

# HISTORIC AND DESIGN REVIEW COMMISSION

July 17, 2019

**HDRC CASE NO:** 2019-386  
**COMMON NAME:** MARTIN LUTHER KING, JR PLAZA / E HOUSTON ST AT N NEW BRAUNFELS AVE  
**ZONING:** UZROW  
**CITY COUNCIL DIST.:** 2  
**APPLICANT:** Mark Padilla/MP Studio  
**OWNER:** City of San Antonio  
**TYPE OF WORK:** Right-of-way improvements  
**APPLICATION RECEIVED:** June 12, 2019  
**60-DAY REVIEW:** August 11, 2019  
**CASE MANAGER:** Stephanie Phillips  
**REQUEST:**

The applicant requests a Certificate of Appropriateness for various right-of-way improvements at Martin Luther King Jr Plaza, to include:

1. Create accessible routes to memorials from existing crosswalks.
2. Modify the existing pavement.
3. Perform various landscaping modifications, including the installation of wall buffers and trees.
4. Replace existing memorial plaques.
5. Install new site lighting.

## APPLICABLE CITATIONS:

*UDC Sec. 35-646. - Construction in Public Rights-of-Way.*

(a) General Provisions. All construction in the public right-of-way shall conform to all city codes. In considering an application, the historic and design review commission shall be guided by the following:

(1) Sidewalk Zones. Pedestrian movement should be pleasant, allowing for store browsing, comfortable transit waiting and easy accessibility for disabled people. Where possible, sidewalks should at least five (5) feet in width. Existing sidewalks should not be narrowed when replaced.

(2) Sidewalk Paving and Surfaces. Materials should complement stylistic differences of individual buildings, particularly when related to historic buildings. A. Materials. Materials should be chosen for beauty, strength, longevity, easy maintenance and traction when dry or wet. B. Color and Texture. To ensure the safety of pedestrians, all changes in surfaces should be defined by contrasting color, texture or materials.

(3) Street Features and Arrangements. Historic districts and the downtown, as well as other distinct areas of the city have diverse character and any street furniture selected for these areas should complement these differences. In addition, the clustering of street furniture in one (1) place is recommended. Trash receptacles, seating, telephones and other street furniture should be grouped together.

- A. Circulation. A clear path-of-travel of thirty-six (36) inches wide shall be maintained in and around street features and arrangement.
- B. Seating. Seating should be physically comfortable and inviting, durable and attractive. Plaza and open space seating should also be socially comfortable by offering a variety of choices such as in the sun or shade, near traffic and activity or not, and alone or in groups.
- C. Drinking Fountains. Placing drinking fountains in new development is encouraged. Fountains should be placed within general areas of pedestrian traffic and located on accessible surfaces.
- D. Trash Receptacles. Trash receptacles should blend visually with their surroundings and their design and location should make use as convenient as possible.
- E. Vending Machines. Vending machines will not dispense items other than newspapers and periodicals. Vending machines shall be clustered together and away from intersection corners.
- F. Vending Carts and Kiosks. Vending carts and kiosks are encouraged in locations that do not impede normal pedestrian traffic.
- G. Outdoor Dining. Lease of public right-of-way for outdoor dining is encouraged in appropriate locations. Lease of

sidewalk space for outdoor dining shall be managed through the department of parks and recreation and shall comply with all city codes. It is recommended that at least eight (8) feet of sidewalk be retained between the curb and the leased or licensed space to provide an uninterrupted public walkway.

- H. Street Objects. Utility boxes, vending machines and so on should not be located in sidewalk zones. Their design and color should be compatible with character of their surroundings.

(4) Streetscape Landscaping. Landscaping, particularly streets trees, are an important addition to the streetscape because of the hot Texas climate. Appropriate application along sidewalks strengthens the visual quality of public streets. Careful selection of plant materials, using native and low-water use plants, is recommended.

(Ord. No. 98697 § 6)

## **FINDINGS:**

- a. The intersection of E Houston St and N New Braunfels Ave is the location of the Martin Luther King, Jr. Plaza. The Plaza is located east of the Dignowity Hill Historic District and within the Eastside Promise Neighborhood.
- b. RIGHT-OF-WAY IMPROVEMENTS - The applicant is requesting various right-of-way improvements as part of the 2017-2022 Bond Program, including the installation of accessible routes, plaque relocation, paving modifications, lighting, landscaping, and related site work. Staff finds the modifications consistent with the UDC.
- c. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

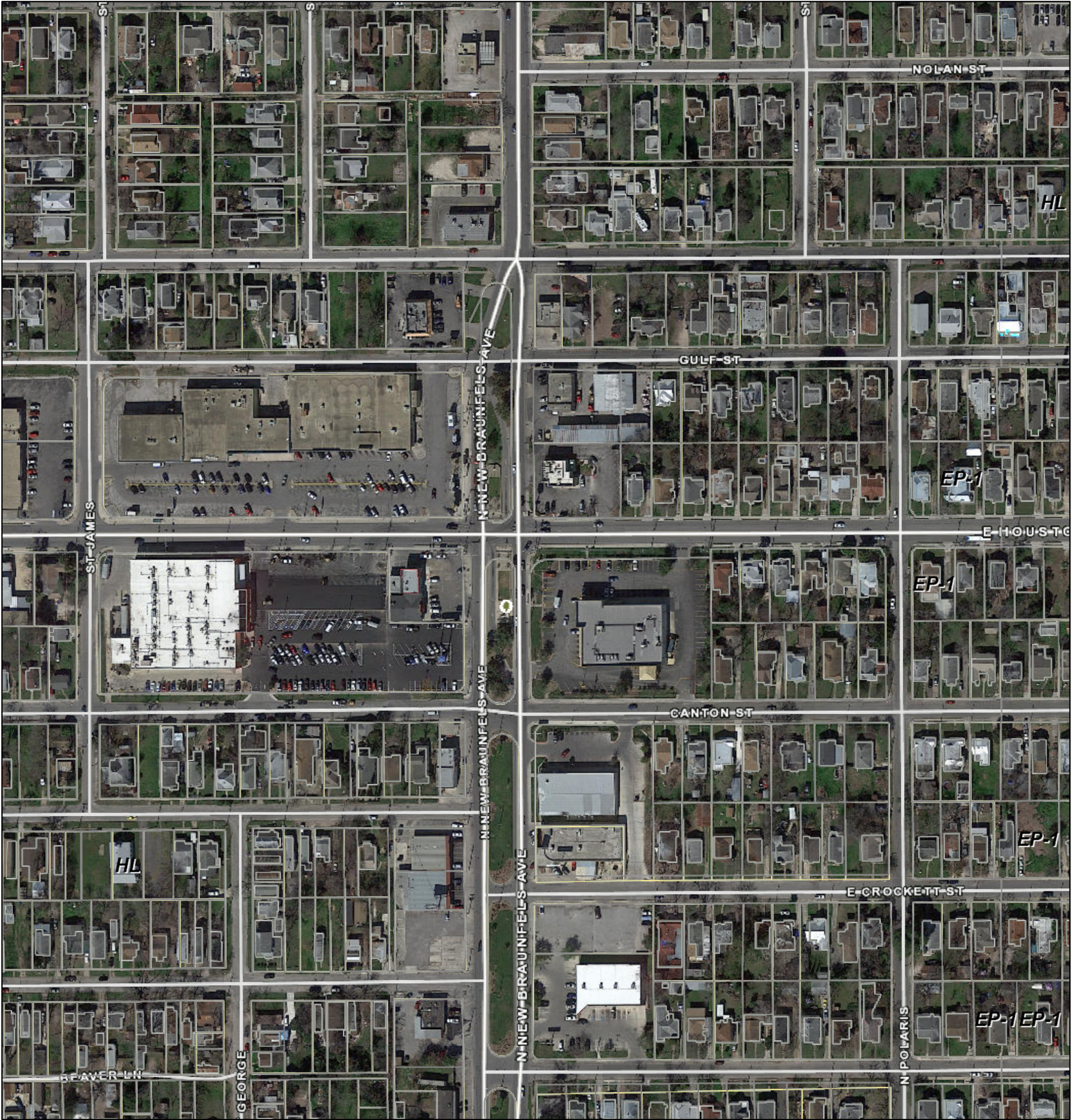
## **RECOMMENDATION:**

Staff recommends approval based on findings a through c with the following stipulations:

- i. That the applicant comply with all applicable UDC requirements and development standards.
- ii. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

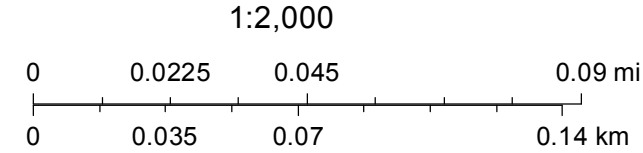


# City of San Antonio One Stop



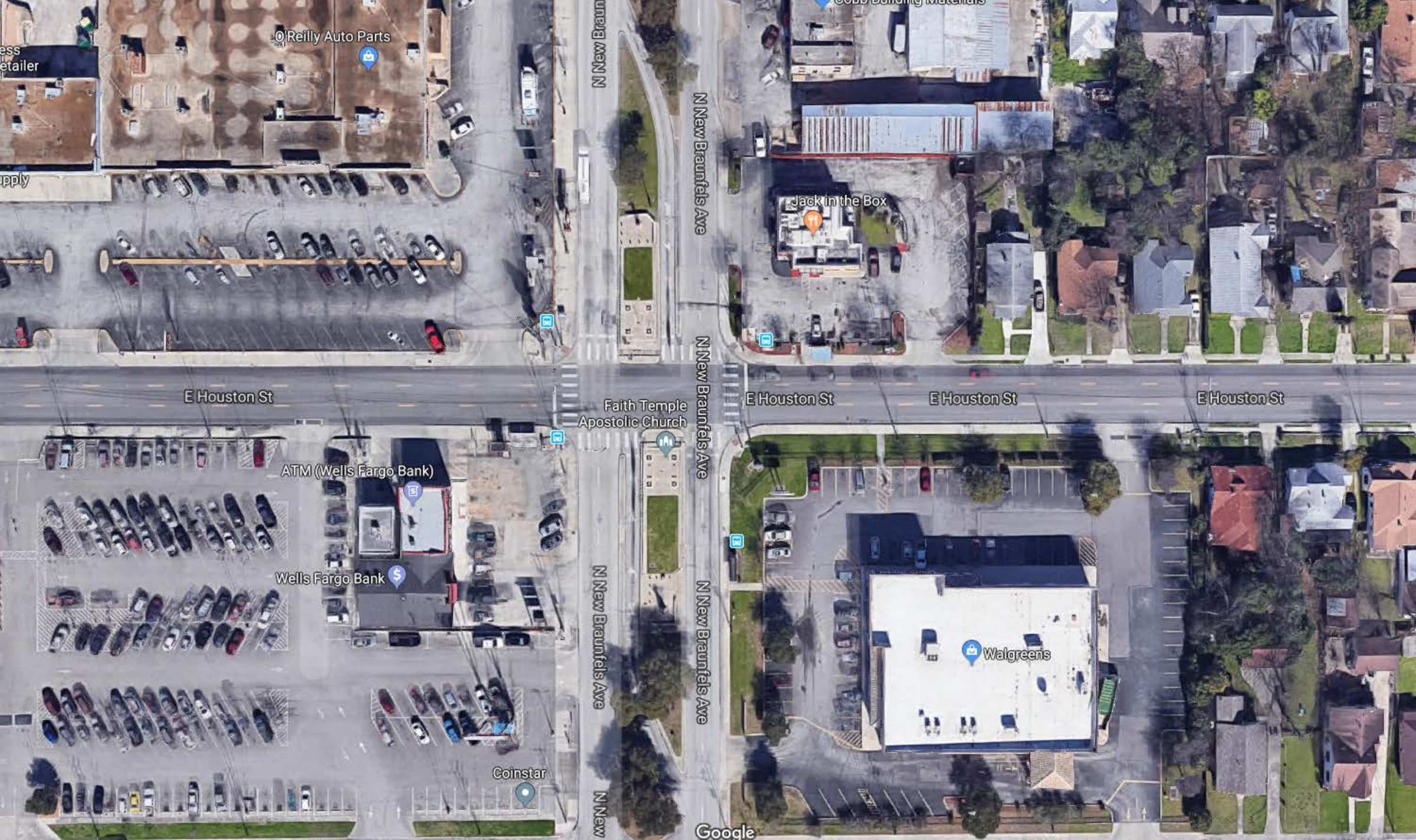
July 11, 2019

- CoSA Addresses
- CoSA Parcels
- BCAD Parcels



CoSA





ess  
etailer

pply

O'Reilly Auto Parts

E Houston St

ATM (Wells Fargo Bank)

Wells Fargo Bank

Coinstar

Faith Temple  
Apostolic Church

N New Braunfels Ave

N New

N New Braunfels Ave

N New Braunfels Ave

N New Braunfels Ave

Google

Jack in the Box

E Houston St

E Houston St

Walgreens

E Houston St





E.B.

