



Board of Adjustment **Notification Plan for** **Case No A-19-10300048**



San Antonio City Limits



Subject Property



200' Notification Boundary

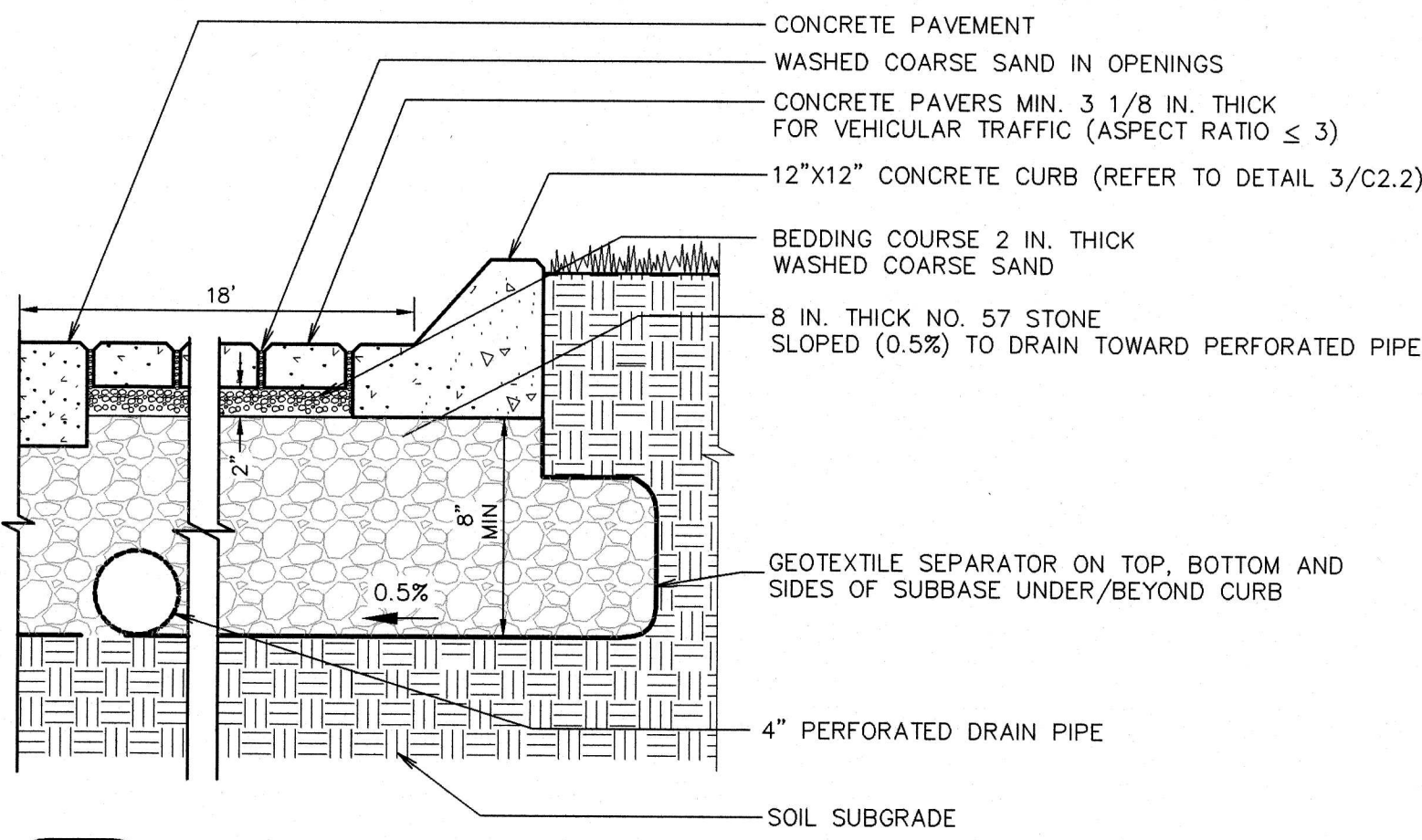


Council District: 5

"NOT TO SCALE,
 FOR ILLUSTRATIVE PURPOSES ONLY"

