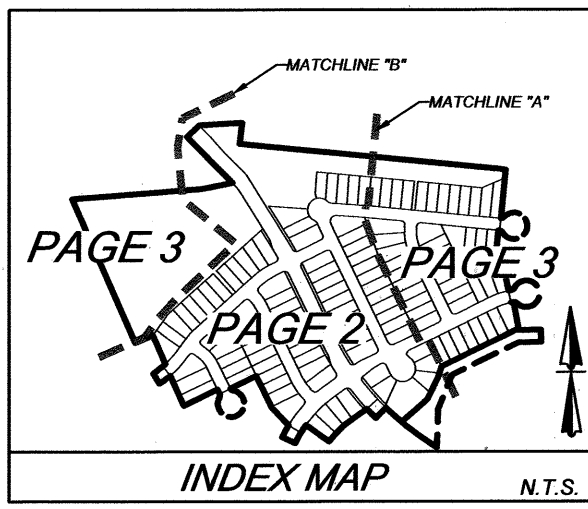


CPS/SAWS/COSA  
UTILITY

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "TRANSFORMER EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE SAID LANDS, TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

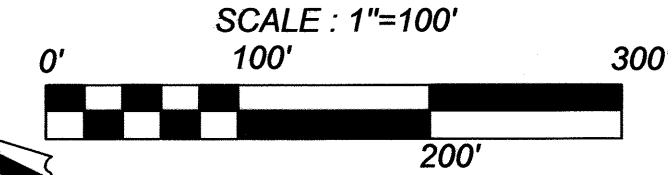


| LEGEND                |  |
|-----------------------|--|
| ● FIR                 | = FOUND 1/2" IRON ROD                                      |
| ○ SIR                 | = SET 1/2" IRON ROD WITH BLUE CAP STAMPED "KFW SURVEYING"  |
| ▲ SIR                 | = SET 1/2" IRON ROD WITH YELLOW CAP STAMPED "KFW EASEMENT" |
| ESMT                  | = EASEMENT   |
| O.P.R.                | = OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY TEXAS.           |
| D.P.R.                | = DEED AND PLAT RECORDS OF BEXAR COUNTY TEXAS.             |
| R.O.W.                | = RIGHT-OF-WAY   |
| N.C.B.                | = NEW CITY BLOCK   |
| £                     | = CENTER LINE  |
| VOL.                  | = VOLUME   |
| PG.                   | = PAGE   |
| N.T.S.                | = NOT TO SCALE   |
| ELEC.                 | = ELECTRIC   |
| TELE.                 | = TELEPHONE  |
| CATV.                 | = CABLE T.V.   |
| SAN. SEWER            | = SANITARY SEWER   |
| ---                   | = PROPOSED CONTOURS  |
| ---                   | = EXISTING MAJOR CONTOURS                                  |
| ---                   | = EXISTING MINOR CONTOURS                                  |
| FF = MIN ELEV. 562.3' | = MINIMUM FINISHED FLOOR ELEVATION                         |

PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT.

PLAT NUMBER: 180309

SUBDIVISION PLAT ESTABLISHING  
**MISSION DEL LAGO UNIT 12A (T.I.F.)**  
BEING A TOTAL OF 37.78 ACRES OUT OF A 382.74 ACRE TRACT OF LAND AS DESCRIBED BY DEED RECORDED IN VOLUME 17107, PAGE 1426 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS AND OUT OF JUAN MANUEL URRIEGAS SURVEY NO. 32, ABSTRACT NO. 769, AND JOSE ANTONIO DELA GARZA SURVEY ABSTRACT NO. 3, COUNTY BLOCK 4283, BEXAR COUNTY, TEXAS.



**KFW**  
ENGINEERS + SURVEYING  
3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78231  
Phone #: (210) 979-8444 • Fax #: (210) 979-8441  
TBPE Firm #: 9513 • TBPLS Firm #: 10123300

KEY NOTES

- 10' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 21' SANITARY SEWER EASEMENT
- 14' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 16' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 5' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 12' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- OFF-LOT VARIABLE WIDTH DRAINAGE EASEMENT (0.99 AC.)
- 14' G.E.T.V. EASEMENT (VOL. 9701, PGS. 182-183 D.P.R.)
- 1' VEHICULAR NON-ACCESS EASEMENT (VOL. 9715, PGS. 161-162 D.P.R.)

STATE OF TEXAS  
COUNTY OF TRAVIS

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER: **THAD RUTHERFORD**, PRESIDENT  
SOUTHSTAR MISSION DEL LAGO DEVELOPER, LLC  
1114 LOST CREEK BLVD, SUITE 270  
AUSTIN, TX 78746  
(512) 865-5895

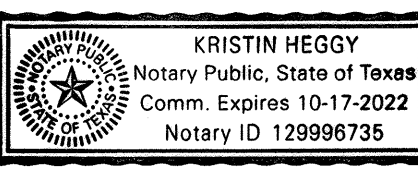
STATE OF TEXAS  
COUNTY OF **BEXAR**

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED **THAD RUTHERFORD**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS **7** DAY OF **JUNE** A.D. **2019**

**Kristin Heggy**  
NOTARY PUBLIC  
BEXAR COUNTY TEXAS



THIS PLAT OF **MISSION DEL LAGO UNIT 12A** HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_