WATER WASH

MELROSE

Martin Luther King Plaza

Reilly AUTO PARTS

E Houston St





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# 2017-2022 BOND PROGRAM MARTIN LUTHER KING JR. PLAZA

CITY OF SAN ANTONIO, TEXAS PARKS & RECREATION DEPARTMENT  
INTERSECTION OF E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO, TX 78202



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUDIO



06-13-2019

PROJECT

**MLK PLAZA**  
PLAZA IMPROVEMENTS

**PROJECT ADDRESS**  
E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO, TX 78202

**OWNER | CLIENT**  
**TCI- CITY OF SAN ANTONIO**  
114 WEST COMMERCE ST  
SAN ANTONIO, TX 78283

**OWNER'S REPRESENTATIVE**  
**PAT SCHNEIDER**  
210.207.8466  
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## CITY OF SAN ANTONIO

mayor	council district 5
RON NIRENBERG	SHIRLEY GONZALES
city manager	council district 6
ERIK WALSH	GREG BROCKHOUSE
director of parks & recreation	council district 7
XAVIER D. URRUTIA	ANA SANDOVAL
council district 1	council district 8
ROBERTO TREVINO	MANNY PELAEZ
council district 2	council district 9
ART HALL	JOHN COURAGE
council district 3	council district 10
REBECCA VIAGRAN	CLAYTON PERRY
council district 4	
REY SALDANA	

## INDEX OF SHEETS

DATE	ISSUE	SHEET TITLE	SHEET NO.
REFERENCE			
JUNE 13, 2019	100% CD	COVER SHEET	LC 1.0
JUNE 13, 2019	100% CD	GENERAL NOTES & MATERIALS SCHEDULE	LC 1.1
JUNE 13, 2019	100% CD	TREE PRESERVATION PLAN	TP 1.1
JUNE 13, 2019	100% CD	TREE PRESERVATION NOTES	TP 2.1
DEMOLITION			
JUNE 13, 2019	100% CD	DEMOLITION PLAN	LD 1.1
GRADING			
JUNE 13, 2019	100% CD	GRADING PLAN	LG 1.1
SITEWORK			
JUNE 13, 2019	100% CD	SITEWORK PLAN	LS 1.1
JUNE 13, 2019	100% CD	SITEWORK MLK PLAZA	LS 1.2
JUNE 13, 2019	100% CD	SITEWORK PLAN BLANDS	LS 1.3
JUNE 13, 2019	100% CD	SITE DETAILS	LS 2.1
JUNE 13, 2019	100% CD	SITE DETAILS	LS 2.2
JUNE 13, 2019	100% CD	SITE DETAILS	LS 2.3
PLANTING			
JUNE 13, 2019	100% CD	PLANTING PLAN	LP 1.1
JUNE 13, 2019	100% CD	PLANTING PLAN	LP 1.2
JUNE 13, 2019	100% CD	PLANTING PLAN	LP 2.1

## A PROJECT BY

project manager

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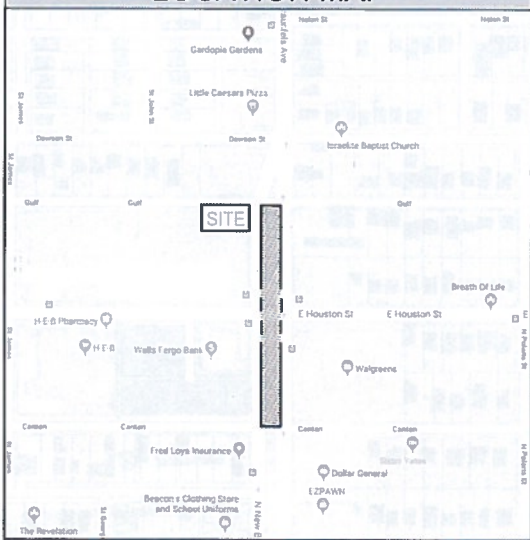
irrigation

PRA IRRIGATION

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## LOCATION MAP



## BEXAR COUNTY MAP



## REVISIONS


## ISSUE SETS


## SHEET INFORMATION

PROJECT NO.
18002
DATE ISSUED
JUNE 13, 2019
SHEET NAME
LANDSCAPE COVER SHEET
SHEET NUMBER

**LC 1.0**





GENERAL NOTES:

- 1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.
- 2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.
- 4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.
- 5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- 6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.
- 8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR (PLAN REVIEW FEES ARE PAID BY OWNER) COSTS FOR PERMITS SHALL BE INCLUDED IN THE BID. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. EXAMPLES INCLUDE BUT ARE NOT LIMITED TO ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING, IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES (INCLUDING WALLS), FIRE INSPECTIONS RELATED TO ENTRY GATES AND ASSOCIATED STRUCTURES AND OTHERS AS MAY APPLY.
- 9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE. SUCH COORDINATION ITEMS SHALL INCLUDE BUT NOT LIMITED TO: SCHEDULING WITH THE CERTIFIED SCULPTURE CONVERSATIONLIST FOR THE MARTIN LUTHER KING MONUMENT WHICH SHALL BE AFTER ALL CONSTRUCTION HAS BEEN COMPLETED.
- 10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.
- 11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.
- 12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.
- 13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTling OR EROSION THAT HAS OCCURRED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.
- 14.) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.

CONCRETE NOTES:

- 1.) ALL CONCRETE CONSTRUCTION, DETAILING AND ERECTION SHALL CONFORM TO THE FOLLOWING:
- A.) ACI #301: SPECIFICATIONS  
B.) ACI #318: BUILDING CODE REQUIREMENTS  
C.) ACI #315: MANUAL OF STANDARD PRACTICE
- 2.) CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING ASTM REQUIREMENTS:
- A.) AGGREGATE - C33  
B.) READY MIXED CONCRETE - C94  
C.) PORTLAND CEMENT - C150  
D.) FIELD CYLINDERS - C31  
E.) COMPRESSIVE TESTING - C39
- 3.) ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WEIGHING NOT MORE THAN 145 PCF AND SHALL HAVE A MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI.
- 4.) THE WATER/CEMENT RATIO FOR STRUCTURAL CONCRETE SHALL NOT EXCEED 0.53
- 5.) TOTAL AIR CONTENT SHALL BE 3 TO 5 PERCENT.
- 6.) PUMPED CONCRETE SHALL MEET THESE ADDITIONAL REQUIREMENTS:
- A.) MAXIMUM COARSE AGGREGATE SIZE - 1 INCH  
B.) INCREASE CEMENT FACTOR BY 1/2 SACK PER CUBIC YARD.  
C.) MAXIMUM SLUMP - 5 INCHES  
D.) DO NOT PUMP THROUGH AN ALUMINUM TUBE
- 7.) CONCRETE SHALL NOT BE PLACED PRIOR TO APPROVAL OF THE CONCRETE MIX DESIGNS BY THE LANDSCAPE ARCHITECT. THE MIX DESIGNS SHALL NOT BE APPROVED PRIOR TO RECEIPT OF COMPRESSIVE TEST RESULTS FROM AN INDEPENDENT TESTING LABORATORY CERTIFYING ADEQUATE STRENGTH OF THE MIX DESIGNS AT 28 DAYS.
- 8.) HORIZONTAL CONSTRUCTION JOINTS ARE ONLY ALLOWED IN SLABS OF BEAMS WITH WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. CONTROL JOINTS SHALL BE PLACED MAXIMUM 25' O.C. AS REQUIRED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- 9.) CONTRACTOR TO PROVIDE MOCKUPS AS REQUESTED ON MATERIALS SCHEDULE PRIOR TO ANY CONSTRUCTION.
- CONCRETE REINFORCEMENT
- 1.) ALL REINFORCEMENT SHALL BE DEFORMED BILLET STEEL (GR 60) CONFORMING TO ASTM A615.
- A.) REINFORCING - A615, GRADE 60, DEFORMED  
B.) WELDED WIRE MESH - A185, GRADE 60
- 2.) SPLICES OF HORIZONTAL REINFORCEMENT SHALL LAP AT LEAST 24" AND SHALL BE CONTINUOUS AROUND CORNERS. MAINTAIN AT LEAST 1" BETWEEN REINFORCING BARS AT SPLICES IN BEAMS AND SLABS. REINFORCING BARS SCHEDULED AS CONTINUOUS SHALL BE LAPPED 24".
- 3.) DETAILING FABRICATION AND ERECTION OF REINFORCING BARS SHALL COMPLY WITH THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).
- 4.) STANDARD PROTECTIVE COVER FOR REINFORCING, UNLESS NOTED OTHERWISE, SHALL BE AS OUTLINED IN ACI 318-83:
- A.) AGAINST DIRT OF FILL - 3 INCHES  
B.) EXPOSED TO EARTH OR WEATHER - 2 INCHES  
C.) SLABS AND WALLS - 1 INCH  
D.) OTHER - 1 1/2 INCHES
- 5.) PROVIDE SHOP DRAWINGS OF REINFORCING AND ACCESSORIES FOR REVIEW BY ARCHITECT. SHOP DRAWINGS SHALL CLEARLY INDICATE LOCATION, SIZE, SPACING, SPLICES AND PIECE MARK FOR ALL REINFORCING STEEL. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO PERMIT PLACEMENT OF REINFORCEMENT WITHOUT THE USE OF THE DESIGN DRAWINGS AND SHALL INCLUDE A COMPLETE BILL OF MATERIALS.
- 6.) FABRICATION OF REINFORCING STEEL SHALL NOT COMMENCE UNTIL SUBMITTALS HAVE BEEN REVIEWED BY LANDSCAPE ARCHITECT.

SIDEWALK NOTES:

- 1.) THESE PLANS INDICATE APPROXIMATE LOCATIONS OF THE CONCRETE SIDEWALKS. DIMENSIONS SHOWN ARE FROM BACK OF CURB OR PROPERTY LINE TO SIDEWALK EDGE AND ARE AT RIGHT ANGLES (OR PERPENDICULAR) TO THE CURB OR PROPERTY LINE. SIDEWALK CONTRACTOR SHALL STAKE SIDEWALK LAYOUT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. SET ELEVATIONS OF WALKS FOR POSITIVE DRAINAGE FROM PROPERTY LINE TO CURB. OWNER AND LANDSCAPE ARCHITECT SHALL MAKE FINAL APPROVAL OF FINISHED ELEVATION AND LAYOUT OF FORMS IN THE FIELD PRIOR TO CONCRETE PLACEMENT.
- 2.) CONTRACTOR SHALL USE FIBERGLASS OR THIN WOOD FORMS TO CREATE SMOOTH AND UNIFORM CURVES ON MEANDERING SIDEWALKS UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- 3.) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. CONCRETE AND REINFORCING SHALL MEET ALL OTHER APPLICABLE CRITERIA IN THE CONCRETE AND REINFORCEMENT NOTES.
- 4.) CONTRACTOR TO TIE ALL SIDEWALKS INTO EXISTING WALKS WITH A SMOOTH TRANSITION AND TO MATCH EXISTING WALKS IN COLOR AND FINISH.
- 5.) CONTRACTOR SHALL COORDINATE SIDEWALK CONSTRUCTION WITH OTHER CONTRACTORS WORKING SIMULTANEOUSLY.
- 6.) LOCATIONS OF ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD. NOTIFY OWNER OF ANY ELEVATION ADJUSTMENT REQUIRED OF MANHOLES OR UTILITY BOXES. THE APPROPRIATE UTILITY CONTRACTOR WILL MAKE ADJUSTMENT.
- 7.) STUB OUT WALKS AS SHOWN ON PLANS WITH REDWOOD EXPANSION JOINTS AND 1/2" DOWELS, 12" O.C. TO ALLOW FUTURE CONSTRUCTION. CONTRACTOR SHALL BACKFILL TO TOP OF WALK TO ENSURE NO DOWELS ARE EXPOSED.
- 8.) CONTROL JOINT LAYOUT AT WALK INTERSECTIONS HAS BEEN SHOWN DIAGRAMMATICALLY ON PLANS AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING. WALKS SHALL BE POURED IN SECTIONS WITH NO CORNERS LESS THAN 45 DEGREES TO AVOID FUTURE CRACKING.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROTECTING HIS WORK FROM VANDALISM OR GRAFFITI PRIOR TO CURING. CONTRACTOR SHALL REPLACE AS NECESSARY ANY SECTIONS OF DAMAGED WALK AT NO ADDITIONAL COST TO THE OWNER.



201 GROVETON | SATX 78210  
210.314.5582 | MPSTUDIO.IO



06.13.2019

PROJECT

MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO TX, 78202

OWNER | CLIENT

TCI- CITY OF SAN ANTONIO

114 WEST COMMERCE ST  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

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REVISIONS

ISSUE SETS

SHEET INFORMATION

PROJECT NO.

