#### HISTORIC AND DESIGN REVIEW COMMISSION

August 07, 2019

HDRC CASE NO: 2019-428

**ADDRESS:** 11030 RUIDOSA ST

**LEGAL DESCRIPTION:** NCB 15647 BLK 18 LOT 37 VILLA CORONADO PARK

**ZONING:** R-4 **CITY COUNCIL DIST.:** 3

**APPLICANT:** Justin Sherwood/Open Air Studios

**OWNER:** Pat Schneider/CITY OF SAN ANTONIO

**TYPE OF WORK:** Park improvements APPLICATION RECEIVED: July 03, 2019 September 1, 2019

CASE MANAGER: Adam Rajper

**REOUEST:** 

The applicant is requesting a Certificate of Appropriateness for approval to carry out various park improvements, including the addition of 17 new parking spaces, construction of a new sidewalk along the back curb of the new parking spaces, replacement of existing parking lot lighting with new LED light fixtures, installation of a new parking lot light post and LED fixture, and installation of new solar lights along the existing walking trail.

#### **APPLICABLE CITATIONS:**

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

#### UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

- (a) Site and Setting.
- (1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.
- (2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.
- (3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.
- (4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.
- (b) Building Design.
- (1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

- (2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.
- (3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.
- (4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.
- (5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.
- (6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.
- (7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.
- (8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

#### **FINDINGS:**

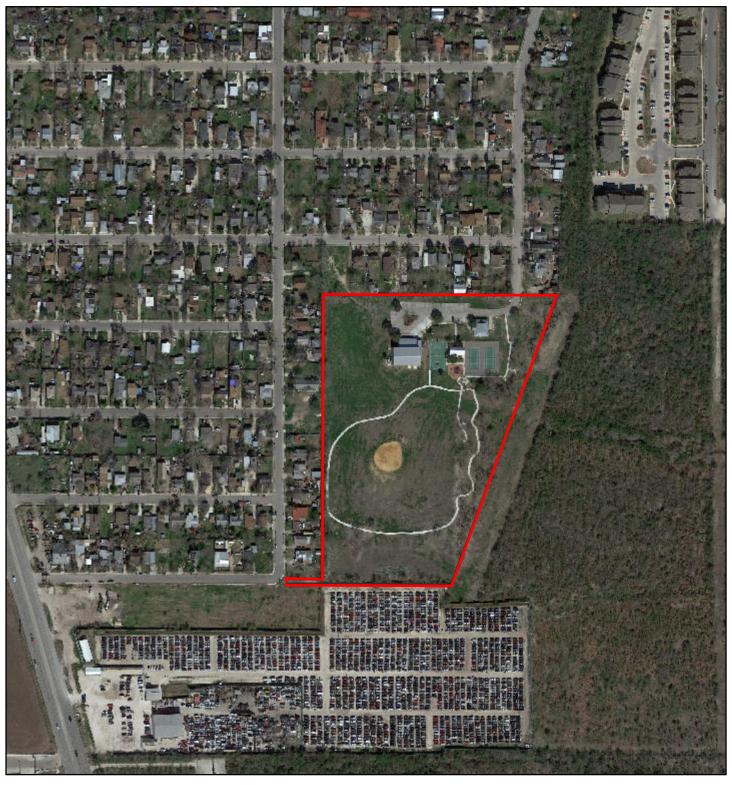
- a. The property located at 11030 Ruidosa, southeast of Downtown, is a public park with the common name of Villa Coronado Park. The applicant is requesting approval to carry out various park improvements.
- b. PARK IMPROVEMENTS The Applicant has proposed various park improvements, including the addition of 17 new parking spaces, construction of a new sidewalk along the back curb of the new parking spaces, replacement of existing parking lot lighting with new LED light fixtures, installation of a new parking lot light post and LED fixture, and installation of new solar lights along the existing walking trail. Staff finds the proposal consistent with the UDC.
- c. ARCHAEOLOGY The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

#### **RECOMMENDATION:**

Staff recommends approval of the proposed park improvements based on findings a through c with the following stipulation:

i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

#### 11030 Ruidosa St



July 31, 2019

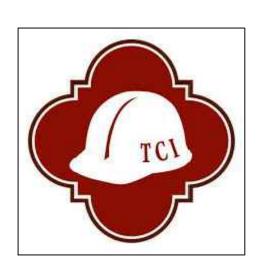
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# CITY OF SAN ANTONIO

# VILLA CORONADO PARK IMPROVEMENTS

11030 RUIDOSA STREET SAN ANTONIO, TEXAS



DATE OF ISSUE: 06/25/2018

PROJECT NUMBER

CSA20174

**FUNDING** 

2017 BOND PROGRAM

**CITY COUNCIL** 

**MAYOR** 

RON NIRENBERG

# COUNCIL

ROBERTO TREVINO	DISTRICT 1
JADA ANDREWS-SULLIVAN	DISTRICT 2
REBECCA VIAGRAN	DISTRICT 3
DR. ADRIANA ROCHA GARCIA	DISTRICT 4
SHIRLEY GONZALES	DISTRICT 5
MELISSA CABELLO HAVRDA	DISTRICT 6
ANA SANDOVAL	DISTRICT 7
MANNY PELAEZ	DISTRICT 8
JOHN COURAGE	DISTRICT 9
CLAYTON PERRY	DISTRICT 10

# **CITY MANAGER**

**ERIK WALSH** 

# TCI DIRECTOR

MIKE FRISBIE

## PARKS DIRECTOR

XAVIER URRUTIA

# PROJECT MANAGER

XAVIER URRUTIA PARKS DIRECTOR PH. # 210-207-8480

# PRIME CONSULTANT

OPEN AIR STUDIOS, LLC LANDSCAPE ARCHITECT PH. # 210-908-6736

# CIVIL ENGINEER

KIMLEY-HORN & ASSOC. PH. # 210-321-3435

# MEP ENGINEER

CNG ENGINEERING PH. # 210-224-8841

# OUR MISSION: THROUGH INNOVATION AND DEDICATION, WE BUILD AND MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

# TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT

# SHEET INDEX

LANDSCAPE ARCHITECTURE
TP.01 TREE PRESERVATION PLAN
TP.02 TREE PRESERVATION DETAILS
D1.01 DEMOLITION PLAN

## **CIVIL ENGINEER**

C1.0 EROSION CONTROL PLAN
C1.1 EROSION CONTROL DETAILS
C2.0 GRADING PLAN
C3.0 PAVING PLAN
C3.1 PAVING DETAILS

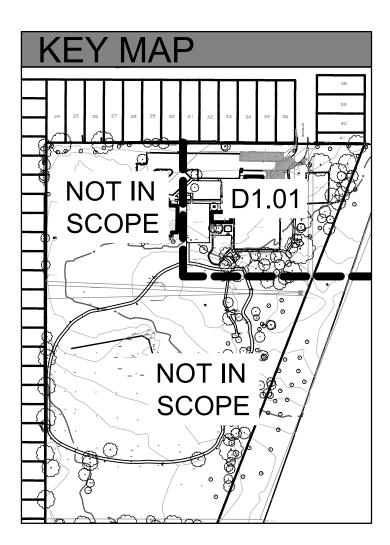
#### LANDSCAPE ARCHITECTURE

L1.01 MATERIALS PLAN
L1.02 MATERIALS PLAN
L1.03 MATERIALS PLAN
L1.04 MATERIALS PLAN
L1.05 MATERIALS PLAN
L2.01 TYPICAL LIGHT DETAILS
L3.01 PLANTING PLAN
L4.01 IRRIGATION PLAN
L5.01 E.P.I.C. SHEET

