HISTORIC AND DESIGN REVIEW COMMISSION

July 17, 2019

HDRC CASE NO: 2019-386

COMMON NAME: MARTIN LUTHER KING, JR PLAZA / E HOUSTON ST AT N NEW

BRAUNFELS AVE

ZONING: UZROW

CITY COUNCIL DIST.: 2

APPLICANT: Mark Padilla/MP Studio **OWNER:** City of San Antonio

TYPE OF WORK: Right-of-way improvements

APPLICATION RECEIVED: June 12, 2019 **60-DAY REVIEW:** August 11, 2019 **CASE MANAGER:** Stephanie Phillips

REQUEST:

The applicant requests a Certificate of Appropriateness for various right-of-way improvements at Martin Luther King Jr Plaza, to include:

- 1. Create accessible routes to memorials from existing crosswalks.
- 2. Modify the existing pavement.
- 3. Perform various landscaping modifications, including the installation of wall buffers and trees.
- 4. Replace existing memorial plaques.
- 5. Install new site lighting.

APPLICABLE CITATIONS:

UDC Sec. 35-646. - Construction in Public Rights-of-Way.

- (a) General Provisions. All construction in the public right-of-way shall conform to all city codes. In considering an application, the historic and design review commission shall be guided by the following:
- (1) Sidewalk Zones. Pedestrian movement should be pleasant, allowing for store browsing, comfortable transit waiting and easy accessibility for disabled people. Where possible, sidewalks should at least five (5) feet in width. Existing sidewalks should not be narrowed when replaced.
- (2) Sidewalk Paving and Surfaces. Materials should complement stylistic differences of individual buildings, particularly when related to historic buildings. A. Materials. Materials should be chosen for beauty, strength, longevity, easy maintenance and traction when dry or wet. B. Color and Texture. To ensure the safety of pedestrians, all changes in surfaces should be defined by contrasting color, texture or materials.
- (3) Street Features and Arrangements. Historic districts and the downtown, as well as other distinct areas of the city have diverse character and any street furniture selected for these areas should complement these differences. In addition, the clustering of street furniture in one (1) place is recommended. Trash receptacles, seating, telephones and other street furniture should be grouped together.
 - A. Circulation. A clear path-of-travel of thirty-six (36) inches wide shall be maintained in and around street features and arrangement.
 - B. Seating. Seating should be physically comfortable and inviting, durable and attractive. Plaza and open space seating should also be socially comfortable by offering a variety of choices such as in the sun or shade, near traffic and activity or not, and alone or in groups.
 - C. Drinking Fountains. Placing drinking fountains in new development is encouraged. Fountains should be placed within general areas of pedestrian traffic and located on accessible surfaces.
 - D. Trash Receptacles. Trash receptacles should blend visually with their surroundings and their design and location should make use as convenient as possible.
 - E. Vending Machines. Vending machines will not dispense items other than newspapers and periodicals. Vending machines shall be clustered together and away from intersection corners.
 - F. Vending Carts and Kiosks. Vending carts and kiosks are encouraged in locations that do not impede normal pedestrian traffic.
 - G. Outdoor Dining. Lease of public right-of-way for outdoor dining is encouraged in appropriate locations. Lease of

- sidewalk space for outdoor dining shall be managed through the department of parks and recreation and shall comply with all city codes. It is recommended that at least eight (8) feet of sidewalk be retained between the curb and the leased or licensed space to provide an uninterrupted public walkway.
- H. Street Objects. Utility boxes, vending machines and so on should not be located in sidewalk zones. Their design and color should be compatible with character of their surroundings.
- (4) Streetscape Landscaping. Landscaping, particularly streets trees, are an important addition to the streetscape because of the hot Texas climate. Appropriate application along sidewalks strengthens the visual quality of public streets. Careful selection of plant materials, using native and low-water use plants, is recommended.

(Ord. No. 98697 § 6)

FINDINGS:

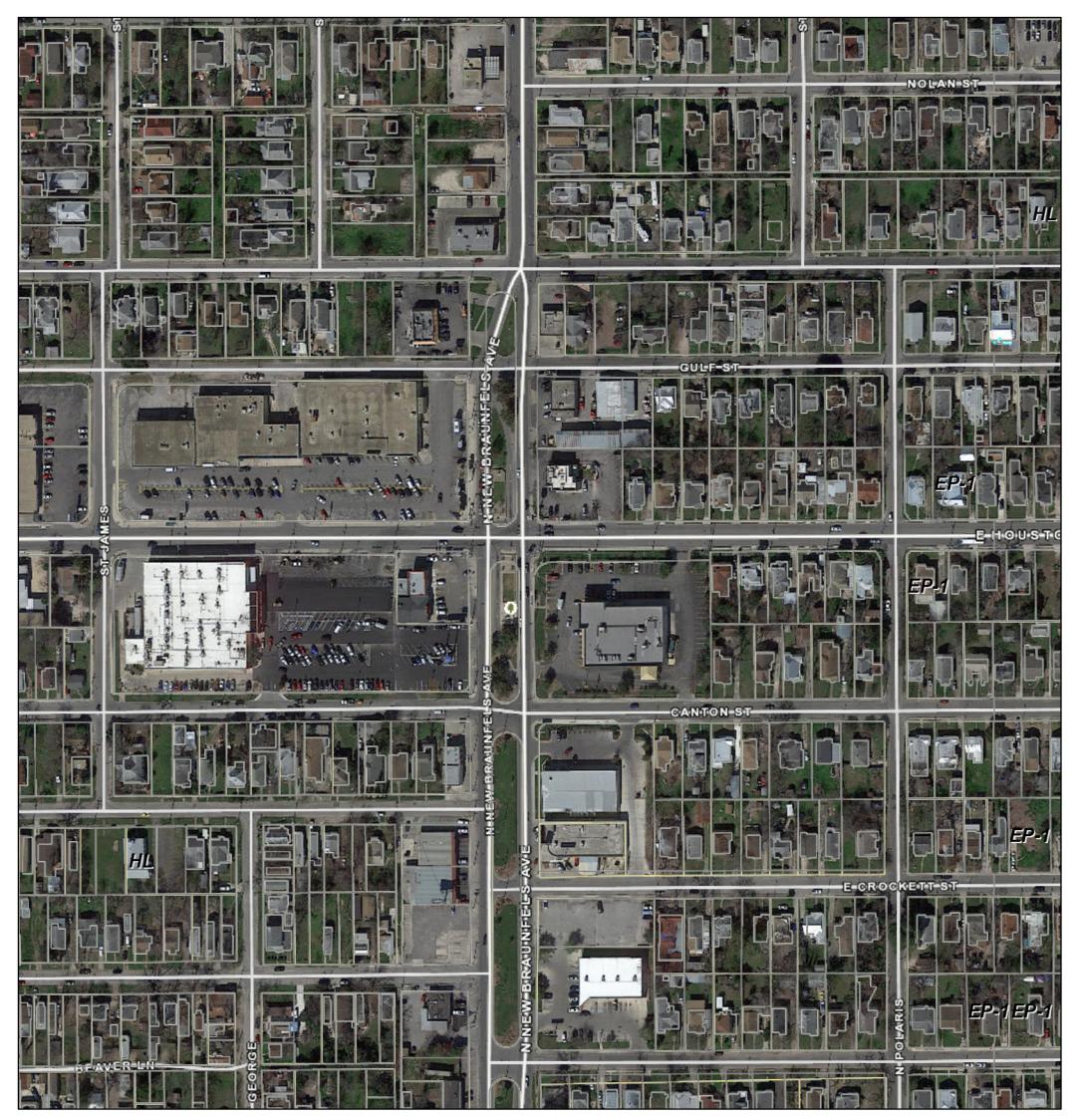
- a. The intersection of E Houston St and N New Braunfels Ave is the location of the Martin Luther King, Jr. Plaza. The Plaza is located east of the Dignowity Hill Historic District and within the Eastside Promise Neighborhood.
- b. RIGHT-OF-WAY IMPROVEMENTS The applicant is requesting various right-of-way improvements as part of the 2017-2022 Bond Program, including the installation of accessible routes, plaque relocation, paving modifications, lighting, landscaping, and related site work. Staff finds the modifications consistent with the UDC.
- c. ARCHAEOLOGY The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

RECOMMENDATION:

Staff recommends approval based on findings a through c with the following stipulations:

- i. That the applicant comply with all applicable UDC requirements and development standards.
- ii. ARCHAEOLOGY The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

City of San Antonio One Stop

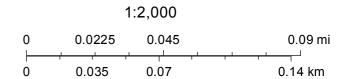


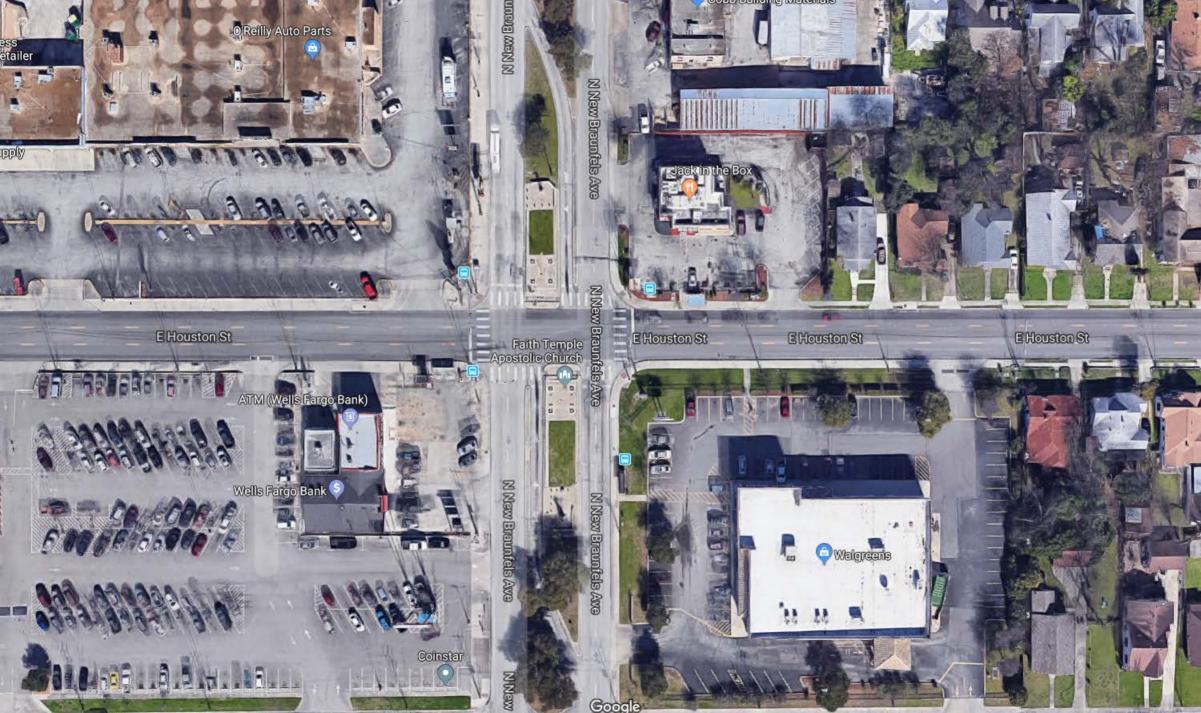
July 11, 2019

CoSA Addresses

CoSA Parcels

BCAD Parcels











2017-2022 BOND PROGRAM MARTIN LUTHER KING JR. PLAZA

CITY OF SAN ANTONIO, TEXAS PARKS & RECREATION DEPARTMENT

INTERSECTION OF E. HOUSTON ST. & N. NEW BRAUNFELS AVE. SAN ANTONIO, TX 78202



RON NIRENBERG

city manager **ERIK WALSH**

director of parks & recreation

XAVIER D. URRUTIA

council district 1

ROBERTO TREVINO

council district 2

ART HALL

council district 3

REBECCA VIAGRAN

council district 4

REY SALDANA

ONIO
council district 5
SHIRLEY GONZALES
council district 6
GREG BROCKHOUSE
council district 7
ANA SANDOVAL
council district 8
MANNY PELAEZ
council district 9
JOHN COURAGE
council district 10

CLAYTON PERRY

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JUNE 13, 2019	100% CD	GENERAL NOTES & MATERIALS SCHEDULE	LC 1.1				
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JUNE 13, 2019	100% CD	TREE PRESERVATION NOTES	TP 2.1				
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JUNE 13, 2019	100% CD	PLANTING PLAN	LP 1.1				
JUNE 13, 2019	100% CD	PLANTING PLAN	LP 1.2				
JUNE 13, 2019	100% CD	PLANTING PLAN	LP 2.1				





LOCATION MAP

project manager

ANTONIO

SUITE 200

O: 210.349.9098 E: atellez@ie-services.com

SAN ANTONIO, TX 78216

TCI - CITY OF SAN

CONTACT: PAT SCHNEIDER

CONTACT: ROGER MENDEZ 700 N SAINT MARY'S, SUITE 1225 SAN ANTONIO, TX 78205 O: 210.299.4522 E: roger@rgmengineering.net

A PROJECT BY

landscape architect

CONTACT: MARK PADILLA

MP STUDIO

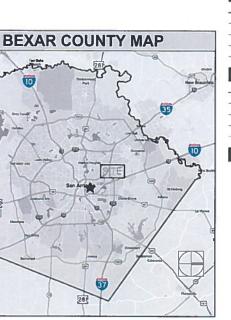
MENDEZ ENGINEERING

CONTACT: ROY AKIONA 12950 COUNTRY PARKWAY. **SUITE 120** SAN ANTONIO, TX 78216 O: 210.802.0808 E: rakiona@mendezengineering.com

PRA IRRIGATION

CONTACT: PAUL RALLET 3619 BROADWAY STE. 13 SAN ANTONIO, TX 78209 O: 210.412.1908 E: paul@pra-irrigation.com







201 GROVETON | SATX 78210



MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST, & N, NEW BRAUNFELS AVE SAN ANTONIO TX, 78202 OWNER | CLIENT

TCI- CITY OF SAN ANTONIO 114 WEST COMMERCE ST SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE PAT SCHNEIDER 210.207.8466

ISSUE SETS SHEET INFORMATION PROJECT NO DATE ISSUED JUNE 13, 2019 SHEET NAME LANDSCAPE **COVER SHEET** SHEET NUMBER LC 1.0

GENERAL NOTES:

- 1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES
- 2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING. BUT NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- 4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER
- 5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- 6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.
- 8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR (PLAN REVIEW FEES ARE PAID BY OWNER) COSTS FOR PERMITS SHALL BE INCLUDED IN THE BID. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION, EXAMPLES INCLUDE BUT ARE NOT LIMITED TO ROUGH IN ELECTRICAL ROUGH IN ROUGH IN ELECTRICAL ROUGH IN ELECT PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES (INCLUDING WALLS), FIRE INSPECTIONS RELATED TO ENTRY GATES AND ASSOCIATED STRUCTURES AND OTHERS AS MAY APPLY.
- 9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE SUCH COORDINATION ITEMS SHALL INCLUDE BUT NOT LIMITED TO: SCHEDULING WITH THE CERTIFIED SCULPTURE CONVERSATIONALIST FOR THE MARTIN LUTHER KING MONUMENT WHICH SHALL BE AFTER ALL CONSTRUCTION HAS BEEN
- 10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. <u>UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS</u>, PARK <u>VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES</u>.
- 11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS
- 13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURRED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO
- 14.) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.

