

# HISTORIC AND DESIGN REVIEW COMMISSION

May 01, 2019

**HDRC CASE NO:** 2019-212  
**ADDRESS:** 5919 W COMMERCE ST  
**LEGAL DESCRIPTION:** NCB 8242 BLK 1 LOT E 607 FT OF BLK 20.00AC  
**ZONING:** R-6  
**CITY COUNCIL DIST.:** 5  
**APPLICANT:** Marc Zac  
**OWNER:** City of San Antonio - Parks/TCI  
**TYPE OF WORK:** Park improvements  
**APPLICATION RECEIVED:** April 12, 2019  
**60-DAY REVIEW:** June 11, 2019  
**CASE MANAGER:** Adam Rajper  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to carry out various park improvements.

## APPLICABLE CITATIONS:

*UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.*

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with

the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

## **FINDINGS:**

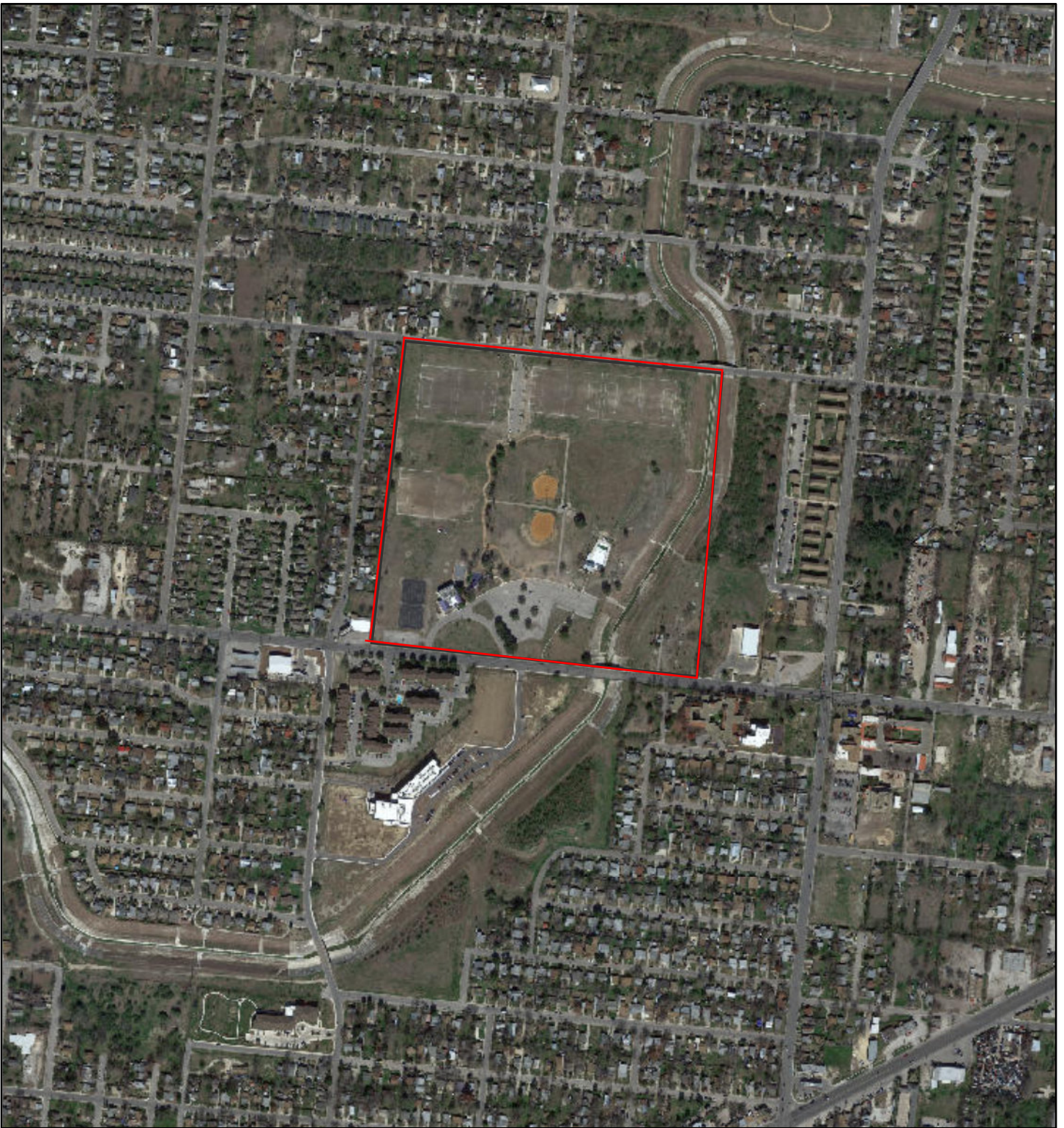
- a. The property located at 5919 W Commerce is a public park with the common name of Monterrey Park and is situated northwest of Downtown. The applicant is requesting approval for various park improvements.
- b. PARK IMPROVEMENTS – The applicant has proposed various park improvements. This will include the resurfacing of the existing basketball court and addition of new playground equipment, addition a shade canopy over the existing basketball courting, improving the parking lot, replacement of the pool shade structure with two cantilevered canvas shade structures (this will require modifications to the existing fence and benches), and upgrading of site lighting. Staff finds the proposal consistent with the UDC.
- c. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

## **RECOMMENDATION:**

Staff recommends approval based on findings a through c with the following stipulation:

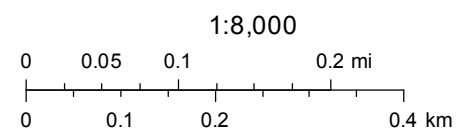
- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

# 5919 W Commerce



April 22, 2019

— User drawn lines



CoSA





Iglesia Fuente De Agua Viva

Church Peace Apostolic

West Mt Calvary Church

Three Amigos Grocery

Monterrey Park

5919 West Commerce Street

World of Knowledge Early Learning Center

Dollar General

Monterrey Park

W Commerce St

W Commerce St

W Commerce St

W Commerce St

W Commerce St

W Commerce St

Buena Vista St









April 12, 2019

City of San Antonio  
Office of Historic Preservation  
1901 South Alamo  
San Antonio, Texas 78204

To whom it may concern:

The following is a detailed description of the improvements proposed for Monterrey Park to be considered appropriate by the Office of Historic Preservation.

1. Resurface the existing basketball court and provide new goals.
2. Add a shade canopy over the existing basketball court with lighting.
3. Improve the existing ADA parking spaces adjacent to the community center.
4. Remove existing shade structure at pool and replace with two cantilevered canvas shade structures. This includes modifications to the existing fence and benches.
5. Replace existing lighting around the ballfields with new poles and LED fixtures.

Please let us know if you have any questions or comments regarding the proposed improvements at Monterrey Park.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Marc R. Zak', with a stylized flourish at the end.