Development Services Department
 City of San Antonio

1:1,800



4 PERMEABLE PAVER DETAIL

C2.1 SCALE: NTS

SITE SUMMARY TABLE	
BUILDING USE	AUTOMOTIVE PARTS STORE
TOTAL GROSS FLOOR AREA (SF)	8,341
PARKING STORAGE STANDARDS	
MINIMUM PARKING RATIO	1 PER 500 SF
MAXIMUM PARKING RATIO	1 PER 375 SF
MINIMUM SPACES REQUIRED	22
PROPOSED PARKING SPACES (18'x9')	17
PROPOSED PARKING SPACES (20'x9')	7
PROPOSED PERMEABLE PARKING SPACES (18'x9')	9
ACCESSIBLE PARKING SPACES	2
MINIMUM SPACES REQUIRED	2
MINIMUM VAN ACCESSIBLE SPACES REQUIRED	1
PROPOSED ACCESSIBLE SPACES	2 (1 VAN)
TOTAL PARKING	39 (21 SPACES PERMEABLE)
MINIMUM BICYCLE PARKING RATIO	10% OF MINIMUM PARKING REQUIRED
MINIMUM BICYCLE PARKING REQUIRED	1.7
PROPOSED BICYCLE PARKING	2

KEY NOTES:

- CONCRETE PAVING: REFER TO DETAIL 1/C2.2
- CURB TRANSITION: REFER TO DETAIL 3/C1.1
- 12\"/>

- PARKING LOT LIGHTING: REFER TO US1
- TRASH ENCLOSURE WITH HEAVY DUTY CONCRETE PAD: REFER TO DETAIL 10/C2.2(TYP)
- CONNECT CONCRETE SIDEWALK TO EXISTING SIDEWALK
- SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER, REFER TO SHEET US1 AND SG SHEETS FOR MORE INFORMATION.
- SCREEN FENCE GATE: REFER TO ARCHITECT PLANS
- HEADER CURB: REFER TO DETAIL 13/C2.2
- LIMITS OF PROPOSED PAVING
- CONCRETE TO ASPHALT JUNCTION: REFER TO DETAIL 12/C2.2
- PERMEABLE PAVER: REFER TO DETAIL 4/C2.1
- 5\"/>
- PROPOSED DRIVEWAY: REFERENCE STANDARD DETAIL 7/C2.2
- SIDEWALK RAMP @ 12:1 MAX SLOPE: REFER TO DETAIL 2/C2.1
- HEAVY DUTY CONCRETE PAVEMENT: REFER TO DETAIL 10/C2.2
- BIKE RACK: REFER TO DETAIL 15/C2.2

TBM:

RAILROAD SPIKE IN POWER POLE
ELEV. = 689.10'
(NAVD 1988)

PAVEMENT NOTES:

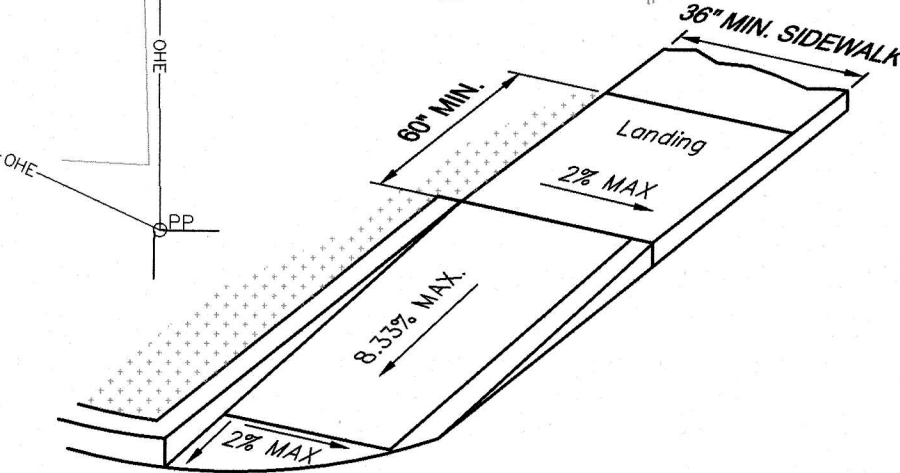
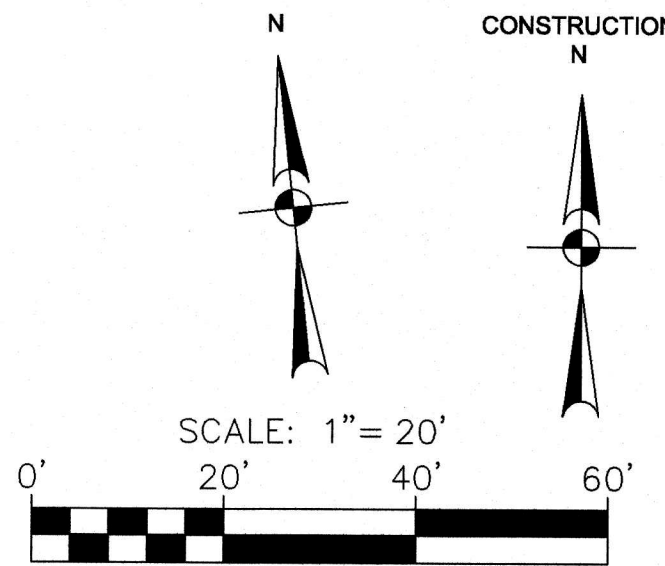
- ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- ALL SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- PAVEMENT INSTALLATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF SIDEWALK PAVING
	AREA OF 5\"/>
	AREA OF 7\"/>
	PERMEABLE BRICK PAVERS
	PROPOSED POLE SIGN
	NEW CONCRETE WHEEL STOP (SEE DETAIL 11/C2.2)
	PROPOSED LIGHT POLE LOCATION (SEE LIGHTING PLAN)
	PROPOSED FACE OF CURB PROPOSED TOP OF CURB
	STEEL BOLLARD
	VAN ACCESSIBLE PARKING SPACE

SIDEWALK NOTE:

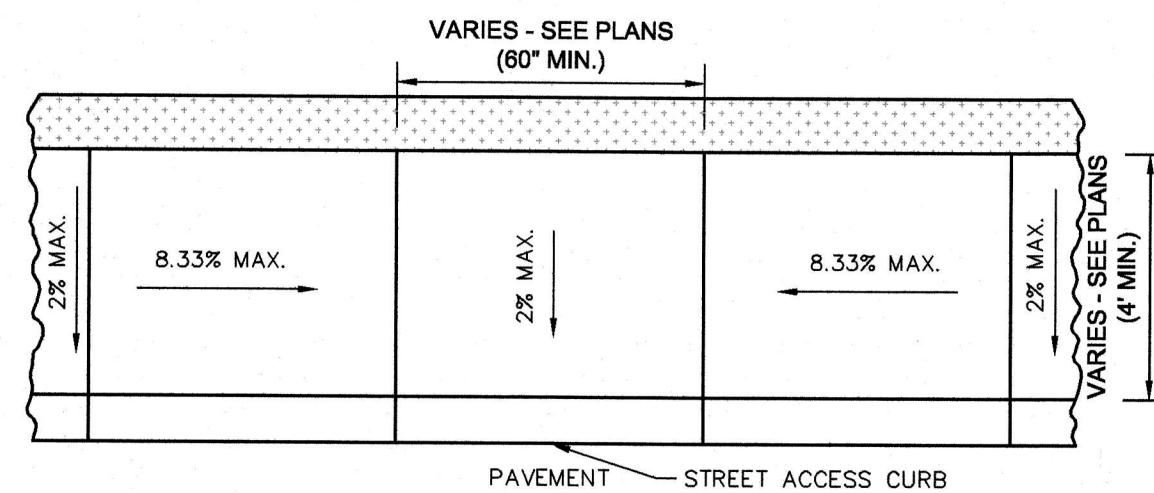
ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.



