

HISTORIC AND DESIGN REVIEW COMMISSION

June 19, 2019

HDRC CASE NO: 2019-334
COMMON NAME: Furr Drive from Kampmann to Fredericksburg
ZONING: UZROW,H
CITY COUNCIL DIST.: 7, 1
DISTRICT: Monticello Park Historic District
APPLICANT: Miranda Garrison/City of San Antonio Transportation and Capital Improvements (TCI)
OWNER: City of San Antonio
TYPE OF WORK: Right-of-way improvements
APPLICATION RECEIVED: June 03, 2019
60-DAY REVIEW: August 02, 2019
CASE MANAGER: Stephanie Phillips
REQUEST:

The applicant is requesting a Certificate of Appropriateness to perform various right-of-way improvements on Furr Dr between Kampmann Blvd and Fredericksburg Rd to include the installation of new sidewalks, curbs, and driveway approaches.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

1. Topography

A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

3. Landscape Design

A. PLANTINGS

- i. *Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. *Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not

historically located.

ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

C. MULCH

Organic mulch – Organic mulch should not be used as a wholesale replacement for plant material. Organic mulch with appropriate plantings should be incorporated in areas where appropriate such as beneath a tree canopy.

i. *Inorganic mulch* – Inorganic mulch should not be used in highly-visible areas and should never be used as a wholesale replacement for plant material. Inorganic mulch with appropriate plantings should be incorporated in areas where appropriate such as along a foundation wall where moisture retention is discouraged.

D. TREES

i. *Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

ii. *New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

iii. *Maintenance* – Proper pruning encourages healthy growth and can extend the lifespan of trees. Avoid unnecessary or harmful pruning. A certified, licensed arborist is recommended for the pruning of mature trees and heritage trees.

4. Residential Streetscapes

A. PLANTING STRIPS

i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.

ii. *Lawns*— Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.

iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

B. PARKWAYS AND PLANTED MEDIANS

i. *Historic plantings*—Maintain the park-like character of historic parkways and planted medians by preserving mature vegetation and retaining historic design elements. Replace damaged or dead plant materials with species of a like size, growth habit, and ornamental characteristics.

ii. *Hardscape*—Do not introduce new pavers, concrete, or other hardscape materials into parkways and planted medians where they were not historically found.

C. STREET ELEMENTS

i. *Site elements*—Preserve historic street lights, street markers, roundabouts, and other unique site elements found within the public right-of-way as street improvements and other public works projects are completed over time.

ii. *Historic paving materials*—Retain historic paving materials, such as brick pavers or colored paving, within the public right-of-way and repair in place with like materials.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate

a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

FINDINGS:

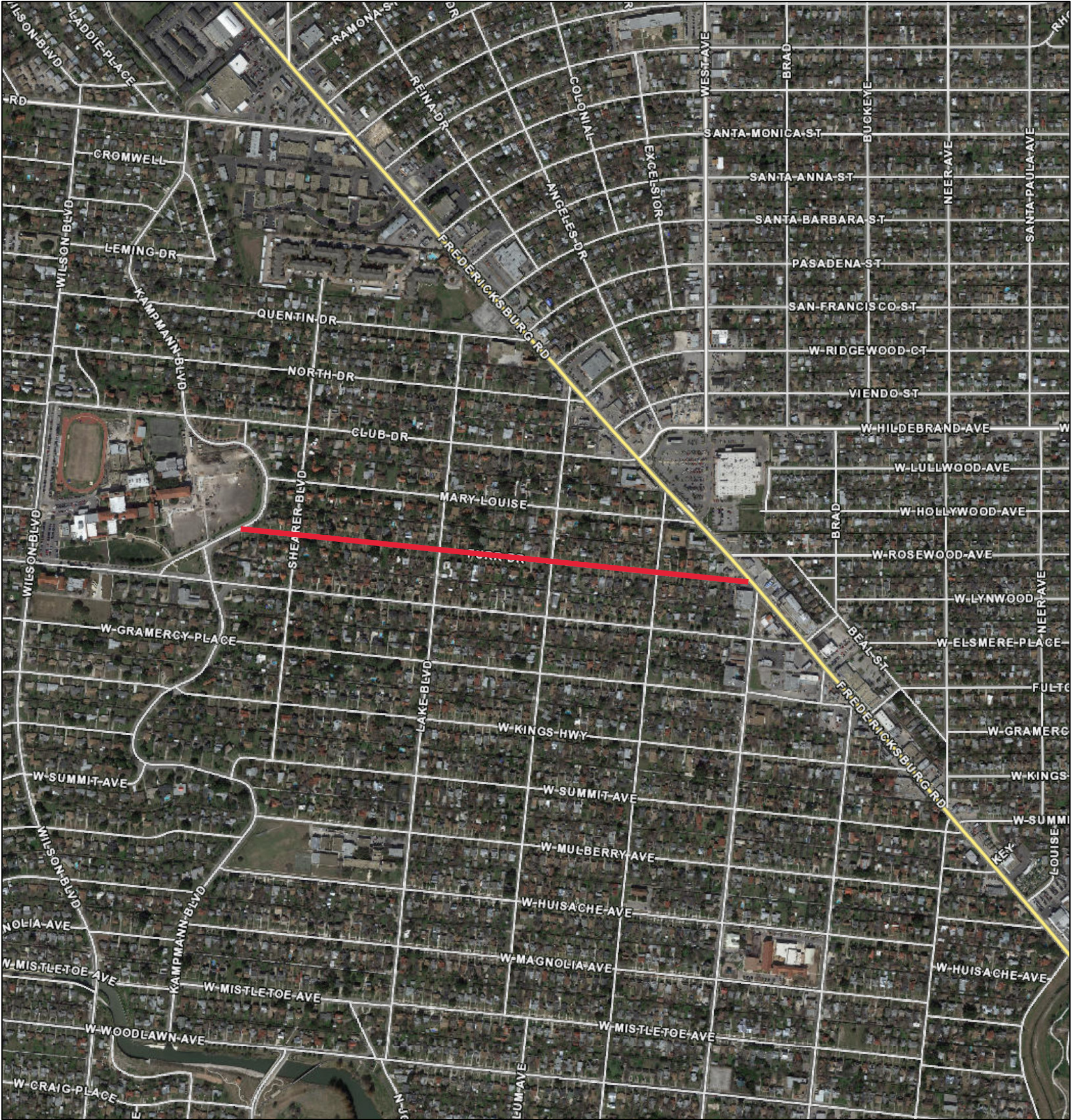
- a. The applicant has proposed to perform various street improvements on Furr Dr from Kampmann Blvd to Fredericksburg Rd. The area of work is located within the Monticello Park Historic District. Proposed improvements include the installation of new sidewalks, curbs, and driveway approaches.
- b. SIDEWALKS AND RAMPS – According to the Guidelines for Site elements, replacement materials for sidewalks should match existing sidewalk and material. The historic alignment, width, and configuration should also be matched. The proposal includes matching existing stained concrete paver bandings in existing parkways and matching the concrete sidewalks in color and configuration. Staff finds this appropriate.
- c. HISTORIC CURBING – The applicant has proposed to retain historic curbing where applicable, which will be protected during the course of construction. Staff finds this proposal appropriate and consistent with the Guidelines.
- d. LANDSCAPING – The applicant has proposed to retain existing landscaping features where feasible or return them to their configuration when sidewalk and related improvements are complete. Staff finds this approach appropriate. Portions of Furr Dr feature sloping berms, which is a character defining feature of the original landscape of the neighborhood. The berms are an essential element of the public experience of this street and must be retained. Modifications to slope or location are not consistent with the Guidelines.
- e. DRIVEWAYS AND CURB CUTS – The scope of the project includes curb cuts and driveway elements. The dimensions and configurations of driveways and curb cuts in historic districts is a character defining feature of the public landscape. Curb cuts must feature a maximum of 12 feet at its widest point and should match the width of the existing driveway at its smallest. Ribbon driveways must be retained and cannot be replaced with solid concrete driveways. Any modifications beyond in-kind repairs must be requested by individual property owners via a Certificate of Appropriateness application.
- f. ARCHAEOLOGY – The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