Marc R. Zak, PLA

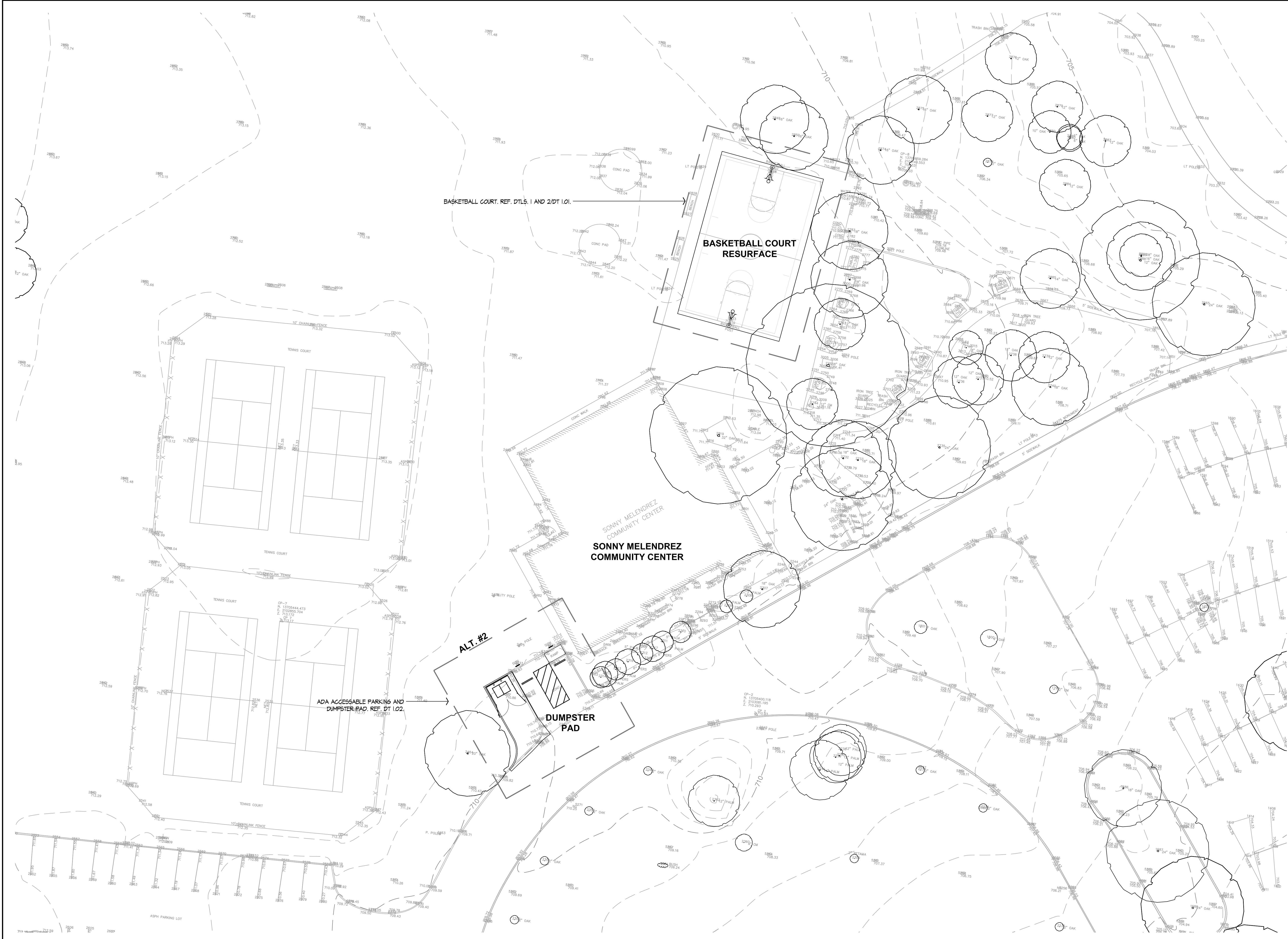










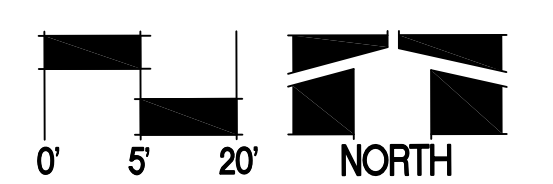


Terra design group, inc.  
2015 n.e. loop 410, the tienda building  
san antonio, texas 78217  
210.220.1400  
wheard@terradesignsa.com

# MONTERREY PARK

5919 W. Commerce  
San Antonio, Texas 78237

| REVISION | DATE |
|----------|------|
|----------|------|



Project no: 23-01682  
Date: MARCH 29, 2019  
Sheet:

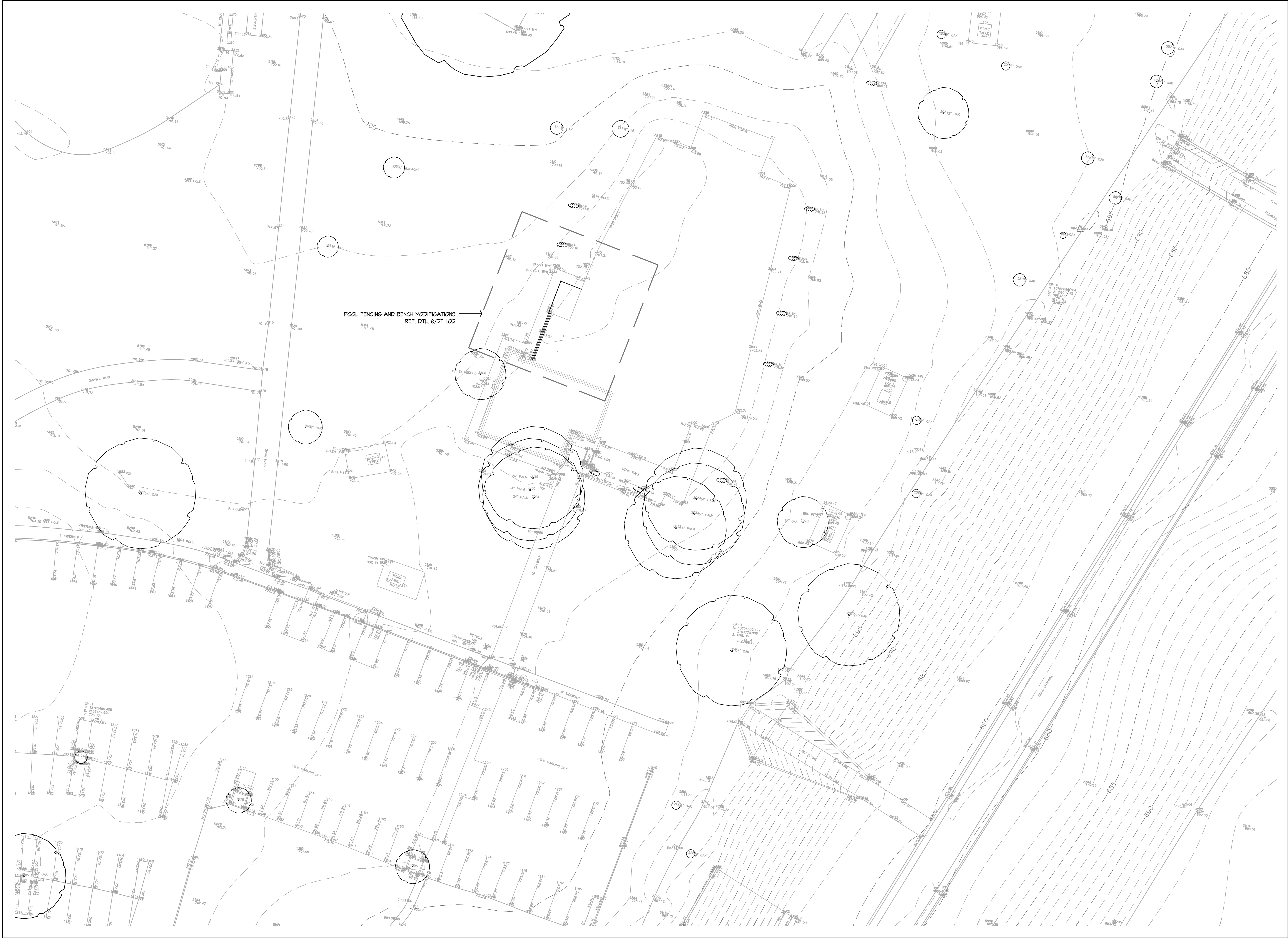
## SITE LAYOUT

# SL 1.01

CONSTRUCTION PLANS

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Last Saved By: Heard Apr 05, 2019 - 10:46am  
Layout Name: SL 1.01





DATE: April 05, 2019 - 10:05am User: wheard  
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Last Saved By: wheard April 05, 2019 - 10:45am  
Layout Name: SL 1.02



3.29.2019  
Walter H. Heard

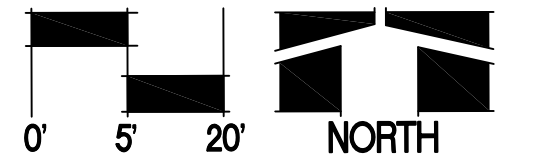


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San Antonio, Texas 78237

| REVISION | DATE |
|----------|------|
|----------|------|



Project no: 23-01682  
Date: MARCH 29, 2019  
Sheet:

## SITE LAYOUT

# SL 1.02

CONSTRUCTION PLANS





NORTH



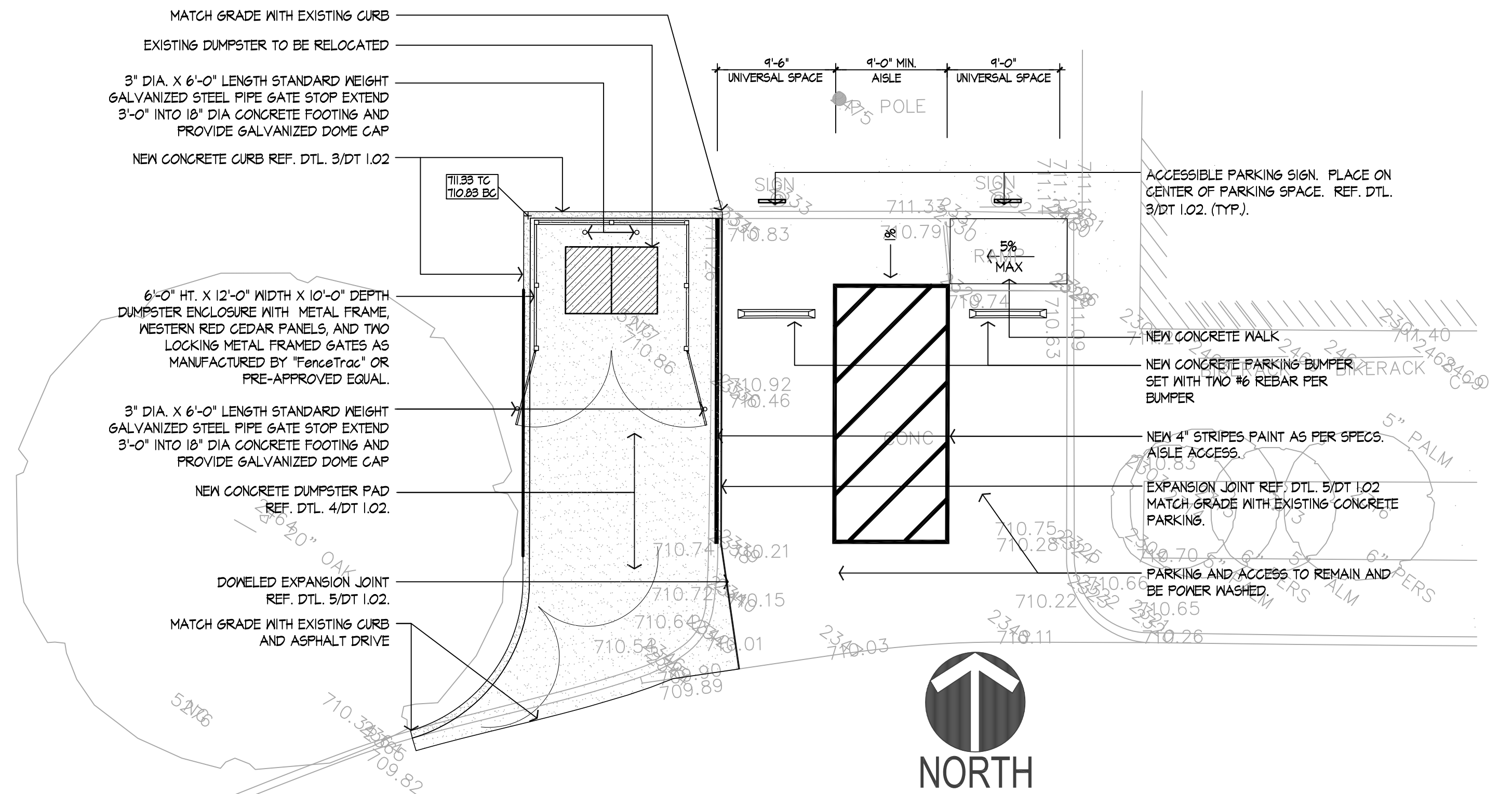




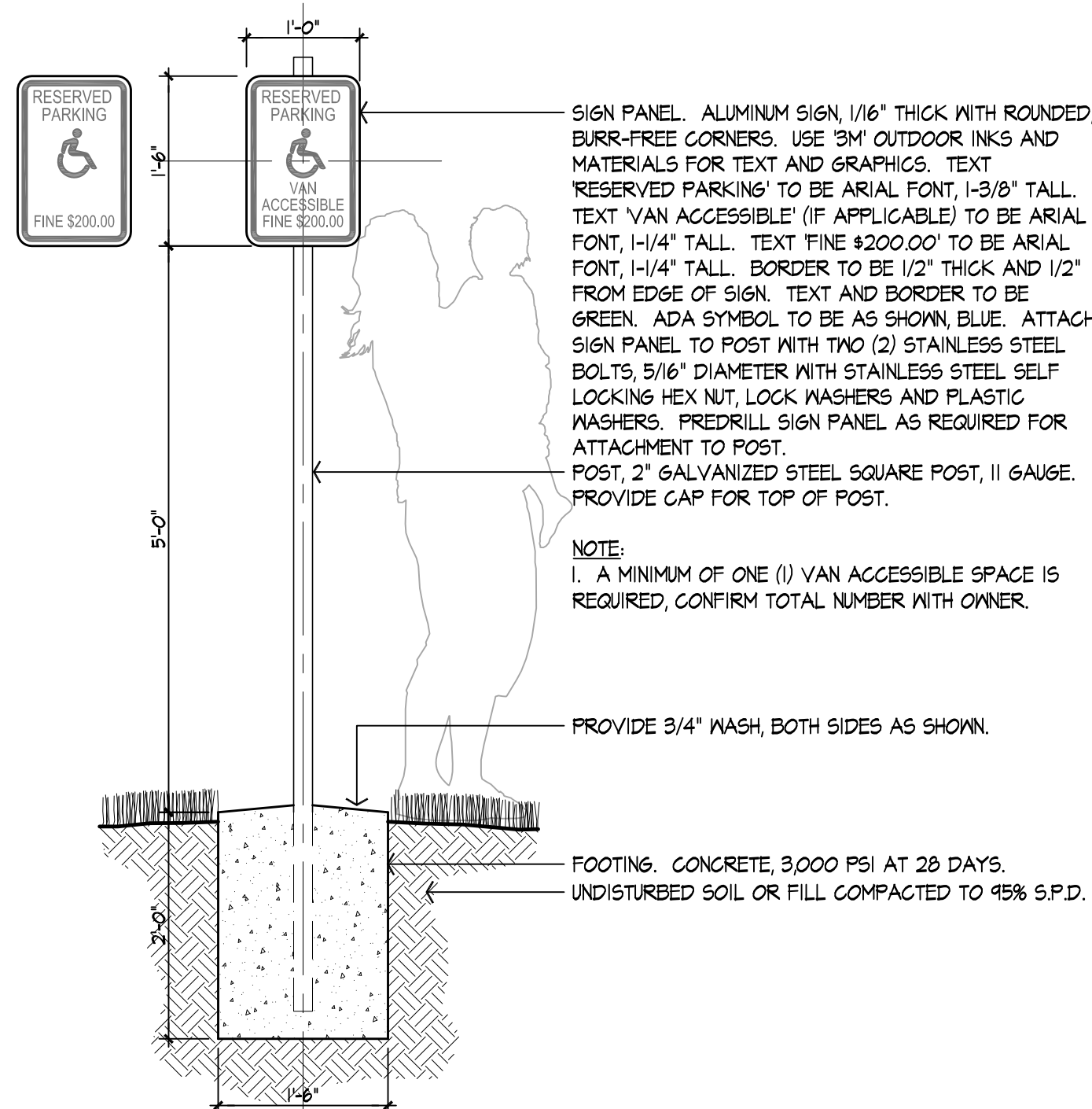
Walter H. Heard



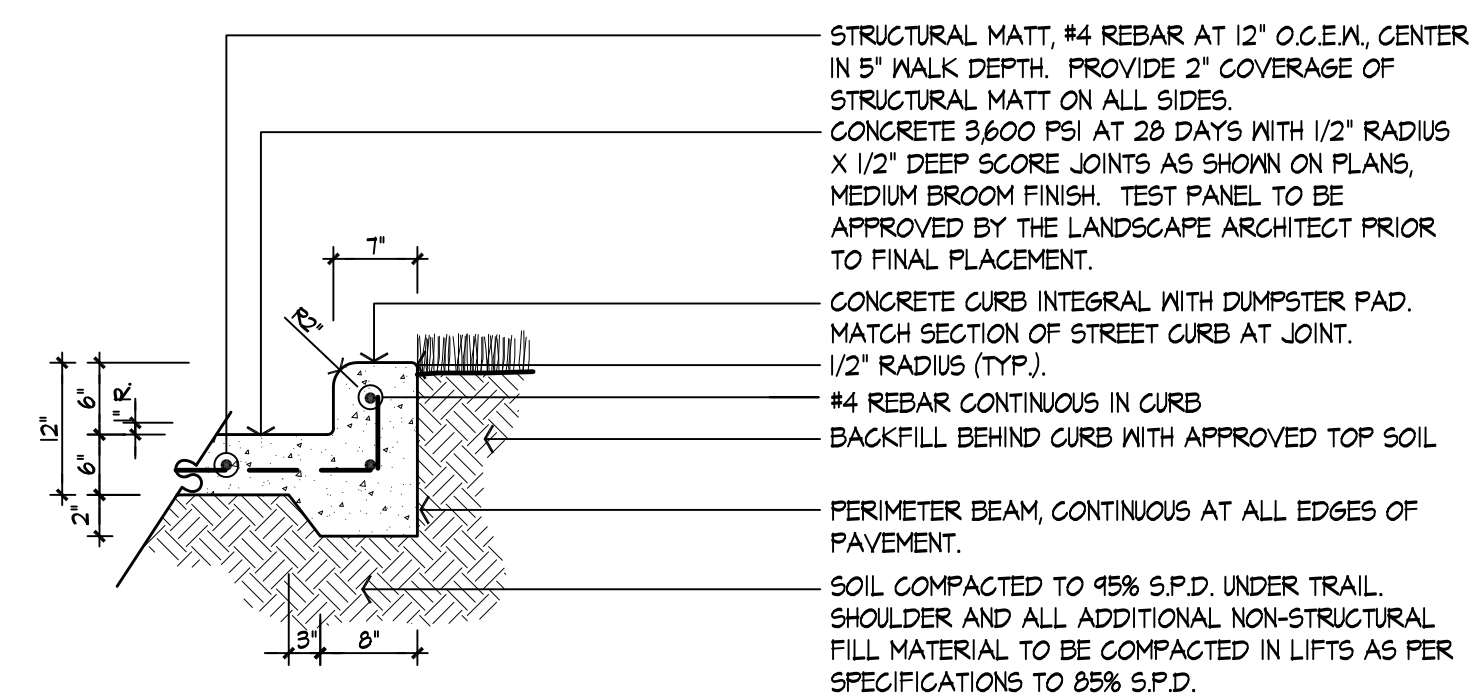
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210.220.1400  
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1 PLAN: ACCESSIBLE PARKING REPAIR & DUMPSTER LOCATION  
Scale: 1/8" = 1'-0"