- NOTES:
- CURB RAMP SHALL BE BROOM FINISHED.
 - CURB RAMPS SHALL COMPLY WITH TAS AND ADA REQUIREMENTS.
 - CURB RAMPS SHALL BE STAINED, COLOR AS SELECTED BY DEVELOPER.

2 CURB RAMP DETAIL

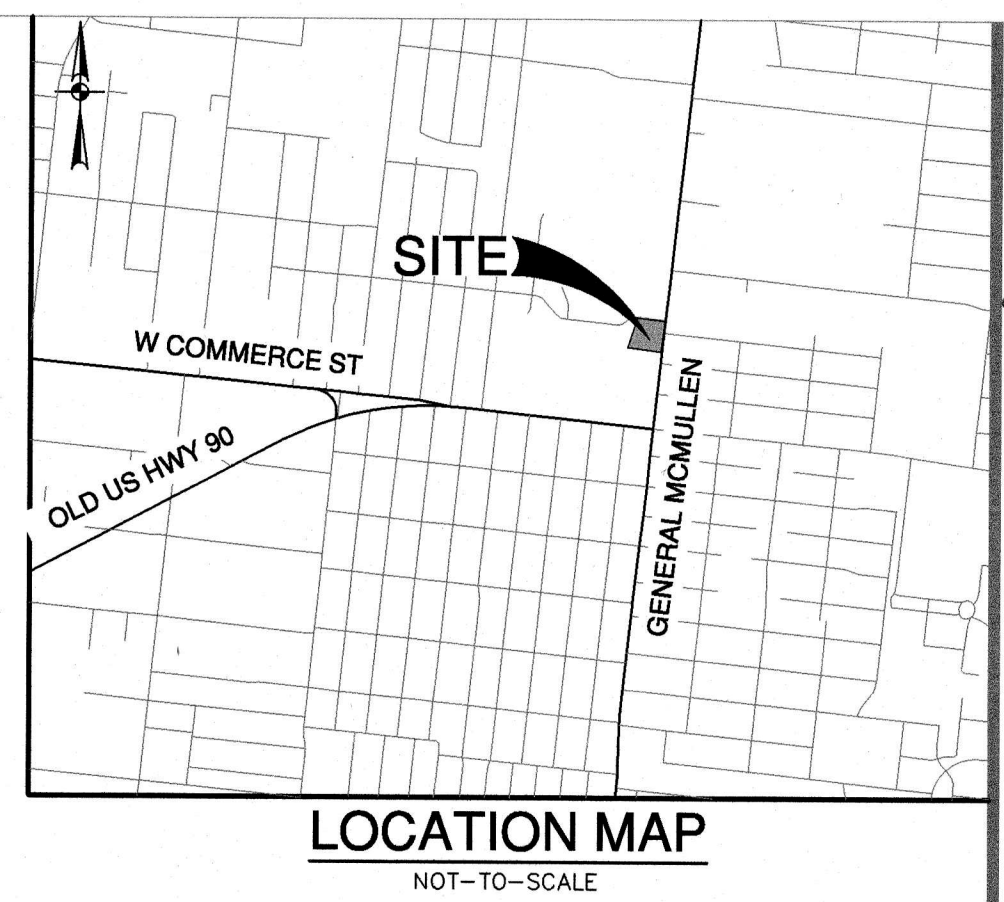
C2.1 SCALE: N.T.S.



