

HISTORIC AND DESIGN REVIEW COMMISSION

June 05, 2019

HDRC CASE NO: 2019-315
ADDRESS: 310 CALLAGHAN AVE
LEGAL DESCRIPTION: NCB 721 BLK 3 LOT N 80.04 FT OF 3
ZONING: RM-4
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Justin Ferdinand/Alamo Wealth Builders, LLC.
OWNER: Justin Ferdinand/Alamo Wealth Builders, LLC.
TYPE OF WORK: Exterior modifications
APPLICATION RECEIVED: May 17, 2019
60-DAY REVIEW: July 16, 2019
CASE MANAGER: Huy Pham

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove a non-original rear door opening and patio cover to infill with siding
2. Remove a non-original rear-side aluminum window opening to infill with siding
3. Install a 3' by 11' rear addition and rear deck, including replacement of an original window opening for a door.
4. Repair eight (8) one-over-one wood windows and install wood screens
5. Replace front porch columns and railing from wrought iron to wood
6. Remove corner-facing front door from the bay window wall to infill with siding
7. Relocate the front-facing front door one-foot (1') closer to the bay window
8. Install stucco-textured Hardie skirting panels around the foundation
9. Install a four-foot (4') tall wrought iron fence with solid horizontal wood solar gate in the front yard
10. Install an eight-foot (8') tall horizontal wood fence in the rear yard
11. Install a concrete ribbon driveway with crushed rocks
12. Demolish approximately half of a rear accessory structure, maintaining the other half on the structure on the rear neighbor's property.

APPLICABLE CITATIONS:

3. Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: **Doors, Windows, and Screens**

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

- vi. Replacement glass—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. Non-historic windows—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. Security bars—Install security bars only on the interior of windows and doors.
- ix. Screens—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. Shutters—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

7. Architectural Features: **Porches, Balconies, and Porte-Cocheres**

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

8. Architectural Features: **Foundations**

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement features*—Ensure that features such as decorative vents and grilles and lattice panels are replaced in-kind when deteriorated beyond repair. When in-kind replacement is not possible, use features matching in size, material, and design. Replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact.

3. Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be

maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

5. Guidelines for Site Elements

2. **Fences** and Walls

B. NEW FENCES AND WALLS

i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible use.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location* – Do not use privacy fences in front yards.

UDC Sec. 35-514. - Fences

Table of Heights
Maximum Permitted Fence Heights

Permitted Use	Front Yard	Side Yard	Rear Yard
Single-Family or Mixed Residential Use	3'0" solid fence 5'0" combined or predominantly open fence Except as provided by (b)(2)	6'0"	6'0"
Multi-Family Use (see also subsection 35-514(f) below)	3'0" solid fence 5'0" combined or predominantly open fence	6'0"	6'0"
Commercial & Office Use	3'0" solid fence 5'0" combined or predominantly open fence	6'0"	6'0"
Industrial Use ¹	8'0" ¹	8'0" ¹	8'0" ¹
Government Facilities, Churches, Schools, Swimming Pools, Stormwater Management Facilities, & Parks (Public property, including parks, require HDRC review)	8'0"	8'0"	8'0"
Vacant Lots, Parking Lots	3'0" solid fence 6'0" combined or predominantly open (see also subsection 35-514(b)(3) above)	6'0"	6'0"

5. Sidewalks, Walkways, **Driveways**, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

FINDINGS:

- a. The primary structure at 306 Callaghan was first constructed circa 1910 in the Folk Victorian style and first appears on the 1912 Sanborn map. The one-story single-family structure features a primary hipped roof with a front face gable over a traditional window bay featuring ornamental diamond-light window and an additional front door, a covered front porch with wrought iron columns, a standing-seam metal roof, 117 wood siding under aluminum siding, and a majority of original wood windows. The structure is contributing to the Lavaca Historic District.

- b. COMPLIANCE – On a site visit conducted on May 17, 2019, staff found that a front door had been removed with other interior renovations initiated. At that time, staff had advise the owner/applicant to not discard the original front door until the conclusion of the HDRC hearing and that all exterior work requires a Certificate of Appropriateness. The applicant submitted an application on May 17, 2019 to be heard at the next available HDRC hearing. At this time, the property has only received approval to perform foundation repair with no changes to skirting, and install HVAC system including a rear exterior unit. There is also a pending review of a driveway carport submitted by another applicant.
- c. REAR DOOR & PATIO COVER – The applicant has proposed to remove a rear door opening and its overhead patio cover to infill with siding. Per the 1912 Sanborn map, staff finds the location of the door and patio cover indicates that they were a later addition to enclose the original rear inset porch. Staff finds the removal of non-historic features appropriate.
- d. REAR ALUMINUM WINDOW – The applicant has proposed to remove a rear aluminum window to infill with siding. Staff finds that the size, material, and installation of the window is different from the rest of the windows on the house and is likely to be an non-original window opening. Staff finds the removal of the non-historic feature appropriate.
- e. REAR WINDOW REMOVAL FOR ADDITION & DECK – The applicant has proposed to install a three-foot by eleven-foot (3' x 11') rear addition flush to the existing rear-most wall plane. This addition requires the removal of an original window opening and wood window and includes the installation a rear wood patio deck. Staff finds that the proposed addition is generally appropriate regarding its massing, location, and materials. However, per the Guidelines for Additions 3.1.A.iv. and 3.3.C.i., staff finds that an inset wall plane and/or vertical trim piece is installed to distinguish between old and new forms and that the removed wood window be salvaged by relocating to another portion of the rear façade, respectively.
- f. WINDOW REPAIR & WOOD SCREENS – The applicant has proposed to repair all remaining wood windows and to install wood screens. The Guidelines for Exterior Maintenance and Alterations 3.6.B.ix. notes that wood screen window frames should in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair, and that the tint of replacement screens closely matches the original screens or those used historically. Staff finds the request to repair original wood windows and install wood screens generally appropriate. However, appropriate specifications for the configuration and mounting of the wood screens should be submitted to staff prior to installation.
- g. PORCH COLUMNS & RAILING – The applicant has proposed to remove the wrought iron columns with square wood columns and railing. The Guidelines for Exterior Maintenance and Alterations 7.B.v. notes that porches, balconies, and porte-cocheres should be reconstructed based on accurate evidence of the original, such as photographs; if no such evidence exists, the design should be based on the architectural style of the building and historic patterns. Staff finds that the wrought iron columns were not original to the structure and may be replaced with an appropriate wood reconstruction. Staff finds that the porch reconstruction should be simple in design as to not appear original and meet the standard stipulations: *The proposed railings should feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet. ii. The wood columns should be six inch (6") square with capital and base trim, and feature a chamfered corners.*
- h. FRONT DOOR REMOVAL – The applicant has proposed to remove the corner-facing front door to infill with siding. Staff finds the atypical location and orientation and the difference in door size, head height, and style to the other front door indicates that the corner-facing door is not original to the structure. Staff finds that the removal of the non-historic feature appropriate.
- i. FRONT DOOR RELOCATION – The application has proposed to relocate the front-facing front door approximately one-foot (1') closer to the bay window corner. The door and opening has been removed prior to approval and has been issued a Stop Work Order; the original door is still on site. Staff finds that the door opening including the original wood door and overhead transom is original to the structure and should be preserved in-place per the Guidelines for Exterior Maintenance and Alterations 3.6.A.i.
- j. FOUNDATION SKIRTING – The applicant has proposed to install stucco-textured Hardie skirting panels with battens to the foundation skirting. The skirting previously featured non-original corrugated metal panels. Per the Guidelines for Exterior Maintenance and Alterations 2.8.B.i., replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact. Staff finds that the proposed skirting is not consistent with the Guidelines and should instead feature lap skirting constructed of wood or smooth Hardie comparable to the historic siding of the structure; faux wood grain texture is not allowed.

- k. FRONT YARD FENCE – The applicant has proposed to install a four-foot (4') tall wrought iron fence in the front yard including a solid horizontal sliding wood gate with solar panel across the front of the driveway. Staff finds that front yard fences are found on the block and within the Lavaca Historic District and that wrought iron fences are appropriate for Folk Victorian style houses. However, per the Guidelines for Site Elements 5.2.C.ii. privacy fences should not be used in the front yard. Staff finds that the wrought fence should turn at the corner of the front yard and return at the corner of the historic structure instead of spanning across the driveway, and that the solid horizontal wood gate should be set behind the front façade plane of the primary historic structure or be excluded from the design.
- l. REAR YARD FENCE – The applicant has proposed to install an eight-foot (8') tall solid horizontal wood privacy fence at the rear of the property. A six-foot (6') tall wood privacy fences set behind the front façade plane of the historic structure is eligible for administrative approval. Staff finds that the proposed height is inconsistent the Historic Design Guidelines and the Unified Development Code Sec 35-514.
- m. RIBBON DRIVEWAY – The applicant has proposed to install a concrete ribbon driveway with crushed rocks in between the ribbon. The driveway is currently not paved and ribbon driveways are present on the block and within the Lavaca Historic District. Per the Guidelines for Site Elements 5.5.B.i., a similar driveway configuration—materials, width, and design—to that historically found should be incorporated on the site; historic driveways are typically no wider than 10 feet and pervious paving surfaces may be considered where replacement is necessary to increase storm water infiltration. Staff finds that the proposed ribbon driveway and pervious cover is generally appropriate;
- n. PARTIAL DEMOLITION OF REAR ACCESSORY STRUCTURE – A rear accessory structure is located on the property line between 310 Callaghan and 309 Leigh. The applicant is proposing to demolish the 310 Callaghan half of the structure and fence off the exposed portion, effectively converting the turned gable structure into a shed roof structure remaining only on 309 Leigh. The structure is found on the 1912 Sanborn map and is contributing the Lavaca Historic District. Staff finds that partial demolition is inappropriate and other solutions should be proposed to resolve property boundary issues.

RECOMMENDATION:

Staff recommends approval of items 1-6, 8-11 with the following stipulations:

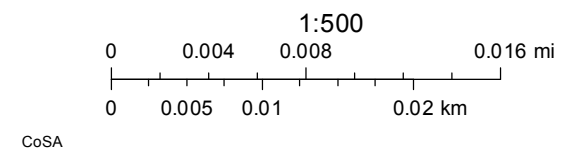
- i. All new wood siding should feature a 117 profile
- ii. The rear wood window removed for the addition and patio should be salvaged and relocated to another portion of the rear elevation.
- iii. A measured drawing or mock-up of an appropriate wood window screen should be submitted to staff for verification.
- iv. The new wood columns and railing should feature the standard specifications: *The proposed railings should feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet. ii. The wood columns should be six inch (6") square with capital and base trim, and feature a chamfered corner*
The applicant may provide an updated measured drawing or request the standard specifications from staff. No installation of wood decking or new skirting is requested at this time.
- v. The foundation should feature lap skirting constructed of wood or smooth Hardie comparable to the historic siding of the structure; faux wood grain texture is not allowed.
- vi. The front yard fence turns at the corner of the yard and returns to the corner of the house rather than span across the driveway; the gate should be located behind the front façade plane of the house or removed from the design; no portion of the front yard fence is to exceed four-feet (4') in height.
- vii. No portion of the rear privacy fence is to exceed six-feet (6') in height/
- viii. The ribbon driveway is to feature concrete ribbons no wider than two-feet (2') with a total width no wider than ten-feet (10').

Staff does not recommend approval of item 7, relocating the front door , or item 12, demolishing half of a shared rear accessory structure.

310 Callaghan



May 27, 2019





Callaghan Ave

Eager St

Callaghan Ave

Labor St

Labor St

Leigh St

Leigh St

Callaghan Ave

310 Callaghan Avenue

Callaghan Ave

Riddle St

Labor St

Eager St

Leigh St

Leigh St

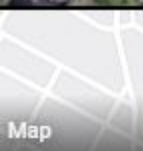
Leigh St

Riddle St

Callaghan Ave

Riddle St

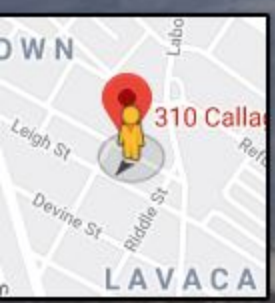
Labor St



Google



310 Callaghan Avenue



5/11/44

LEIGH

Request Item	Staff Notes	Action needed by applicant
Close off rear door and repair with new d117 siding to match existing	Requires HDRC hearing	rear elevation drawing, additional photos (see A2.0/3 & Image A, E)
Demo patio cover over existing rear door	May be eligible for admin, need to verify non-original status	additional photos (see Image A)
Remove kitchen window to rear to backyard and replace with front door	Requires HDRC hearing	rear elevation drawing, additional photos (see A2.0/3 & Image B)
install front wood door w new patio deck	Requires HDRC hearing	rear elevation drawing, additional photos (see A2.0/3 & Image B)
Restore 8 wood windows and install new wood screens	Requires HDRC hearing	Profile photo of each window, specifications for proposed windows, window schedule (see A2.0/1, 2, 3,4 & Image C)
install electric or solar gate with metal and or horizontal cedar	Requires HDRC hearing	Site plan with proposed fence line, elevation drawing or example photo of proposed fence (see A0.2/1 & Image D)
Remove bathroom window and close off with existing d117 siding	Requires HDRC hearing	Elevation drawing (see A2.0/4 & Image E,F)
Landscape front yard (NOT PROVIDED)	May be eligible for admin, need to maintain a majority of plant cover/lawn with no new hardscaping	Site plan with landscape elements
Concrete ribbon driveway with crushed gravel	May be eligible for admin if 10ft wide, pavers advised against	Site plan (see A0.2/1 & Image G)
and crushed gravel in backyard (NOT PROVIDED)	May be eligible for admin	Site plan
Remove metal railings to go back with cedar posts and handrails	May be eligible for admin, needs to match historic profile, can ask for staff specifications	Elevation drawing for proposed front porch (see A2.0/1 & Image H)
remove vinyl/aluminum siding on entire house to expose existing D117 wood Siding	May be eligible for admin, need to verify scope	Photo of exposed wood siding under current vinyl siding, rotten wood should be replaced with matching profile (see A2.0/1,2,3,4 & Image E, I)
remove patio ceiling and install cedar T/G boards (NOT PROVIDED)	May be eligible for admin, need to verify scope	Photo of exposed wood siding under current vinyl siding, rotten wood should be replaced with matching profile

remove right front door and repair with existing D117 Siding	Requires HDRC hearing	Elevation drawing of front façade (see A2.0/1 & Image E, H)
remove vinyl siding and repair 3" overlap siding (Repeated)	May be eligible for admin, need to verify scope	Photo of exposed wood siding under current vinyl siding, rotten wood should be replaced with matching profile
move left door to the right 12" and replace w existing wood door	Requires HDRC hearing	Elevation drawing of front porch, drawing or example photo of proposed new door. If removing historic door, needs to match. (see A2.0/1 & Image J, K)
repair 6' fence to the right with horizontal cedar	May be eligible for admin if rear fence only	Site plan with fence line (see A0.2/1)
demo dilapidated stand alone carport, demo shed on shared property	separate pending request by applicant Cameron Baker	
Continue fence build 8' ft fence on rear of property, 8' fence on rear dividing property lines would equate to 6' of privacy since house sits 2' above ground on pier and beam as permitted in city code, bringing enhanced value to the neighborhood to give proper privacy from neighbors.	Requires HDRC hearing, limit 6' in rear and 4' in front	Site plan with fence line (see A0.2/1 & Image L)
Grapefruit tree removal on left side of house	May be eligible for admin	
Retaining wall for protruding waters from rear neighbor's yard (Not Provided)	May be eligible for admin in rear yard only, need to verify scope	Site plan with retaining wall line, height and material of retaining wall
Skirting around entire house	May be eligible for admin	Show photo of existing skirt and example photo or specifications of proposed skirting (see A2.0/1,2,3,4 & Image M)
Roof replace or repair with powerwash and proper metallic paint dark grey	May be eligible for admin, no vented ridge caps	need to verify replace or repair (Repair - See A2.0/1,2,3,4 & Image N)