CONCRETE NOTES:

- 1.) ALL CONCRETE CONSTRUCTION, DETAILING AND ERECTION SHALL CONFORM TO THE FOLLOWING
 - A.) ACI #301: SPECIFICATIONS
 - B.) ACL#318: BUILDING CODE REQUIREMENTS.
 - C.) ACI #315: MANUAL OF STANDARD PRACTICE
- 2.) CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING ASTM REQUIREMENTS: A.) AGGREGATE - C33
- B.) READY MIXED CONCRETE C94
- C) PORTLAND CEMENT C150
 D) FIELD CYLINDERS C31
- E) COMPRESSIVE TESTING C39
- 3.) ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WEIGHING NOT MORE THAN 145 PCF AND SHALL HAVE A MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI
- 4.) THE WATER/CEMENT RATIO FOR STRUCTURAL CONCRETE SHALL NOT EXCEED 0.53
- 5.) TOTAL AIR CONTENT SHALL BE 3 TO 5 PERCENT
- 6.) PUMPED CONCRETE SHALL MEET THESE ADDITIONAL REQUIREMENTS:
- A.) MAXIMUM COARSE AGGREGATE SIZE 1 INCH
- B.) INCREASE CEMENT FACTOR BY 1/2 SACK PER CUBIC YARD
- MAXIMUM SLUMP 5 INCHES
- D) DO NOT PUMP THROUGH AN ALUMINUM TUBE
- 7.) CONCRETE SHALL NOT BE PLACED PRIOR TO APPROVAL OF THE CONCRETE MIX DESIGNS BY THE LANDSCAPE ARCHITECT. THE MIX DESIGNS SHALL NOT BE APPROVED PRIOR TO RECEIPT OF COMPRESSIVE TEST RESULTS FROM AN INDEPENDENT TESTING LABORATORY CERTIFYING ADEQUATE STRENGTH OF THE MIX DESIGNS AT 28 DAYS
- 8) HORIZONTAL CONSTRUCTION JOINTS ARE ONLY ALLOWED IN SLABS OF BEAMS WITH WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT, CONTROL JOINTS SHALL BE PLACED MAXIMUM 25' O.C. AS REQUIRED WITH THE APPROVAL OF
- 9.) CONTRACTOR TO PROVIDE MOCKUPS AS REQUESTED ON MATERIALS SCHEDULE PRIOR TO ANY CONSTRUCTION.

CONCRETE REINFORCEMENT

- 1.) ALL REINFORCEMENT SHALL BE DEFORMED BILLET STEEL (GR.60) CONFORMING TO ASTM A615.
- A.) REINFORCING A815, GRADE 60, DEFORMED
- B.) WELDED WIRE MESH A185, GRADE 60
- 2.) SPLICES OF HORIZONTAL REINFORCEMENT SHALL LAP AT LEAST 24" AND SHALL BE CONTINUOUS AROUND CORNERS MAINTAIN AT LEAST 1" BETWEEN REINFORCING BARS AT SPLICES IN BEAMS AND SLABS. REINFORCING BARS SCHEDULED AS CONTINUOUS SHALL BE LAPPED 24".
- 3.) DETAILING FABRICATION AND ERECTION OF REINFORCING BARS SHALL COMPLY WITH THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- 4.) STANDARD PROTECTIVE COVER FOR REINFORCING, UNLESS NOTED OTHERWISE, SHALL BE AS OUTLINED IN ACI 318-83;
 - A.) AGAINST DIRT OF FILL 3 INCHES
- B.) EXPOSED TO EARTH OR WEATHER 2 INCHES
- C.) SLABS AND WALLS 1 INCH
- D.) OTHER 1 1/2 INCHES
- 5.) PROVIDE SHOP DRAWINGS OF REINFORCING AND ACCESSORIES FOR REVIEW BY ARCHITECT. SHOP DRAWINGS SHALL CLEARLY INDICATE LOCATION, SIZE, SPACING, SPLICES AND PIECE MARK FOR ALL REINFORCING STEEL. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO PERMIT PLACEMENT OF REINFORCEMENT WITHOUT THE USE OF THE DESIGN DRAWINGS AND SHALL INCLUDE A COMPLETE BILL OF MATERIALS.
- 6.) FABRICATION OF REINFORCING STEEL SHALL NOT COMMENCE UNTIL SUBMITTALS HAVE BEEN REVIEWED BY

SIDEWALK NOTES:

- 1.) THESE PLANS INDICATE APPROXIMATE LOCATIONS OF THE CONCRETE SIDEWALKS. DIMENSIONS SHOWN ARE FROM BACK OF CURB OR PROPERTY LINE TO SIDEWALK EDGE AND ARE AT RIGHT ANGLES (OR PERPENDICULAR) TO THE CURB OR PROPERTY LINE. SIDEWALK CONTRACTOR SHALL STAKE SIDEWALK LAYOUT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. SET ELEVATIONS OF WALKS FOR POSITIVE DRAINAGE FROM PROPERTY LINE TO CURB. OWNER AND LANDSCAPE ARCHITECT SHALL MAKE FINAL APPROVAL OF FINISHED ELEVATION AND LAYOUT OF FORMS IN THE FIELD PRIOR TO CONCRETE PLACEMENT.
- 2.) CONTRACTOR SHALL USE FIBERGLASS OR THIN WOOD FORMS TO CREATE SMOOTH AND UNIFORM CURVES ON MEANDERING SIDEWALKS UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- 3.) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. CONCRETE AND REINFORCING SHALL MEET ALL OTHER APPLICABLE CRITERIA IN THE CONCRETE AND REINFORCEMENT NOTES.
- 4.) CONTRACTOR TO TIE ALL SIDEWALKS INTO EXISTING WALKS WITH A SMOOTH TRANSITION AND TO MATCH EXISTING WALKS IN COLOR AND FINISH
- 5.) CONTRACTOR SHALL COORDINATE SIDEWALK CONSTRUCTION WITH OTHER CONTRACTORS WORKING
- 6.) LOCATIONS OF ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD. NOTIFY OWNER OF ANY ELEVATION ADJUSTMENT REQUIRED OF MANHOLES OR UTILITY BOXES. THE APPROPRIATE UTILITY CONTRACTOR WILL MAKE ADJUSTMENT
- 7.) STUBIOUT WALKS AS SHOWN ON PLANS WITH REDWOOD EXPANSION JOINTS AND 1/2" DOWELS, 12" O.C. TO ALLOW FUTURE CONSTRUCTION, CONTRACTOR SHALL BACKFILL TO TOP OF WALK TO ENSURE NO DOWELS ARE EXPOSED
- 8.) CONTROL JOINT LAYOUT AT WALK INTERSECTIONS HAS BEEN SHOWN DIAGRAMMATICALLY ON PLANS AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING. WALKS SHALL BE POURED IN SECTIONS WITH NO CORNERS LESS THAN 45 DEGREES TO AVOID FUTURE CRACKING.
- NOTE: CONTRACTOR IS RESPONSIBLE FOR PROTECTING HIS WORK FROM VANDALISM OR GRAFFITI PRIOR TO CURING CONTRACTOR SHALL REPLACE AS NECESSARY ANY SECTIONS OF DAMAGED WALK AT NO ADDITIONAL COST TO THE



201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO



PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE. SAN ANTONIO TX, 78202

OWNER | CLIENT

TCI- CITY OF SAN ANTONIO SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

PAT SCHNEIDER 210.207.8466



PROJECT NO

18002

DATE ISSUED

JUNE 13, 2019

SHEET NAME

GENERAL NOTES

SHEET NUMBER

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MATERIALS SCHEDULE

MA	SONRY				
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
M.1	PRECAST STONE CAPS 4" THICK 1/2" CHAMFER	TEXAS CREAM	SMOOTH ALL EDGES	LOCAL SOURCE	PROVIDE 4' X 4' MOCKUP PER DETAIL 5 / LS 2.1 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION
M.2	STONE VENEER NEW CHOCOLATE LEUDERS HAMMERED FACE, SAWN EDGES 4" HT. X LENGTH VARIES (18" MIN 24") 1/4" JOINTS	STANDARD SAN SABA BROWN GROUT- TEXAS CREAM	NATURAL CHOPPED STONE	AGUADO STONE 512-746-5094	PROVIDE 4' X 4' MOCKUP PER DETAIL 1 & 5 / LS 2.1 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION
M.3	COLORED CONCRETE SELECT GRADE INTEGRAL CONCRETE COLORANT	SG03	SMOOTH	COMPANY BUTTERFIELD COLOR PHONE: (800) 282-3388	PROVIDE 4'X 4' MOCKUP PER DETAIL 1/LS 2 2 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT *CONTRACTOR TO USE SAME CONCRETE MANUFACTURER AND FORMULA FOR COLOR CONSISTENCY *SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION
M.4	COLORED CONCRETE SELECT GRADE INTEGRAL CONCRETE COLORANT	WALNUT TAUPE	SMOOTH	COMPANY BUTTERFIELD COLOR PHONE: (800) 282-3388	PROVIDE 4' X 4' MOCKUP PER DETAIL 1 / LS 2.2 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT CONTRACTOR TO USE SAME CONCRETE MANUFACTURER AND FORMULA FOR COLOR CONSISTENCY SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION
M.5	COLORED CONCRETE UNI-MIX INTEGRAL CONCRETE COLORANT	U20-SMOKE	SMOOTH	COMPANY: BUTTERFIELD COLOR PHONE: (800) 282-3388	PROVIDE 4" X 4" MOCKUP PER DETAIL 1 / LS 2.2 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT CONTRACTOR TO USE SAME CONCRETE MANUFACTURER AND FORMULA FOR COLOR CONSISTENCY SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION
M.6	MEXICAN BEACH PEBBLE 1"-13" MAX INSET WITH CLEAR COATING OF EPOXY	BLACK & CHARCOAL GREY	EPOXY GLAZED	LOCAL SOURCE	PROVIDE 3' X 3' MOCKUP PER DETAIL 7 / LS 2.3 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT SUBMIT STONE SAMPLES FOR APPROVAL PRIGH TO MOCK UP INSTALLATION CONTRACTOR MIX ROCK IN CLEAR COATED EPOXY WHEN INSTALLING & APPLY ONE LAST EPOXY COATING OVER THE TOP AFTER INSET
M.7	RIVER ROCK WASHED LIMESTONE 3/4" MAX	WHITES, & CREAMS	WASHED	LOCAL SOURCE	PROVIDE 3'X 3' MOCKUP PER DETAIL 5 / LS 2.1 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION
M.8	CONCRETE CAST IN PLACE	STANDARD GRAY	BROOM	LOCAL SOURCE	3000 PSI MINIMUM
M.9	SAND BLASTED TEXT 1/8" DEPTH - FONT TO BE UNIVERS CONDENSED MEDIUM	BLACK	SANDBLASTED	CONTACT: DWIGHT TOTH COMPANY: SOUTHWEST MONUMENT & SIGN PHONE: (512) 331-1522	PROVIDE PRODUCT DATA AND SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION CONTACT LANDSCAPE ARCHITECT FOR FONT TYPE OR VECTOR FILE
ME	TAL				
KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
T 1	BRONZE PLAQUES REPLACE EXISTING PLAQUES - CAST ALUMINUM PLAQUE WITH BLACK BACKGROUND AND RAISED SILVER LETTERS AND BORDER	BLACK - BACKGROUND SILVER - RAISED LETTERS & BORDER	STANDARD	CONTACT: DWIGHT TOTH COMPANY: SOUTHWEST MONUMENT & SIGN PHONE: (512) 331-1522	PROVIDE PRODUCT DATA AND SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS
T.2	TREE GRATES - IRONSMITH MODEL: 4808 OLYMPIAN TREE GRATE (4'X4')- CAST IRON WI TWO 6.625" DIAMETER THRU-HOLE LIGHTWELLS FOR INGRADE TGL SERIES UP LIGHTS	BRONZE	GALVANIZED	CONTACT: FEDESSIA STURGIS COMPANY: 8V ASSOCIATES PHONE: (800) 496-0487	PROVIDE PRODUCT DATA AND SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION INSTALL PER MANUFACTURER'S RECOMMENDATIONS