#### MECHANICAL / ELECTRICAL / PLUMBING

E1.00 ELECTRICAL SYMBOLS & ABBREVIATIONS E1.01 ELECTRICAL SITE PLAN E1.02 PHOTOMETRIC CALCULATIONS E2.01 ELECTRICAL SCHEDULES & DETAILS

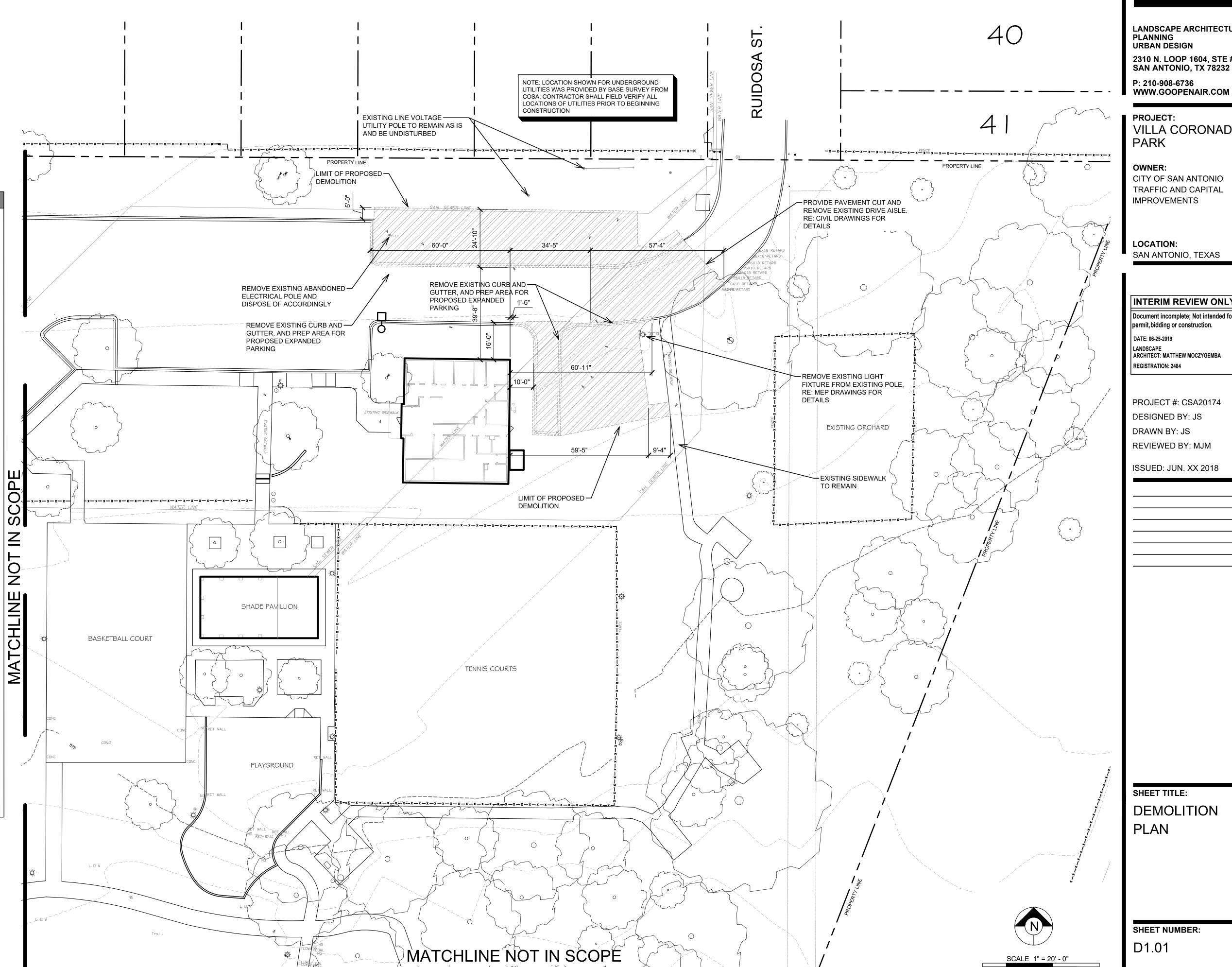
"Although it is not the responsibility of the City to provide sets of drawings and/or specifications to the successful Contractor for the construction of this project, the City may provide extra or returned sets that are available, if any from the bidding process. All other sets as deemed required by the Contractor, for the purposes of construction of this project, shall be obtained and paid by the Contractor."



#### DEMOLITION NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTAL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO INSTALL WORK AS REQUIRED FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND AT THE COST OF THE CONTRACTOR.

- CONTRACTOR SHALL COORDINATE CONSTRUCTION PHASING AND STAGING AREA LOCATION (IF NEEDED) WITH THE OWNER. RE: CIVIL ENGINEER PLANS FOR RECOMMENDED PHASING. CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE AROUND PROPOSED SITE WORK AREAS WHERE APPROPRIATE AND IS RESPONSIBLE FOR THE SAFETY & SECURITY OF ALL ACTIVITIES AROUND THE CONSTRUCTION SITE. CONSTRUCTION FENCING SHALL MEET ALL CITY, STATE, AND FEDERAL GUIDELINES. RE: DEMOLITION PLANS AND CIVIL ENGINEER PLANS FOR AREAS TO BE REMOVED, EROSION CONTROL, STAGING AREA (IF NEEDED), AND CONSTRUCTION PHASING FOR THE SITE.
- DURING THE SITE DEMOLITION PROCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ADJACENT SITE ITEMS, EXISTING SITE STRUCTURES, EXISTING PAVING, AND EXISTING SITE UTILITIES UNLESS NOTED OTHERWISE ON PLANS. THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (800-245-4545) 72 HOURS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WHETHER OR NOT TEXAS ONE CALL IS NOTIFIED. ALL REMOVED MATERIAL FROM SITE SHALL BE HAULED-OFF AND DISPOSED OF ACCORDINGLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE SET IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ITEMS AS CALLED OUT PER THE PLAN AND THEIR TRANSPORT OFF-SITE.
- CONTRACTOR SHALL REFER TO TREE PRESERVATION PLANS FOR ALL PROTECTED TREES ON SITE. PROPOSED SITE IMPROVEMENTS ARE NOT TO DISTURB ANY EXISTING TREES ON SITE. RE: TREE PRESERVATION PLANS FOR TREE PROTECTION DETAILS. TREE PROTECTION METHODS AND FENCING MUST BE IN PLACE PRIOR TO START OF DEMOLITION.
- CONTRACTOR SHALL REFER TO M.E.P PLANS FOR ALL ELECTRICAL DEMOLITION WORK ON SITE.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE AND CONTACT LANDSCAPE ARCHITECT FOR DIRECTION IF DISCREPANCIES ARE FOUND WITHIN THE FIELD.
- CONTRACTOR SHALL REFER TO CIVIL ENGINEER EROSION CONTROL PLANS AND ENSURE THAT ALL AREAS DISTURBED OUTSIDE INDICATED LIMITS OF CONSTRUCTION SHALL BE RE-VEGETATED.
- ALL EXISTING IMPROVEMENTS, MATERIALS, UTILITIES, AND PLANT MATERIAL TO REMAIN WITHIN NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- STREETS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS.
- REFER TO STATE/CITY STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.
- . DURING DEMOLITION OPERATIONS, EVERY EFFORT SHALL BE MADE TO CONTROL DUST PER CITY REQUIREMENTS.
- THE ENTIRE DEMOLITION AREA SHALL BE GRUBBED. GRUBBING SHALL INCLUDE ALL STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL AND ANY OTHER DELETERIOUS ITEMS. GRUBBING SHALL BE TO THE DEPTHS AS REQUIRED TO REMOVE THESE ITEMS.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND FORMS PRIOR TO INSTALLATION OF PROPOSED ELEMENTS.