Paint house a light pastel yellow with grey Wood Window Screens	May be eligible for admin, no shutters allowed	(Image N)
and grey painted concrete porch with white/cream trim around home	May be eligible for admin	(Image N)



Image A



Image B



Image C



Image D



Image E

1x6 C&Btr
Siding
Pattern #117



Image F

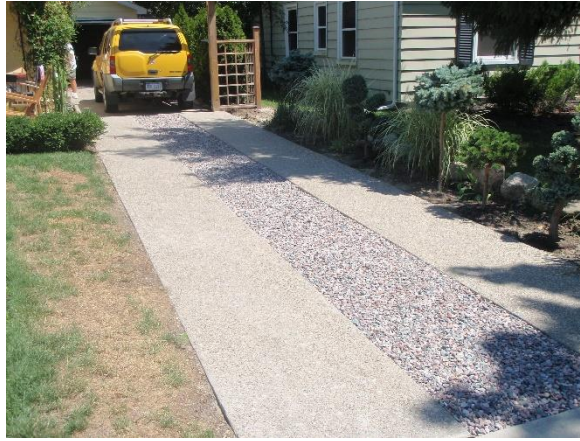


Image G



Image H



Image I



Image J



Image K



Image L



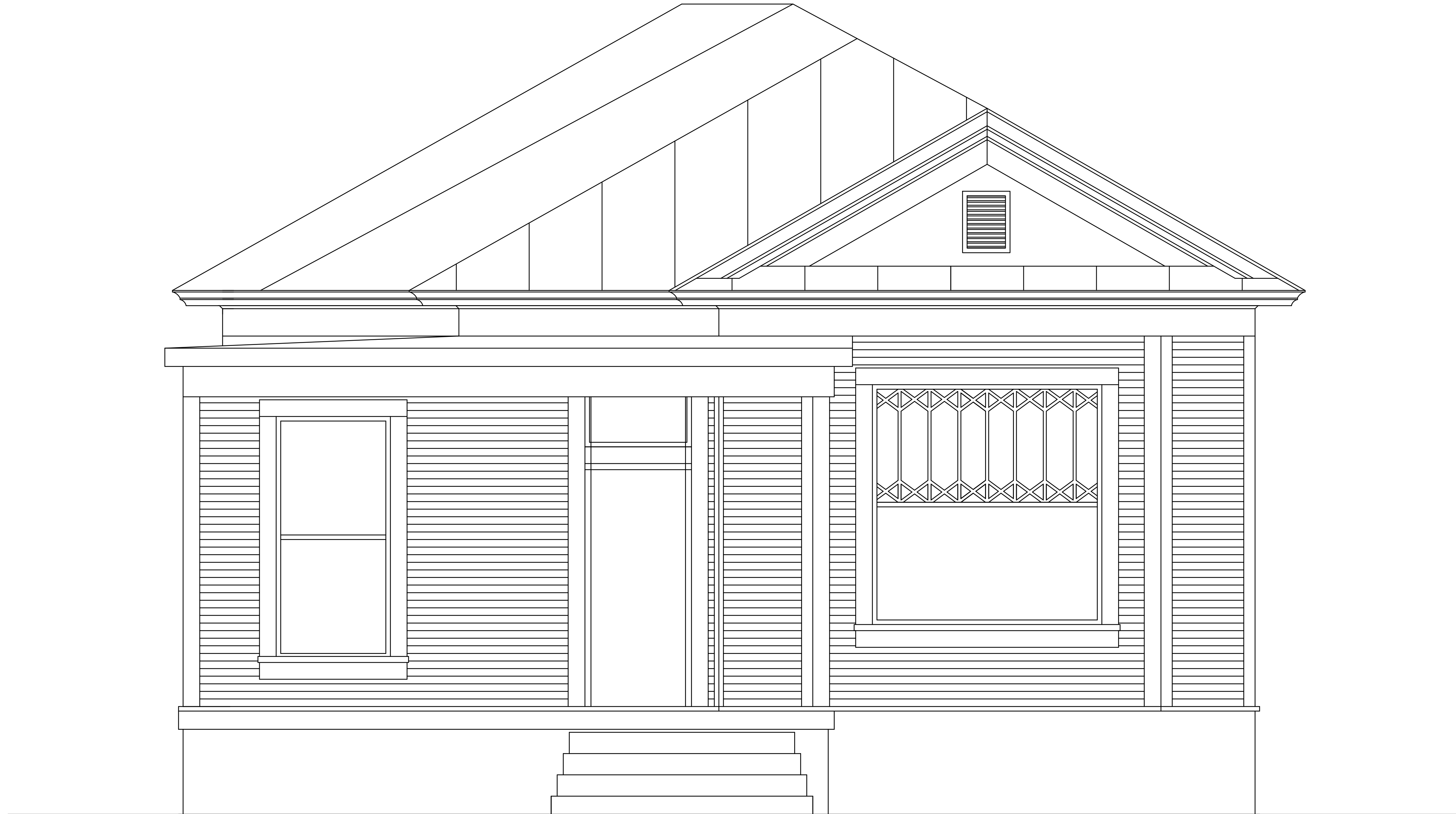
Image M



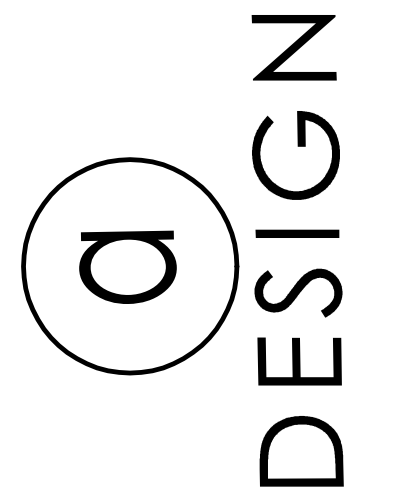
Image N

LAVACA DISTRICT

310 CALLAGHAN AVENUE



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310 CALLAGHAN AVENUE

SHEET INDEX	
1	A0.0 COVER
2	A0.1 INFORMATION
3	A0.2 SITE PLAN
4	D1.0 DEMOLITION PLAN
5	A1.0 FLOOR PLAN
6	A2.0 ELEVATION PLAN