18002

DATE ISSUED

JUNE 13, 2019

SHEET NAME

GENERAL NOTES

SHEET NUMBER

LC 1.1



## MATERIALS SCHEDULE

## MASONRY

KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
M.1	PRECAST STONE CAPS 4" THICK 1/2" CHAMFER	TEXAS CREAM	SMOOTH ALL EDGES	LOCAL SOURCE	<ul style="list-style-type: none"> <li>• PROVIDE 4' X 4' MOCKUP PER DETAIL 5 / LS 2.1 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> </ul>
M.2	STONE VENEER NEW CHOCOLATE LEUDERS HAMMERED FACE, SAWN EDGES 4" HT. X LENGTH VARIES (18" MIN. - 24") 1/4" JOINTS	STANDARD SAN SABA BROWN GROUT- TEXAS CREAM	NATURAL CHOPPED STONE	AGUADO STONE 512-746-5094	<ul style="list-style-type: none"> <li>• PROVIDE 4' X 4' MOCKUP PER DETAIL 1 &amp; 5 / LS 2.1 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> </ul>
M.3	COLORLED CONCRETE SELECT GRADE INTEGRAL CONCRETE COLORANT	SG03	SMOOTH	COMPANY: BUTTERFIELD COLOR PHONE: (800) 282-3388	<ul style="list-style-type: none"> <li>• PROVIDE 4' X 4' MOCKUP PER DETAIL 1 / LS 2.2 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• CONTRACTOR TO USE SAME CONCRETE MANUFACTURER AND FORMULA FOR COLOR CONSISTENCY</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> </ul>
M.4	COLORLED CONCRETE SELECT GRADE INTEGRAL CONCRETE COLORANT	WALNUT TAUPE	SMOOTH	COMPANY: BUTTERFIELD COLOR PHONE: (800) 282-3388	<ul style="list-style-type: none"> <li>• PROVIDE 4' X 4' MOCKUP PER DETAIL 1 / LS 2.2 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• CONTRACTOR TO USE SAME CONCRETE MANUFACTURER AND FORMULA FOR COLOR CONSISTENCY</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> </ul>
M.5	COLORLED CONCRETE UNI-MIX INTEGRAL CONCRETE COLORANT	U20-SMOKE	SMOOTH	COMPANY: BUTTERFIELD COLOR PHONE: (800) 282-3388	<ul style="list-style-type: none"> <li>• PROVIDE 4' X 4' MOCKUP PER DETAIL 1 / LS 2.2 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• CONTRACTOR TO USE SAME CONCRETE MANUFACTURER AND FORMULA FOR COLOR CONSISTENCY</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> </ul>
M.6	MEXICAN BEACH PEBBLE 1"-1 1/2" MAX INSET WITH CLEAR COATING OF EPOXY	BLACK & CHARCOAL GREY	EPOXY GLAZED	LOCAL SOURCE	<ul style="list-style-type: none"> <li>• PROVIDE 3' X 3' MOCKUP PER DETAIL 7 / LS 2.3 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> <li>• CONTRACTOR MIX ROCK IN CLEAR COATED EPOXY WHEN INSTALLING &amp; APPLY ONE LAST EPOXY COATING OVER THE TOP AFTER INSET</li> </ul>
M.7	RIVER ROCK WASHED LIMESTONE 3/4" MAX	WHITES, & CREAMS	WASHED	LOCAL SOURCE	<ul style="list-style-type: none"> <li>• PROVIDE 3' X 3' MOCKUP PER DETAIL 5 / LS 2.1 FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT</li> <li>• SUBMIT STONE SAMPLES FOR APPROVAL PRIOR TO MOCK UP INSTALLATION</li> </ul>
M.8	CONCRETE CAST IN PLACE	STANDARD GRAY	BROOM	LOCAL SOURCE	• 3000 PSI MINIMUM
M.9	SAND BLASTED TEXT 1/8" DEPTH - FONT TO BE UNIVERS CONDENSED MEDIUM	BLACK	SANDBLASTED	CONTACT: DWIGHT TOTH COMPANY: SOUTHWEST MONUMENT & SIGN PHONE: (512) 331-1522	<ul style="list-style-type: none"> <li>• PROVIDE PRODUCT DATA AND SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION</li> <li>• CONTACT LANDSCAPE ARCHITECT FOR FONT TYPE OR VECTOR FILE</li> </ul>

## METAL

KEY	DESCRIPTION / MODEL NUMBER	COLOR	FINISH	CONTACT	REMARKS
T.1	BRONZE PLAQUES REPLACE EXISTING PLAQUES - CAST ALUMINUM PLAQUE WITH BLACK BACKGROUND AND RAISED SILVER LETTERS AND BORDER	BLACK - BACKGROUND SILVER - RAISED LETTERS & BORDER	STANDARD	CONTACT: DWIGHT TOTI COMPANY: SOUTHWEST MONUMENT & SIGN PHONE: (512) 331-1522	<ul style="list-style-type: none"> <li>* PROVIDE PRODUCT DATA AND SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION</li> <li>* INSTALL PER MANUFACTURER'S RECOMMENDATIONS</li> </ul>
T.2	TREE GRATES - IRONSMITH MODEL: 4808 OLYMPIAN TREE GRATE (4'X4') - CAST IRON W/ TWO 6 1/2" DIAMETER THRU-HOLE LIGHTWELLS FOR INGRADE TGL SERIES UP LIGHTS	BRONZE	GALVANIZED	CONTACT: FEDESSIA STURGIS COMPANY: BV ASSOCIATES PHONE: (800) 496-0487	<ul style="list-style-type: none"> <li>* PROVIDE PRODUCT DATA AND SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION</li> <li>* INSTALL PER MANUFACTURER'S RECOMMENDATIONS</li> </ul>

### GENERAL LEGEND

## ABBREVIATIONS

SYMBOL	DESCRIPTION
AD	AREA DRAIN
BC	BOTTOM OF CURB
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CL	CENTER LINE
CJ	CONTROL JOINT
ESMT	EASEMENT
EOP	EDGE OF PAVEMENT
EJ	EXPANSION JOINT
FOC	FACE OF CURB
FFE	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
HP	HIGH POINT
INV	INVERT OF PIPE
L O C	LIMITS OF CONSTRUCTION
N I C	NOT IN CONTRACT
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
PD	PLANTER DRAIN
PA	PLANTING AREA
PP	POWER POLE
POB	POINT OF BEGINNING
R O W	RIGHT OF WAY
TAN	POINT OF TANGENCY
SD	STORM DRAIN
SS	SANITARY SEWER
TD	TOP OF DRAIN
TPC	TOP OF POOL COPING
TC	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
UGE	UNDERGROUND ELECTRIC
U N O	UNLESS NOTED OTHERWISE
WD	WATER DEPTH
WL	WATER LEVEL

## SYMBOLS & LINE TYPES

SYMBOL	DESCRIPTION
REF: 	ENLARGEMENT AREA W/ CALLOUT
	DETAIL CALLOUT
	MATERIALS & FINISHES CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
	SITWORK LABEL
	PLANTING LABEL
	EXISTING TOPOGRAPHY - MINOR
	EXISTING TOPOGRAPHY - MAJOR
	PROPOSED TOPOGRAPHY - MINOR
	PROPOSED TOPOGRAPHY - MAJOR
	PROPOSED SPOT ELEVATION
	PROPOSED DATUM ELEVATION



201 GROVETON | SATX 78210  
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06.13.2019

## PROJECT

**MLK PLAZA**

## PLAZA IMPROVEMENTS

**PROJECT ADDRESS**

E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO TX, 78202

## OWNER : CLIENT

**TCI- CITY OF SAN ANTONIO**  
114 WEST COMMERCE ST  
SAN ANTONIO, TX 78283

**OWNER'S REPRESENTATIVE**

**PAT SCHNEIDER**  
210.207.8466  
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## REVISIONS

ISSUE SETS

## ISSUE SETS


## SHEET INFORMATION

PROJECT NO.

18002

DATE ISSUED

JUNE 13, 2019

**SHEET NAME**

## MATERIALS SCHEDULE

SHEET NUMBER

## LC 1.2

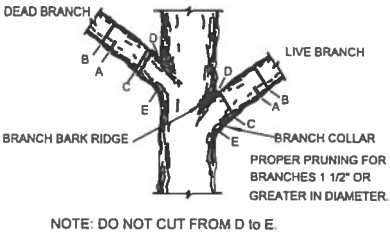
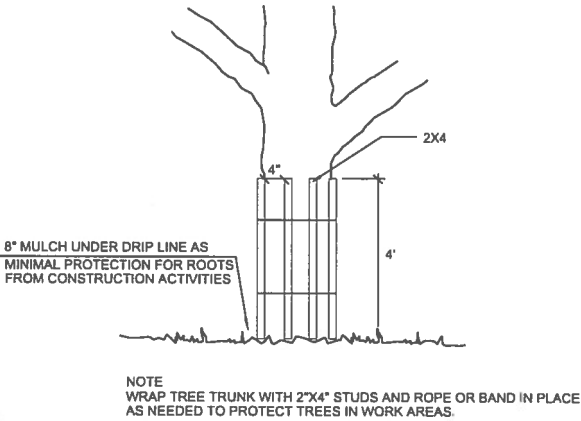






EXISTING TREE NOTES

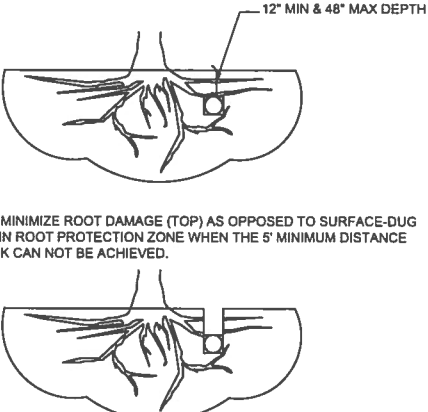
1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.



- A. FIRST CUT - TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS.  
B. SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH  
C. FINAL CUT - ALLOW FOR HEALING COLLAR BUT NO STUBS  
D. BRANCH RIDGES - INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.
- FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

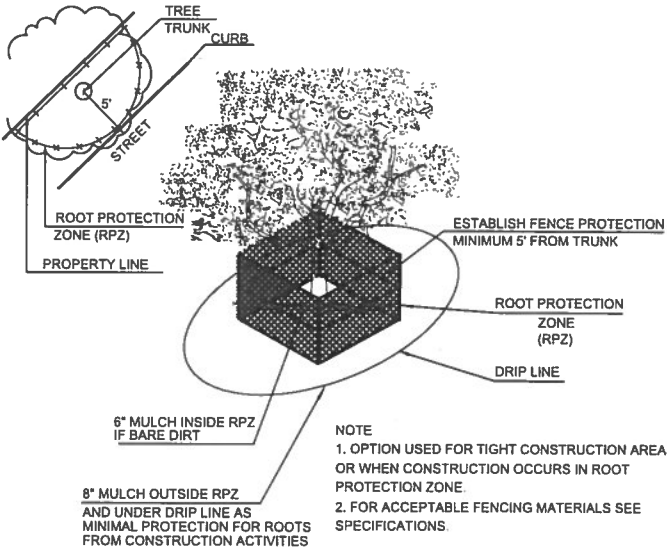
TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



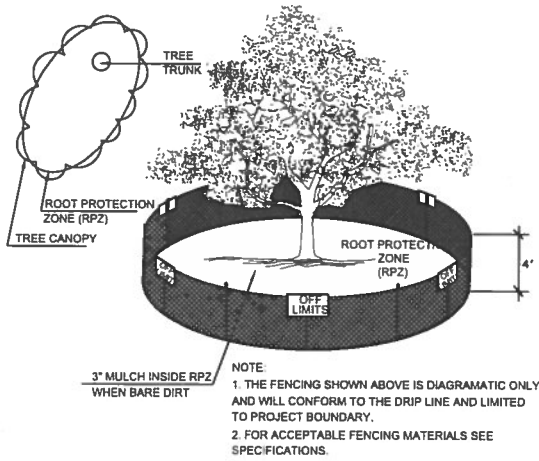
5 BORING THROUGH TREE ROOT (RPZ)  
SECTION NOT TO SCALE

4 LEVEL II B TREE PROTECTION  
ELEVATION NOT TO SCALE



3 LEVEL II A TREE PROTECTION  
ELEVATION NOT TO SCALE

2 TREE BRANCH PRUNING  
ELEVATION NOT TO SCALE



1 EXISTING TREE PROTECTION  
ELEVATION - PLAN - 3D VIEW NOT TO SCALE



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04.13.2019

PROJECT

MLK PLAZA  
PLAZA IMPROVEMENTS

PROJECT ADDRESS  
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REVISIONS

ISSUE SETS

SHEET INFORMATION

PROJECT NO.

