

Case No A-19-10300048



200' Notification Boundary

Council District: 5

Development Services Department City of San Antonio

SITE SUMMARY TABLE **AUTOMOTIVE PARTS STORE** TOTAL GROSS FLOOR AREA (SF) 8,341 PARKING STORAGE STANDARDS MINIMUM PARKING RATIO 1 PER 500 SF MAXIMUM PARKING RATIO 1 PER 375 SF MAXIMUM SPACES REQUIRED 22 MINIMUM SPACES REQUIRED PROPOSED PARKING SPACES (18'x9') PROPOSED PARKING SPACES (20'x9') PROPOSED PERMEABLE PARKING SPACES (18'x9') ACCESSIBLE PARKING SPACES MINIMUM SPACES REQUIRED INIMUM VAN ACCESSIBLE SPACES REQUIRED PROPOSED ACCESSIBLE SPACES 2 (1 VAN) TOTAL PARKING 39 (21 SPACES PERMEABLE) INIMUM BICYCLE PARKING RATIO 10% OF MINIMUM PARKING REQUIRED MINIMUM BICYCLE PARKING REQUIRED 1.7 PROPOSED BICYCLE PARKING

- 4" PERFORATED DRAIN PIPE PERMEABLE PAVER DETAIL C2.1 SCALE: NTS REMOVE AND REPLACE EXISTING CURB/ASPHLAT SAN JUDAS $\Delta = 12^{\circ}20'47''$ - AS REQUIRED FOR WATER A = 29.61'SERVICE CONNECTIONS PROPOSED SIDEWALK RAMP (SEE SHEET SU1) R = 137.39' -(REFER TO DETAIL 3/C2.1) B = N86'46'38''E- SIDEWALK LANDING D = 29.55'TO REMAIN EXISTING CURB -**20**27 TO REMAIN (TYP) $\Delta = 41^{\circ}48'37''$ A = 10.956' SIDEWALK 4 R = 15.00B = N62'41'17''ED = 10.70'×30.00' S83'07'20E 173.87' PROPOSED SIDEWALK RAMP 25' BUILDING SETBACK (VOL 9545, PG 96-98) (REFER TO DETAIL 3/C2.1) REPAIR EXISTING FENCE TO REMAIN

7 SPACES @ 9'=63'

O'Reilly Auto Parts

SQ. FT, = 8,341

FŁOOR ELEVATION: 685.45'

14' ELECTRIC, WATER, GAS, TELE, CATV - AND SANITARY SEWER EASEMENT

VOL 6579, PG 93-96 DR)

O' ELECTRIC, GAS, AND ROW EASEMENT

N83°57'06W 213.00'

4800 W COMMERCE ST SAN

ANTONIO, TX 78237

(SHOPPING CENTER)

ZONED C-3R

(VOL 9545, PG 96-98 DPR)

NBY PROPERTIES, LLC CALLED

19.27 ACRES DOC NO

20070059507 DRBCT

-LAS DE SAN ANTÓNIO PLAT NO 980327

3 SPACES @ 9'=27'

20.00

BUILDING USE

- EXISTING CURB

111/3/4

18.00

SD

SD

TO REMAIN (TYP)

REMOVE AND REPLACE

SERVICE CONNECTIONS

ADJUST TOP OF EXISTING

REMOVE GUY WIRE AND INSTALL SIDEWALK GUY WIRE (COORDINATE WITH CPS

DRIV

Z H

MCMULL

 \forall

GENE

10.00

- MANHOLE TO SIDEWALK

FINISH GRADE

EXISTING UTILITY

POLE TO REMAIN

(SEE SHEET SU1)

EXISTING CURB/ASPHLAT

— AS REQUIRED FOR WATER

KEY NOTES:

PROPOSED CONCRETE SIDEWALK:
REFER TO DETAIL 4/C2.2

5 CONCRETE DOOR LANDING:
REFER TO DETAIL 4/C2.2 AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED

MONOLITHIC IF CONCRETE PAVING IS USED.

6 STEEL BOLLARD: REFER TO DETAIL 6/C2.2. PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR, PROVIDE (9) AT SIDEWALK, REFER TO STRUCTURAL PLAN FOR LOCATION.

8 MASONRY ENCLOSURE WITH COMPOSITE GATE: REFER TO ARCHITECT PLANS

9 TACTILE WARNING SURFACE:
PROVIDE DETECTABLE WARNINGS WITH RAISED PATTERN (CAUTION YELLOW COLOR WITH 0.9" DIAMETER AND RAISE 0.2" PER ADAAG 4.7.7)

REFER TO DETAIL 5/C2.2

ACCESSIBLE LOADING ZONE STRIPING:
MAXIMUM SLOPE 2% ALL WAYS, STRIPE AS SHOWN **REFER TO DETAIL 8/C2.2**

PARKING STALL STRIPING
4" WIDE YELLOW STRIPING (2 COATS)

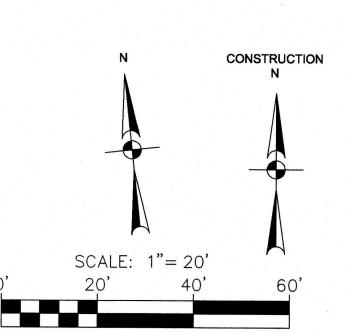
(13) CONCRETE WHEEL STOP REFER TO DETAIL 11/C2.2

PAVEMENT NOTES:

ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.