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DESIGNER: ADAN OCHOA

sheet
A0.0
1 of 6

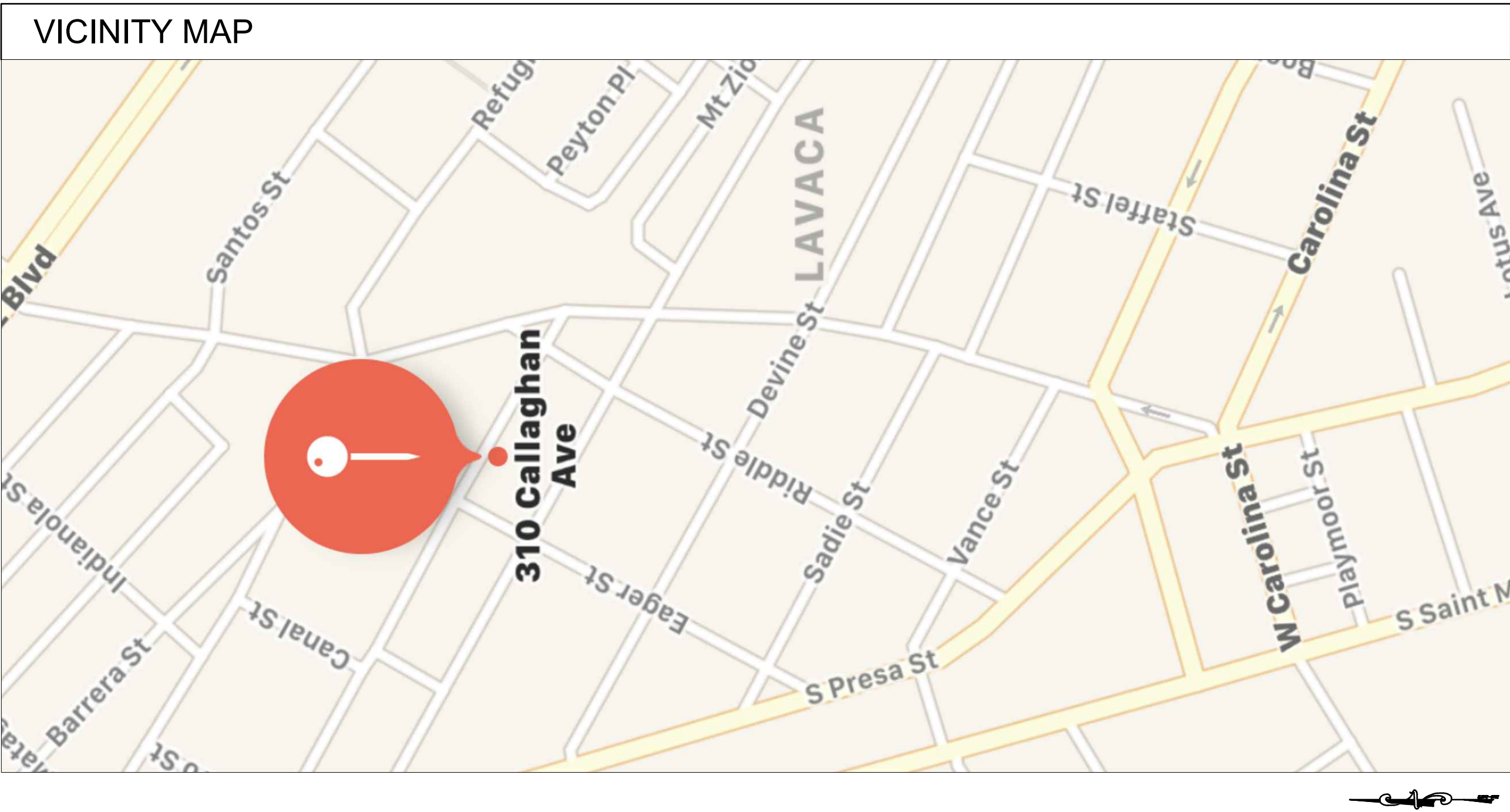
COVER SHEET

SHEET INDEX	
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2	A0.1 INFORMATION
3	A0.2 SITE PLAN
4	D1.0 DEMOLITION PLAN
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ARCHITECTURAL ABBREVIATION LEGEND					
ABV	ABOVE	GYP	GYPSUM	REQD	REQUIRED
AFF	ABOVE FINISHED FLOOR	GYP BD	GYPSUM BOARD	RESIL	RESILIENT
ACC	ACCESS / ACCESSIBLE	GWB	GYPSUM WALL BOARD	RET	RETURN
AP	ACCESS PANEL	HDW	HARDWARE	RA	RETURN AIR
ACT	ACOUSTICAL (CLG) TILE	HDBD	HARD BOARD	REV	REVERSE
ADJ	ADJACENT	HDR	HEADER	RVS	REVISION
ADJ	ADJUSTABLE	HTG	HEATING	RH	RIGHT HAND
AGGR	AGGREGATE	HVAC	HEATING/VENTILATION/ AIR CONDITIONING	RVT	RIVET
A/C	AIR CONDITION(ING)	HT	HEIGHT	RD	ROOF DRAIN
ALT	ALTERNATE	HP	HIGH POINT	RFG	ROOFING
ALUM	ALUMINUM	HC	HOLLOW CORE	RM	ROOM
ADA	AMERICAN DISABILITIES ACT	HM	HOLLOW METAL	RO	ROUGH OPENING
ANC	ANCHOR / ANCHORAGE	HORIZ	HORIZONTAL	RB	RUBBER BASE
AB	ANCHOR BOLT	HB	HOSE BIB		
APPROX	APPROXIMATE			SS	SANITARY SEWER
ARCH	ARCHITECT(URAL)	INCL	INCLUDE(D)	SC	SEALED CONCRETE
AD	AREA DRAIN	ID	INSIDE DIAMETER	SECT	SECTION
AUTO	AUTOMATIC	INSUL	INSULATE / INSULATION	SCHED	SCHEDULE
				SCWD	SOLID CORE WOOD
BRG	BEARING	INT	INTERIOR	SHT	SHEET
BRG PL	BEARING PLATE	INV	INVERT	SHT GL	SHEET GLASS
BM	BENCH MARK			SHWR	SHOWER
BITUM	BITUMINOUS	JT	JOIST	SIM	SIMILAR
BLK	BLOCK(ING)	JST	JUNCTION BOX	SSM	SOLID SURFACE MATERIAL
BD	BOARD			STC	SOUND TRANSMISSION CLASS
BOC	BOTTOM OF CURB	KPL	KICKPLATE	SPKR	SPEAKER
BLDG	BUILDING	KIT	KITCHEN	SPEC	SPECIFICATION
BUR	BUILT UP ROOF	KO	KNOCKOUT	SQ	SQUARE
				SQ FT	SQUARE FEET
CAB	CABINET	LAM	LAMINATE	SST	STAINLESS STEEL
CPT	CARPET	LB	LAG BOLT	STD	STANDARD
CPD	CARPET PAD	LAV	LAVATORY	STA	STATION
CSTM	CASEMENT	LH	LEFT HAND	ST	STEEL
CB	CATCH BASIN	L	LENGTH	STOR	STORAGE
CLG	CEILING	LT	LIGHT	SD	STORM DRAIN
CLG HT	CEILING HEIGHT	LT	LIGHT WEIGHT	STRUCT	STRUCTURAL
CTRG	CENTER	LT WT	LINEAR YARD	SUSP	SUSPENDED
CT	CERAMIC TILE	LN YD	LINTEL	SYM	SYMMETRICAL
CIR	CIRCLE	LTL	LOUVER	SYNTH	SYNTHETIC
CLO	CLOSET	LVR		SYS	SYSTEM
COL	COLUMN				
COMB	COMBUSTABLE	MH	MANHOLE	TEL	TELEPHONE
CC	COMMERCIAL CARPET	MAS	MASONRY	TV	TELEVISION
CONC	CONCRETE	MO	MASONRY OPENING	TEMP	TEMPORARY / TEMPERATURE
CMU	CONCRETE MASONRY UNIT	MATL	MATERIAL	TMPD	TEMPERED
CONT	CONTINUOUS / CONTINUE	MFGR	MANUFACTURE(ER)(ING)	TXT.	TEXTURED FINISH
CONS	CONSTRUCTION	MAX	MAXIMUM	THK	THICK(NESS)
CF	CONTRACTOR FURNISHED	MECH	MECHANICAL	THRES	THRESHOLD
CI	CONTRACTOR INSTALLED	MEP	MECHANICAL ELECTRIC PLUMBING	TINT	TINTED
CJ	CONTROL JOINT	MED	MEDIUM	TOL	TOLERANCE
CORR	CORRIDOR	MEMB	MEMBRANE	T&G	TONGE AND GROOVE
CU FT	CUBIC FOOT	MTL	METAL	TOC	TOP OF CURB / CONCRETE
CU YD	CUBIC YARD	MTFR	METAL FURRING	TOS	TOP OF SLAB
		MIN	MINIMUM	TOST	TOP OF STEEL
DL	DEAD LOAD	MIR	MIRROR	TOW	TOP OF WALL
DTL	DETAIL	MISC	MISCELLANEOUS	TYP	TYPICAL
DIAG	DIAGONAL	MOD	MODULAR (MODULE)		
DIA	DIAMETER	MRGB	MOISTURE RESISTANT GYPSUM BOARD	UNFIN	UNFINISH(ED)
DIM	DIMENSION			UNO	UNLESS NOTED OTHERWISE
DEPT	DEPARTMENT	MTD	MOUNTED		
DISP	DISPENSER	MOV	MOVABLE	VER.	VERIFY
DBL	DOUBLE	MULL	MULLION	VERT	VERTICAL
DN	DOWN			VEST	VESTIBULE
DS	DOWNSPOUT DRAWER	NAT	NATURAL	VB	VINYL BASE
DWG	DRAWING	NRC	NOISE REDUCTION COEFFICIENT	VCT	VINYL COMPOSITION TILE
DF	DRINKING FOUNTAIN			VWC	VINYL WALL COVERING
		NR	NOMINAL		
EA	EACH	NOM	NORTH	WSCOT	WAINSCOT
ELEC	ELECTRIC	N	NOT IN CONTRACT	WH	WATER HEATER
EDF	ELECTRIC DRINKING FOUNTAIN	NIC	NOT TO SCALE	WWF	WELDED WIRE FABRIC
EPB	ELECTRIC PANELBOARD	NTS	NUMBER	WT	WEIGHT
EWC	ELECTRIC WATER COOLER	NO.		WDW	WINDOW
		OC	ON CENTER	W/	WITH
EL	ELEVATION	OPQ	OPAQUE	W/O	WITHOUT
ELEV	ELEVATOR	OPNG	OPENING	WM	WIRE MESH
EMER	EMERGENCY	OPP	OPPOSITE	WGL	WIRED GLASS
ENCL	ENCLOSURE	O.H.	OUTSIDE DIAMETER	WD	WOOD
EQ	EQUAL	OD	OVERALL	WPT	WORKING POINT
EQUIP	EQUIPMENT	OA	OVERHEAD / OVERHANG		
EXIST	EXISTING	OH	OWNER FURNISHED CONTRACTOR		
EJ	EXPANSION JOINT	OFCI	OWNER FURNISHED CONTRACTOR		
EXP	EXPOSED				
EXT	EXTERIOR	OFOI	OWNER FURNISHED OWNER INSTALLED		
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH	PTD	PAINTED		
FOM	FACE OF MASONRY	PR	PAIR		
FOS	FACE OF STUDS	PNL	PANEL		
FRP	FIBERGLASS REINFORCED PLASTIC	PRKG	PARKING		
		PTN	PARTITION		
FIN	FINISH	PTM			
FF	FINISH FLOOR	PEF	PAVEMENT		
FPL	FIREPLACE	PERF	PERFORATE		
FE	FIRE EXTINGUISHER	PLAS	PLASTIC / PLASTER		
FEC	FIRE EXTINGUISHER CABINET	PL	PLASTIC LAMINATE		
FHS	FIRE HOSE STATION	PG	PLATE GLASS		
FG	FIXED GLASS	PLYWD	PLYWOOD		
FLEX	FLEXIBLE	PT	POINT		
FLR	FLOOR	PVC	POLYVINYL CHLORIDE		
FCO	FLOOR CLEANOUT	PL	PROPERTY LINE		
FD	FLOOR DRAIN				
FLUOR	FLUORESCENT	QT	QUARRY TILE		
FTG	FOOTING				
FDTN	FOUNDATION	R	RADIUS		
FUR	FURRING / FURRED	REF	REFERENCE		
FR	FRAME	RCP	REFLECTED CEILING PLAN		
FS	FULL SIZE				
		REF.	REFRIGERATOR		
GALV	GALVANIZED	REINF	REINFORCED		
GA	GAUGE	RCP	REINFORCED CONCRETE PIPE		
GC	GENERAL CONTRACTOR				
GL	GLASS / GLAZING				
GD	GRADE / GRADING				



BUILDING	
UNIT DESCRIPTION	TOTAL
<u>EXISTING</u>	
LIVING ROOM	
DINNING ROOM	
KITCHEN	
BEDROOM #1	
BEDROOM #2	
BEDROOM #3	
BATHROOM	
CLOSET	
FLOOR TOTAL	1,224 SQ FT
<u>REMODEL</u>	
LIVING ROOM	
DINNING ROOM	
KITCHEN	
BATHROOM	
BEDROOM #1	
BEDROOM #2	
MASTER BEDROOM	
MASTER BATHROOM	
MASTER CLOSET	
WASHER/ DRYER	
UTILITY ROOM	
FLOOR TOTAL	1,260 SQ FT

PROJECT INFORMATION	
LEGAL DESCRIPTION: 310 CALLAGHN AVENUE SAN ANTONIO, TEXAS LOT 3 BLK 3 N.C.B. 721	
BUILDING CODES:	
	2018 INTERNATIONAL BUILDING CODE
BUILDING CRITERIA	
OCCUPANCY	RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE II
NUMBER OF STORIES	ONE STORY
BUILDING DESCRIPTION:	
RENOVATE EXISTING RESIDENTIAL HOME. REPAIR AND PAINT METAL ROOF (GALLERY GREY). REMOVE EXISTING VINYL AND EXPOSE EXISTING D-GRADE 117 SIDING AND PAINT BODY LIME MOUSSE (YELLOW). TRIM CREAM WHITE AND PORCH GALLERY GREY. INSTALL NEW HORIZONTAL CEDAR 8' FENCE ON THE REAR AND SIDES. FRONT AND PARTIAL SIDES WILL HAVE A 4' IRON FENCE WITH A ELECTRONIC SLIDING GATE. FRONT PORCH TO INSTALL NEW CEDAR POST AND RAILINGS. DEMO EXISTING SHED AND ADD AN ADDITIONAL 3'X12' UTILITY ROOM. RESTORE EXISTING WOOD WINDOWS.	
GENERAL NOTES:	
ALL DIMENSIONS SHALL BE FIELD VERIFIED AND MAY SLIGHTLY VARY. IF PROBLEMS OR CONCERNS ARISE FROM PROPOSED LAYOUT, CONTACT ENGINEER OR PROJECT DESIGNER FOR CLARIFICATION.	
IT IS RECOMMENDED TO MEET WITH ENGINEER AND PROJECT DESIGNER ON SITE AFTER DEMOLITION.	

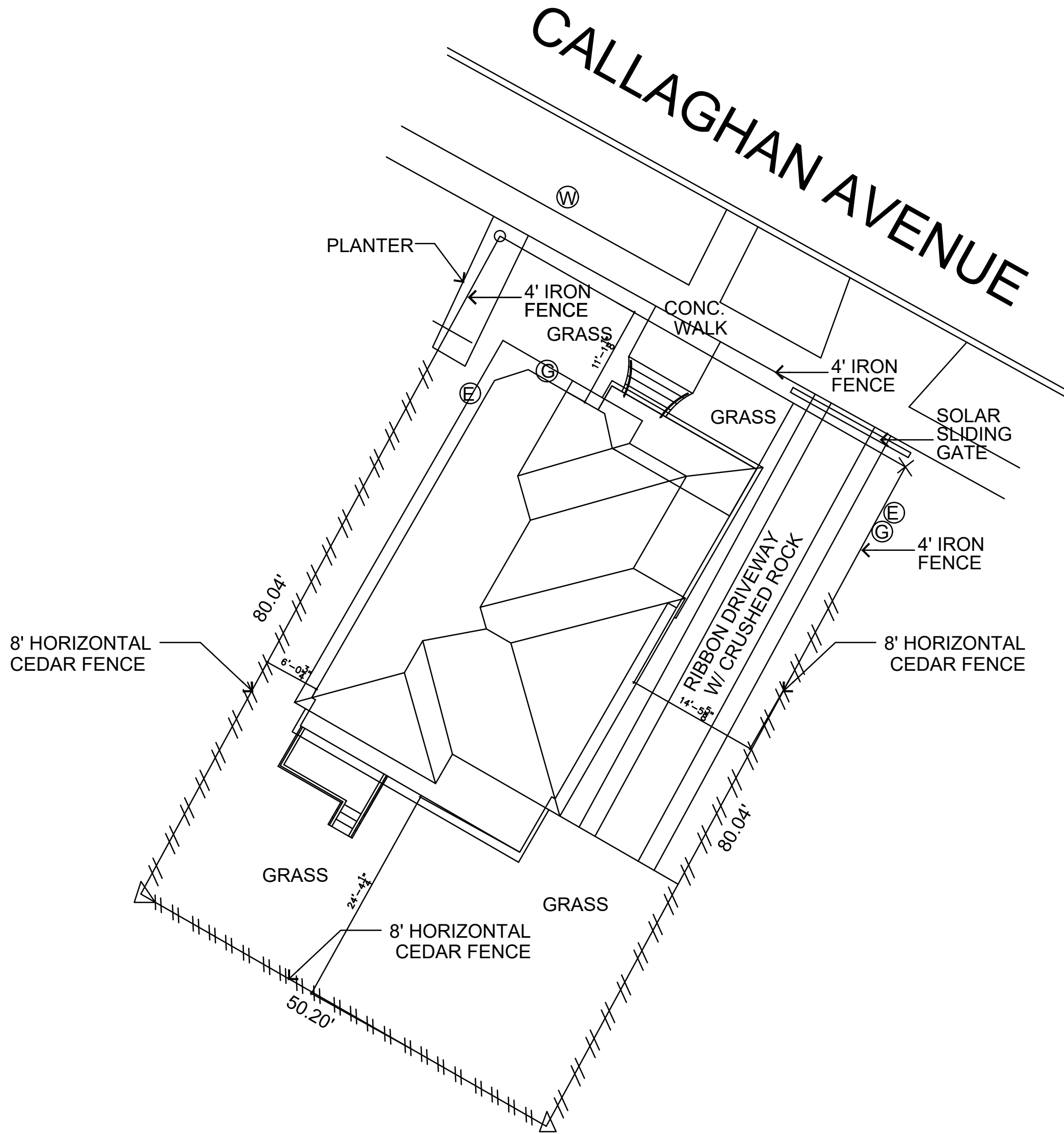
ARCHITECTUAL SYMBOLS LEGEND	
①	DOOR & FRAME
	BUILDING SECTION
	WALL SECTION
	INTERIOR/ EXTERIOR ELEVATION
	DETAIL TAG
	WINDOW TYPE
	WALL TYPE
	CENTER LINE
	PLUS OR MINUS
	PROPERTY LINE

MATERIALS LEGEND			
	EARTH		LUMBER (FINISHED)
	COMPACTED GRANULAR FILL		STONE
	INSULATION (BATT, LOOSE, OR FRICTION)		BRICK
	INSULATION (RIGID)		GYPSUM BOARD OR PLASTER
	CONCRETE		PLYWOOD
	CONCRETE MASONRY UNITS		LUMBER (ROUGH)
	BRICK		NON-CONTINUOUS WOOD BLOCKING

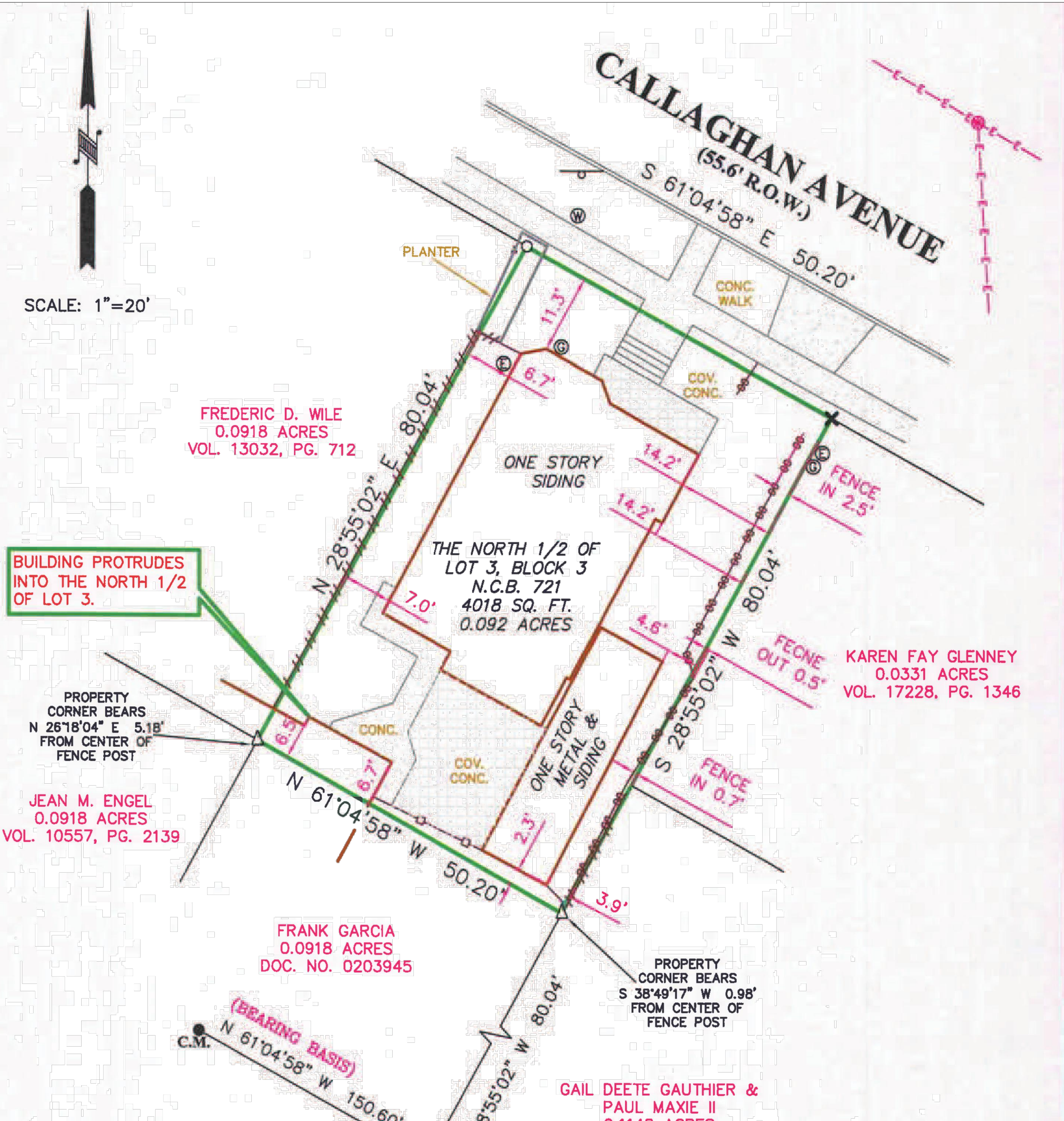
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1 REVISED FLOOR PLAN
Scale: NOT TO SCALE