BY: \_\_\_\_\_  
CHAIRMAN

BY: \_\_\_\_\_  
SECRETARY

NOTES

1. NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPES OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
2. FINISHED FLOOR ELEVATIONS MUST BE MINIMUM OF (8) INCHES ABOVE FINAL ADJACENT GRADE. (35-504(E)(2) (p 5-40))

SURVEYOR NOTES

1. 1/2" DIAMETER REBAR WITH A BLUE PLASTIC CAP STAMPED "KFW SURVEYING" SET AT ALL CORNERS UNLESS NOTED OTHERWISE.
2. BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM ESTABLISHED FOR THE TEXAS SOUTH CENTRAL ZONE 4204, NORTH AMERICAN DATUM (NAD) OF 1983.
3. THE COORDINATES SHOWN HEREON ARE GRID WITH A COMBINED SCALE FACTOR OF 1.00017.
4. REFERENCED PROPERTY IS IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE A, SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED, AS SCALED FROM FEMA FLOOD MAP 580 OF 705, COMMUNITY PANEL NO. 48029C05060, DATED SEPTEMBER 29, 2010.
5. THE ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD88 (GEOID 09)

IMPACT FEE NOTE:  
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

WASTEWATER EDU NOTE:  
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

FIRE FLOW NOTE:  
THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1,000 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

SAWS NOTE:  
THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

SAWS HIGH PRESSURE NOTE:  
A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 805 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS WHERE THE GROUND LEVEL IS BELOW 805.2 FEET, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

TREE NOTE:  
THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP #2408880) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(h).

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION BY.

**Burt P. Wellmann**  
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY.

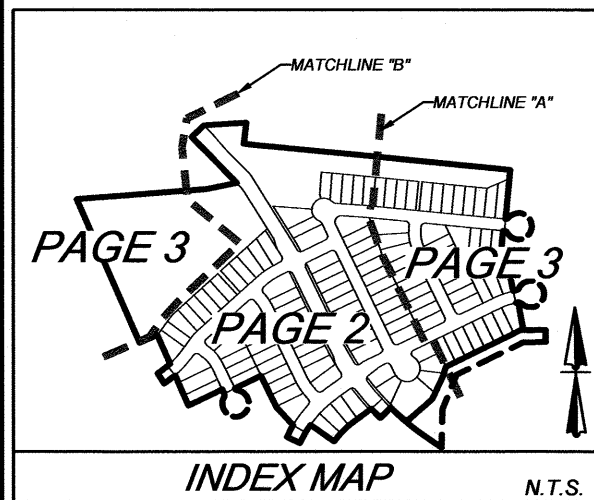
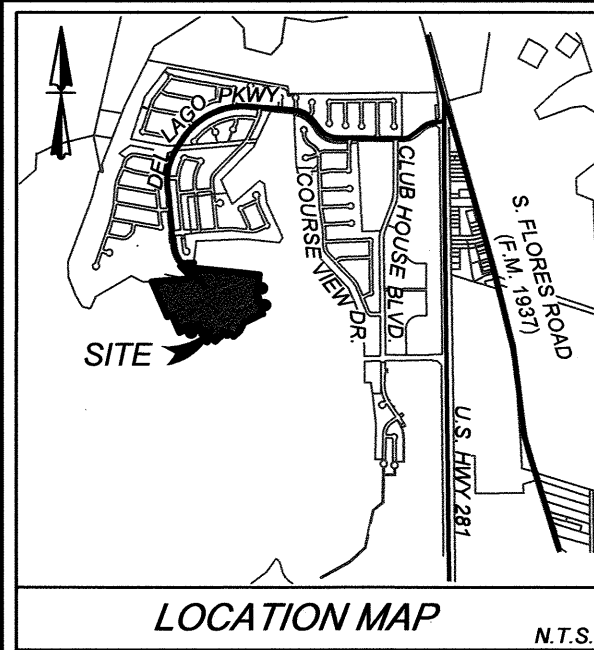
**TERESA A. SEIDEL**  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5672  
KFW SURVEYING, LLC  
3421 PAESANOS PKWY., SUITE 101  
SAN ANTONIO, TEXAS 78231  
PHONE: 210-979-8444  
FAX: 210-979-8441