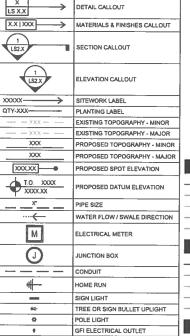
GENERAL LEGEND

SYMBOL	DESCRIPTION
AD	AREA DRAIN
вс	BOTTOM OF CURB
вос	BACK OF CURB
BW	BOTTOM OF WALL
CL	CENTER LINE
cı	CONTROL JOINT
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
EJ	EXPANSION JOINT
FOC	FACE OF CURB
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
HP	HIGH POINT
NV	INVERT OF PIPE
.O.C.	LIMITS OF CONSTRUCTION
N.I.C.	NOT IN CONTRACT
ос	ON CENTER
OCEW	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
PD	PLANTER DRAIN
PA	PLANTING AREA
PP	POWER POLE
РОВ	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
TAN	POINT OF TANGENCY
SD	STORM DRAIN
SS	SANITARY SEWER
TD	TOP OF DRAIN
TPC	TOP OF POOL COPING
гс	TOP OF CURB
ΓF	TOP OF FOOTING
rw	TOP OF WALL
JGE	UNDERGROUND ELECTRIC
J.N.O.	UNLESS NOTED OTHERWISE
WD	WATER DEPTH
NL .	WATER LEVEL

06 13 2019 06 13 2019
PROJECT
MLK PLAZA
PLAZA IMPROVEMENTS
PROJECT ADDRESS
E. HOUSTON ST. & N. NEW BRAUNFELS SAN ANTONIO TX, 78202
OWNER CLIENT
TCI- CITY OF SAN ANTONIO 114 WEST COMMERCE ST SAN ANTONIO, TX 78283
OWNER'S REPRESENTATIVE
PAT SCHNEIDER 210.207.8466 Patrick.Schneider@sanantonio.go
, amarisa noider escribino no 190

STUDIO

201 GROVETON | SATX 78210 210,314.5582 | MPSTUD.IO



DESCRIPTION

ENLARGEMENT AREA W/ CALLOUT

SYMBOL



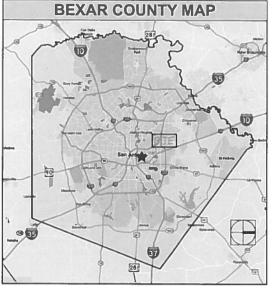
PROJECT NO. 18002

JUNE 13, 2019

MATERIALS SCHEDULE

SHEET NUMBER

LC 1.2





PRESERVED TREES					
Tag#	Caliper Size				
1000	LACY OAK	11"			
1001	LACY OAK	17"			
1002	LACY OAK	9"			
1003	CEDAR ELM	9"			
1004	LACY OAK	13"			
1005	LACY OAK	17			
1006	CREPE MYRTLE	7"			
1008	CREPE MYRTLE	11"			
1009	LACY OAK	9"			
1010	MOUNTAIN LAUREL	5"			
1011	LACY OAK	13"			
1012	LACY OAK	21			

MOVED TREES	3	TE	FF	PRESERV	/ATION	-I EGEND	
Species CREPE MYRTLE	Caliper Size	11		TILOLITY	ATION	LEGEND	
	<u> </u>			PRESERVED TREES		REMOVED TREES	

MITIGATION CALCULATIONS

SIGNIFICANT TREE:

HERITAGE TREE:

TREE PRESERVATION

22 TOTAL INCHES

5" REQ. MITIGATION

0" REQ. MITIGATION

17 TOTAL INCHES

17 INCH. (100%)

17 INCH. (100%)

0 TOTAL INCHES

0 INCH, (100%)

22 INCH. (100%)

17 INCH. (77%)

TREE PRESERVATION: (Tree Survey Method)

22 INCH. X 100% REQUIRED TO BE PRESERVED :

17 INCH. X 100% REQUIRED TO BE PRESERVED :

0 INCH. X 100% REQUIRED TO BE PRESERVED :

SIGNIFICANT TREE INCH, PRESERVED:

SIGNIFICANT TREE INCH. PRESERVED:

REQUIRED SIGNIFICANT MITIGATION:



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MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

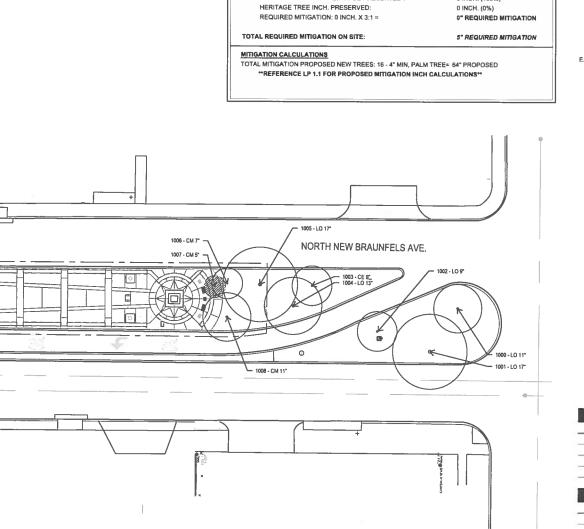
E. HOUSTON ST. & N. NEW BRAUNFELS AVE. SAN ANTONIO TX, 78202

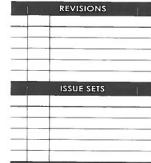
OWNER | CLIENT

TCI- CITY OF SAN ANTONIO
114 WEST COMMERCE ST
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

PAT SCHNEIDER 210.207.8466
Patrick.Schneider@sanantonio.gov





SHEET INFORMATION

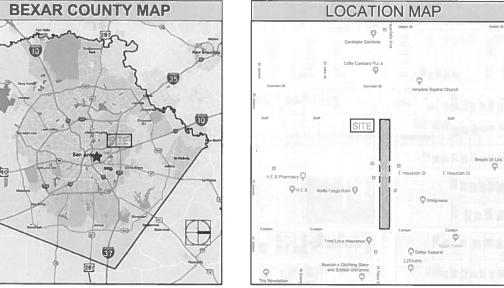
PROJECT NO.

DATE ISSUED JUNE 13, 2019

SHEET NAME

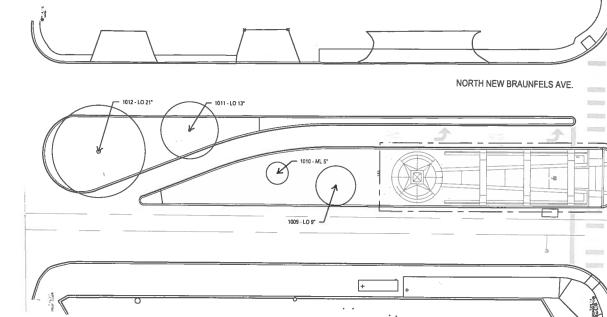
TREE PRESERVATION PLAN

SHEET NUMBER



NOTE:

CONTRACTOR TO PROVIDE FENCING AROUND EXISTING TREES AS ON PLAN. CONTRACTOR TO AVOID TRIMMING OF TREE BRANCHES AND DISTURBANCE OF TREE ROOTS NO VEHICLES OR CONSTRUCTION MATERIALS TO BE INSIDE TREE FENCING DURING CONSTRUCTION. CONTRACTOR SHALL NOT PRUNE MAY EXISTING TREES WITHOUT LANDSCAPE ARCHITECT APPROVAL. CONTRACTOR TO SCHEDULE MEETING WITH LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION OF EARTHWORK TO REVIEW FENCING LAYOUT. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF SITEWORK WITHIN THE EXISTING TREES.



TREE PRESERVATION

TP 1.1

EXISTING TREE NOTES

- 1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PROTECTION, AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
- 2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
- 3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
- 4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE
- 5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
- 6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT FORTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
- 7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
- 8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
- 9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
- 10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
- 11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- 12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.



WRAP TREE TRUNK WITH 2"X4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS.

PROPER PRUNING FOR BRANCHES 1 1/2" OR GREATER IN DIAMETER.

PEELED WHEN THE BRANCH FALLS.
B. SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.

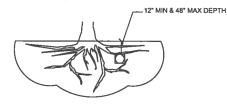
C. FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS D. BRANCH RIDGES - INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.

FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

TREE BRANCH PRUNING NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE

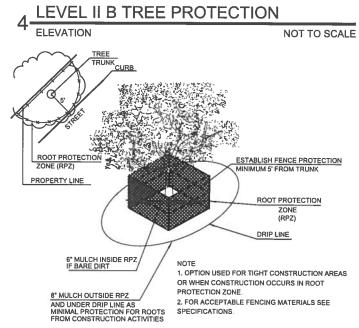


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



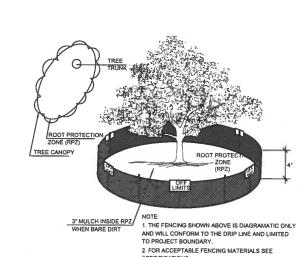
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

5 BORING THROUGH TREE ROOT (RPZ) NOT TO SCALE



LEVEL II A TREE PROTECTION **ELEVATION**

NOT TO SCALE



EXISTING TREE PROTECTION NOT TO SCALE



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MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE, SAN ANTONIO TX, 78202

OWNER | CLIENT

TCI- CITY OF SAN ANTONIO 114 WEST COMMERCE ST SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

PAT SCHNEIDER 210.207.B466

REVISIONS ISSUE SETS SHEET INFORMATION PROJECT NO. DATE ISSUED

> SHEET NAME TREE PRESERVATION **DETAILS AND NOTES**

JUNE 13, 2019

SHEET NUMBER

TP 2.1

SPECIAL DEMOLITION NOTES:

- 1. CONTRACTOR TO DEMO EXISTING SURFACING AROUND EXISTING CROSSWALK LIGHT POLE AND UTILITY BOX WITH MINIMAL IMPACT TO AVOID DAMAGING THE FOOTING FOR THE UTILITY EQUIPMENT. IF ANY EXISTING STRUCTURAL WORK IS DAMAGED CONTRACTOR TO IMMEDIATELY REPAIR THE DAMAGE.
- 2. CONTRACTOR TO MINIMIZE ANY DAMAGE TO THE EXISTING PLAQUES WHEN REMOVING THEM FROM SITE OR REMOVING ANY EXISTING DEBRIS FROM THE PLAQUES. CONTRACTOR TO CONTACT SAN ANTONIO PARKS AND REC. OFFICIAL, TONY FORSAGE, TO HAND OVER EXISTING PLAQUES WHICH WILL BE GIVEN TO THE CALLIES FAMILY.
- 3. EXISTING MONUMENTS TO REMAIN UNDISTURBED INCLUDING STRUCTURAL SLAB. CONTRACTOR TO PROVIDE PROTECTIVE WRAP AROUND THE MONUMENT BASE DURING DEMOLITION TO AVOID AND DAMAGE
- 4. EXISTING CURBS ONLY TO BE DEMOLISHED AT ONE SIDE OF THE CROSSWALK MEDIAN. OTHER PORTIONS OF EXISTING SITE CURBS TO REMAIN UNDISTURBED, WITH EXCEPTION TO POWER WASHING AT END OF CONSTRUCTION.
- 5. EXISTING VAULT & DOUBLE CHECK VALVE TO BE RELOCATED & RE-USED FOR THE PROJECT, CONTRACTOR TO NOT DAMAGE THE VALVE WHEN REMOVING FROM EXISTING LOCATION. REFERENCE IRRIGATION SHEETS FOR NEW LOCATION OF DOUBLE CHECK VALVE.
- 6. EXISTING UTILITY VAULT WITH IRRIGATION METER TO BE PRESERVED. CONCRETE AROUND VAULT TO BE REMOVED. CONTRACTOR TO RE-USE EXISTING VAULT, IRRIGATION METER, AND IRRIGATION LINES FOR NEW PROJECT DESIGN. IF ANY OF THE EXISTING EQUIPMENT IS DAMAGED IN ANY WAY, CONTRACTOR TO REPLACE WITH NEW EQUIPMENT PER THE DESIGN. REFERENCE IRRIGATION SHEETS FOR TIE INTO IRRIGATION DESIGN

7. EXISTING FLAGPOLE AND STRUCTURE FOOTING TO REMAIN UNDISTURBED, DEMO FLATWORK AROUND FOOTING



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PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

