



CITY OF SAN ANTONIO
DEVELOPMENT SERVICES DEPARTMENT

CITY OF SAN ANTONIO

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§

COUNTY OF BEXAR

STATE OF TEXAS

TO THE HONORABLE BOARD OF ADJUSTMENT:

Property description (Attach field notes if necessary):

Lot no. 1&2

Block No. _____

NCB 6938 Property Address: 205 Ostrom Drive

Per Section 35-481 of the Unified Development Code (UDC), the Zoning Board of Adjustment is empowered to consider appeals of a decision made by an administration official.

The Applicant, Toby Stapleton of Bexar County, alleges that

the following administrative official HDRC in his/her capacity as

(Name of Official)

_____, made an incorrect decision, or interpretation regarding Section 35-____

(Title of Official)

of the UDC. This incorrect decision or interpretation was (List the section(s) of the UDC that was applied incorrectly. Provide details why the decision was incorrect or misinterpreted.): The HDRC Board upon their own request to prove that demolition did not utilize

the facts of three structural engineers, The HDRC committee did not consider upon request by the applicant as there is no structural engineer on the committee sec. 35-803.C13

to utilize Sec. 35-805 of the UDC to utilize the planning and community development director who shall serve as technical advisor to the planning commission

per section 35-803.d the HDRC commission serve to assist the planning dept. Therefore their ruling was not informed factual decision

The HDRC in their own words have documented the following "If the HDRC finds that a loss of significance has occurred" it will be grounds for demolition

The HDRC has documented Nov1st 2017 "Committee members noted at that time that there was a loss of architectural and structural significance"

The correct decision or interpretation should be as follows (List the section(s) of the UDC that should be applied in this decision. Provide details how the decision should be made.): Approval for Demolition of 205 Ostrom Drive

Based on 3 state registered structural engineers recommendation of demolition, one of whom was selected by the HDRC and Volunteered his professional

Based on committee members site walks and comments based on findings of Fact that the building is not a candidate for renovation

The applicant may provide to the historic and design review commission additional information which

may show a loss of significance in regards to the subject of the application in order to receive historic and design review commission recommendation of approval of the demolition.

*Note: Local Government Code § 211.010 (b) and San Antonio City Code § 35-481 (b)(1) require that the applicant give notice of the specific grounds for the appeal. Failure to state the reasons for the alleged error and applicable code sections will result in the return of your application. Please attach additional pages if necessary.

Respectfully submitted:

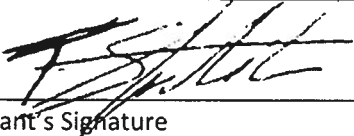
Applicant's name: Tobias Stapleton

Status: Owner () Agent ()

Mailing address: 810 East Guenther Street

Telephone: 425-305-8044 Alternate: _____

Email: tobynyc@gmail.com

 2/18/19
Applicant's Signature Date

Property Owner: SEADC LLC

Mailing address: 205 Ostrom Drive

Telephone: 202-792-8733 Alternate: _____

Email: tobynyc@gmail.com

I, Tobias Stapleton the owner of the subject property, authorize

_____ to submit this application and represent me in this appeal before the Board of Adjustment.

Please include the following items with this appeal

- ☐ Documentation from City of San Antonio representing the decision you are appealing and proof that you are within the mandatory 30 day time limit to file the appeal.
- ☐ Sections of the UDC from which the decision was based, including all support sections which potentially reinforce your assertion that an error was made.
- ☐ Property Ownership documentation, including a copy of the warranty deed and Bexar County Appraisal District.
- ☐ Filing Fee of \$600.



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION COMMISSION ACTION

This is not a Certificate of Appropriateness and cannot be used to acquire permits

February 6, 2019

HDRC CASE NO: 2018-569
ADDRESS: 205 OSTROM
LEGAL DESCRIPTION: NCB 6938 BLK LOT 1&2
HISTORIC DISTRICT: River Road
APPLICANT: Aidan Mulhern Tobias Stapleton - 1915 Broadway
OWNER: SEADC LLC - 205 Ostrom
TYPE OF WORK: New construction, New Construction of Accessory Building

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to: 1. Demolish the historic structure located at 205 Ostrom. 2. Construct a two story, primary residential structure on the east end of the lot (lot 1). 3. Construct a two story, primary residential structure on the west end of the lot (lot 2). 4. Construct two, two story, rear accessory structures at the rear of each two story structure. 5. Install one new curb cut and driveway on Ostrom Drive in addition to the existing curb cut and driveway.

FINDINGS:

General findings: a. The applicant is requesting a Certificate of Appropriateness for approval to demolish the historic structure located at 205 Ostrom and to construct two, two story, single family residential structures; two, rear accessory structures and to create a new curb cut and driveway on the site. b. CASE HISTORY – A request to demolish the historic structure and construct two, two story single-family residential structures and two rear accessory structures was heard and denied by the Historic and Design Review Commission on November 1, 2017. A subsequent appeal of the Historic and Design Review Commission's decision was denied by the Board of Adjustment. c. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on January 9, 2019. At that meeting, committee members noted that the structure had lost structural integrity and commented on the proposed new construction. d. The River Road Historic District has been intensely opposed to the demolition of structures located within the district. The criteria outlined for the demolition of a contributing structure noted in UDC Section 35-618 is important to the public process. e. ARCHAEOLOGY- The project area is within the River Improvement Overlay District and the River Road Local Historic District. A review of historic archival maps shows the Upper Labor Acequia crossing the property. Therefore, Archaeological investigations may be required. Findings related to request item #1: 1a. The structure located at 205 Ostrom was constructed circa 1935 and is located within the River Road Historic District. The structure features architectural elements that are indicative of the Minimal Traditional Style that can be found in the district. The house features many of its original materials including wood siding and wood windows. However, modifications to the form of the historic structure have resulted in the removal and enclosing of the front porch, which now presents itself as a screened porch. Despite these modifications, staff finds the house to be a contributing resource within the River Road Historic District due to its construction date and architectural style. 1b. The loss of a contributing structure is an irreplaceable loss to the quality and character of San Antonio. Demolition of any contributing buildings should only occur after every attempt has been made, within reason, to successfully reuse the structure. Clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved must be presented by the applicant in order for demolition to be considered. The criteria for establishing unreasonable economic hardship are listed in UDC Section 35-614 (b)(3). The applicant must prove by a preponderance of the evidence that: A. The owner cannot make reasonable beneficial use of or realize a

reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed; [The applicant has not provided updated financial information regarding this request. At the time of HDRC denial of the previous request, the applicant provided a detailed cost estimate for rehabilitation of the structure which was approximately \$589,242. This bid was provided by a contractor who was approved by the applicant's financing provider. The applicant has noted that the rehabilitation or new construction at this site is limited to a contractor that is recommended and approved by their financial provider. The applicant has noted that financing for the proposed rehabilitation and new construction has been limited due to the current condition of the structure. Staff finds that an alternative opinion by a third-party contractor may result in a lower estimate for repairs. The applicant has not submitted additional bids at this time.] B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return; [The applicant has provided structural reports and analyses from three licensed engineers. These reports note that numerous damage has occurred due to dry rot, wet rot, termites and other elements have significantly reduced the structural integrity of the structure's wood members. Structural elements that have been noted by the licensed engineers to be deteriorated to an extent that cannot be repaired include roof trusses, floor joists, ridge beams, the roof structure and other structural wood elements. The engineer reports also note the collapse of the floor structure, loss of wood framing elements, severe water damage, a damaged concrete foundation, displaced floor beams and other deteriorated elements.] C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property. [Per Bexar County Appraisal District records, the last deed transaction for this property occurred on May 25, 2018, when the property was sold to a new owner, separate from the owner whose request for demolition with new construction was denied as described in finding b.] 1c. Staff finds that the applicant has not demonstrated an unreasonable economic hardship in accordance with the UDC due to the lack of updated financial hardship documents as well as the sale of the property within the last calendar year with no active marketing of the property. When an applicant fails to prove unreasonable economic hardship, the applicant may provide to the Historic and Design Review Commission additional information which may show a loss of significance in regards to the subject of the application in order to receive Historic and Design Review Commission recommendation of approval of the demolition. If, based on the evidence presented, the Historic and Design Review Commission finds that the structure or property is no longer historically, culturally, architecturally or archeologically significant, it may make a recommendation for approval of the demolition. In making this determination, the historic and design review commission must find that the owner has provided sufficient evidence to support a finding by the commission that the structure or property has undergone significant and irreversible changes which have caused it to lose the historic, cultural, architectural or archeological significance, qualities or features which qualified the structure or property for such designation. Additionally, the Historic and Design Review Commission must find that such changes were not caused either directly or indirectly by the owner, and were not due to intentional or negligent destruction or a lack of maintenance rising to the level of a demolition by neglect. 1d. In general, staff encourages the rehabilitation, and when necessary, reconstruction of historic structures. Such work is eligible for local tax incentives. The financial benefit of the incentives should be taken into account when weighing the costs of rehabilitation against the costs of demolition with new construction. Findings related to request item #2: 2a. SETBACKS & ORIENTATION – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic example found on the block. The applicant has oriented the structure on lot 2 to feature an orientation that matches that of the historic structure currently on the site. The applicant has not provided exact numbers in regards to setbacks. This should be provided to staff. Any final plans must represent accurate setback conditions and demonstrate compliance with the Unified Development Code prior to any request for a Certificate of Appropriateness. 2b. TREE SURVEY – The applicant has provided staff with a site plan that includes information regarding existing and proposed trees. The applicant has noted that existing heritage trees on the property are in decay, but will be preserved. 2c. ENTRANCES – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has proposed to orient the primary entrance towards the intersection of Ostom and Magnolia Avenue. Staff finds this appropriate and consistent with the Guidelines. 2d. SCALE & MASS – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. The applicant has proposed a two story structure with an overall height of 31' – 5". Many structures in the immediate vicinity feature either one or one and a half stories of height. While the applicant has proposed two stories, many of the neighboring structures feature