RECOMMENDATION:

Staff recommends approval based on findings a through e with the following stipulation:

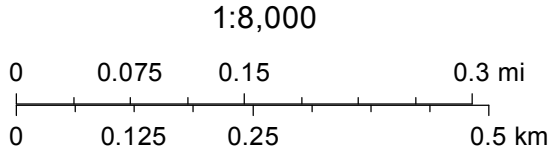
- i. That the applicant submits any updated plans and specifications that may change during the course of construction to OHP staff for review and approval.
- ii. That all significant existing landscaping features, including berms and planting strips, are retained or reconstructed to match existing conditions upon project completion as noted in finding d.
- iii. That all driveway configurations, widths, and dimensions be retained or replaced in-kind, including ribbon driveways, as noted in finding e.
- iv. That driveway curb cut widths be maintained and match the existing driveway widths at their smallest point and flare to no wider than twelve feet as noted in finding e.
- v. ARCHAEOLOGY – The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

City of San Antonio One Stop



June 14, 2019

BCAD Parcels

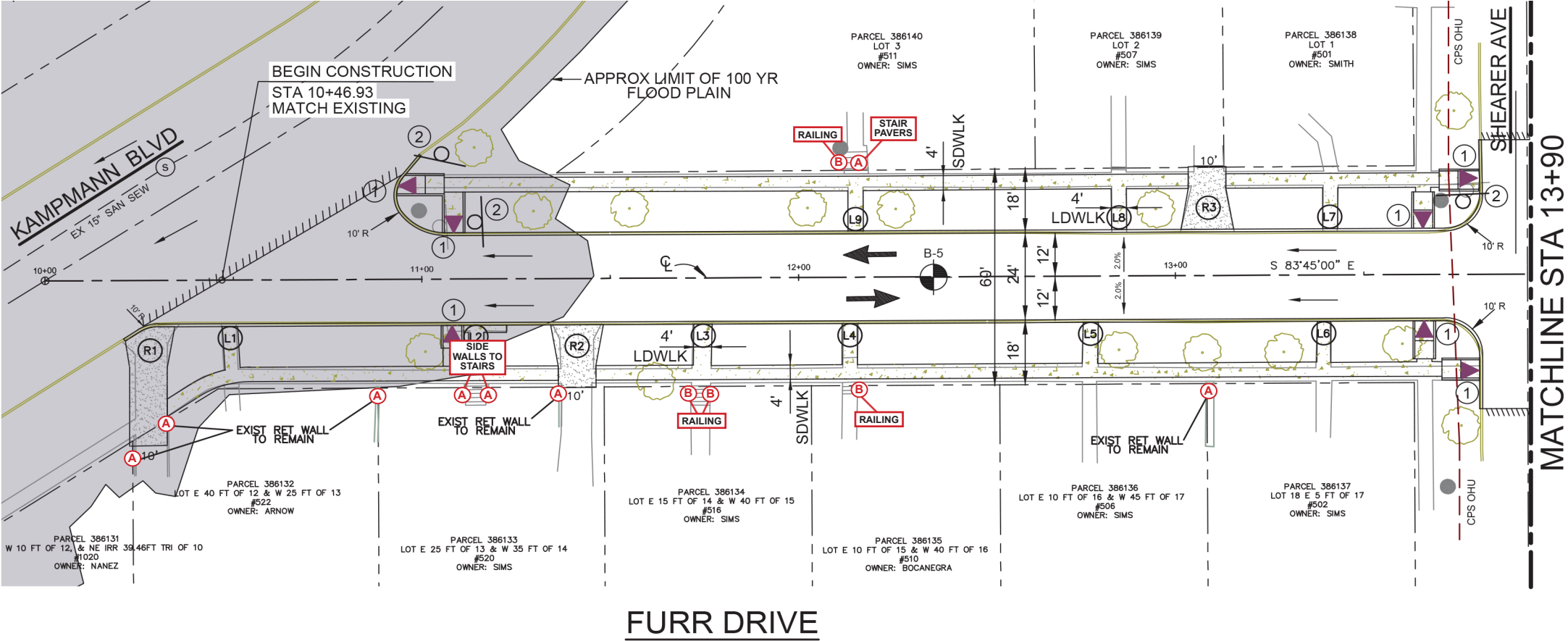


CoSA

Monticello Park Area Streets – Furr Drive (Kampmann Boulevard to Fredericksburg Road)

Project Scope

The proposed project includes installing new sidewalks, curbs, driveway approaches, and other improvements as appropriate along Furr Drive from Kampmann Boulevard to Fredericksburg Road.