18002

DATE ISSUED

JUNE 13, 2019

SHEET NAME

TREE PRESERVATION  
DETAILS AND NOTES

SHEET NUMBER

TP 2.1





PROJECT

### PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO TX. 78202

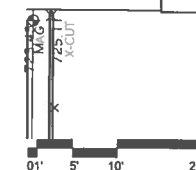
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SCALE: 1"=10'

**SPECIAL DEMOLITION NOTES:**

1. CONTRACTOR TO DEMO EXISTING SURFACING AROUND EXISTING CROSSWALK LIGHT POLE AND UTILITY BOX WITH MINIMAL IMPACT TO AVOID DAMAGING THE FOOTING FOR THE UTILITY EQUIPMENT. IF ANY EXISTING STRUCTURAL WORK IS DAMAGED CONTRACTOR TO IMMEDIATELY REPAIR THE DAMAGE

2. CONTRACTOR TO MINIMIZE ANY DAMAGE TO THE EXISTING PLAQUES WHEN REMOVING THEM FROM SITE OR REMOVING ANY EXISTING DEBRIS FROM THE PLAQUES. CONTRACTOR TO CONTACT SAN ANTONIO PARKS AND REC. OFFICIAL, TONY FORSGE, TO HAND OVER EXISTING PLAQUES WHICH WILL BE GIVEN TO THE CALLIES FAMILY.

3. EXISTING MONUMENTS TO REMAIN UNDISTURBED INCLUDING STRUCTURAL SLAB. CONTRACTOR TO PROVIDE PROTECTIVE WRAP AROUND THE MONUMENT BASE DURING DEMOLITION TO AVOID AND DAMAGE

4. EXISTING CURBS ONLY TO BE DEMOLISHED AT ONE SIDE OF THE CROSSWALK MEDIAN. OTHER PORTIONS OF EXISTING SITE CURBS TO REMAIN UNDISTURBED, WITH EXCEPTION TO POWER WASHING AT END OF CONSTRUCTION.

5. EXISTING VAULT & DOUBLE CHECK VALVE TO BE RELOCATED & RE-USED FOR THE PROJECT. CONTRACTOR TO NOT DAMAGE THE VALVE WHEN REMOVING FROM EXISTING LOCATION. REFERENCE IRRIGATION SHEETS FOR NEW LOCATION OF DOUBLE CHECK VALVE.

6. EXISTING UTILITY VAULT WITH IRRIGATION METER TO BE PRESERVED. CONCRETE AROUND VAULT TO BE REMOVED. CONTRACTOR TO RE-USE EXISTING VAULT, IRRIGATION METER, AND IRRIGATION LINES FOR NEW PROJECT DESIGN. IF ANY OF THE EXISTING EQUIPMENT IS DAMAGED IN ANY WAY, CONTRACTOR TO REPLACE WITH NEW EQUIPMENT PER THE DESIGN. REFERENCE IRRIGATION SHEETS FOR TIE INTO IRRIGATION DESIGN.

7. EXISTING FLAGPOLE AND STRUCTURE FOOTING TO REMAIN UNDISTURBED, DEMO FLATWORK AROUND FOOTING

## REVISIONS

## ISSUE SETS

## SHEET INFORMATION

PROJECT NO. \_\_\_\_\_

18002

DATE ISSUED \_\_\_\_\_

JUNE 13, 2019

**SHEET NAME**

## DEMOLITION PLAN

**SHEET NUMBER**

## LD 1.1

1 DEMOLITION  
PLAN





PROJECT

## PLAZA IMPROVEMENTS

**PROJECT ADDRESS**

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SAN ANTONIO TX. 78202

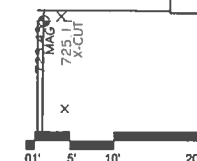
OWNER | CLIENT

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SCALE: 1"=10'

## REVISIONS

## ISSUE SETS

## SHEET INFORMATION

PROJECT NO.

18002

DATE ISSUED \_\_\_\_\_

JUNE 13, 2019

**SHEET NAME**

## GRADING PLAN

SHEET NUMBER

## LG 1.1



M.3 | CONCRETE W/  
INTEGRAL COLOR  
SG03

M.4 | CONCRETE W/  
INTEGRAL COLOR  
WALNUT TAUPE

M.5 | CONCRETE W/  
INTEGRAL COLOR  
U20 - SMOKE

M.6 | MEXICAN BEACH  
ROCK SEE  
SPECIAL NOTE #2 FOR  
INSTRUCTION

M.7 | RIVER ROCK  
WASHED LIMESTONE

M.8 | TYP. GRAY  
CONCRETE

NOTE:  
REFER TO MATERIALS SCHEDULE FOR FULL SPECIFICATIONS LC 1.2

1) CONTRACTOR TO FOLLOWING THE TRAFFIC CONTROL PLAN FOR SITE CONSTRUCTION. IF CONTRACTOR IS TO PROCEED WITH TEMPORARY STAGING WITHIN THE STREET LANE AT APPROPRIATE TIMES OF THE DAY PER THE TRAFFIC CONTROL PLAN, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY TRASH, CONSTRUCTION EQUIPMENT, DEBRIS, ETC AT THE END OF EVERY WORK DAY.

2) FOR INSTALLATION OF MEXICAN PEBBLE ROCK WITH CLEAR EPOXY, CONTRACTOR TO ENSURE THE FOLLOWING: PRIOR TO INSTALLATION CONTRACTOR TO ENSURE: STONES ARE CLEAN, THE INSTALLATION AREA IS FREE OF DEBRIS OR DIRT, REMOVE OR REPAIR ANY BROKEN CONCRETE AND FILL OR REPAIR ALL CRACKS, SITE IS TO BE COMPLETELY DRY. APPLY PROPER CHEMICALS TO CONCRETE FOR PROFILING OF SURFACE BONDING. CONTRACTOR TO MIX AND INSTALL STONES AND EPOXY PER EPOXY MANUFACTURER RECOMMENDATIONS FOR COMMERCIAL USE INCLUDING SAFETY STANDARDS. TOP GRADE TO HAVE AN EVEN FINISH WITH NO TROWEL MARKS OR STRAY ROCKS STICKING UP. AFTER INSTALLING STONES INTO PLACE, CONTRACTOR TO APPLY ONE LAST COATING OF EPOXY WITH ROLLER OVER THE SURFACE. ALLOW TO CURE FOR A MINIMUM OF 36 HOURS UNTIL CONTINUED USE ON SITE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROVIDE A FLOOD-COAT EPOXY AS IT WILL DISCOLOR THE STONES.

3) NEW CURB TO REPLACE THE DEMOLISHED RAMP AND ATTACH TO EXISTING CURB AT EVEN GRADES ON BOTH SIDES.

4) PRESERVED EXISTING UTILITY BOX AND IRRIGATION METER, FOR NEW IRRIGATION SYSTEM. REFERENCE IRRIGATION SHEETS FOR DESIGN.

5) NEW CURB WITHIN CROSSWALK TO VARY IN HEIGHT UNTIL EVENTUALLY TAPERING TO FLUSH WITH PLAZA WALKWAY.

6) PRESERVE POWER BOX AND CROSSWALK LIGHTING ALONG WITH THE UTILITY LINES, COLORED CONCRETE TO BE POURED INTO PLACE AROUND POWER BOX AND CROSSWALK LIGHTING.

7) EXISTING FLAG POLE & FOOTING TO REMAIN. CONTRACTOR TO SHAVE OFF FOOTING TOP TO MEET NEW CONCRETE GRADE AS NEEDED. CONTRACTOR TO ALSO ADD A 1/2" EXP. JOINT AROUND FLAGPOLE STRUCTURAL SLAB.



06-13-2019

PROJECT

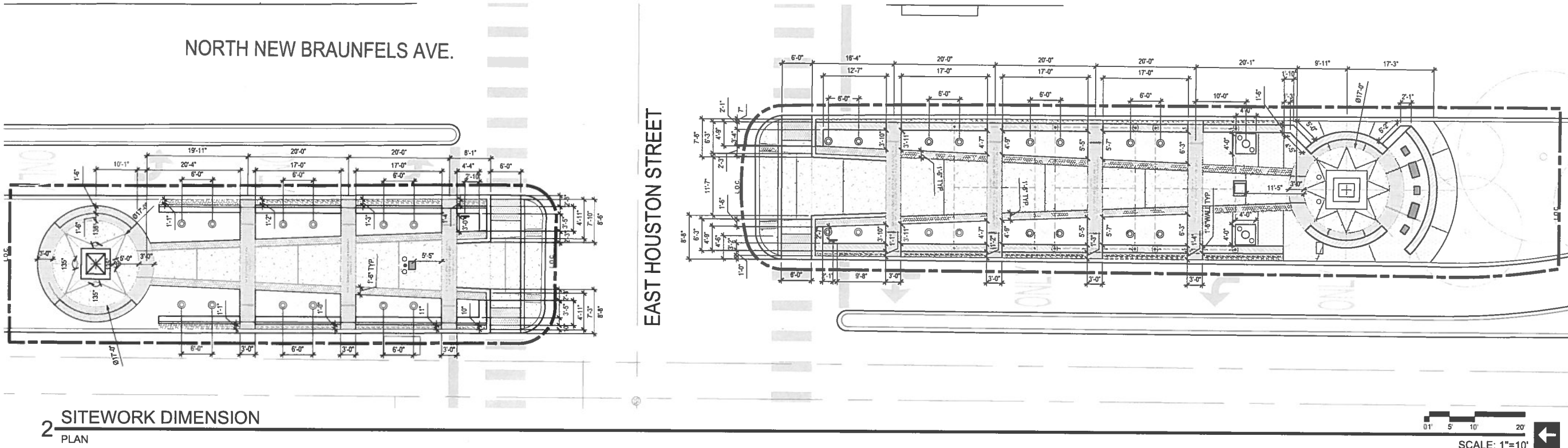
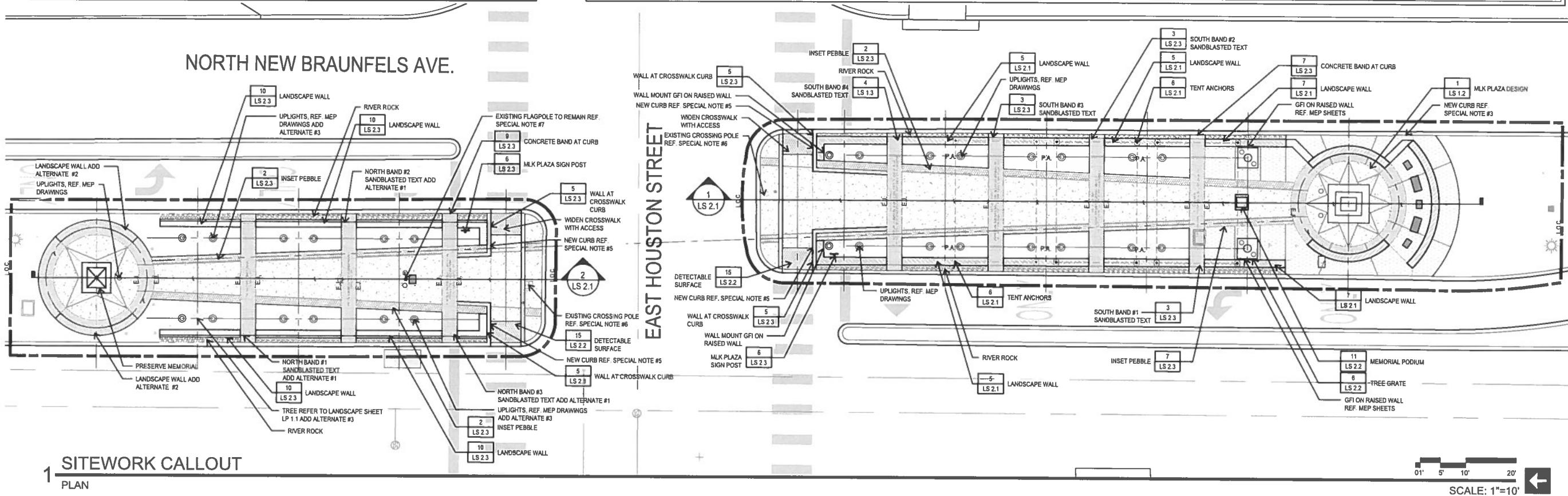
MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS  
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REVISIONS