additional height and steep pitched roofs. Staff finds the proposed height to be appropriate and consistent with the Guidelines. 2e. FOOTPRINT – The applicant has proposed a footprint that in relationship to the proposed structure to the west (lot 1) is slightly smaller in footprint to accommodate a smaller lot footprint. 2f. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure's foundations. The applicant has proposed a foundation height of approximately 2' – 0". This is consistent with the Guidelines. 2g. ROOF FORM – The applicant has proposed a roof form that includes front and rear facing gables. This is consistent with the Guidelines. 2h. WINDOW & DOOR OPENINGS – Per the Guidelines for New Construction 2.C.i., window and door openings with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. The applicant has featured window openings that feature historic heights and widths as well as window groupings that are found historically on Craftsman structures. Staff finds that the applicant should incorporate additional fenestration on the right and left elevations on the first floor. 2i. LOT COVERAGE – The building footprint for new construction should be no more than fifty (50) percent of the size of total lot area. The applicant's proposed building footprint is consistent with the Guidelines for New Construction 2.D.i. 2j. MATERIALS – The applicant has noted the use of Hardie siding, Hardie shingles, Hardie trim, asphalt shingles, brick foundation skirting and wood windows. The applicant has also noted the use of salvaged wood elements from the existing historic structure. 2k. WINDOW MATERIALS – The applicant should ensure that the proposed windows feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. 2l. ARCHITECTURAL DETAILS – New buildings should be designed to reflect their time while representing the historic context of the district. Additionally, architectural details should be complementary in natural and should not detract from nearby historic structures. Generally, the proposed structure is consistent with the Guidelines. Findings related to request item #3: 3a. SETBACKS & ORIENTATION – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic example found on the block. The applicant has proposed to orient the westernmost structure on lot 2 toward Magnolia Avenue. Staff finds this orientation to be appropriate. The applicant has not provided exact numbers in regards to setbacks. This should be provided to staff. Any final plans must represent accurate setback conditions and demonstrate compliance with the Unified Development Code prior to any request for a Certificate of Appropriateness. 3b. TREE SURVEY – The applicant has provided staff with a site plan that includes information regarding existing and proposed trees. The applicant has noted that existing heritage trees on the property are in decay, but will be preserved. 3c. ENTRANCES – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has proposed to orient the primary entrance towards Magnolia Avenue. This is consistent with the Guidelines. 3d. SCALE & MASS – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. The applicant has proposed a two story structure with an overall height of 31' – 5". Many structures in the immediate vicinity feature either one or one and a half stories of height. While the applicant has proposed two stories, many of the neighboring structures feature additional height and steep pitched roofs. Staff finds the proposed height to be appropriate and consistent with the Guidelines. 3e. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure's foundations. The applicant has proposed a foundation height of approximately 2' – 0". This is consistent with the Guidelines. 3f. ROOF FORM – The applicant has proposed a roof form that includes front and rear facing gables. This is consistent with the Guidelines. 3g. WINDOW & DOOR OPENINGS – Per the Guidelines for New Construction 2.C.i., window and door openings with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. The applicant has featured window openings that feature historic heights and widths as well as window groupings that are found historically on Craftsman structures. Staff finds that the applicant should incorporate additional fenestration on the right and left elevations on the first floor. 3h. LOT COVERAGE – The building footprint for new construction should be no more than fifty (50) percent of the size of total lot area. The applicant's proposed building footprint is consistent with the Guidelines for New Construction 2.D.i. 3i. MATERIALS – The applicant has noted the use of Hardie siding, Hardie shingles, Hardie trim, asphalt shingles, brick foundation skirting and wood windows. The applicant has also noted the use of salvaged wood elements from the existing historic structure. 3j. WINDOW MATERIALS – The applicant should ensure that the proposed windows feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth

between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. 3k. ARCHITECTURAL DETAILS – New buildings should be designed to reflect their time while representing the historic context of the district. Additionally, architectural details should be complementary in natural and should not detract from nearby historic structures. Generally, the proposed structure is consistent with the Guidelines. Findings related to request item #4: 4a. ACCESSORY STRUCTURES – To the south of the structure proposed on lot 1 and to the west of the structure proposed on lot 2, the applicant has proposed one story accessory structures. The proposed accessory structures will feature an overall height of 17' – 5". The proposed accessory structures will feature garage doors and detailing that overall is consistent with the architectural of the proposed primary structures as well as what is found historically throughout the River Road Historic District. Staff finds this to be appropriate and consistent with the Guidelines. 4b. SETBACKS & ORIENTATION – The applicant has provided a site plan that notes the proposed accessory structures and setback lines; however, a dimension is not provided for the setbacks. Any final plans must represent accurate setback conditions and demonstrate compliance with the Unified Development Code prior to any request for a Certificate of Appropriateness. 4c. TREE SURVEY – The applicant has provided staff with a site plan that includes information regarding existing and proposed trees. The applicant has noted that existing heritage trees on the property are in decay, but will be preserved. Findings related to request item #5: 5a. DRIVEWAYS – The applicant has proposed to introduce one new curb cut on the property to exist with an existing curb cut that is located on Ostrom Drive. The Guidelines for Site Elements note that historic profiles are to be used for the creation of curb cuts and that typical driveway widths are to be used, typically no wider than ten feet in historic districts; however, there are examples in the immediate area of curb cut and driveway widths that are wider than ten feet in width. Staff finds that the proposed driveway location are appropriate. 5b. TREE SURVEY – The applicant has provided staff with a site plan that includes information regarding existing and proposed trees. The applicant has noted that existing heritage trees on the property are in decay, but will be preserved.

RECOMMENDATION:

1. Staff does not recommend approval of request item #1, the demolition of the historic structure based on findings 1a through 1d. If the HDRC finds that a loss of significance has occurred or finds that the criteria for establishing an unreasonable economic hardship have been met and approves the requested demolition, then staff makes the following recommendations regarding the requested new construction: 2 – 3. Staff recommends approval of request items #2 and #3, the construction of two, two story single family residential structures on the property based on findings 2a through 3k with the following stipulations. This is only applicable if item #1, demolition is approved. i. That any horizontal Hardie siding feature an exposure of four (4) inches and a smooth finish. Any shingle siding should be wood and not composite to provide a more accurate profile. ii. That the proposed wood windows feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. iii. ARCHAEOLOGY- Archaeological investigations may be required. The archaeological scope of work should be submitted to the Office of Historic Preservation archaeologists for review and approval prior to beginning the archaeological investigation. The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology. iv. That the site plan submitted by the applicant feature dimensioned setbacks. 4. Staff recommends approval of request item #4, the construction of two, accessory structures based on finding 4a and 4c with the following stipulations: i. That any horizontal Hardie siding feature an exposure of four (4) inches and a smooth finish. Any shingle siding should be wood and not composite to provide a more accurate profile. ii. That a detail and materials information be submitted for the proposed garage door. A vinyl or composite garage door should not be installed. iii. ARCHAEOLOGY- Archaeological investigations may be required. The archaeological scope of work should be submitted to the Office of Historic Preservation archaeologists for review and approval prior to beginning the archaeological investigation. The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology. iv. That the site plan submitted by the applicant feature dimensioned setbacks. 5. Staff recommends approval of request item #4, the installation of a new curb cut and driveway with the stipulation that the driveway not exceed ten (10) feet in width.

COMMISSION ACTION:

Denied.



Shanon Shea Miller
Historic Preservation Officer

A Certificate of Appropriateness (COA) serves as a record of design approval and is valid for 180 days. Work that is not completed in accordance with this certificate may be subject to correction orders and other penalties.

A COA does not take the place of any required building permits nor does it authorize the use of a property beyond what is allowed by the Unified Development Code. Prior to beginning your construction project, please contact the Development Services Department at (210) 207-1111 to ensure that all requirements have been met.

This Certificate must remain posted on the job site for the duration of your project. Modifications to an approved design or an expired approval will require a re-issue of your Certificate of Appropriateness by OHP staff. Please contact OHP Staff at (210) 207-0035 with any questions.

Alamo Tube Co. GF # 4013905237WNB

ALAMO TITLE COMPANY

TEXAS GENERAL WARRANTY DEED

NOTICE OF NONIDENTIFIABILITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

October 4, 2016

Grantor(s) (whether one or more): **HAUSMAN HOMEBUYERS, INC., A TEXAS CORPORATION**

Grantees (whether one or more): **TOBIAS KENNETH STAPLTON, A MARRIED PERSON**

Granulocyte's Mailing Address:
205 OSTRUM DR
SAN ANTONIO, TEXAS 78212

Test and 1,000 Dollars (\$10,000) and other good and valuable consideration, including a share of the annual proceeds in the principal amount of FOUR HUNDRED FIFTY THOUSAND AND NO/100 Dollars (\$450,000.00) (the "Pledge"), conveyed by the Grantee and payable to the order of SOUTHEAST BANK S.B.S. (the "Lender"). The Note is secured by a first and superior vendor's lien and mortgage on the real estate included in the deed in favor of the Lender, and by a deed of trust of the same done by the Grantee to ANAP, SBTPT, Trustee for the benefit of the Lender.

Property (including improve ments):

That certain property located in BEXAR County, Texas to-wit: LOT 1 AND 2, NEW CITY BLOCK 618, MAGNOLIA PLACE, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 980, PAGE 181, DETD AND PLAT RECORDS, BEXAR COUNTY, TEXAS.

Reservations from Conveyance: The first and superior vendor's lien and superior title to secure payment of the Note.

Exceptions to Conveyance and Warranty

Limits defined as part of the Consideration and any other lines described in this deed as being either assumed or to which title is taken subject to, validly existing statements, rights-of-use, and prescriptive rights, whether of record or not, all presently recorded and validly existing tenements, or interests apparent from those instruments, including reservations outstanding in parties other than Grantors, other than conveyances of the surface estate, that affect the Property, any discrepancies or conflicts in boundary lines, any encroachments or overlapping of improvements and/or lines for the current year and subsequent years, which Grantors assume and agree to pay and subsequent assessments for the current year and prior years due to changes in land usage, ownership, or both, the payment of which Grantors assume.

Granting the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells and conveys to Grantee the Property together with all and singular the rights and appurtenances thereto in any wise belonging. To Have and To Hold unto Grantee, and Grantee's heirs and assigns, forever; Grantee, and Grantee's successors and assigns, shall warrant and forever defend all successors and assigns, forever; Grantee, and Grantee's successors and assigns, shall warrant and forever defend all and singular the Property to Grantee and Grantee's successors and assigns, against every person whatsoever lawfully claiming or to claim the same or any part thereof except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

The Lender, at Grantor's request, has paid in cash to Grantor the portion of the purchase price of the Property that is evidenced by the Note. The first and superior vendor's lien against and superior title to the Property are retained for the benefit of the Lender, and are transferred to the Lender without recourse against Grantor.

When the contract requires, stippler names and addresses include the plural.

GRANTOR MAKES NO WARRANTIES OR REPRESENTATIONS. GRANTOR HAS NOT MADE, DOES NOT MAKE AND HEREBY NEGATES AND DISCLAIMS ANY REPRESENTATIONS OR WARRANTIES, EITHER EXPRESS OR IMPLIED, EITHER UNDER COMMON LAW, STATUTE OR OTHERWISE, AS TO THE PHYSICAL CONDITION, LAYOUT, FOOTAGE, ACREAGE, EXPENSES, OPERATION OR ANY OTHER MATTER AFFECTING OR RELATED TO THE PROPERTY TO THE MAXIMUM EXTENT PERMITTED BY LAW. THE PROPERTY IS CONVEYED AS IS, WITHOUT ANY REPRESENTATIONS, WARRANTIES OR GUARANTEES, EXPRESS OR IMPLIED, EITHER UNDER COMMON LAW, STATUTE OR OTHERWISE, AS TO ANY AND ALL OR WRITTEN EXPRESS OR IMPLIED, CONCERNING THE PROPERTY INCLUDING WITHOUT LIMITATION, (I) THE VALUE, CONDITION, MERCHANTABILITY, HARBORABILITY, MARKETABILITY, PROFITABILITY, SUITABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE, OF THE PROPERTY, (II) THE MANNER OR QUALITY OF THE CONSTRUCTION OR MATERIALS INCORPORATED INTO THE PROPERTY AND (III) THE MANNER, QUALITY, STATE OF REPAIR OR LACK OF REPAIR OF THE PROPERTY.

Executed to be effective as of the Effective Date.

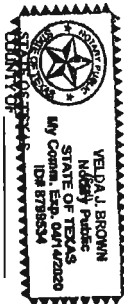
10/14/14 10/14/14
HAUSMAN HOMEBUYERS, INC. A Date Date
TEXAS CORPORATION

Acknowledgements

STATE OF TEXAS By Oct 4, 2014 by Larry Hummer
COUNTY OF Baylor Individual CHA
This instrument was acknowledged before me on
HAUSMAN HOMEBUYERS, INC., A TEXAS CORPORATION

Natany Public
Printed Name:

Walter J. Brown



Individual

This instrument was acknowledged before me on _____ by _____

(Seal) Natany Public
Printed Name:

Corporate/Partnership

STATE OF TEXAS
COUNTY OF _____

This instrument was acknowledged before me on _____ by _____
of _____ on its behalf.