LANDSCAPE ARCHITECTURE **PLANNING URBAN DESIGN** 2310 N. LOOP 1604, STE #22 SAN ANTONIO, TX 78232 P: 210-908-6736

PROJECT: VILLA CORONADO PARK

OWNER: CITY OF SAN ANTONIO TRAFFIC AND CAPITAL

LOCATION: SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY Document incomplete; Not intended for permit, bidding or construction.

ARCHITECT: MATTHEW MOCZYGEMBA REGISTRATION: 2484

**DESIGNED BY: JS** DRAWN BY: JS REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE: **DEMOLITION** PLAN

SHEET NUMBER: D1.01



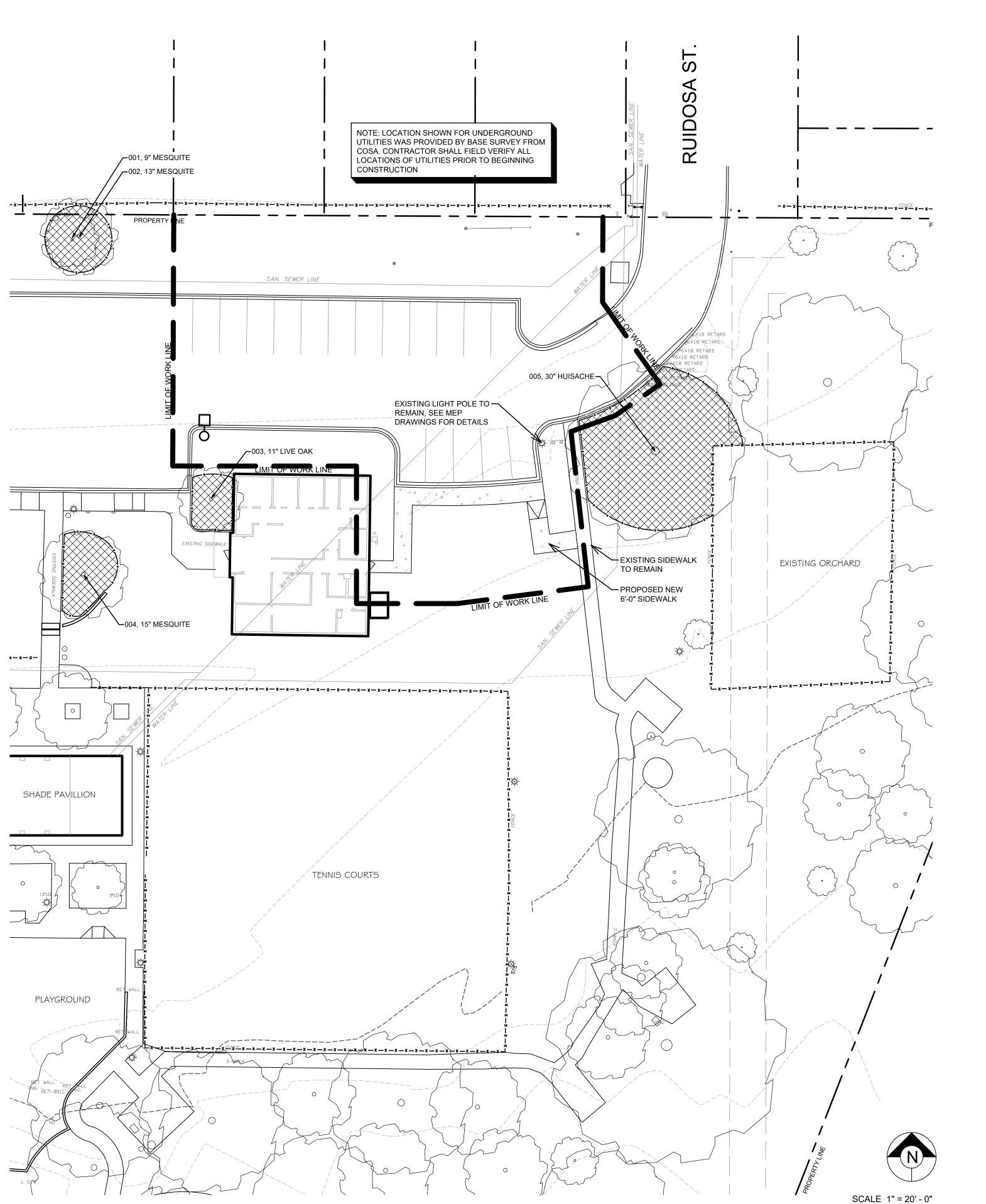
- 1. ROOT PRUNING
  - A. Prune roots within root zone areas of trees using hand-digging techniques.
  - B. Cut roots measuring one inch (1") in diameter or larger using sharpened pruning shears or pruning saw to make a clean, smooth-cut surface. Do not chop roots.
  - C. Large roots measuring three inches (3") in diameter and larger shall be cut using a sharpened saw.
- D. Cut roots flush with edge of soil to limit root exposure.
- E. Apply appropriate, non-toxic pruning paint labeled for horticultural use immediately to all wounds on trees.
- 2. Route underground utility lines around tree root zone areas where possible.
- 3. Where excavating is required within root zones, hand excavate and tunnel under or around roots to minimize damage and to preserve roots measuring one inch (1") in diameter and larger.
- 4. Where excavation is unavoidable within root zone areas, proper tree root pruning techniques shall be used.
- 5. Do not allow exposed roots to dry out before permanent backfill is in place.
- 6. Maintain existing natural grade within the dripline of trees.

before grading areas under tree dripline.

- 7. Solid fill within root zone areas shall be free of harmful chemicals and adequate for supporting healthy root growth.
- 8. Where existing grade around trees is below proposed finish grade place up to a maximum of three inches (3") of clean bank sand in a single layer to make the transition to new grade. Do not compact. Hand grade to required elevation. Large surface roots (that were exposed prior to construction) shall remain exposed.
- 9. Contractor to receive written authorization from the landscape architect prior to initiation of any construction activity and/or tree preservation activities that take place within the tree preservation zone.
- 10. There shall not be storage of any materials, equipment, soil etc. under dripline of existing trees.
- 11. If construction activity is to occur close to any trees not identified for protection, contractor is responsible to install additional protection fencing if required.
- 12. All sidewalks installed under tree's dripline to be hand dug. Landscape architect to approve location prior to digging, etc.
- etc.

  13. If hand grading is required within dripline, no fill should be added. Contractor to have approval from certified arborist
- 14. Refer to civil drawings for all existing and proposed utilities, rights of ways, and easements.
- 15. Refer to tree preservation specifications for pruning of existing trees where vehicular traffic or construction conflicts with existing tree canopy.
- 16. Contractor to stake tree protection fencing for landscape architect approval. Contact landscape architect 48 hours
- 17. Contractor to supply on-site certified arborist to supervise all tree protection, re-location, pruning, fertilizing, etc. work.
- 18. All preserved trees to have tree protection fencing placed around trees at radius equal to 6" per diameter inch (1") of trunk of tree.
- 19. All wounds to the trunk, limbs, and root system of oak trees in the city that expose sapwood shall be painted within thirty minutes of the wound being created with asphaltic or exterior oil or latex based paint.

# EXISTING TREE TO BE PRESERVED EXISTING TREE TO BE REMOVED HARDWOOD MULCH TREE PROTECTION FENCE





LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN 2310 N. LOOP 1604, STE #22 SAN ANTONIO, TX 78232 P: 210-908-6736 WWW.GOOPENAIR.COM

PROJECT: VILLA CORONADO PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION: SAN ANTONIO, TEXAS

Document incomplete; Not intended for permit, bidding or construction.