| CURVE TABLE |         |          |         |            |         |               |
|-------------|---------|----------|---------|------------|---------|---------------|
| CURVE       | LENGTH  | RADIUS   | TANGENT | DELTA      | CHORD   | CHORD BEARING |
| C1          | 14.4'   | 15.00'   | 7.83'   | 55°09'00"  | 13.89'  | N67°57'06"E   |
| C2          | 278.67' | 55.00'   | 38.30'  | 290°18'01" | 62.86'  | S5°31'36"W    |
| C3          | 14.4'   | 15.00'   | 7.83'   | 55°09'00"  | 13.89'  | N56°53'53"W   |
| C4          | 13.39'  | 325.00'  | 6.70'   | 2°21'41"   | 13.39'  | N79°17'12"E   |
| C5          | 14.4'   | 15.00'   | 7.83'   | 55°09'00"  | 13.89'  | N52°53'32"E   |
| C6          | 278.67' | 55.00'   | 38.30'  | 290°18'01" | 62.86'  | S9°31'58"E    |
| C7          | 14.4'   | 15.00'   | 7.83'   | 55°08'41"  | 13.89'  | N71°57'18"W   |
| C8          | 104.38' | 1070.00' | 52.23'  | 5°35'21"   | 104.34' | N48°22'32"W   |
| C9          | 52.80'  | 1130.00' | 26.41'  | 2°40'39"   | 52.80'  | N44°14'32"W   |
| C10         | 88.12'  | 470.00'  | 44.19'  | 10°44'33"  | 87.99'  | S29°56'05"W   |
| C11         | 56.38'  | 530.00'  | 28.22'  | 6°05'43"   | 56.36'  | N27°36'40"E   |
| C12         | 14.4'   | 15.00'   | 7.83'   | 55°09'00"  | 13.89'  | S53°30'02"E   |
| C13         | 278.67' | 55.00'   | 38.30'  | 290°18'01" | 62.86'  | S64°04'28"W   |
| C14         | 14.4'   | 15.00'   | 7.83'   | 55°09'00"  | 13.89'  | N1°38'59"E    |
| C15         | 6.95'   | 530.00'  | 3.47'   | 0°45'05"   | 6.95'   | N44°16'45"W   |
| C16         | 16.74'  | 60.00'   | 8.43'   | 15°59'16"  | 16.69'  | S23°22'30"E   |
| C17         | 33.30'  | 1140.00' | 16.65'  | 1°40'25"   | 33.30'  | S32°12'20"E   |
| C18         | 28.88'  | 130.00'  | 14.50'  | 12°43'49"  | 28.83'  | S38°17'23"E   |
| C19         | 37.26'  | 530.00'  | 18.64'  | 4°01'42"   | 37.26'  | S29°54'37"E   |
| C20         | 23.05'  | 15.00'   | 14.49'  | 88°01'46"  | 20.85'  | S71°54'39"E   |
| C21         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'  | N19°04'28"E   |
| C22         | 11.44'  | 15.00'   | 6.01'   | 43°41'27"  | 11.16'  | N47°46'15"W   |
| C23         | 180.97' | 50.00'   | 205.25' | 207°22'54" | 97.16'  | N34°04'28"E   |
| C24         | 11.44'  | 15.00'   | 6.01'   | 43°41'27"  | 11.16'  | S64°04'48"E   |
| C25         | 10.77'  | 425.00'  | 5.39'   | 1°27'08"   | 10.77'  | S85°11'58"E   |
| C26         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'  | S50°31'36"W   |
| C27         | 82.34'  | 150.00'  | 42.24'  | 31°27'08"  | 81.31'  | S10°11'58"E   |
| C28         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'  | S70°55'32"E   |
| C29         | 79.59'  | 325.00'  | 40.00'  | 14°01'53"  | 79.39'  | N71°05'25"E   |
| C30         | 67.35'  | 275.00'  | 33.84'  | 14°01'53"  | 67.18'  | S71°05'25"W   |
| C31         | 15.17'  | 6.00'    | 18.92'  | 144°48'57" | 11.44'  | S8°20'00"E    |

| CURVE TABLE |         |          |         |            |               |             |
|-------------|---------|----------|---------|------------|---------------|-------------|
| CURVE       | LENGTH  | RADIUS   | TANGENT | DELTA      | CHORD BEARING |             |
| C32         | 225.41' | 55.00'   | 106.07' | 234°48'57" | 97.65'        | S36°40'00"W |
| C33         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | N70°55'32"W |
| C34         | 15.94'  | 110.00'  | 7.98'   | 8°18'09"   | 15.93'        | S50°34'25"W |
| C35         | 24.20'  | 15.00'   | 15.65'  | 92°26'41"  | 21.66'        | S8°30'09"W  |
| C36         | 96.80'  | 1070.00' | 48.43'  | 5°11'01"   | 96.77'        | S40°18'42"E |
| C37         | 106.02' | 1130.00' | 53.05'  | 5°22'33"   | 105.98'       | N40°12'56"W |
| C38         | 22.97'  | 15.00'   | 14.42'  | 87°44'51"  | 20.79'        | N81°24'05"W |
| C39         | 197.41' | 470.00'  | 100.18' | 24°03'57"  | 195.97'       | S42°41'30"W |
| C40         | 107.94' | 530.00'  | 54.16'  | 11°40'07"  | 107.75'       | N36°29'35"E |
| C41         | 22.46'  | 15.00'   | 13.94'  | 85°47'28"  | 20.42'        | N0°34'05"W  |
| C42         | 68.87'  | 225.00'  | 34.71'  | 17°32'17"  | 68.60'        | N34°41'40"W |
| C43         | 35.16'  | 125.00'  | 17.70'  | 16°06'59"  | 35.04'        | N33°59'01"W |
| C44         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | N87°02'31"W |
| C45         | 49.99'  | 345.00'  | 25.04'  | 8°18'10"   | 49.95'        | N54°21'38"E |
| C46         | 26.69'  | 15.00'   | 18.50'  | 101°56'09" | 23.30'        | S3°00'35"E  |
| C47         | 85.68'  | 175.00'  | 43.72'  | 28°03'08"  | 84.83'        | S39°57'05"E |
| C48         | 61.20'  | 125.00'  | 31.23'  | 28°03'08"  | 60.59'        | N39°57'05"W |
| C49         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | S81°01'21"W |
| C50         | 97.80'  | 395.00'  | 49.15'  | 14°11'10"  | 97.55'        | S43°06'56"W |
| C51         | 85.42'  | 345.00'  | 42.93'  | 14°11'10"  | 85.20'        | N43°06'56"E |
| C52         | 26.04'  | 125.00'  | 13.07'  | 11°56'09"  | 25.99'        | N41°59'25"E |
| C53         | 28.78'  | 460.00'  | 14.40'  | 3°35'07"   | 28.78'        | N30°07'54"W |
| C54         | 91.42'  | 325.00'  | 46.01'  | 16°06'59"  | 91.12'        | N56°00'59"E |
| C55         | 24.19'  | 15.00'   | 15.65'  | 92°24'49"  | 21.66'        | N17°52'04"E |
| C56         | 10.68'  | 40.00'   | 5.37'   | 15°17'28"  | 10.64'        | N24°16'44"W |
| C57         | 44.44'  | 200.00'  | 22.31'  | 12°43'49"  | 44.35'        | N38°17'23"W |
| C58         | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | S70°55'32"E |
| C59         | 55.99'  | 1130.00' | 28.00'  | 2°50'20"   | 55.98'        | S27°20'42"E |
| C60         | 22.98'  | 15.00'   | 14.43'  | 87°46'02"  | 20.80'        | S10°50'28"W |
| C61         | 36.81'  | 530.00'  | 18.41'  | 3°58'45"   | 36.80'        | S52°44'06"W |
| C62         | 22.46'  | 15.00'   | 13.94'  | 85°47'28"  | 20.42'        | N86°21'32"W |