ALL SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

PAVEMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS



SIDEWALK NOTE:

ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

TRASH ENCLOSURE WITH HEAVY DUTY CONCRETE PAD: REFER TO DETAIL 10/C2.2(TYP)

CONNECT CONCRETE SIDEWALK TO EXISTING SIDEWALK

SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO SHEET US1 AND SG SHEETS FOR MORE INFORMATION.

18 SCREEN FENCE GATE:
REFER TO ARCHITECT PLANS

HEADER CURB REFER TO DETAIL 13/C2.2

LIMITS OF PROPOSED PAVING

CONCRETE TO ASPHALT JUNCTION: REFER TO DETAIL 12/C2.2

5' WIDE STRIPED PEDESTRIAN PATH: 23) 5' WIDE STRIPED PEDESTRIAN PATH:
4" WIDE STRIPING AS SHOWN, YELLOW (2 COATS)

PROPOSED DRIVEWAY:
REFERENCE STANDARD DETAIL 7/C2.2.

HEAVY DUTY CONCRETE PAVEMENT REFER TO DETAIL 10/C2.2

TBM:

RAILROAD SPIKE IN POWER POLE ELEV.=689.10' (NAVD 1988)

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS

NEW BUILDING CONSTRUCTION AREA OF SIDEWALK PAVING AREA OF 5" CONCRETE PAVING (PARKING STALLS) AREA OF 7" HEAVY DUTY PAVING (TRASH PAD, FIRE LANE AND DRIVEWAYS) PERMEABLE BRICK PAVERS

PROPOSED POLE SIGN NEW CONCRETE WHEEL STOP (SEE DETAIL 11/C2.2) PROPOSED LIGHT POLE LOCATION (SEE LIGHTING PLAN) PROPOSED FACE OF CURB PROPOSED TOP OF CURB STEEL BOLLARD

VAN ACCESSIBLE PARKING SPACE

VARIES - SEE PLANS (60" MIN.) 8.33% MAX. 8.33% MAX.

PAVEMENT STREET ACCESS CURB

VAN

 CURB RAMP SHALL BE BROOM FINISHED CURB RAMPS SHALL COMPLY WITH TAS AND ADA REQUIREMENTS. CURB RAMPS SHALL BE STAINED. COLOR AS SELECTED BY DEVELOPER.

36"MIN. SIDEWALK

CURB RAMP DETAIL

CURB RAMPS SHALL COMPLY WITH TAS AND ADA REQUIREMENTS. CURB RAMPS SHALL BE STAINED. COLOR AS SELECTED BY DEVELOPER. **CURB RAMP DETAIL**

1. CURB RAMP SHALL BE BROOM FINISHED

SCALE: N.T.S.

C2.1

W COMMERCE ST

SONG LIM TAN

79798

SS/ONAL ENG

ESTERLY SCHNEIDI ASSOCIAT AIA arctifect

STORE V DRIVE

ART

AUTO

LOCATION MAP NOT-TO-SCALE

GENERAL NOTES:

1. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

2. ALL SITE DIMENSIONS TO THE FACE OF CURB, CENTER OF STRIPING OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO STARTING CONSTRUCTION.

3. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS

4. D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.

PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT O'REILLY PROJECT ADMINISTRATOR BEFORE

6. ALL CURB RADII ARE 3', UNLESS OTHERWISE NOTED. ALL CURB DIMENSIONS ARE FACE OF CURB.

7. ALL CURBS SHALL BE 6-INCHES HIGH, UNLESS OTHERWISE NOTED.

8. CONTRACTOR RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.

9. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.

11. K. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS. CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES. THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

12. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE BEXAR COUNTY, CITY OF SAN ANTONIO AND TXDOT SPECIFICATIONS.

13. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION

15. DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.

16. ALL PAVEMENT MARKINGS AND SIGNAGE OF ACCESSIBLE PARKING AREAS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT TAS AND ADA

STRIPING/SIGNAGE NOTES:

ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT UNLESS NOTED OTHERWISE: WHITE ON ASPHALT PAVING AND YELLOW ON CONCRETE UNLESS OTHERWISE NOTED ON THE DRAWINGS. REFERENCE DETAIL SHEET FOR STRIPED ISLANDS.

2. ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.

3. ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION

DIMENSIONAL CONTROL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.

3. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.

4. ALL DIMENSIONAL CONTROL POINTS AND DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.

REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.

CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL CURBS WITHIN PRIVATE PROPERTY ARE 6" HIGH AND ALL CURBS WITHIN PUBLIC RIGHT-OF-WAY ARE 7" HIGH EXCEPT AT CURB RAMPS OR SPECIFICALLY NOTED OTHERWISE.



SAN ANTONIO I AUSTIN I HOUSTON I FORT WORTH I DALLAS 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000 TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

SITE DEVELOPMENT PLAN SCALE: 1" = 20'

COORDINATE WORK WITH ADJACENT

PROPERTY OWNER

EASEMENT

RICARDO VELASQUEZ

VOL 8419, PG 1668

LOT 24

PROPERTY OWNER

REPAIR EXISTING FENCE TO REMAIN

COORDINATE WORK WITH ADJACENT

DRBCT 4710 SAN JUDAS SAN ANTONIO, TX 78237

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COMM # 4123

DATE: 01/12/18

REV SITE PLAN

REVISED FENCE

REVISION

<u>2</u> 02/28/19

BOA-19-10300048 Subject Property – 315 N. General McMullen



Subject Property



Subject Property



Subject Property



Subject Property



Subject Property



Subject Property



Neighboring Properties



Neighboring Properties



Neighboring Properties

