

# HISTORIC AND DESIGN REVIEW COMMISSION

March 06, 2019

**HDRC CASE NO:** 2019-029  
**ADDRESS:** 3903 N ST MARYS  
**LEGAL DESCRIPTION:**  
**ZONING:** R-6, HS  
**CITY COUNCIL DIST.:** 2  
**LANDMARK:** Brackenridge Park  
**APPLICANT:** Nick Mills/San Antonio Zoo  
**OWNER:** San Antonio Zoo/ COSA  
**TYPE OF WORK:** Exterior modifications within the existing Parma Wallaby habitat  
**APPLICATION RECEIVED:** January 11, 2019  
**60-DAY REVIEW:** March 12, 2019  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to perform modifications to two WPA era stone walls and construct an animal exhibit structure.

## APPLICABLE CITATIONS:

UDC Section. 35-642. New Construction of Buildings and Facilities.

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

### (a)Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, beams, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

### (b)Building Design.

(1)Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2)Buildings shall be in scale with their adjoining surroundings and shall conform to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3)Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4)Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall

be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

#### *Sec. 35-643. - Alteration, Restoration and Rehabilitation.*

In considering an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure the historic and design review commission shall be guided by the following general standards of the Secretary of the Interior's Standards for Rehabilitation in addition to any specific design guidelines included in this article:

(a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.

(b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

(c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

(d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

(e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.

(f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

(g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting, high pressure washes and other cleaning methods that will damage the historic building's materials shall not be undertaken.

(h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

(i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

(j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

#### **FINDINGS:**

- a. The applicant is requesting a Certificate of Appropriateness for approval to perform modifications to two WPA era stone walls and construct an animal exhibit structure. The proposed scope of work would require the removal of a large portion of one existing, WPA era wall and the installation of a door opening within another, as well as the construction of an exhibit structure to feature a footprint of 520 square feet. Staff performed a site visit with zoo staff on January 29, 2019.
- b. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on February 12, 2019. At that meeting, Committee members provided feedback on additional design documents that should be provided

as well as recommended that the proposed new structure avoid interaction with the existing wall.

- c. EXISTING WALLS – The applicant has noted that twenty-two (22) feet of the existing, WPA era wall on the east side of the site will be removed to allow for the construction of the proposed exhibit structure. The applicant has noted that the removed stone will be used in cladding the proposed structure. A doorway of approximately four (4) feet in width will be removed on the western wall to facilitate visitor traffic into the exhibit area.
- d. NEW STRUCTURE – The applicant has proposed to construct an exhibit structure to feature approximately 520 square feet in size. The applicant has proposed materials that include stone from the existing, WPA walls as well as wood siding and a corrugated win roof.
- e. SITE MODIFICATIONS – The applicant has proposed to modify the existing pedestrian path to include more interaction within the exhibit. The proposed new path will include a four (4) foot wide boardwalk feature composite decking. The proposed pathway will be within the existing pedestrian wall.