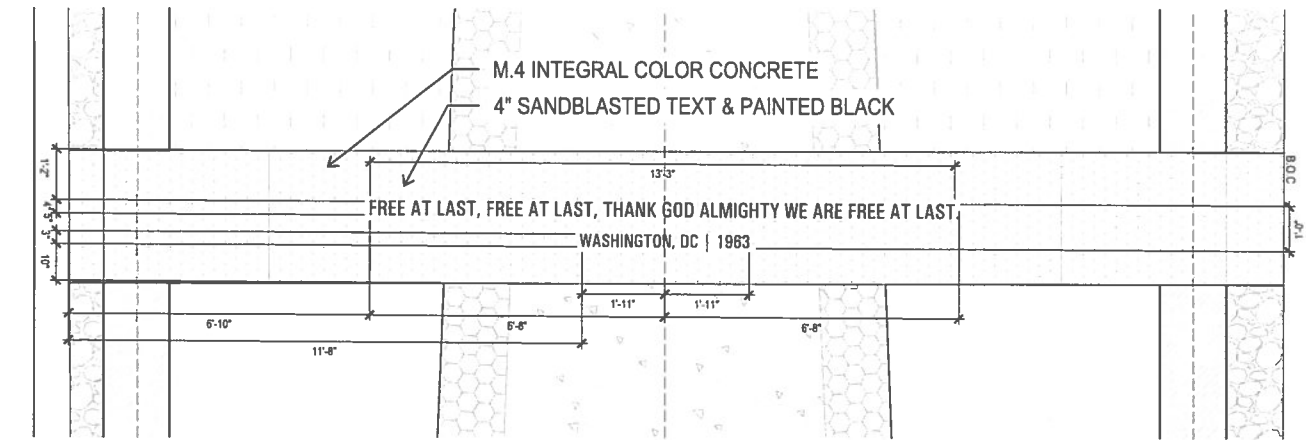
ISSUE SETS

SHEET INFORMATION

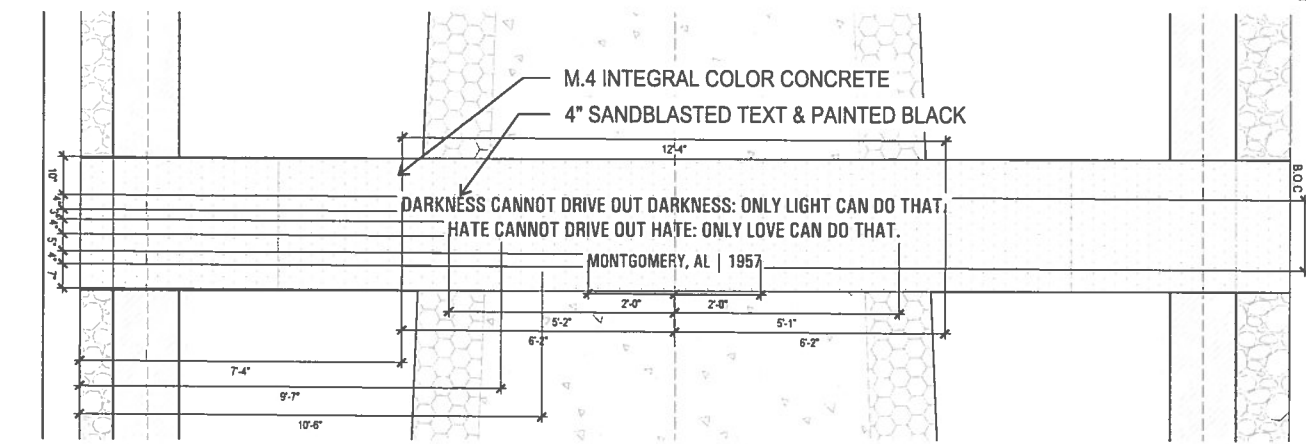
PROJECT NO.	18002
DATE ISSUED	JUNE 13, 2019
SHEET NAME	SITE WORK PLAN
SHEET NUMBER	LS 1.1



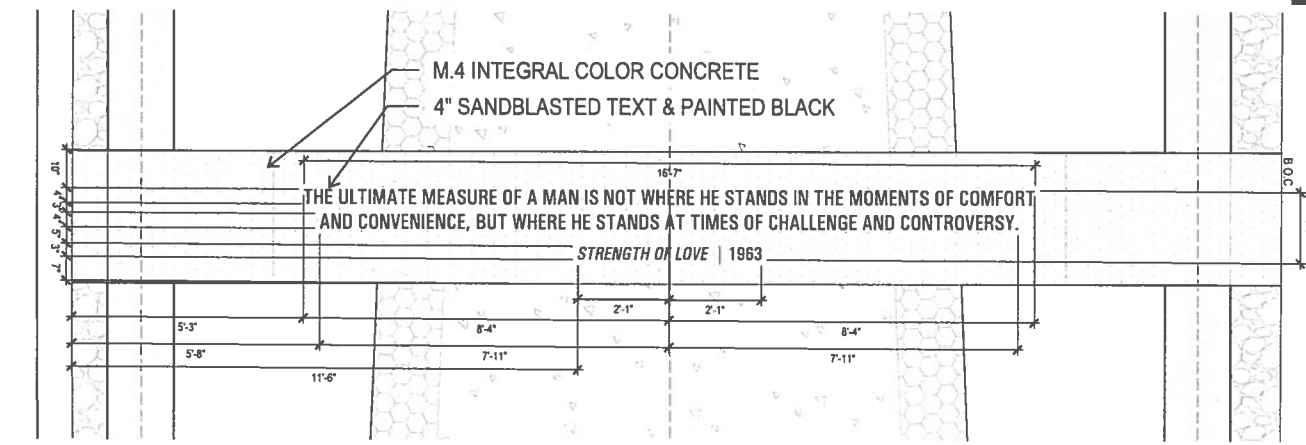




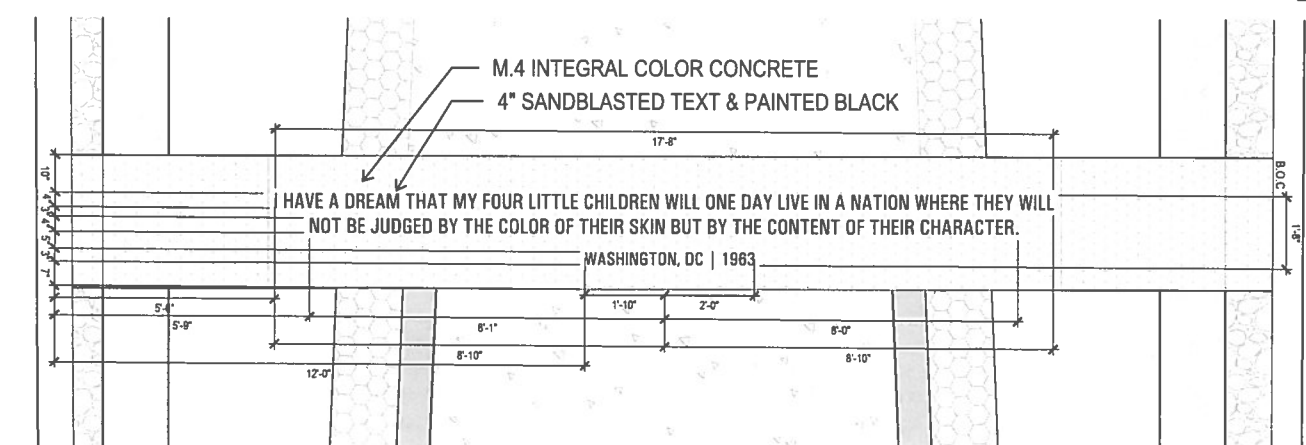
1 SOUTH BAND #1  
PLAN  
SCALE: 6"=1'



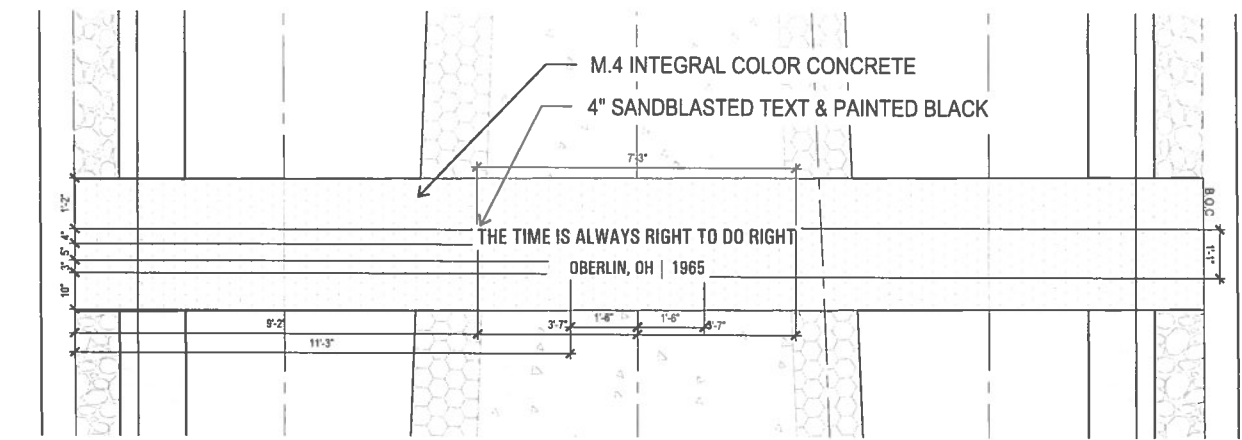
2 SOUTH BAND #2  
PLAN  
SCALE: 6"=1'



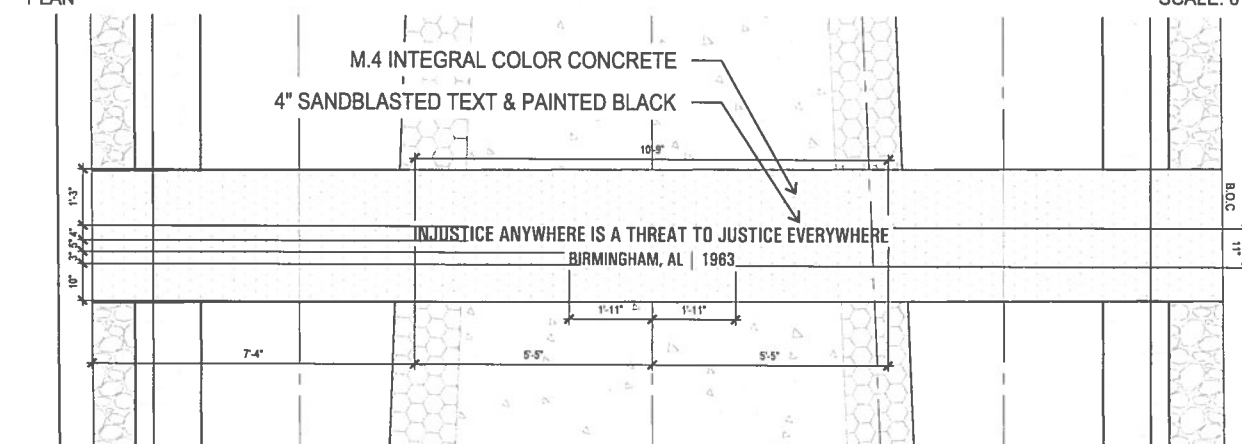
3 SOUTH BAND #3  
PLAN  
SCALE: 6"=1'



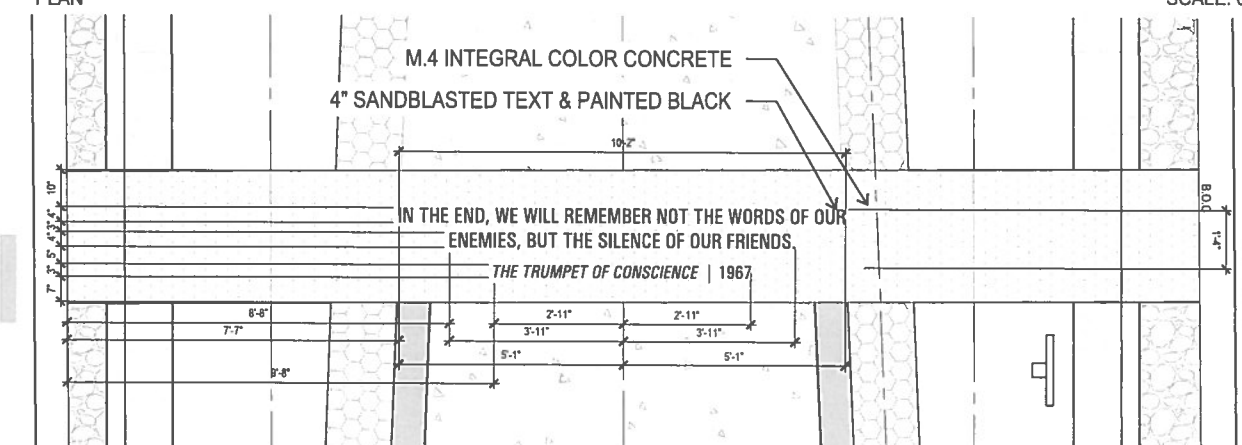
4 SOUTH BAND #4  
PLAN  
SCALE: 6"=1'



5 NORTH BAND #1  
PLAN  
SCALE: 6"=1'



6 NORTH BAND #2  
PLAN  
SCALE: 6"=1'



7 NORTH BAND #3  
PLAN  
SCALE: 6"=1'

**SAND BLASTING SPECIAL NOTES**

- 1) ALL QUOTES SUBJECT TO CHANGE. CONTRACTOR TO CONFIRM WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- 2) CONTRACTOR TO PROVIDE LETTER CUT OUT MOCK UP FOR OWNER AND LANDSCAPE ARCHITECTURE APPROVAL PRIOR TO SAND BLASTING.
- 3) FONT TYPE TO BE UNIVERS CONDENSED MEDIUM.
- 4) REFERENCE MATERIALS SCHEDULE 'M.9' FOR SAND BLASTED TEXT CONTACT