| CURVE TABLE |         |          |         |            |               |             |
|-------------|---------|----------|---------|------------|---------------|-------------|
| LINE        | LENGTH  | RADIUS   | TANGENT | DELTA      | CHORD BEARING |             |
| 1           | 53.57'  | 175.00'  | 26.99'  | 17°32'17"  | 53.36'        | N34°41'40"W |
| 2           | 49.22'  | 175.00'  | 24.78'  | 16°06'59"  | 49.06'        | N33°59'01"W |
| 3           | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | N2°57'29"E  |
| 4           | 75.95'  | 270.00'  | 38.23'  | 16°06'59"  | 75.70'        | N56°00'59"E |
| 5           | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | N19°04'28"E |
| 6           | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | S70°55'32"E |
| 7           | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | S19°04'28"W |
| 8           | 17.95'  | 110.00'  | 9.00'   | 9°21'00"   | 17.93'        | S59°23'39"W |
| 9           | 24.20'  | 15.00'   | 15.65'  | 92°26'41"  | 21.66'        | N79°03'11"W |
| 10          | 128.96' | 1070.00' | 64.56'  | 6°54'19"   | 128.88'       | N28°22'41"W |
| 11          | 52.36'  | 25.00'   | 43.30'  | 120°00'00" | 43.30'        | N34°04'28"E |
| 12          | 9.50'   | 375.00'  | 4.75'   | 1°27'08"   | 9.50'         | S85°11'58"E |
| 13          | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | N39°28'24"W |
| 14          | 109.79' | 200.00'  | 56.32'  | 31°27'08"  | 108.42'       | S10°11'58"E |
| 15          | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | S19°04'28"W |
| 16          | 23.56'  | 15.00'   | 15.00'  | 90°00'00"  | 21.21'        | N70°55'32"W |
| 17          | 52.04'  | 540.00'  | 26.04'  | 5°31'19"   | 52.02'        | N29°09'48"W |
| 18          | 11.34'  | 275.00'  | 5.67'   | 2°21'42"   | 11.33'        | S79°17'12"W |
| 19          | 264.69' | 1060.00' | 133.04' | 14°18'28"  | 264.00'       | S44°06'26"E |
| 20          | 119.73' | 1140.00' | 59.92'  | 6°01'04"   | 119.68'       | S39°49'38"E |
| 21          | 108.30' | 1140.00' | 54.19'  | 5°26'36"   | 108.26'       | S28°38'50"E |
| 22          | 141.93' | 1060.00' | 71.07'  | 7°40'17"   | 141.82'       | S29°45'40"E |
| 23          | 16.01'  | 60.00'   | 8.05'   | 15°17'28"  | 15.97'        | N24°16'44"W |
| 24          | 57.24'  | 395.00'  | 28.67'  | 8°18'10"   | 57.19'        | S54°21'38"W |
| 25          | 14.49'  | 345.00'  | 7.25'   | 2°24'23"   | 14.49'        | N49°00'16"E |
| 26          | 58.54'  | 190.00'  | 29.50'  | 17°39'08"  | 58.31'        | S55°14'54"W |
| 27          | 9.34'   | 40.00'   | 4.69'   | 13°20'00"  | 9.32'         | S22°04'22"E |
| 28          | 71.33'  | 1070.00' | 35.68'  | 3°49'09"   | 71.31'        | N53°04'47"W |
| 29          | 50.00'  | 470.00'  | 25.00'  | 6°05'43"   | 49.98'        | S27°36'40"W |
| 30          | 50.00'  | 1070.00' | 25.00'  | 2°40'39"   | 49.98'        | S44°14'32"E |
| 31          | 251.18' | 1070.00' | 126.17' | 132°27'00" | 250.60'       | N44°26'42"W |





CPS/SAWS/COSA UTILITY  
THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.  
ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.  
THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.  
CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

MISSION DEL LAGO GOLF COURSE  
CITY OF SAN ANTONIO  
(VOL. 4259, PG. 622 D.P.R.)

