary building material, but can be used as accent pieces.

C. Facades on the riverside shall be asymmetrical, pedestrian scale, and give the appearance of the back of a building. That is, in traditional building along the river, the backs of building were designed with simpler details, and appear less formal than the street facades.

FINDINGS:

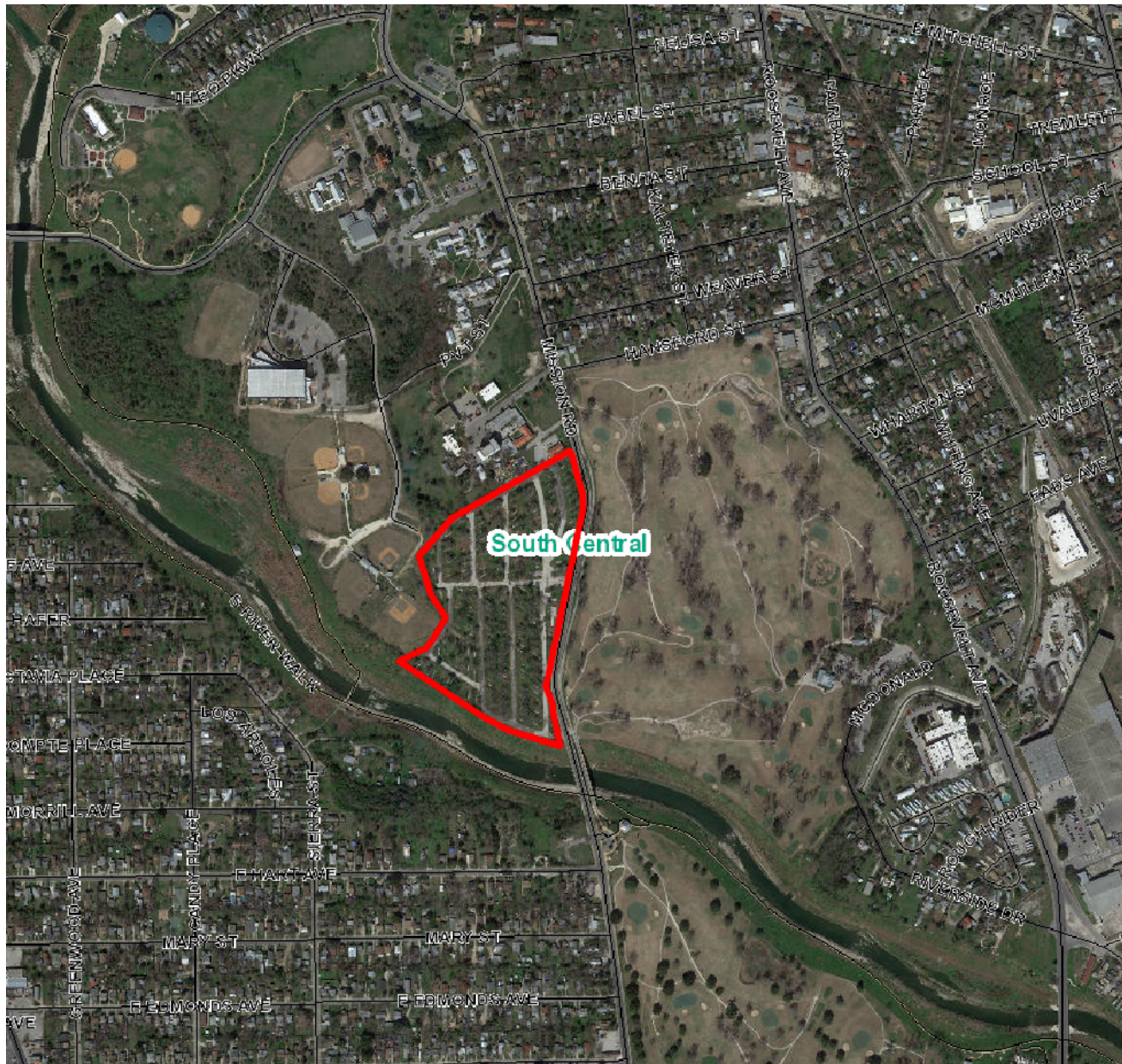
- a. The applicant is requesting a Certificate of Appropriateness for approval to amend the previously approved windows for the new construction at 1507 Mission Road, previously reviewed under the address of 1515 Mission Road. Aluminum windows were included in the original approval by the Historic and Design Review Commission, on February 17, 2016. At this time, the applicant has proposed to install vinyl, single-hung windows.
- b. The applicant has proposed to install vinyl, single-hung windows that will feature a clay color. The UDC Section 35-674 allows for the use of a variety of window materials, including vinyl. Staff finds the installation of the proposed vinyl windows to be appropriate given the proposed clay color.