1. CREATE A HISTORIC PRESERVATION SHEET WITH ALL HISTORIC STRUCTURES IDENTIFIED AND MARKED WITH THE NOTES SHOWN ON THIS SHEET.
2. INCLUDE THE HISTORIC PRESERVATION SHEETS AFTER THE PLAN PROFILE SHEETS IN THE PLAN SET.
3. ADD "REFER TO HISTORIC PRESERVATION SHEETS" ON THE PLAN PROFILE SHEETS.

KEY NOTES:

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3. CONTRACTOR SHALL **INSTALL AN EXPANSION JOINT** BETWEEN THE NEW SIDEWALK AND THE HISTORIC STRUCTURE.

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2. CONTRACTOR SHALL EXERCISE CAUTION AND SHALL PHYSICALLY PROTECT HISTORIC STANDING STRUCTURE FOUNDATIONS, FACADES, MATERIALS, ELEVATIONS, ENTRYWAYS, DECORATIVE FLOORING, AND HISTORIC SIDEWALK ELEMENTS INCLUDING STAMPS, GLASS BLOCKS, AND METAL FIXTURES DESIGNATED IN THE PLANS. IF AN HISTORIC STANDING STRUCTURE OR HISTORIC ELEMENT IS FOUND THAT IS NOT IN THE PLANS, CONTACT COSA TCI EMD – (210) 207-1454 IMMEDIATELY.
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Engineer: J. ABEL GUZMAN, P.E.

P.E. Reg. No. 96760

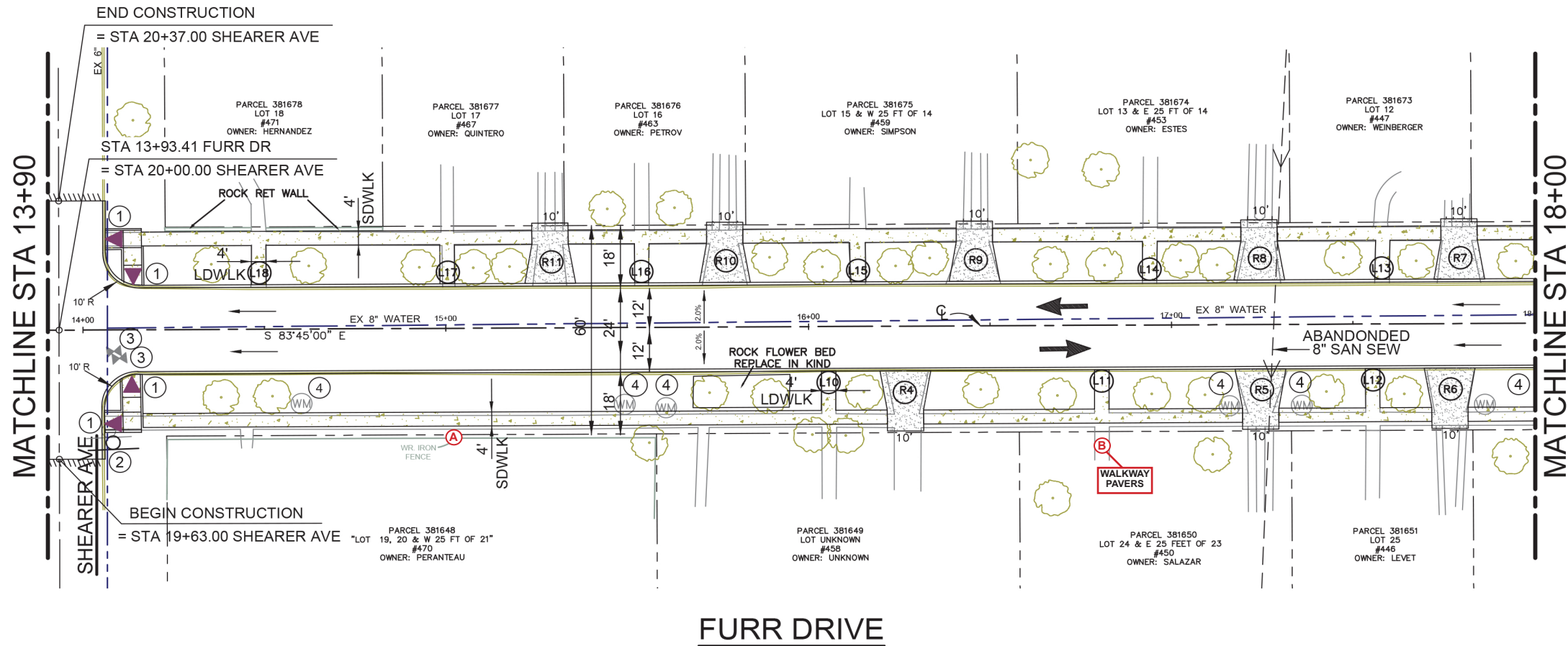
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CITY OF SAN ANTONIO
TRANSPORTATION & CAPITAL IMPROVEMENTS
MONTICELLO AREA STREETS
(FURR DRIVE)
HISTORIC PRESERVATION SHEET 1 OF 8
STA 13+90 TO STA 18+00