ARCHITECT: MATTHEW MOCZYGEMBA
REGISTRATION: 2484

PROJECT #: CSA20174

DATE: 06-25-2019

REVIEWED BY: MJM

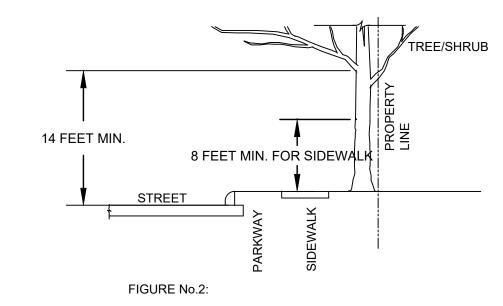
ISSUED: JUN. XX 2018

**DESIGNED BY: JS** 

DRAWN BY: JS

TREE
PRESERVATION
PLAN

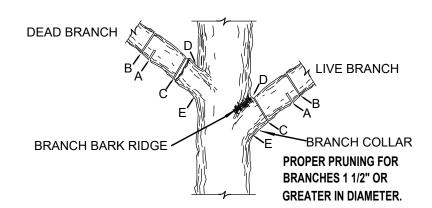
1 MESQUITE         S2         9.0         PRESERVED           2 MESQUITE         S2         13         PRESERVED	Preserved Removed	Preserved R	emoved Pres	erved Removed	Preserved	
1 MESQUITE         S2         9.0         PRESERVED           2 MESQUITE         S2         13         PRESERVED           3 LIVE OAK         S1         11         PRESERVED           4 MESQUITE         S2         15         PRESERVED		0.0000000000000000000000000000000000000	emoved Pres	erved Removed	Preserved	
2 MESQUITE         S2         13         PRESERVED           3 LIVE OAK         S1         11         PRESERVED           4 MESQUITE         S2         15         PRESERVED	11	13				
3 LIVE OAK S1 11 PRESERVED 4 MESQUITE S2 15 PRESERVED	11	13				
4 MESQUITE S2 15 PRESERVED	11					
10 10 10 10 10 10 10 10 10 10 10 10 10 1						
5 HUISACHE S2 30 Y PRESERVED		15				
					30	
Sub. Tot. Inches=         0         0	11 0	28	0	0 0	30	0
Total inches by category= 0	11	28		0	30	
Preservation percentage= #DIV/0! Sign	Significant 100%		ritage Preserv	ation 10	00%	
Mitigation required (Commercial) = 0 Commercial (	Commercial (inches) -23					
Mitigation required (Residential) = 0 Residential	ial (inches) -25		Heritage Mitig	gation (inches)	0	
	Examption Code	a dalit	ional Inches Dr	an am and far Mitimat	0	
	Exemption Code		ional inches Pr	eserved for Mitigati		
	- Tree is located in ROW					
	2 - Tree located off property	У				
itage she Juniper, Huisache, Mesquite, Arizona Ash, Hackberry protected at 10" dbh and mitigated at 1:1 for Heritage 3 - 1	B - Tree is located within ea					



A MINIMUM BRANCH CLEARANCE OF 14 FEET ABOVE STREET ELEVATION MUST BE MAINTAINED FROM THE PROPERTY LINE TO THE CURB LINE AS PRESCRIBED BY PROJECT MANAGER.

#### 5 BRANCH CLEARANCE DETAIL

NOT TO SCALE



NOTE: DO NOT CUT FROM D to E.

- A. FIRST CUT-TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS
- B. SECOND CUT-TO REDUCE THE WEIGHT OF BRANCH.C. FINAL CUT-ALLOW FOR HEALING COLLAR BUT NO STUBS
- D. BRANCH RIDGES-INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.

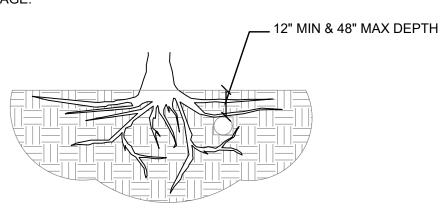
FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

#### 4 BRANCH PRUNING DETAIL

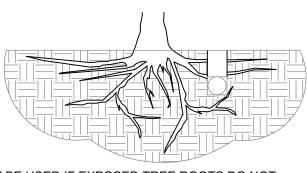
NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ARBORIST.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



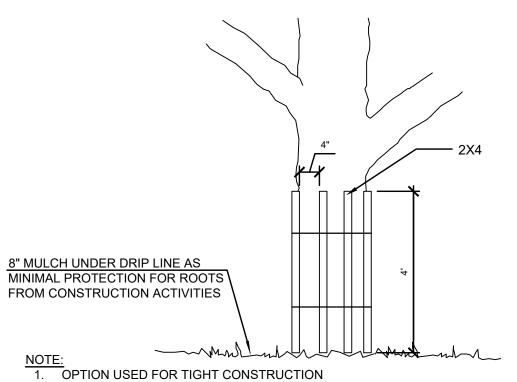
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

#### 3 BORING THRU TREE ROOT ZONE

NOT TO SCALE



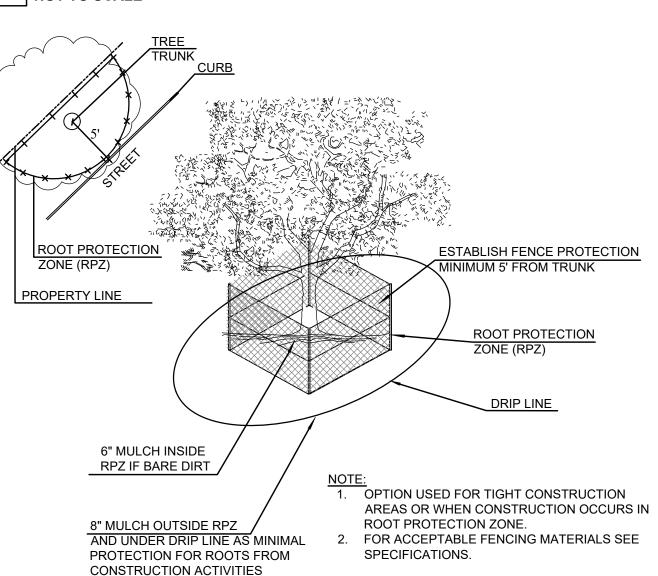
OPTION USED FOR TIGHT CONSTRUCTION
 AREAS OR WHEN CONSTRUCTION OCCURS IN
 ROOT PROTECTION ZONE.

2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

WRAP TREE TRUNK WITH 2"X4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS.

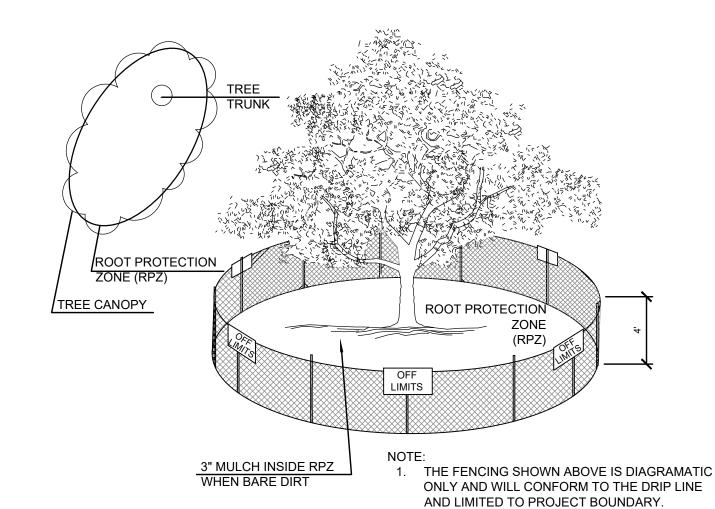
#### 2D LEVEL II B FENCE PROTECTION

NOT TO SCALE



#### **2C** LEVEL II A FENCE PROTECTION

NOT TO SCALE

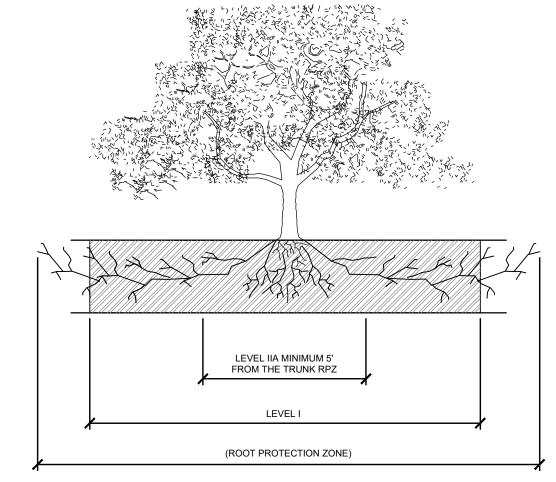


2. FOR ACCEPTABLE FENCING MATERIALS SEE

SPECIFICATIONS.