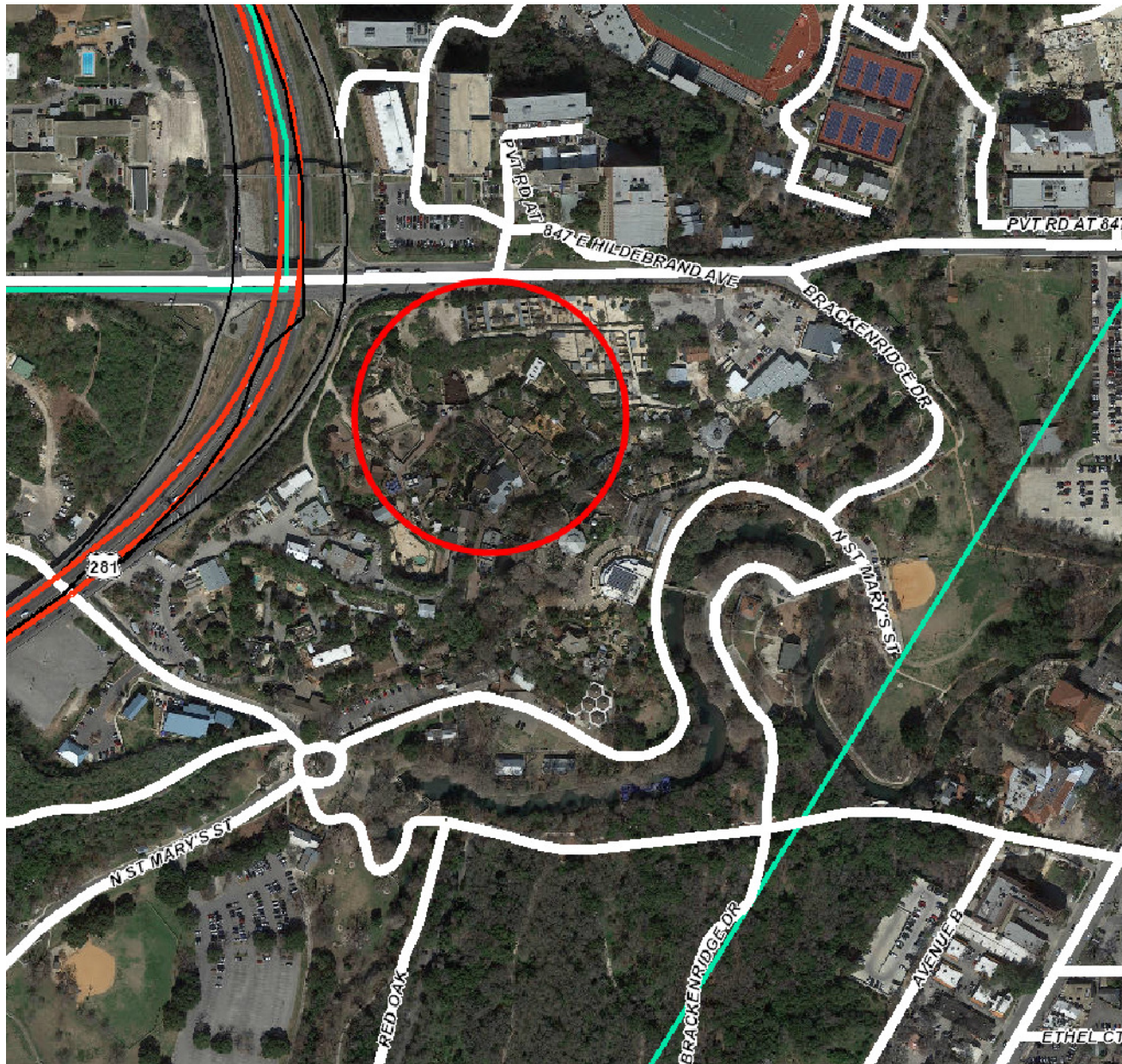
## **RECOMMENDATION:**

Staff recommends approval based on findings a through d with the following stipulations:

- i. That all stone removed from the WPA era walls be reused within the exhibit space.
- ii. That the applicant submit all materials specifications to staff for review and approval. This is to include site elements, wood siding, composite decking, windows, doors, corrugated metal roofing and fencing.
- iii. That the applicant provide additional information and details regarding the capping of the WPA era walls that are to be modified.

## **CASE MANAGER:**

Edward Hall



## Flex Viewer

Powered by ArcGIS Server

Printed: Feb 27, 2019

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CITY OF SAN ANTONIO  
**OFFICE OF HISTORIC  
PRESERVATION**

**Historic and Design Review Commission  
Design Review Committee  
Report & Recommendation**

DATE: FEBRUARY 12, 2019 HDRC Case# 2019-029

ADDRESS: 3903 N ST MARYS Meeting Location: 1901 S ALAMO

APPLICANT: NICK MILL / SAN ANTONIO ZOO

DRC Members present: SCOTT CARPENTER, CURTIS FISH, MICHAEL GUARINO

Staff present: EDWARD HALL

Others present: BEN BARTON

REQUEST: CONSTRUCTION OF ~~AN EXHIBIT~~ EXHIBIT WITHIN THE EXISTING  
WALLABY EXHIBIT.

COMMENTS/CONCERNS: NM: OVERVIEW OF PROPOSED MODIFICATIONS -  
CONSTRUCTION OF ~~AN~~ EXHIBIT FACILITY, REMOVAL OF ROCK WALL, CLAD  
NEW CONSTRUCTION WITH HISTORIC STONE. CF: QUESTIONS REGARDING  
MASSING OF PROPOSED NEW CONSTRUCTION. SC: DOCUMENTS (ELEVATION  
OR SECTION) SHOULD BE PROVIDED TO UNDERSTAND THE RELATIONSHIP  
BETWEEN PROPOSED STRUCTURE AND EXISTING ROCK WALLS, CF: QUESTIONS  
REGARDING OVERALL SITE DESIGN, SC: CONCERNS REGARDING DETAILING  
OF MODIFIED WALL.

COMMITTEE RECOMMENDATION: APPROVE [ ] DISAPPROVE [ ]  
APPROVE WITH COMMENTS/STIPULATIONS:

[Signature]  
Committee Chair Signature (or representative)

2-12-19  
Date

MO: PROVIDE MORE DETAILS IN SITE DOCUMENTS AS WELL AS INFORMATION OF EACH WALL.

LP: SHIFT STRUCTURE AWAY FROM WALL TO ONLY NEED TO MODIFY WALL AT EXACT LOCATIONS. PROVIDE DRAWING OF WALL AS IT WILL BE PROPOSED.