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PROJECT

**MLK PLAZA**  
PLAZA IMPROVEMENTS

PROJECT ADDRESS  
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REVISIONS

NO.	DESCRIPTION	DATE

SHEET INFORMATION

PROJECT NO.  
18002  
DATE ISSUED  
JUNE 13, 2019  
SHEET NAME

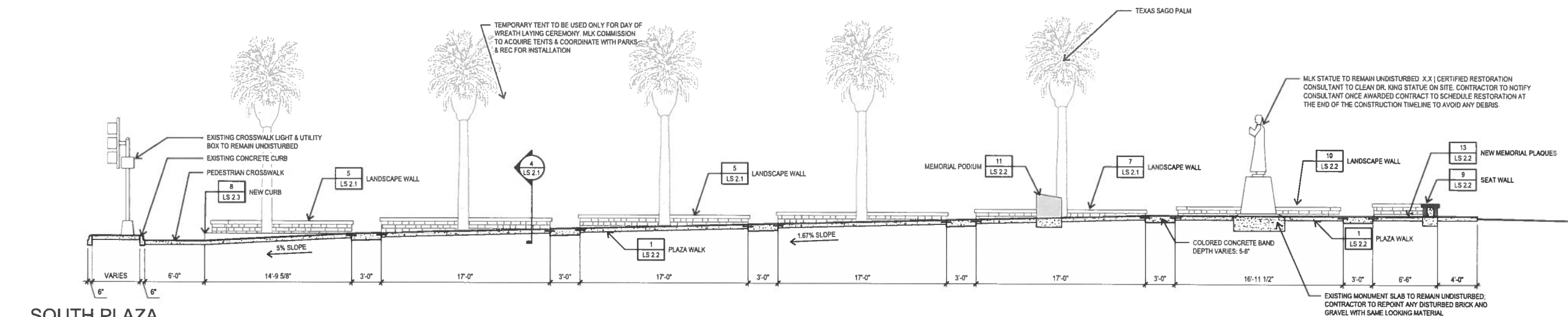
QUOTES SITE WORK PLAN

SHEET NUMBER

**LS 1.3**

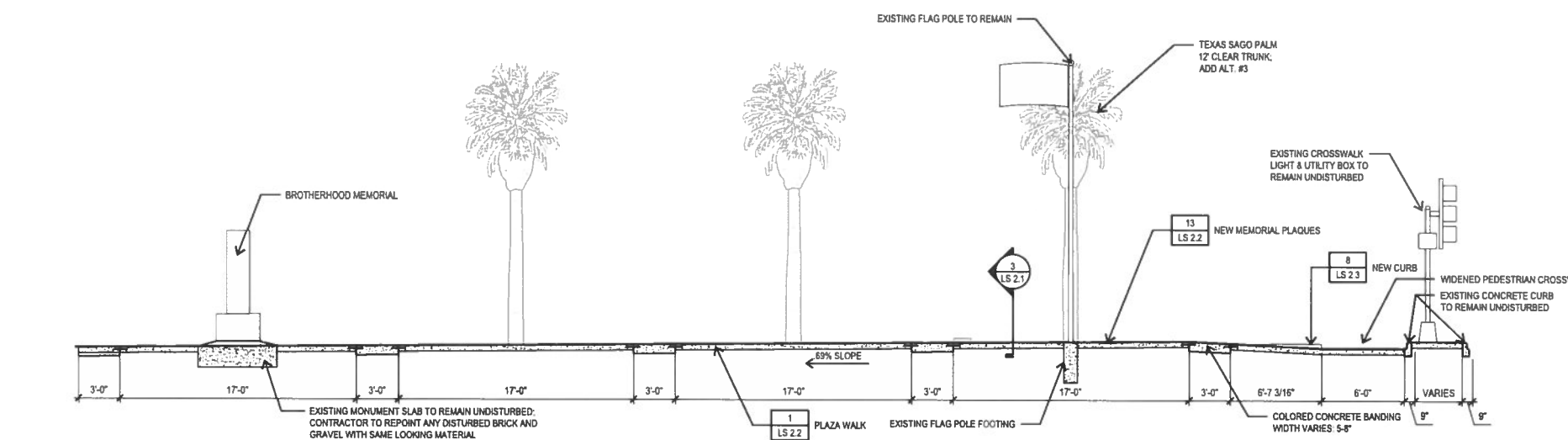
1 SOUTH PLAZA  
SECTION

SCALE: 3/16"=1'-0"



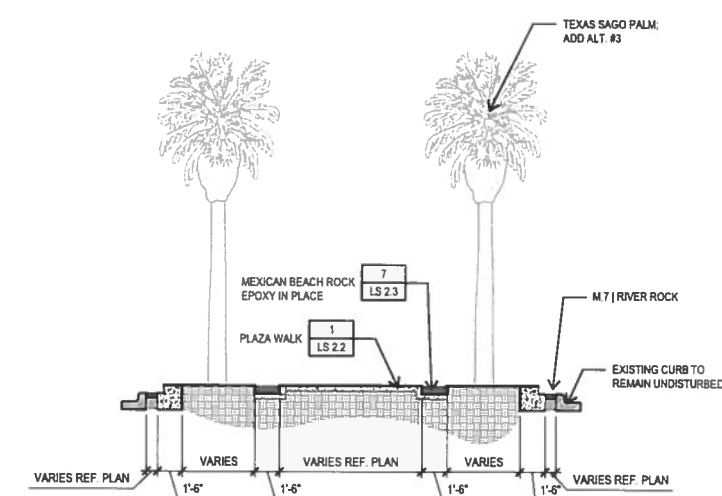
2 NORTH PLAZA  
SECTION

SCALE: 3/16"=1'-0"



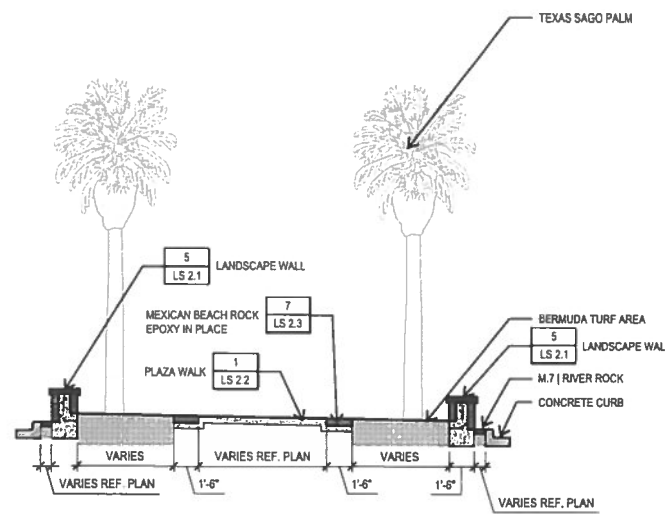
3 NORTH PLAZA  
SECTION

SCALE: 3/16"=1'-0"



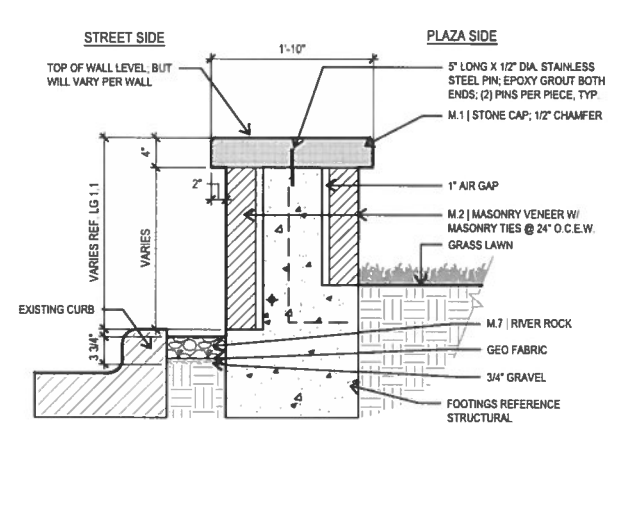
4 SOUTH PLAZA  
SECTION

SCALE: 3/16"=1'-0"



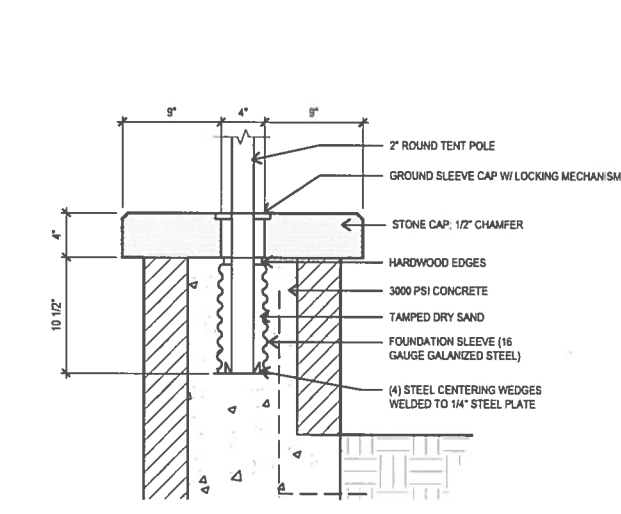
5 LANDSCAPE WALL @ TURF  
SECTION

SCALE: 1"=1'-0"



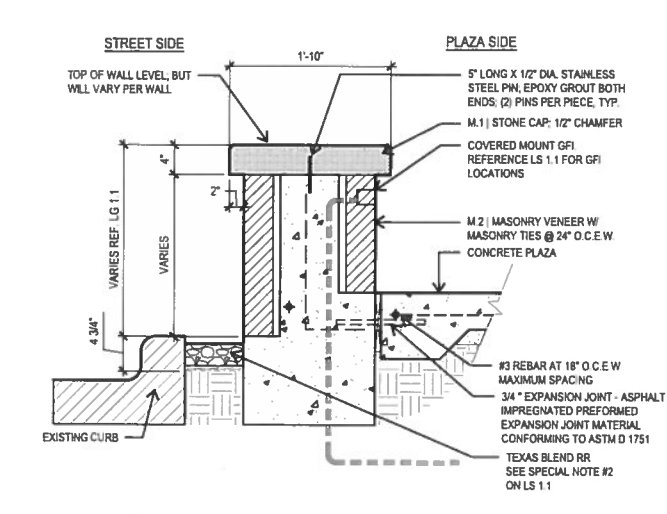
6 TENT SLEEVE @ LANDSCAPE WALL  
SECTION

SCALE: 1-1/2"=1'-0"



7 LANDSCAPE WALL @ PLAZA  
SECTION

SCALE: 1"=1'-0"



