

HISTORIC AND DESIGN REVIEW COMMISSION

July 17, 2019

HDRC CASE NO: 2019-370
ADDRESS: 8701 MYSTIC PARK
LEGAL DESCRIPTION: NCB 17929 P-64A
ZONING: C-2
CITY COUNCIL DIST.: 7
APPLICANT: Albert Fernandez/CFZ Group, LLC.
OWNER: CITY OF SAN ANTONIO
TYPE OF WORK: Park Improvements
APPLICATION RECEIVED: June 05, 2019
60-DAY REVIEW: August 4, 2019
CASE MANAGER: Adam Rajper
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to carry out various park improvements, including the installation of solar lighting adjacent to the existing parking lot, two shade canopies in the existing dog park, a sign in the existing parking area that would read "Overflow Parking at Maverick Library," and curb stops in the existing turf parking area.

APPLICABLE CITATIONS:

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying

quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

- a. The property located at 8701 Mystic Park, northwest of Downtown, is a public park with the common name of Nani Falcone Park. The applicant is requesting approval to carry out various park improvements.
- b. PARK IMPROVEMENTS – The applicant has proposed various park improvements, including the installation of solar lighting adjacent to the existing parking lot, two shade canopies in the existing dog park, a sign in the existing parking area that would read “Overflow Parking at Maverick Library,” and curb stops in the existing turf parking area. Staff finds the proposal consistent with the UDC.
- c. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

RECOMMENDATION:

Staff recommends approval of the proposed park improvements based on findings a through c with the following stipulation:

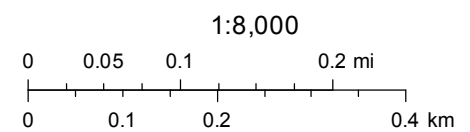
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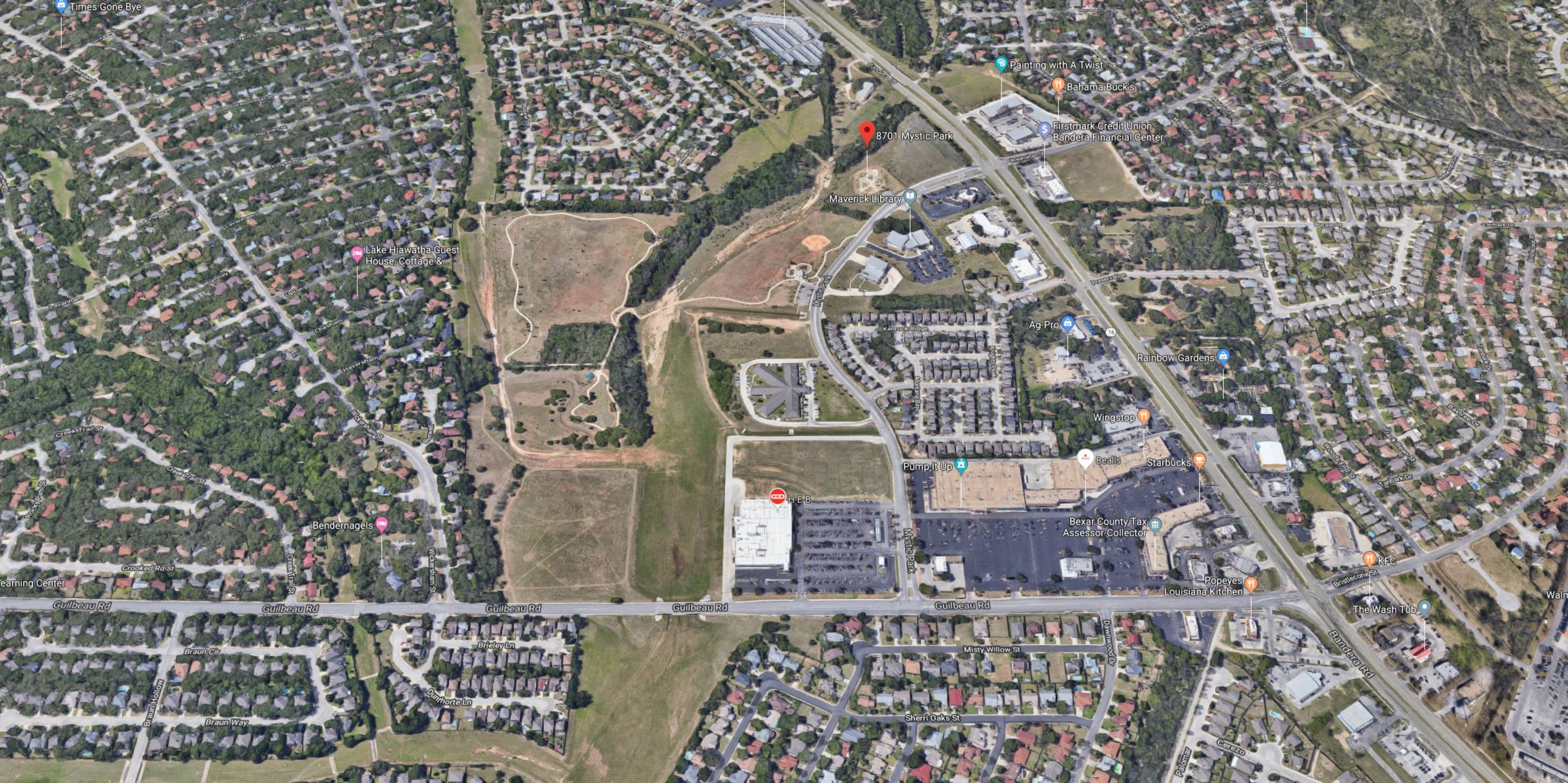
8701 Mystic Park



