

HISTORIC AND DESIGN REVIEW COMMISSION

June 05, 2019

HDRC CASE NO: 2019-271
ADDRESS: 415 CEDAR ST
LEGAL DESCRIPTION: NCB 2968 BLK 3 LOT 4
ZONING: RM-4,HS
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
LANDMARK: Pfeiffer, A - House
APPLICANT: Kathleen Ball
OWNER: Kathleen Ball
TYPE OF WORK: Historic Tax Verification
APPLICATION RECEIVED: May 07, 2019
60-DAY REVIEW: July 06, 2019
CASE MANAGER: Adam Rajper
REQUEST:

The applicant is requesting Historic Tax Verification for the property at 415 Cedar St.

APPLICABLE CITATIONS:

UDC, Sec. 35-618. - Tax Exemption Qualifications.

- (a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:
 - (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
 - (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

- (d) Certification.

- (1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.
 - (2) Tax Assessor-Collector Approval. Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.
- (e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.
- (f) Historic Preservation Tax Exemptions.
- (1) Historic Preservation Tax Exemption for Residences in Need of Substantial Repair. In accordance with the provisions of this chapter, a historically significant residential building, which meets both the definitions of a historically significant site in need of tax relief to encourage preservation and of a residential property in Appendix "A" of this chapter, and is either individually designated or is located within the boundaries of a locally designated historic district which is substantially rehabilitated and is approved by the chief appraiser of the Bexar County Appraisal District, shall have an assessed value for ad valorem taxation as follows:
 - A. A residential property shall have no assessed value for ad valorem taxation for a period of five (5) tax years after verification, as defined in Appendix "A" to this chapter. Thereafter, the exempt property shall be reappraised at current market value and assessed at a fifty (50) percent rate for an additional consecutive five-year period.
 - B. This exemption shall begin on the first day of the first tax year after verification of completion of the substantial rehabilitation by the historic and design review commission, provided compliance with subsection (b) of this section.
- (g) Eligibility.
- (1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

- a. The applicant is requesting Historic Tax Verification at 415 Cedar. The one-story Folk Victorian style single-family residence was constructed c. 1920. The home is a local landmark and contributing structure to the King William Historic District. The applicant received Historic Tax Certification at the April 1, 2015 HDRC hearing.
- b. Approved exterior rehabilitative scopes of work are as follows: front porch repairs on the primary structure (2015); rehabilitation of the primary structure, demolition of an existing non contributing rear addition constructed c. 1960, construction of a new 2-story rear addition, and conversion of an existing concrete block accessory structure into an outdoor screened room (2015); construction of a carport and wall at the rear of the primary structure (2017); construction of a new concrete ribbon driveway and rear concrete pad (2017); replacement of the existing concrete driveway approach and concrete sidewalk and curb (2017); installation of a privacy fence (2018); and installation of a new lawn irrigation system (2019). The interior of the residence has also been remodeled. The applicant has verified that all work is complete.
- c. The applicant has submitted an itemized list of costs that meets the threshold to be eligible for Historic Tax Certification.
- d. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer.
- e. Approval of Tax Verification by the HDRC in 2019 means that the property owners will be eligible for the Substantial

Rehabilitation Tax Incentive beginning in 2020.

RECOMMENDATION:

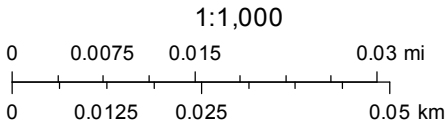
Staff recommends approval of Historic Tax Verification based on findings a through e.