SL: STRUCTURE SHOULD BE FREE OF HISTORIC DIVIDING WALL.

LP: PROVIDE ROOF PLAN NOTING MATERIALS.

LE: CONCERNED ABOUT RELATIONSHIP OF BUILDING TO WALL.

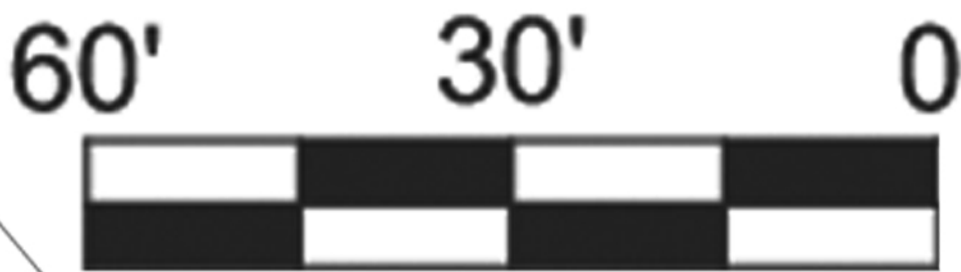












**LARGE TREE**



**WALL**

**KOALA BUILDING**

**REMOVE**





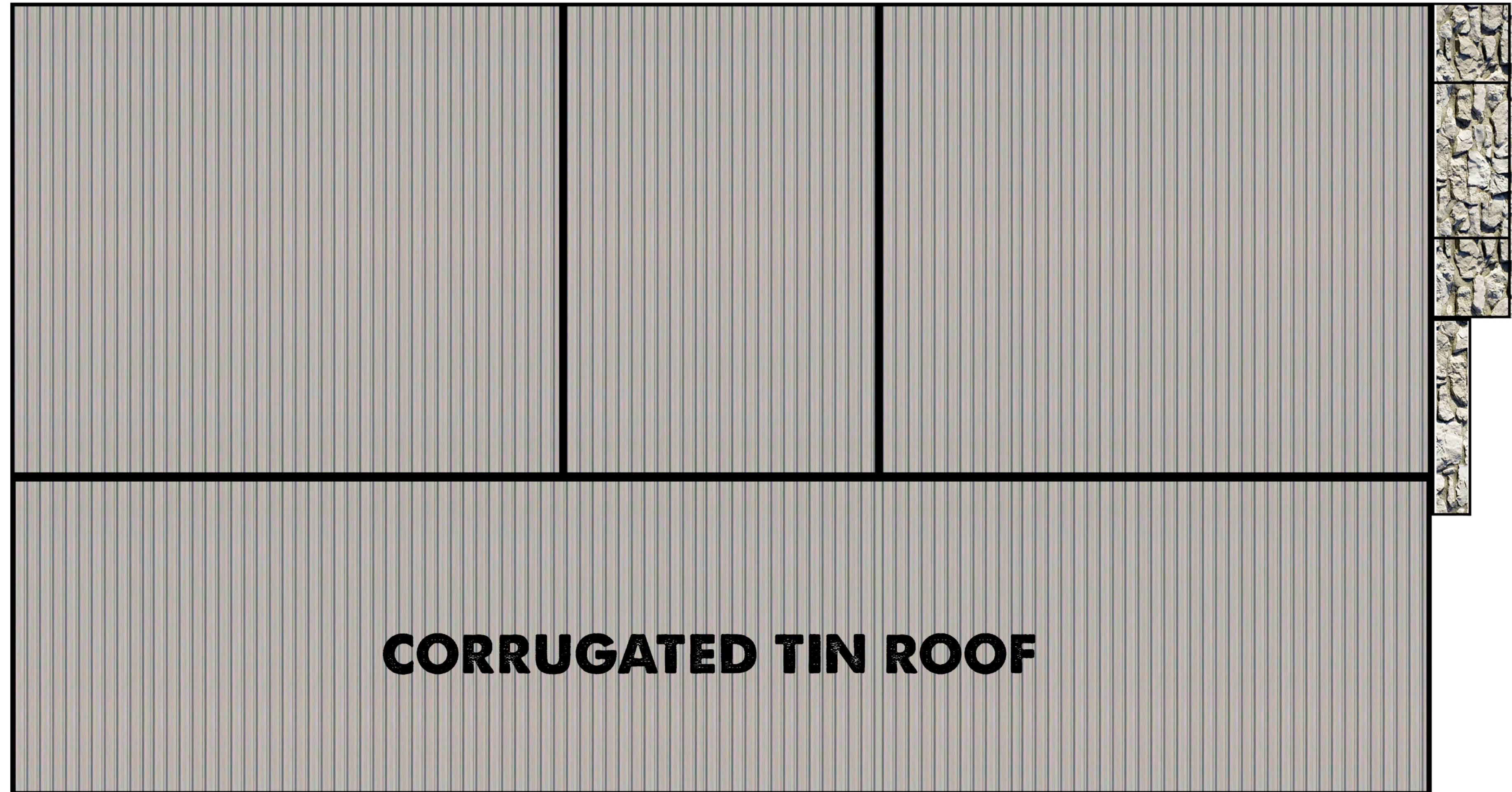