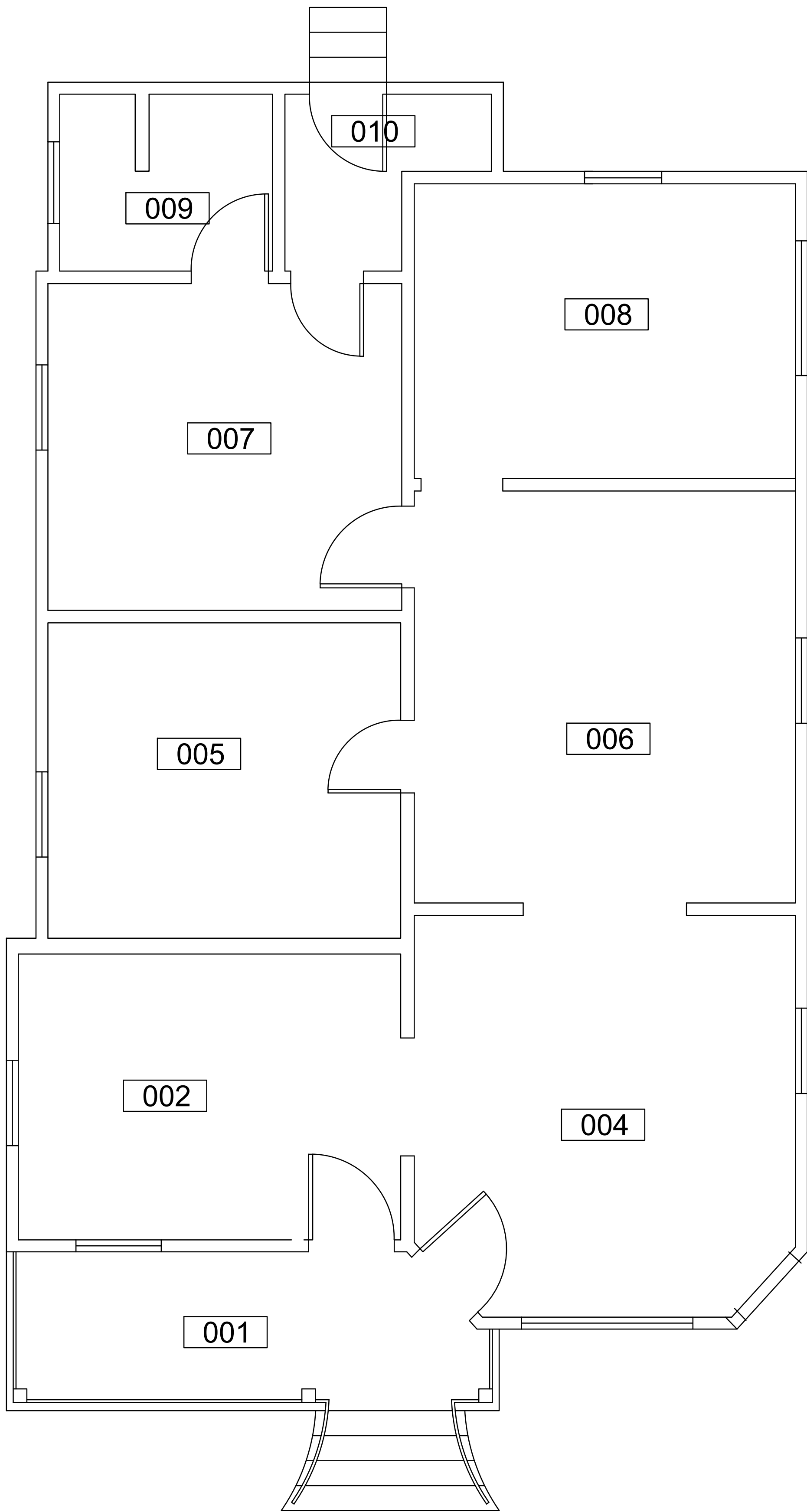


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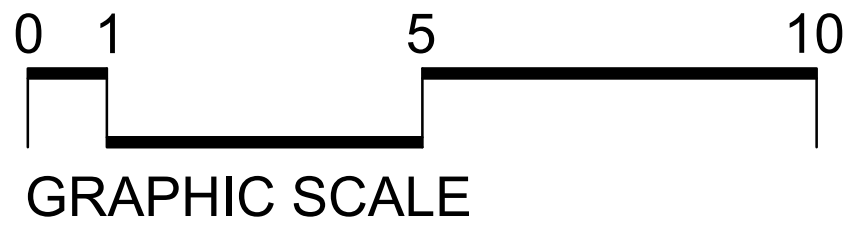
FLOOR PLAN



1

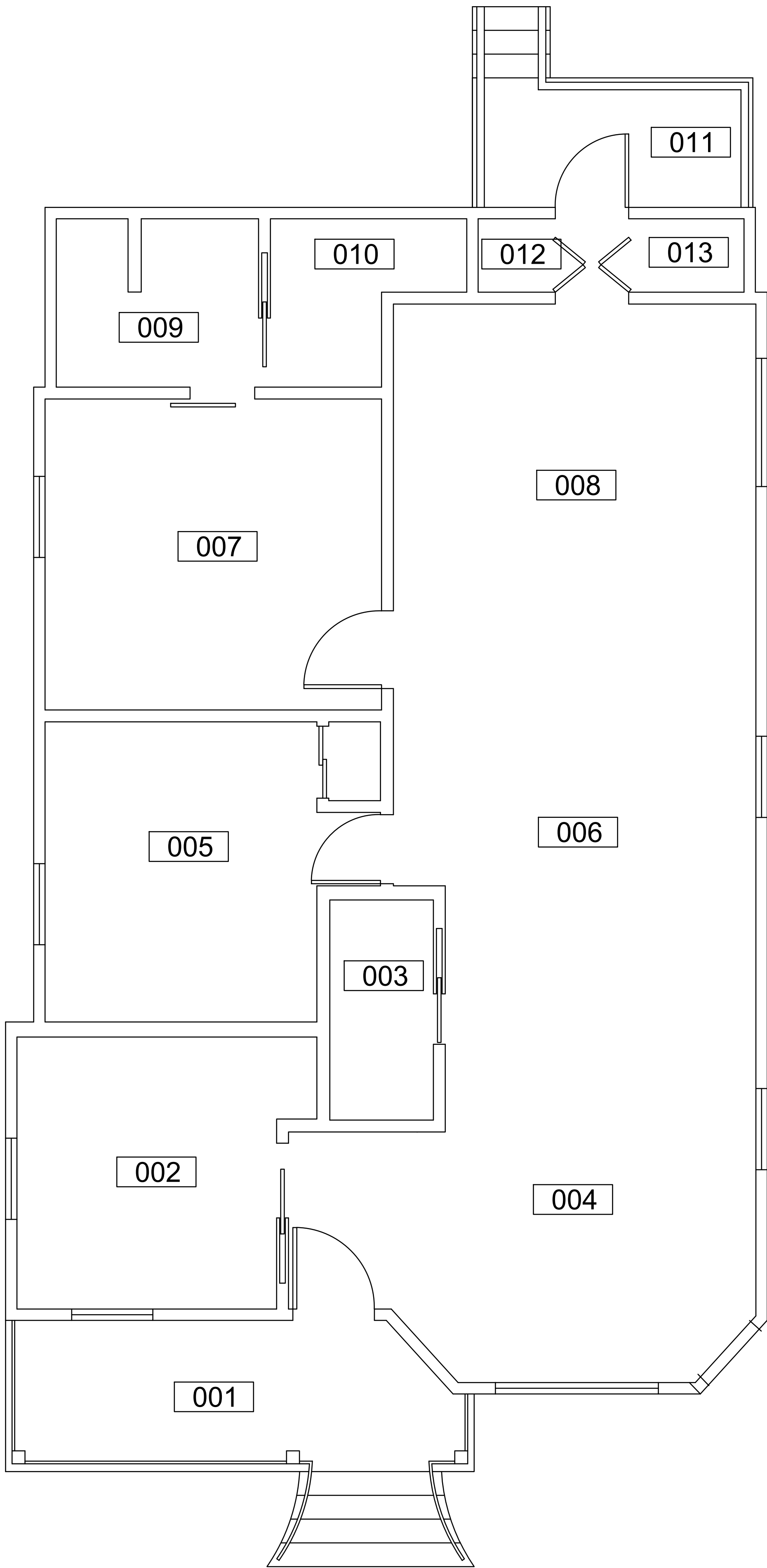
EXISTING FLOOR PLAN

Scale: 1/4" = 1'-0"



APPLIANCE LEGEND

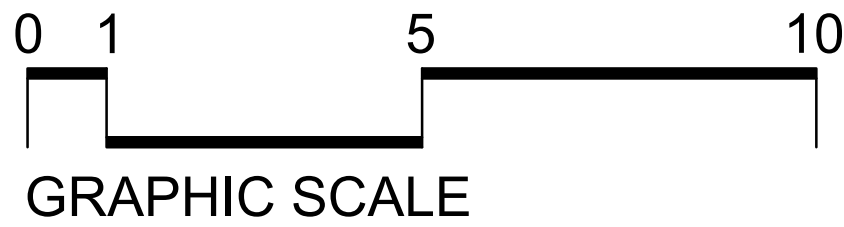
- 001 FRONT PORCH
- 002 OFFICE
- 003 BATHROOM
- 004 LIVING ROOM
- 005 BEDROOM
- 006 DINING ROOM
- 007 MASTER BEDROOM
- 008 KITCHEN
- 009 MASTER BATHROOM
- 010 MASTER CLOSET/ WASHER/DRYER
- 011 BACK DECK
- 012 STACKABLE WASHER/ DRYER
- 013 PANTRY/ WATER HEATER



2

REVISED FLOOR PLAN

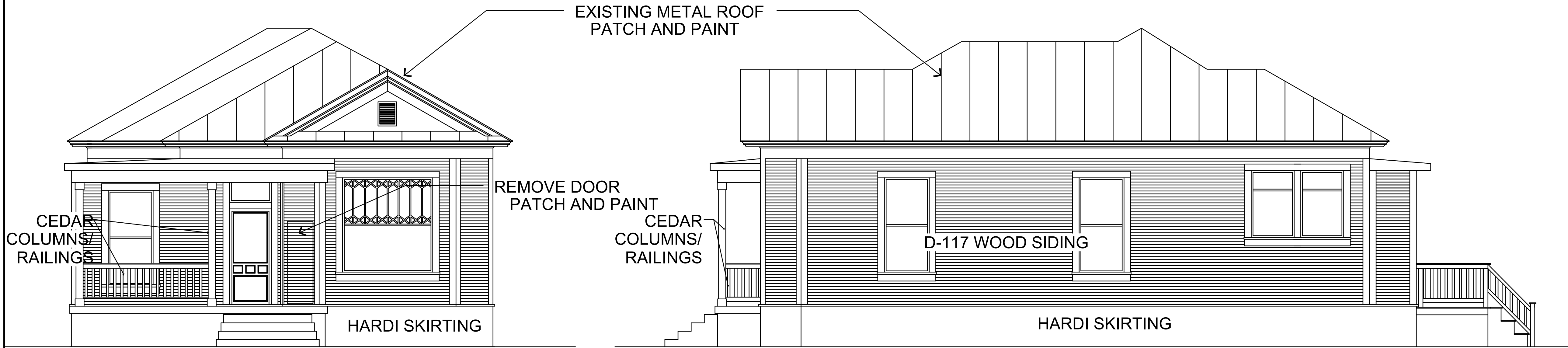
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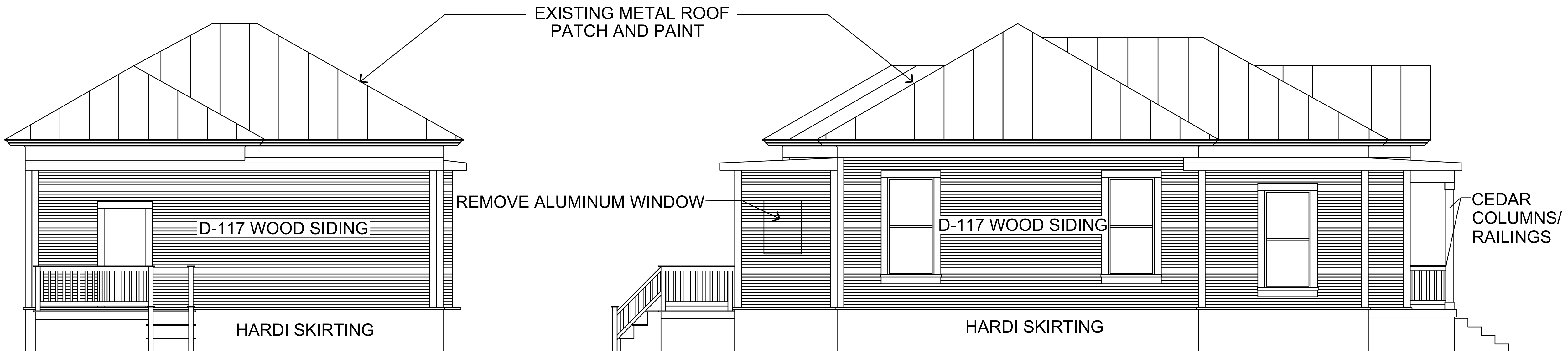
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1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE

2 EAST ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE



3 NORTH ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE

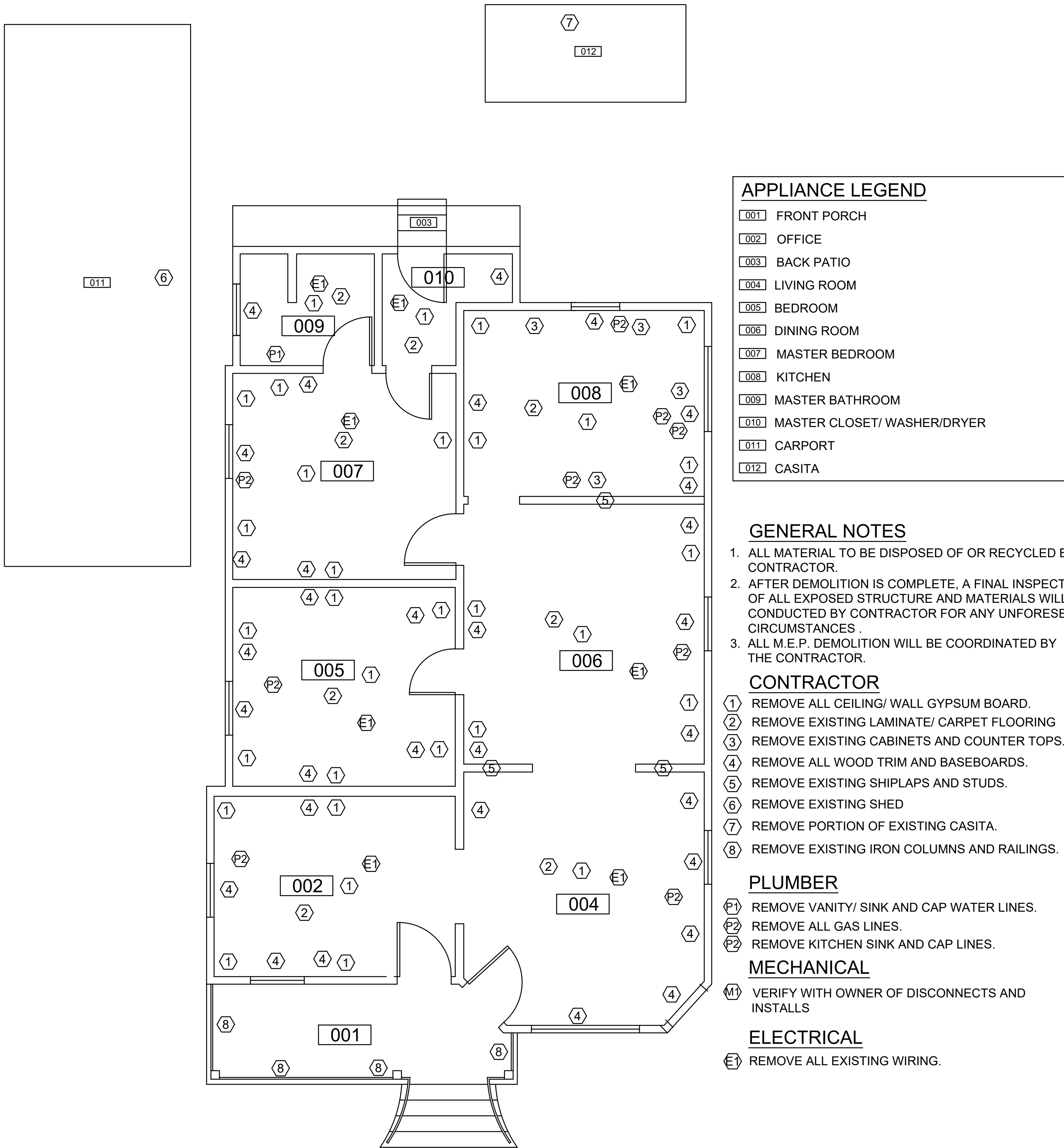
4 WEST ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE

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DEMOLITION PLAN



1 DEMOLITION FLOOR PLAN

Scale: 3/16" = 1'-0"

0 1 5 10

GRAPHIC SCALE

Request Item	Staff Notes	Action needed by applicant
Close off rear door and repair with new d117 siding to match existing	Requires HDRC hearing	rear elevation drawing, additional photos (see A2.0/3 & Image A, E)
Demo patio cover over existing rear door	May be eligible for admin, need to verify non-original status	additional photos (see Image A)
Remove kitchen window to rear to backyard and replace with front door	Requires HDRC hearing	rear elevation drawing, additional photos (see A2.0/3 & Image B)
install front wood door w new patio deck	Requires HDRC hearing	rear elevation drawing, additional photos (see A2.0/3 & Image B)
Restore 8 wood windows and install new wood screens	Requires HDRC hearing	Profile photo of each window, specifications for proposed windows, window schedule (see A2.0/1, 2, 3,4 & Image C)
install electric or solar gate with metal and or horizontal cedar	Requires HDRC hearing	Site plan with proposed fence line, elevation drawing or example photo of proposed fence (see A0.2/1 & Image D)
Remove bathroom window and close off with existing d117 siding	Requires HDRC hearing	Elevation drawing (see A2.0/4 & Image E,F)
Landscape front yard (NOT PROVIDED)	May be eligible for admin, need to maintain a majority of plant cover/lawn with no new hardscaping	Site plan with landscape elements
Concrete ribbon driveway with crushed gravel	May be eligible for admin if 10ft wide, pavers advised against	Site plan (see A0.2/1 & Image G)
and crushed gravel in backyard (NOT PROVIDED)	May be eligible for admin	Site plan
Remove metal railings to go back with cedar posts and handrails	May be eligible for admin, needs to match historic profile, can ask for staff specifications	Elevation drawing for proposed front porch (see A2.0/1 & Image H)
remove vinyl/aluminum siding on entire house to expose existing D117 wood Siding	May be eligible for admin, need to verify scope	Photo of exposed wood siding under current vinyl siding, rotten wood should be replaced with matching profile (see A2.0/1,2,3,4 & Image E, I)
remove patio ceiling and install cedar T/G boards (NOT PROVIDED)	May be eligible for admin, need to verify scope	Photo of exposed wood siding under current vinyl siding, rotten wood should be replaced with matching profile

remove right front door and repair with existing D117 Siding	Requires HDRC hearing	Elevation drawing of front façade (see A2.0/1 & Image E, H)
remove vinyl siding and repair 3" overlap siding (Repeated)	May be eligible for admin, need to verify scope	Photo of exposed wood siding under current vinyl siding, rotten wood should be replaced with matching profile
move left door to the right 12" and replace w existing wood door	Requires HDRC hearing	Elevation drawing of front porch, drawing or example photo of proposed new door. If removing historic door, needs to match. (see A2.0/1 & Image J, K)
repair 6' fence to the right with horizontal cedar	May be eligible for admin if rear fence only	Site plan with fence line (see A0.2/1)
demo dilapidated stand alone carport demo shed on shared property	separate pending request by applicant Cameron Baker	
Continue fence build 8' ft fence on rear of property, 8' fence on rear dividing property lines would equate to 6' of privacy since house sits 2' above ground on pier and beam as permitted in city code, bringing enhanced value to the neighborhood to give proper privacy from neighbors.	Requires HDRC hearing, limit 6' in rear and 4' in front	Site plan with fence line (see A0.2/1 & Image L)
Grapefruit tree removal on left side of house	May be eligible for admin	
Retaining wall for protruding waters from rear neighbor's yard (Not Provided)	May be eligible for admin in rear yard only, need to verify scope	Site plan with retaining wall line, height and material of retaining wall
Skirting around entire house	May be eligible for admin	Show photo of existing skirt and example photo or specifications of proposed skirting (see A2.0/1,2,3,4 & Image M)
Roof replace or repair with powerwash and proper metallic paint dark grey	May be eligible for admin, no vented ridge caps	need to verify replace or repair (Repair - See A2.0/1,2,3,4 & Image N)

Paint house a light pastel yellow with grey Wood Window Screens	May be eligible for admin, no shutters allowed	(Image N)
and grey painted concrete porch with white/cream trim around home	May be eligible for admin	(Image N)



Image A



Image B



Image C



Image D



Image E



Image F

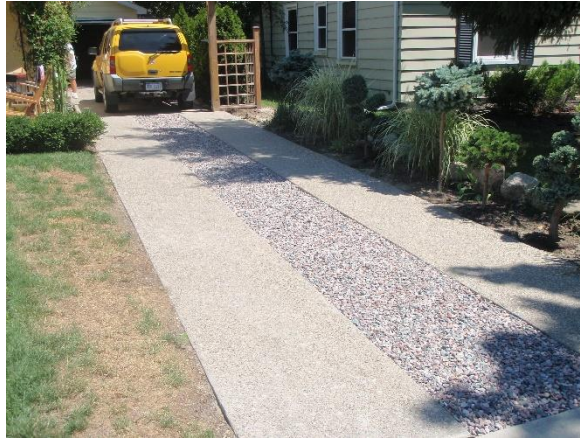


Image G



Image H



Image I



Image J



Image K



Image L



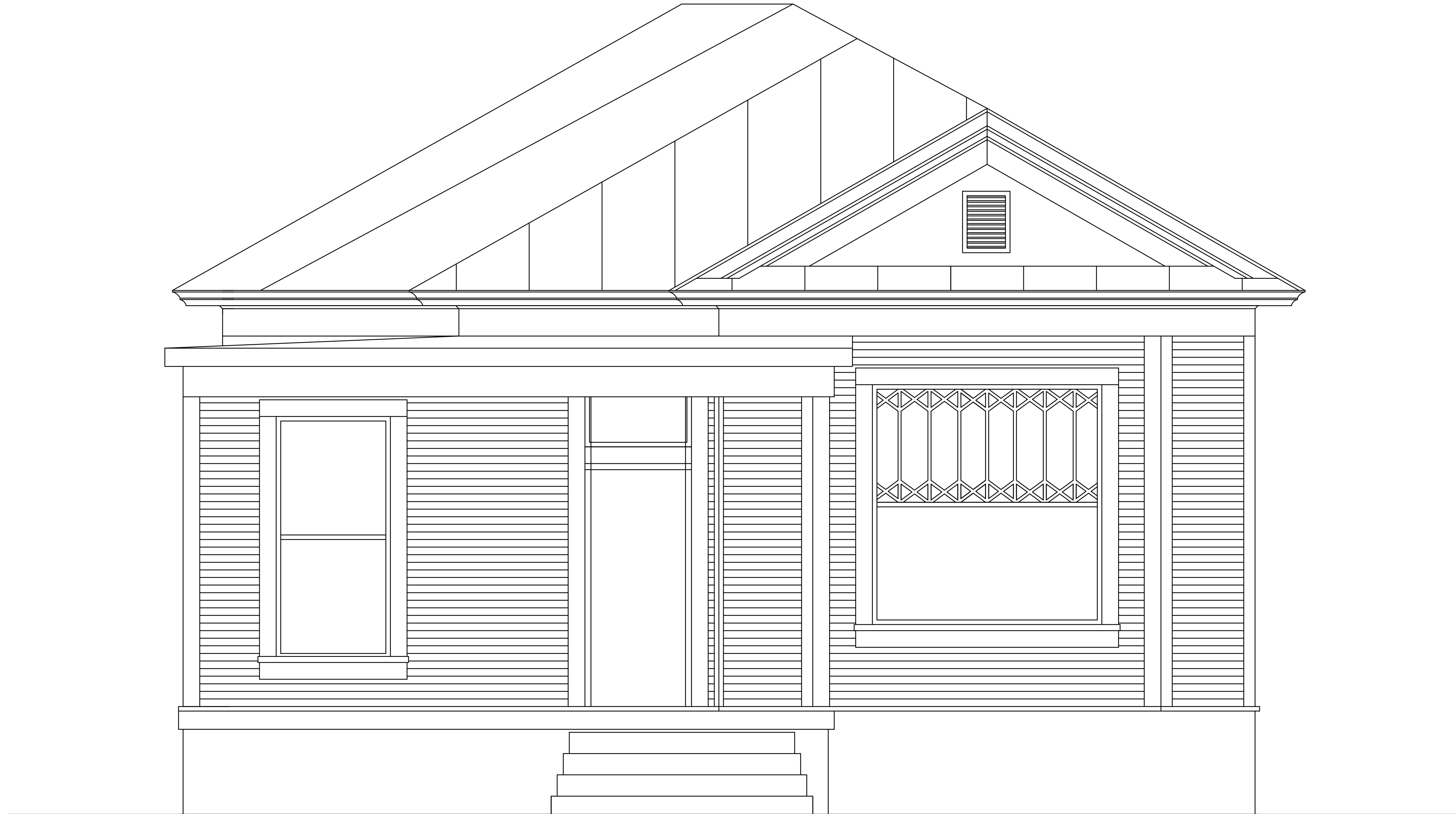
Image M



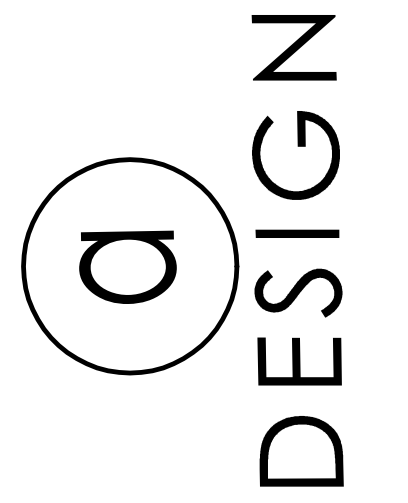
Image N

LAVACA DISTRICT

310 CALLAGHAN AVENUE



ADAN OCHOA
PROJECT DESIGNER
SAN ANTONIO, TEXAS 78221
T: 210.632.2154
aodesign.ochoa@gmail.com



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234 GROSVENOR
SAN ANTONIO, TEXAS
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E. aodesign.ochoa@gmail.com

310 CALLAGHAN AVENUE

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3	A0.2 SITE PLAN
4	D1.0 DEMOLITION PLAN
5	A1.0 FLOOR PLAN
6	A2.0 ELEVATION PLAN