415 Cedar



May 29, 2019

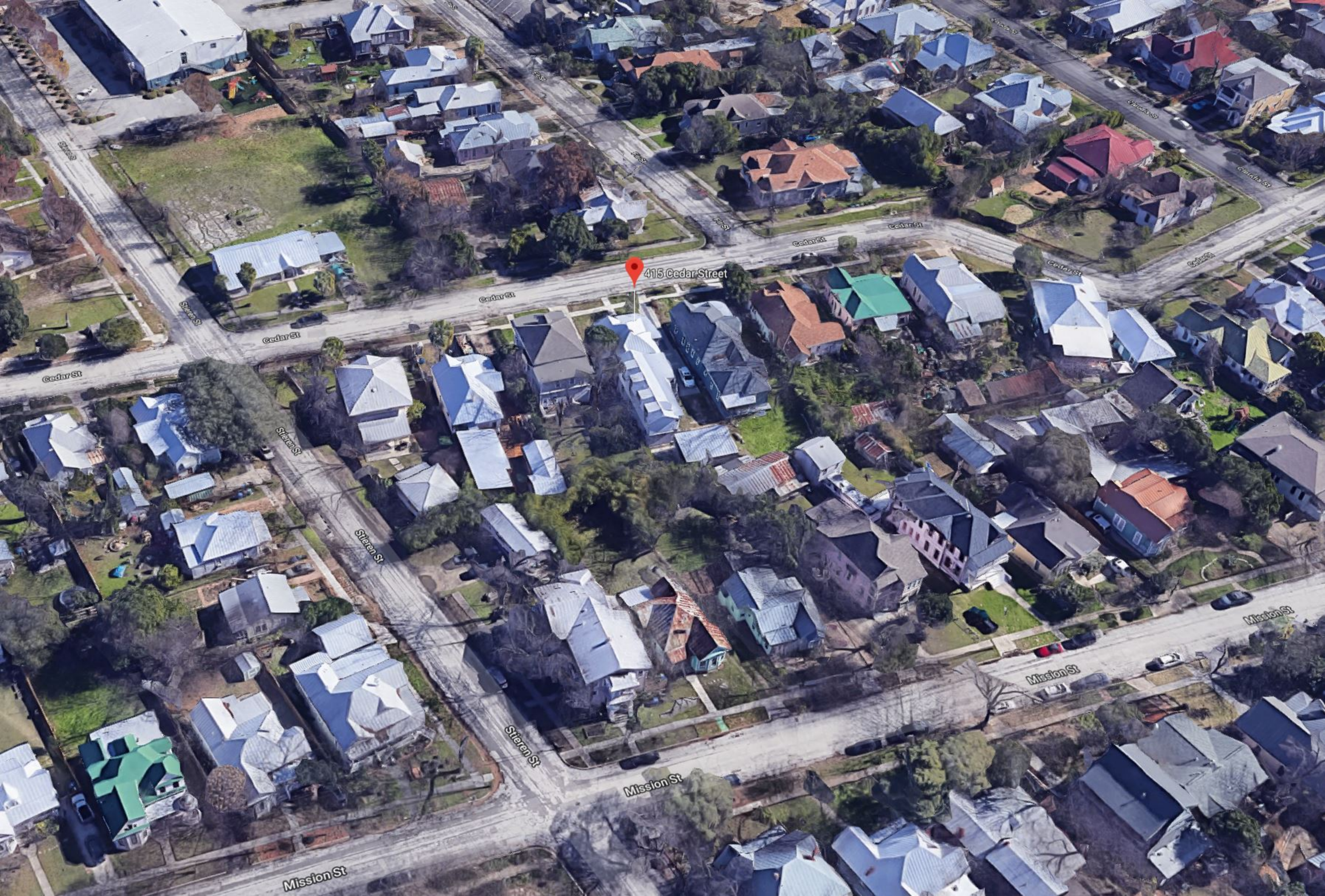
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415 Cedar Street



415 Cedar Street

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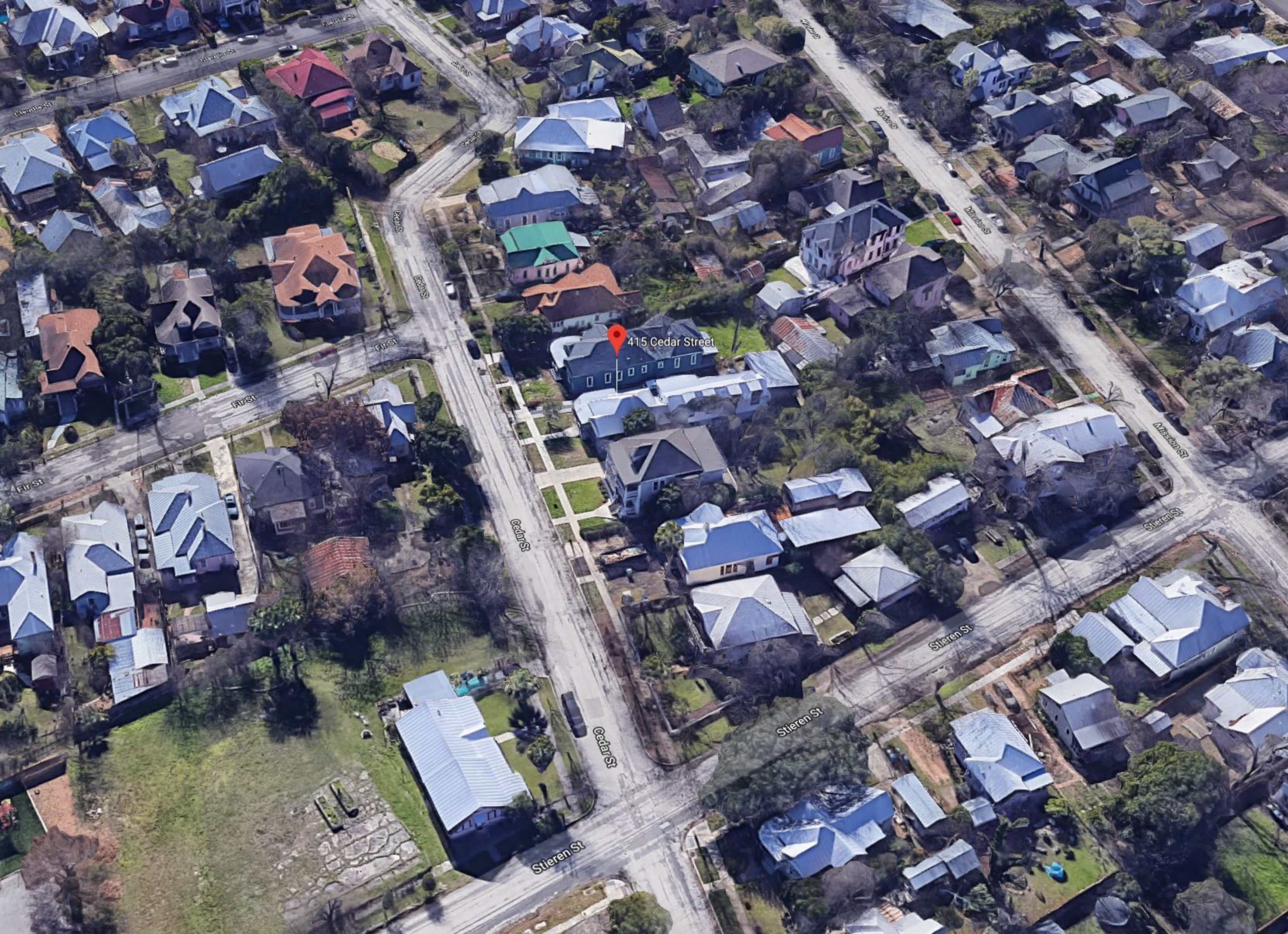
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415 Cedar Street