MISSION DEL LAGO  
SUBDIVISION  
UNIT 9C (T.I.F.)  
(VOL. 9715 PGS.  
161-162 D.P.R.)

LOT 901, BLOCK 31 OPEN  
SPACE, INGRESS/EGRESS &  
PRIVATE DRAINAGE ESMT  
(3.31 AC. PERMEABLE)

LOT 902, BLOCK 31  
OPEN SPACE ESMT  
(0.04 AC. PERMEABLE)

LOT 901, BLOCK 30  
(OPEN SPACE)  
(0.03 AC. PERMEABLE)

LOT 902  
BLOCK 30  
OPEN SPACE / PUBLIC  
DRAINAGE ESMT  
(6.66 AC. PERMEABLE)

LIMITS OF 100 YR  
FLOOD PLAIN ZONE "A" FIRM  
MAP NO. 48029C0590G  
DATE: SEPTEMBER 29, 2010

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION BY:

LICENSSED PROFESSIONAL ENGINEER

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

TERESA A. SEIDEL  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5672  
KFW SURVEYING, LLC  
3421 PAESANOS PKWY., SUITE 101  
SAN ANTONIO, TEXAS 78231  
PHONE: 210-979-8444  
FAX: 210-979-8441

REFER TO PAGE 1 OF 3 FOR ALL  
ENGINEERING AND SURVEYING PLAT NOTES

PLAT NOTES APPLY TO EVERY PAGE  
OF THIS MULTIPLE PAGE PLAT.

SEE LINE & CURVE TABLE ON PAGE 1 OF 3

### LEGEND

|        |  |              |                                    |
|--------|--|--------------|------------------------------------|
| ○ FIR  | = FOUND 1/2" IRON ROD                                      | VOL          | = VOLUME                           |
| ○ SIR  | = SET 1/2" IRON ROD WITH BLUE CAP STAMPED "KFW SURVEYING"  | PG           | = PAGE                             |
| △ SIR  | = SET 1/2" IRON ROD WITH YELLOW CAP STAMPED "KFW EASEMENT" | N.T.S.       | = NOT TO SCALE                     |
| ESMT   | = EASEMENT   | ELEC         | = ELECTRIC                         |
| O.P.R. | = OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY TEXAS            | TELE         | = TELEPHONE                        |
| D.P.R. | = DEED AND PLAT RECORDS OF BEXAR COUNTY TEXAS              | CATV         | = CABLE T.V.                       |
| R.O.W. | = RIGHT-OF-WAY   | SAN. SEWER   | = SANITARY SEWER                   |
| N.C.B. | = NEW CITY BLOCK   | — 632 —      | = PROPOSED CONTOURS                |
| ℄      | = CENTER LINE  | — 970 —      | = EXISTING MAJOR CONTOURS          |
|        |  | — — —        | = EXISTING MINOR CONTOURS          |
|        |  | FF = MIN     | = MINIMUM FINISHED FLOOR ELEVATION |
|        |  | ELEV. 562.3' |                                    |

IMPACT FEE NOTE:  
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.  
WASTEWATER EDU NOTE:  
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

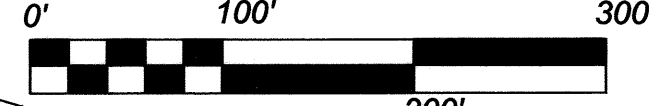
### KEY NOTES

- 10' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 21' SANITARY SEWER EASEMENT
- 14' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 16' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 5' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- 12' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
- OFF-LOT VARIABLE WIDTH DRAINAGE EASEMENT (0.99 AC.)
- 14' G.E.T.V. EASEMENT (VOL. 9701, PGS. 162-163 D.P.R.)
- 1' VEHICULAR NON-ACCESS EASEMENT (VOL. 9715, PGS. 161-162 D.P.R.)

PLAT NUMBER: 180309

SUBDIVISION PLAT ESTABLISHING  
**MISSION DEL LAGO UNIT 12A (T.I.F.)**  
BEING A TOTAL OF 37.78 ACRES OUT OF A 382.74 ACRE TRACT OF LAND AS DESCRIBED BY DEED RECORDED IN VOLUME 17107, PAGE 1426 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS AND OUT OF JUAN MANUEL URRIEGAS SURVEY NO. 32, ABSTRACT NO. 769, AND JOSE ANTONIO DELA GARZA SURVEY ABSTRACT NO. 3, COUNTY BLOCK 4283, BEXAR COUNTY, TEXAS.

SCALE: 1"=100'



**KFW**

ENGINEERS + SURVEYING

3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78231  
Phone #: (210) 979-8444 • Fax #: (210) 979-8441  
TBPE Firm #: 9513 • TBPLS Firm #: 10122300

STATE OF TEXAS  
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER: THAD RUTHERFORD, PRESIDENT  
SOUTHSTAR MISSION DEL LAGO DEVELOPER, LLC  
1114 LOST CREEK BLVD, SUITE 270  
AUSTIN, TX 78746  
(512) 865-5895

STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED **THAD RUTHERFORD** KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS 7 DAY OF JUNE A.D. 2019

*Kristin Heggy*  
NOTARY PUBLIC  
COUNTY OF BEXAR

LOT 904, BLOCK 31 OPEN SPACE  
(0.06 AC. PERMEABLE)

OFF-LOT 0.07 AC. 60' X 50' ELEC., GAS, TELE., CATV., WATER, SAN. SEWER & DRAINAGE ESMT.  
(ESMT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET RIGHT-OF-WAY.)