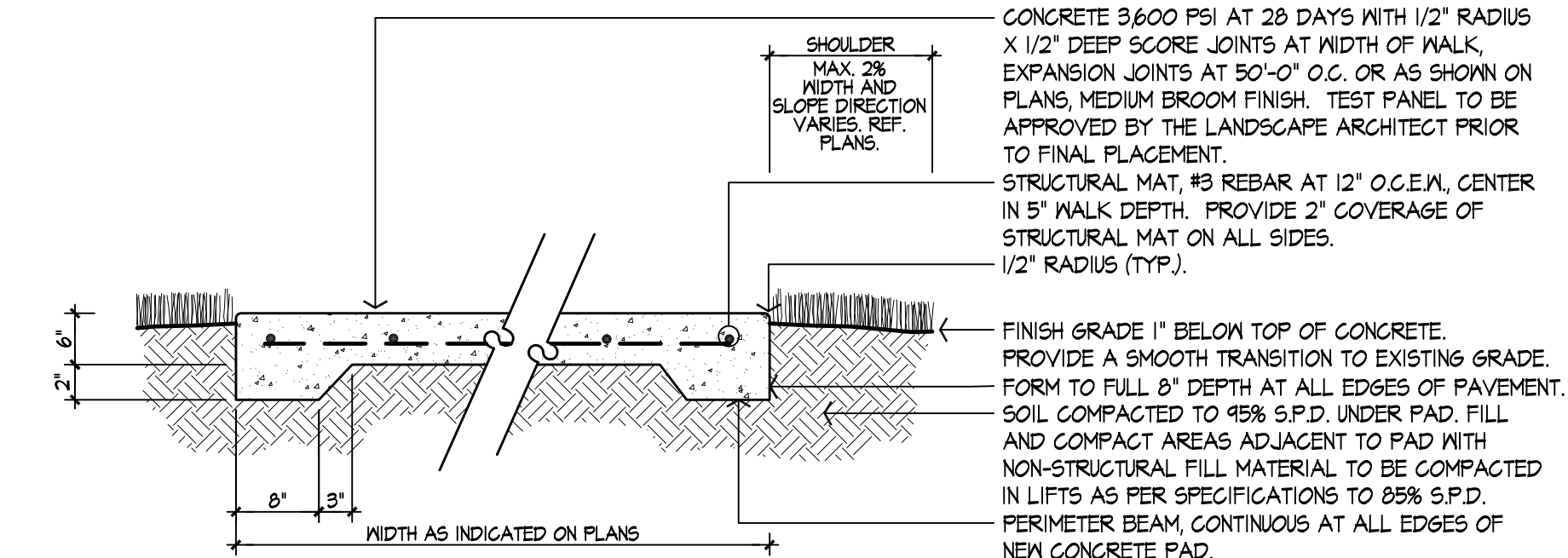


2 ELEVATION: ACCESSIBLE PARKING SIGN  
Scale: 3/4" = 1'-0"

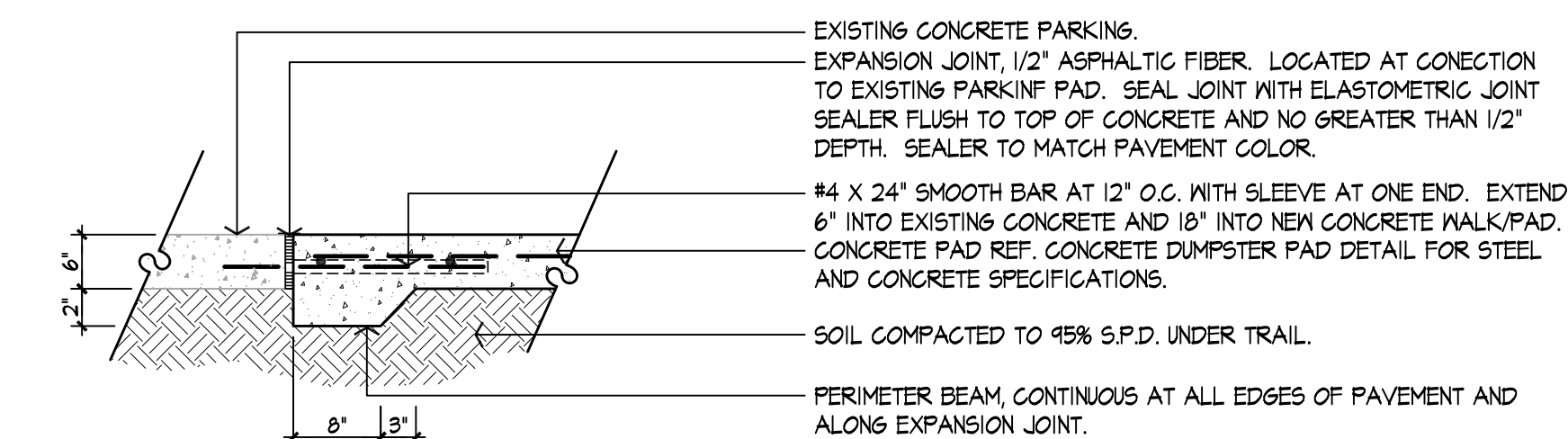


3 SECTION: DUMPSTER PAD CURB  
Scale: 3/4" = 1'-0"

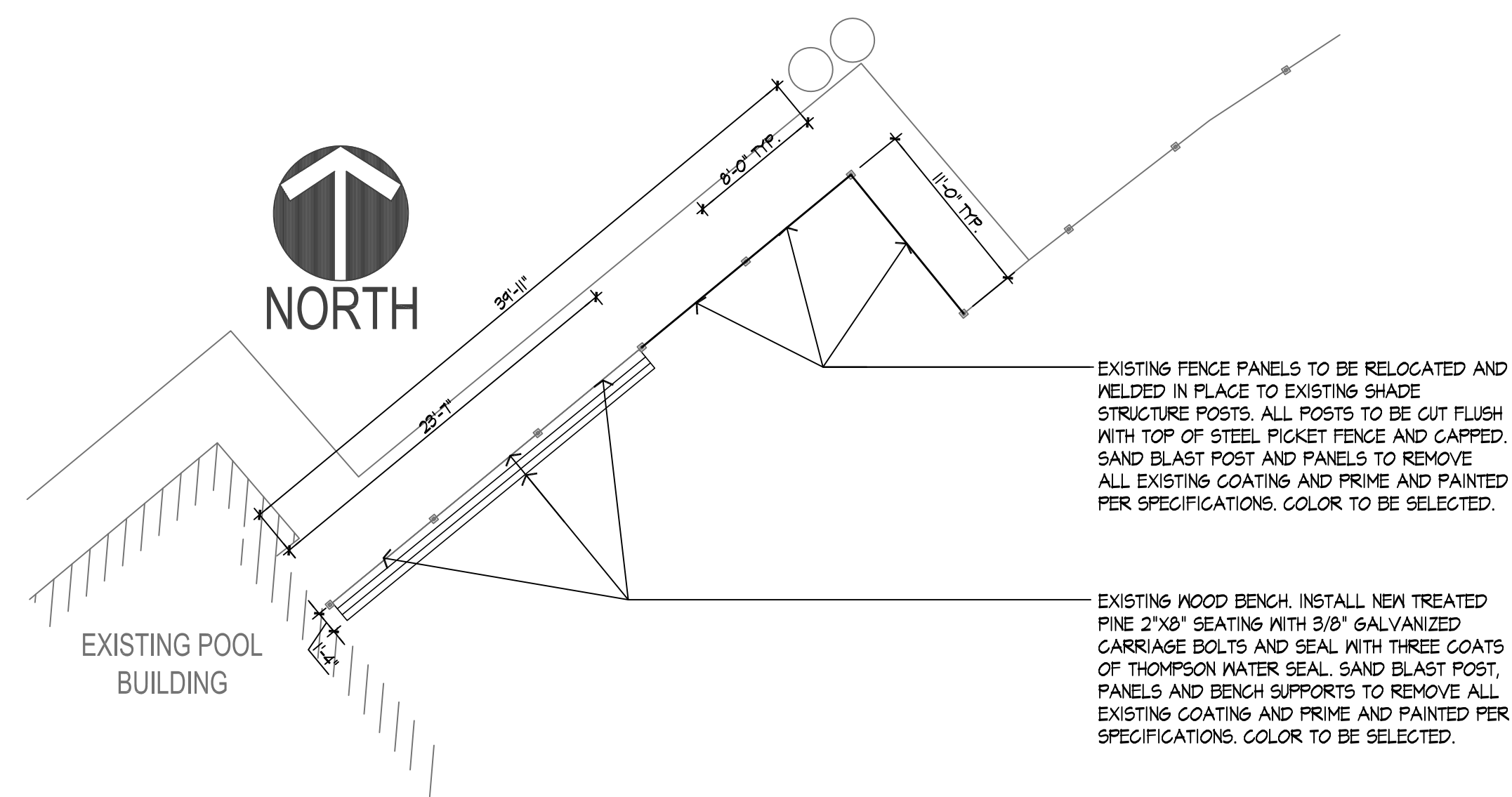
- NOTES:
1. ACCEPTABLE MATERIAL FOR FORMS: 2" NOMINAL THICKNESS LUMBER, 1" NOMINAL THICKNESS LUMBER, 3/4" THICKNESS EXTERIOR PLYWOOD OR STEEL FORMS. KERF 2" LUMBER TO FORM SMOOTH CURVES. 1" LUMBER AND 3/4" PLYWOOD MAY NOT NEED TO BE KERFED.
  2. MATERIALS NOT ACCEPTED FOR FORMS: MASONITE, PARTICLE BOARD, CHIP BOARD, OR "HARDY" TYPE MATERIAL.
  3. WHERE NEW CONCRETE PAD ABUTS EXISTING ASPHALT, SAW CUT A CLEAN STRAIGHT EDGE IN THE ASPHALT AND EXCAVATE AS REQUIRED TO ACCOMMODATE NEW CONCRETE PAD.
  4. WHERE NEW CONCRETE PAD ABUTS EXISTING CONCRETE SEE DETAIL 5/DT1.02