RECOMMENDATION:

Staff recommends approval based on findings a and b with the stipulation that a window sill be incorporated into each window opening.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Jan 31, 2019

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HDRC Application Project Description
1507 Mission Road
MELA

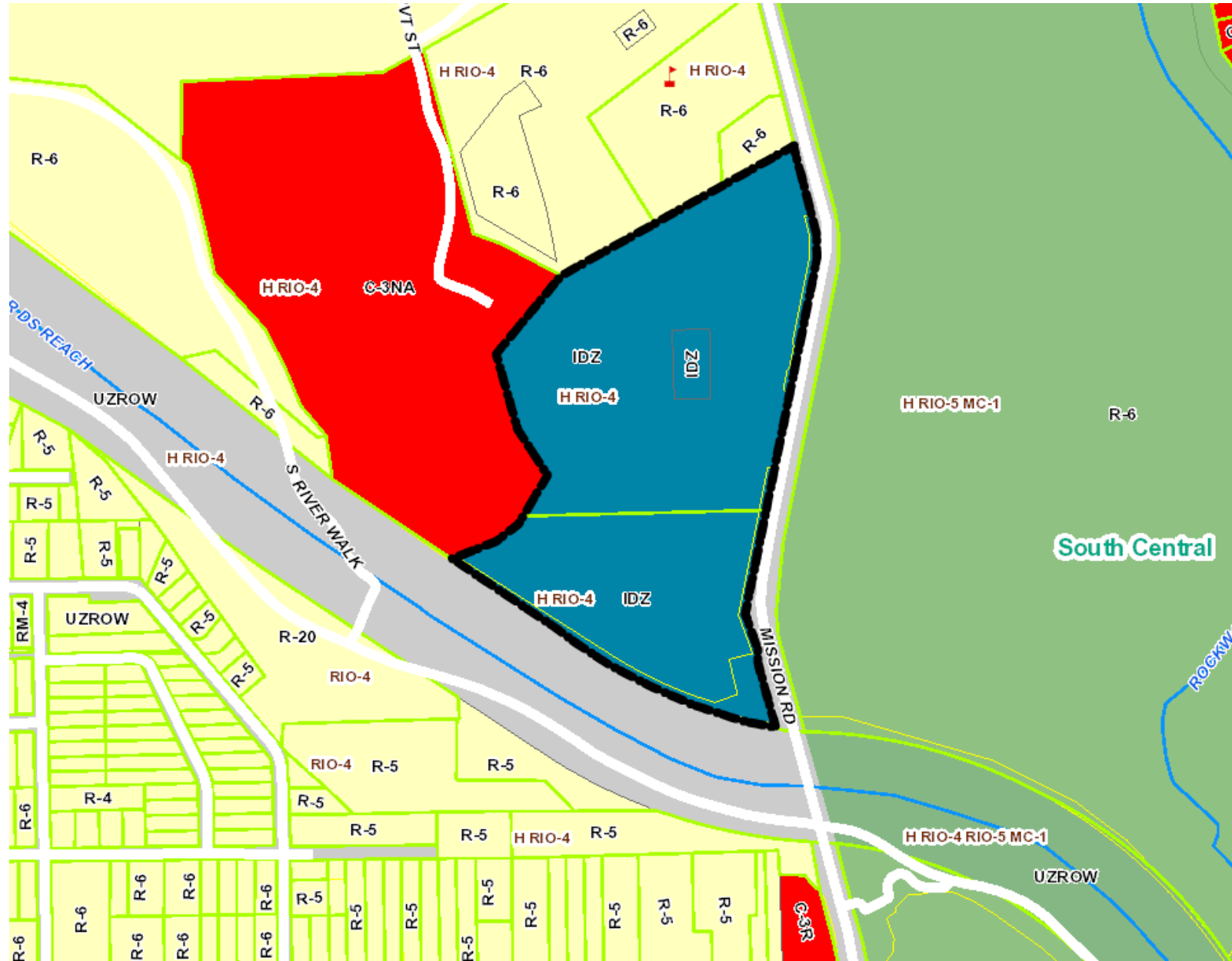
1507 Mission Road is the site of the Mission Escondida Luxury Apartments (“MELA”), which are currently under construction. White Conlee Builders, Ltd. (“Developer”) received final approval from the HDRC on February 17, 2016 for the construction of MELA. The following passage can be found in the staff report from the February 17, 2016 HDRC meeting:

Findings related to the proposed new construction:

- x. *The materials that have been proposed by the applicant include a natural stone veneer, stucco, aluminum windows, cement plaster, cedar, decorative iron work and barrel tile roofing. These materials are consistent with the UDC Section 35-674(d).*

The Developer is seeking approval for the use of vinyl windows rather than aluminum windows. The proposed windows are “3500 Vinyl Single-Hung” windows by Mi Windows & Doors in the color “Clay.” UDC Section 35-674(d) does not prohibit the use of vinyl windows. The proposed color and material of the alternative window type complements the approved stone and stucco of the building exteriors. The proposed window will help accomplish the Building Design Principles in RIOs 1 through 6 outlined in UDC Section 35-674.