Trilogy Roofing, LLC
Commercial & Residential
o. 210.247.0222
c. 210.847.4377
www.trilogyroofing.com
P.O. Box 1000, San Antonio, TX 78201

APPLICATION AND CERTIFICATE FOR PAYMENT NUMBER 10-Final

Page 1 of 2

TO (OWNER): **Dr. & Mrs. James Ball**
415 Cedar Street
San Antonio, Texas 78210

PROJECT: **Addition & Renovation to**
415 Cedar Street
San Antonio, Texas 78210

APPLICATION NO: **10-Final**
 APPLICATION DATE: **11/13/17**
 PERIOD TO: **11/13/17**

Distribution to:
 X Owner
 X Contractor
 X Architect

PROJECT NUMBER: **16-116**

FROM (CONTRACTOR): **Refined General Contractors, LLC**
P.O. Box 680547
San Antonio, Texas 78268

ARCHITECT: **Poteet Architects**
1114 South Saint Mary's Street
San Antonio, Texas 78210

CONTRACTOR'S APPLICATION FOR PAYMENT

CHANGE ORDER SUMMARY		
Change Orders approved in previous months by Owner	ADDITIONS	DEDUCTIONS
TOTAL		
Approved this Month		
Number Date Approved		
TOTALS		
Net change by Change Orders		

The undersigned Contractor certified that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:

By: 

Rene Munoz

Date: **11/13/17**

Application is made for Payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM	\$	637994.00
2. Net change by Change Orders.....	\$	
3. CONTRACT SUM TO DATE (Line 1 +2)	\$	637994.00
4. TOTAL COMPLETED & STORED TO DATE	\$	637994.00
5. RETAINAGE:		
a. % of Completed Work	\$	
(Column D + E on G703)		
b. % of Stored Material	\$	
(Column F on G703)		
Total Retainage (Line 5a + 5b or Total in Column 1 of G703).....	\$	
6. TOTAL EARNED LESS RETAINAGE.....	\$	637994.00
(Line 4 less Line 5 Total)		
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate).....	\$	600462.00
8. CURRENT PAYMENT DUE	\$	37,532.00
9. BALANCE TO FINISH, PLUS RETAINAGE.....	\$	
(Line 3 less Line 6)		

APPLICATION AND CERTIFICATE FOR PAYMENT NUMBER 10-Final

Refined General Contractors, LLC.
P.O. Box 680547
San Antonio, Texas 78268

PROJECT: Addition & Renovation to
415 Cedar Street
San Antonio, Texas 78210

Application Number: 10-Final
Application Date: 11/13/17
Period To: 11/13/17

A Line No.	Description Of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored (Not in D or E)	G		H Balance To Finish (C-G)	I Retainage
			From Previous Application (D+E)	This Period		Total Completed & Stored to Date (D+E+F)	% Comp (G/C)		
1	Demolition	\$ 13,693.00	\$ 13,693.00	\$ -	\$ -	\$ 13,693.00	100.00%	\$ -	\$ -
2	Concrete	\$ 24,141.00	\$ 24,141.00	\$ -	\$ -	\$ 24,141.00	100.00%	\$ -	\$ -
3	Wood Framing and Steel Canopy	\$ 98,099.00	\$ 97,120.00	\$ 979.00	\$ -	\$ 98,099.00	100.00%	\$ -	\$ -
4	Waterproofing	\$ 5,828.00	\$ 5,828.00	\$ -	\$ -	\$ 5,828.00	100.00%	\$ -	\$ -
5	Roofing	\$ 25,526.00	\$ 25,526.00	\$ -	\$ -	\$ 25,526.00	100.00%	\$ -	\$ -
6	Windows	\$ 40,147.00	\$ 40,147.00	\$ -	\$ -	\$ 40,147.00	100.00%	\$ -	\$ -
7	Glass and Glazing	\$ 9,264.00	\$ 3,516.00	\$ 5,748.00	\$ -	\$ 9,264.00	100.00%	\$ -	\$ -
8	Doors, Frames and Hardware	\$ 32,497.00	\$ 31,848.00	\$ 649.00	\$ -	\$ 32,497.00	100.00%	\$ -	\$ -
9	Drywall and Insulation	\$ 25,876.00	\$ 25,876.00	\$ -	\$ -	\$ 25,876.00	100.00%	\$ -	\$ -
10	Plaster	\$ 10,490.00	\$ 10,490.00	\$ -	\$ -	\$ 10,490.00	100.00%	\$ -	\$ -
11	Millwork and Finished Trim	\$ 75,011.00	\$ 71,264.00	\$ 3,747.00	\$ -	\$ 75,011.00	100.00%	\$ -	\$ -
12	Tile and Tops	\$ 48,098.00	\$ 40,885.00	\$ 7,213.00	\$ -	\$ 48,098.00	100.00%	\$ -	\$ -
13	Wood Floors	\$ 18,504.00	\$ 15,359.00	\$ 3,145.00	\$ -	\$ 18,504.00	100.00%	\$ -	\$ -
14	Painting	\$ 37,532.00	\$ 28,901.00	\$ 8,631.00	\$ -	\$ 37,532.00	100.00%	\$ -	\$ -
15	Specialties	\$ 12,375.00	\$ 11,385.00	\$ 990.00	\$ -	\$ 12,375.00	100.00%	\$ -	\$ -
16	Plumbing	\$ 53,909.00	\$ 51,755.00	\$ 2,154.00	\$ -	\$ 53,909.00	100.00%	\$ -	\$ -
17	HVAC	\$ 29,667.00	\$ 28,481.00	\$ 1,186.00	\$ -	\$ 29,667.00	100.00%	\$ -	\$ -
18	Electrical	\$ 77,337.00	\$ 74,247.00	\$ 3,090.00	\$ -	\$ 77,337.00	100.00%	\$ -	\$ -
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TOTAL		\$ 637,994.00	\$ 600,462.00	\$ 37,532.00	\$ -	\$ 637,994.00	100.00%	\$ -	\$ -