4 SECTION: CONCRETE DUMPSTER PAD  
Scale: 3/4" = 1'-0"



5 SECTION: EXPANSION JOINT DUMPSTER PAD  
Scale: 3/4" = 1'-0"



6 PLAN: FENCE AND BENCH MODIFICATIONS  
Scale: 1/8" = 1'-0"

## MONTERREY PARK

5919 W. Commerce  
San Antonio, Texas 78237

REVISION DATE

Project no: 23-01682  
Date: MARCH 29, 2019  
Sheet:

DETAIL SHEETS

DT 1.02

CONSTRUCTION PLANS



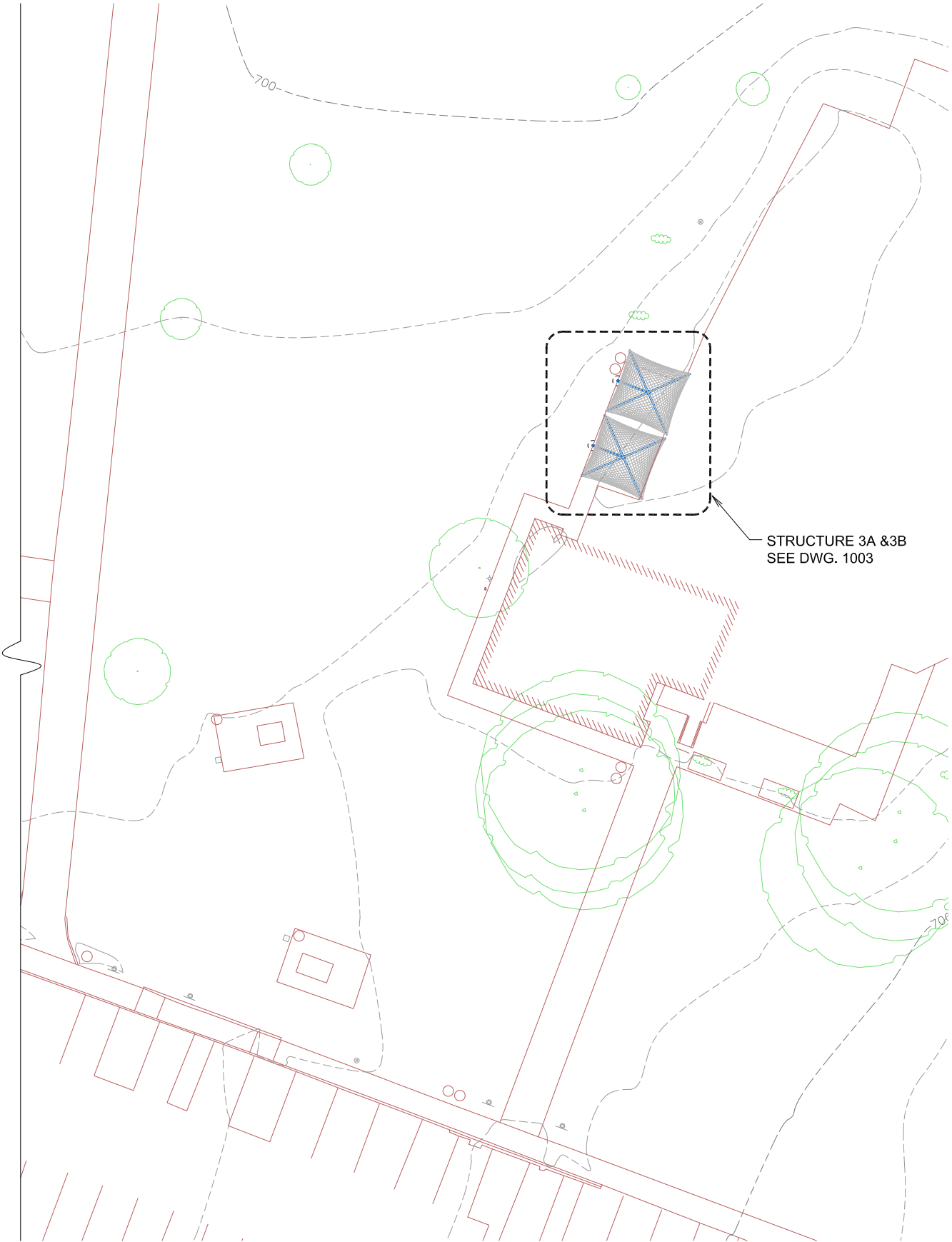
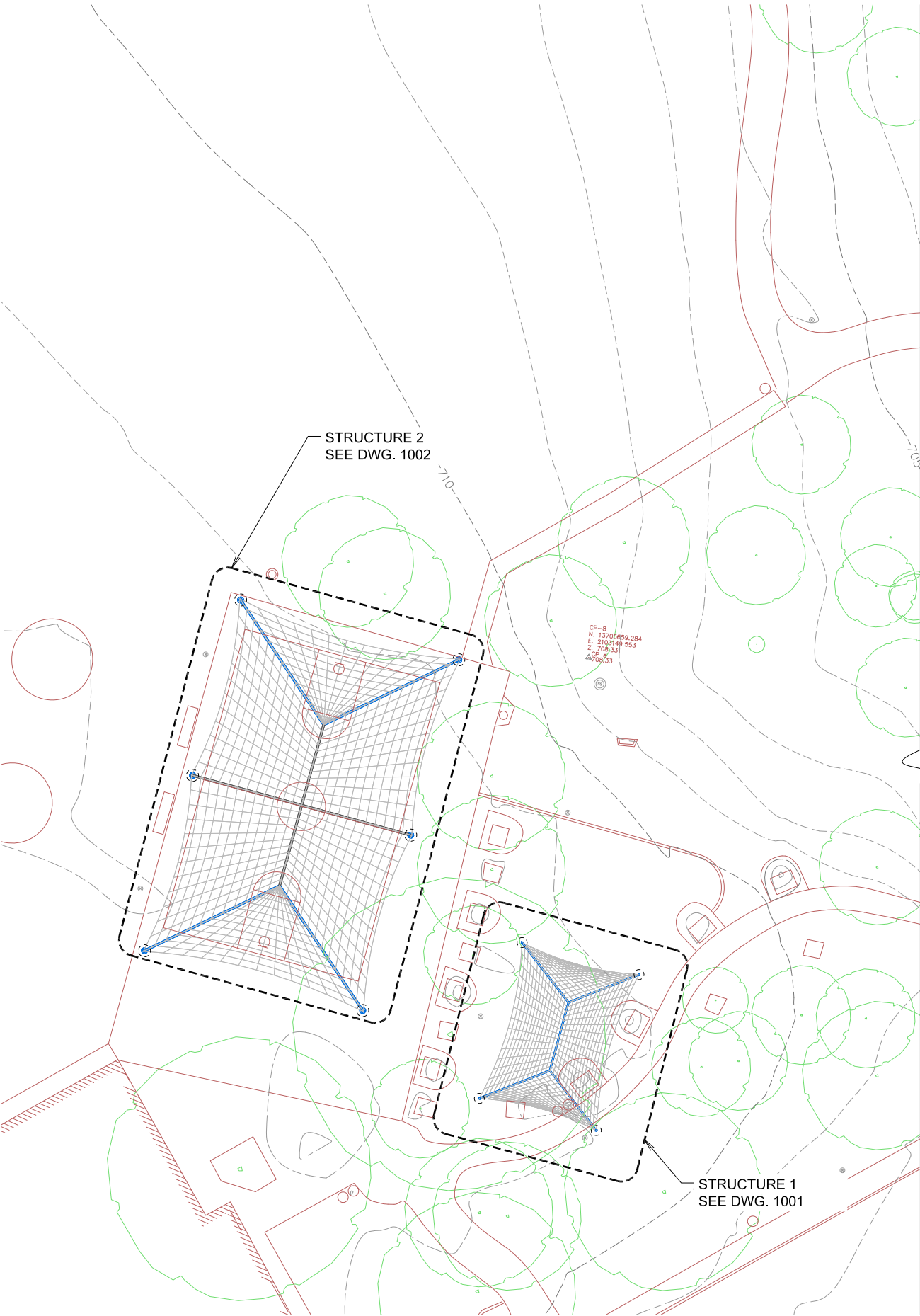