95% SUBMITTAL FFW PROJECT NO.: 3470 DATE: 03/19/19
DRAWN BY: R.J.Z. DSGN. BY: J.A.G. CHKD. BY: D.L.W. SHEET NO. 44 OF 119



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CITY OF SAN ANTONIO

TRANSPORTATION & CAPITAL IMPROVEMENTS

MONTICELLO AREA STREETS

(FURR DRIVE)

HISTORIC PRESERVATION SHEET 2 OF 8

STA 13+90 TO STA 18+00

95% SUBMITTAL

FFW PROJECT NO.: 3470

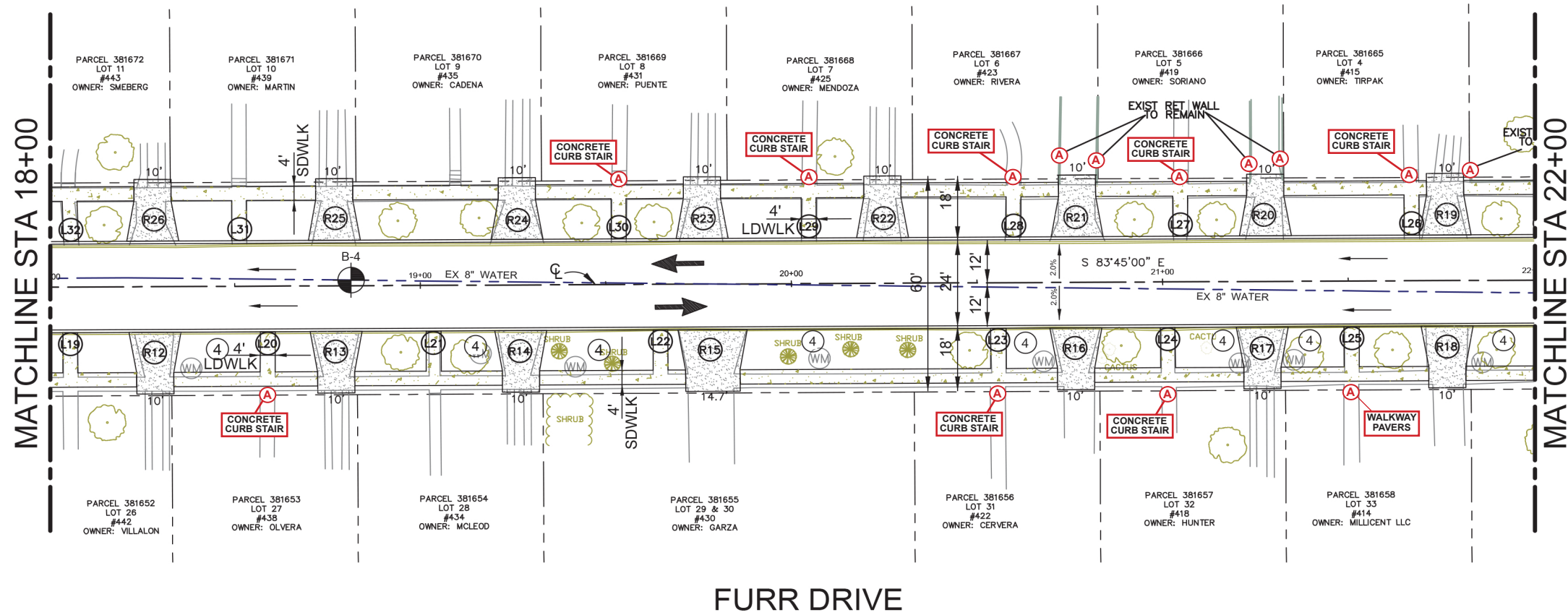
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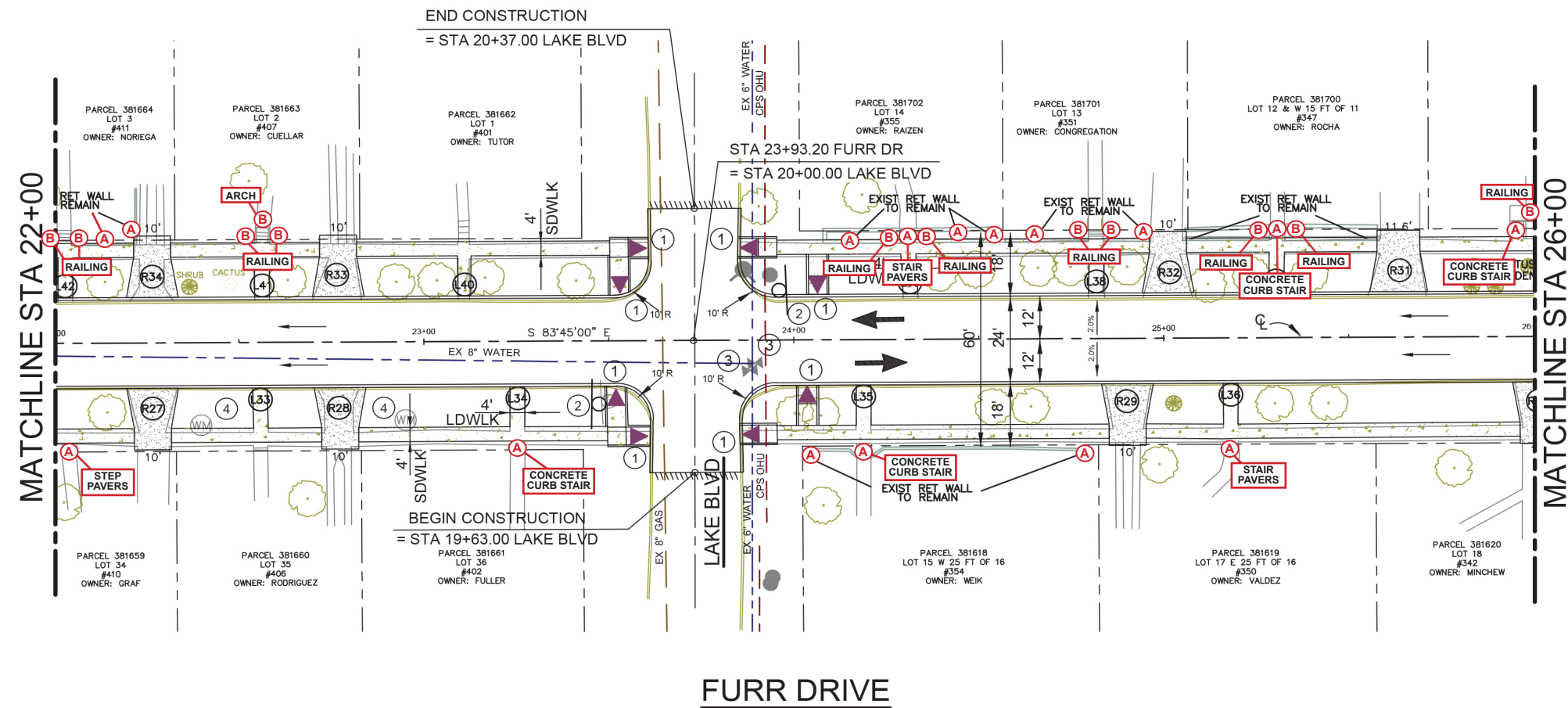