APPLICATION AND CERTIFICATE FOR PAYMENT NUMBER 10-Final

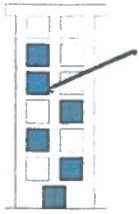
Page 3 of 3

Refined General Contractors, LLC.
P.O. Box 680547
San Antonio, Texas 78268

PROJECT: Addition & Renovation to
415 Cedar Street
San Antonio, Texas 78210

Application Number: 10-Final
Application Date: 11/13/17
Period To: 11/13/17

A Line No.	B Description Of Work	C Scheduled Value	D Work Completed		F Materials Presently Stored (Not in D or E)	G		H Balance To Finish (C-G)	I Retainage
			From Previous Application (D+E)	This Period		Total Completed & Stored to Date (D+E+F)	% Comp (G/C)		
33		\$ -	\$ -	\$ -	\$ -	\$ -		\$ -	\$ -
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TOTAL		\$ 637,994.00	\$ 600,462.00	\$ 37,532.00	\$ -	\$ 637,994.00	100.00%	\$ -	\$ -



refined general contractors, llc.

p.o. box 680547

san antonio, tx 78268

210.433.7742

fax 210.680.2047

commercial and residential

www.refinedgc.com

207
207
414

February 4, 2016

Dr. & Mrs. James Ball
415 Cedar Street
San Antonio, Texas 78210

RE: Addition and Renovation to
415 Cedar Street
San Antonio, Texas 78210

Dear Dr. & Mrs. Ball,

Refined General Contractors, LLC is pleased to submit a proposal for the Addition and Renovation to 415 Cedar Street, San Antonio, Texas 78210. Our proposal is based on the Plans dated 12/30/15 prepared by Poteet Architects, LP., and as outlined below. We propose to accomplish the work for a **total cost of \$669,445.00 with sales tax.**

Schedule of Values

Demolition	\$13,693
Concrete Allowance	\$29,323
Wood Framing and Steel Canopy	\$98,099
Waterproofing	\$5,828
Roofing	\$25,526
Windows	\$40,147
Glass and Glazing	\$9,264
Doors, Frames and Hardware	\$32,497
Drywall and Insulation	\$25,876
Plaster	\$10,490
Millwork and Finished Trim	\$75,011
Tile and Tops	\$48,098
Wood Floors	\$18,504
Painting	\$37,532
Specialties	\$38,644
Plumbing	\$53,909
HVAC	\$29,667
Electrical	\$77,337
Total	\$669,445 with sales tax

Description of Work

- **Demolition:** Demolish and haul away a portion of the rear house, interior walls as shown, sheetrock on remaining walls and ceilings, VCT and tile flooring, plumbing fixtures and piping, light fixtures, ceiling fans, cabinets, and doors
- **Concrete:** Scrape off vegetation and install base material as needed for new slab on grade concrete slab with 36" deep beams; Polish all the concrete floors and seal
- **Wood Framing and Steel Canopy:** Erect new wood framed walls, floor and roof trusses; Frame new interior walls at existing house and fabricate and install a new canopy; Install sheathing, siding, fascia and soffit as detailed. Install new T&G composite decking at existing porch and new exterior steps at addition; Repair existing damaged siding and decorative porch soffit and install new wood siding skirting; Reinstall existing porch columns.
- **Waterproofing:** Tape all the joints of the Zipwall Sheathing and around all the window and door openings
- **Roofing:** Replace existing roof with new 24 ga. Galvalume standing seam metal roof and roof new addition
- **Windows:** Furnish and install new metal clad windows as shown for new addition and two in the existing house; restore existing wood windows by replacing rotten wood, broken glass and reglazing
- **Glass and Glazing:** Provide new glass shower door and sidelight at Master Shower; New glass door at Master Toilet and 4 frameless mirrors
- **Doors, Frames and Hardware:** Furnish and install new wood doors, frames and hardware in new addition and existing house. An allowance of \$150 per door leaf is included for door hardware. Restore existing front door.
- **Drywall and Insulation:** Provide fiberglass blowing wool BIBS in existing exterior walls; new spray foam in crawlspace of existing house, spray foam new exterior walls and roof deck of new and existing house; Install new ½" sheetrock at walls and ceilings of new addition and existing house
- **Plaster:** Felt, lath and plaster exterior walls of new addition

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876445
5-6 mo.