| TYPE | MANUF.   | CATALOG No.                       | MOUNTING | LAMPS |      | VOLTAGE | INPUT W | REMARKS                                                     | NOTES |
|------|----------|-----------------------------------|----------|-------|------|---------|---------|-------------------------------------------------------------|-------|
|      |          |                                   |          | #     | TYPE |         |         |                                                             |       |
| A    | LITHONIA | DSX1 LED P5 40K T4M 480 DF        | POLE     | -     | LED  | 480     | 138     | LED POLE LIGHT. COORDINATE FINISH WITH ARCHITECT.           | -     |
| B    | LITHONIA | DSX1 LED P5 40K T2M 480 DF        | POLE     | -     | LED  | 480     | 138     | LED POLE LIGHT. COORDINATE FINISH WITH ARCHITECT.           | -     |
| C    | LITHONIA | DSX1 LED P3 40K T4M 480 DF        | POLE     | -     | LED  | 480     | 102     | LED POLE LIGHT. COORDINATE FINISH WITH ARCHITECT.           | -     |
| D    | LITHONIA | DSX1 LED P3 40K T4M 277 SF        | POLE     | -     | LED  | 277     | 102     | LED POLE LIGHT. COORDINATE FINISH WITH ARCHITECT.           | -     |
| F    | LITHONIA | DSXF1 LED P2 40K WFL MVOLT THK VG | SURFACE  | -     | LED  | 120/277 | 42      | ADJUSTABLE LED FLODLIGHT. COORDINATE FINISH WITH ARCHITECT. | -     |
|      |          |                                   |          |       |      |         |         |                                                             |       |



NOTES:  
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-FINAL FOOTING TYPE AND SIZE WILL BE DETERMINED AT ENGINEERING PHASE.



CUSTOMER:  
**CITY OF  
SAN ANTONIO -TCI**

PROJECT NAME:  
**MONTERREY PARK -  
PLAYGROUND SHADE**

LOCATION:  
**5919 W COMMERCE  
SAN ANTONIO, TX 78237**

STRUCTURE TYPE:  
**VARIES**

SIZE:  
**VARIES**

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CORPORATE HEADQUARTERS  
2580 ESTERS BLVD., SUITE 100  
DFW AIRPORT, TX 75261  
800-966-5005

**CERTIFICATIONS:**  
IAS CERTIFICATION No: FA-428  
CLARK COUNTY MANUFACTURER  
CERTIFICATION NUMBER (NEVADA): 355

| REV | DESCRIPTION | DATE | DRW | CHK | ENG |
|-----|-------------|------|-----|-----|-----|
|-----|-------------|------|-----|-----|-----|

Drawn By : YH 04/03/19

Checked By : YH 04/03/19

Approved By : YH 04/03/19

DRAWING DESCRIPTION:  
**VIEWS**

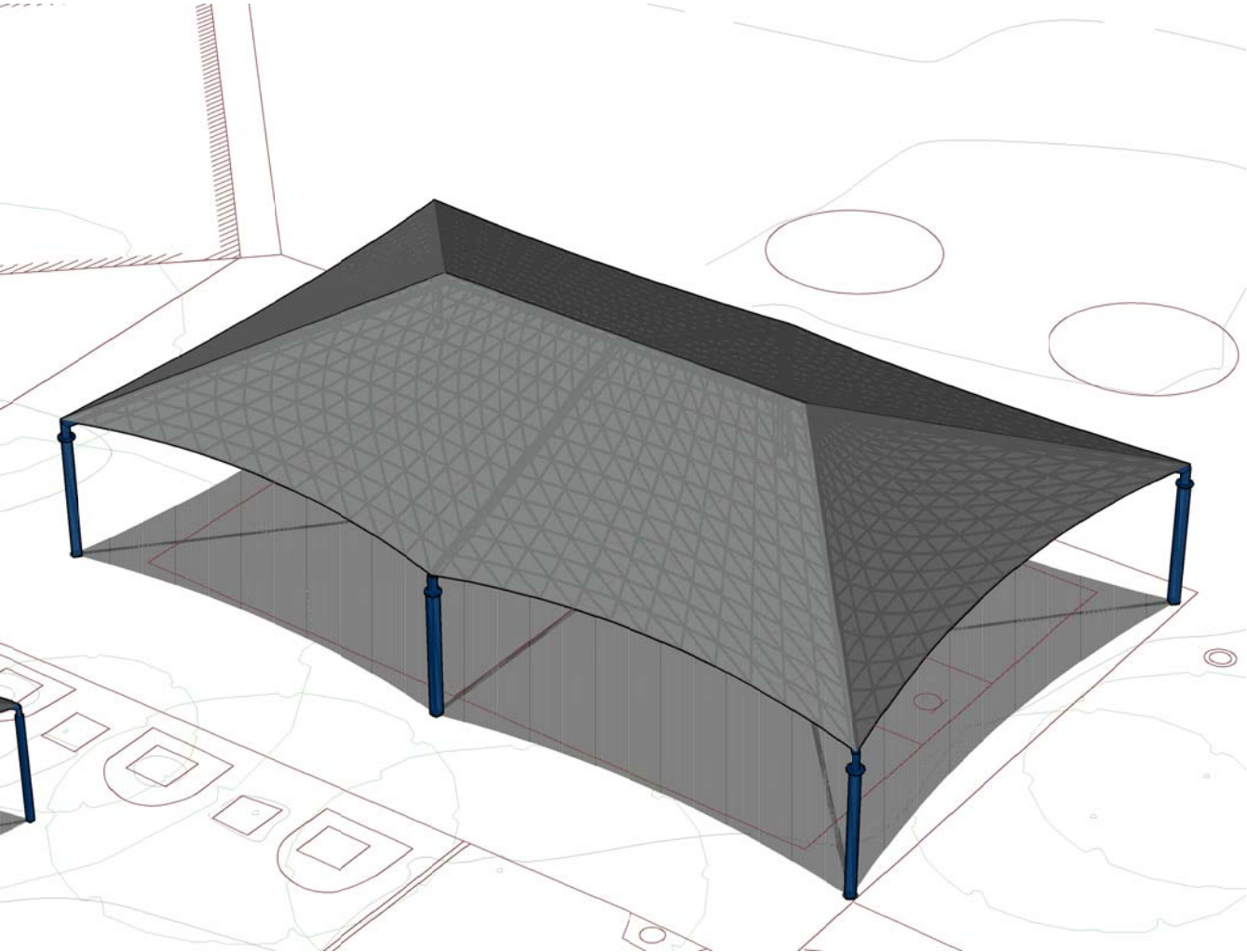
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**CON-APR-001-19**