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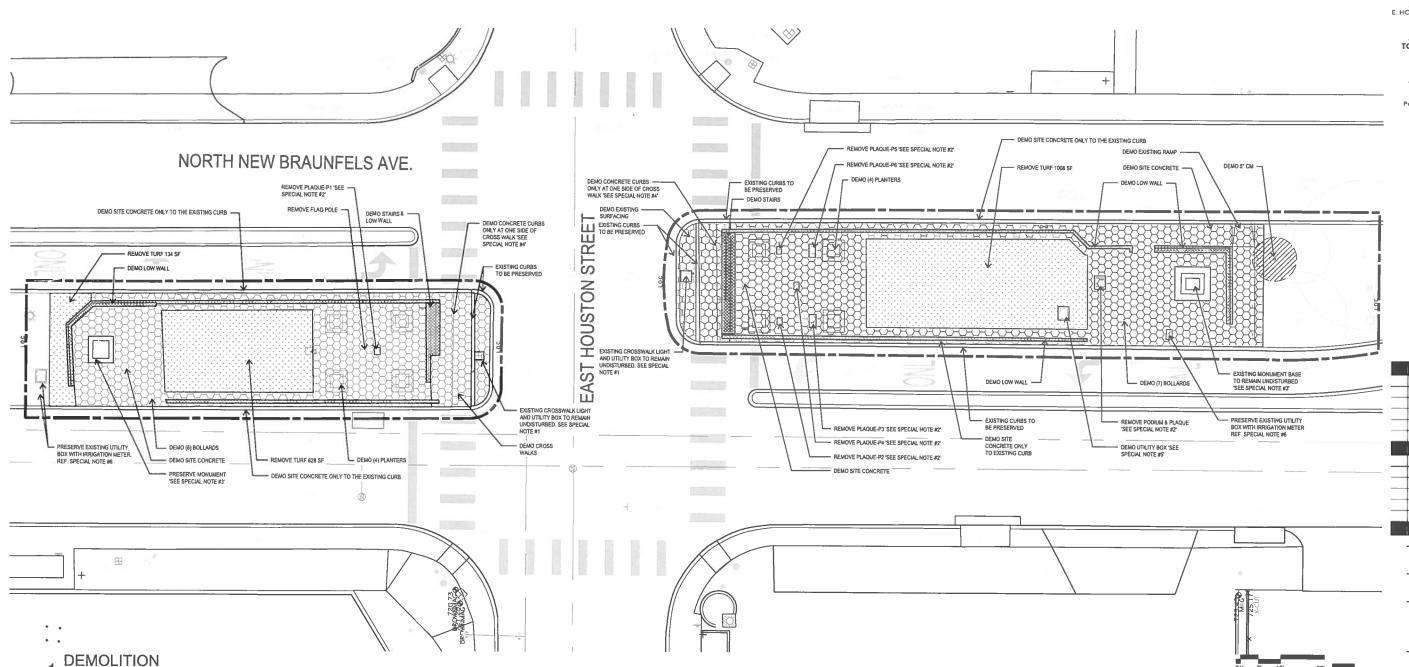
OWNER | CLIENT

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OWNER'S REPRESENTATIVE

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SHEET INFORMATION
PROJECT NO.

REVISIONS

18002

DATE ISSUED

JUNE 13, 2019

SHEET NAME

DEMOLITION PLAN

SHEET NUMBER

LD 1.1



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NOTE:

* • * INDICATES INTERPOLATED GRADE ELEVATIONS FROM EXISTING SURVEY. IF GREATER THAN A 1/2* DIFFERENCE IS FOUND IN FIELD, CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY.

PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE. SAN ANTONIO TX, 78202

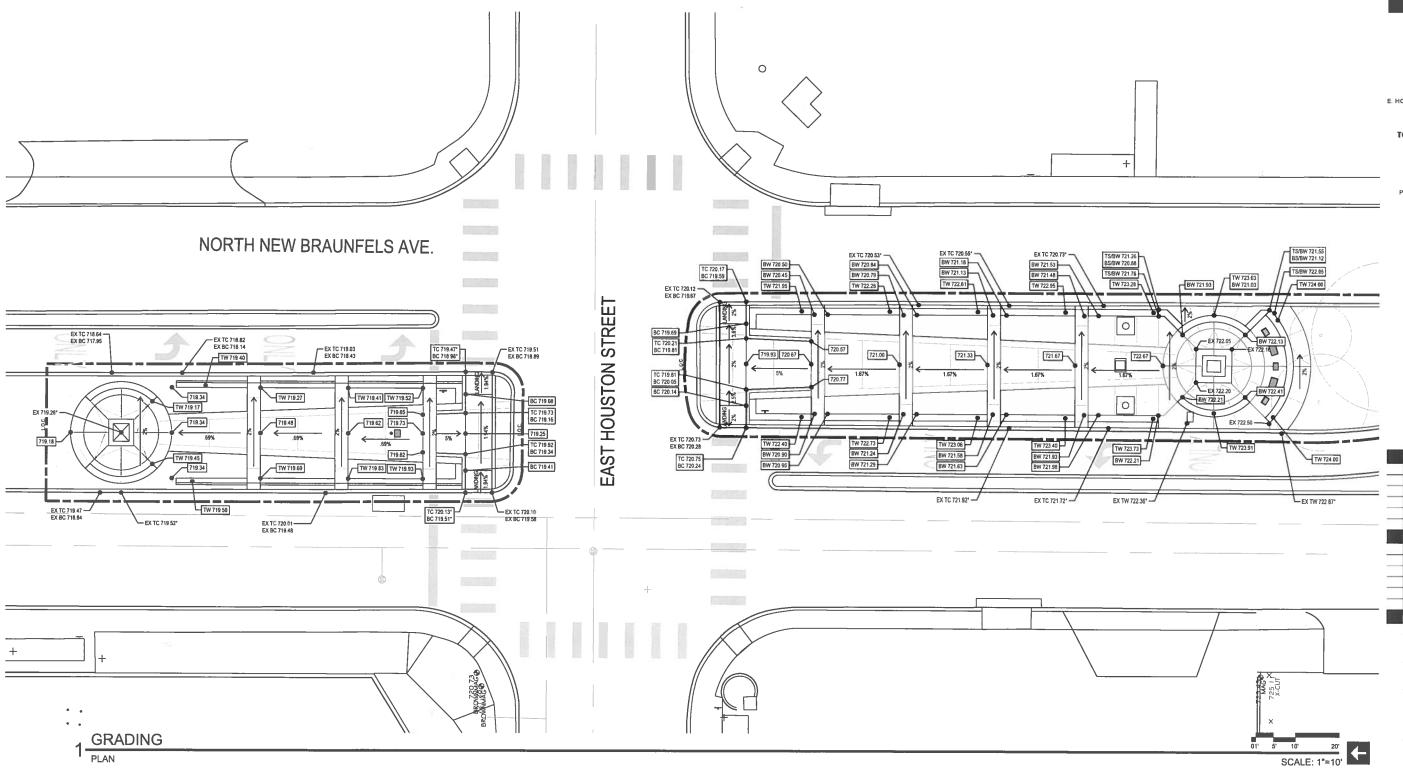
OWNER | CLIENT

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OWNER'S REPRESENTATIVE

PAT SCHNEIDER 210.207.8466





ISSUE SETS

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SHEET INFORMATION

18002

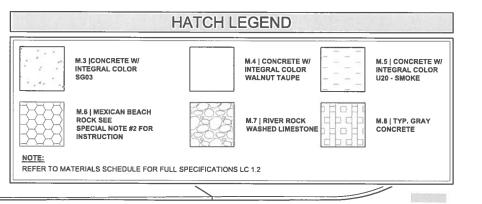
JUNE 13, 2019

SHEET NAME

GRADING PLAN

SHEET NUMBER

LG 1.1



SPECIAL NOTES

- 1) CONTRACTOR TO FOLLOWING THE TRAFFIC CONTROL PLAN FOR SITE CONSTRUCTION. IF CONTRACTOR IS TO PROCEED WITH TEMPORARY STAGING WITHIN THE STREET LANE AT APPROPRIATE TIMES OF THE DAY PER THE TRAFFIC CONTROL PLAN, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY TRASH, CONSTRUCTION EQUIPMENT, DEBRIS, ETC AT THE END OF EVERY WORK DAY.

 2) FOR INSTALLATION OF MEXICAN PEBBLE ROCK WITH CLEAR EPOXY, CONTRACTOR TO ENSURE THE FOLLOWING: PRIOR TO INSTALLATION CONTRACTOR TO ENSURE: STONES ARE CLEAN, THE INSTALLATION AREA IS FREE OF DEBRIS OR DIRT, REMOVE OR REPAIR ANY BROKEN CONCRETE AND FILL OR REPAIR ALL CRACKS, SITE IS TO BE COMPLETELY DRY, APPLY PROPER CHEMICALS TO CONCRETE FOR PROFILING OF SURFACE BONDING CONTRACTOR TO MIX AND INSTALL STONES AND EPOXY PER EPOXY MANUFACTURER RECOMMENDATIONS FOR COMMERCIAL USE INCLUDING SAFETY STANDARDS. TOP GRADE TO HAVE AN EVEN FINISH WITH NO TROWEL MARKS OR STRAY ROCKS STICKING UP. AFTER INSTALLING STONES INTO PLACE, CONTRACTOR TO APPLY ONE LAST COATING OF EPOXY WITH ROLLER OVER THE SURFACE. ALLOW TO CURE FOR A MINIMUM OF 36 HOURS UNTIL CONTINUED USE ON SITE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROVIDE A FLOOD-COAT EPOXY AS IT WILL DISCOLOR THE STONES.

 3) NEW CURB TO REPLACE THE DEMOLISHED RAMP AND ATTACH TO EXISTING CRAPATE OR GRADES ON BOTH SIDES.

 4) PRESERVED DEXISTING UTILITY BOX AND IRRIGATION METER, FOR NEW IRRIGATION SYSTEM. REFERENCE IRRIGATION SHEETS FOR DESIGN.

 5) NEW CURB TO REPLACE THE DEMOLISHED RAMP AND ATTACH TO EXISTING OF FLUX HERE FROM THE HILL EVENTUALLY TAPERING TO FLUX HIT HERE FROM THE PLAY HAVE AND INFORMATION OF THE PLAY HAVE A PROVIDED BOY AND CROSSWALK TO VARY IN HEIGHT UNTIL EVENTUALLY TAPERING TO FLUSH WITH PLAZA WARRAY.

- NEW CURB WITHIN CROSSWALK TO VARY IN HEIGHT I ONTIL EVENTUALLY LIBERTING TO FLUSH WITH PLAZA WALKWAY.
 PRESERVE POWER BOX AND CROSSWALK LIGHTING.
 EXISTING FLAG POLE & FOOTING TO REMAIN. CONTRACTOR TO SHAVE OFF FOOTING TOP TO MEET NEW CONCRETE GRADE AS NEEDED. CONTRACTOR TO ALSO ADD A 1/2* EXP. JOINT AROUND FLAGPOLE STRUCTURAL SLAB.



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PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS E. HOUSTON ST. & N. NEW BRAUNFELS AVE.

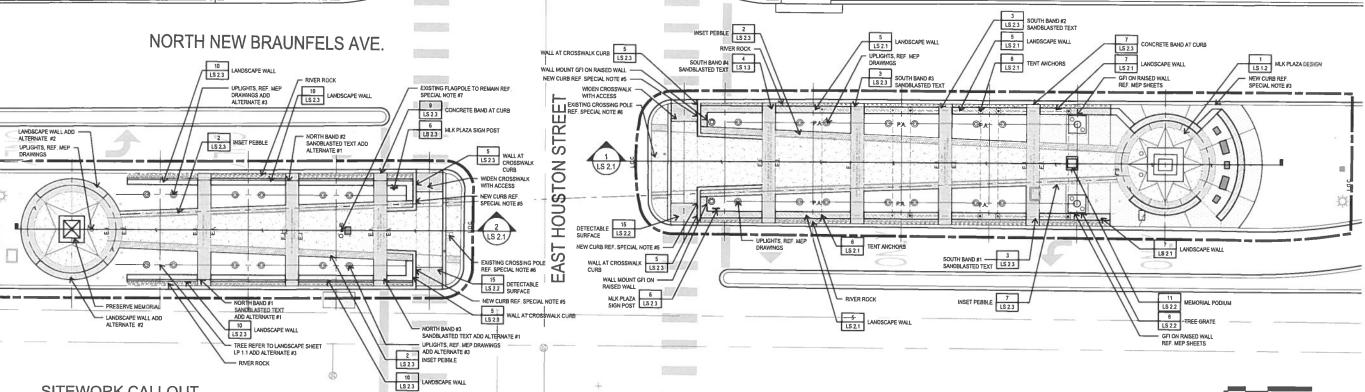
SAN ANTONIO TX, 78202 OWNER | CLIENT

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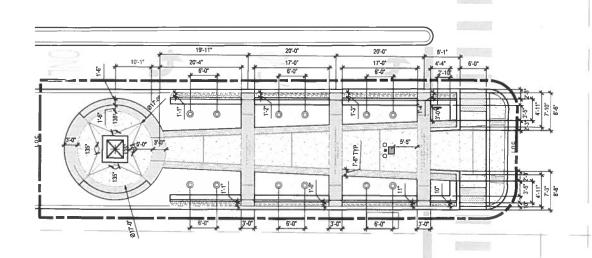
OWNER'S REPRESENTATIVE

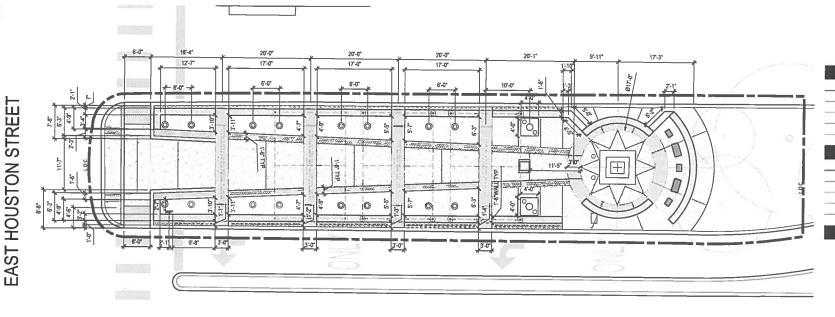
PAT SCHNEIDER

210.207,8466 Patrick.Schnelder@sanantonio.gov



NORTH NEW BRAUNFELS AVE.