87,644
40,600

Window
in bath

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207000
462445

sooner
appliances &
plumbing

669445
207000

need to switch
to composite
columns

doesn't
incl.
lead paint
abatement

med
cabs
bath areas
but not
wid

+12%

February 4, 2016

Dr. & Mrs. James Ball

Addition and Renovation to 415 Cedar Street

Page 2 of 2

- Millwork and Finished Trim: Fabricate and install new painted wood cabinets with pre-sealed maple interiors to include plastic laminate cabinets with plastic laminate countertop in Utility Room. Supply and install new paint grade shelving and rods for closets Install new wood base in new addition and reinstall wood base in existing; Install new T&G siding in wall of Master Bedroom
- Tile and Tops: Furnish and install new floor, wall and ceiling tile and solid surface countertops as shown in plans
- Wood Floors: Refinish wood floors in existing house and add new wood flooring in second floor of addition and at new wood stairs; All new wood flooring to be sanded, stained and sealed.
- Painting: Tape, float and paint all new sheetrock; Prime and paint all new doors, windows, cabinets, plaster, exterior siding, interior and exterior trim and repaint all existing doors, windows, porch columns, trim and exterior siding
- Specialties: Provide 4 Robern medicine cabinets, bath accessories, ceiling mounted shower curtain track, two attic access doors, mail slot and specified appliances. Washer and Dryer to be provided by homeowner.
- Plumbing: Rough-in new PVC drain, waste and vent piping and new Pex piping for all new plumbing; Provide new gas lines for stove, water heater and new HVAC units; Furnish and install new plumbing fixtures. An allowance of \$12,500 is included for the purchase of all the plumbing fixtures, water filtration, and water heater.
- HVAC: Furnish and install two new split dx HVAC systems with gas heat and all new ductwork.
- Electrical: Furnish and install all new electrical wiring for new addition and modify existing wiring in exiting house for new layout; Provide new lighting as specified

Qualifications

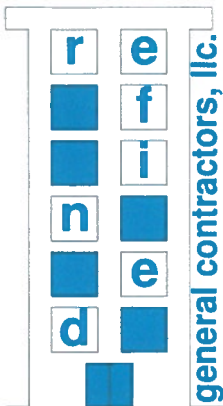
- Sales tax on materials is included
- A City of San Antonio Building Permit is included
- This bid is good for 30 days
- All work to be performed during normal business hours
- Builder's Risk insurance is excluded
- Utilities (electricity and water) required for the work shall be provided and paid for by owner
- Special inspections or materials testing is by others
- Testing, removal or abatement of hazardous materials is excluded
- Gutters and downspouts are excluded
- Proposal assumes existing wood floor is restorable

Should you have any questions, clarifications or need additional information, please call us.

We look forward to working with you.

Sincerely,


Rene Munoz



INVOICE

Invoice No.: 16-116A-102

Date: 5/4/2017

Terms: Payment due upon receipt of invoice

Project: Additional Work at
415 Cedar
San Antonio, Texas 78210

Billed To: Dr. and Mrs. James Ball
415 Cedar Street
San Antonio, Texas 78210

Date	Description	Value	%	Amount
7/11/2016	Concrete at Screened Porch	\$ 6,491.00	100.00%	\$ 6,491.00
1/13/2017	Roof Decking Modifications to Exist. Roof	\$ 11,522.00	100.00%	\$ 11,522.00
5/4/2017	Change a few Siding Areas to Cedar Shn	\$ 2,655.00	100.00%	\$ 2,655.00
5/4/2017	Tree Removal	\$ 1,823.00	100.00%	\$ 1,823.00
5/4/2017	Concrete Testing	\$ 408.00	100.00%	\$ 408.00
5/4/2017	Steel Canopy Adjustment	\$ 1,994.00	100.00%	\$ 1,994.00
5/4/2017	IN-Wall Ironing Board	\$ 1,281.00	50.00%	\$ 640.50
5/4/2017	Modifications to Floor Trusses	\$ 1,422.00	100.00%	\$ 1,422.00
5/4/2017	ASI-2 Sink Addition to Butler's Pantry	\$ 2,043.00	75.00%	\$ 1,532.25
5/4/2017	ASI-3 Add Individual Fir Rafter Tails	\$ 2,992.00	100.00%	\$ 2,992.00
5/4/2017	ASI-4 2nd Floor Tie Down & Shearwalls	\$ 813.00	100.00%	\$ 813.00
5/4/2017	ASI-5 Plumbing Fixture Selections	\$ 9,971.00	100.00%	\$ 9,971.00
5/4/2017	ASI-7 Recessed Can Lights	\$ -	0.00%	\$ -
5/4/2017	ASI-9 Window Relocation	\$ 457.00	100.00%	\$ 457.00
5/4/2017	ASI-10 Central Vacuum	\$ 2,717.00	75.00%	\$ 2,037.75
5/4/2017	ASI-11 Outdoor Shower	\$ 1,333.00	0.00%	\$ -
5/4/2017	ASI-12 RCP Walkthrough	\$ -	0.00%	\$ -
5/4/2017	ASI-13 Add Window (J)	\$ 924.00	100.00%	\$ 924.00
5/4/2017	ASI-14 Steel Carport Blocking	\$ 962.00	100.00%	\$ 962.00
5/4/2017	ASI-15 Interior Wood Siding	\$ 17,398.00	75.00%	\$ 13,048.50
5/4/2017	ASI-16 New Roof Addition at Entry	\$ 521.00	100.00%	\$ 521.00
5/4/2017	ASI-17 Tile Layout Revisions	\$ -	0.00%	\$ -
5/4/2017	ASI-19 Interior Fans	\$ -	0.00%	\$ -
5/4/2017	ASI-22 Millwork Revisions	\$ 17,991.00	0.00%	\$ -
Total Invoice				\$ 60,214.00
Payments to Date				\$ 18,013.00
TOTAL DUE THIS INVOICE				\$ 42,201.00