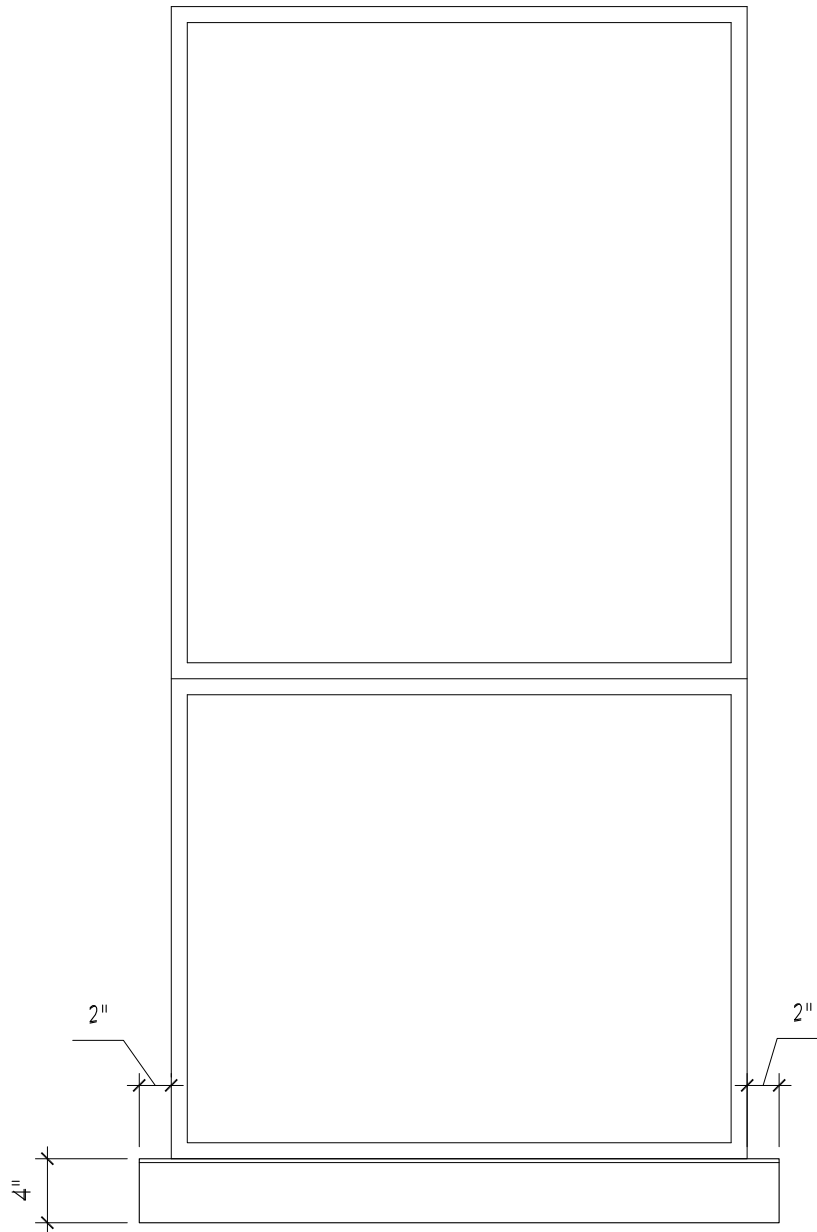
1507 Mission Rd – MELA
Zoning & Aerial Exhibits



1507 Mission Rd – MELA
Zoning & Aerial Exhibits







B EXTERIOR WINDOW ELEVATION

WINDOW SILL 2" OUTSIDE WINDOW JAMB

SC: 1" = 1'-0"



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01.18.2019

MELA
Apartments
1507 mission Road
San Antonio, Texas 78210

Ref Sheet #: A10.3

Date: 01.18.2019

B&A Job # 14010

Description: Window detail
at cement plaster.
SILL 2" PAST JAMB



3500
SINGLE-HUNG

3500 Vinyl Single-Hung Window

The 3500 vinyl single-hung window offers **handcrafted quality, exceptional durability, and optimal energy efficiency.** With standard features that include a pre-punched mounting fin and removable sash for easy drywall pass through, our 3500 window is ideal for any new home construction project. A full-length lift rail and metal reinforcements at the meeting rail provide aesthetic and performance benefits that complement the window's builder-friendly attributes.