(Seal) Natany Public
Printed Name:

STATE OF TEXAS
COUNTY OF _____

Attest: _____

This instrument was acknowledged before me on _____, _____, by _____

(Seal) Notary Public
Printed Name: _____

205 Ostrom Drive, Structural Engineer Reports **All three (3) in agreement that the house cannot be restored** In the following pages as requested by the HDRC Board I was asked to hire a structural engineer. WE HAVE ENGAGED 3 TWO AT COST TO THE OWNER AND ONE AS REQUESTED BY HDRC AT NO FEE.

I hired PK Brown Associates and they determined **"the entire structure should be completely demolished"**.

A Second Structural Engineer Mr. Calvetti was asked by a neighbor to do an exterior only visual inspection, his results from exterior were loose and vague and again the HDRC asked that I perform a 2nd structural inspection.

To alleviate the neighbors' concerns I engaged at no fee Mr. Calvetti and allowed him access to the interior, please see his report below and here are some highlights : **"I did not feel comfortable venturing very far into its interior" "not Salvageable" "a closer look revealed a severely damaged structure" "near collapse" "Severely compromised" "Piers, beams, exposed walls studs and roof framing were severely jeopardized" "I do not believe this structure is a realistic candidate for such repair and restoration"**

We hired a third Structural Engineer Scott Mortensen his findings were conclusive and inline with the other Engineers, Quote "does not have structural integrity.. and should be condemned and demolished"



River Road HDRC
205 Ostrom Street

August 17, 2017
Page 3

Therefore, as much as I believe in the restoration of historical structures, I do not believe this structure is a realistic candidate for such repair and restoration.

If you have any comments or questions, please don't hesitate to contact my office.

Lawrence Calvetti, P.E., SECB



Scott M. Mortensen PE
Principal, MAE PLLC

MAE concludes that this building does not have the structural integrity to be repaired to its original condition and should be condemned and demolished.

Based on the on-site observations and our structural experience, it is our opinion that the existing house structure is unsafe for habitation, the structural members are too badly deteriorated to be repaired, and the entire structure should be completely demolished. If you have any questions, please contact me.

Respectfully Submitted,

David O. Brown
5/31/17

David O. Brown, P.E.
Principal
PAUL-KOEHLER-BROWN
Texas Firm Reg. No. F-11103
512-231-8910
dbrown@pkbrown.com





PAUL • KOEHLER • BROWN

consulting structural engineers

8217 Shoal Creek Blvd., Suite 106, Austin, Texas 78757
(512) 231-8910 Voice (512) 231-8915 Fax

May 31, 2017

Mr. Toby Stapleton
1800 Broadway Apt. #1228
San Antonio, Texas 78215

RE: Existing House at
205 Ostrom Drive
San Antonio, Texas 78212
Parcel ID: 6938 Lot: 1 & 2

Dear Mr. Stapleton:

At your request, Paul-Koehler-Brown Consulting Structural Engineers provided structural engineering site investigation services for the home at 205 Ostrom Drive in San Antonio, Texas. This inspection was performed by Travis Lowe in our office. The purpose of this investigation was to review the condition of the structure and determine if it is feasible to repair or salvage the existing structure.

House Construction

It is our understanding that the house was built in 1935 with additional renovations occurring in 1970. The original foundation is a wooden post (pier) and beam foundation system, and the later addition used a concrete slab on-grade for a patio and sitting room. The original floor system is composed of wood decking over wood beams and joists that are supported on the wooden timber posts. The wooden posts appear to be composed of cedar and many still had some bark attached. The walls are typical wood stud wall framing. The roof was conventional "stick framing" with wood joists and rafters. It could be seen that the shingle roofing system consisted of multiple layers, due to adding additional shingle layers without removing the previous roof before installing the new roof.

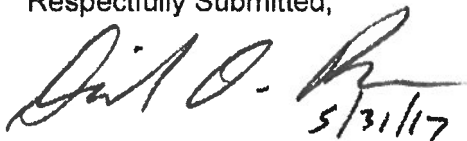
Findings

Due to age and apparent lack of maintenance for many years, the house is severely deteriorated. It is our understanding that the house has been abandoned for the past 23 years and the lack of any maintenance or climate control over a long period of time has contributed to the deterioration of the house. Wood decomposition was evident all over the interior and exterior house. Signs of dry rot, fungus, and wood worm or termite infestation could be seen in the wood framing throughout the house. This deterioration is widespread and has reduced the structural integrity of the

wooden members. Section loss could be seen in the wood framing. Floors were collapsed in some areas. Wall sheathing had cracks between sheathing panels and large sections were deteriorated or missing. In addition, parts of the ceiling and roof were collapsed at various locations. Daylight could be seen coming through holes in the roof. Some areas of the roof were sagging from what appeared to be buildup of material on the roof, like tree branches, or from the deterioration of the wooden framing below due to rot, fungus, etc. Most of the house has been subjected to water intrusion due to the deterioration and collapse of portions of the roof. It also appeared that both types of foundations present at the house were adversely affected by shrink/swell movement of the underlying soil. The cracking in the concrete portion of the foundation was caused by expansive clay soils, where the soil becomes saturated and expands, then subsequently dries out and shrinks with seasonal moisture changes. The movement caused by the expansive soil conditions is also evident in the wood portion of the foundation, demonstrated by various wooden piers that extend at an angle from the ground as well as cracking and separation in the concrete foundation. Also, floor beams were found to be shifted away from their wooden pier foundation supports. The movement in the foundation also caused cracks in the wall framing and sheathing. There are many deficiencies in the structural integrity of the foundations, walls, and roof elements.

Based on the on-site observations and our structural experience, it is our opinion that the existing house structure is unsafe for habitation, the structural members are too badly deteriorated to be repaired, and the entire structure should be completely demolished. If you have any questions, please contact me.

Respectfully Submitted,

 5/31/17

David O. Brown, P.E.
Principal
PAUL-KOEHLER-BROWN
Texas Firm Reg. No. F-11103
512-231-8910
dbrown@pkbrown.com



Attachments: Photos



August 16, 2017

River Road HDRC
Office of Historic Preservation
1901 S. Alamo
San Antonio, TX 78204

RE: Residence Structure
205 Ostrom Street
San Antonio, Texas 78211

Director and Commission Members:

INTRODUCTION

On July 13, 2017 I conducted a visual inspection of the exterior of the above referenced structure. I made a report of the limited observations I made of the structures exterior. In the report I stated that an inspection of the interior would be very beneficial in providing a more informed opinion of the structures integrity. That opportunity was granted by the owner Mr. Toby Stapleton and I revisited the structure on August 16, 2017.

For orientation, front of the structure (based on entry door) faces nearly east. It is a single story, wood framed structure. The main structure is U-shaped with one leg on the south, the cross leg on the east and the other leg on the north. The area on the west is covered between the north and south leg. Extending west from the north leg is a garage addition. The U-shaped structure has a wood pier and beam foundation. The entry porch and the infilled west area has a slab-on-grade foundation.

I began my observation at the south exterior wall and worked my way around the perimeter of the structure counterclockwise. I then made observation of the interior.

OBSERVATIONS EXTERIOR:

South Leg:

The foundation piers were severally rotted and those on the west end leaning to the south. The west half of the exterior wall was bowed outwards between the top and bottom of the wall. While most of the beams over the piers were in



River Road HDRC
205 Ostrom Street

August 17, 2017
Page 2

relatively good condition, they are undersized for the span between piers. There is much wood rot at the roof eave and some wall boards.

Cross Leg and Entry:

This portion of the structure is in relatively good condition with very little wood rot except the exposed eaves.

North Leg:

While my earlier exterior observations of this portion of the structure didn't reveal any significant damage, a closer look revealed a severely damaged structure. Piers, beams, exposed wall studs and roof framing were severely jeopardized. Vegetation growing on and over the walls and roof has added in some of the deterioration.

The extension to this leg is in near collapse.

INTERIOR:

The interior of the south leg and cross leg was in relatively good condition. Portions of the ceiling material had been water soaked due to holes in the roof and collapsed. The bow in a portion of the south wall was noted. Most of the roof framing and floor framing were in good condition. However water leaking into a large portion of the north leg's interior has severely compromised the integrity of floor boards, floor and roof framing and wall studs.

DISCUSSION

South Leg:

It could be possible to restore this portion of the structure but with difficulty. The bowed portion of the wall would need to be replaced which means the roof would need to be supported while this was done. The entire leg would need to be supported while new piers and beams are installed however the leg is wracked horizontally due to the drift of the west end of the leg when the piers failed and leaned south. To correct this without removing portions of the roof, floor and walls would be very complicated and potentially dangerous.

North Leg:

This leg has so much rotted and damaged framing that the only safe repair would be to demolish and rebuild it. The base of some interior walls are so deteriorated they are more or less hanging from the ceiling. Some appear to be near falling over. I did not feel comfortable venturing very far into its interior.

Cross Leg:

This portion of the structure is reasonably repairable.

The roof on the west side, framed between the north and south legs and the slab beneath, are not salvageable.

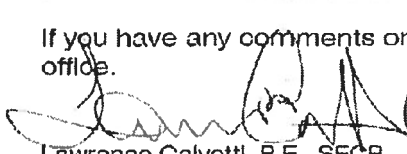


River Road HDRC
205 Ostrorn Street

August 17, 2017
Page 3

Based upon my latest observations of the foundation, the interior and exterior walls, and the roof and floor framing, I believe the only portion of this structure that could be reasonably repaired is the entry and what I've called the cross log. Therefore, as much as I believe in the restoration of historical structures, I do not believe this structure is a realistic candidate for such repair and restoration.

If you have any comments or questions, please don't hesitate to contact my office.


Lawrence Calvetti, P.E., SECB



17 AUG 2017



STRUCTURAL ASSESSMENT FOR:

SEADC LLC

205 Ostrom Dr.
NCB 6938 BLK LOT 1&2
San Antonio, Texas 78212

MAE PLLC
Report of Findings
STRUCTURAL ASSESSMENT FOR:

205 Ostrom Dr.
NCB 6938 BLK LOT 1&2
San Antonio, Texas 78212

By
MAE PLLC
Mortensen Architectural Engineering PLLC
TBPE Firm # 16119
San Antonio, TX

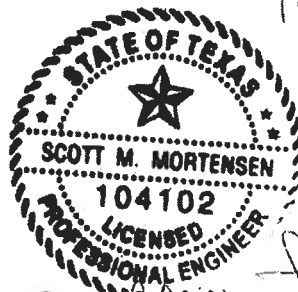
(210) 801-4330
smorXsen@yahoo.com

MAE PLLC FILE NO: 18-076

REPORT DATE: OCTOBER 29, 2018

PREPARED FOR:

TOBY STAPLETON
Stapleton Build & Design
205 Ostrom
San Antonio 78212
(425) 305-8044



Scott M. Mortensen
Scott M. Mortensen PE
Principal MAE PLLC

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Areas of Concern	3
Discussion of Information Analysis.....	3
Conclusions and Recommendations	4
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Introduction

On October 19, 2018, Mr. Toby Stapleton called upon MAE PLLC to do a structural evaluation at 205 Ostrom Drive, San Antonio, TX 78212. The property's legal information was obtained from the Bexar County Tax Assessor's website.