p.o. box 680547
san antonio, tx
78268
210.433.7742
fax 210.680.2047

Thank you for using Refined General Contractors, LLC. for your construction project!



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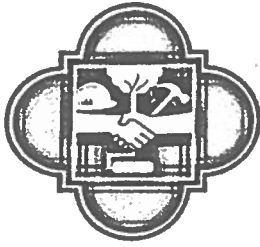


Before

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CITY OF SAN ANTONIO
DEVELOPMENT SERVICES DEPARTMENT
P.O. BOX 839966 | SAN ANTONIO TEXAS 78283-3966



12/18/2017

LETTER OF CERTIFICATION

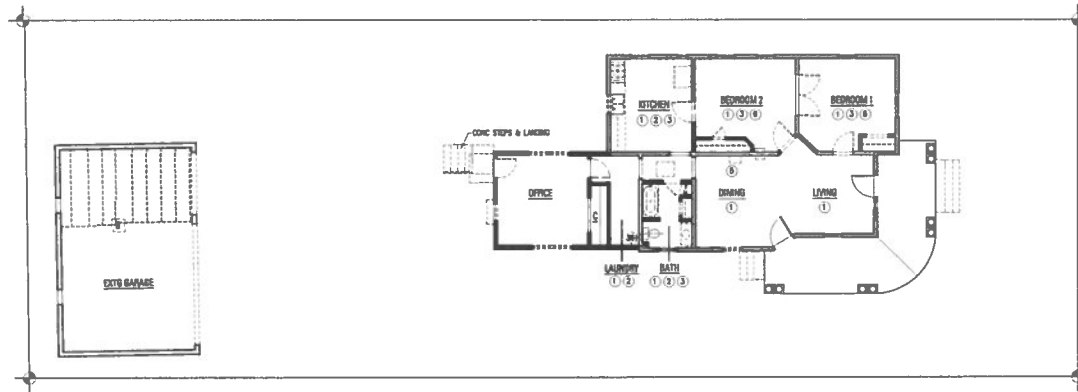
This letter confirms that on 06/21/2016, building permit number 2160331 was issued to Refined General Contractors for demolition, interior renovation, and 2nd story addition located at 415 Cedar St., San Antonio, TX.

The occupant load for this project is not applicable.

According to the Customer Service Division of the Development Services Department, all applicable inspections were performed and approved.

A handwritten signature in black ink, appearing to read 'Dominic Silva', is written over a horizontal line.

Dominic Silva
Development Services Department



PROJECT INFORMATION	
LEGAL DESCRIPTION FOR 415 CEDAR ST: LOT 4 BLK 3, NCH 2980	
EXISTING SQUARE FOOTAGE:	840 SQ FT
EXISTING GARAGE SQUARE FOOTAGE:	625 SQ FT
ADDITION SQUARE FOOTAGE:	1625 SQ FT
APPLICABLE CITY OF SAN ANTONIO CODES	
-2015 I.B.C.	-2015 I.B.C.
-2015 L.F.C.	-2015 L.F.C.
-2015 M.C.C.	-2015 M.C.C.
-2014 M.E.C.	-2014 M.E.C.
-2015 L.P.C.	-2015 L.P.C.
-2015 F.C.C.	-2015 F.C.C.
OCCUPANCY CLASSIFICATION:	04
OCCUPANCY LEAD HOURS:	13
OCCUPANCY LEAD GARAGE:	2

DATE	ISSUED FOR
12.30	PRICING

1 DEMO PLAN
SCALE: 1/8"=1'-0"

DEMO LEGEND:

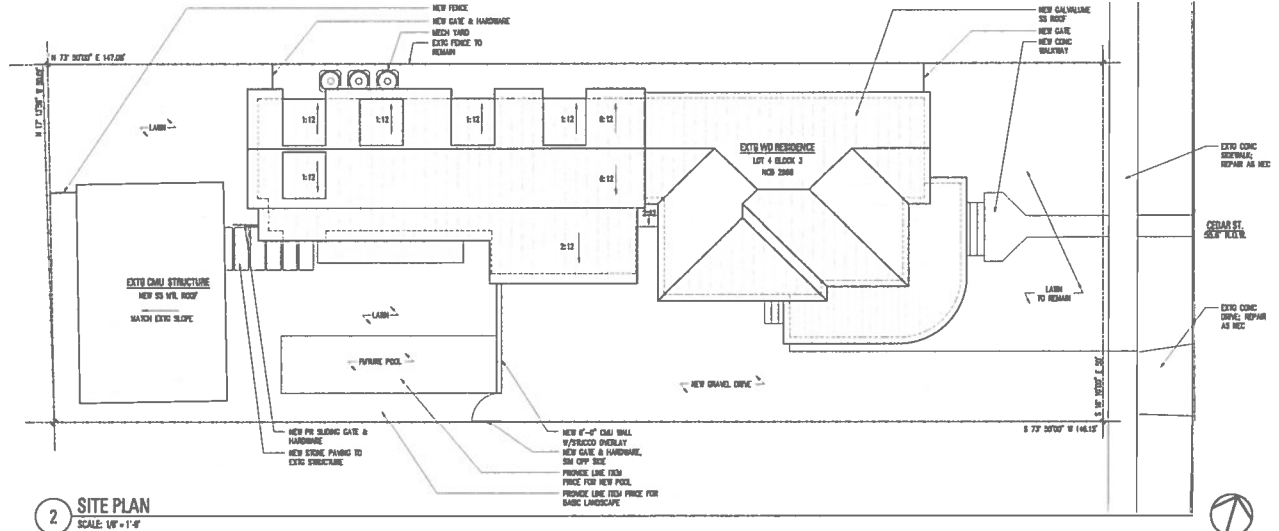
	EXIST WALL TO REMAIN
	EXIST WALL TO BE DEMOLISHED
	EXIST ITEM TO BE DEMOLISHED

DEMO NOTES:

1. REMOVE WALLS/ROOF TO BE REMOVED. SALVAGE ALL ARCHITECTURAL, ROOFING AND TRUSS ON THE ROOF DIRECTED BY ARCHITECT OR OWNER. PATCH WALLS WHERE INTERSECTING WALLS REMOVED. OR WHERE THE FINISH IS DISTURBED BY THE DEMOLITION ACTIVITY. PATCH IS TO MATCH ADJACENT WALL SURFACE AS CLOSELY AS POSSIBLE.
2. PATCH CEILING WHERE INTERSECTING WALLS REMOVED OR WHERE THE FINISH IS DISTURBED BY THE DEMOLITION ACTIVITY. PATCH IS TO MATCH ADJACENT CEILING SURFACE AS CLOSELY AS POSSIBLE.
3. PATCH FLOOR WHERE WALLS/ROOF REMOVED OR WHERE THE FINISH IS DISTURBED BY THE DEMOLITION ACTIVITY. PATCH IS TO MATCH ADJACENT FLOOR SURFACE AS CLOSELY AS POSSIBLE.
4. SALVAGE DOORS MOVED FOR DEMOLITION. CLEAN, REPAIR/REPLACE AS APPLICABLE IN PLAN, 2/ALS.
5. REMOVE ANY LIGHT FIXTURES IN CONFLICT WITH THE PLAN, 2/ALS.
6. SALVAGE & CLEAN EXISTING TRIM & CASING FOR POSSIBLE REUSE.

DEMO KEYED NOTES:

1. FLOORING TO BE REMOVED THIS ROOM & PREPARED FOR NEW AS NOTED IN 2/ALS
2. REMOVE ALL PLUMBING, GAS HOOKUPS & OR R/O HOOKUPS
3. REMOVE ALL MILLING THIS RM
4. REMOVE ROOF
5. REMOVE FURNACE & ALL ASSOCIATED INT/EXT PIPING
6. REMOVE FULL HT CLOSET



2 SITE PLAN
SCALE: 1/8"=1'-0"

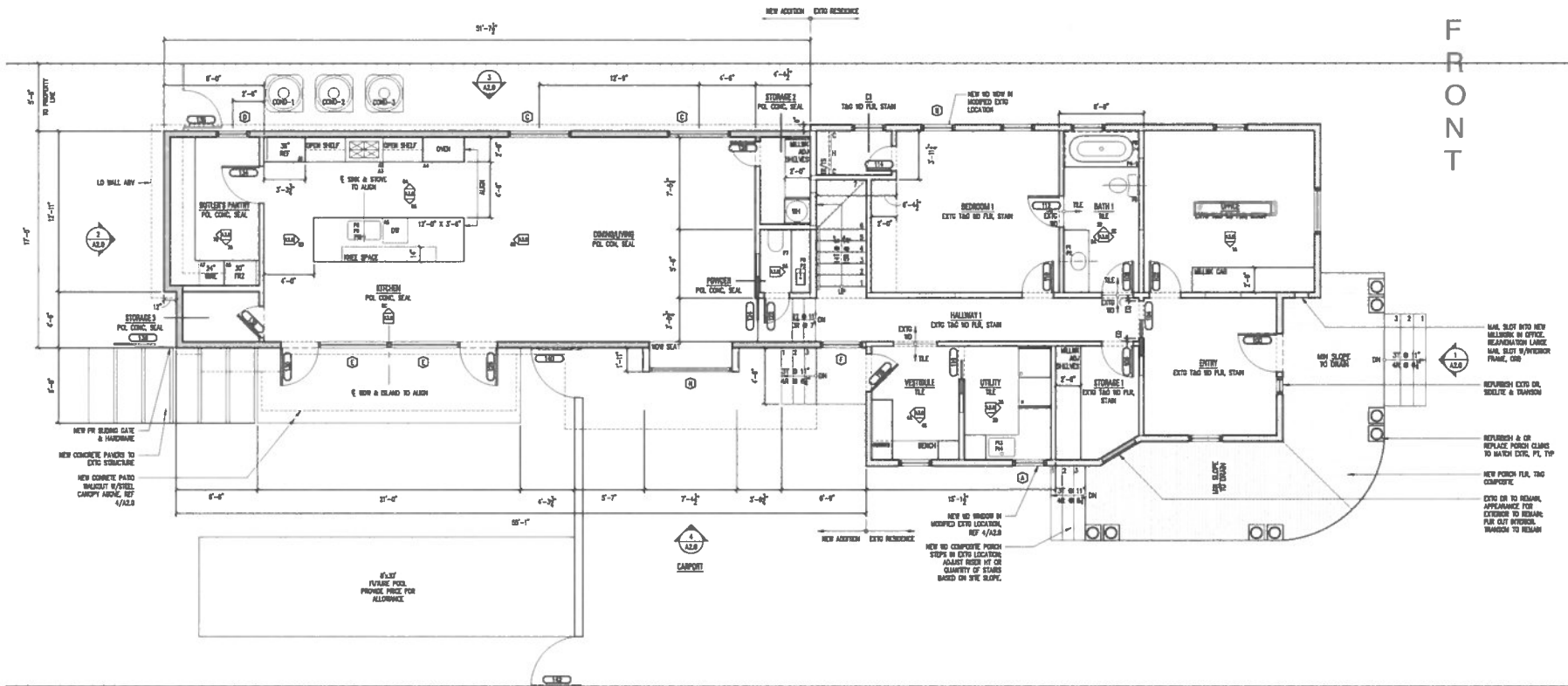
1114 BALCON STREET, SUITE 100
SAN ANTONIO, TEXAS 78205
potet architects, lp
1114 BALCON STREET, SUITE 100
SAN ANTONIO, TEXAS 78205
www.potetarchitects.com