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PROJECT NO. XXX-XX
DATE: MAY 24, 2019
DRAWN BY: ADAN OCHOA
DESIGNER: ADAN OCHOA

sheet
A0.0
1 of 6

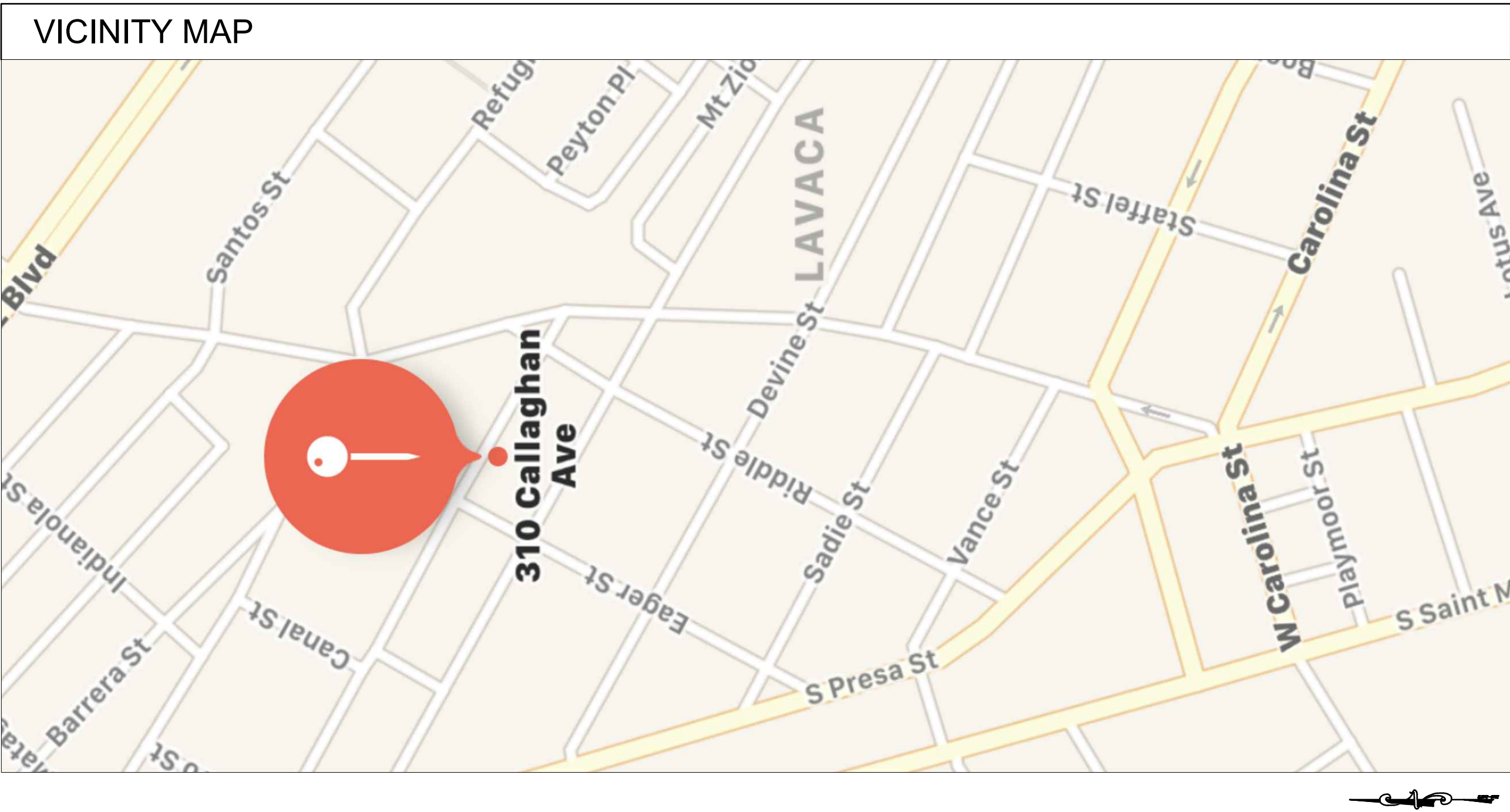
COVER SHEET

SHEET INDEX	
1	A0.0 COVER
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ARCHITECTURAL ABBREVIATION LEGEND					
ABV	ABOVE	GYP	GYPSUM	REQD	REQUIRED
AFF	ABOVE FINISHED FLOOR	GYP BD	GYPSUM BOARD	RESIL	RESILIENT
ACC	ACCESS / ACCESSIBLE	GWB	GYPSUM WALL BOARD	RET	RETURN
AP	ACCESS PANEL	HDW	HARDWARE	RA	RETURN AIR
ACT	ACOUSTICAL (CLG) TILE	HDBD	HARD BOARD	REV	REVERSE
ADJ	ADJACENT	HDR	HEADER	RVS	REVISION
ADJ	ADJUSTABLE	HTG	HEATING	RH	RIGHT HAND
AGGR	AGGREGATE	HVAC	HEATING/VENTILATION/ AIR CONDITIONING	RVT	RIVET
A/C	AIR CONDITION(ING)	HT	HEIGHT	RD	ROOF DRAIN
ALT	ALTERNATE	HP	HIGH POINT	RFG	ROOFING
ALUM	ALUMINUM	HC	HOLLOW CORE	RM	ROOM
ADA	AMERICAN DISABILITIES ACT	HM	HOLLOW METAL	RO	ROUGH OPENING
ANC	ANCHOR / ANCHORAGE	HORIZ	HORIZONTAL	RB	RUBBER BASE
AB	ANCHOR BOLT	HB	HOSE BIB		
APPROX	APPROXIMATE			SS	SANITARY SEWER
ARCH	ARCHITECT(URAL)	INCL	INCLUDE(D)	SC	SEALED CONCRETE
AD	AREA DRAIN	ID	INSIDE DIAMETER	SECT	SECTION
AUTO	AUTOMATIC	INSUL	INSULATE / INSULATION	SCHED	SCHEDULE
				SCWD	SOLID CORE WOOD
BRG	BEARING	INT	INTERIOR	SHT	SHEET
BRG PL	BEARING PLATE	INV	INVERT	SHT GL	SHEET GLASS
BM	BENCH MARK			SHWR	SHOWER
BITUM	BITUMINOUS	JT	JOIST	SIM	SIMILAR
BLK	BLOCK(ING)	JST	JUNCTION BOX	SSM	SOLID SURFACE MATERIAL
BD	BOARD			STC	SOUND TRANSMISSION CLASS
BOC	BOTTOM OF CURB	KPL	KICKPLATE	SPKR	SPEAKER
BLDG	BUILDING	KIT	KITCHEN	SPEC	SPECIFICATION
BUR	BUILT UP ROOF	KO	KNOCKOUT	SQ	SQUARE
				SQ FT	SQUARE FEET
CAB	CABINET	LAM	LAMINATE	SST	STAINLESS STEEL
CPT	CARPET	LB	LAG BOLT	STD	STANDARD
CPD	CARPET PAD	LAV	LAVATORY	STA	STATION
CSTM	CASEMENT	LH	LEFT HAND	ST	STEEL
CB	CATCH BASIN	L	LENGTH	STOR	STORAGE
CLG	CEILING	LT	LIGHT	SD	STORM DRAIN
CLG HT	CEILING HEIGHT	LT	LIGHT WEIGHT	STRUCT	STRUCTURAL
CTRG	CENTER	LT WT	LINEAR YARD	SUSP	SUSPENDED
CT	CERAMIC TILE	LN YD	LINTEL	SYM	SYMMETRICAL
CIR	CIRCLE	LTL	LOUVER	SYNTH	SYNTHETIC
CLO	CLOSET	LVR		SYS	SYSTEM
COL	COLUMN				
COMB	COMBUSTABLE	MH	MANHOLE	TEL	TELEPHONE
CC	COMMERCIAL CARPET	MAS	MASONRY	TV	TELEVISION
CONC	CONCRETE	MO	MASONRY OPENING	TEMP	TEMPORARY / TEMPERATURE
CMU	CONCRETE MASONRY UNIT	MATL	MATERIAL	TMPD	TEMPERED
CONT	CONTINUOUS / CONTINUE	MFGR	MANUFACTURE(ER)(ING)	TXT.	TEXTURED FINISH
CONS	CONSTRUCTION	MAX	MAXIMUM	THK	THICK(NESS)
CF	CONTRACTOR FURNISHED	MECH	MECHANICAL	THRES	THRESHOLD
CI	CONTRACTOR INSTALLED	MEP	MECHANICAL ELECTRIC PLUMBING	TINT	TINTED
CJ	CONTROL JOINT	MED	MEDIUM	TOL	TOLERANCE
CORR	CORRIDOR	MEMB	MEMBRANE	T&G	TONGE AND GROOVE
CU FT	CUBIC FOOT	MTL	METAL	TOC	TOP OF CURB / CONCRETE
CU YD	CUBIC YARD	MTFR	METAL FURRING	TOS	TOP OF SLAB
		MIN	MINIMUM	TOST	TOP OF STEEL
DL	DEAD LOAD	MIR	MIRROR	TOW	TOP OF WALL
DTL	DETAIL	MISC	MISCELLANEOUS	TYP	TYPICAL
DIAG	DIAGONAL	MOD	MODULAR (MODULE)		
DIA	DIAMETER	MRGB	MOISTURE RESISTANT GYPSUM BOARD	UNFIN	UNFINISH(ED)
DIM	DIMENSION			UNO	UNLESS NOTED OTHERWISE
DEPT	DEPARTMENT	MTD	MOUNTED		
DISP	DISPENSER	MOV	MOVABLE	VER.	VERIFY
DBL	DOUBLE	MULL	MULLION	VERT	VERTICAL
DN	DOWN			VEST	VESTIBULE
DS	DOWNSPOUT DRAWER	NAT	NATURAL	VB	VINYL BASE
DWG	DRAWING	NRC	NOISE REDUCTION COEFFICIENT	VCT	VINYL COMPOSITION TILE
DF	DRINKING FOUNTAIN			VWC	VINYL WALL COVERING
				WSCOT	WAINSCOT
EA	EACH	NR	NOMINAL	WH	WATER HEATER
ELEC	ELECTRIC	NOM	NORTH	WWF	WELDED WIRE FABRIC
EDF	ELECTRIC DRINKING FOUNTAIN	NIC	NOT IN CONTRACT	WT	WEIGHT
EPB	ELECTRIC PANELBOARD	NTS	NOT TO SCALE	WDW	WINDOW
EWC	ELECTRIC WATER COOLER	NO.	NUMBER	W/	WITH
				W/O	WITHOUT
EL	ELEVATION	OC	ON CENTER	WM	WIRE MESH
ELEV	ELEVATOR	OPQ	OPAQUE	WGL	WIRED GLASS
EMER	EMERGENCY	OPNG	OPENING	WD	WOOD
ENCL	ENCLOSURE	OPP	OPPOSITE	WPT	WORKING POINT
EQ	EQUAL	O.H.	OPPOSITE HAND		
EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER		
EXIST	EXISTING	OA	OVERALL		
EJ	EXPANSION JOINT	OH	OVERHEAD / OVERHANG		
EXP	EXPOSED	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED		
EXT	EXTERIOR				
		OFOI	OWNER FURNISHED OWNER INSTALLED		
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH	PTD	PAINTED		
FOM	FACE OF MASONRY	PR	PAIR		
FOS	FACE OF STUDS	PNL	PANEL		
FRP	FIBERGLASS REINFORCED PLASTIC	PRKG	PARKING		
		PTN	PARTITION		
FIN	FINISH	PE	PAVEMENT		
FF	FINISH FLOOR	PERF	PERFORATE		
FPL	FIREPLACE	PLAS	PLASTIC / PLASTER		
FE	FIRE EXTINGUISHER	PL	PLASTIC LAMINATE		
FEC	FIRE EXTINGUISHER CABINET	PG	PLATE GLASS		
FHS	FIRE HOSE STATION	PLYWD	PLYWOOD		
FG	FIXED GLASS	PT	POINT		
FLEX	FLEXIBLE	PVC	POLYVINYL CHLORIDE		
FLR	FLOOR	PL	PROPERTY LINE		
FCO	FLOOR CLEANOUT				
FD	FLOOR DRAIN	QT	QUARRY TILE		
FLUOR	FLUORESCENT				
FTG	FOOTING	R	RADIUS		
FDTN	FOUNDATION	REF	REFERENCE		
FUR	FURRING / FURRED	RCP	REFLECTED CEILING PLAN		
FR	FRAME				
FS	FULL SIZE	REF.	REFRIGERATOR		
		REINF	REINFORCED		
GALV	GALVANIZED	RCP	REINFORCED CONCRETE PIPE		
GA	GAUGE				
GC	GENERAL CONTRACTOR				
GL	GLASS / GLAZING				
GD	GRADE / GRADING				



BUILDING	
UNIT DESCRIPTION	TOTAL
<u>EXISTING</u>	
LIVING ROOM	
DINNING ROOM	
KITCHEN	
BEDROOM #1	
BEDROOM #2	
BEDROOM #3	
BATHROOM	
CLOSET	
FLOOR TOTAL	1,224 SQ FT
<u>REMODEL</u>	
LIVING ROOM	
DINNING ROOM	
KITCHEN	
BATHROOM	
BEDROOM #1	
BEDROOM #2	
MASTER BEDROOM	
MASTER BATHROOM	
MASTER CLOSET	
WASHER/ DRYER	
UTILITY ROOM	
FLOOR TOTAL	1,260 SQ FT

PROJECT INFORMATION	
LEGAL DESCRIPTION: 310 CALLAGHN AVENUE SAN ANTONIO, TEXAS LOT 3 BLK 3 N.C.B. 721	
BUILDING CODES:	
	2018 INTERNATIONAL BUILDING CODE
BUILDING CRITERIA	
OCCUPANCY	RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE II
NUMBER OF STORIES	ONE STORY
BUILDING DESCRIPTION:	
RENOVATE EXISTING RESIDENTIAL HOME. REPAIR AND PAINT METAL ROOF (GALLERY GREY). REMOVE EXISTING VINYL AND EXPOSE EXISTING D-GRADE 117 SIDING AND PAINT BODY LIME MOUSSE (YELLOW). TRIM CREAM WHITE AND PORCH GALLERY GREY. INSTALL NEW HORIZONTAL CEDAR 8' FENCE ON THE REAR AND SIDES. FRONT AND PARTIAL SIDES WILL HAVE A 4' IRON FENCE WITH A ELECTRONIC SLIDING GATE. FRONT PORCH TO INSTALL NEW CEDAR POST AND RAILINGS. DEMO EXISTING SHED AND ADD AN ADDITIONAL 3'X12' UTILITY ROOM. RESTORE EXISTING WOOD WINDOWS.	
GENERAL NOTES:	
ALL DIMENSIONS SHALL BE FIELD VERIFIED AND MAY SLIGHTLY VARY. IF PROBLEMS OR CONCERNS ARISE FROM PROPOSED LAYOUT, CONTACT ENGINEER OR PROJECT DESIGNER FOR CLARIFICATION.	
IT IS RECOMMENDED TO MEET WITH ENGINEER AND PROJECT DESIGNER ON SITE AFTER DEMOLITION.	