#### 2B LEVEL I & FENCE PROTECTION

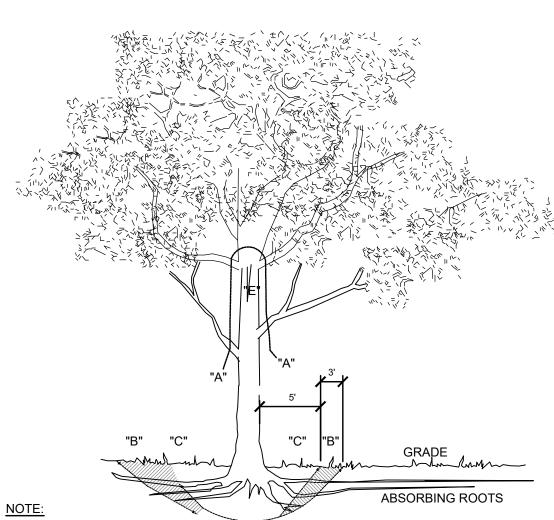
NOT TO SCALE



ROOT PROTECTION ZONE-THE ROOT PROTECTION ZONE IS A CIRCULAR AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE. EACH 1 INCH DIAMETER OF THE TREE EQUALS 6 INCH RADIUS FOR ROOT PROTECTION ZONE.

#### 2A LEVEL I & FENCE PROTECTION ELEVATION

NOT TO SCALE



A" REMOVE BULKY TREE PARTS "SHRED" AND/OR HAUL SEPARATELY.

"B" BEGIN EXCAVATION APPROX. 8' FROM THE TRUNK - CUT THRU ANCHOR ROOTS AT AN ANGLE - 3' TO 4' DEEP

"C" USING TREE TRUNK AS A LEVER PUSH AT POINT "E" TO REMOVE TREE BOLE AND LARGE FEEDER ROOTS (4" TO 10" IN DIAM.)

"D" BACKFILL HOLE AND CLEAN UP.

#### 1 TREE REMOVAL DIAGRAM

NOT TO SCALE



LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN 2310 N. LOOP 1604, STE #22

SAN ANTONIO, TX 78232 P: 210-908-6736 WWW.GOOPENAIR.COM

PROJECT:
VILLA CORONADO
PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL

**IMPROVEMENTS** 

LOCATION: SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY

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permit, bidding or construction.

DATE: 06-25-2019

LANDSCAPE
ARCHITECT: MATTHEW MOCZYGEMBA
REGISTRATION: 2484

PROJECT #: CSA20174

DESIGNED BY: JS

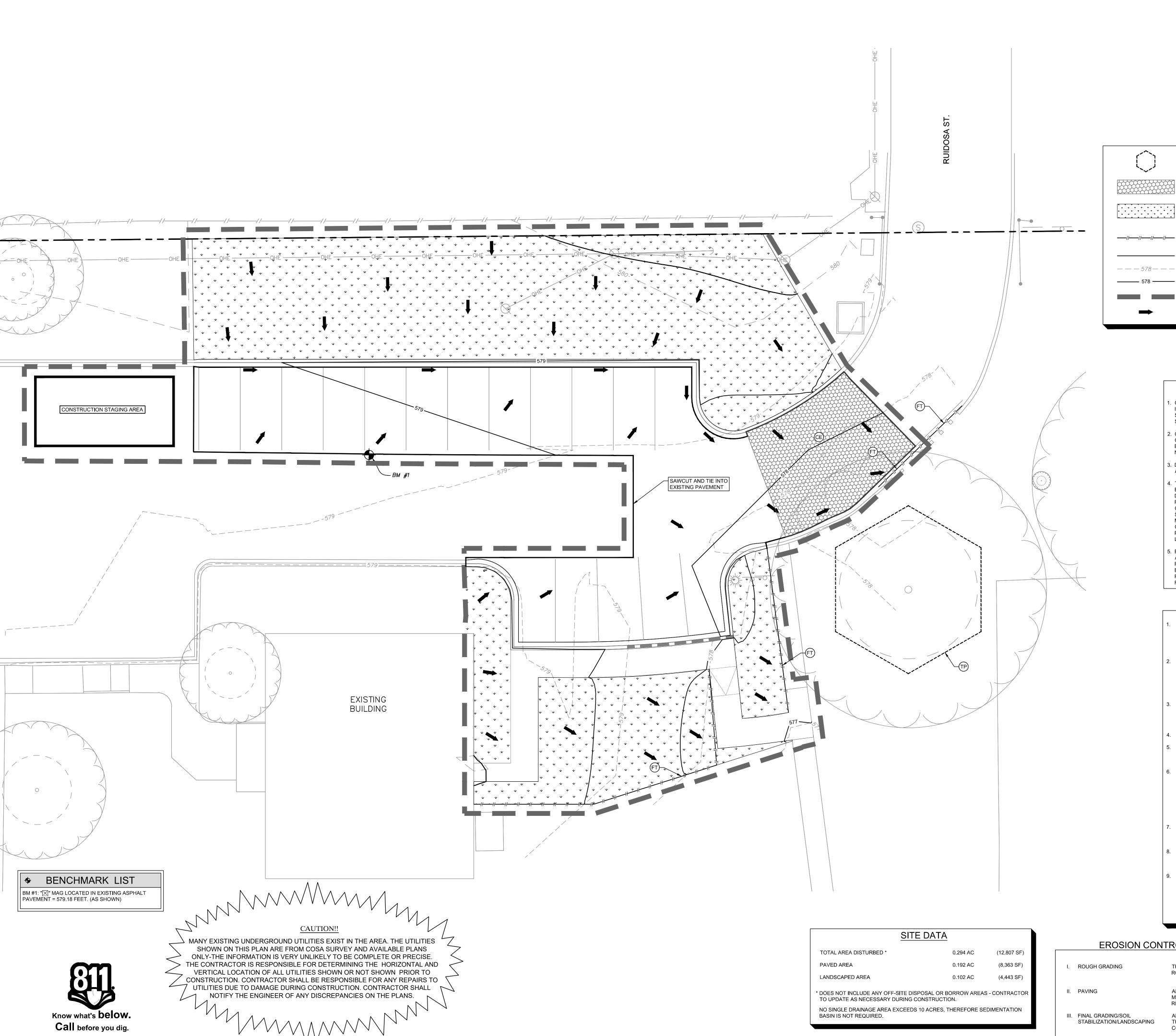
DRAWN BY: JS

REVIEWED BY: MJM

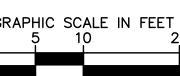
ISSUED: JUN. XX 2018

SHEET TITLE:
TREE
PRESERVATION
DETAILS AND
CALCULATIONS

SHEET NUMBER: TP.02







#### LEGEND

(TP) TREE PROTECTION (SEE DETAIL, SHEET C1.1) CE) CONSTRUCTION ENTRANCE (SEE DETAIL, SHEET C1.1)