July 9, 2019

— User drawn lines





Times Gone Bye

Lake Hiawatha Guest House, Cottage &...

Bendernagels

8701 Mystic Park

Maverick Library

Painting with A Twist

Bahama Buck's

Firstmark Credit Union -
Bandera Financial Center

Ag-Pro

Rainbow Gardens

Wingstop

Starbucks

Bexar County Tax
Assessor-Collector

Popeyes
Louisiana Kitchen

KFC

The Wash Tub

H-E-B

Pump It Up

Bealls

Guilbeau Rd

Guilbeau Rd

Guilbeau Rd

Guilbeau Rd

Guilbeau Rd

Braun Cir

Braun Way

Briely Ln

Dunthorpe Ln

Misty Willow St

Sherri Oaks St

Dunthorpe Dr

Palomar

Cerezo

Bandera Rd

Briestcone St

Tanbark Dr

Jack Ham St

Woods Dr St

Bayview Dr

Yadlowsky

Burgundy

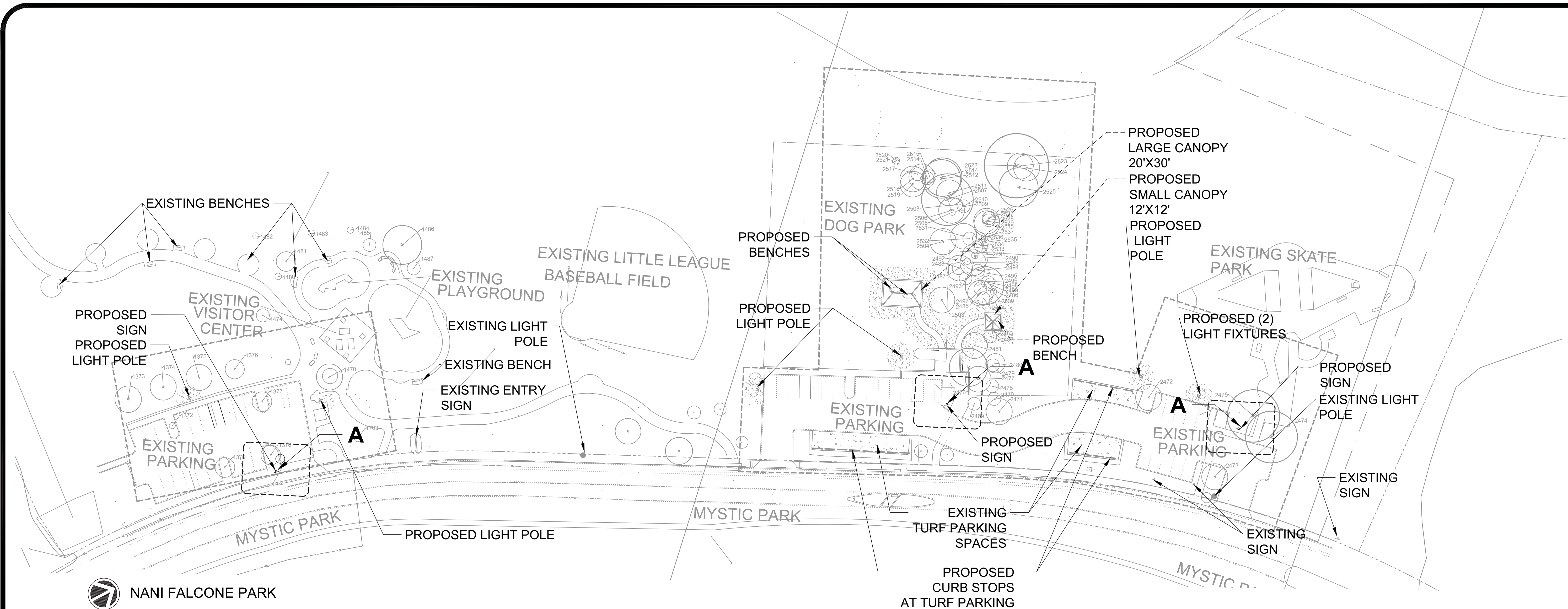
Hemington Dr

Windsor Dr

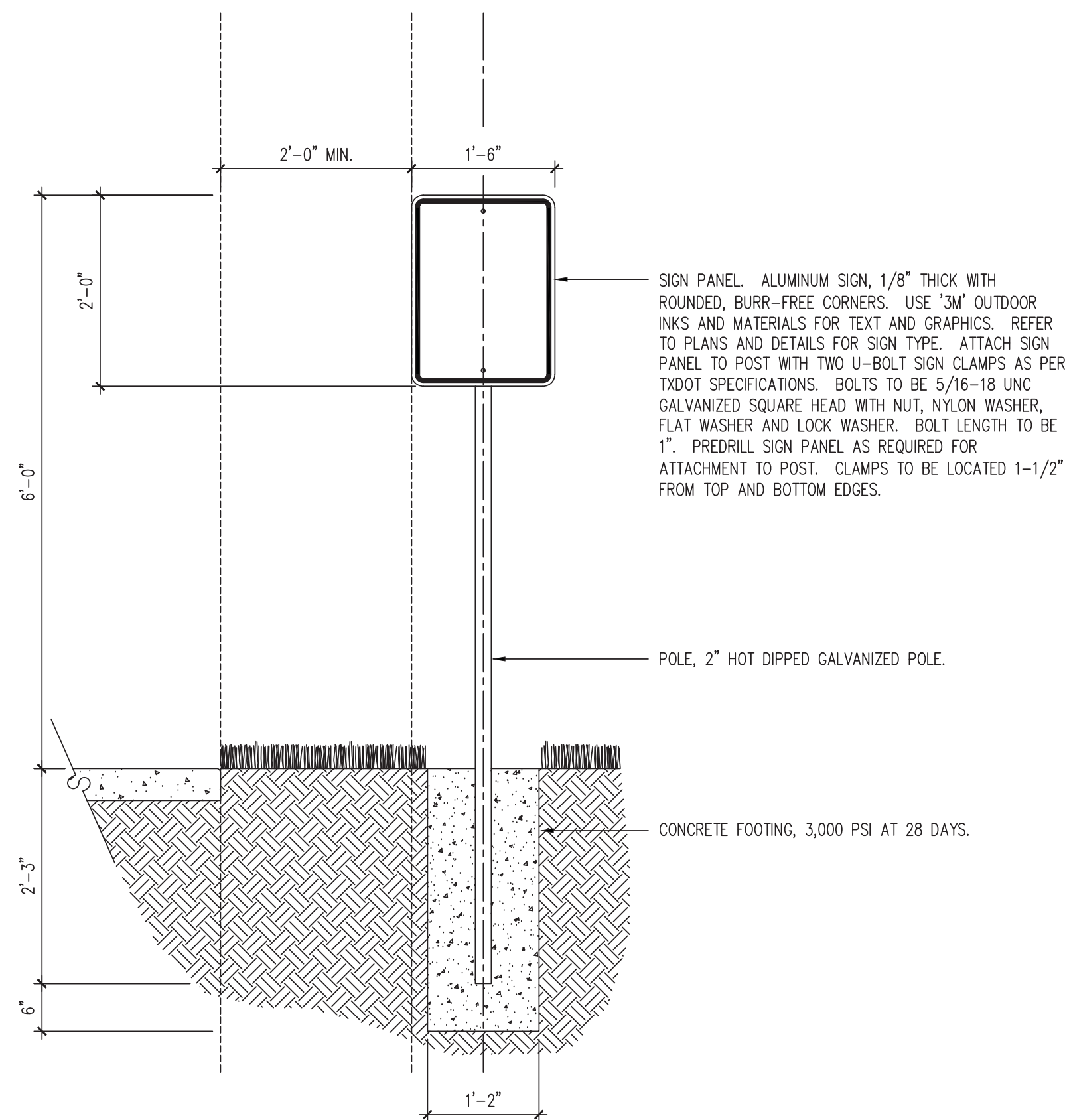
Windsor Dr

Windsor Dr

Windsor Dr



NANI FALCONE PARK



DIRECTION SIGN DETAIL



SIGN A

95% CONSTRUCTION DOCUMENTS

PARK IMPROVEMENTS

NANI FALCONE PARK

7625 Mystic Park, San Antonio

DRAWN: ANG, JC
CHECKED: AFJ
DATE: 02-22-19
JOB NO. 17-1132
REVISIONS :