ARCHITECTUAL SYMBOLS LEGEND	
①	DOOR & FRAME
	BUILDING SECTION
	WALL SECTION
	INTERIOR/ EXTERIOR ELEVATION
	DETAIL TAG
	WINDOW TYPE
	WALL TYPE
	CENTER LINE
	PLUS OR MINUS
	PROPERTY LINE

MATERIALS LEGEND			
	EARTH		LUMBER (FINISHED)
	COMPACTED GRANULAR FILL		STONE
	INSULATION (BATT, LOOSE, OR FRICTION)		BRICK
	INSULATION (RIGID)		GYPSUM BOARD OR PLASTER
	CONCRETE		PLYWOOD
	CONCRETE MASONRY UNITS		LUMBER (ROUGH)
	BRICK		NON-CONTINUOUS WOOD BLOCKING



SITE PLAN

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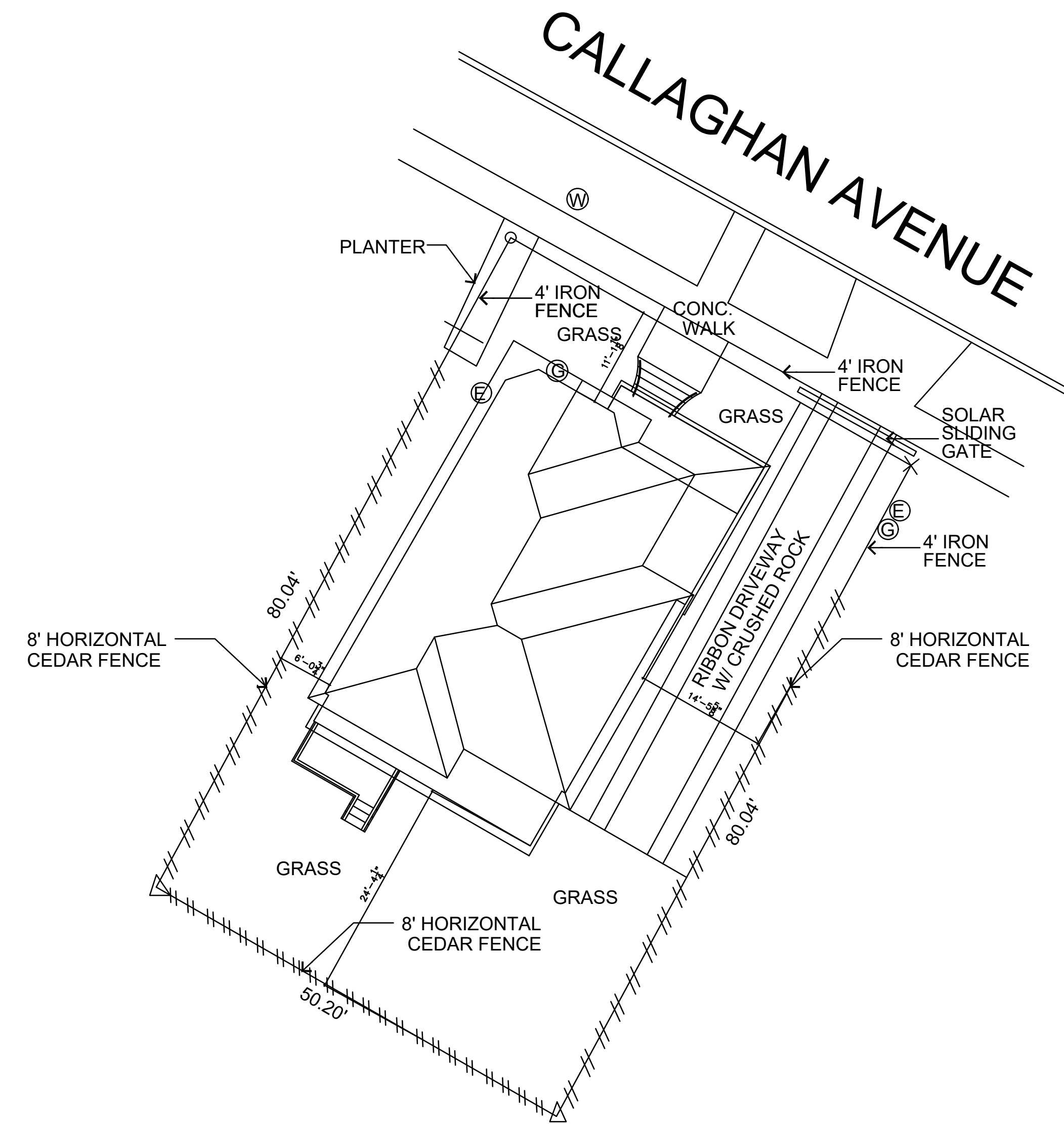
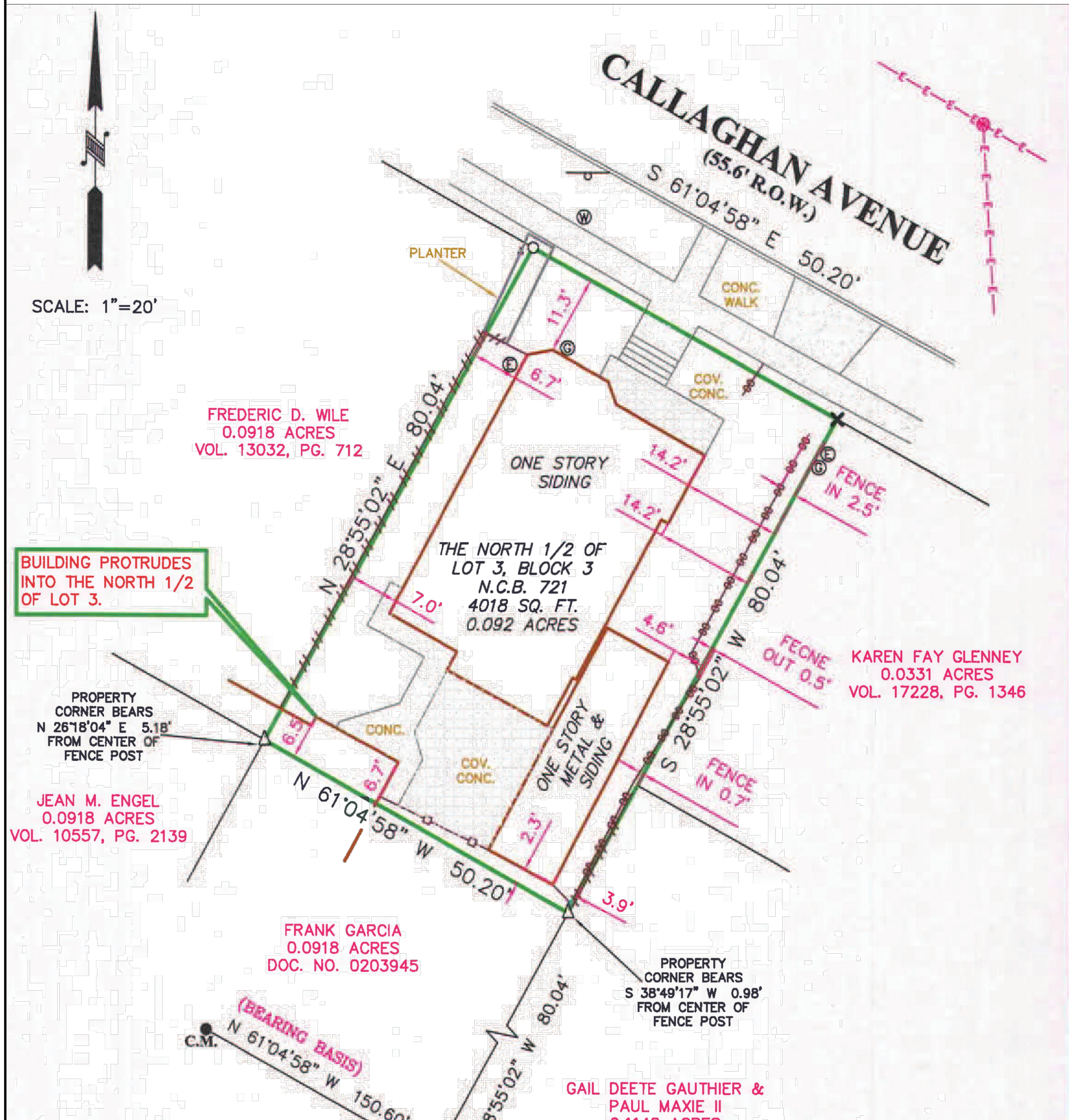
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sheet

A0.2

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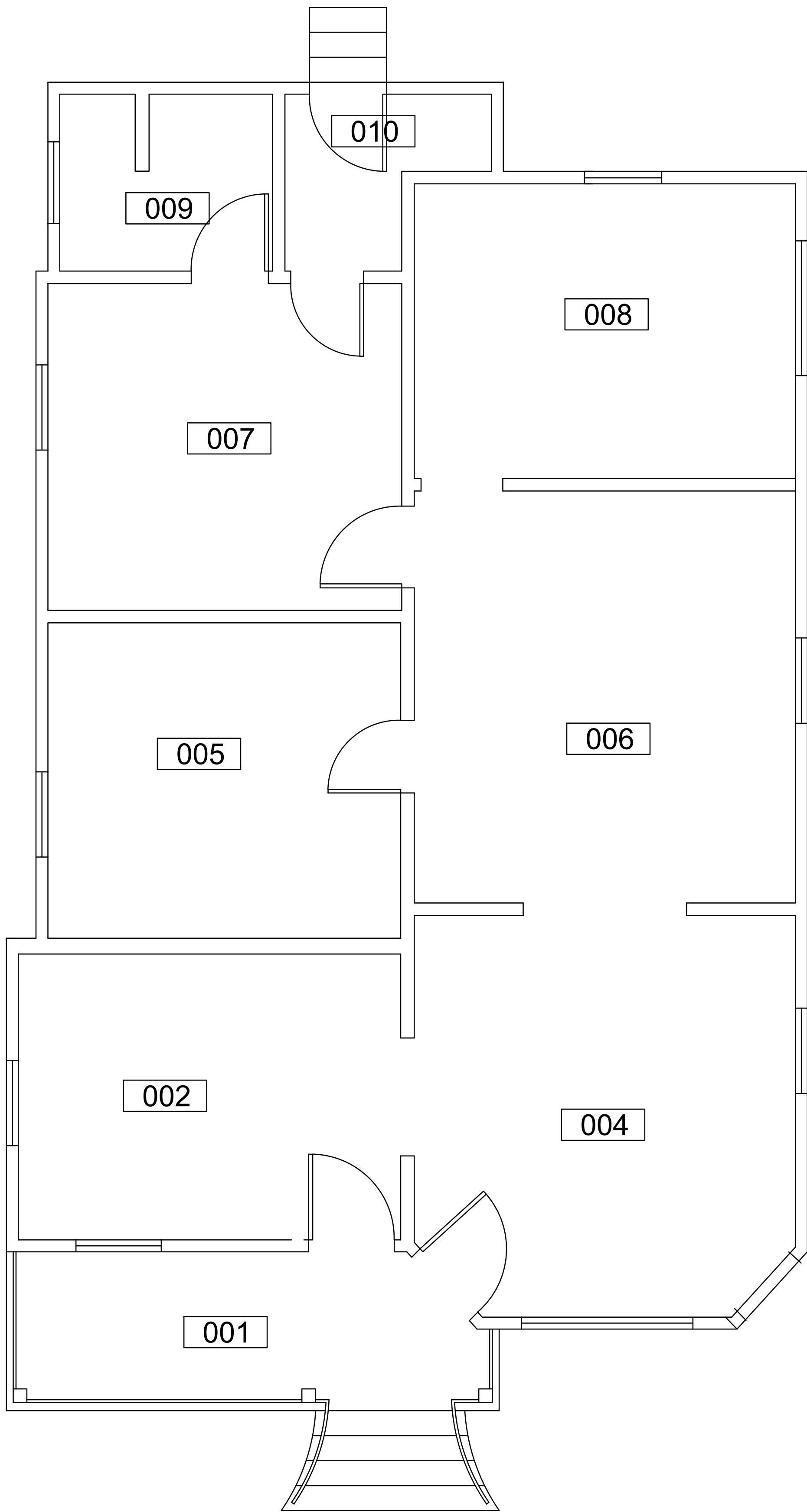
1 REVISED FLOOR PLAN

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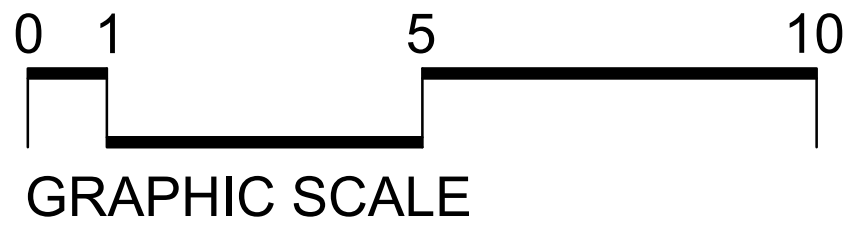
FLOOR PLAN