Scope of this Report

PROPERTY DESCRIPTION AND BACKGROUND INFORMATION

Scott Mortensen, Professional Engineer (PE), met with Toby Stapleton and visited the property on October 22, 2018. After interviewing the contractor, Toby Stapleton, for historical information on the building, Scott Mortensen PE proceeded to inspect the existing building. The property is a single-family; wood-framed, one-story building. The building is pier and beam construction. The front of the structure, for the purposes of this report referenced herein, faces northeast toward East Magnolia Ave. This property was built in 1935. Photographs were obtained during the process and offer a visual of the issues reviewed in the report.

Areas of Concern

Exterior

- Siding:
- Front porch
- Front door

Structural Systems

- Pier System:
 - Sloped floors
- Floor System:
 - Joists
 - Wood flooring
- Wall Framing System:
 - Walls
- Truss System:
 - Roof trusses
- Roof System:
 - Broken ridge beams
 - Eroded and degraded composite roof

Electrical Systems:

- Single phase power without grounding

Plumbing Systems:

- Broken supply pipes

Discussion of Information Analysis

Exterior

- Siding: The exterior siding on this project is not in a straight single plane it has curves in it. The fascia is deteriorated and/or missing.
- Front porch: The porch roof deck has a condition of wet rot and mold. The front fascia is deteriorated and the rafter tails are damaged.
- Front door: The front door has been broken down and is lying on the floor.

Structural Systems

- Pier System: The piers are cedar posts and are not in line. Some posts are missing and some posts do not have the weight of the house bearing upon them.
 - Sloped floors: The elevations taken of the house have a difference of at least 12".
 - Large roots have grown into the foundation system.
- Floor System:

- Joists: The wood in the joists has the following conditions; termite damage, wet rot, dry rot, covered in mold, and some are missing because they have deteriorated/decomposed.
- Wood flooring: The wood flooring has the following conditions; termite damage, wet rot, dry rot, covered in mold and large sections are missing because they have deteriorated.
- Wall Framing System:
 - Walls: The wood in walls has the following conditions: termite damage, wet rot, dry rot, covered in mold and deteriorated. The quarter inch drywall is falling off the walls.
- Truss System:
 - Roof trusses: The wood members of the roof trusses have the following conditions: wet rot, dry rot, covered in mold and deteriorated.
 - Rafter tails: Several of the tails are deteriorated/decomposed to the point where the wood does not have the structural integrity to hold the nails for the fascia system.
- Roof System:
 - Broken ridge beams: The ridge beam in several areas has a marked difference in elevation. This is an indication that the ridge beam is broken and nonfunctional.
 - Deck: The roof deck has the following conditions: wet rot, dry rot, covered in mold and deteriorated.
 - Ceiling: The ceiling has the following conditions: the ceiling has delaminated plywood (from being in constant wet conditions), wet rot, and dry rot, covered in mold and deteriorated. The quarter inch sheetrock is falling down.
 - Eroded and degraded composite roof: The composite roof systems are designed to degrade over a period of time. This roof is beyond that time period. This roof has degraded to a condition that the existing roof has lost its ability to shed water.

Electrical Systems:

- Single phase power without grounding: Because of this outdated electrical system, the building cannot have the arc flash and ground fault protection as is required by the city-accepted National Electrical Code (NEC).
- There are different size fuses on the A & B phases of the electrical distribution fuse box.

Plumbing Systems:

- Broken supply pipes: Galvanized water pipes are sheared apart under floor.

Conclusions and Recommendations

MAE concludes that the dry rot (a decaying condition caused by fungi that digest the part of the wood that gives wood its strength and stiffness), wet rot (a decaying condition caused by a different fungi that that digest the part of the wood that gives wood its strength and stiffness), termite damage (a decaying condition caused by an insect that digests the part of the wood that gives wood its strength and stiffness), deteriorated wood, and mold damage. All these conditions affect the structural ability of the wood members to provide the structural integrity required of the buildings structural systems. Any one of these conditions (we are dealing with five different conditions) would affect the ability of the wood in these systems to meet the mathematical values that are required to compute the following structural requirements of: weight bearing capacity, shear stresses, moment stresses, axial stress forces, span lengths of wood members, and nail and bolt pull-out calculations for all of the wood connections. This building has structurally failed. It is only a matter of time that this building will be in catastrophic failure.

MAE concludes that this building in its present condition would fail to meet the required structural values of the city's currently accepted International Residential Code (IRC) requirements specifically,

IRC chapters: (4) Foundation, (5) Floors, (6) Wall Construction, (7) Wall Covering, (8) Roof-Ceiling Construction, (9) Roof Assemblies, (11) Energy Efficiency, and Wind Bracing Requirements.

MAE concludes that the roof has lost its ability to shed water causing a constant wet condition on all the structural members decreasing the structural values and structural integrity of those members.

MAE concludes that deteriorated roof trusses and rafter tails do not have the structural integrity to support a new roof system.

MAE concludes that this building in its present condition would not be able to withstand the structural stresses that would be required to raise the building 12 " to level the floors, the floor joists, the walls, and the roof structure of this building. To prepare this building to withstand the structural stresses required to be raised and level the building is cost prohibitive.

MAE concludes that several ridge beams are broken in several locations reducing the structural integrity of this building. It is unknown if these ridge beams can be fixed.

MAE concludes that this building appears to not have any Architectural Historical Value, and since it is greater than 50% damaged, the rebuilding of this building would be subjected to the current ICC building codes. The rebuilding of this building to current codes is cost prohibitive.

MAE concludes that because of the extensive mold damage of this building it is not fit for human (especially infant) habitation.

MAE concludes that the cost to properly dry, restore and clean the mold in all of this building as per ANSI/IIC RC 500 is cost prohibitive.

MAE concludes that this building does not have the structural integrity to be repaired to its original condition and should be condemned and demolished.

Disclaimers

- This investigation addressed specific conditions relevant to the reported damage at the subject property, and as such, its scope may not be adequate for other purposes. Use of this report or the findings, conclusions, or recommendations presented herein for any other purpose is at the sole risk of the user.
- MAE PLLC has no direct knowledge of concealed conditions. Comments regarding concealed conditions are professional opinions, derived in accordance with current standards of professional practice.
- Recommendations to repair or not to repair the damage of this building have been developed with the objective of restoring the safety and serviceability of this building. There may be other deficiencies present, and this report does not address those.
- Implementation of the repairs recommended herein may require additional architectural or engineering considerations, or both, development of design drawings and specifications, and compliance with local building codes.
- A detailed inventory of all cosmetic damage was beyond the scope of MAE PLLC's investigation. The cosmetic damage described in this report is not intended to be comprehensive, but rather representative of observed conditions.
- The findings herein are made to a reasonable degree of engineering certainty based on information available as of the date of this report. If additional information becomes available, MAE PLLC reserves the right to supplement or modify this report.
- This report is copyrighted by MAE, 2018

Site Photographs



Photo 1 Wet Rot and Mold on Roof Deck



Photo 2 Ceiling Plywood is delaminating and is infested with Wet Rot, Sheetrock is falling



Photo 3 Water damage and Mold on Floors



Photo 4 Wood Floor and Wood Floor Joist Deteriorated and/or Missing



Photo 5 Floor and Floor Joists Fallen Away from the Exterior Wall Floor Base



Photo 6 Roof Patch Trusses Infected by Wet Rot and Mold



Photo 7 Root Intrusion in the Foundation System

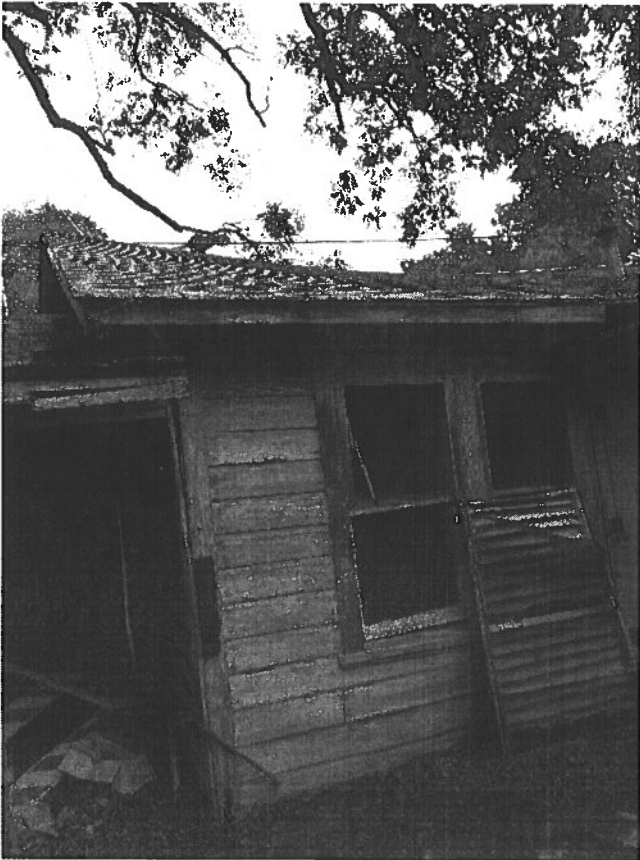


Photo 8 Ridge Beam Broken, Fascia Deteriorated, Composite Roof Deteriorated



Photo 9 Wood Flooring Damaged by Intruder arrested by SAPD



Photo 10 Non Grounded Electrical Receptacle in Bedroom



Photo 11 Sheared Steel Water Pipes

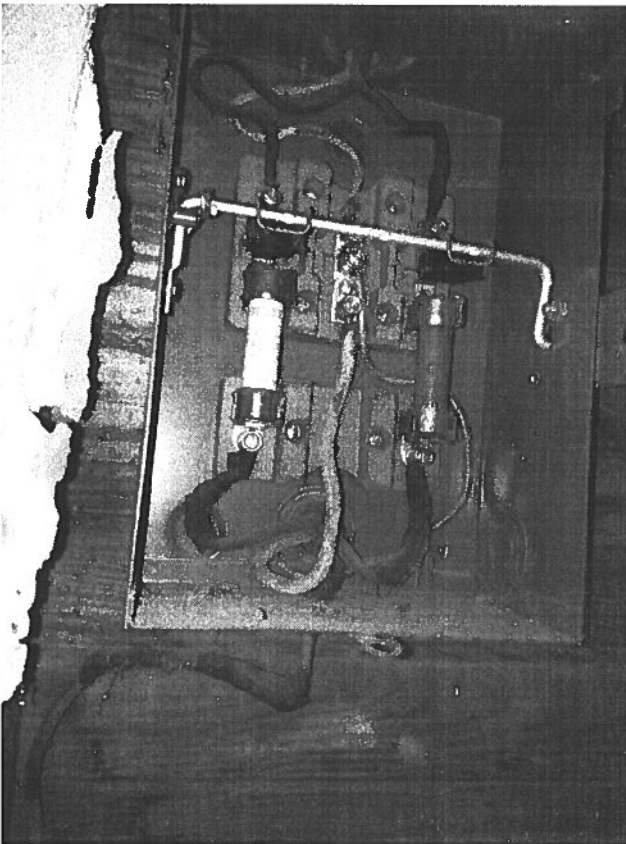


Photo 12 Common Ground and Neutral in Fuse Box. Different Size Fuses on Each Circuit



Photo 13 Example of Dry Rot Wet Rot and Mold



Photo 14 Example of Damaged Ceiling Framing



PAUL • KOEHLER • BROWN

consulting structural engineers, llc

8217 Shoal Creek Blvd., Suite 106, Austin, Texas 78757
(512) 231-8910 Voice (512) 231-8915 Fax

May 31, 2017

Mr. Toby Stapleton
1800 Broadway Apt. #1228
San Antonio, Texas 78215

RE: Existing House at
205 Ostrom Drive
San Antonio, Texas 78212
Parcel ID: 6938 Lot: 1 & 2

Dear Mr. Stapleton:

At your request, Paul-Koehler-Brown Consulting Structural Engineers provided structural engineering site investigation services for the home at 205 Ostrom Drive in San Antonio, Texas. This inspection was performed by Travis Lowe in our office. The purpose of this investigation was to review the condition of the structure and determine if it is feasible to repair or salvage the existing structure.