LOT 901, BLOCK 38 OPEN SPACE &  
VARIABLE WIDTH PRIVATE  
DRAINAGE ESMT  
(0.03 AC. PERMEABLE)

UNPLATTED  
REMAINING PORTION OF A  
382.74 ACRE TRACT  
SOUTHSTAR MISSION DEL LAGO  
DEVELOPER, LLC  
(VOL. 17107, PG. 1426 O.P.R.)

KRISTIN HEGGY  
Notary Public, State of Texas  
Comm. Expires 10-17-2022  
Notary ID 129996735

THIS PLAT OF **MISSION DEL LAGO UNIT 12A** HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

BY: \_\_\_\_\_

CHAIRMAN

BY: \_\_\_\_\_

SECRETARY

DATE OF PREPARATION: APRIL, 2018

PAGE 2 OF 3

Date: May 30, 2019, 9:24am User ID: nwalden  
File: N:\391\0801\Design\Civil\PLAT\PL3910801.dwg



SUBDIVISION LAG UNIT 12A (T.I.F.)  
MISSION DEL LAGO UNIT 12A (T.I.F.)

BEING A TOTAL OF 37.78 ACRES OUT OF A 382.74 ACRE TRACT OF LAND AS DESCRIBED BY DEED RECORDED IN VOLUME 17107, PAGE 1426 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS AND OUT OF JUAN MANUEL URRIGAS SURVEY NO. 32, ABSTRACT NO. 769, AND JOSE ANTONIO DELA GARZA SURVEY ABSTRACT NO. 3, COUNTY BLOCK 4283, BEXAR COUNTY, TEXAS.

SCALE: 1"=100'

**KFW**  
ENGINEERS + SURVEYING  
3421 Paesanos Pkwy, Suite 200, San Antonio, TX 78231  
Phone # (210) 979-8444 • Fax # (210) 979-8441  
TBPE Firm # 9513 • TBPLS Firm # 10122300

STATE OF TEXAS  
COUNTY OF TRAVIS

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER: THOMAS RUTHERFORD, PRESIDENT  
SOUTHSTAR MISSION DEL LAGO DEVELOPER, LLC  
1114 LOST CREEK BLVD, SUITE 270  
AUSTIN, TX 78746  
(512) 865-5895

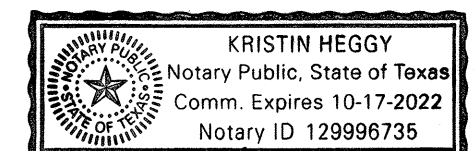
STATE OF TEXAS  
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED THOMAS RUTHERFORD, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS 7 DAY OF JUNE A.D. 2019

[Signature]  
NOTARY PUBLIC  
BEXAR COUNTY TEXAS



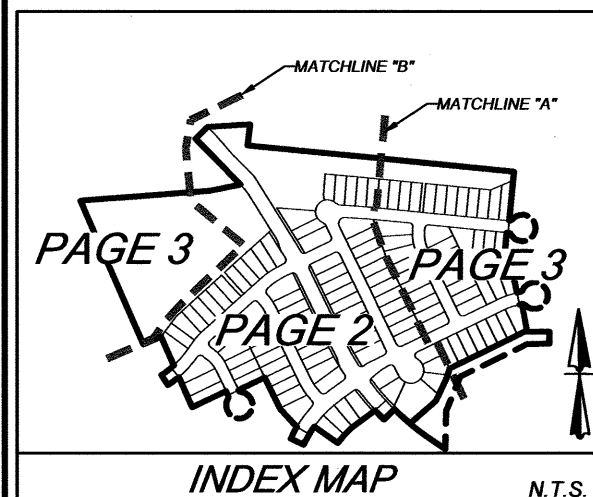
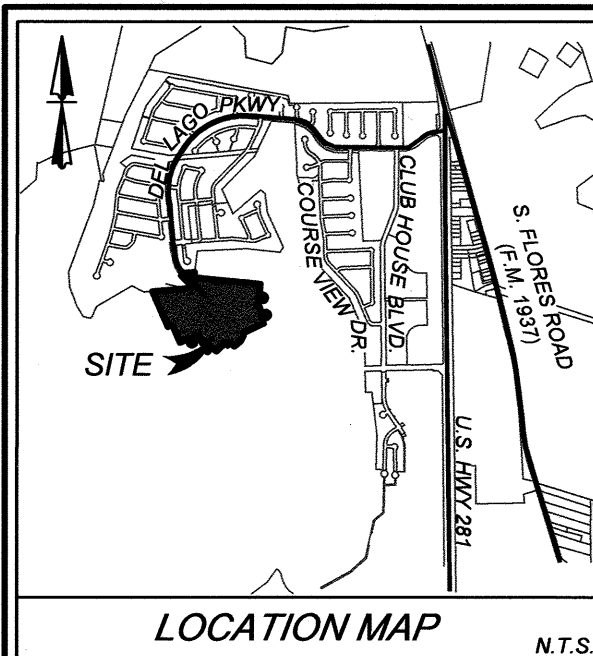
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DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20 \_\_\_\_\_

BY: \_\_\_\_\_  
CHAIRMAN

BY: \_\_\_\_\_  
SECRETARY

DATE OF PREPARATION: APRIL, 2018



KEY NOTES

1. 10' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
2. 21' SANITARY SEWER EASEMENT
3. 14' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
4. 16' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
5. 5' ELECTRIC, GAS, TELEPHONE, & CABLE T.V. EASEMENT
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7. OFF-LOT VARIABLE WIDTH DRAINAGE EASEMENT (0.99 AC.)
8. 14' G.E.T.V. EASEMENT (VOL. 9701, PGS. 182-183 D.P.R.)
9. 1' VEHICULAR NON-ACCESS EASEMENT (VOL. 9715, PGS. 161-162 D.P.R.)