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3 CURB RAMP DETAIL

C2.1 SCALE: N.T.S.



GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- ALL SITE DIMENSIONS TO THE FACE OF CURB, CENTER OF STRIPING OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO STARTING CONSTRUCTION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.
- ALL CURB RADI ARE 3', UNLESS OTHERWISE NOTED. ALL CURB DIMENSIONS ARE FACE OF CURB.
- ALL CURBS SHALL BE 6-INCHES HIGH, UNLESS OTHERWISE NOTED.
- CONTRACTOR RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING UTILITIES, FENCES, PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, OR SIGNS.
- K. CONTRACTOR SHALL PRESERVE ALL PROPERTY CORNER PINS/RODS, CONTROL POINTS, & BENCHMARKS. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE BEXAR COUNTY, CITY OF SAN ANTONIO AND TxDOT SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DIMENSIONAL CONTROL POINTS ARE PROVIDED AS NEEDED. ADDITIONAL POINTS MAY BE AVAILABLE UPON REQUEST.
- ALL PAVEMENT MARKINGS AND SIGNAGE OF ACCESSIBLE PARKING AREAS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT TAS AND ADA STANDARDS.

STRIPING/SIGNAGE NOTES:

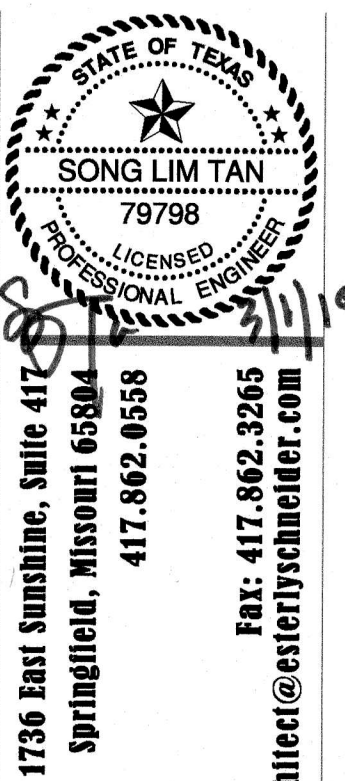
- ALL PAINT SHALL BE 4\"/>
- ALL PAVEMENT MARKINGS SHALL RECEIVE TWO COATS OF PAINT.
- ALL SIGNS SHALL CONFORM TO MUTCD, LATEST EDITION.

DIMENSIONAL CONTROL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ALL HORIZONTAL AND VERTICAL CONTROL PER THE CONSTRUCTION DRAWINGS.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL USE THE PROPERTY PINS FOR HORIZONTAL CONTROL POINTS. BENCHMARKS ARE NOT TO BE USED FOR HORIZONTAL CONTROL.
- ALL DIMENSIONAL CONTROL POINTS AND DIMENSIONS ARE TO THE FACE OF CURB, FACE OF RETAINING WALL, AND CENTER OF PAINT STRIPPING. ALL DIMENSIONS ARE PERPENDICULAR TO THE POINT OF REFERENCE.
- REFER TO THE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL DIMENSIONAL CONTROL INFORMATION.
- CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL CURBS WITHIN PRIVATE PROPERTY ARE 6\"/>



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBP# FIRM REGISTRATION #470 | TBP#LS FIRM REGISTRATION #10028800



ESTERLY & SCHNEIDER ASSOCIATES, INC.
architects & planners
AIA

PROJECT: NEW O'REILLY AUTO PARTS STORE
315 N GENERAL MCMULLEN DRIVE
SAN ANTONIO, TX #36
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4123
DATE: 01/12/18
REVISION
DATE:
REV SITE PLAN
04/24/18
REVISED FENCE
02/28/19

BOA-19-10300048
Subject Property – 315 N. General McMullen



Subject Property



Subject Property



Subject Property



Subject Property



Subject Property



Subject Property



Neighboring Properties



Neighboring Properties



Neighboring Properties