SHEET TITLE

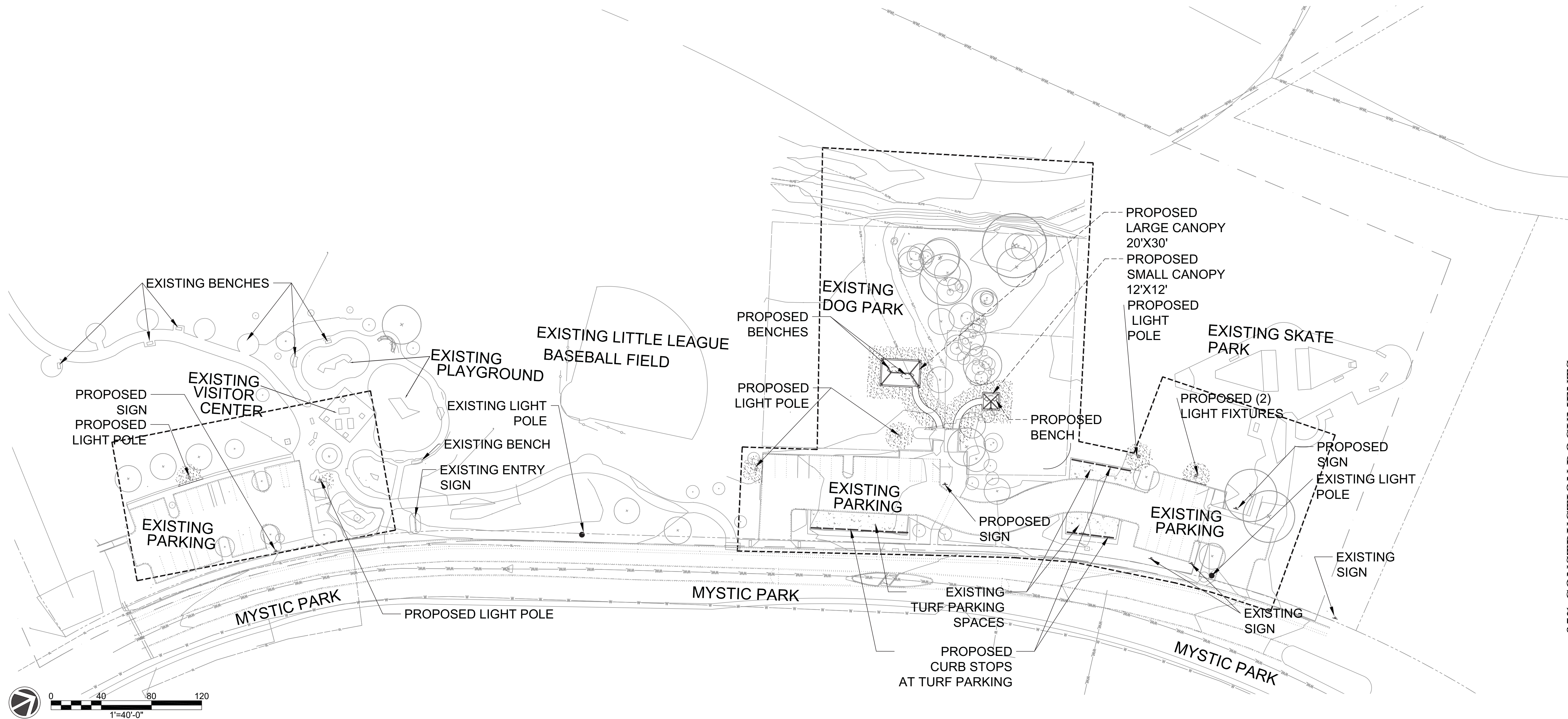
BENCH/DETAILS
PLAN

SHEET NO.

L2.2-5

SHEET OF





LEGEND

- EXISTING LIGHT POLE
- △ "ADDITIONAL PARKING FOR NANI FALCONE PARK AVAILABLE AT MAVERICK LIBRARY" SIGN
- ⊕ PROPOSED SOLAR LIGHT POLE
- ∞ TRASH RECEPTACLE

LEGEND

- EXISTING TREE
- NATIVE SUN/SHADE GRASS MIX HYDROSSED

95% CONSTRUCTION DOCUMENTS

PARK IMPROVEMENTS
NANI FALCONE PARK
7625 Mystic Park, San Antonio

DRAWN: ANG, JC
CHECKED: AFJ
DATE: 02-22-19
JOB NO. 17-1132
REVISIONS :

SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L2.01
SHEET ____ OF ____