PERFORMANCE FEATURES

- Warm-edge spacer system maximizes energy efficiency and improves seal performance of insulated glass units
- Welded, multi-chambered frame and sash for superior strength and energy-efficiency
- Integral J-Channel and mounting fin with pre-punched holes for easy and efficient installations
- Top glass is drop-in tape glazed for easy material pass through
- Heavy-duty weatherstripping for protection against wind, rain, dust, and noise

*Welded multi-chamber
mainframe design*

*2 7/8" frame
depth*



*Dual-pane
insulated glass*

**TOP
SELLER**



**WARM-EDGE
SPACER SYSTEM**



DUAL-PANE



**PAINTED
EXTERIOR**

Standard

Optional

Designed smarter, from the inside out

ENGINEERED TO PERFORM

- Multi-chamber mainframe design
- 2 7/8" frame depth
- 3/4" insulating glass
- Continuous head and sill mulling for twins and triples

CONVENIENCE & STYLE

The 3500 features the following design details on every window:

- Silicone-glazed sash
- Recessed tilt latch
- Full-length lift rail

SAFETY & SECURITY FEATURES

- Dual-opposing locks create a stronger, safer seal
- Optional tempered glass is four times stronger than non-tempered glass and safer if broken
- Optional obscure glass allows light in while protecting privacy
- Optional Window Operating Control Device (WOCD) restricts sash opening and reduces the risk of accidental falls

SIZING

MINIMUM & MAXIMUM (available in 1/8" increments)

- 13"-48" wide x 24"-96" high

CREATE A CUSTOMIZED LOOK

HARDWARE FINISH OPTIONS

- Color-matched

GRID TYPES & SIZES

- 3/4" flat grids-between-the-glass
- 5/8" flat grids-between-the-glass
- 1 1/8" sculptured grids-between-the-glass

GRID PATTERNS



Colonial



9-Lite
Perimeter



6-Lite
Perimeter



Diamond

VINYL/EXTRUDED COLORS



White



Almond



Clay

EXTERIOR LAMINATE*



Bronze



Black

EXTERIOR PAINT†



Cream



Almond



Clay



Silver



Cocoa



Forest
Green



Bronze



Black

ENERGY-EFFICIENT GLASS PACKAGES

Our **dual-pane** insulated glass package options help save on heating and cooling costs while enhancing home comfort

- In cool weather, insulated glass provides outstanding thermal performance to keep interior glass surfaces closer to room temperature, eliminating cold spots near windows
- In warm weather, it helps reduce solar heat gain and minimize glare to improve interior comfort
- Able to meet **ENERGY STAR®** requirements in all four climate zones

GLAZING TYPE	U-VALUE	SHGC	STC
Low-E glass	0.33	0.31	28
Low-E glass with grids	0.33	0.28	28
Argon and Low-E glass	0.30	0.31	28
Argon and Low-E glass with grids	0.30	0.28	28
HP Low-E glass	0.33	0.23	28
HP Low-E glass with grids	0.33	0.21	28
Argon and HP Low-E glass	0.30	0.22	28
Argon and HP Low-E glass with grids	0.30	0.20	28
Argon and Northern Energy Star Low-E glass	0.30	0.54	28
Argon and Northern Energy Star Low-E glass with grids	0.30	0.48	28

Note: all values based on standard 3/4" dual-pane IGU



* Exterior laminate available with white interior only; available with 3/4" flat or 1 1/8" sculptured grids only; not available with J-Channel

† Exterior paint available with 1 1/8" sculptured grids only



OUR MISSION

Getting It Right Every Time

We build each of our products the same way we built our company: with integrity and precision. Every MI window and door is handcrafted in the United States using state-of-the-art manufacturing techniques, and is backed by vigorous in-house testing procedures. We are 100% committed to offering the styles, value, and performance you're after.

Discover everything we have to offer at miwindows.com, or by calling 1-717-365-3300.



01 PARTIAL EXTERIOR ELEVATION
BUILDING TYPE III - PARTIAL RIGHT SIDE RIGHT END
SC. 1/8" = 1'-0"

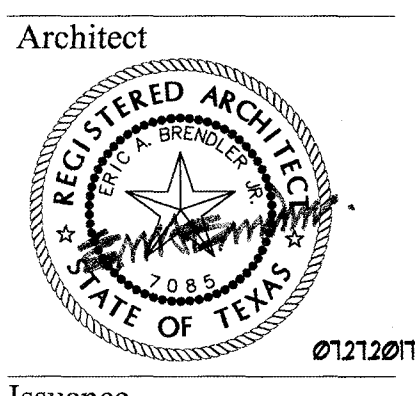


02 EXTERIOR ELEVATION
BUILDING TYPE III - LEFT SIDE
SC. 1/8" = 1'-0"

- KEYNOTES
1. STONE VENEER
 2. 2x8 FASCIA - PAINT
 3. BARREL TILE ROOF
 4. CEMENT PLASTER
 5. C.F.B. PANEL
 6. CONTROL JOINT TYP. REF. DETAIL 12/A103
 7. STONE WINDOW SILL
 8. STONE VENEER HEADER
 9. CONTROL JOINT 1/4" REVEAL DETAIL 12/A103
 10. METAL RAIL - PAINT
 11. WINDOW UNIT AS SCHEDULED
 12. PATIO DOOR UNIT AS SCHEDULED
 13. FIRE-CAST CONCRETE STAIR TREADS
 14. FIRE RISER CLOSET DOOR AS SCHEDULED
 15. WOOD BRACKET-REF. DETAIL 10/A103
 16. QUATREFOIL - REF. DETAIL 8/9/A103
 17. PLASTER BAND
 18. STONE CAP
 19. LIGHT FIXTURE
 20. RIDGE TILE VENT - REF. M.E.P.
 21. METAL CAP AT PARAPET
 22. OVERFLOW NOZZLE - REF. DETAIL 6/A101
 23. F.D.C. - FIRE DEPT. CONNECTION