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DATE ISSUED

JUNE 13, 2019 SHEET NAME

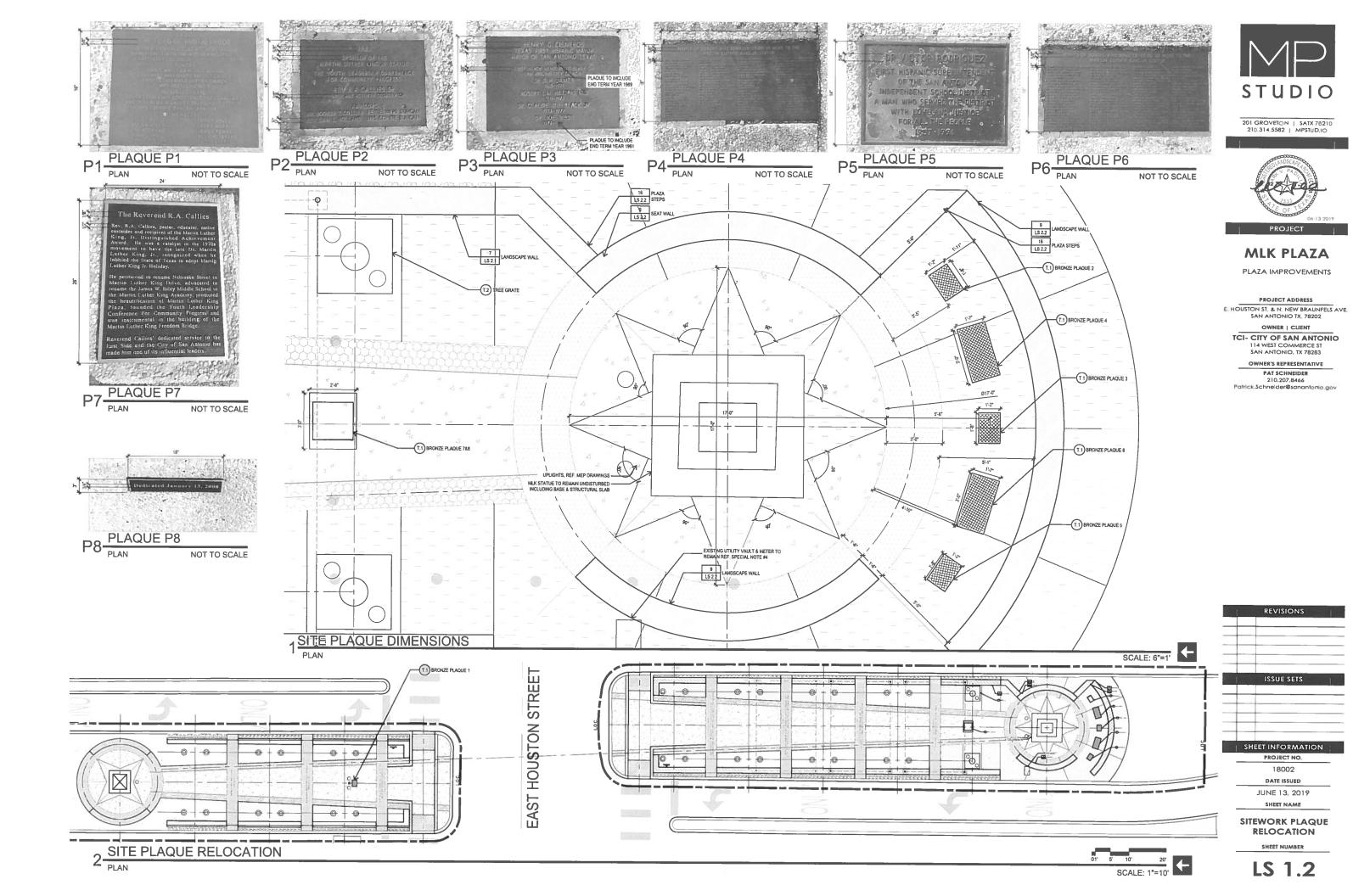
> SITE WORK PLAN

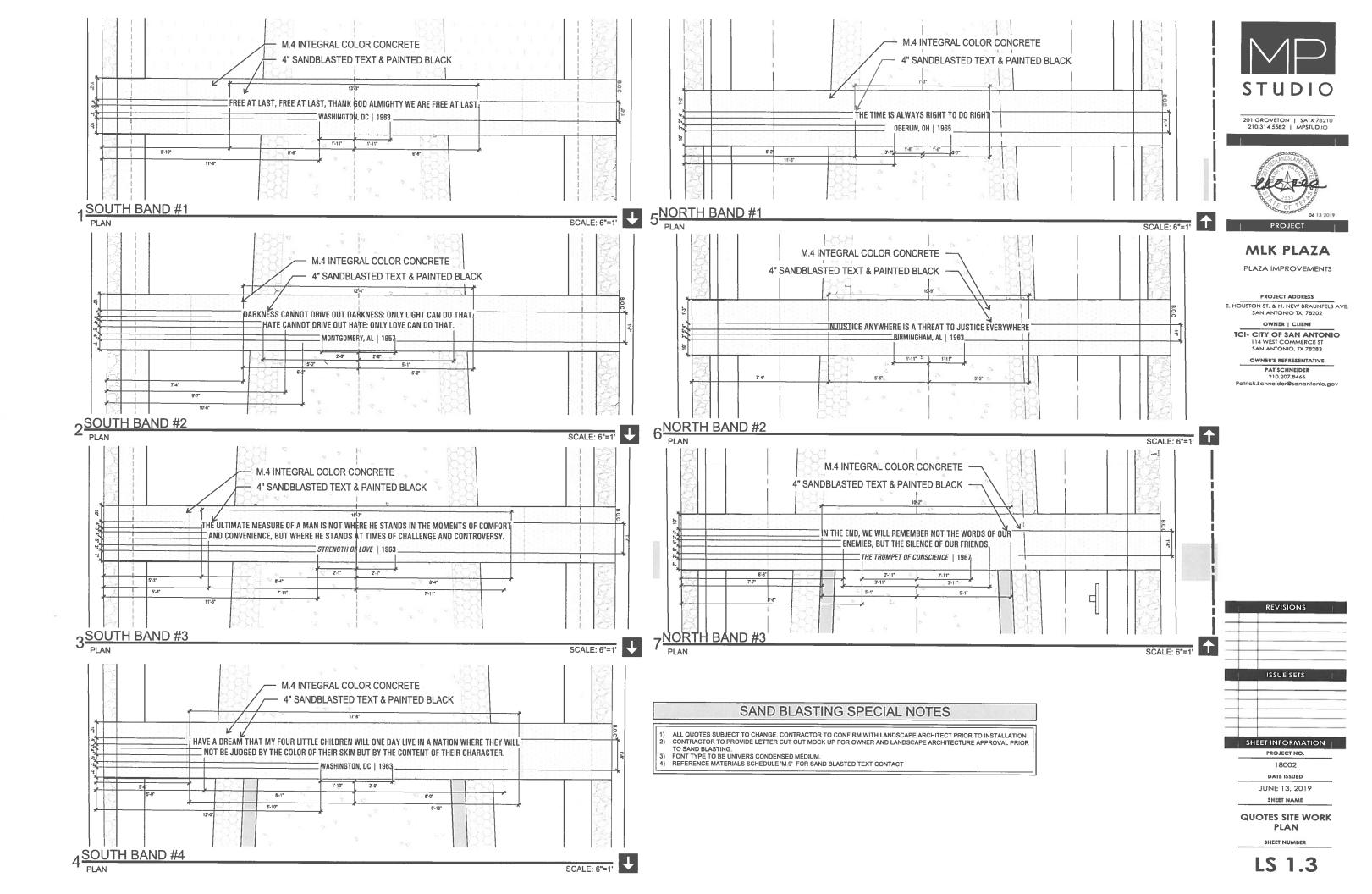
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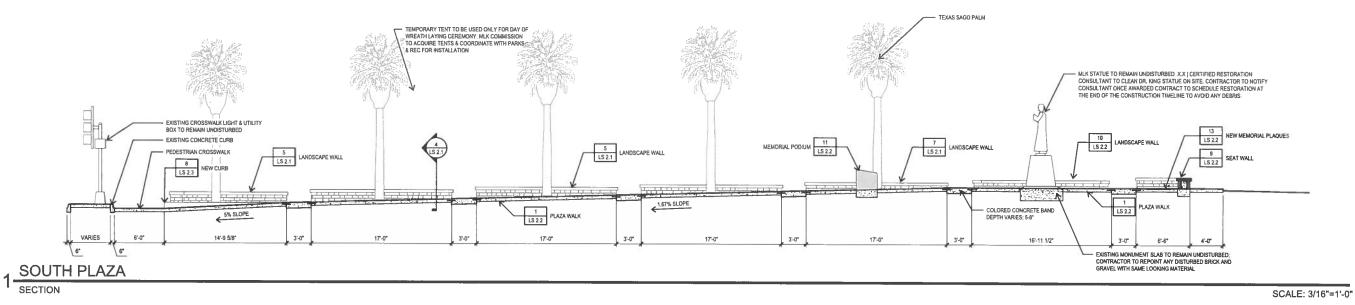
LS 1.1

2 SITEWORK DIMENSION PLAN

SITEWORK CALLOUT









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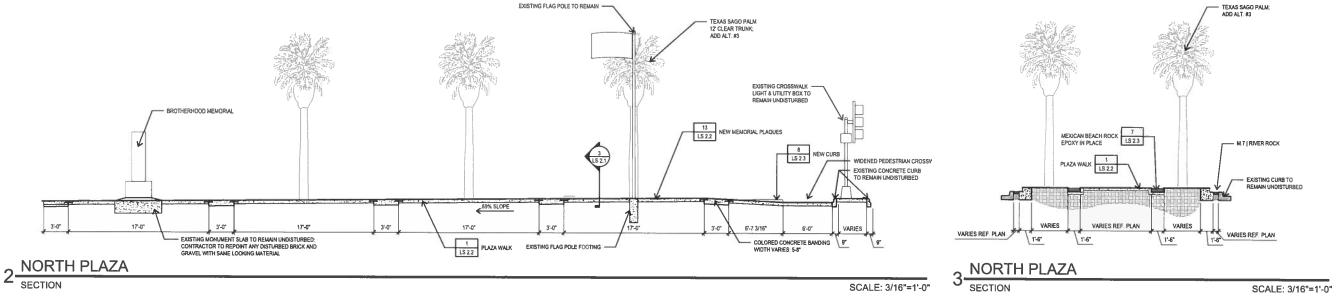
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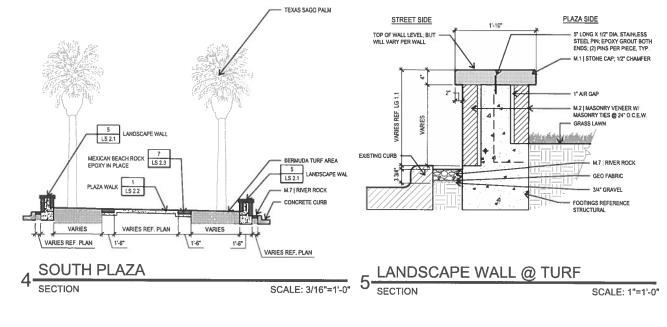
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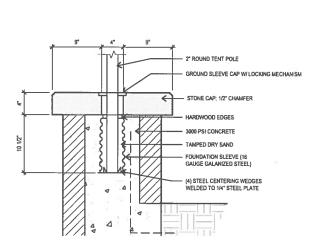
PLAZA IMPROVEMENTS

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PAT SCHNEIDER 210.207.8466 Patrick.Schneider@sanantonio.oo

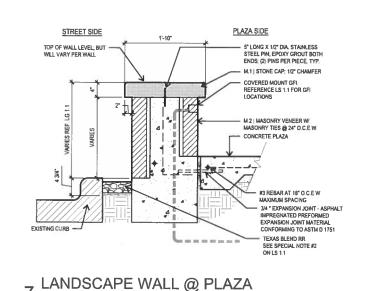


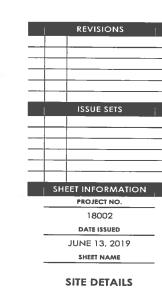




TENT SLEEVE @ LANDSCAPE WALL

SCALE: 1-1/2"=1'-0"