LANDSCAPE

(FT) FILTER TUBE (SEE DETAIL, SHEET C1.1) SAWCUT AND TIE INTO EXISTING PAVEMENT EXISTING CONTOURS

LIMITS OF DISTURBED AREA/CONSTRUCTION

FLOW DIRECTION

PROPOSED CONTOURS

#### SITE MAP-GENERAL NOTES

- CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- B. DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
- . TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- . BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE
- SITE MAP-SITE SPECIFIC NOTES
- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF: A. CLEARING AND GRUBBING B. UTILITY INSTALLATION C. PAVEMENT MODIFICATIONS D. FOUNDATION CONSTRUCTION

E. FINAL GRADING AND STABILIZATION

- THE SUBSURFACE CONDITIONS ON-SITE CONSIST OF CLAY, SILT SAND, AND GLAUCONITE AS PER THE GEOTECHNICAL REPORT PROVIDED BY RABA KISTNER, DATED FEBRUARY 7, 2019, REPORT NO. ASA18-128-00.
- STORM WATER ON-SITE WILL LEAVE THE SITE VIA SHEET FLOW.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, OR LANDSCAPING.
- DISTURBED PORTIONS OF SITE MUST BE STABILIZED. STABILIZATION PRACTICES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS BEEN EITHER TEMPORARILY OR PERMANENTLY CEASED, UNLESS EXCEPTED WITHIN THE TPDES PERMIT. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF STABILIZATION OR PERMANENT DRAINAGE
- PER FIRM MAPS 48029C0580G, DATED SEPTEMBER 29, 2010, THE SITE IS PARTIALLY LOCATED WITHIN A FEMA DESIGNATED FLOODPLAIN.
- CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
- CONTRACTOR SHALL INSPECT DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLE ENTRY AND EXIT AREAS AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.

#### EROSION CONTROL SCHEDULE AND SEQUENCING

TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED.

ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.

ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE CITY OR COUNTY.

LANDSCAPE ARCHITECTURE

LANDSCAPE ARCHITECTURE **PLANNING URBAN DESIGN** 

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2310 N. LOOP 1604, STE #22

PROJECT: VILLA CORONADO PARK

OWNER: CITY OF SAN ANTONIO TRAFFIC AND CAPITAL

**IMPROVEMENTS** 

LOCATION: 11030 RUIDOSA

SAN ANTONIO, TEXAS

PRELIMINARY FOR REVIEW ONLY **Kimley** »Horn

PROJECT #: 068713501 DESIGNED BY: MGM DRAWN BY: JLF **REVIEWED BY: MAS** 

ISSUED: 6/24/2019

SHEET TITLE:

**EROSION** CONTROL

BENCHMARK LIST BM #1: "X" MAG LOCATED IN EXISTING ASPHALT

PAVEMENT = 579.18 FEET. (AS SHOWN)



MANY EXISTING UNDERGROUND UTILITIES EXIST IN THE AREA. THE UTILITIES SHOWN ON THIS PLAN ARE FROM COSA SURVEY AND AVAILABLE PLANS ONLY-THE INFORMATION IS VERY UNLIKELY TO BE COMPLETE OR PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO UTILITIES DUE TO DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

iSWM<sup>™</sup> Technical Manual Construction Controls

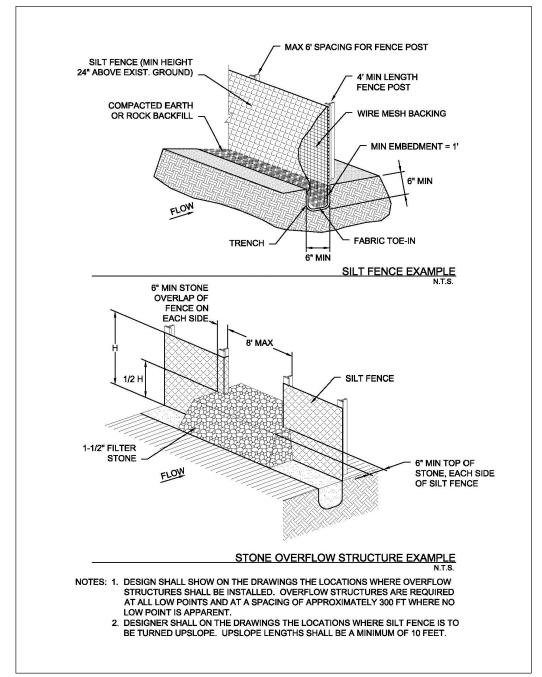


Figure 3.28 Schematics of Silt Fence

Silt Fence

SILT FENCE DETAIL

iSWM<sup>™</sup> Technical Manual Construction Controls

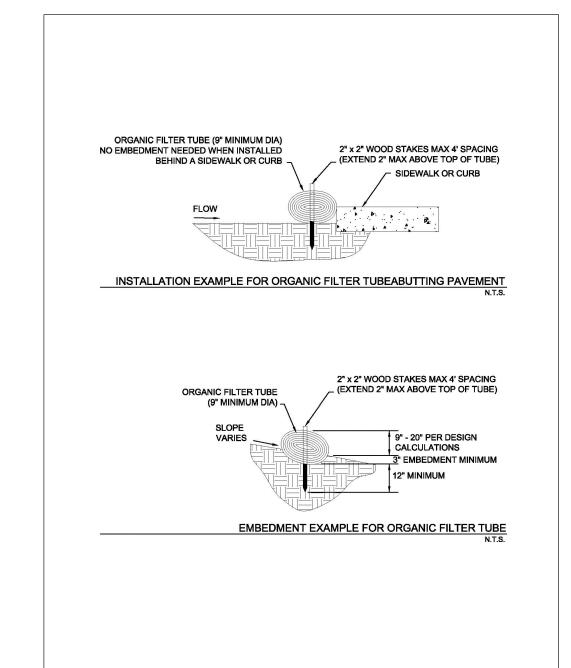


Figure 3.16 Examples of Organic Filter Tube Installation Methods

Organic Filter Tubes

Revised 04/10

FILTER TUBE

TO BE LOCATED AT (FT) SYMBOL

iSWM<sup>™</sup> Technical Manual Construction Controls

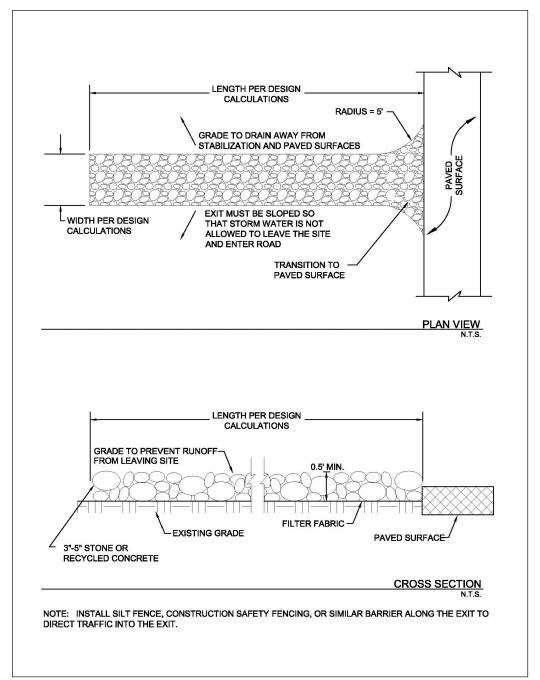


Figure 3.29 Schematics of Stabilized Construction Exit

Stabilized Construction Exit

CONSTRUCTION ENTRANCE DETAIL

iSWM™ Technical Manual Construction Controls

Disturbed Area	Min. Width of Exit	Min. Length of Exit
< 1 Acre	15 feet	20 feet
≥ 1 Acre but < 5 Acres	25 feet	50 feet
≥ 5 Acres	30 feet	50 feet

#### **GENERAL NOTES:**

EROSION CONTROL:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.