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Issuance
Construction Set : June 23, 2016

Revisions:
6 ASI 1 - 07/21/2017

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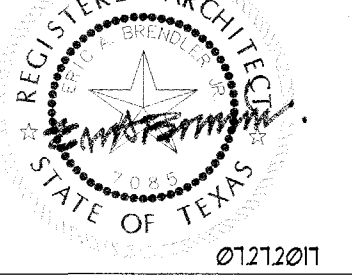
Page Description
BUILDING TYPE III
EXTERIOR
ELEVATIONS

These drawings and accompanying specifications are to be an instrument of service and shall remain the property of the Architect. They are not to be used on other projects or extensions of this project except by agreement in writing and with appropriate compensation to the Architect.

Drawn By: JR
Checked By: AH
Project No. 14010
Date: 06.23.2016
Page

A5.7

Architect



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Instruction Set : June 23 , 2016

Revisions:

ADDENDUM 5 - 01272017

6 ASI 91 - 07272017

MELA
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Page Description

WHITE PLAN & ADDRESS PLAN

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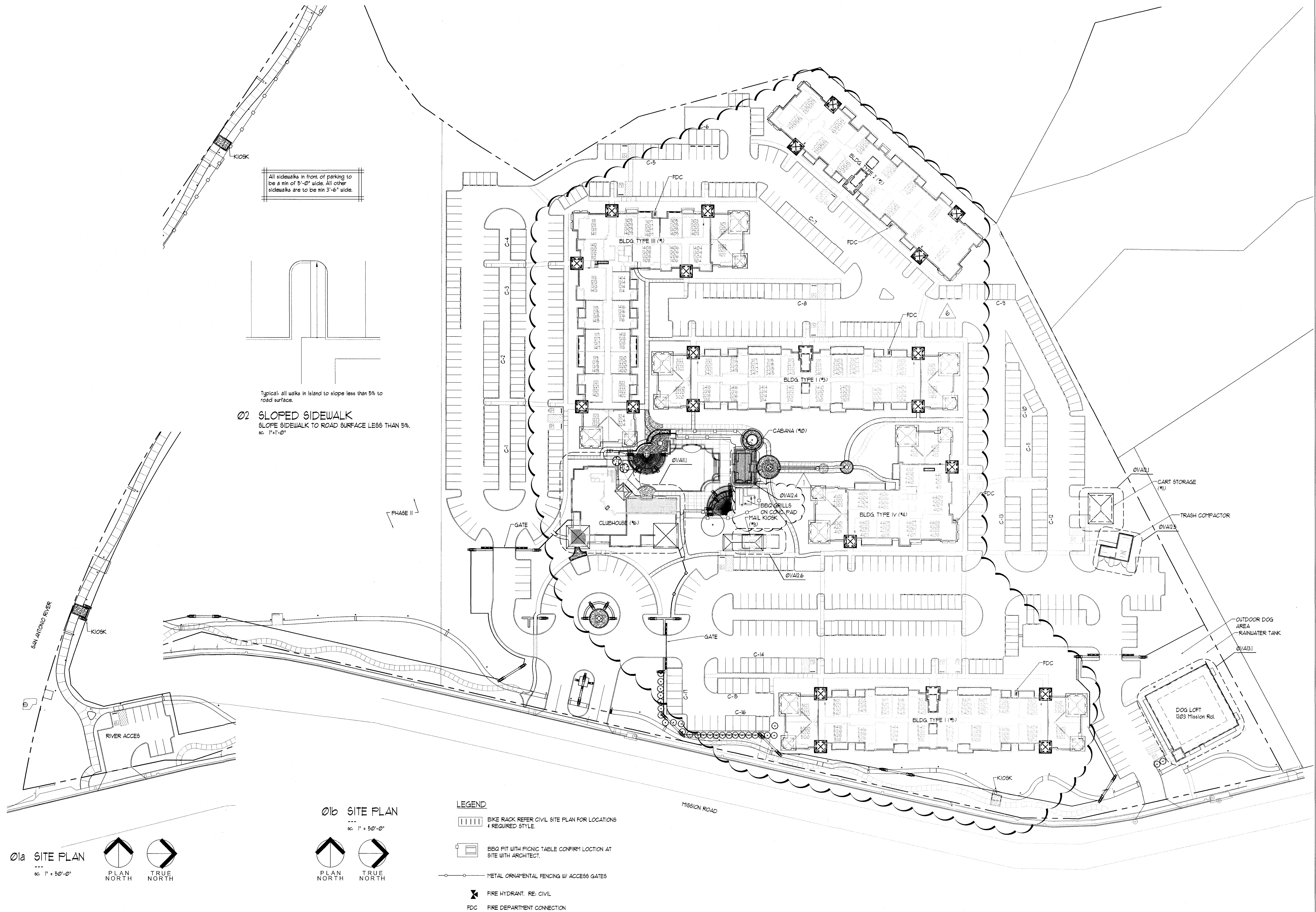
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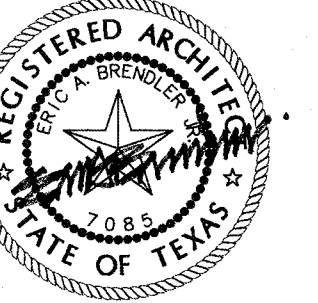
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Construction Set: June 23, 2016