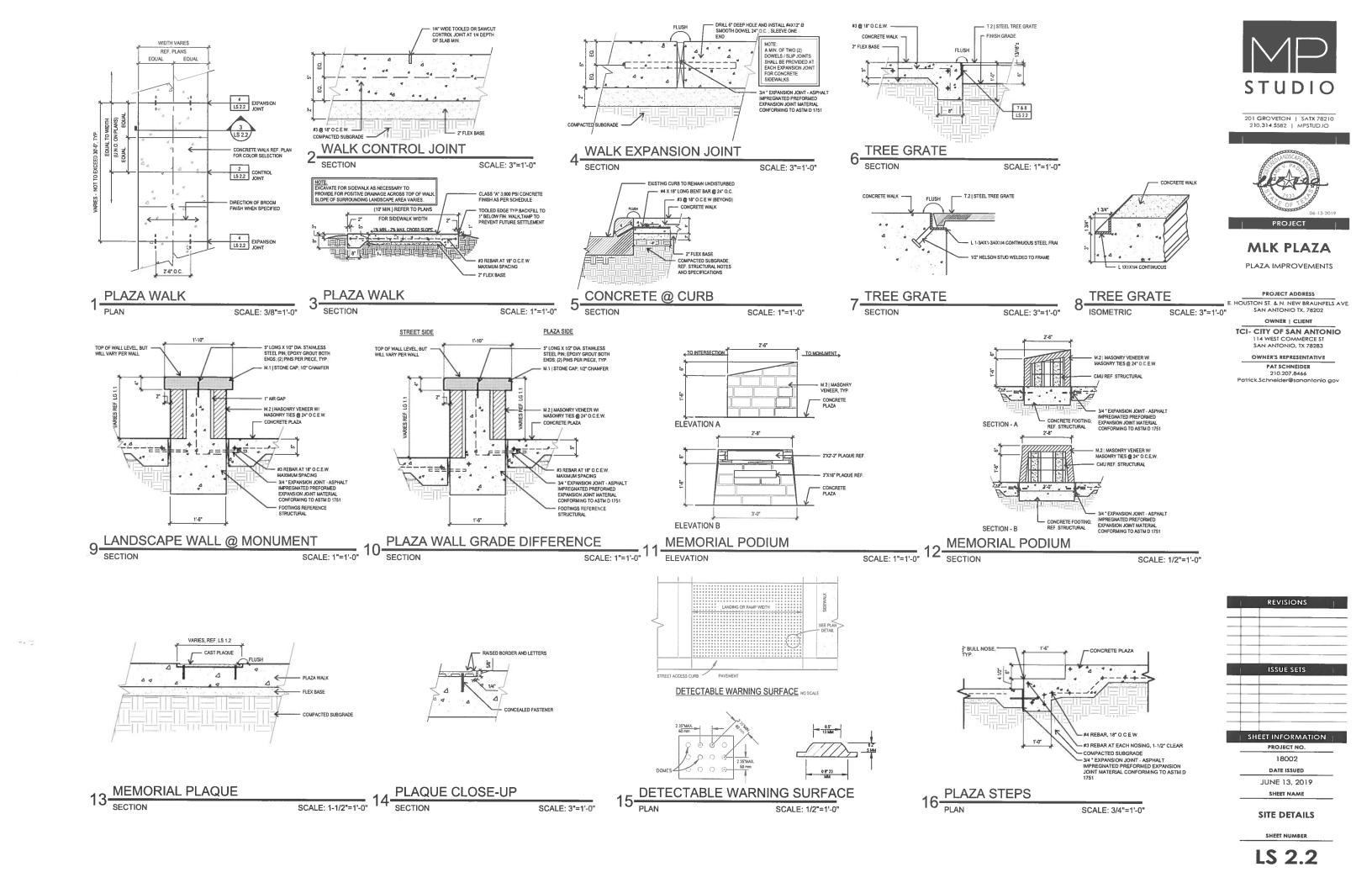




LS 2.1

SHEET NUMBER

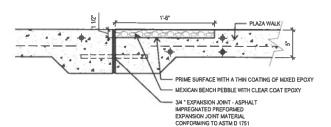
SCALE: 1"=1'-0"



HODTE:
PRIOR TO INSTALLATION CONTRACTOR TO ENSURE: STONES ARE CLEAN, THE INSTALLATION AREA IS
FREE OF DEBRIS OR DIRT, REMOVE OR REPAIR ANY BROKEN CONCRETE AND FILL OR REPAIR ALL
CRACKS, SITE IS TO BE COMMETELY ORY CONTRACTOR TO MOX AND INSTALL STONES AND EPOXY PER
EPOXY MANAPICTURER RECOMMENDATIONS FOR COMMERCIAL USE INCLUDING SAFETY STANDARDS.

NOTE:

AFTER INSTALLING STONES INTO PLACE, CONTRACTOR TO APPLY ONE LAST COATING OF EPOXY WITH ROLLER OVER THE SURFACE. ALLOW TO CURE FOR A MINIMUM OF 35 HOURS UNTIL CONTINUED USE ON SITE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROVIDE A FLOOD-COAT EPOXY AS IT VIILL DISCOLOR THE STONES.

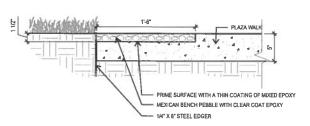


SCALE: 1-1/2"=1'-0"

INSET PEBBLE @ PLAZA

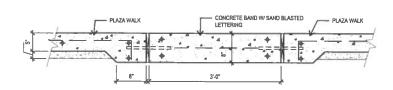
NOTE:
PRIOR TO INSTALLATION CONTRACTOR TO ENSURE: STONES ARE CLEAN, THE INSTALLATION AREA IS
FREE OF DEBRIS OR DIRT, REMOVE OR REPAIR ANY BROKEN CONCRETE AND FILL OR REPAIR ALL
CRACKS, SITE IS TO BE COMPLETELY DRY. CONTRACTOR TO MIX MOI INSTALL STONES AND EPOXY PER
EPOXY MANUFACTURER RECOMMENDATIONS FOR COMMERCIAL USE INCLUDING SAFETY STANDARDS.

NOTE:
AFTER INSTALLING STONES INTO PLACE, CONTRACTOR TO APPLY ONE LAST COATING OF EPOXY WITH
ROLLER OVER THE SURFACE ALLOW TO CURE FOR A MINIMUM OF 36 HOURS UNTIL CONTINUED USE ON
SITE. LINDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROVIDE A FLOOD-COAT EPOXY AS IT WILL
DISCOLOR THE STONES.



INSET PEBBLE @ LAWN

CTION SCALE: 1-1/2"=1'-0"



CONCRETE BAND W/ SANDBLASTED TEXT

CTION SCALE: 1"=1'-0"

SANDBLASTED LETTERING

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CONCRETE BAND
 A
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 CONCRETE BAND

SECTION SCALE: 1"=1'-0"

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PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE.
SAN ANTONIO TX. 78202

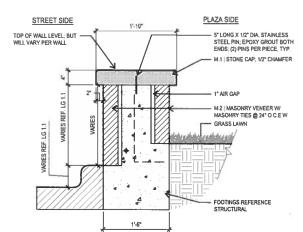
OWNER | CLIENT

TCI- CITY OF SAN ANTONIO 114 WEST COMMERCE ST SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

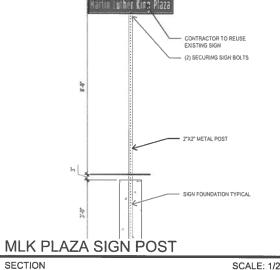
PAT SCHNEIDER 210.207.8466

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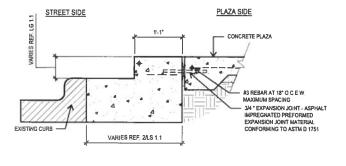


5 WALL @ CROSSWALK CURB

SECTION SCALE: 1"=1'-0"

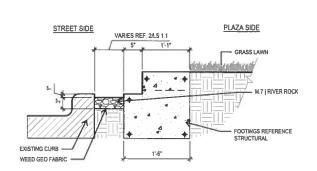


7-

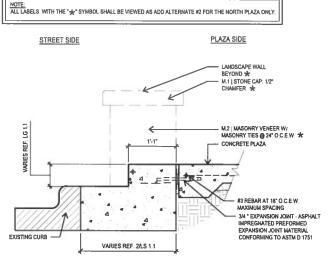


7 CONCRETE WALL @ CONCRETE BAND
SECTION SCALE: 1"=1'-0"

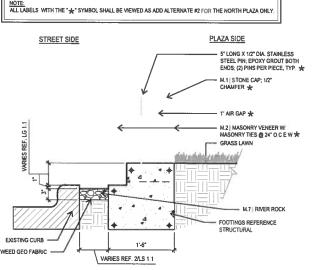
SCALE: 1/2"=1'-0" SECTION



8 NORTH PLAZA-CONCRETE WALL @ LAWN SCALE: 17-41-07



ADD ALTERNATE #2
7 NORTH PLAZA-CONCRETE WALL @ CONCRETE BAND
SECTION SCALE: 1"=1'-0"



ADD ALTERNATE #2
NORTH PLAZA-CONCRETE WALL @ LAWN
SECTION SCALE: 1"=1'-0"



JUNE 13, 2019
SHEET NAME

DEDUCT

ALTERNATE SITE

DETAILS
SHEET NUMBER

LS 2.3

MITIGATION TREES							
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	TREE SIZE	INCHES APPLIED TO	TOTAL MITIGATES		
TSP	16	TEXAS SABAL PALM	4*	4"	64°		
				TOTAL MITIGATION	64*		



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MLK PLAZA

PLAZA IMPROVEMENTS

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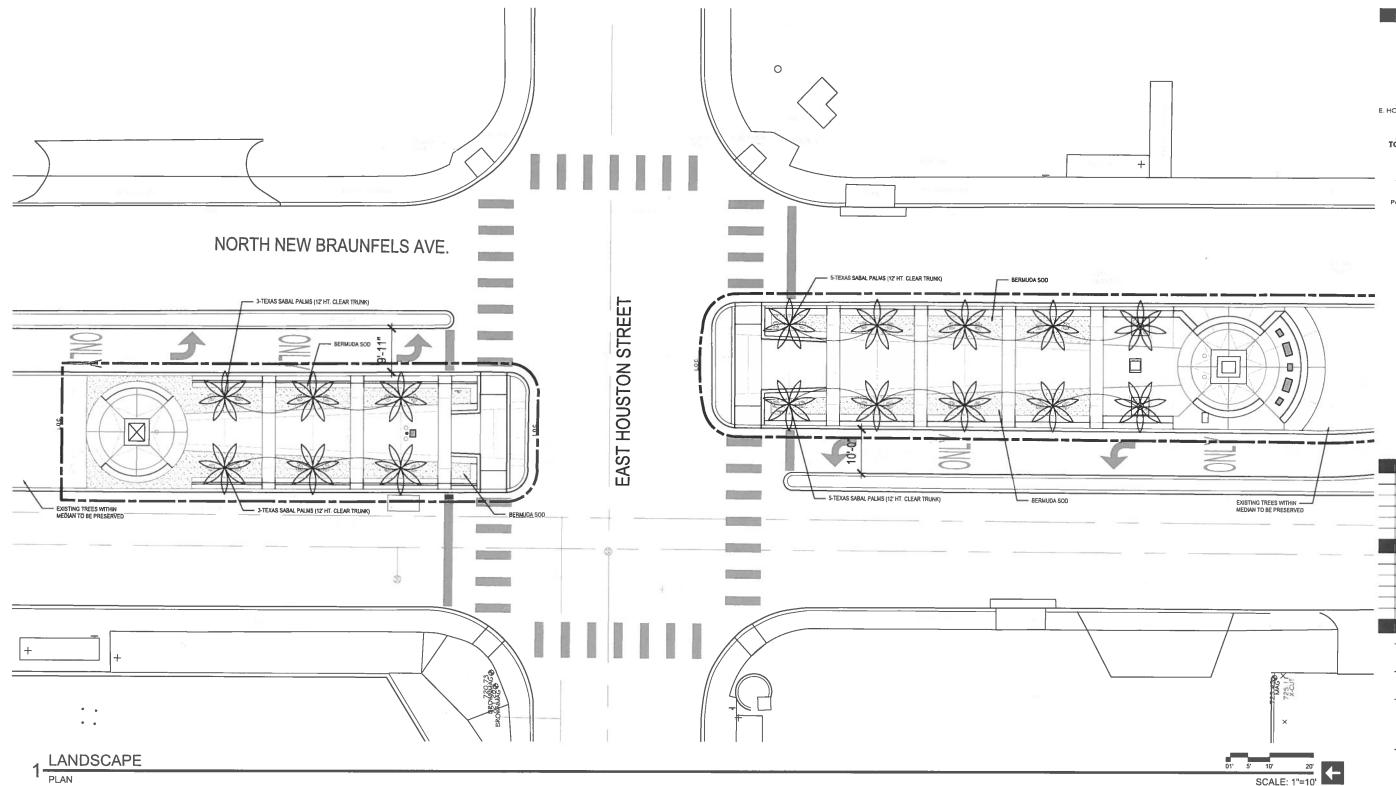
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OWNER | CLIENT

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OWNER'S REPRESENTATIVE

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ISSUE SETS

REVISIONS

SHEET INFORMATION

PROJECT NO.

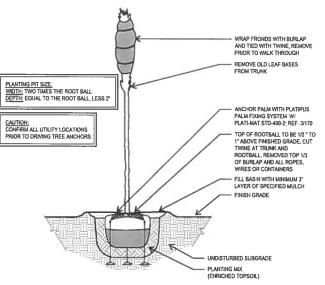
DATE ISSUED JUNE 13, 2019

SHEET NAME

LANDSCAPE PLAN

SHEET NUMBER

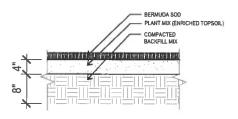
LP 1.1



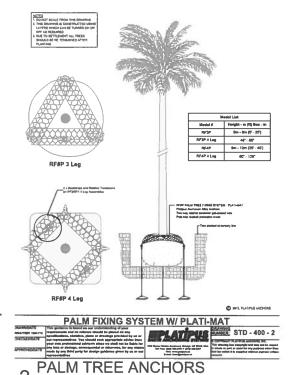
TYPICAL PALM TREE PLANTING

SECTION

SCALE: 1/2"=1'-0"



3 TYPICAL TURF PLANTING SECTION SCALE: 1"=1'-0"



NOT TO SCALE

PLAN - SECTION

PLANT LIST

PALM TREES

National Control	COMMON NAME					
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS		
TSP	16	TEXAS SABAL PALM SABAL TEXANA	12' HT, CLEAR TRUNK, MIN 6' SPRD	SINGLE TRUNK B&B STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY, PARK GRADE NOT ACCEPTABLE,		

				UNSKINNED TRUNK	
TURF/	NATIVE	E SEED			
SYMBOL	QUANTITY	COMMON NAME BOTANICAL NAME	ŞIZE	REMARKS	
	FIELD VERIFY	419 TIF BERMUDA SOD	N/A	SOD REF LP 2.2 NOTES	



201 GROVETON | SATX 78210 210.314.5582 | MPSTUD.IO



PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE. SAN ANTONIO TX, 78202

OWNER | CLIENT

TCI- CITY OF SAN ANTONIO 114 WEST COMMERCE ST SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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ISSUE SETS

SHEET INFORMATION
PROJECT NO.