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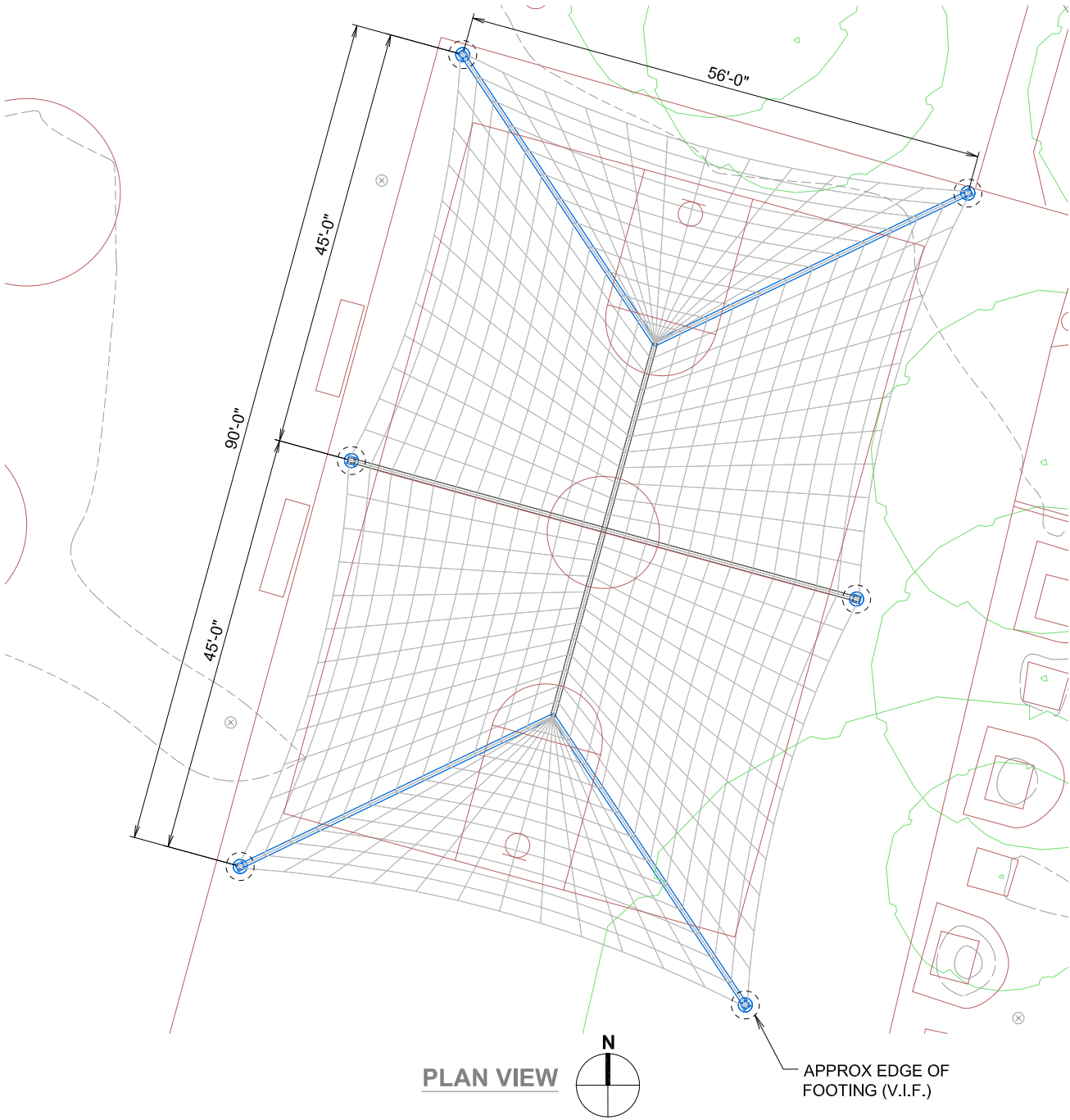
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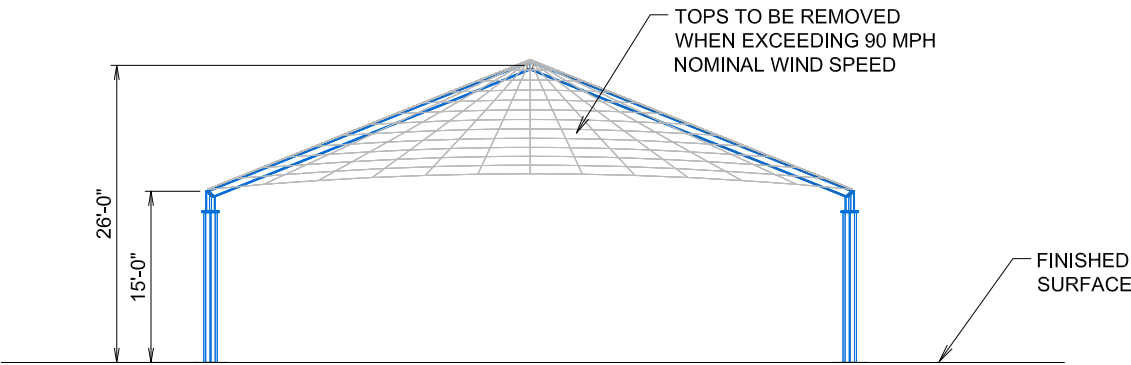
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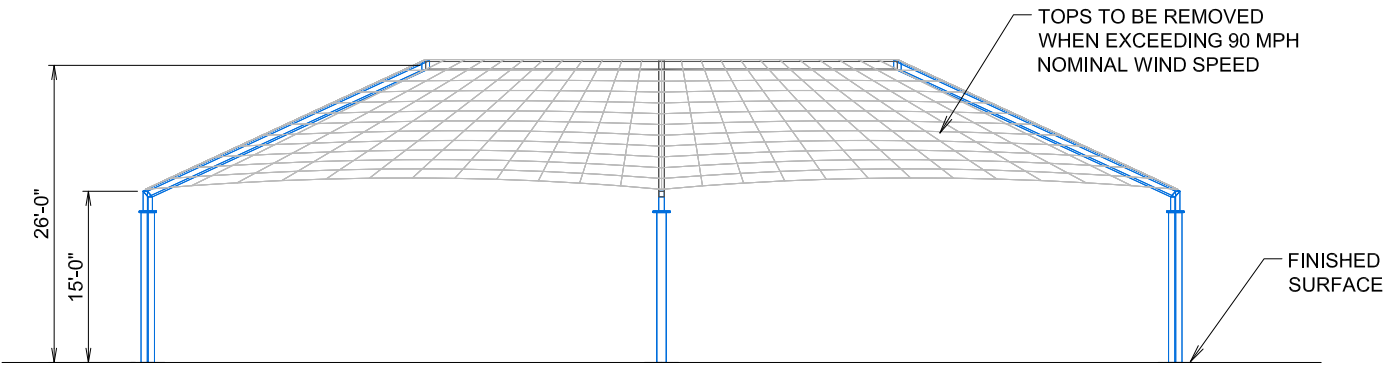
PERSPECTIVE VIEW



PLAN VIEW



SOUTH ELEVATION



WEST ELEVATION

CUSTOMER:  
**CITY OF  
SAN ANTONIO -TCI**

PROJECT NAME:  
**MONTERREY PARK -  
PLAYGROUND SHADE**

LOCATION:  
**5919 W COMMERCE  
SAN ANTONIO, TX 78237**

STRUCTURE TYPE:  
**SS HIP**

SIZE:  
**56' X 90' X 15' e**

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CLARK COUNTY MANUFACTURER  
CERTIFICATION NUMBER (NEVADA): 355

| REV | DESCRIPTION | DATE | DRW | CHK | ENG |
|-----|-------------|------|-----|-----|-----|
|-----|-------------|------|-----|-----|-----|