Revisions:

9 A31 44 - 12.04.2011

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1507 Mission Road
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Page Description

BUILDING TYPE I
EXTERIOR
ELEVATIONS

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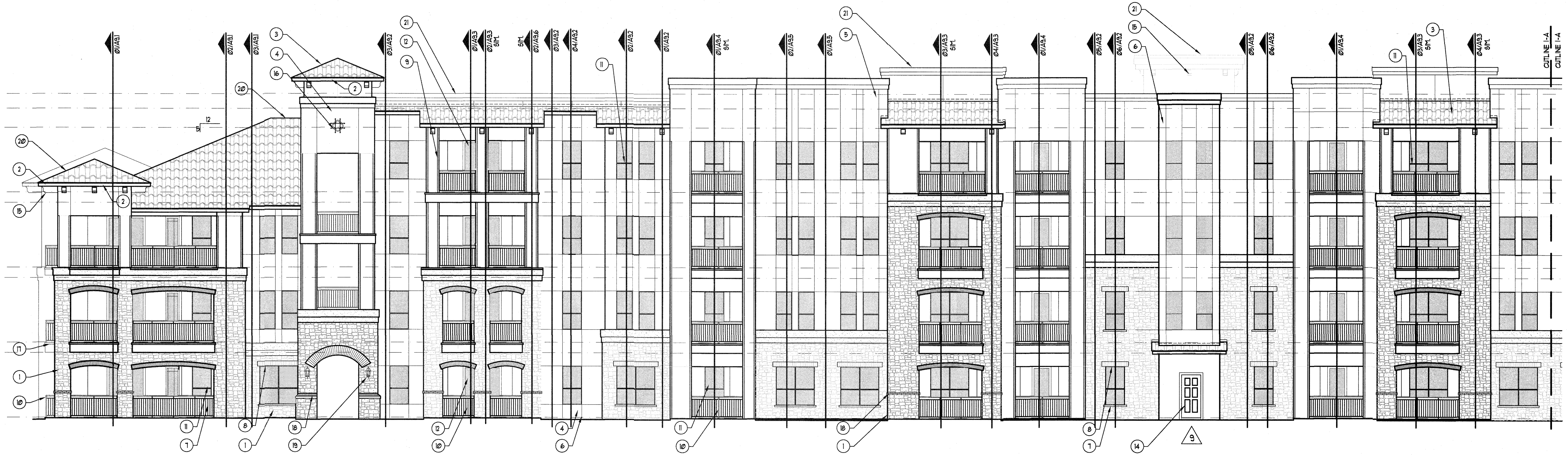
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Project No. 14010