PLANT LIST & DETAILS

SHEET NUMBER

18002

DATE ISSUED

JUNE 13, 2019

SHEET NAME

LP 2.1

GENERAL LANDSCAPE NOTES

PART 1:

LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SLICH AS EXISTING GRADES AND WALK FLEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS

BEFORE PROCEEDING WITH ANY WORK IN AN AREA, LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND SIZES AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS. IF ANY LITLITIES OR OBSTRUCTIONS ARE DISCOVERED DURING CONTRACT WHICH MAY NOT HAVE BEEN KNOWN DURING DESIGN, CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT BEFORE PRECEDING, LANDSCAPE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGE IF WORK PROCEEDS IN EITHER OF THE ABOVE SITUATIONS WITHOUT NOTIFYING LANDSCAPE

PRIOR TO ANY EXCAVATION, LANGSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE AUTHORITIES INCLUDING, BUT NOT LIMITED TO. TEXAS ONE CALL SYSTEM AT 1-800-245-4545 TO LOCATE EXISTING UNDERGROUND UTILITIES

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK, WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK, LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT. ALL TRASH AND DEBRIS GENERATED FROM CONTRACT OPERATIONS SHALL BE REMOVED ON A DAILY BASIS. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR

- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) 260.1 NURSERY STOCK.
- B.) TEXAS STATE DEPARTMENT OF AGRICULTURE (TDA) NURSERY FLORAL LICENSING PROGRAM

1.1 SUBMITTALS FOR REVIEW

- A.) PRODUCT DATE: LIST OF CHEMICALS TO BE USED ON SITE.
- 1 QUART SAMPLES OF EACH SOIL AMENDMENT WITH ANALYTICAL DATA FROM A RECOGNIZED TESTING LABORATORY SHOWING MANUFACTURER'S GUARANTEED ANALYSIS.
- 1 CUBIC FOOT SAMPLES OF PREMIXED BACKFILL MIXES
- C.) TEST RESULTS:
- PROVIDE SOIL SAMPLE TEST RESULTS INDICATING PH, FERTILITY LEVELS, AND PERCENTAGES OF SAND, SILT, AND CLAY. PROVIDE RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZERS BASED ON SOIL ANALYSIS; FOR CONTRACT PURPOSES, USE MIXTURE SPECIFIED IN THIS SECTION.
- D) NURSERY QUALIFICATIONS: COMPANY SPECULIZING IN GROWING AND CULTIVATING PLANTS SPECIFIED IN THIS SECTION WITH MINIMUM THREE YEAR DOCUMENTED EXPERIENCE, AND CERTIFIED BY THE STATE OF TEXAS.

E.) INSTALLER QUALIFICATIONS:

- COMPANY SPECIALIZING IN LANDSCAPE INSTALLATION WITH MINIMUM THREE YEARS DOCUMENTED EXPERIENCE.
 PROVIDE FULL-TIME SUPERINTENDENT ON-SITE DURING INSTALLATION.
- F) PLANT MATERIALS:
 - PLANT MATERIALS ARE SUBJECT TO EXAMINATION BY LANDSCAPE ARCHITECT AT PLACE OF GROWTH OR UPON DELIVERY TO PROJECT

1.2 DELIVERY, STORAGE AND HANDLING

- A.) DELIVER FERTILIZER IN WATERPROOF BAGS SHOWING WEIGHT, GUARANTEED CHEMICAL ANALYSIS, MANUFACTURER AND BRAND
- NAME, AND APPROVALS OF AUTHORITIES HAVING JURISDICTION.

 B.) DELIVER PLANT MATERIAL WITH IDENTIFICATION TAG SHOWING BOTANICAL NAME AND PLANT SIZE.
- C.) DELIVER PLANT MATERIAL IMMEDIATELY PRIOR TO INSTALLATION: PLANT MATERIALS ON SAME DAY AS DELIVERED. IF PLANTING CANNOT BE ACCOMPLISHED ON SAME DAY AS DELIVERY, PROVIDE ADDITIONAL PROTECTION TO MAINTAIN PLANTS IN HEALTHY
- D.) KEEP PLANT MATERIAL MOIST AND PROTECT FROM DAMAGE AND DESICCATION OF LEAVES UNTIL PLANTING.
- E.) DO NOT HANDLE PLANT MATERIALS BY STEM OR TRUNK.
 F.) KEEP CONTAINERS INTACT UNTIL JUST PRIOR TO PLANTING.

A.) INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNS

- A) FURNISH WRITTEN WARRANTY THAT PLANT MATERIALS WILL BE IN HEALTHY, VIGOROUS, GROWING CONDITION ONE (1) YEAR AFTER FINAL ACCEPTANCE: DAMAGE DUE TO ACTS OF GOD, VANDALISM, OR NEGLIGENCE BY OWNER IS EXCLUDED.

 B.) REPLACE DEAD, UNHEALTHY AND UNSIGHTLY PLANT MATERIALS WITHIN WARRANTY PERIOD, UPON NOTIFICATION BY OWNER OR
- LANDSCAPE ARCHITECT. C.) NOTIFY OWNER AND LANDSCAPE ARCHITECT 30 DAYS PRIOR TO EXPIRATION OF WARRANTY PERIOD AND ARRANGE FINAL
- ACCEPTANCE INSPECTION BY ALL PARTIES. REMOVE DEAD, UNHEALTHY, AND UNSIGHTLY PLANT MATERIALS.

- REMOVE GUYING AND STAKING MATERIALS.

 WARRANT REPLACEMENT PLANTS UNDER SAME PROVISIONS AND FOR SAME TIME PERIOD AS ORIGINAL PLANTS.

- MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND FOR NINETY (90 DAYS) AFTER FINAL ACCEPTANCE
- REPLACE DEAD OR DYING PLANTS WITH PLANTS OF SAME SIZE AND SPECIES SPECIFIED.

 REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, FERTILIZE, WEED, AND MOW SPOT APPLY HERBICIDES, AND
- FUNGICIDE ONLY AS REQUIRED. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- COORDINATE WITH OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. HAND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM IRRIGATION SYSTEM
- REAPPLY MULCH TO BARE AND THIN AREAS

- 1.6 MATERIALS:
 1. PLANT MATERIALS:
 1. CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.
 1. CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.
 2. SPECIES AND SIZE AS INDICATED IN PLANT SCHEDULE, LARGER SIZE MAY BE SUBSTITUTE WITHOUT ADDITIONAL COST 10 OWNER, PROVIDED ROOT BALL OR SPREAD INCREASES PROPORTIONATIELY.
 3. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDED PLANTS OF UNIFORM SIZE.
 4. GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE AT SITE. FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING WEAK OR BROWNEN TO THOSE AT SITE. FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING WEAK OR BROWNEN HOURS CONTONED THE WINE STATEMENT OF THE STA
- NOT PRUNED, TRIMMED, OR TOPPED.
- CONTAINER-GROWN STOCK: GROWN IN CONTAINERS FROM SEEDING.
- USE SITE GENERATED SOIL FROM PLANTING PREPARATIONS, REASONABLY FREE FROM CLAY LUMPS, COARSE
- SANDS, STONES, ROOTS, FOREIGN MATTER.

 IF SUFFICIENT ON-SITE MATERIALS DO NOT EXIST, PROVIDE SIMILAR OFF-SITE TOPSOIL FROM APPROVED LOCAL. SOURCE, SUBMIT SAMPLE AND SOURCE FOR APPROVAL PRIOR TO DELIVERY OF ANY SOIL TO SITE
- SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY <u>NEW EARTH LLC ph. 210-6615180</u> OR APPROVED SUBSTITUTE. PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GROWTH AND GERMANTION-HINBITING KOREDIENTS.
- SOIL SULFUR: AGRICULTURAL GRADE SULFUR CONTAINING MINIMUM 99 PERCENT SULFUR EXPRESSED A
- ELEMENTAL.

 IRON SULFATE: 20 PERCENT IRON EXPRESSED AS METALLIC IRON DERIVED FROM FERRIC AND FERROUS SULFATE
 AND 10 PERCENT SULFUR EXPRESSED AS ELEMENTAL. WHEN REQUIRED BY SOIL TESTS.

 GYPSUIK: AGRICULTURAL GRADE, CONTAINING MINIMUM 98 PERCENT CALCIUM SULFATE, WHEN REQUIRED BY

- SOM ITEST
 HERBICIDE. PRE-EMERGENT TYPE: SURFLAN OR APPROVED SUBSTITUTE.
 FERTILIZER FOR TREES AT PLANTING: PLANT HEALTH CARE GROUP "PHC TREE SAVER" APPLIED AS PER P.H.C.G. DIRECTIONS AND APPLICATION RATES.
 FERTILIZER FOR INNI: PLANT HEALTH CARE GROUP "PHC FOR TURF 15-1-6" APPLIED AT A RATE OF SEVEN (7) POUNDS PER 1,000 SOUARE FEET.
 SOIL INDOULATES FOLLOWING TREE PLANTING: PLANT HEALTH CARE GROUP "PHC INJECTABLE INDOULANT FOR TREES". APPLIED AS PER PHGG MIXING DIRECTIONS AND APPLICATION RATES.
 FERTILIZER FOR PLANTER BED MIXING DIRECTIONS AND APPLICATION RATES.
 FERTILIZER FOR PLANTER BED MIXING DIRECTIONS AND APPLICATION FATTS.
 POUNDS CUBIC YARD OF PLANT BED MIX.
- ALL SEED USED SHALL BE HIGH QUALITY, EXTRA FANCY, TREATED LAWN TYPE SEED AT 98% PURITY AND 85% GERAINATION, AND SHALL BE FURRISHED IN SEALED STANDARD CONTAINERS WITH SIGNED COPIES OF A STATEMENT FROM THE VENDOR CERTIFYING THAT EACH CONTAINER OF SEED DELYLERED IS FULLY LABELED IN ACCORDANCE WITH THE TEXAS STATE AGRICULTURAL CODE AND IS EQUAL TO OR BETTER THAN THE REQUIREMENT OF THESE SPECIFICATIONS. LAWN SEED TO BE FREE OF WEEDS OR NOXIOUS GRASS SEEDS.
- SEED WHICH HAS BECOME WET, MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE WILL NOT BE
- GRASS SEED SCHEDULE:
- APRIL 15- SEPTEMBER 15 SHALL BE COMMON BERMUDA
- SEPTEMBER 15- APRIL 15 SHALL BE ANNUAL RYE GRASS. YDRO-MULCH' AS MANUFACTURED BY CONWED, OR APPROVAL EQUAL.
- THE HYDO-MULCH SHALL BE COMPOSED OF WOOD CELLULOSE FIBER AND CONTAIN NO GERMINATION OF GROWTH-INHIBITING FACTORS.
- HYRÔ-ŜEEDING ADDITIVE (BINDER): ECOLOGY 'CONTROL-M BINDER' ORGANIC SEEDING ADDITIVE SOD: PROVIDE FULL, DARK GREEN, UNIFORM, STRONGLY ROOTED SOD IN 15" X 24" STRIPS FREE FROM WEEDS, UNDESIRABLE GRASSES, DISEASES AND PESTS. SOD SHALL BE CUT FROM THE FIELD NO LONGER THAN 48 HOURS BEFORE PLANTING, ROOTS OF SOD SHALL BE KEPT MOIST
- BRACING: TREE ANCHORS SHALL BE AS PER DETAILS.
 TREE PAINT: MORRISION TREE SEAL, CABORT TREE PAINT, OR OTHER PRODUCT APPROVED BY LANDSCAPE
- ARCHITECT.
 PLANTER BED EDGING SHALL BE 3/16"X 4" STEEL EDGING WITH MANUFACTURERS STANDARD GREEN FINISH
- PLANT BED MIX:
 PLANT BED MIX (BACKFILL MIX) SHALL BE NEW EARTH'S 4 WAY MIX AS PRODUCED BY NEW EARTH LLC PH.
 210-68-1-3160. DOCUMENTATION OF PURCHASE OF THIS SPECIFIC MIX SHALL BE SUBMITTED TO LANDSCAPE
 ARCHITECT. IF EQUAL IS PROPOSED, CONTRACTOR SHALL SMBITT SAMPLE AND COMPLETE ANALYSIS WITH TEST
 RESULTS AND METHOD OF PRODUCTION FOR EVALUATION AS AN EQUAL SUBSTITUTE.

PART 2 EXECUTION:

- i preparation Indscape contractor shall receive the site at approximately finish grade less any settlement that may LANDSCAPE CONTINUCTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MY ANY COCCUPRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, CLOOS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ASRUFT CHANGES IN GRADE AND ANY AREA THAT COULD CAUSE WATER TO POND. A) IF VEGETATION IS GROWNIO IN PLANTINGLAWM AREA, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUE OUT ROOTS TO MINIMUM IZ MICH DEPTH. B) MARK LOCATION OF TREES AND OUTLINESS OF PLANTS BEDS USING COLORED WOOD STAKES OR FLAGS PRIOR TO BEGINNING PLANTING; OBTAIN LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PROCEEDING.