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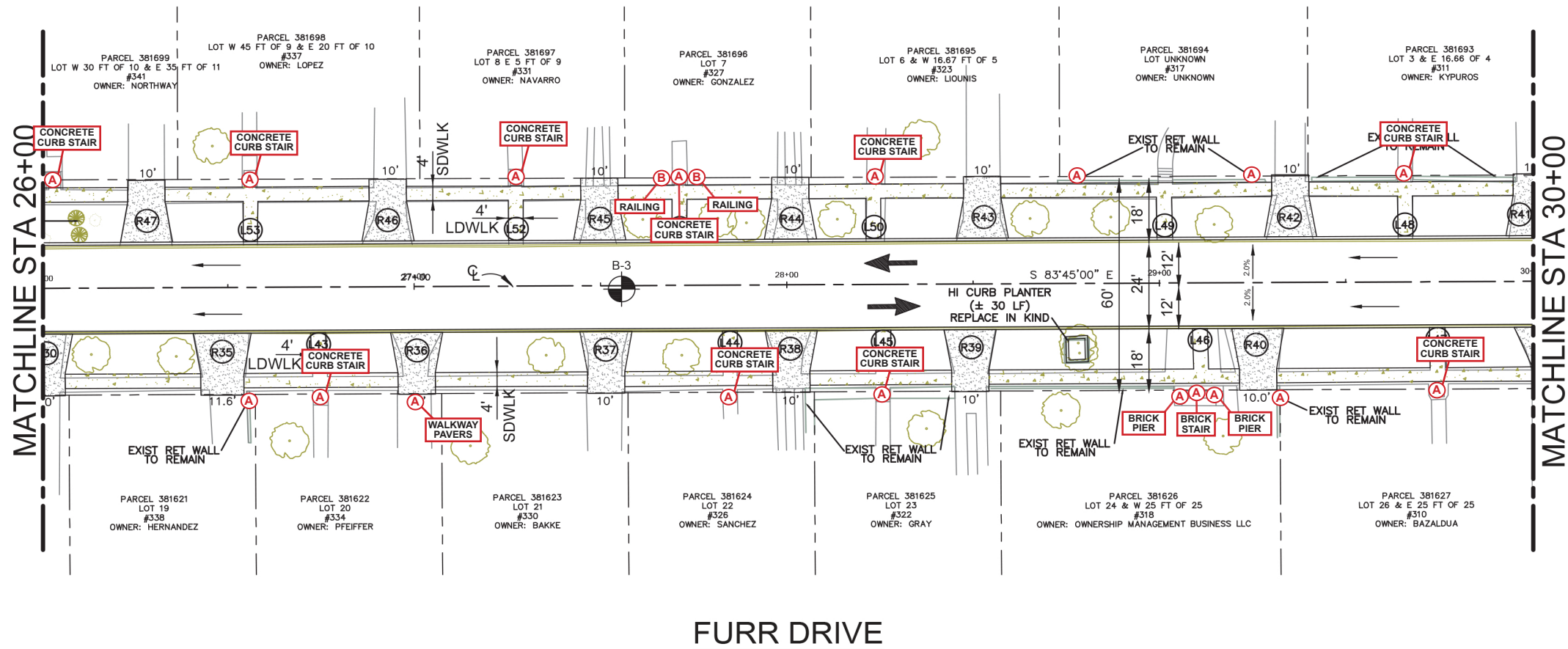
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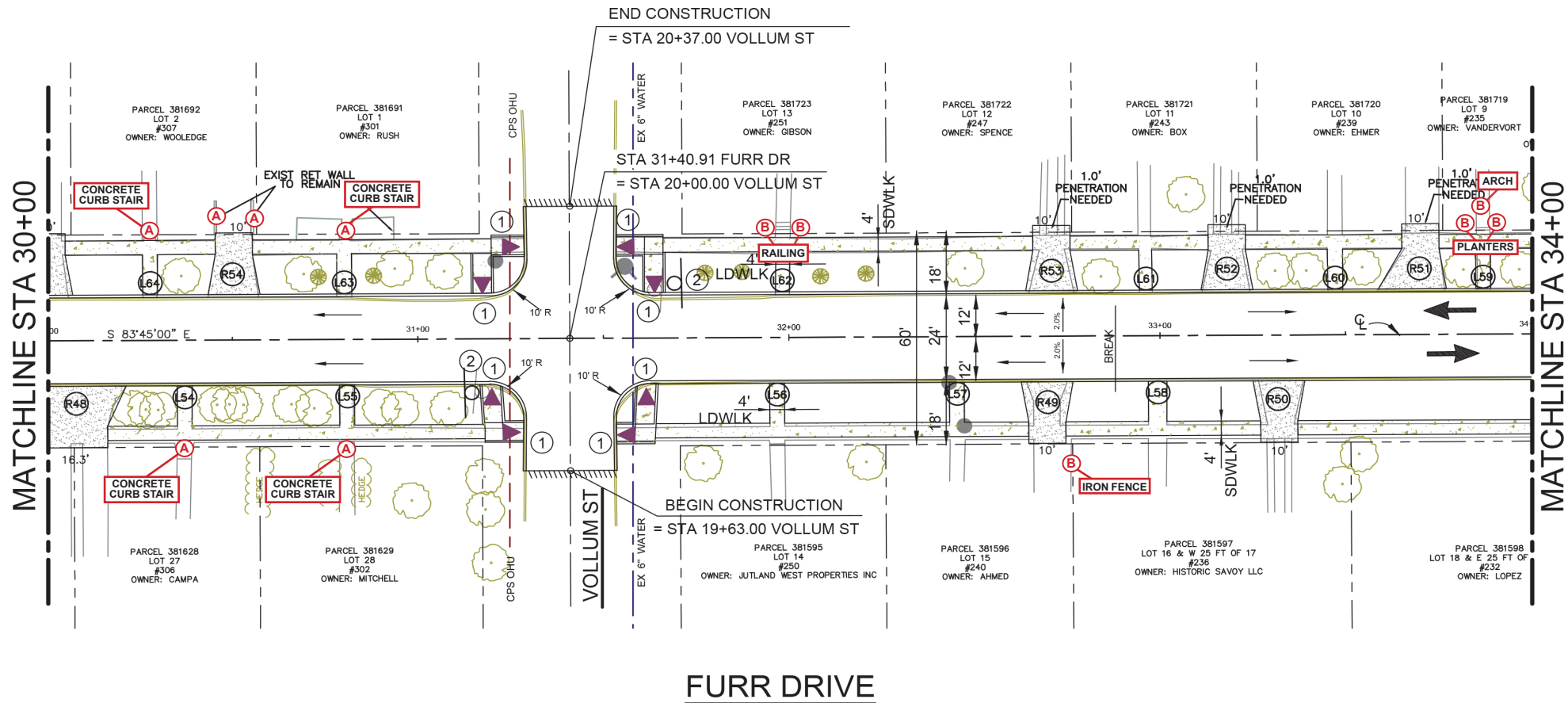
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Engineer: J. ABEL GUZMAN, P.E.
P.E. Reg. No. 96760
Date: 03/19/19