Date: 06.23.2016

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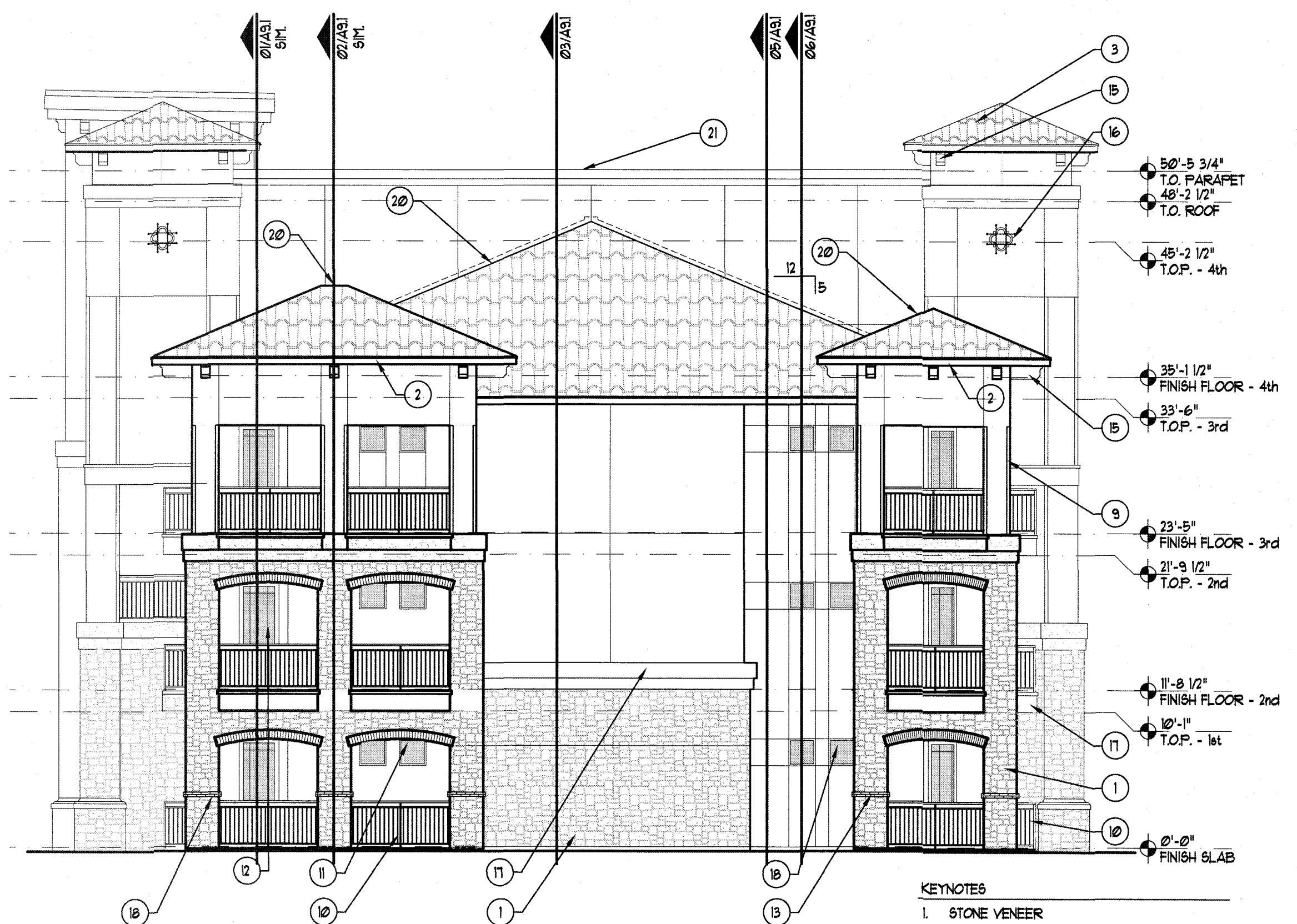
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01 PARTIAL EXTERIOR ELEVATION
BUILDING TYPE I - REAR PARTIAL LEFT SIDE
sc. 1/8\"/>