REVISIONS

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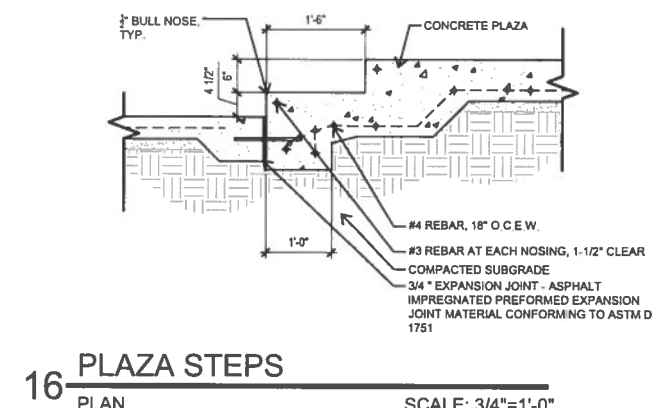
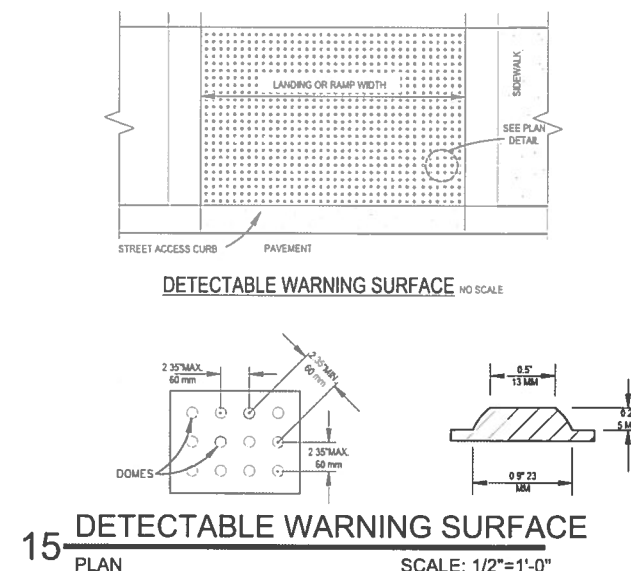
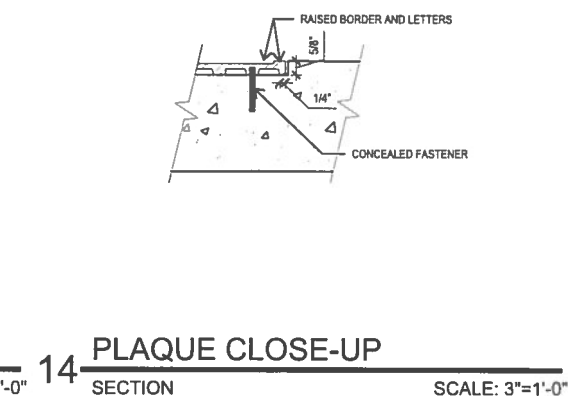
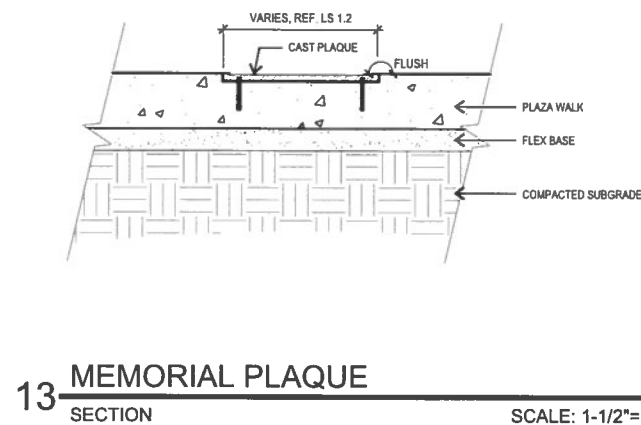
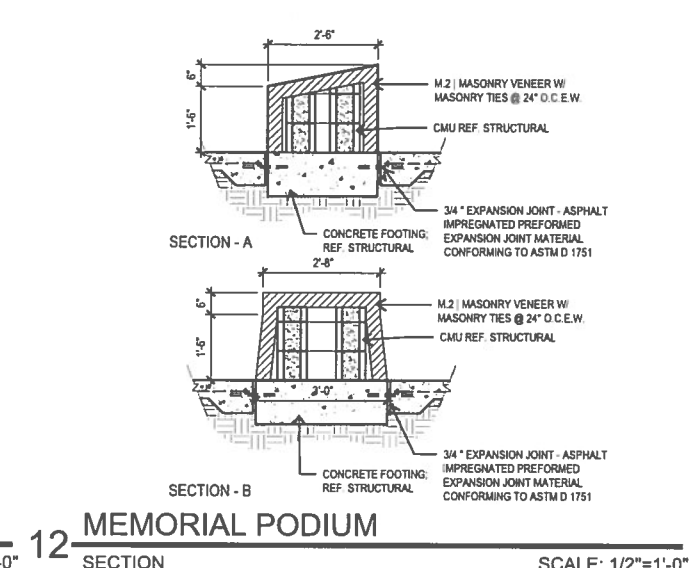
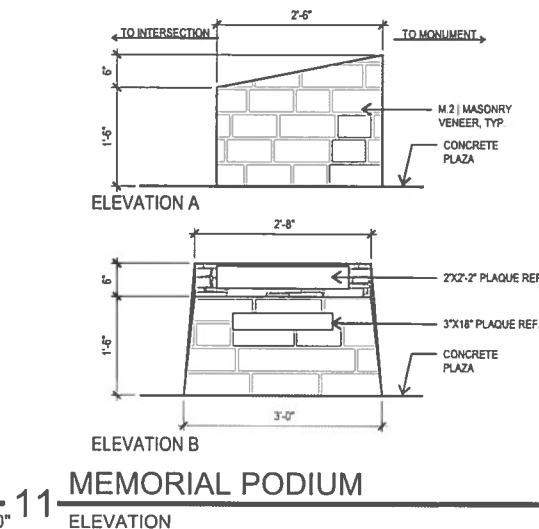
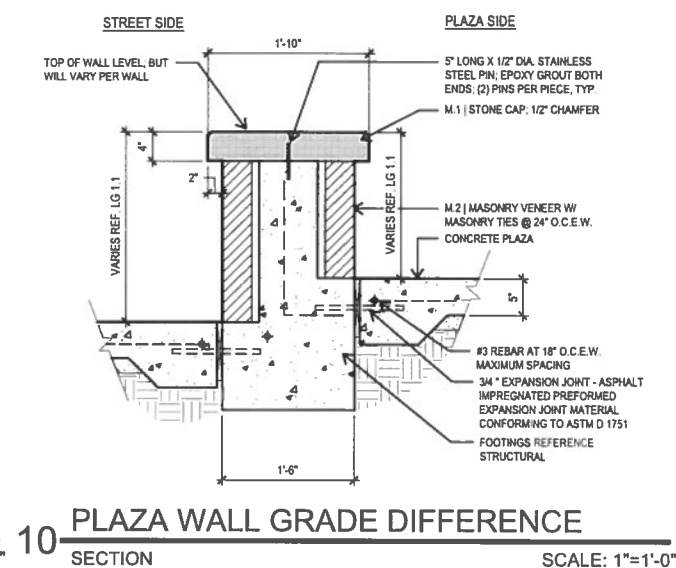
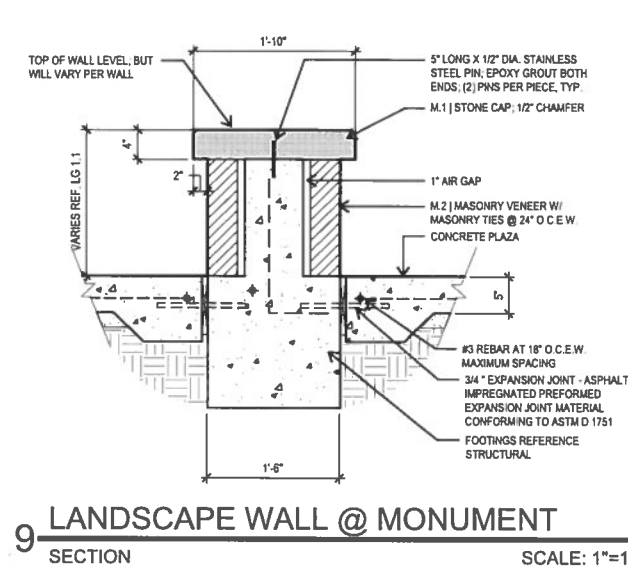
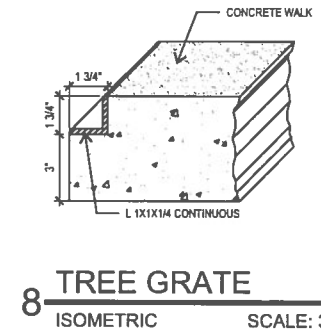
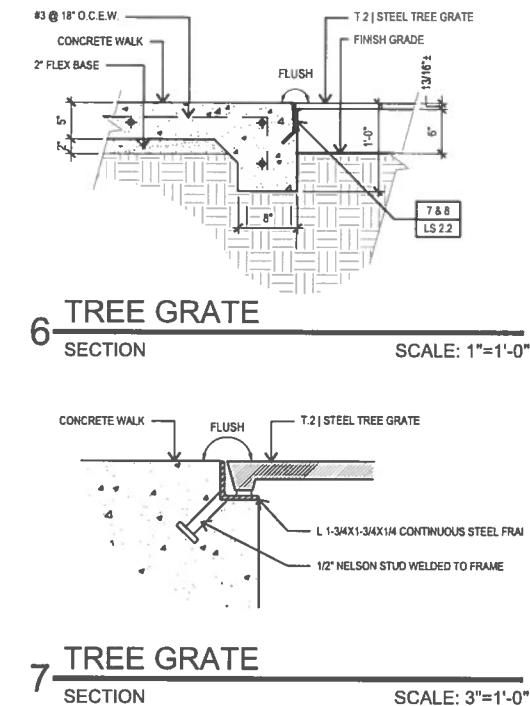
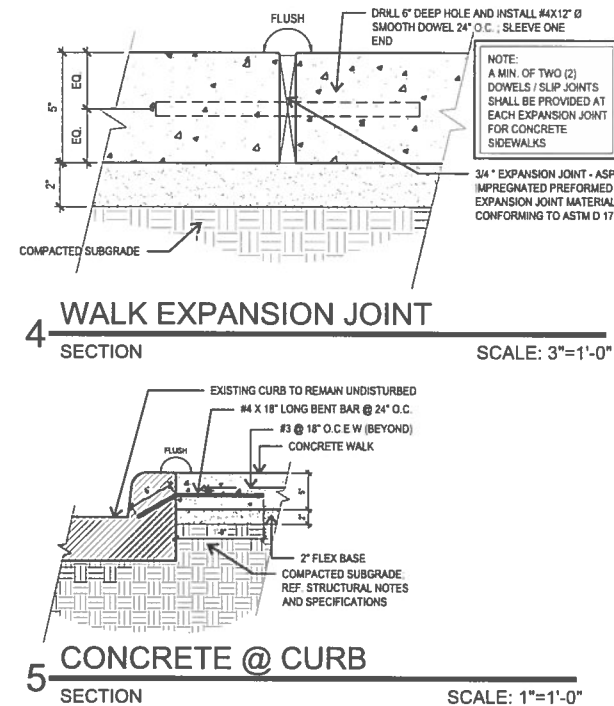
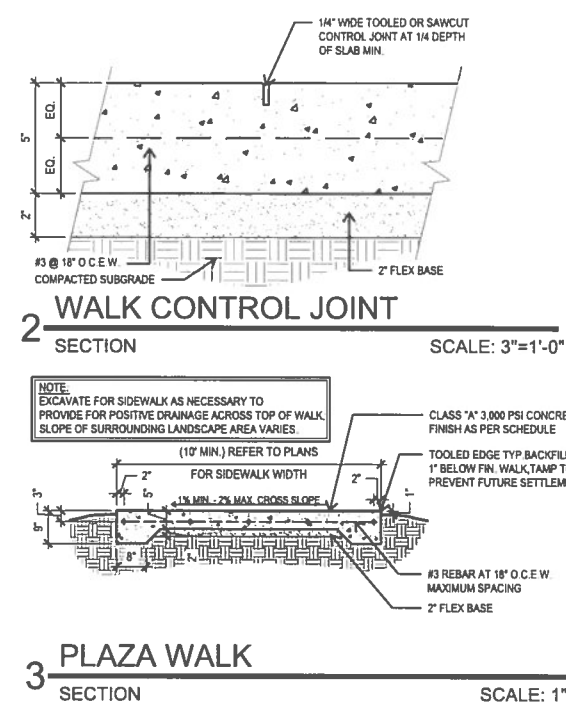
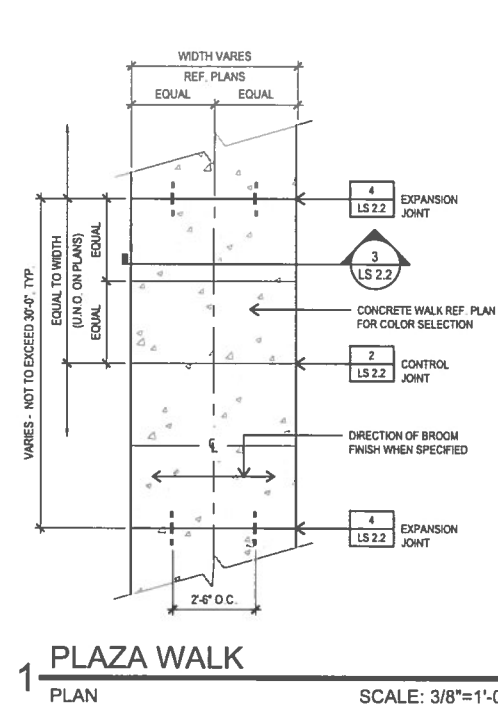
SHEET NAME

SITE DETAILS

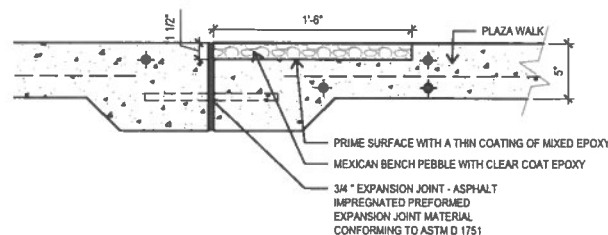
SHEET NUMBER

LS 2.1



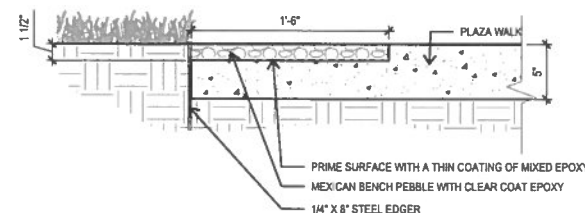
[illegible]

NOTE:  
AFTER INSTALLING STONES INTO PLACE, CONTRACTOR TO APPLY ONE LAST COATING OF EPOXY WITH ROLLER OVER THE SURFACE. ALLOW TO CURE FOR A MINIMUM OF 36 HOURS UNTIL CONTINUED USE ON SITE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROVIDE A FLOOD-COAT EPOXY AS IT WILL DISCOLOR THE STONES.