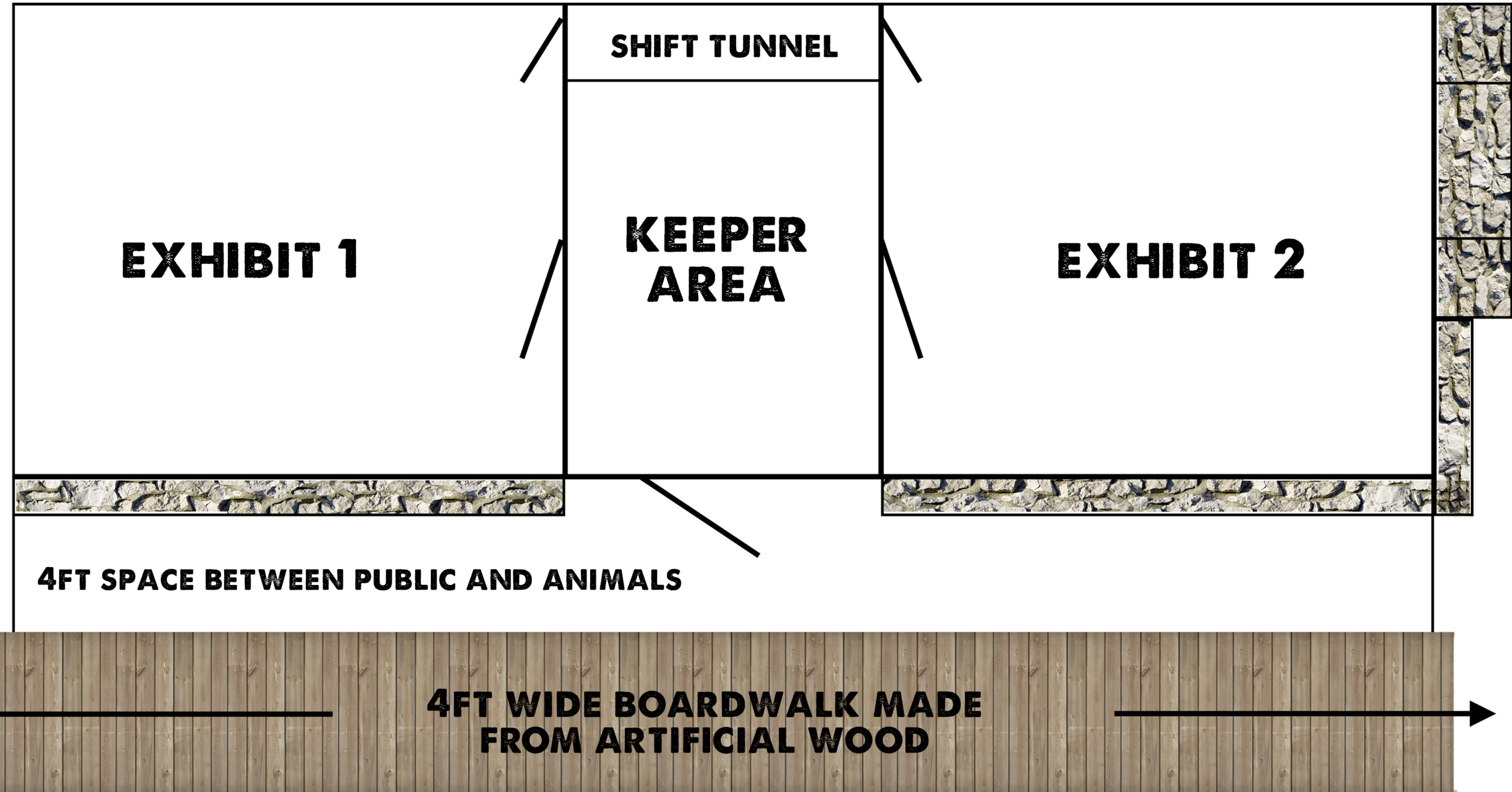
15FT



20FT



CORRUGATED TIN ROOF



SHIFT TUNNEL

EXHIBIT 1

KEEPER AREA

EXHIBIT 2

4FT SPACE BETWEEN PUBLIC AND ANIMALS

4FT WIDE BOARDWALK MADE FROM ARTIFICIAL WOOD





**USE EXISTING 20FT WALL AS SUPPORT  
TO BUILD "CHIMNEY" SECTION OF  
ANIMAL HOLDING AREA.**