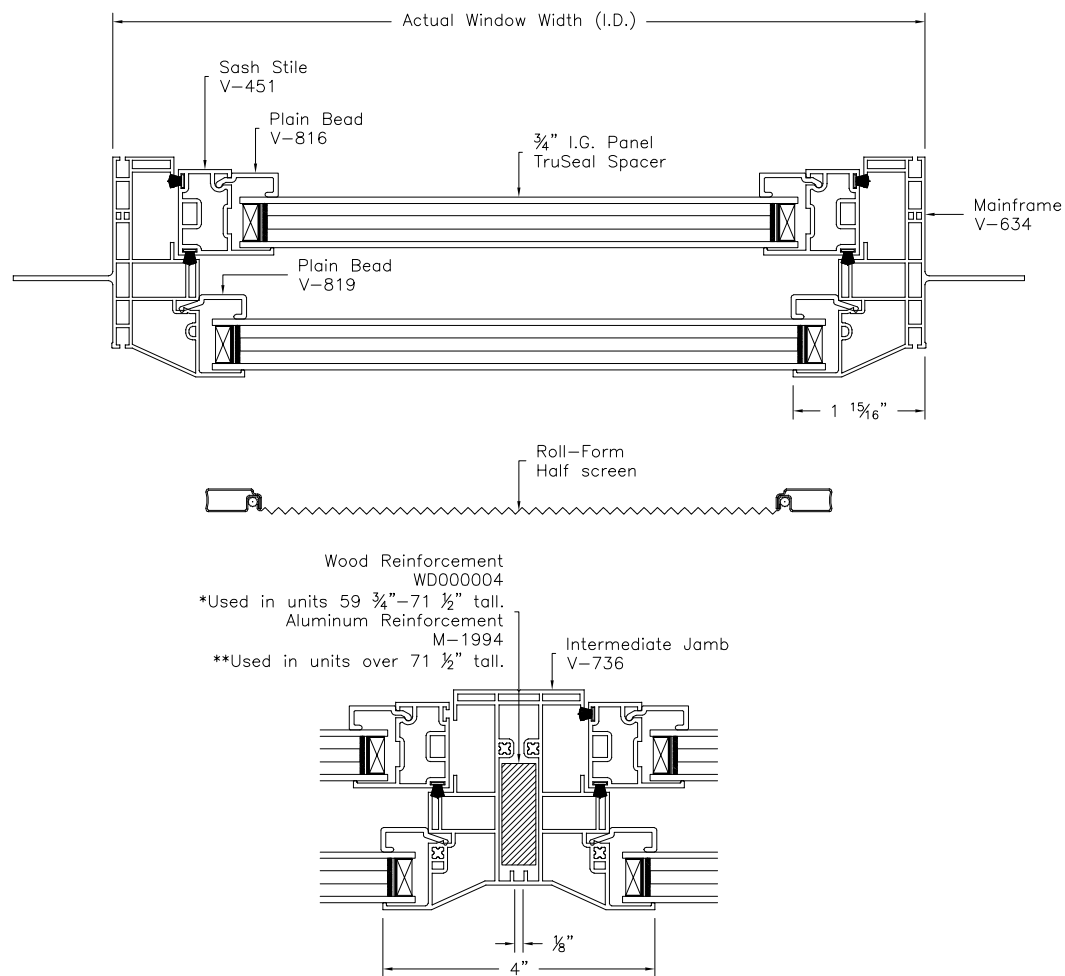


02 PARTIAL EXTERIOR ELEVATION
BUILDING TYPE I - REAR PARTIAL RIGHT SIDE
sc. 1/8\"/>

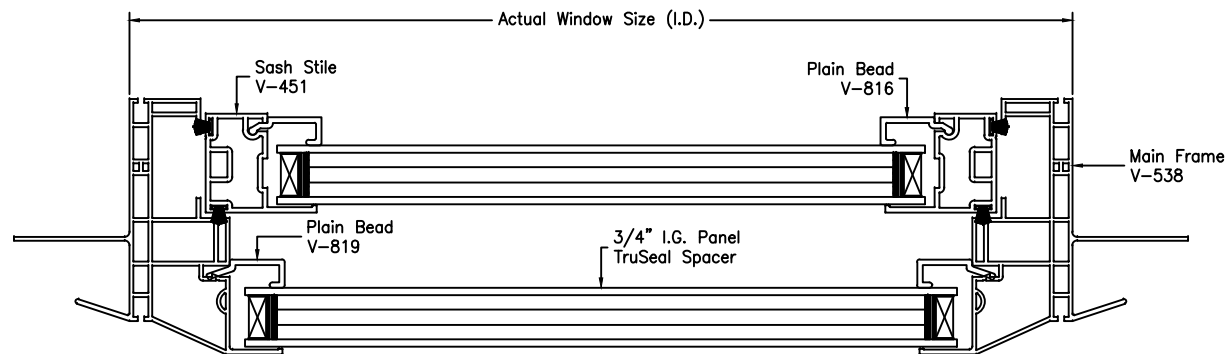
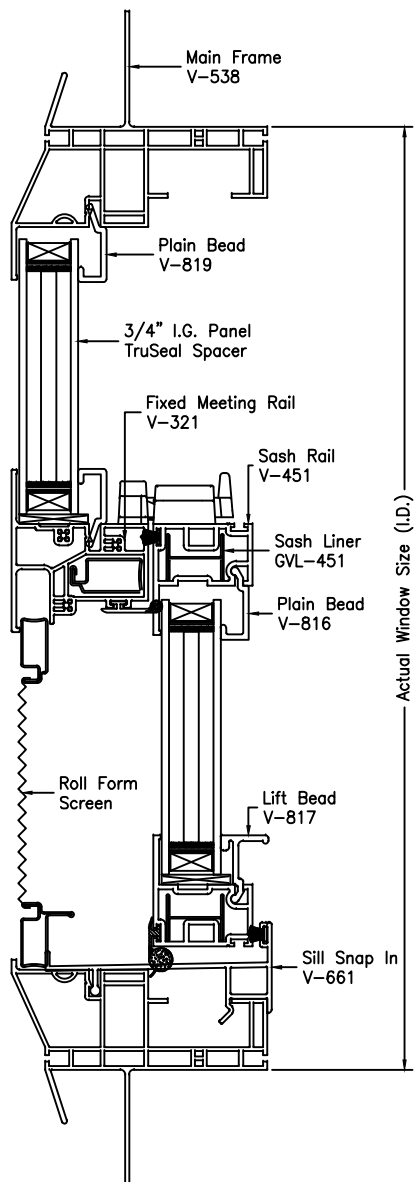


03 EXTERIOR ELEVATION
BUILDING TYPE I - RIGHT SIDE / LEFT SIDE SIMILAR
sc. 1/8\"/>

- KEYNOTES
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 5. C.F.B. PANEL
 6. CONTROL JOINT TYP. REF DETAIL 12/A103
 7. STONE WINDOW SILL
 8. STONE VENEER HEADER
 9. CONTROL JOINT 1/4\"/>



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LTR	ECN #		REVISIONS	DATE	BY	PERIMETER:		PRODUCT: 3500SH	DATE: 12/28/15	
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								DFTM: BRS	DRAWING NUMBER: CS-000259	



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LTR.	DESCRIPTION	BY	DATE
	REVISIONS		



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TITLE
3500 Series Product Drawing
Single Hung w/J-Channel Frame

DFTM. BRS	DATE 8/6/2010	SCALE ~~~~	DWG/PART NO. 3500SH-AS1	REV. --
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