House Construction

It is our understanding that the house was built in 1935 with additional renovations occurring in 1970. The original foundation is a wooden post (pier) and beam foundation system, and the later addition used a concrete slab on-grade for a patio and sitting room. The original floor system is composed of wood decking over wood beams and joists that are supported on the wooden timber posts. The wooden posts appear to be composed of cedar and many still had some bark attached. The walls are typical wood stud wall framing. The roof was conventional "stick framing" with wood joists and rafters. It could be seen that the shingle roofing system consisted of multiple layers, due to adding additional shingle layers without removing the previous roof before installing the new roof.

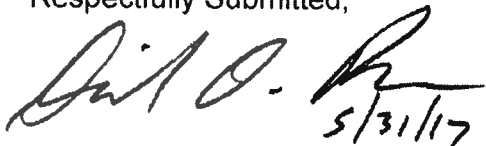
Findings

Due to age and apparent lack of maintenance for many years, the house is severely deteriorated. It is our understanding that the house has been abandoned for the past 23 years and the lack of any maintenance or climate control over a long period of time has contributed to the deterioration of the house. Wood decomposition was evident all over the interior and exterior house. Signs of dry rot, fungus, and wood worm or termite infestation could be seen in the wood framing throughout the house. This deterioration is widespread and has reduced the structural integrity of the

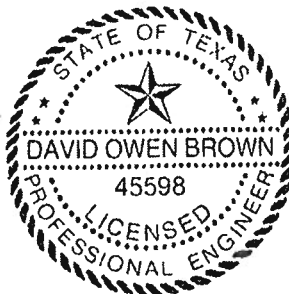
wooden members. Section loss could be seen in the wood framing. Floors were collapsed in some areas. Wall sheathing had cracks between sheathing panels and large sections were deteriorated or missing. In addition, parts of the ceiling and roof were collapsed at various locations. Daylight could be seen coming through holes in the roof. Some areas of the roof were sagging from what appeared to be buildup of material on the roof, like tree branches, or from the deterioration of the wooden framing below due to rot, fungus, etc. Most of the house has been subjected to water intrusion due to the deterioration and collapse of portions of the roof. It also appeared that both types of foundations present at the house were adversely affected by shrink/swell movement of the underlying soil. The cracking in the concrete portion of the foundation was caused by expansive clay soils, where the soil becomes saturated and expands, then subsequently dries out and shrinks with seasonal moisture changes. The movement caused by the expansive soil conditions is also evident in the wood portion of the foundation, demonstrated by various wooden piers that extend at an angle from the ground as well as cracking and separation in the concrete foundation. Also, floor beams were found to be shifted away from their wooden pier foundation supports. The movement in the foundation also caused cracks in the wall framing and sheathing. There are many deficiencies in the structural integrity of the foundations, walls, and roof elements.

Based on the on-site observations and our structural experience, it is our opinion that the existing house structure is unsafe for habitation, the structural members are too badly deteriorated to be repaired, and the entire structure should be completely demolished. If you have any questions, please contact me.

Respectfully Submitted,


5/31/17

David O. Brown, P.E.
Principal
PAUL-KOEHLER-BROWN
Texas Firm Reg. No. F-11103
512-231-8910
dbrown@pkbrown.com



Attachments: Photos

Photos:



Photo 1: Overall of House (looking northeast)