BALL RESIDENCE
415 CEDAR ST.
SAN ANTONIO, TEXAS

DRAWN: [initials]
CHECKED: [initials]
APPROVED: [initials]
DATE: DECEMBER 30, 2015
SHEET NO. 0104 PLAN
SITE PLAN

A0.1

FOR PRICING ONLY



FRONT

1 FLOOR PLAN: FIRST FLOOR SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND:

----	EXTD EXTERIOR WALL	18/15	ONE-1 1/2" CHROME EPICLO CLOSET ROD & 1 1/4" SHLUF, PFD
----	EXTD INTERIOR WALL	20/25	TWO-CHROME EPICLO CLOSET RODS & 2 1/4" SHLUFES, PFD
----	NEW EXTERIOR WALL 2x8 @ 16"	H	CLOSET HANGER (REF SPECS)
----	NEW EXTERIOR WALL 2x8 @ 16"	C	CLOSET CLEAN HANGER (REF SPECS)
----	NEW EXTERIOR WALL 2x8 @ 16"	N/C	NOT IN CONTRACT
----	NEW EXTERIOR WALL 2x8 @ 16"	O/C	OWNER FURNISHED CONTRACTOR INSTALLED
----	NEW EXTERIOR WALL 2x8 @ 16"	O/C	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
----	NEW WALL 1/2" AS SPEC'D		
----	EXTD EXTERIOR WALL		
----	EXTD INTERIOR WALL		
----	EXTD INTERIOR WALL		

GENERAL NOTES:

1. EXTERIOR WALLS AND CEILING WALLS ARE NOT SQUARE. DIMENSIONS SHOWN ARE FOR QUANTITY INFORMATION ONLY. CONSULT WITH ARCHITECT PRIOR TO ANY LAYOUT AND CONSTRUCTION. CONFIRM WALL LAYOUT 1/4" ARCHITECT PRIOR TO CONSTRUCTION.
2. ARCHITECT APPROVED SHOP DRAWINGS ARE REQUIRED FOR ALL MILLWORK, STEEL, SHEET METAL, DOORS, WINDOWS, STONE & SOLID SURFACE OR PROJECT PRIOR TO ANY FABRICATION.
3. NEW WALL OPENINGS TO BE NO CAGED OPENINGS USING SALVAGED TRIM MATERIAL OR NEW TRIM TO MATCH EXIST.
4. PRIOR TO ANY PAINTING/STAINING PATCH HOLDS/BRACKS TO MATCH EXIST ADJACENT TRIM AS CLOSELY AS POSSIBLE. UNLESS PAINTING/STAINING 1/4" ARCHITECT PRIOR TO BEGINNING ANY WORK.
5. DIMENSIONS ARE TYPICALLY TO FINISHED SURFACES ON ASSEMBLY.
6. EXIST NO BEING TO BE REPAIRED & OR REPLACED AS NECESSARY TO ENSURE COMPLETE IS ISSUED TO RECEIVE PAINT, TYPICAL EXIST EXTD RESIDENCE.

DATE	ISSUED FOR
12.30	PRICING

PROJECT OFFICE
114 EAST 10TH STREET
DALLAS, TEXAS 75201
poteet architects, lp
114 EAST 10TH STREET
DALLAS, TEXAS 75201
TEL: 214.742.1111
WWW.POTEETARCHITECTS.COM

BALL RESIDENCE
415 CEDAR ST
SAN ANTONIO, TEXAS

DRAWN: ■
CHECKED:
APPROVED:
DATE: DECEMBER 30, 2018
SHEET NO. 0000-PLAN FLOOR PLAN

A1.0

FOR PRICING ONLY