1

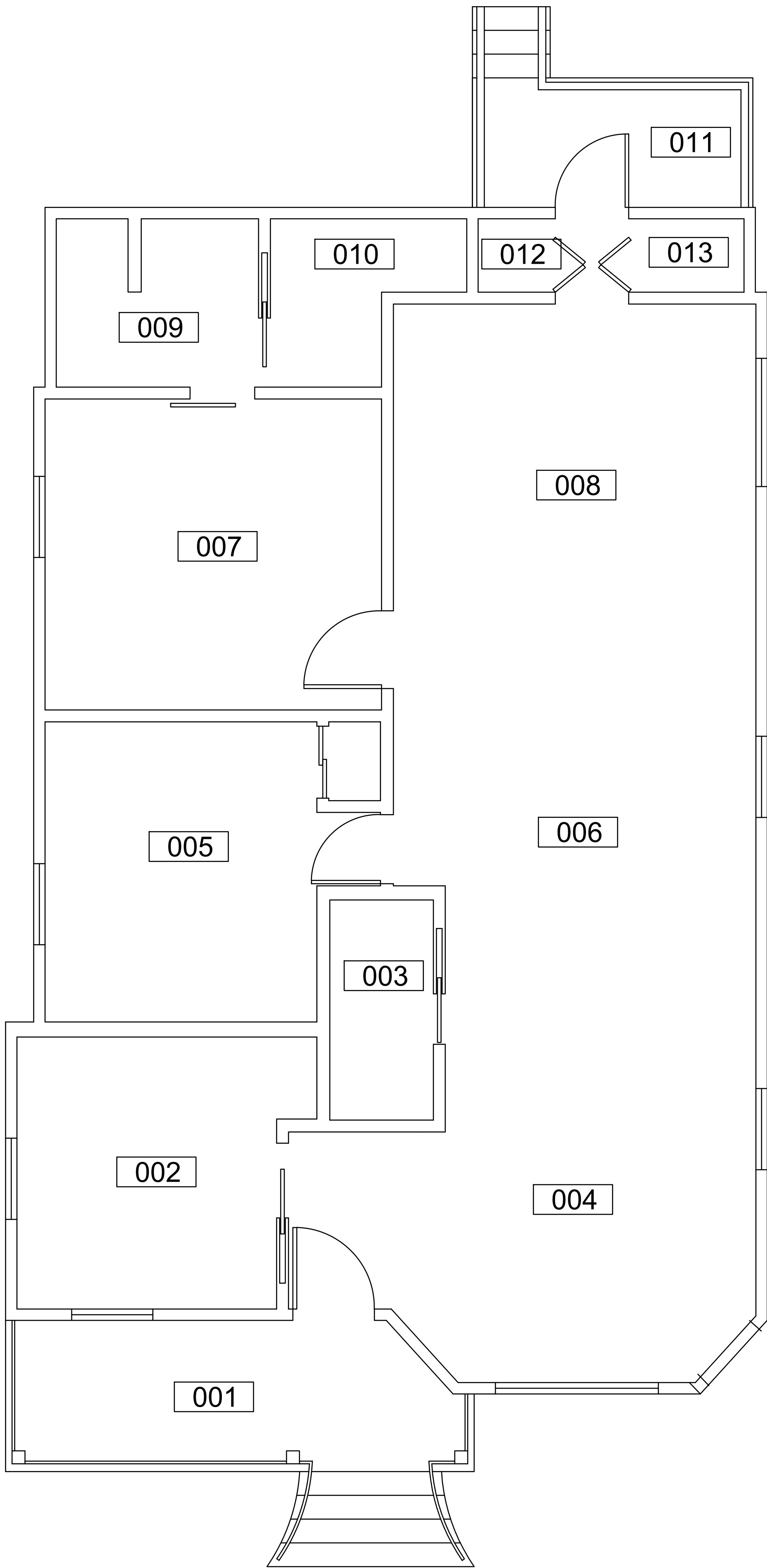
EXISTING FLOOR PLAN

Scale: 1/4" = 1'-0"



APPLIANCE LEGEND

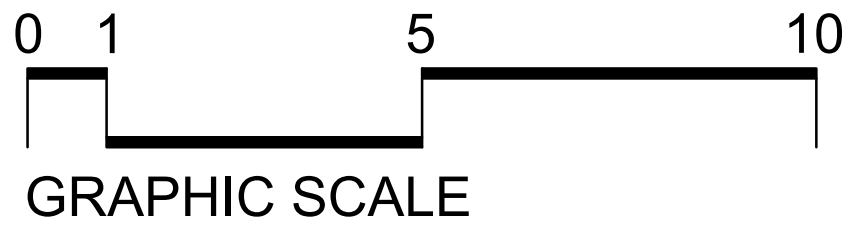
- 001 FRONT PORCH
- 002 OFFICE
- 003 BATHROOM
- 004 LIVING ROOM
- 005 BEDROOM
- 006 DINING ROOM
- 007 MASTER BEDROOM
- 008 KITCHEN
- 009 MASTER BATHROOM
- 010 MASTER CLOSET/ WASHER/DRYER
- 011 BACK DECK
- 012 STACKABLE WASHER/ DRYER
- 013 PANTRY/ WATER HEATER



2

REVISED FLOOR PLAN

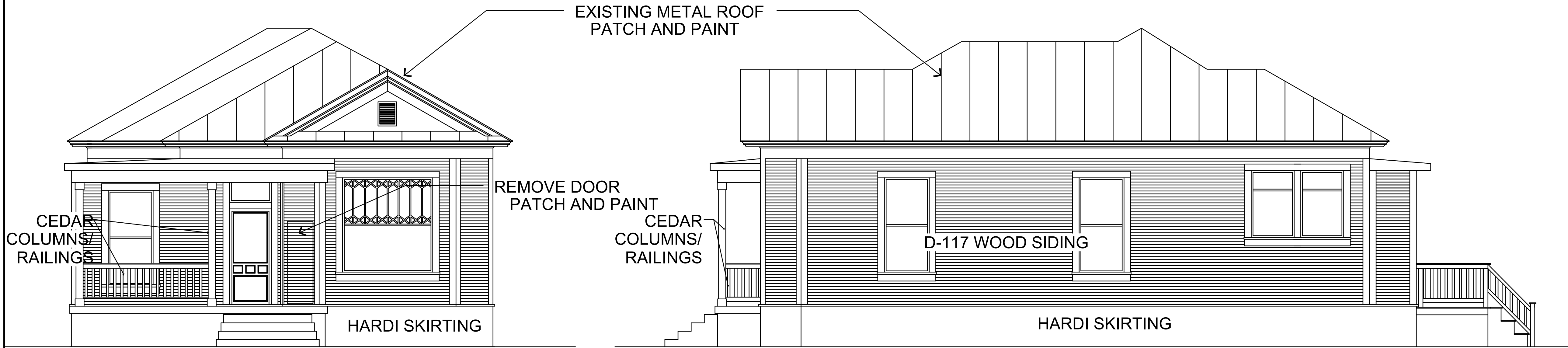
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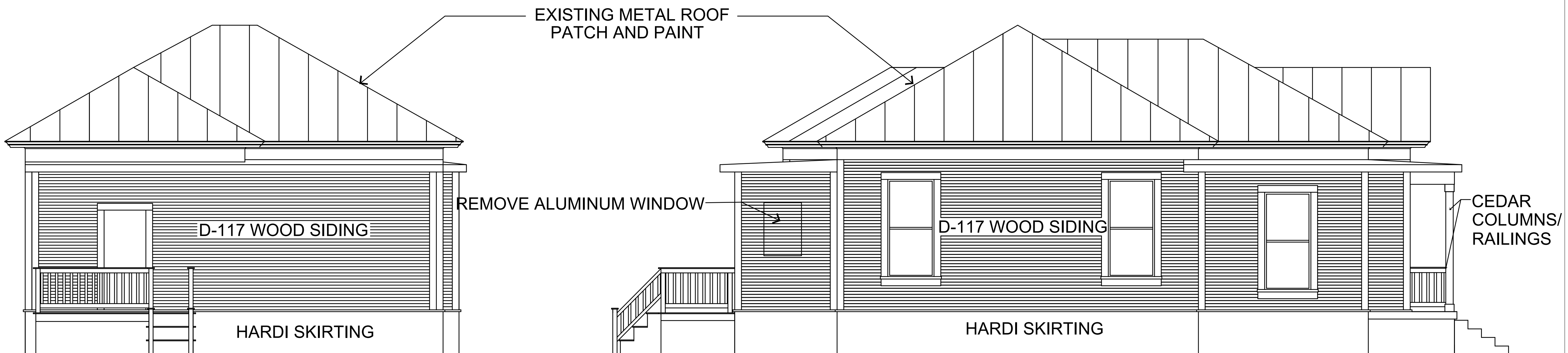
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1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE

2 EAST ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE



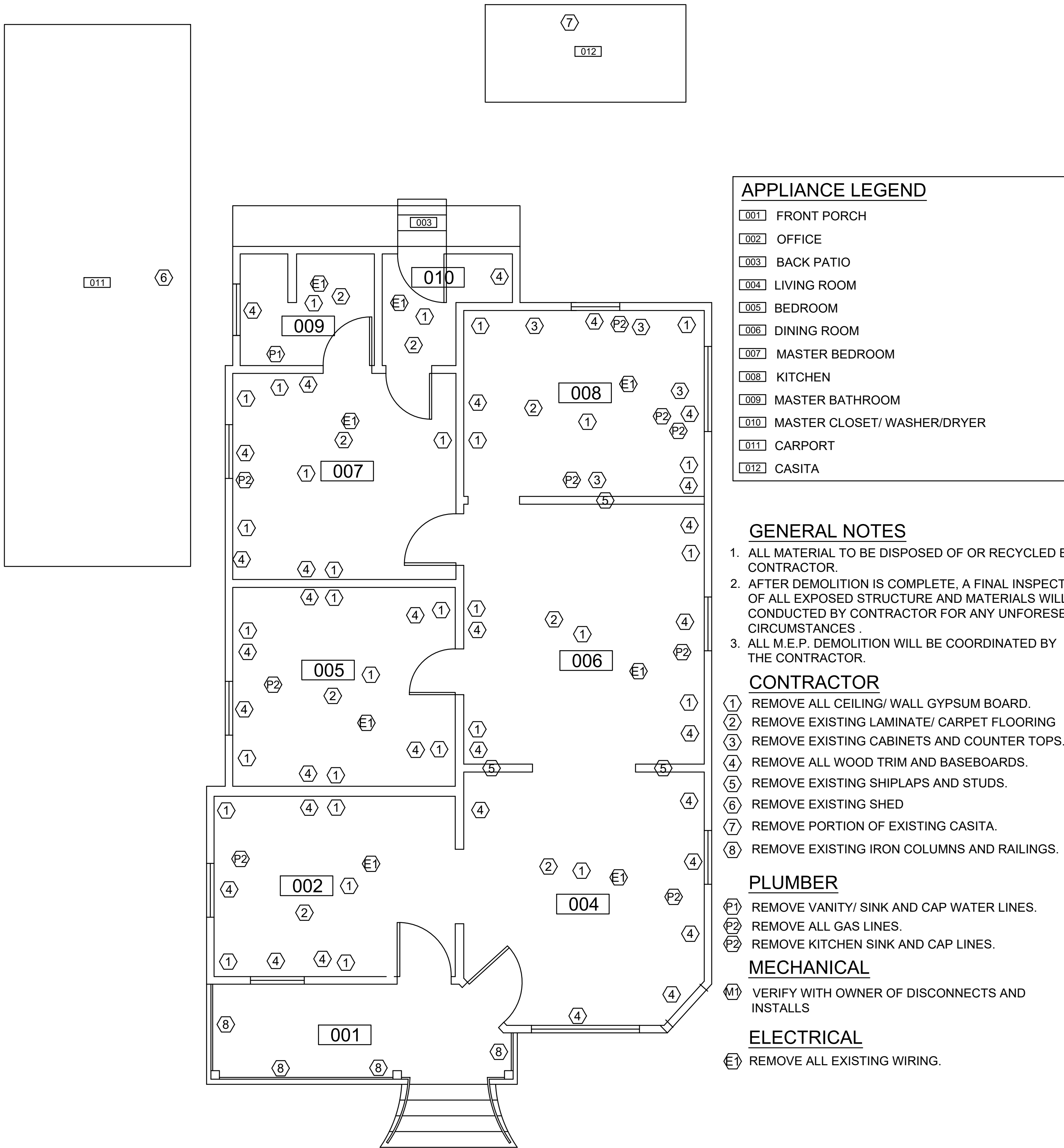
3 NORTH ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE

4 WEST ELEVATION
Scale: 3/16" = 1'-0"
0 1 5 10
GRAPHIC SCALE

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DATE:	MAY 24, 2019
DRAWN BY:	ADAN OCHOA
DESIGNER:	ADAN OCHOA

DEMOLITION PLAN



1 DEMOLITION FLOOR PLAN

Scale: 3/16" = 1'-0"

0 1 5 10

GRAPHIC SCALE









✝ BIG ✝
HOSS















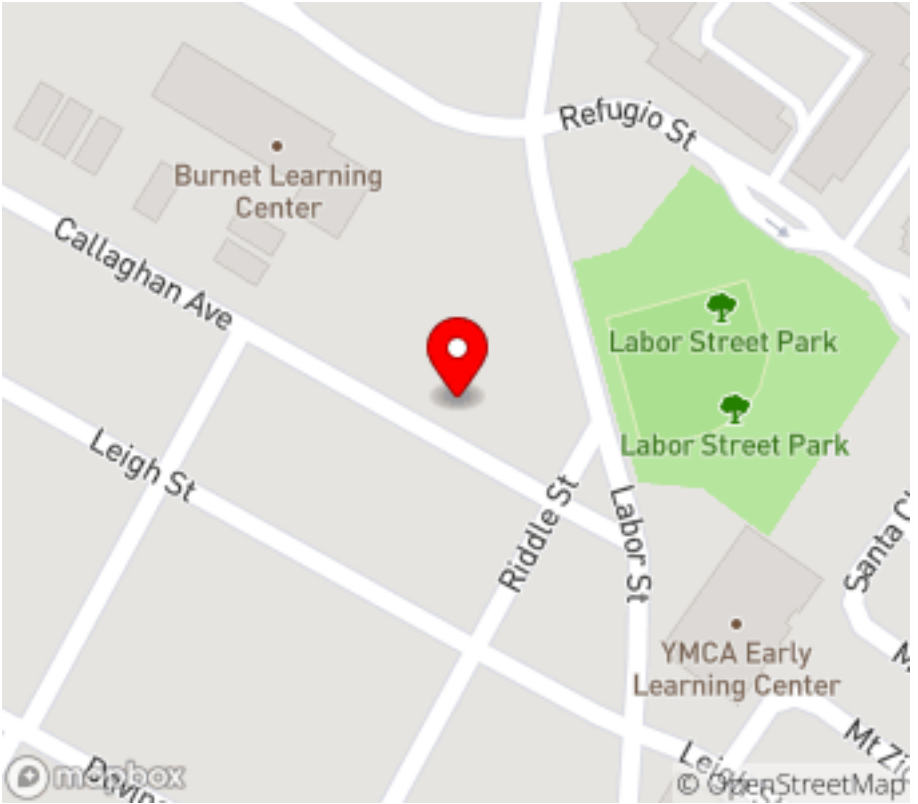






Investigation Report

Property

Address	310 Callaghan
Owner Information	KIRKLAND JULIA V
Location Map	
Lat: 29.4127289387761 Long: -98.4845090115567	

Site Visit

Date	05/17/2019
Time	03:45 PM (-5 GMT)
Context	citizen report, follow-up
Present Staff	Huy Pham
Present Individuals	None
Types of Work Observed	Exterior Maintenance and Alterations
Amount of Work Completed	Initiated
Description of work	Removal of front door, removal of skirting (may be temporary for foundation repair). A number of wood doors are found in the rear.

Action Taken

Violation Type	No Certificate of Appropriateness (Code 35-451a), Beyond scope of Certificate of Appropriateness (Code 35-451h)
OHP Action	Posted "Notice of Investigation"
Other field notes	The owner/applicant has submitted an application the morning of May 17, 2019.



Investigation Report

Will post-work application fee
apply?

To be determined

Documentation

Photographs





Investigation Report





Investigation Report





Investigation Report





Investigation Report





Investigation Report





Investigation Report





Investigation Report





Investigation Report



May 17, 2019 at 3:47 PM
323 Callaghan Ave
San Antonio TX 78210
United States



Investigation Report





Investigation Report





Investigation Report





Investigation Report





Investigation Report



05/17/2019 04:00 PM