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REFER TO PAGE 1 OF 3 FOR ALL  
ENGINEERING AND SURVEYING PLAT NOTES

PLAT NOTES APPLY TO EVERY PAGE  
OF THIS MULTIPLE PAGE PLAT.

SEE LINE & CURVE TABLE ON PAGE 1 OF 3

STATE OF TEXAS  
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION BY:

[Signature]  
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS  
COUNTY OF BEXAR

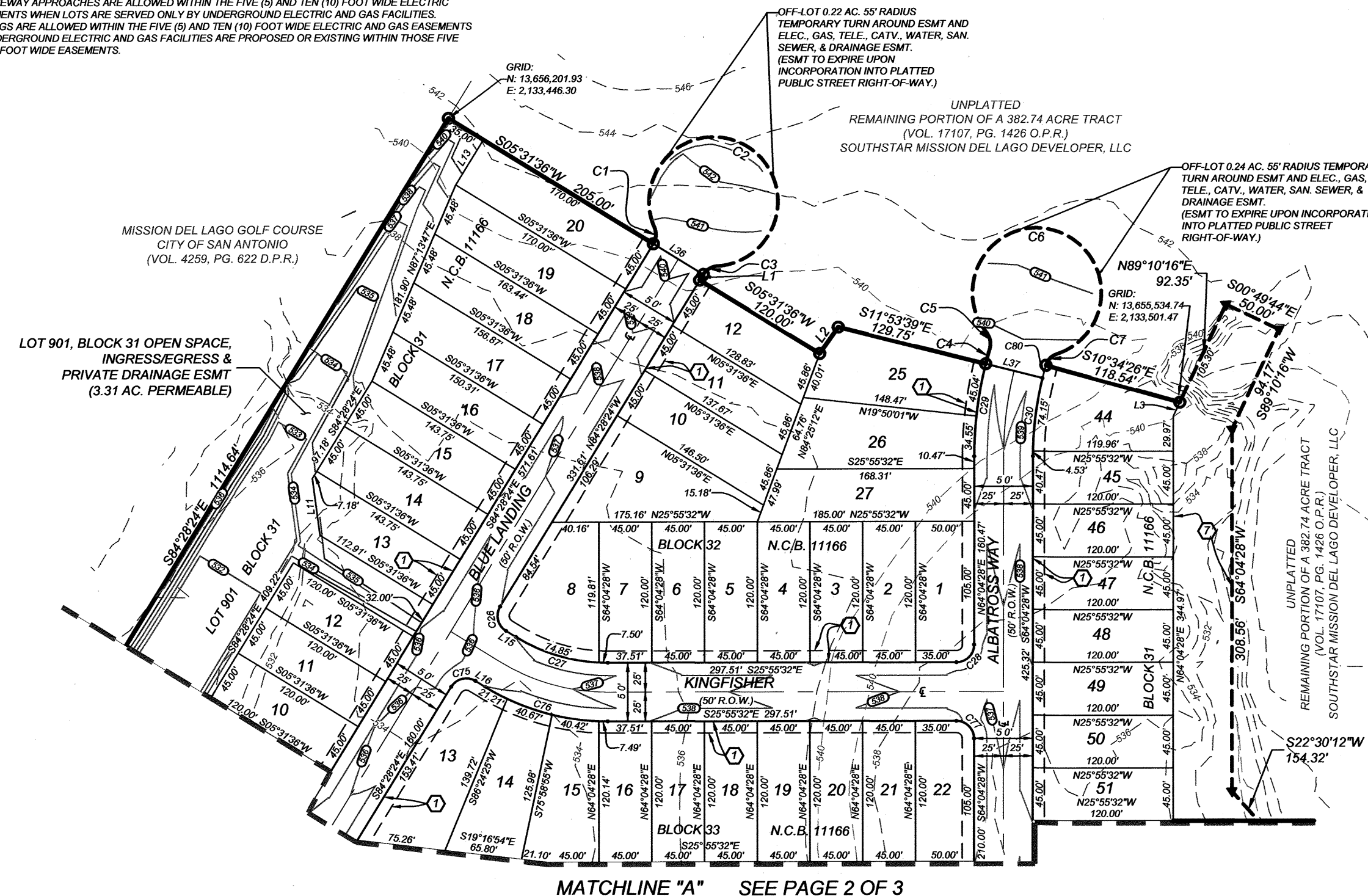
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TERESA A. SEIDEL  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5672  
KFW SURVEYING, LLC  
3421 PAESANOS PKWY., SUITE 101  
SAN ANTONIO, TEXAS 78231  
PHONE: 210-979-8444  
FAX: 210-979-8441