Drawn By : YH04/03/19

Checked By : YH04/03/19

Approved By : YH04/03/19

DRAWING DESCRIPTION:  
**STRUCTURE #2**

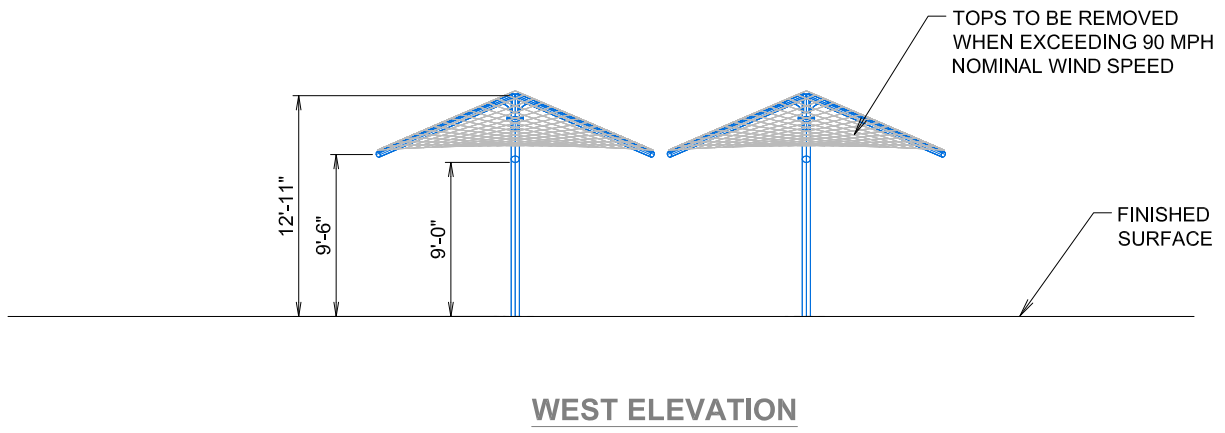
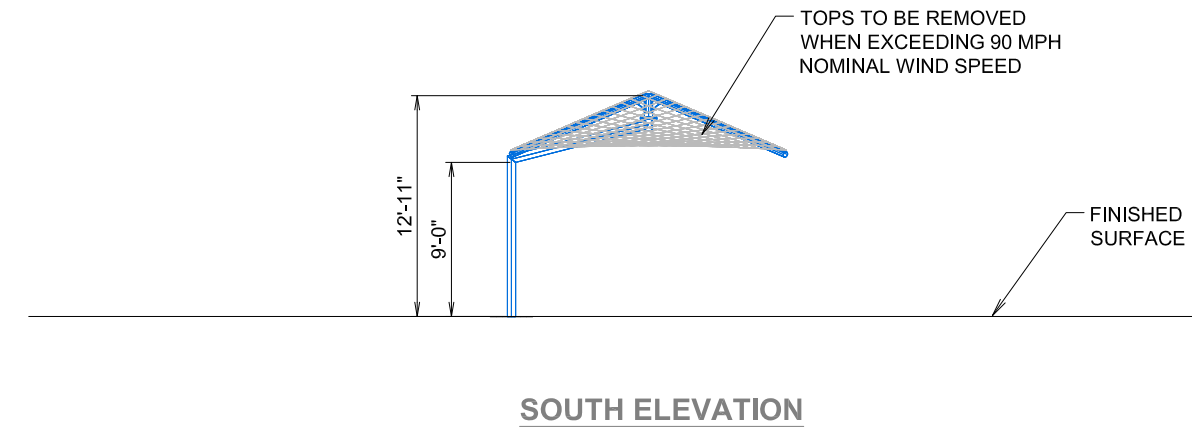
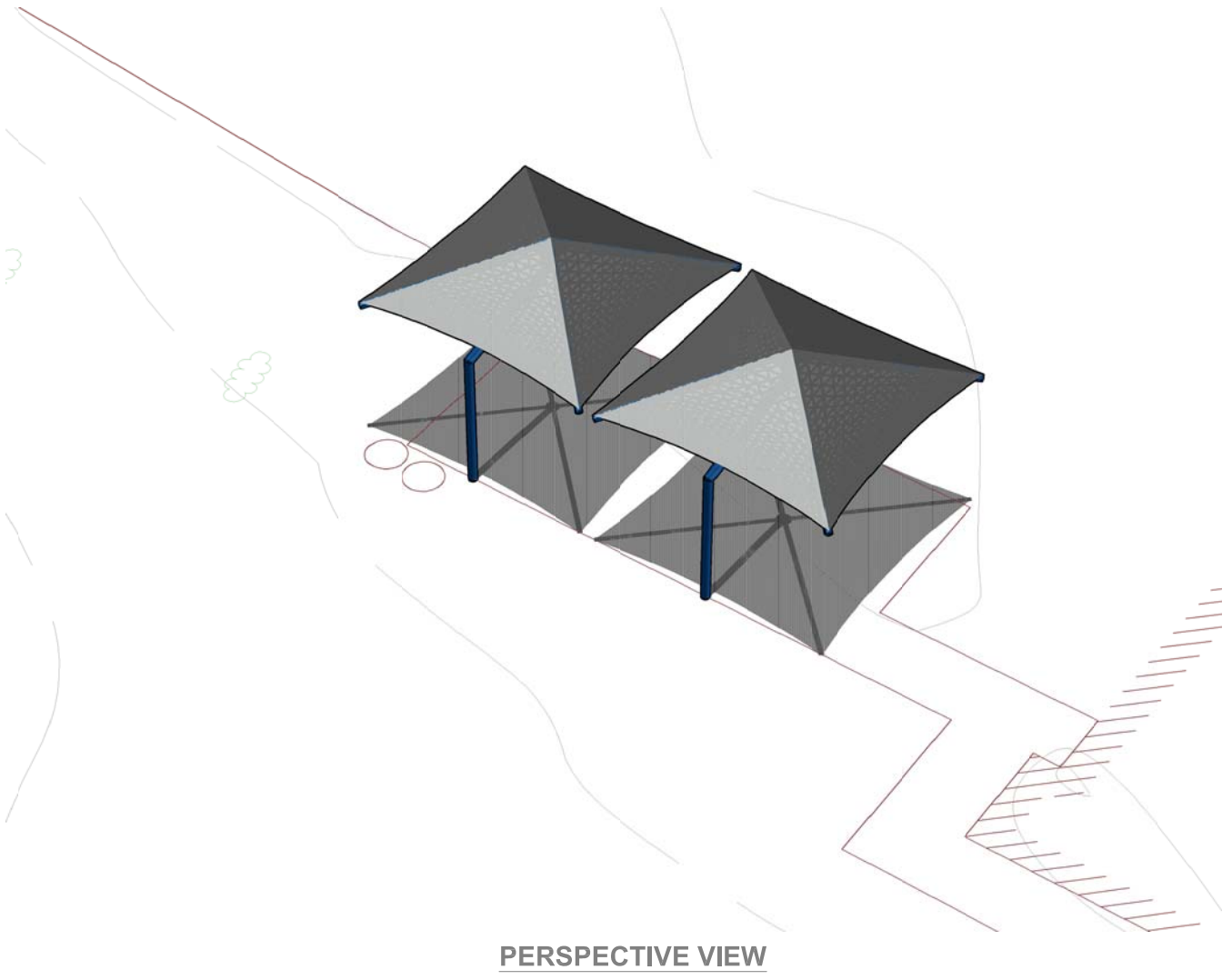
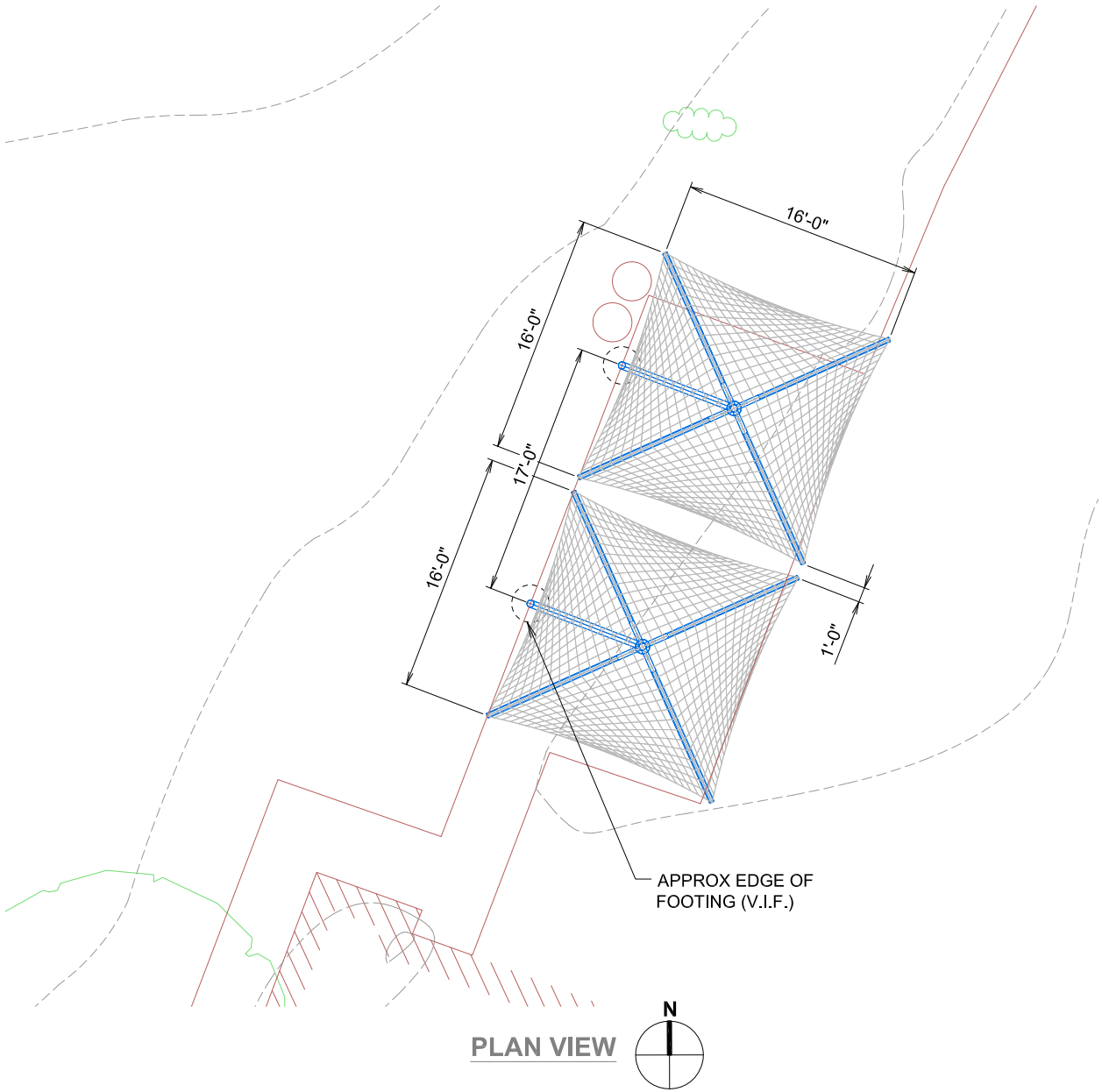
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**CON-APR-001-19**

PAGE  
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REV.



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**CITY OF  
SAN ANTONIO -TCI**

PROJECT NAME:  
**MONTERREY PARK -  
PLAYGROUND SHADE**

LOCATION:  
**5919 W COMMERCE  
SAN ANTONIO, TX 78237**

STRUCTURE TYPE:  
**SP PYRAMID CANTI  
(QTY 2)**

SIZE:  
**16' X 16' X 9' e**

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IAS CERTIFICATION No: FA-428  
CLARK COUNTY MANUFACTURER  
CERTIFICATION NUMBER (NEVADA): 355

| REV | DESCRIPTION | DATE | DRW | CHK | ENG |
|-----|-------------|------|-----|-----|-----|
|     |             |      |     |     |     |

|                      |                |          |
|----------------------|----------------|----------|
| Drawn By :           | YH             | 04/03/19 |
| Checked By :         | YH             | 04/03/19 |
| Approved By :        | YH             | 04/03/19 |
| DRAWING DESCRIPTION: |                |          |
| STRUCTURE #3         |                |          |
| DWG.                 | CON-APR-001-19 |          |
| PAGE                 | 1003           |          |
| REV.                 |                |          |