Photo 2: Timber Pile Foundation Loss of Section and Signs of Infestation



Photo 3: Wooden Beam Loss of Section and Bearing Area

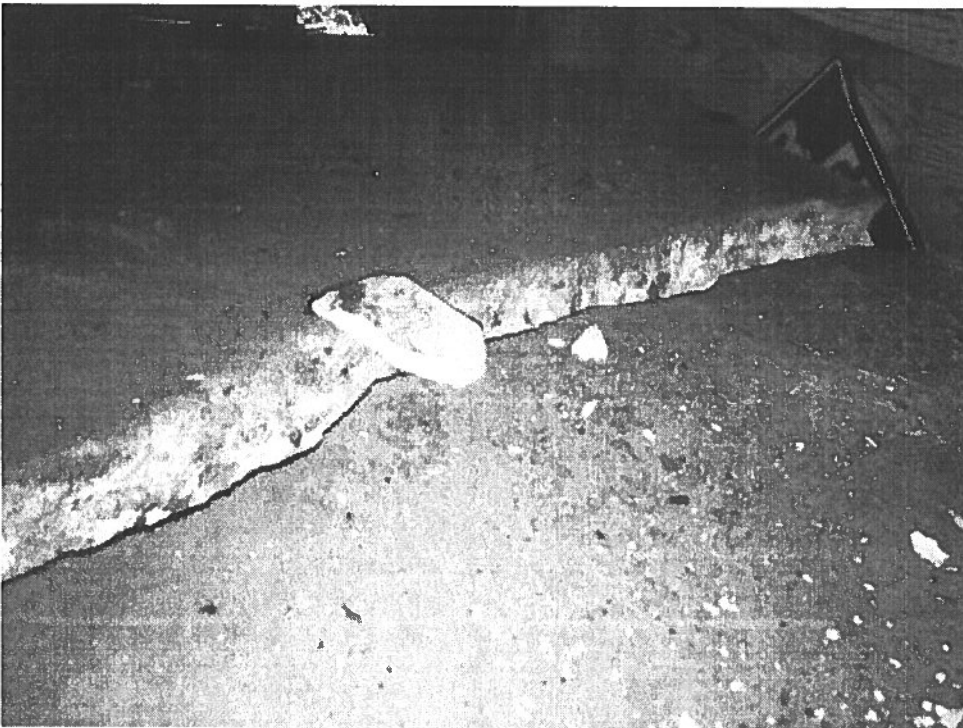


Photo 4: Concrete Slab Foundation Cracking and Movement

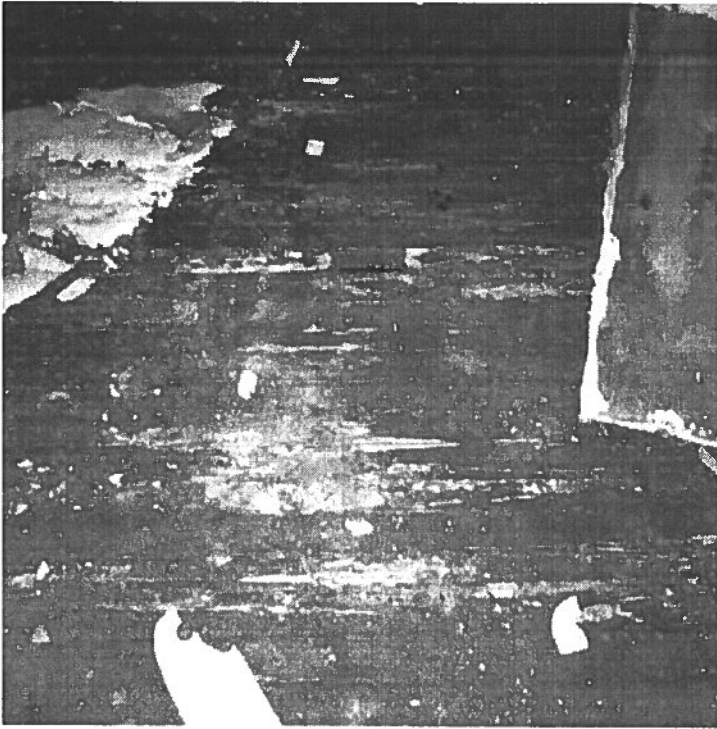


Photo 5: Typical Wood Flooring Deterioration

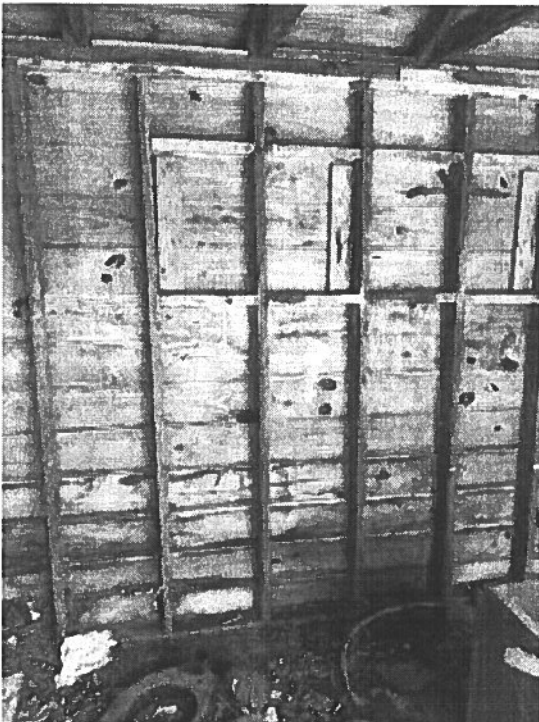


Photo 6: Wall Section with Multiple Signs of Fungus Infestation

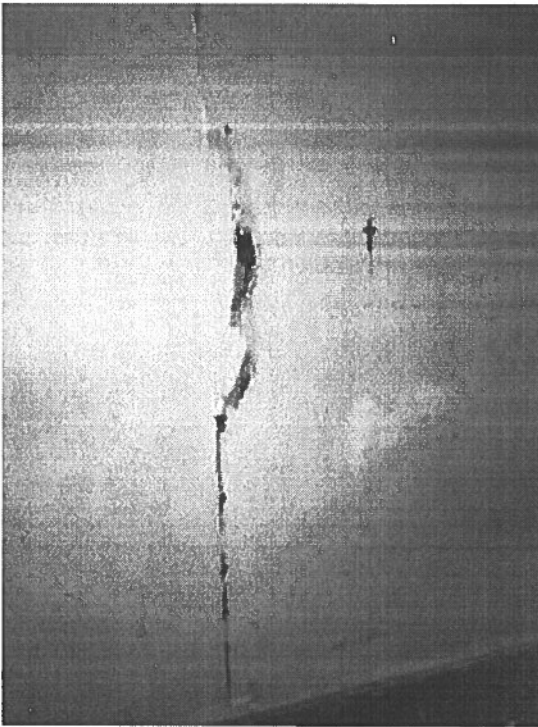


Photo 7: Cracking in Wall Sheathing

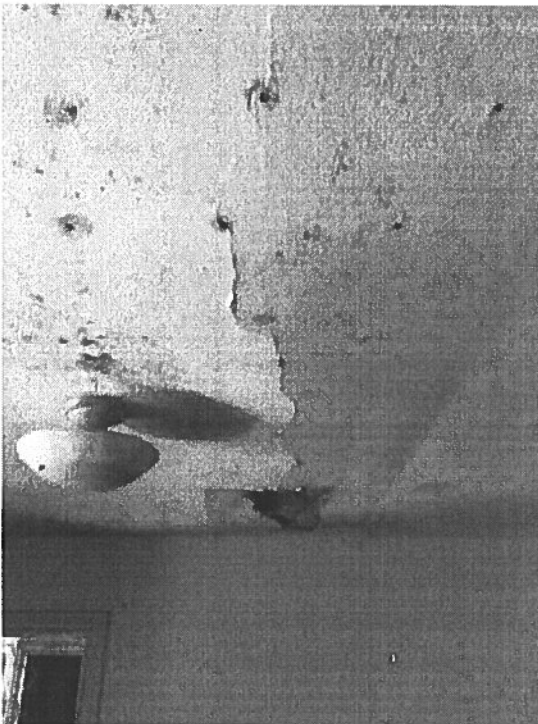


Photo 8: Cracking in Ceiling Sheathing

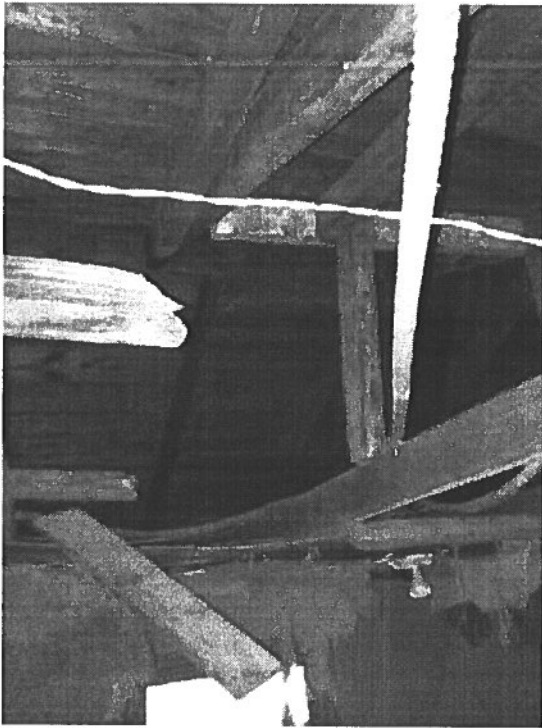


Photo 9: Collapsed Section of Wooden Roof Joists and Beams



Photo 10: Signs of Fungus Infestation for Roof's Wooden Framing

End of Photos

AN ORDINANCE 2006-03-23-0406

AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SAN ANTONIO BY AMENDING CHAPTER 35, UNIFIED DEVELOPMENT CODE, SECTION 35-304, OF THE CITY CODE OF SAN ANTONIO, TEXAS BY CHANGING THE ZONING DISTRICT BOUNDARY OF CERTAIN PROPERTY.

* * * * *

WHEREAS, a public hearing was held regarding this amendment to the Official Zoning Map at which time parties in interest and citizens were given an opportunity to be heard; and

WHEREAS, the Zoning Commission has submitted a final report to the City Council regarding this amendment to the Official Zoning Map of the City of San Antonio; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:

SECTION 1. Chapter 35, Unified Development Code, Section 35-304, Official Zoning Map, of the City Code of San Antonio, Texas is amended by changing the zoning district boundaries as follows:

Lot 1 and Lot 2, NCB 6938; Lot 1 NCB 6939; Lot 8 and the West 12.5 feet of Lot 9 NCB 6939; the East 12.5 feet of Lot 12, all of Lot 13 and Lot 14, NCB 6939; Lot 20 and Lot 21, Block 2, NCB 6530; Lot 4 and the West 25 feet of Lot 5, Block 3, NCB 6202; Lot 9 and the West 25 feet of Lot 10, Block 4, NCB 6203, from "R-4" RIO-1 Residential Single-Family River Improvement Overlay District to "R-4" C RIO-1 Residential Single-Family River Improvement Overlay Conditional District with a Conditional Use for 2 Dwelling Units;

Lot 19 and Lot 20, Block 2, NCB 6201, from "R-4" RIO-1 Residential Single-Family River Improvement Overlay District to "R-4" C RIO-1 Residential Single-Family River Improvement Overlay Conditional District with a Conditional Use for 4 Dwelling Units, and;

A 17.3 foot by 40.84 foot tract out of the Southeast corner of Lot E, City Block A-2, Lot 1 save and except the North 88.00 feet of the West 12.60 feet thereof, all of Lot 2, all of Lot 3, and Lot 4 save and except the North 74.40 feet of the East 33.00 feet thereof and also the South 74.39 feet of the East 23 feet thereof, NCB 7080 from "R-4" RIO-1 Residential Single-Family River Improvement Overlay District to "R-4" C RIO-1 Residential Single-Family River Improvement Overlay Conditional District with a Conditional Use for 6 Dwelling Units.

SECTION 2. The City Council finds as follows:

- A. The conditional use will not be contrary to the public interest.
- B. The conditional use will not substantially nor permanently injure the appropriate use of adjacent conforming property in the same district.
- C. The conditional use will be in harmony with the spirit and purpose for conditional uses as

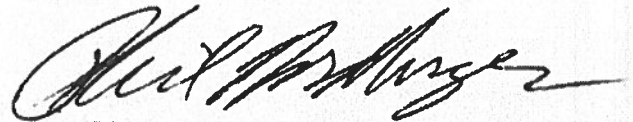
- set forth in Section 35-422, Conditional Zoning, of the Unified Development Code.
- D. The conditional use will not substantially weaken the general purposes of the regulations as set forth in Section 35-422, Conditional Zoning, of the Unified Development Code.
 - E. The conditional use will not affect adversely the public health, safety and welfare.

SECTION 3. All other provisions of Chapter 35 except those expressly amended by this ordinance shall remain in full force and effect including the penalties for violations as made and provided for in Section 35-491.

SECTION 4. The Director of Development Services shall change the zoning records and maps in accordance with this ordinance and the same shall be available and open to the public for inspection.

SECTION 5. This ordinance shall become effective on April 2, 2006.


PASSED AND APPROVED this 23rd day of March, 2006.



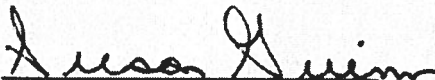
M A Y O R

PHIL HARDBERGER

ATTEST:


City Clerk

APPROVED AS TO FORM:


City Attorney

Agenda Voting Results

Name: Z-1.

Date: 03/23/06

Time: 04:03:21 PM

Vote Type: Multiple selection

Description: ZONING CASE #Z2005282 CD (District 1): An Ordinance amending the zoning district boundary from "R-4" RIO-1 Residential Single-Family, River Improvement Overlay District-1 to "R-4" RIO-1 (CD-2, 4 or 6 Dwelling Units) Residential Single-Family Conditional River Improvement Overlay District-1 with a Conditional Use for 2, 4, or 6 dwelling units on Lot 1 and Lot 2, NCB 6938; Lot 1 NCB 6939; Lot 8 and the West 12.5 feet of Lot 9 NCB 6939; the East 12.5 feet of Lot 12, all of Lot 13 and Lot 14, NCB 6939; Lot 20 and Lot 21, Block 2, NCB 6530; Lot 4 and the West 25 feet of Lot 5, Block 3, NCB 6202; Lot 9 and the West 25 feet of Lot 10, Block 4, NCB 6203, located at 803, 831, 850, 853, and 857 East Magnolia, 115 and 134 Armour Place, and 205 Ostrom; Lot 19 and Lot 20, Block 2, NCB 6201, 668 East Woodlawn; A 17.3 foot by 40.84 foot tract out of the Southeast corner of Lot E, City Block A-2, Lot 1 save and except the North 88.00 feet of the West 12.60 feet thereof, all of Lot 2, all of Lot 3, and Lot 4 save and except the North 74.40 feet of the East 33.00 feet thereof and also the South 74.39 feet of the East 23 feet thereof, NCB 7080, 120 Anastacia; as requested by the City of San Antonio, Applicant, for Multiple Owner(s). Staff and Zoning Commission recommend Approval.

Voter	Group	Status	Yes	No	Abstain
ROGER O. FLORES	DISTRICT 1	Not present			
SHEILA D. MCNEIL	DISTRICT 2		x		
ROLAND GUTIERREZ	DISTRICT 3		x		
RICHARD PEREZ	DISTRICT 4		x		
PATTI RADLE	DISTRICT 5		x		
DELICIA HERRERA	DISTRICT 6		x		
ELENA K. GUAJARDO	DISTRICT 7		x		
ART A. HALL	DISTRICT 8		x		
KEVIN A. WOLFF	DISTRICT 9		x		
CHIP HAASS	DISTRICT_10		x		
MAYOR PHIL HARDBERGER	MAYOR		x		

MEETING OF THE CITY COUNCIL

ALAMODOME
ASSET MANAGEMENT
AVIATION
CITY ATTORNEY
MUNICIPAL COURT
REAL ESTATE
REAL ESTATE (WOOD)
RISK MANAGEMENT
CITY MANAGER
SPECIAL PROJECTS
CODE COMPLIANCE
COMMERCIAL RECORDER
COMMUNITY INITIATIVES
CONVENTION AND VISITORS BUREAU
CONVENTION CENTER EXPANSION OFFICE
CONVENTION FACILITIES
CONTRACT SERVICES
COUNCIL OFFICES
CULTURAL AFFAIRS
CUSTOMER SERVICE/311 SYSTEM
DEVELOPMENT SERVICES
HOUSE NUMBERING
LAND DEVELOPMENT SERVICES
TRAFFIC & DRAINAGE PLAN REVIEW
ECONOMIC DEVELOPMENT
ENVIRONMENTAL SERVICES
SOLID WASTE
EXTERNAL RELATIONS
PUBLIC INFORMATION OFFICE
FINANCE - DIRECTOR
FINANCE - ASSESSOR
FINANCE - CONTROLLER
FINANCE - GRANTS
FINANCE - TREASURY
FIRE DEPARTMENT
HOUSING AND COMMUNITY DEVELOPMENT
HUMAN RESOURCES (PERSONNEL)
INFORMATION SERVICES
INTERNAL REVIEW
INTERNATIONAL AFFAIRS
LIBRARY
MANAGEMENT & BUDGET (OFFICE OF) OMB
MAYOR'S OFFICE
METROPOLITAN HEALTH DISTRICT
MUNICIPAL CODE CORPORATION
MUNICIPAL COURT
NEIGHBORHOOD ACTION
PARKS AND RECREATION
MARKET SQUARE
YOUTH INITIATIVES
PLANNING DEPARTMENT - NEIGHBORHOOD PLNG;
URBAN DESIGN/HISTORIC PRESERVATION
DISABILITY ACCESS OFFICE
POLICE DEPARTMENT
GROUND TRANSPORTATION
PUBLIC UTILITIES
PUBLIC WORKS DIRECTOR
CAPITAL PROJECTS
CENTRAL MAPPING
ENGINEERING
PARKING DIVISION
REAL ESTATE DIVISION
TRAFFIC ENGINEERING
PURCHASING AND GENERAL SERVICES
SAN ANTONIO WATER SYSTEMS (SAWS)
VIA

AGENDA ITEM NUMBER:

2-1

DATE:

MAR 23 2006

MOTION/SECOND:

McNeil / Berg

ORDINANCE

2006-03-23-0406

RESOLUTION NUMBER:

ZONING CASE NUMBER:

22005282CD

TRAVEL AUTHORIZATION:

DI

NAME	ROLL	AYE	NAY
ROGER O. FLORES District 1			
SHEILA D. MCNEIL District 2			
ROLAND GUTIERREZ District 3			
RICHARD PEREZ District 4			
PATTI RADLE District 5			
DELICIA HERRERA District 6			
ELENA GUAJARDO District 7			
ART A. HALL District 8			
KEVIN A. WOLFF District 9			
CHRISTOPHER "CHIP" HAASS District 10			
PHIL HARDBERGER Mayor			

From: Logan Sparrow (DSD) <Logan.Sparrow@sanjose.gov>
Sent: Monday, July 3, 2017 1:01 PM
To: 'John Larcade'
Subject: RE: clarification on 205 Ostrom

If they want to build a single-family home on each lot, then so long as each lot meets the minimum size standards and setbacks, they could have an ADU on each lot, too.