CPS/SAWS/COSA  
UTILITY

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
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4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

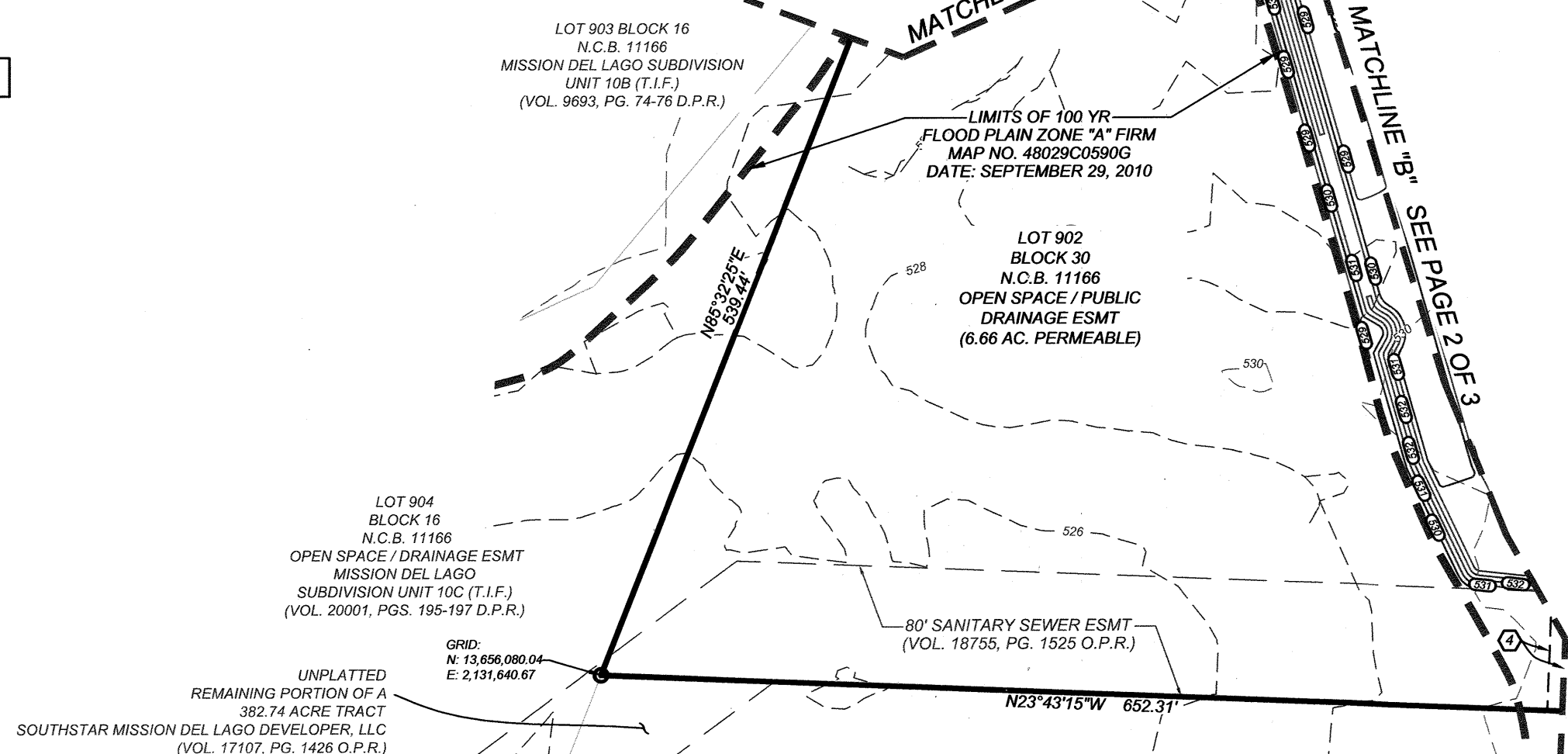
- LEGEND**
- FIR = FOUND 1/2" IRON ROD
  - SIR = SET 1/2" IRON ROD WITH BLUE CAP STAMPED "KFW SURVEYING"
  - △ SIR = SET 1/2" IRON ROD WITH YELLOW CAP STAMPED "KFW EASEMENT"
  - ESMT = EASEMENT
  - O.P.R. = OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY TEXAS
  - D.P.R. = DEED AND PLAT RECORDS OF BEXAR COUNTY TEXAS
  - R.O.W. = RIGHT-OF-WAY
  - N.C.B. = NEW CITY BLOCK
  - ℄ = CENTER LINE
  - VOL. = VOLUME
  - PG. = PAGE
  - N.T.S. = NOT TO SCALE
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  - TELE. = TELEPHONE
  - CATV. = CABLE T.V.
  - SAN. SEWER = SANITARY SEWER
  - PROPOSED CONTOURS
  - EXISTING MAJOR CONTOURS
  - EXISTING MINOR CONTOURS
  - MINIMUM FINISHED FLOOR ELEVATION



MATCHLINE "A" SEE PAGE 2 OF 3

MATCHLINE "B" SEE PAGE 2 OF 3

MATCHLINE "C" SEE PAGE 2 OF 3



UNPLATTED  
REMAINING PORTION OF A  
382.74 ACRE TRACT  
SOUTHSTAR MISSION DEL LAGO DEVELOPER, LLC  
(VOL. 17107, PG. 1426 O.P.R.)