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210.377.0774 www.ffwinc.com TBPE No. F-896 TBPLS No. 10048900

CITY OF SAN ANTONIO
TRANSPORTATION & CAPITAL IMPROVEMENTS
MONTICELLO AREA STREETS
(FURR DRIVE)
HISTORIC PRESERVATION SHEET 5 OF 8
STA 13+90 TO STA 18+00

95% SUBMITTAL	FFW PROJECT NO.: 3470	DATE: 03/19/19
DRAWN BY: R.J.Z.	DSGN. BY: J.A.G.	CHKD. BY: D.L.W.
SHEET NO. 44 OF 119		



1. CREATE A HISTORIC PRESERVATION SHEET WITH ALL HISTORIC STRUCTURES IDENTIFIED AND MARKED WITH THE NOTES SHOWN ON THIS SHEET.
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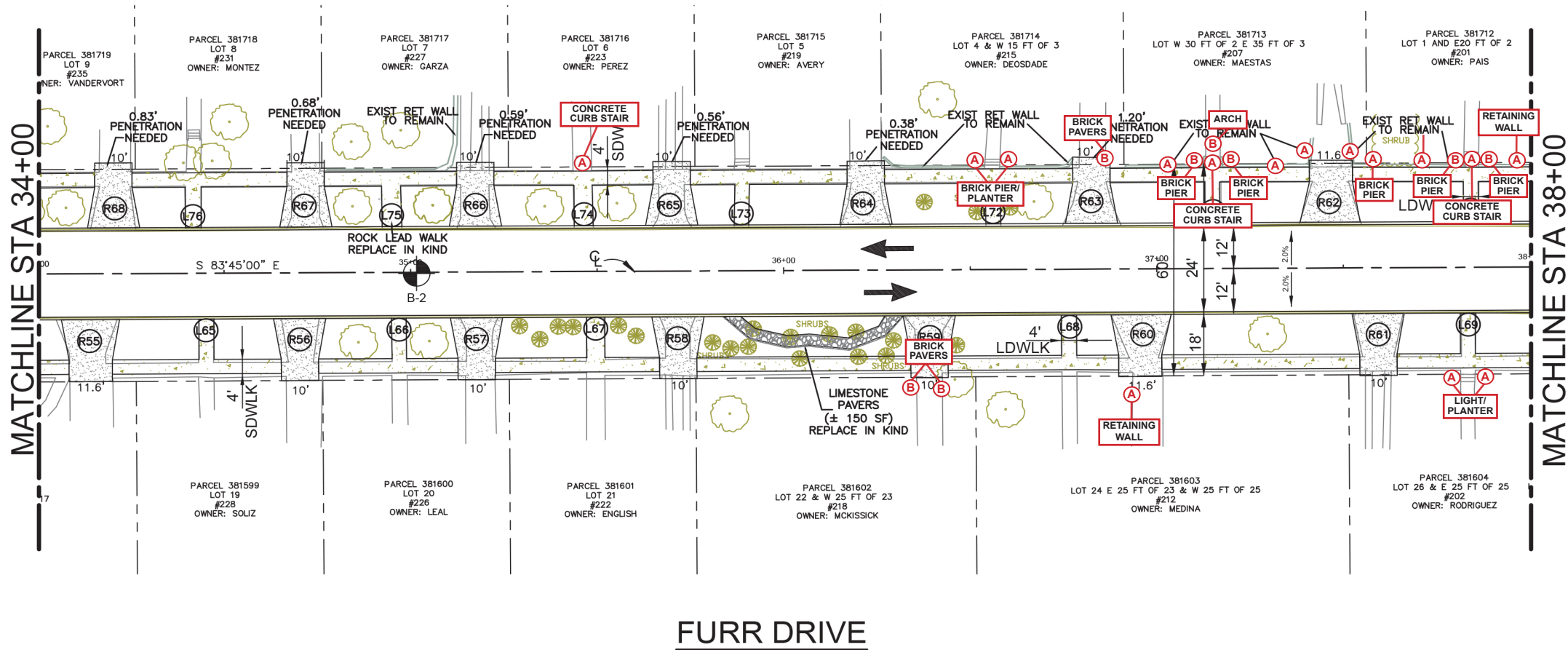


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CITY OF SAN ANTONIO
TRANSPORTATION & CAPITAL IMPROVEMENTS

MONTICELLO AREA STREETS
(FURR DRIVE)
HISTORIC PRESERVATION SHEET 6 OF 8
STA 13+90 TO STA 18+00

95% SUBMITTAL	FFW PROJECT NO.: 3470	DATE: 03/19/19
DRAWN BY: R.J.Z.	DSGN. BY: J.A.G.	CHKD. BY: D.L.W.
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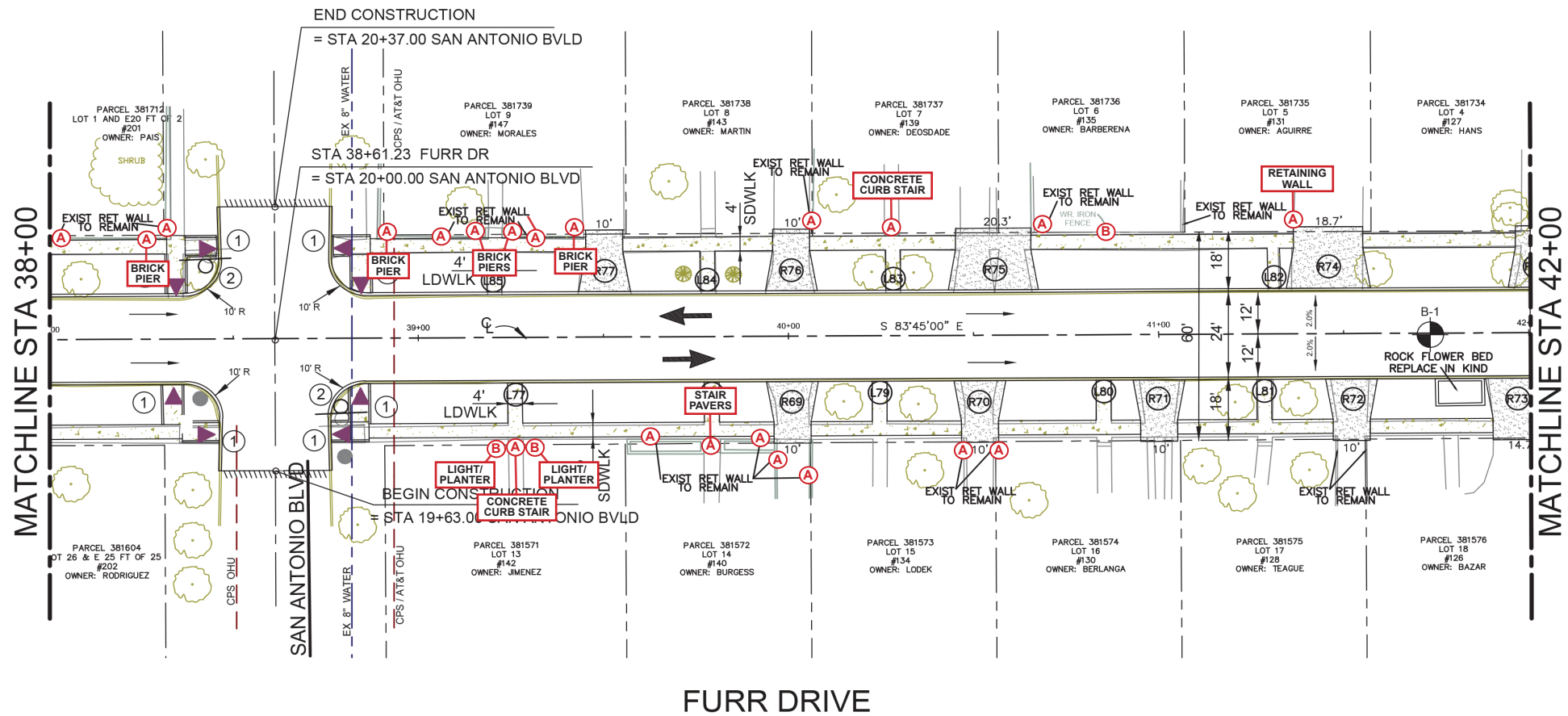
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CITY OF SAN ANTONIO