From: John Larcade [mailto:jlarcade@hotmail.com]
Sent: Monday, July 03, 2017 12:10 PM
To: Logan Sparrow (DSD)
Subject: [EXTERNAL] clarification on 205 Ostrom

Thank you for responding to my zoning questions re: 205 Ostrom on Friday.

However, your answer to my first question is a bit confusing. The second sentence

contradicts the first sentence. The question was:

1. Can we construct a granny flat on Lot 1 and on Lot 2 ? You answered: You could develop two units or a duplex on the property, with one accessory dwelling unit on each lot, and an accessory dwelling unit on each lot -- the lots need to be 4,000 square feet in area, and

My clients would like to build a SF house on each lot and if permissible an accessory dwelling unit on each lot. They plan as a large family to occupy both lots.

So the question remains can they build one or two accessory dwellings?

Thank you for your attention to this matter.

Sincerely,

John Larcade

LarcadeLarcade/ Architect and Interior Design

ling unit. Because the lot is already platted as Lot 1
I meet all setbacks.

and Lot 2.



River Road Neighborhood Association

To: HDRC Baord Members,

May 11, 2017

The Historic Resources Committee of the RRNA has reviewed the proposed plans for new construction at 205 Ostrom in the River Road Neighborhood, and agreed that the project was appropriate for the nighborhood and would be a great improvement over the existing abandoned house at that address. We urge the HDRC Board to give this project conceptual approval.

Sincerely,

Darla Piner
Chairman
Historic Resurces Committee
River Road Neighborhood Association

River Road Historic Committee

William Sibley, Darla Piner, Co-Chairs

535 E. Craig Pl, San Antonio, TX 78212

Sibley: 210-323-2968, Piner: 210-738-9256

wsibley@aol.com

epinertex@gmail.com

01/17/2017

To the San Antonio HDRC Board,

Re: 205 Ostrom Drive

Having reviewed the plans presented to us by Tobias and Mai Stapleton, for their property located at 205 Ostrom Drive, we find them fitting and acceptable.

We agreed with their plans for demolition of the existing structures.

Sincerely,

W. Sibley, D. Piner; Co-Chairs

RIVER ROAD HISTORIC COMMITTEE



Ed & Darla

iMessage

Mon, May 15, 9:20 PM

Ed, thanks so much for the call back, it cheered me up. it's this sort of community with people like you and your wife and community spirit that we look forward to being part of in the near future. Kind Regards Toby

Delivered

Wed, May 17, 1:24 AM

I'm sorry to say that there has been a change of position on the Historic Committee. Due to very real concerns that supporting your demolition plans could cause damage to the long, difficult, and expensive legal efforts with the Lindell project which we can't jeopardizewe just can't risk it.



iMessage



Summary — with over 300 pages in the file to date the need to summarize the major elements is required

Item	Detail	Requested	Provided	Compliance	Comments
Applicant – provided all relevant documentation in compliance with the guidelines	Additional elements were issued to further support application	Yes	Yes	Yes	At all times the applicant provided further information upon request – evidence by density of file – closed out
Community engagement –support for new design	Support received	Yes	Yes	Yes	Evidence provided & recognized in the initial stages of application – closed out
Zoning – Compliance	Letter received confirming zoned for multiple dwellings by City	Yes	Yes	Yes	Evidence provided – closed out
Committee Members visit property	Members note loss of architectural and structural significance	Yes	Yes	Yes	Evidence provided – see HRDC notes – closed out
Design of dwellings	Met the direction and completed all changes requested	Yes	Yes	Yes	Meeting design requirements -closed out
Provided detailed design specifications	Over 300 pages of documents provided for the design	Yes	Yes	Yes	No further information requests – closed out
Demolition is requested as a result of engineers advise on structure and loss of architectural significance by previous owner	3 Structural Engineers confirmed structure unsafe / unfit for renovation + Not a landmark building under classification	Yes	Yes	Yes	No Engineer on HDC Panel / client provided the evidence by independent and suggested engineers - Charter Compliance ?
Set back compliance	Fully complies with the design requirements	Yes	Yes	Yes	Evidence provided – closed out
Landscaping	Landscape plan provided	Yes	Yes	Yes	Evidence provided – closed out

HDRC Committee Charter notes:

Section 35-803. B-13

To create committees of no more than four (4) persons from among its membership to meet at times other than regular commission meetings, to consider specified categories of applications; and to make recommendations to the full commission

Please see the DRC notes from Jan 9th 2019 Official recommendation per charter

APPLICANT: AIDEN MULHEEN/TOLAS STAPLETON

DRC Members present: MICHAEL GOARINO, EDUARDA CARZA, SCOTT CARPENTER

Staff present: EDUARDA HALL

Others present: _____

REQUEST: DEMOLITION WITH NEW CONSTRUCTION OF TWO, TWO STORY, SINGLE-FAMILY RESIDENTIAL STRUCTURES + TWO ACCESSORY STRUCTURES

COMMENTS/CONCERNS: IS: OVERVIEW OF CONDITION OF THE HISTORIC STRUCTURE, OVERVIEW OF STRUCTURAL ENGINEERS' REPORTS (THREE REPORTS TOTAL), OVERVIEW OF UPDATES TO PERMITS/NEW DESIGN, MG: CONCURS WITH STRUCTURAL ENGINEERS' OPINIONS - VERY SIGNIFICANT DAMAGE PRIOR TO CURRENT OWNERSHIP, LOTS OF TERMITE DAMAGE, SETTLING, EG: BELIEVES THAT THE STRUCTURE HAS LOST ARCHITECTURAL AND STRUCTURAL INTEGRITY, IS: ONE HOUSE IS 7% SMALLER THAN THE OTHER (3' HARBORVIEW AND APPROXIMATELY 3' SHORTER), MG: OPINIONS REGARDING EXISTING TREES.

MG: CONSTRUCTION DOCUMENTS GENERALLY LOOK APPROPRIATE, CONSIDER ADDING PENETRATION TO NON-SEPARATED FACADES.

MG/EG: DISCUSSION REGARDING PREVIOUS CONCERNS.

EG: PROPOSED MASSING IS APPROPRIATE.

SL: WILL A MORE DETAILED SITE PLAN BE PROVIDED? [YES]

IS: MATERIALS WILL BE SALVAGED.

MG: ~~BACK~~ BACK SUETING APPROPRIATE. SL: VENTS NEEDED PER CODE.

1. MG: Concur with Structural Engineer's (3) Opinions Very Significant Damage prior to Current ownership Lots of Termite damage settling.
2. EG: Believes that the structure has lost architectural and structural integrity
3. MG: Construction documents generally look appropriate, (updated design submitted)
4. EG: proposed Massing is appropriate

HDRC Committee Charter notes:

Section 35-803. C-13 Composition and Qualifications **NO STRUCTURAL ENGINEER REQUIREMENT**

One (1) representative shall be selected from each of the following disciplines: **architecture** (licensed in the State of Texas), **history, architectural history, archaeology, and planning.**

Memberships from these five (5) disciplines are required in order to achieve compliance with the U.S. Historic Preservation Act, as well as applicable Texas law.

One (1) representative from each of the following disciplines: **landscape architecture** (licensed in the State of Texas), and a **professional in the field of public art or art history.** Membership from these two (2) disciplines are required to provide design expertise related to the **Riverwalk and public art.**

C.

Four (4) individuals in business/professional categories which shall include disciplines and backgrounds in **real estate/commercial development, economic development, law, banking or accounting, or civil engineering** and in a general category which shall include experience or **background in urban design, visual arts, public art, neighborhood representation, or design enhancements, or who shall be a citizen-at-large.**

HDRC Committee Charter notes:

Section 35-803. H-5 Roberts Rules of Order

Any question of order or procedure not covered by these rules shall be decided according to the latest edition of Robert's Rules of Order, insofar as they may be applicable.

Section 35-803. i

Meetings of Commission Committees. All decisions of committees shall be submitted to the commission at its next regular meeting. Any applicant who is dissatisfied with a recommendation by a committee shall have the right to appeal to the full commission at its next regularly scheduled meeting. Minutes of committee proceedings showing the vote shall be filed in the office of the city historic preservation officer and shall be a public record.

Section 35-803. d

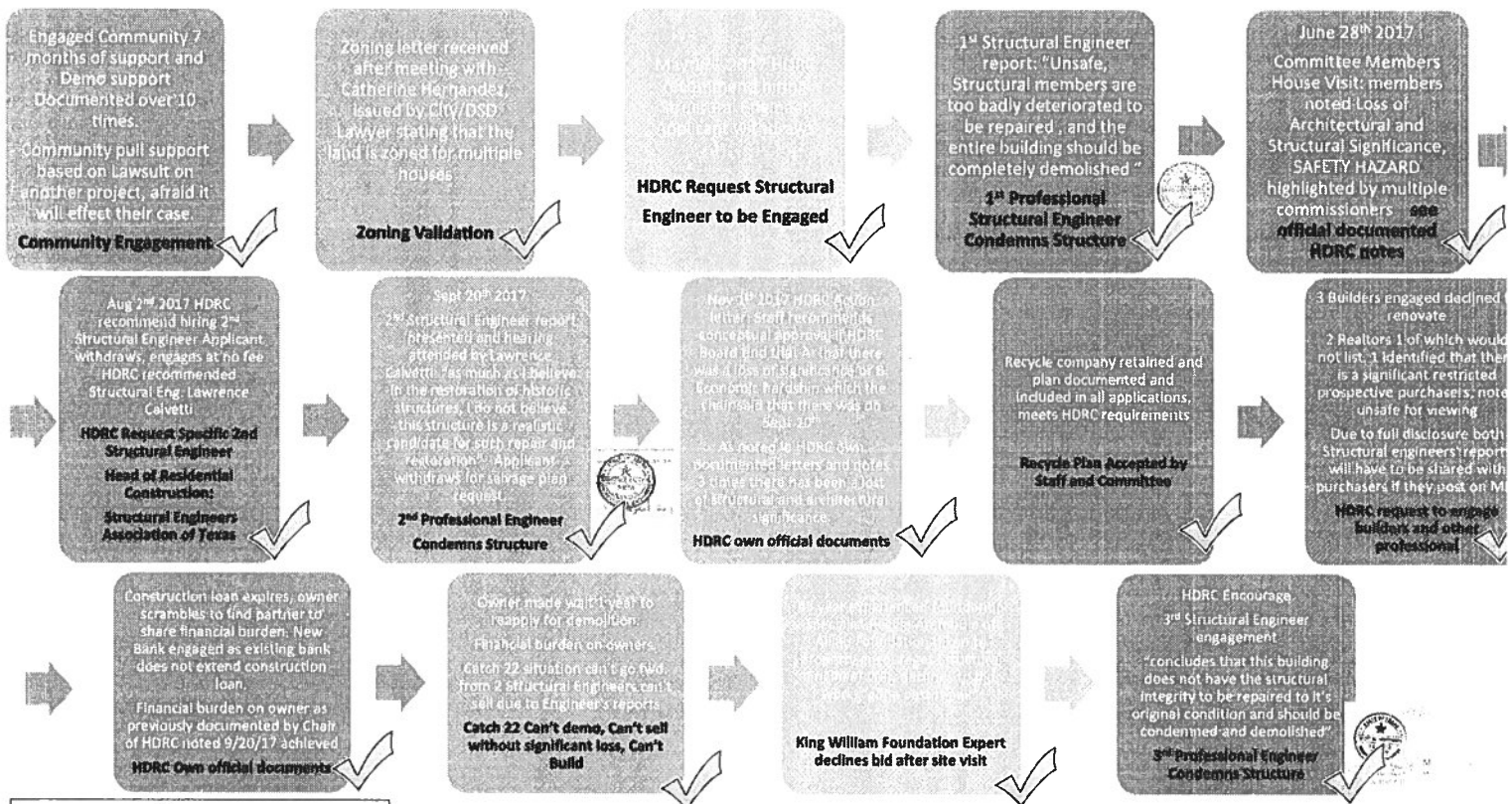
Duties and Functions. The commission shall serve to assist in an advisory capacity to the City of San Antonio directors of parks and recreation, **planning** and community development, development services, code enforcement services, public works, arts and cultural affairs,

Sec. 35-805. - Administration

The administrative official for the purposes of this chapter shall be the city manager, the deputy city managers, the assistant city managers, and department heads insofar as they may be charged by the city manager and the provisions of this chapter with duties and responsibilities with reference thereto. Without limitation, the directors of planning and community development, public works, development services and the historic preservation officer shall ordinarily administer and enforce the provisions of this chapter.