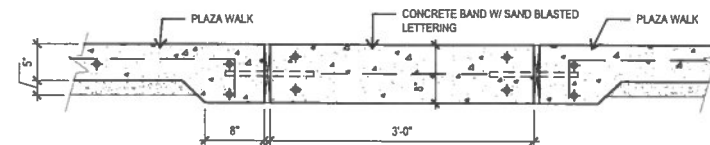


# 1 INSET PEBBLE @ PLAZA

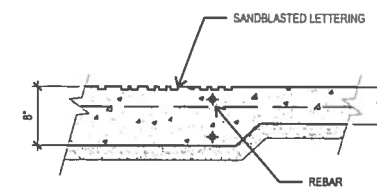
NOTE:  
AFTER INSTALLING STONES INTO PLACE, CONTRACTOR TO APPLY ONE LAST COATING OF EPOXY WITH ROLLER OVER THE SURFACE. ALLOW TO CURE FOR A MINIMUM OF 36 HOURS UNTIL CONTINUED USE ON SITE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROVIDE A FLOOD-COAT EPOXY AS IT WILL DISCOLOR THE STONES.



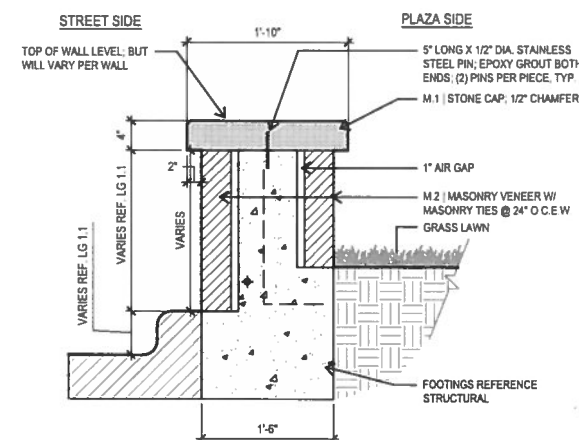
2 INSET PEBBLE @ LAWN  
SECTION SCALE: 1-1/2"=1'-0"



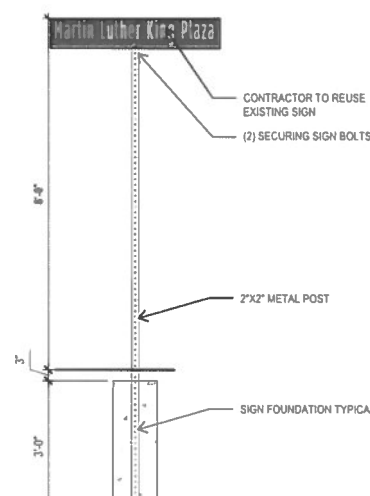
3 CONCRETE BAND W/ SANDBLASTED TEXT  
SECTION SCALE: 1"=1'-0"



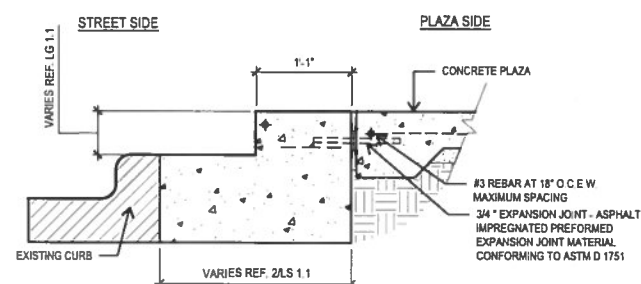
4 CONCRETE BAND



5 WALL @ CROSSWALK CURB  
SECTION SCALE: 1"=1'-0"

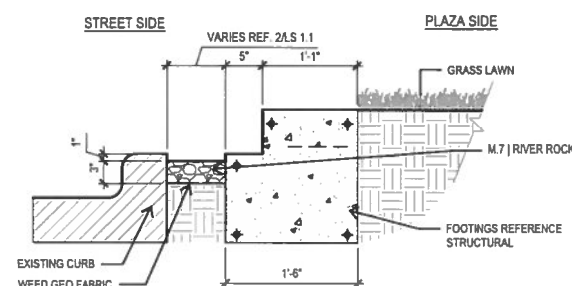


6 **MLK PLAZA SIGN POST**



7 CONCRETE WALL @ CONCRETE BAND  
SECTION SCALE: 1"=1'-0"

NOTE:  
ALL LABELS WITH THE "+-" SYMBOL SHALL BE VIEWED AS ADD ALTERNATE #2 FOR THE NORTH PLAZA ONLY



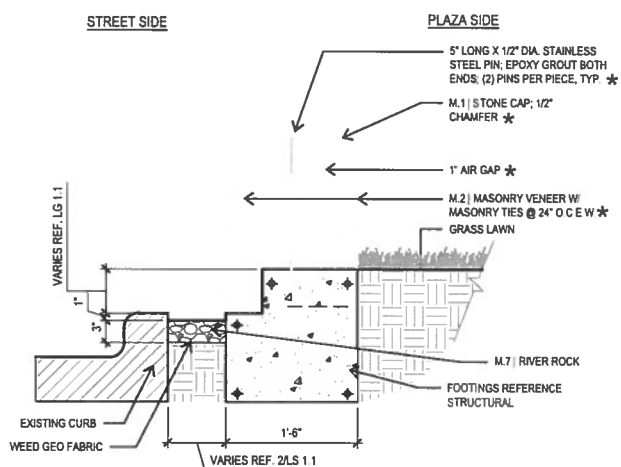
8 NORTH PLAZA-CONCRETE WALL @ LAWN  
SECTION SCALE: 1"=1'-0"

This diagram illustrates the cross-section of a concrete plaza and masonry wall assembly. The assembly consists of the following layers and components:

- LANDSCAPE WALL BEYOND \***: The outermost layer, shown as a dashed line.
- M.1) STONE CAP, 1/2" CHAMFER \***: A stone cap layer with a 1/2" chamfer, located between the landscape wall and the masonry veneer.
- M.2) MASONRY VENEER W/ MASONRY TIES @ 24" O.C.E.W \***: A masonry veneer layer with masonry ties spaced at 24" on center, embedded in the concrete.
- CONCRETE PLAZA**: The main concrete slab, shown with aggregate and rebar.
- #3 REBAR AT 18" O.C.E.W MAXIMUM SPACING**: Reinforcing bars spaced at 18" on center, embedded in the concrete.
- 3/4" EXPANSION JOINT - ASPHALT IMPREGNATED PREFORMED EXPANSION JOINT MATERIAL CONFORMING TO ASTM D 1751**: An expansion joint material located at the edge of the concrete plaza.
- EXISTING CURB**: The existing curb, shown with hatching.
- VARIABLES**:
  - VARIES REF. LG 11**: Vertical dimension for the landscape wall and stone cap.
  - 1'-1"**: Horizontal dimension for the masonry veneer and stone cap.
  - VARIES REF. ZLS 1 1**: Horizontal dimension for the concrete plaza.

7 ADD ALTERNATE #2  
NORTH PLAZA-CONCRETE WALL @ CONCRETE BAND  
SECTION SCALE: 1"=1'-0"

NOTE:  
ALL LABELS WITH THE "\*" SYMBOL SHALL BE VIEWED AS ADD ALTERNATE #2 FOR THE NORTH PLAZA ONLY



8 ADD ALTERNATE #2  
NORTH PLAZA-CONCRETE WALL @ LAWN  
SECTION SCALE: 1"=1'-0"

[illegible]

## LS 2.3

201 GROVETON | SATX 78210  
210.314.5582 | MPSTUDIO.IG



04-13-20

PROJECT

**MLK PLAZA**

### PLAZA IMPROVEMENTS

PROJECT ADDRESS

E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO TX. 78202

OWNER | CLIENT

**TCI- CITY OF SAN ANTONIO**  
114 WEST COMMERCE ST  
SAN ANTONIO, TX 78283

OWNER'S REPRESENTATIVE

PAT SCHNEIDER

210.207.8466  
Patrick.Schneider@sanantonio.gov



MITIGATION TREES					
CalloUT	QUANTITY	COMMON NAME BOTANICAL NAME	TREE SIZE	INCHES APPLIED TO LOT	TOTAL MITIGATED
TSP	16	TEXAS SABAL PALM	4"	4"	64"
TOTAL MITIGATION					64"



201 GROVETON | 5ATX 78210  
210.314.5582 | MPSTUD.IO



PROJECT

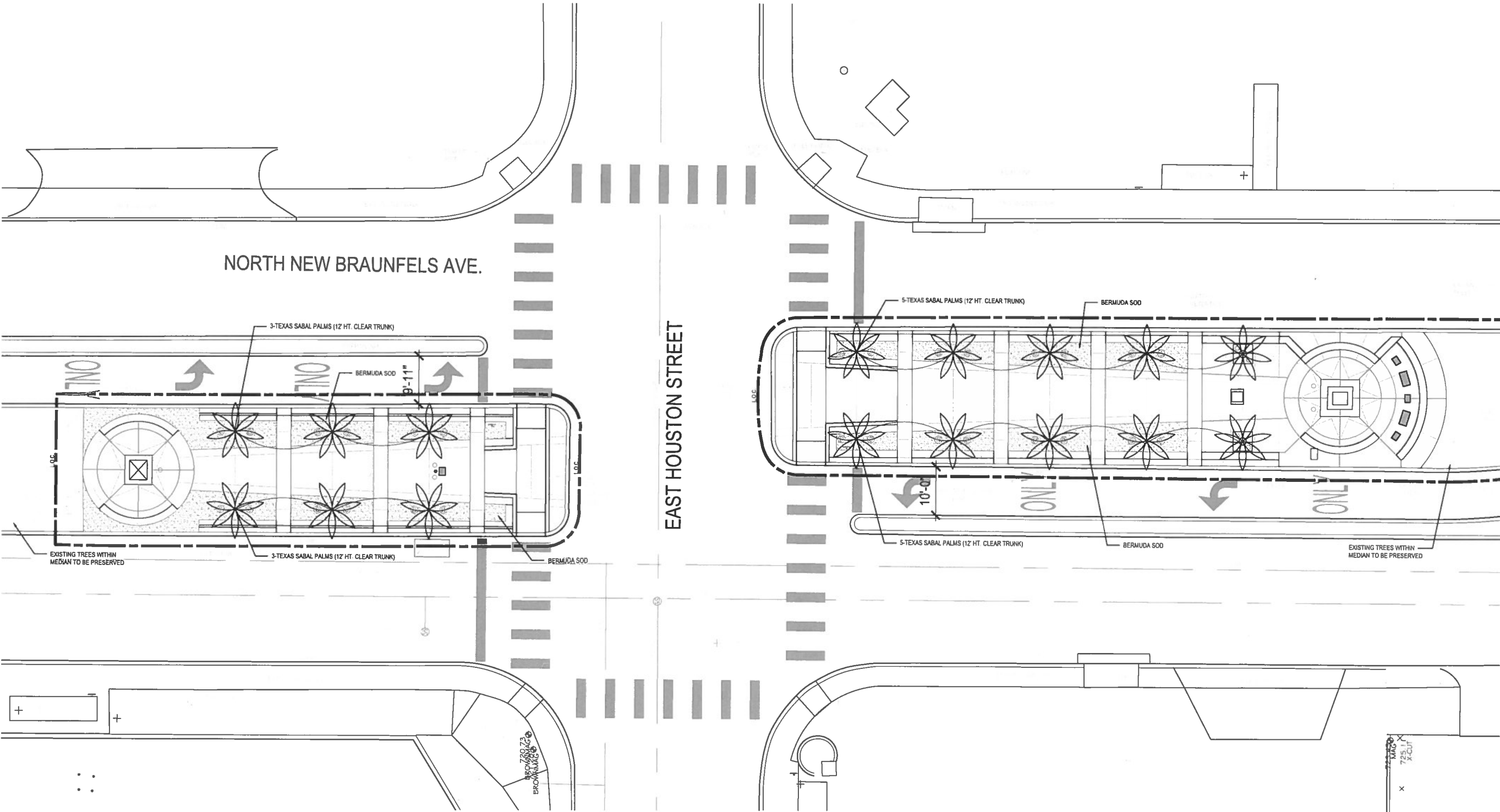
MLK PLAZA

PLAZA IMPROVEMENTS

PROJECT ADDRESS  
E. HOUSTON ST. & N. NEW BRAUNFELS AVE.  
SAN ANTONIO TX. 78202

OWNER | CLIENT  
TCI- CITY OF SAN ANTONIO  
114 WEST COMMERCE ST  
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OWNER'S REPRESENTATIVE  
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Patrick.Schneider@sanantonio.gov



REVISIONS

ISSUE SETS

SHEET INFORMATION

PROJECT NO.

18002

DATE ISSUED

JUNE 13, 2019


SHEET NAME

LANDSCAPE PLAN

SHEET NUMBER

LP 1.1



TURF/ NATIVE SEED				
SYMBOL	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
	FIELD VERIFY	419 TIF BERMUDA SOD	N/A	SOD REF LP 2 2 NOTES



## PLAZA IMPROVEMENTS

Patrick.Schneider@sanantonio.gov

SHEET INFORMATION

SHEET NUMBER

## LP 2.1