TRANSPORTATION & CAPITAL IMPROVEMENTS

THROUGH INNOVATION AND DEDICATION, WE BUILD AND MAINTAIN SAN ANTONIO'S INFRASTRUCTURE.

Interdepartmental Correspondence

TO: Daren Johnston, Environmental Project Manager, TCI, EMD
FROM: Miranda Garrison, Architectural Historian, TCI, EMD
COPIES TO: Files
SUBJECT: **Monticello Park Area Streets – Furr Drive (Kampmann Boulevard to Fredericksburg Road)**
DATE: May 28, 2019

The information submitted for the above-referenced request has been reviewed by an architectural historian with the City of San Antonio Transportation & Capital Improvements Department Environmental Management Division (TCI EMD). This is in accordance with the City's Historic Preservation and Design Section of the Unified Development Code and to address requirements of the Texas Antiquities Code. The review focused on the possible effects of the proposed project on above ground historic resources. It is understood that the referenced project is financed solely with city funding. It is further understood that the project will not incorporate TxDOT or railroad ROW and will not require coordination with TxDOT. *However, if a federal agency is involved (for example, with funding, licensing, permitting, or oversight) in development or regulation of a project, resources within the project area are protected under the National Historic Preservation Act (NHPA).*

The proposed project includes installing new sidewalks, curbs, driveway approaches, and other improvements as appropriate along Furr Drive from Kampmann Boulevard to Fredericksburg Road.

Architectural Resources: The project is located within the Monticello Park Historic District designated by the City of San Antonio. The neighborhood was developed in the early- to mid-twentieth century and maintains a high level of integrity. The proposed plan includes protecting the historic character of the neighborhood with the replacement of sidewalks and curbs in kind while maintaining historically-appropriate sidewalk widths, square-shaped curbs, grass easements, and topography. The proposed plan also includes protecting any historic structures and/or any distinctive materials, features, finishes, and construction techniques that may reflect

this character. **TCI EMD has included a set of Historic Preservation sheets that will be included in the final project plans that detail the guidelines that must be followed regarding the historic resources found within the project limits. In the opinion of the TCI EMD, the proposed work is anticipated to have no adverse effects to historic resources as long as the proposed plan is maintained and executed in accordance with the Historic Preservation sheets. If the project limits expand, further research may be warranted.**

If there are any land easements owned or controlled by the State of Texas or any of its political subdivisions within the project area, or if there is any federal agency involvement or jurisdiction relating to the project or its development, the Texas Historical Commission may require other archeological and cultural resource compliance efforts in addition to those required by the City's Office of Historic Preservation. In particular for historic resources (standing structures), if NHPA compliance is required on this project a review of these resources and the potential direct and secondary effects of the project on the resources will be required.

Sincerely,



Miranda Garrison, Architectural Historian
Transportation & Capital Improvements Department
Environmental Management Division

**Office of Historic Preservation
Interdepartmental Correspondence**

To: Celine Finney
From: Kay Hindes, City Archaeologist
Copy: Office of Historic Preservation Files
Subject: Monticello Park Area Streets
Date: 1-31-18

The information submitted for the above-referenced request has been reviewed by the San Antonio Office of Historic Preservation (OHP) staff according to the city's Historic Preservation and Design Section of the Unified Development Code and to address requirements of the Texas Antiquities Code as per agreement with the Texas Historical Commission. The review focused on the possible effects of the proposed project, but more importantly, on the possible effects of any future development of the subject property, on archaeological resources. Disturbance of any site or removal of artifacts from any site within the city without prior review and written clearance by the City Historic Preservation Office (HPO) and/or the State Historic Preservation Office (SHPO) is a violation of the San Antonio Uniform Development Code and/or the Antiquities Code of Texas. Also, if a federal agency is involved (for example, with funding, licensing, permitting, or oversight) in development or regulation of a property, sites within the property are protected under the National Historic Preservation Act. Both underground and ground level portions of sites are included as well as sites found after clearance is obtained.

The Texas Sites Atlas indicates that apparently no archaeological sites have been previously identified within the above referenced property. In the opinion of the City Archaeologist, it is not likely that significant sites or other archaeological resources are present. The project APE is within a highly urbanized setting with numerous previous construction impacts.

However, if a previously unidentified site is encountered during construction work, activities should be immediately stopped in the vicinity and the HPO (210-207-7306) and SHPO notified.

If there are any lands or easements owned or controlled by the State of Texas or any of its political subdivisions within the property, or if there is any **federal agency involvement or jurisdiction relating to the property or its development**, the THC may require other archaeological compliance efforts additional to those required by the HPO.

If there are any questions or additional information regarding archaeological sites is needed, please call me at 210-207-7306.

Sincerely,

Kay Hindes, City Archaeologist