2.2 PLANTING TREES AND SHRUBS

- **LANTING TREES AND SHRUBS

 REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.

 REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS; REMOVE SIDES AFTER PLACEMENT AND PARTIAL. BACKFILLING. PREVENT DAMAGE TO ROOTS. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAP TREES AFTER PLACEMENT.
- REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAP TREES AFTER PLACEMENT.

 PLACE PLANT UPRIGHT AND PUBBIG NECTIFIED OF HOLE, PULL ANY WEEDS GROWING IN TREE BALL AND EXPOSE ROOT

 FLARE (THIS WILL BE THE TOP MOST IDENTIFIABLE ROOT), REMOVE ANY GROUNG ROOTS AND SET PLANT SO THAT

 ROOT FLARE IS 'T ABOVE FINDS GRADE ORDER THANTS FOR BEST APPEARMORE, BACKPIL THE BOTTOM 113 OF THE

 EXCANATION WITH SOIL CUT FROM EXCANATION OF PIT AND THOROUGHLY WATER THIS SOIL TO SETTLE IN. BACKPIL

 THE REMANDER OF THE EXCANATION WITH A 5050 MIX OF PAGE REARTHS A WAY MAX AND NATIVE SOIL ECCANATED FOR

 THE PLACE PLANT HEALTH CARE GROUPS 'TREE SAVER' IN BACKPIL AS PER PIT C. G. DIRECTION AND APPLICATION

 RATES. LIGHTLY TAMP AND WATER SOIL TO REMOVE ALL AR POCKETS. FOR PLATS GUTSING OF PLANTING BISCO,

 CONSTRUCT 3 INCH HIGH WATER CONTAINMENT RING AROUND PLANT. SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER

 PLANT BASIN.
- CURSITION 3 SINCH HIGH WATER CORNINAMENT RING ARQUIND PLANT, SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANT BASIN.

 ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILL AND STAKE AS DETAILED.

 1. TWO TO THREE WEEKS FOLLOWIND PLANTING, INJECT FLANT HEALTH, CARE INJECTABLE INOCULANT ARQUIND ROOT BALL FOLLOWING MANUFACTURER'S DIRECTIONS AND APPLICATION RATES. CONTACT LANDSCAPE ARCHITECT TO GOBERY THIS OPERATOR.

 TRINI PLANTS TO REMOVE DEAD AND INJURED BRANCHES ONLY, TREAT CUTS OVER 3/4 INCH DIAMETER WITH TREE PAINT

- PAINT:

 BRACE PLANTS OVER 65 GALLONS SIZE IMMEDIATELY AFTER PAINTING:

 FOR TREES 2° CAL. AND GREATER PROVIDE STAKING AS DETAILED. POSITION TO PREVENT HAZARDS TO PEDESTRIANS.

 DO NOT RESTRICT PLANT MOVEMENT UNDER LIGHT WIND LOADS OR DAMAGE BARK.

2.3 PLANTING MASS SHRUBS, GROUNDCOVERS, AND ANNUALS (SEE DETAILS) EXCAVATE PLANT BED TO DEPTH AS DETAILED ON PLANS.

- BACKFILL WITH SPECIFIED 4-WAY MIX AND TILL IN SPECIFIED PLANT HEALTH CARE'S, "HEALTHY START 3-4-3" AT A RATE OF
- 25 LBS. PER CUBIC YARD OF PLANT BED MIX. INSTALL METAL EDGINGS TO SEPARATE ALL PLANTER BEDS FROM TURF AND AT LOCATIONS INDICATED ON PLANS.
- THATE PLANTS IN STRUCKIT, EVENLY SPACED ROWS AT SPACING INDICATED ON DRAWINGS, TO UNIFORMLY FILL BEDS, USE
 TRANSQUAR SPACING METHOD UNLESS OTHERWISE INDICATED.
 WATER PLANTS THOROUGHLY IMMEDIATELY AFTER PLANTING. REPAIR SETTLED AREAS.
 ADJUST FIAL GRADES TO 1/2 INCH BELOW ADJACENT PAYMOR CURBS.
 SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANTING BEDS AS DETAILED.

- 2.4 CLEANING AND ADJUSTING
 A.) REMOVE PLANT CONTINNERS, TRASH, RUBBISH, AND EXCESS SOILS FROM SITE DAILY AND AT COMPLETION OF TREE, SHRUBS AND GROUNOCOVER PLANTING.
 B.) REPAIR RUTS, HOLES AND SCARS IN GROWING SURFACE.
- 2.4 LAWN APPLICATION (AT COMPLETION OF TREE, SHRUB AND GROUNDCOVER PLANTINGS)
- IATION:

 HYDROMULCH AND SOD AFTER TREE, SHRUB AND GROUNDCOVER INSTALLATION IS COMPLETE.

 CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO INSURE FUNCTIONAL IRRIGATION SYSTEM PRIOR

 TO ANY LWYN INSTALLATION.

B.) PREPARATION

- RATION:
 PRE-PLANT WEED CONTROL:
 PRE-PLANT WEED CONTROL:
 PRE-PLANT WEED CONTROL:
 FWEEDS EXIST WITHIN PROPOSED LANDSCAPE AREAS AT THE BEGINNING OF WORK, SPRAY WITH A NON SELECTIVE
 SYSTEMIC CONTRACT HERBICIDE, AS RECOMMENDED AND APPLED BY AN APPROVED LICENSED APPLICATOR, CLEAR
 AND REMOVE THESE EXISTING WEEDS UPON HERBICIDES COMPLETED ACTION BY GRUBBING OFF ALL PLANTS AT
 LEAST 1/Z-1-1 BELOW THE SURFACE OF THE SOIL.
 CONTRACTOR TO SCARIFY GROUND SURFACE TO A MINIMUM Z' DEPTH FOR ALL GRASSES AND REMOVE ALL STICKS,
 TRASH, ROCKS AND OTHER DEBRIS AND DISPOSE OFF SITE.
 IF EXISTING SOIL IN AN AREA IS FOUND TO BE CONTAMINATED OR OTHERWISE UNSUITABLE, CONTRACTOR SHALL
 PROVIDE COST PER CUBIC YARD TO REPLACE WITH SOIL SUITABLE FOR TURF.
 CONTRACTOR TO RAVIE ENTIRE AREA, LEVELING ANY IMPERFECTIONS IN THE GRADE. LANDSCAPE CONTRACTOR TO
 ENSURE THAT THERE WILL BE POSITIVE DRANKE AND OTHER PAYEMENTS. REMOVE ANY LARGE (GREATER THAN 11) DRIT
 ELOSS, ROCKS, AND TRASH AND PREPARE A SMOOTH, LEVEL, LOOSSE AND COARSE SURFACE. LANDSCAPE CLODS, ROCKS, AND TRASH AND PREPARE A SMOOTH, LEVEL, LOOSE AND COARSE SURFACE. LANDSCAPE ARCHITECT TO APPROVE FINE GRADING PRIOR TO ANY LAWN INSTALLATION. LAWN BED SHALL BE MOIST (BUT NOT MUDDY) TO RECEIVE SEED AND SOD.
- C.) HYDROMULCH APPLICATION: FOR ALL HYDROMULCH AREAS, INSTALL SOD STRIPS OF BERMUDA GRASS AT ALL BACKS OF CURBS WITHIN THE
 - LIMITS OF CONSTRUCTION.

 LAWN AREAS TO BE SEEDED IMMEDIATELY AFTER PREPARATION OF THE BED. APPLY A UNIFORM COAT OF HYDROMULCH AT THE RATES SPECIFIED BELOW

 - HYDROMULCH AT THE RATES SPECIFED BELLOW:

 A SEED (REF SCHEDULE, 16 H-3):

 1). BERANDA (HULLED) 2 LBS.7,000 S.F.

 2). ANNUAL RYE GRASS-6 LBS.7,000 S.F.

 B. WCOD CELLULOSE FIBER MULCH-60 LBS.7,000 S.F.

 C. FERTRIZER: "PHC FOR TURP" AT A RATE OF SEVEN (7) POUNDS PER 1,000 SOUARE FEET.

 D. INCORPORATE A TACKFIER WITH MULCH CAP DELAY IRRIGATION 6 HOURS TO PERMIT TACKFIER TO SET.

 SEED AREAS WITHIN SEEDING LIMITS INDICATED ON THE PLAN AND AREAS DISTURBED BY CONSTRUCT

- SEED AREAS WITHIN SEEDING LIMITS INDICATED ON THE PLAN AND AREAS DISTURBED BY CONSTRUCTION OPERATIONS.

 PROTECT EQISTING UTILITIES (INCLUDING IRRIGATION SYSTEM), PLANTING, PAVING,
 PROTECT EQISTING CAUSED BY HYDROMULCHING OPERATION.

 IMMEDIATELY FOLLOWING A PPLICATION OF HYDROMULCH, THE CONTRACTOR SHALL WASH EXCESS
 HYDROMULCHING MATERIAL FROM PREVIOUSLY PLANTED MATERIAL, ARCHITECTURAL, FEATURES, ETC. CARE SHALL
 BE EXERCISED TO AVOID WASHING OR ERODING MULCH MATERIALS FROM LAWN AREA.
 UPON ESTABLISHMENT OF LAWN, APPLY A POST EMERGENET HERRICIDE FOR CONTROL OF NUT GRASS AND WEEDS.
 FERTILIZE AT 45 DAY INTERVALS WITH SPECIFIED PLANT HEALTH GROUPS FERTILIZER AT A RATE OF SEVEN (7)
 POUNDS PER 1,000 SOLIARS FEET DURING AT 42 DAY INTERVALS DURING THE 90 DAY MAINTENANCE PERIOD.
 SHOULD LAWN AREAS BE SEEDED WITH ANNUAL RYE GRASS (REF. SCHEDULE SECTION 1.5 H-3) THE CONTRACTOR
 SHALL RETURN TO THE SITE BETWEEN APRIL IS AND MAY 15 TO RE-PREPARE SEED BED AND HYDROMULCH WITH
 COMMON BERMUDA SEED IN ORDER TO ESTABLISH A PERMANENT TURF COVER IN ALL LAWN AREAS.
- INCORPORATE SPECIFIED LAWN FERTILIZER AT SEVEN (7) POUNDS PER 1000 SQUARE FEET OF LAWN AREA FOR SOD
- PRICE MERGE SPECIALISE DAWN FOR INDEED AS SEVERAL PRODUCTION OF THE SECOND APPLICATION AND THE SECOND APPLICATION WILL BE UP TO 10 DAYS PRICE TO PLANTING. THE SECOND APPLICATION WILL BE UP THE SECOND APPLICATION WILL BE UP THE SECOND APPLICATION WILL BE UP THE SECOND APPLICATION AND THE SEC
- LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING.
- LAY SOD TO FORM SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES, WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD: REMOVE EXCESS SOD TO AVOID SMOTHERING ADJACENT GRASS.
- SOD PADS SHALL BE OF FULLEST SIZE POSSIBLE-NO SOD SLIVERS WILL BE PERMITTED. FINISHED GRADE OF NEW SOD SHALL BE FLUSH WITH ADJACENT LAWN AND PAVEMENT. ENSURE POSITIVE
- DIVAINAGE. ROLL ENTIRE SODDED AREA WITH SOD ROLLER, WATER SOD THOROUGHLY
- CONTRACTOR SHALL OVERSEED SOO AREAS WITH AMMULA RYE GRASS IF LAWN INSTALLATION OCCURS SEPTEMBER 15 THROUGH APRIL 15 AT 8 LBS. 1,000 S.F. SHOULD LAWN AREAS BE SEEDED WITH AMMULA RYE GRASS THE CONTRACTOR SHALL RETURN TO THE SITE BETWEEN APRIL 15 AND MAY 15 TO RE-PREPARE SEED BED AND SEED WITH BERNAUDA.
- ACCEPTANCE

 PRIOR TO SCHEDULING A <u>SUBSTANTIAL COMPLETION INSPECTION</u> LANDSCAPE CONTRACTOR SHALL THOROUGHLY CLEAN
 SITE OF ALL DEBRIS AND TRASH AND REPAIR ANY DAMAGE TO FINISH GRADE. WHEN LANDSCAPE WORK IS COMPLETE A
 SUBSTANTIAL COMPLETION MEPSECTION WILL BE HELD. FOLLOWING COMPLETION OF ANY PUNCH LIST ITEMS GENERATED
 FROM THE <u>SUBSTANTIAL</u> COMPLETION INSPECTION A FINAL <u>MISPECTION</u> WILL BE HELD AND IF FOUND ACCEPTABLE A
 CERTIFICATE OF FINAL <u>ACCEPTANCE</u> WILL BE ISSUED.

 LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL <u>FINAL</u> <u>ACCEPTANCE</u> AT WHICH TIME THE SPECIFIED
 LANDSCAPE CONTRACTOR SHALL CONTINUE MAINTENANCE UNTIL <u>FINAL</u> <u>ACCEPTANCE</u> AT WHICH TIME THE SPECIFIED
 LANDSCAPE DEBROON WILL BELL CONTINUE MAINTENANCE UNTIL <u>FINAL</u> ACCEPTANCE

END OF SPECIFICATIONS



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PROJECT

MLK PLAZA PLAZA IMPROVEMENTS

PROJECT ADDRESS

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REVISIONS ISSUE SETS

SHEET INFORMATION

PROJECT NO. 18002

DATE ISSUED

JUNE 13, 2019 SHEET NAME

PLANT LIST & DETAILS SHEET NUMBER