The development services director shall serve as staff to the planning commission, zoning commission, and the city council except where otherwise provided by this chapter.

The planning and community development director shall serve as a regular technical advisor to the planning commission.



Legend: ✓ Fully Complied



HDRC Findings from Site Visit Supportive of Demolition

- Site visit by HDRC Board members

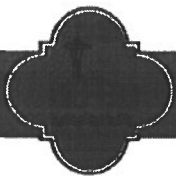
EL STABILITY OF THE WOOD IS QUESTIONABLE - PROBABLE LOSS OF ALL STRUCTURAL INTEGRITY; VERY LITTLE OF THE STRUCTURE IS SALVAGEABLE.

AME SOME WALLS HAVE OBVIOUS STRUCTURAL ISSUES.

AL WOULD LIKE TO SEE REPORTS ON STRUCTURAL INTEGRITY OF FOUNDATION.

EL THE CONDITIONS OF THE ROOF STRUCTURE IS CONCERNING.

EL + JL: SUPPORTIVE OF DEMOLITION - SALVAGE PLAN IS NECESSARY; WINDOWS AND SIDING. FUNGUS IS A MAJOR PROBLEM WITH STRUCTURE.



HDRC Findings from Committee Chair Site Visit

- Site visit by HDRC Chair
- Approval for Conceptual demolition/design
- The record does not clearly reflect the neighborhood members that are in support of demolition

COMMENTS/CONCERNS: M6: QUESTIONS REGARDING APPEARANCE OF
EACH STRUCTURE - WILL THEY APPEAR AS SINGLE-FAMILY? (YES) - PER JL.
M6: WHAT MATERIALS ARE BEING CONSIDERED? JL: WOOD SIDING, BOARDS
AND BATTEN SIDING. M6: ASSUMING THAT THE PROPOSED DEMOLITION
IS APPROPRIATE, THIS SOLUTION FOR NEW CONSTRUCTION ON THE SITE
IS AN APPROPRIATE SOLUTION. THE SCALE IS APPROPRIATE. ANY
CONCERNS WOULD BE REGARDING THE EXISTING HISTORIC STRUCTURE
AND ANY CONTRIBUTING CHARACTERISTICS.

COMMITTEE RECOMMENDATION: APPROVE ☒ DISAPPROVE ☐
APPROVE WITH COMMENTS/STIPULATIONS:

APPROVED FOR CONCEPT


Committee Chair Signature (or representative)

4/25/17
Date

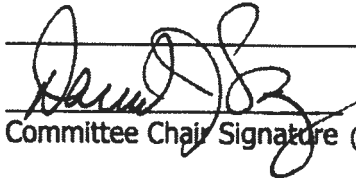


HDRC Findings from Site Visit Support Structural Engineers

- Site visit by HDRC Board members, Opinion is Loss of Significance

DL: APPEARANCE IS CONSISTENT WITH THE ENGINEER'S REPORT; OPINION
IS OF LOSS OF SIGNIFICANCE. EG: LOSS OF STRUCTURAL INTEGRITY. JG:
COMPLETE LOSS OF STRUCTURAL INTEGRITY - MATERIALS COULD BE SALVAGED.
EG + JG: SAFETY HAZARD AS THE STRUCTURE.

COMMITTEE RECOMMENDATION: **APPROVE [] DISAPPROVE []**
APPROVE WITH COMMENTS/STIPULATIONS:



Committee Chair/ Signature (or representative)

Date

- **HDRC Staff Recommendation Nov 1st Action Letter**

If the HDRC finds that a loss of significance has occurred or finds that the criteria for establishing an unreasonable economic hardship have been met, then staff makes the following recommendations regarding the requested new construction: Staff recommends conceptual approval of items #2, #3, #4, #5, the construction with stipulations. (stipulations that we agree to)

Loss of significance has occurred and was documented by HDRC:

It is shown in the Action letter page 1 and documented twice through on site notes.

- Findings General Findings item b. DESIGN REVIEW COMMITTEE • A second site visit was conducted by the DRC on June, 28, 2017. At that site visit, committee members viewed the structure and commented on its structural condition. **Committee members noted at that time that there was a loss of architectural and structural significance.**



Supporting Demolition

- **Engaged Neighborhood at multiple board meetings. OCT 2018 LAST ENGAGEMENT**
- **Hired a local Architect that lives in the neighborhood, to generate a sympathetic design to replace abandoned (23yrs) building.**
- **Engaged the local neighborhood historic committee**
 - **Received two letters of support of demolition from neighborhood committee**
- **Identified that the house has undergone significant and irreversible changes , not caused by the owner. Establishing a Loss of Significance**
- **Received 3 Structural Engineers Reports condemning the building**
- **Received 3 Builders Letters stating that they can not renovate the building**
- **Received 3 Real Estate letters, 1 clearly stating they could not list on MLS, 2 stating that the listing would be nearly impossible to sell at a profit based on HDRC Demolition Decline & Structural Letters on public record condemning the building.**



Structural Engineer's (2) Findings Support Demolition

- Per a request by the HDRC a **Structural Engineer (Paul Koehler Brown)** was retained and the report was issued, stating "the entire structure should be completely demolished"
- A neighbor hired another Structural Engineer (**Calvetti and Associates**) to do an exterior observation from the road that was inconclusive
- To alleviate the neighbors' & HDRC concerns as requested by Edward Hall & HDRC Committee, I engaged (no fee) Mr. Calvetti and allowed him access to the interior, please see his report below and here are some highlights : "I did not feel comfortable venturing very far into its interior" "not Salvageable" "a closer look revealed a severely damaged structure" "near collapse" "Severely compromised" "Piers, beams, exposed walls studs and roof framing were severely jeopardized" "I do not believe this structure is a realistic candidate for such repair and restoration"
- Mr. Calvetti attended the HDRC committee meeting and Spoke to encourage demolition again for no fee.
A THIRD ENGINEER ENGAGED SEE REPORT ATTACHED (SAME RESULT)

HDRC Findings on Structural Reports that Support Demolition

- HDRC Opinion based on reviewing both Structural Engineers Reports
- "The HDRC finds that Neither Report Recommends Repair"

Based on the on-site observations and our structural experience, it is our opinion that the existing house structure is unsafe for habitation, the structural members are too badly deteriorated to be repaired, and the entire structure should be completely demolished. If you have any questions, please contact me.

Respectfully Submitted,

David O. Brown
5/31/17

David O. Brown, P.E.
Principal
PAUL-KOEHLER-BROWN
Texas Firm Reg. No. F-11103
512-231-8910
dbrown@pkbrown.com



MAE concludes that this building does not have the structural integrity to be repaired to its original condition and should be condemned and demolished.

CALVETTI
ASSOCIATES
River Road HDRC
205 Oelrich Street

August 17, 2017
Page 3

Therefore, as much as I believe in the restoration of historical structures, I do not believe this structure is a realistic candidate for such repair and restoration.

If you have any comments or questions, please don't hesitate to contact my office.

Lawrence Calvetti, P.E., SECB





5690 Easterling #4, San Antonio, Texas 78251
TX 78212

REF: 205 Ostrom Drive, SA

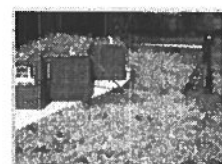
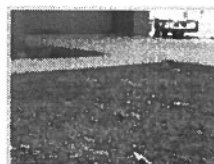
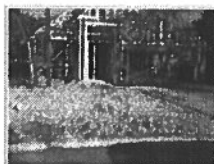
Mr. Mulhern,

Upon our previous inspection of the building it is in our opinion that approximately 70-80% the flooring, window frames and other wood materials appear to be rotted or infested. The structural engineers' reports clearly confirm my opinion that this building is rotten inside and out. When houses experience this many years of neglect, the wooden materials are subject to great scrutiny. When infested, they require tremendous chemical treatment to ensure we are not potentially contaminating another site. More important in this case is our inability to remove the materials as the rot destroys the materials during removal process, prior to even going on the trucks. What we can suggest upon review once the building is opened/demolished is the following, relating to somewhat solid wood that will be separated by your demo contractor.

Lumber and Other Wood Scraps:

Ground into wood chips and mulch that can be used for:

- Landscape mulch
- Tree root zone protection
- Erosion control
- Walk paths
- Soil amendment



Plumbing fixtures and copper (though there looks to have at quite a bit removed or stolen) will be assessed for standard recycling procedures. Any fixtures found to be unique and or antique will be made available to sources for restoration in areas of historical value such as the Monta Visa area.

By our count we saw there are 20 wooden windows some hidden behind those "industrial looking shutters". Windows and associated hardware (weights, pulleys, etc) will be assessed for historical value. Again, those items will be made available to sources catering to historical preservation. Along with the metal shutters and other

miscellaneous metals, nails are automatically separated from scrap wood during grinding. We will collect the separated nails and other discarded metals and deliver them to a metal recycler(s) for fair market value.

The roof looks like multiple layers placed on top of each other. With the wood rot and hence the sagging, we can suggest the following.

Roofing Tiles and Asphalt Roofing Shingles:

Ground and used as:

- ◆ Aggregate
- Fill



I am fully prepared to go over any questions about the above plan proposals. I hope the committee reviews the proposed salvage/recycle plan and see's that we can be a service to the community as well as the environment. As the previous owner paid the non-refundable retainer I have as discussed agreed to transfer this over to SEADC, I will not be charging you for any future committee meeting attendance. I can certainly appreciate your dedication to this project and personally appreciate your commitment to recycle and salvage of all parts materials.

I'm not familiar with any HDRC recycle plan(s) on structures. Therefore can not elaborate on their concerns or what they wanted to see. Recycling, while a fantastic concept, cannot be realized on all materials. However, we will help you through this process!

Thank you for the retaining our services and we hope this is enough information for the amount of recycling we can do. We will obviously have a much better grasp of quantities and quality as we begin the process.

Sincerely,

John Cammack, President/Owner