- 2. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TCEQ GENERAL PERMIT TO DISCHARGE UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM TXR 150000". 3. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO
- THE START OF LAND DISTURBANCE. 4. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS
- 5. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL
- EROSION CONTROL DEVICES, BEST MANAGEMENT PRACTICES (BMPS), AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
- 6. CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF APPLICABLE.
- 7. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED AT EACH
- INLET PER APPROVED DETAILS. 8. THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.
- 9. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES NEEDED DUE TO PROJECT PHASING. 10. CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION AND PREVENT SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR
- SHALL NOTIFY THE ENGINEER. 11. OFF-SITE SOIL BORROW, SPOIL, AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMP'S TO CONTROL EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON
- DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP AND EROSION CONTROL PLAN TO INCLUDE BMPS FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION 12. ALL STAGING, STOCKPILES, SPOIL, AND STORAGE SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM
- WATER QUALITY. PROTECTIVE MEASURES SHALL BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCIRCLING THE AREA WITH AN APPROPRIATE BARRIER. 13. CONTRACTORS SHALL INSPECT ALL EROSION CONTROL DEVICES, BMPS, DISTURBED AREAS, AND VEHICLE ENTRY AND EXIT AREAS WEEKLY AND WITHIN 24 HOURS OF ALL RAINFALL EVENTS OF 0.5 INCHES OR GREATER, AND KEEP A RECORD OF THIS

INSPECTION IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND EROSION CONTROL PLAN ARE

- FUNCTIONING PROPERLY. 14. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH CITY SPECIFICATIONS. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIMES FOR ALL INGRESS/EGRESS.
- 15. SITE ENTRY AND EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN
- OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY. 16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION, AS REQUESTED BY OWNER AND CITY. AT A MINIMUM, THIS SHOULD OCCUR ONCE PER DAY FOR THE OFF-SITE ROADWAYS.
- 17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP BMP. 18. CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES, PER TCEQ AND CITY STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED. 19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE SHALL BE PAID BY THE RESPONSIBLE
- CONTRACTOR. 20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF
- THE CONSTRUCTION ENTRANCE. 21.TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, UNLESS ADDITIONAL CONSTRUCTION IN THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE. 22. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT,
- 23.UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.
- 24.AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREDGED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

LOOSE MATERIAL, AND TRASH AS CONSTRUCTION PROGRESSES.



LANDSCAPE ARCHITECTURE **PLANNING URBAN DESIGN** 

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OWNER: CITY OF SAN ANTONIO

TRAFFIC AND CAPITAL **IMPROVEMENTS** 

LOCATION: 11030 RUIDOSA SAN ANTONIO, TEXAS

> PRELIMINARY FOR REVIEW ONLY **Kimley** »Horn Engineer MICHAEL A. SCHOLZE E. No. 131737 Date 6/24/2019

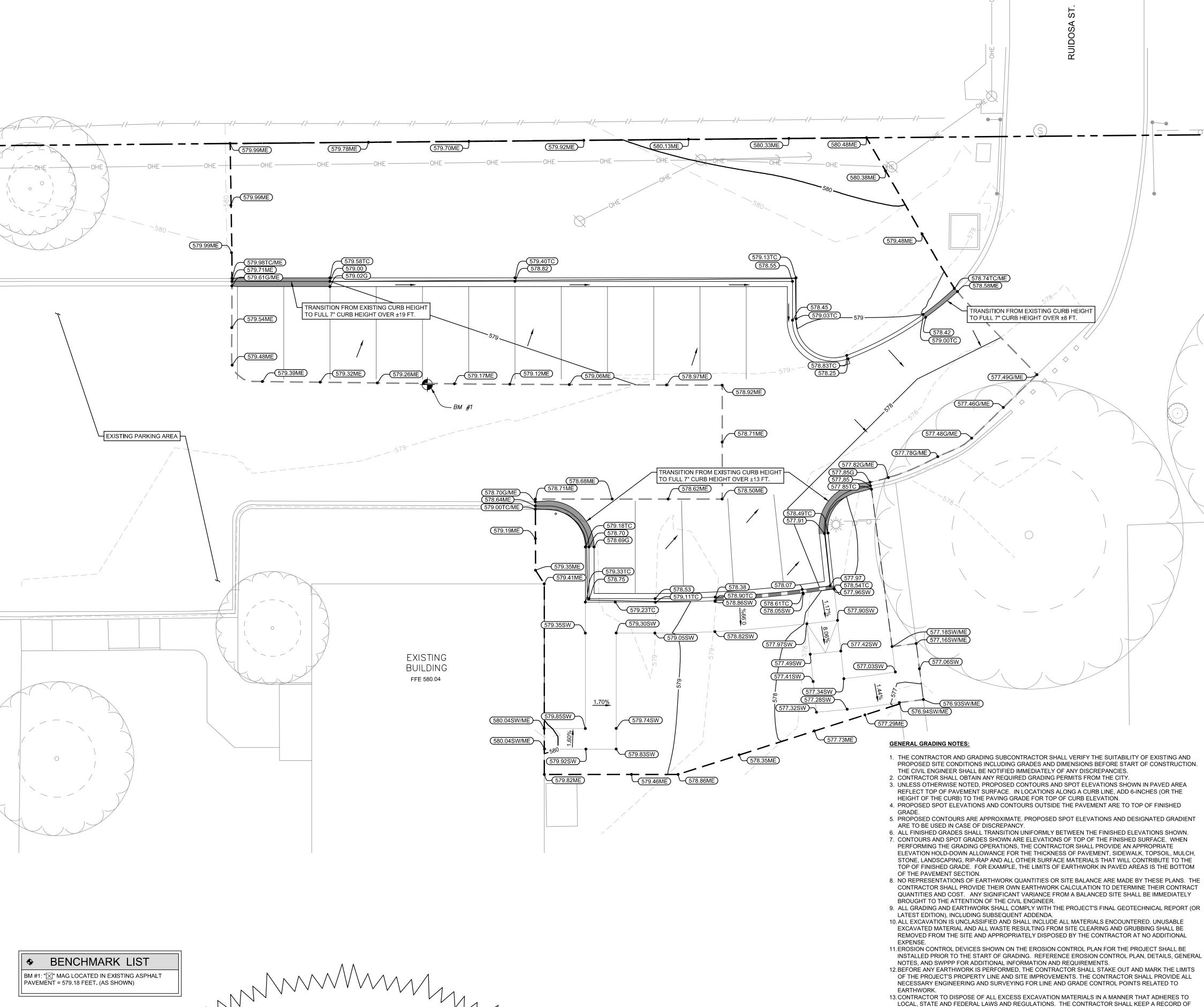
PROJECT #: 068713501 DESIGNED BY: MGM DRAWN BY: JLF **REVIEWED BY: MAS** 

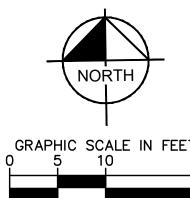
ISSUED: 6/24/2019

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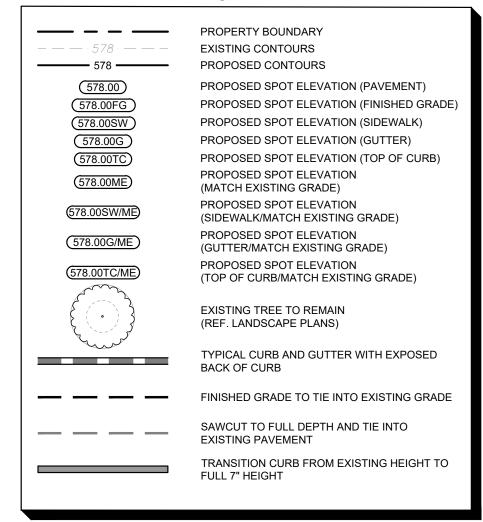
SHEET TITLE:

**EROSION CONTROL DETAILS** 





#### LEGEND



- 1. ALL SPOT GRADES ARE TO TOP OF PAVEMENT (TP), UNLESS OTHERWISE NOTED. CONTRACTOR TO ADD 7" FOR TOP OF CURB AS NECESSARY.
- 2. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- 3. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS UNLESS OTHERWISE NOTED.
- 4. GENERAL CONTRACTOR TO REFERENCE NOTE 1 REGARDING SPOT ELEVATIONS, COORDINATE WITH DIRT AND LANDSCAPE SUBCONTRACTORS REGARDING PROPOSED SOD
- AND HYDROMULCH LOCATIONS TO ENSURE ADEQUATE CUT FOR FUTURE VEGETATION.
- 5. EXISTING MANHOLE TOPS, VALVE BOXES, ETC. ARE TO BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES. IF NECESSARY, READJUSTMENTS SHALL BE PERFORMED UPON COMPLETION OF PAVING AND FINE GRADING TO ENSURE A SMOOTH TRANSITION.
- 6. SEE SHEET C1.1 FOR PROTECTION DETAILS.

#### 21.ALL COPIES OF SOILS TEST RESULTS SHALL BE SENT TO THE OWNER, ENGINEER AND ARCHITECT

- DIRECTLY FROM THE TESTING AGENCY. 22.IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES
  - OF THE SOILS, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND CITY 23.THE SCOPE OF WORK FOR CIVIL IMPROVEMENT SHOWN ON THESE PLANS TERMINATES 5-FEET FROM THE BUILDING. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS AND
  - SPECIFICATIONS FILL, CONDITIONING, AND PREPARATION IN THE BUILDING PAD. 24.DUE TO THE POTENTIAL FOR DIFFERENTIAL SOIL MOVEMENT ADJACENT TO THE BUILDING, THE CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT'S RECOMMENDATION FOR SUBGRADE PREPARATION SPECIFIC TO FLATWORK ADJACENT TO THE PROPOSED BUILDING. THE OWNER AND CONTRACTOR ARE ADVISED TO OBTAIN A GEOTECHNICAL ENGINEER RECOMMENDATION SPECIFIC TO FLATWORK ADJACENT TO THE BUILDING. IF NONE IS CURRENTLY EXISTING.
  - 25.CONTRACTOR SHALL ENSURE THAT SUFFICIENT POSITIVE SLOPE AWAY FROM THE BUILDING PAD IS ACHIEVED FOR ENTIRE PERIMETER OF THE PROPOSED BUILDING(S) DURING GRADING OPERATIONS AND IN THE FINAL CONDITION. IF THE CONTRACTOR OBSERVES THAT THIS WILL NOT BE ACHIEVED, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO REVIEW THE LOCATION. 26.THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL
  - CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE CITY, AT NO ADDITIONAL COST TO THE OWNER. 27.CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS NEEDED FOR GRADING OPERATIONS AND TO ACCOMMODATE
  - 28.EXISTING TREE LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND IN THE FIELD THAT AFFECT THE GRADING PLAN TO THE CIVIL ENGINEER. 29. CONTRACTOR SHALL FIELD VERIFY ALL PROTECTED TREE LOCATIONS, INDIVIDUAL PROTECTED TREE CRITICAL ROOT ZONES. AND PROPOSED SITE GRADING. AND NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH THE TREE PRESERVATION PLAN BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING THE WORK.
  - 30.TREE PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD TREE PROTECTION DETAILS AND THE APPROVED TREE PRESERVATION PLANS BY THE LANDSCAPE ARCHITECT.
  - INFORMATION AND DETAILS REGARDING EXISTING TREES TO BE REMOVED AND PRESERVED. 32.NO TREE SHALL BE REMOVED UNLESS A TREE REMOVAL PERMIT HAS BEEN ISSUED BY THE CITY, OR CITY HAS OTHERWISE CONFIRMED IN WRITING THAT ONE IS NOT NEEDED FOR THE TREE(S). 33.NO TREE SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE OWNER OR
  - AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING AND INADEQUATE SLOPE FOR DRAINAGE. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORMWATER RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY AREAS OF POOR
  - 35. CONTRACTOR FIELD ADJUSTMENT OF PROPOSED SPOT GRADES IS ALLOWED, IF THE APPROVAL OF THE CIVIL ENGINEER IS OBTAINED.

14. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF TOPSOIL AT THE COMPLETION OF

15. CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION,

INCLUDING MAINTAINING EXISTING DITCHES OR CULVERTS FREE OF OBSTRUCTIONS AT ALL TIMES.

19 THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE COMPACT, AND CONDITION FILL PER

20.CONTRACTOR IS RESPONSIBLE FOR ALL SOILS TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL SOILS TESTING SHALL BE COORDINATED WITH THE APPROPRIATE CITY INSPECTOR AND SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS AND THE GEOTECHNICAL REPORT. SOILS TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING SOILS. THE OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR SOILS TESTING.

THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE

16.NO EARTHWORK FILL SHALL BE PLACED IN ANY EXISTING DRAINAGE WAY, SWALE, CHANNEL, DITCH

17. TEMPORARY CULVERTS MAY BE REQUIRED IN SOME LOCATIONS TO CONVEY RUN-OFF.

18. REFER TO DIMENSION CONTROL PLAN, AND PLAT FOR HORIZONTAL DIMENSIONS.

APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.

AND REQUIREMENTS FOR TOPSOIL

INDICATE THIS IS REQUIRED.

FINE GRADING. CONTRACTOR SHALL REFER TO LANDSCAPE ARCHITECTURE PLANS FOR SPECIFICATIONS

CREEK, OR FLOODPLAIN FOR ANY REASON OR ANY LENGTH OF TIME, UNLESS THESE PLANS SPECIFICALLY

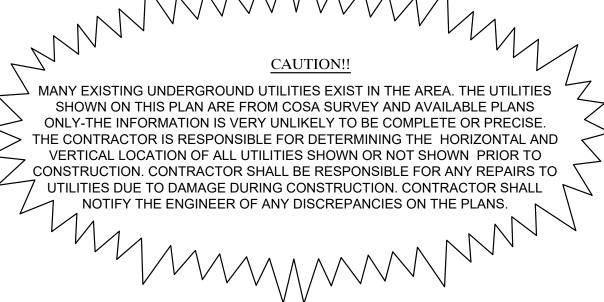
PROPOSED GRADE, INCLUDING THE UNKNOWN UTILITIES NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL REFER TO THE GENERAL NOTES "OVERALL" SECTION THESE PLANS FOR ADDITIONAL INFORMATION.

31.CONTRACTOR SHALL REFER TO THE LANDSCAPING AND TREE PRESERVATIONS PLANS FOR ALL

OWNER'S REPRESENTATIVE. EXISTING TREES SHALL BE PRESERVED WHENEVER POSSIBLE AND GRADING IMPACT TO THEM HELD TO A MINIMUM. WHERE EXCESS EXCAVATION WAS DISPOSED, ALONG WITH THE RECEIVING LANDOWNER'S APPROVAL TO 34.AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST

DRAINAGE ARE DISCOVERED







LANDSCAPE ARCHITECTURE **PLANNING URBAN DESIGN** 

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PROJECT: VILLA CORONADO PARK

CITY OF SAN ANTONIO TRAFFIC AND CAPITAL **IMPROVEMENTS** 

LOCATION: 11030 RUIDOSA SAN ANTONIO, TEXAS

> PRELIMINARY **Kimley** » Horn

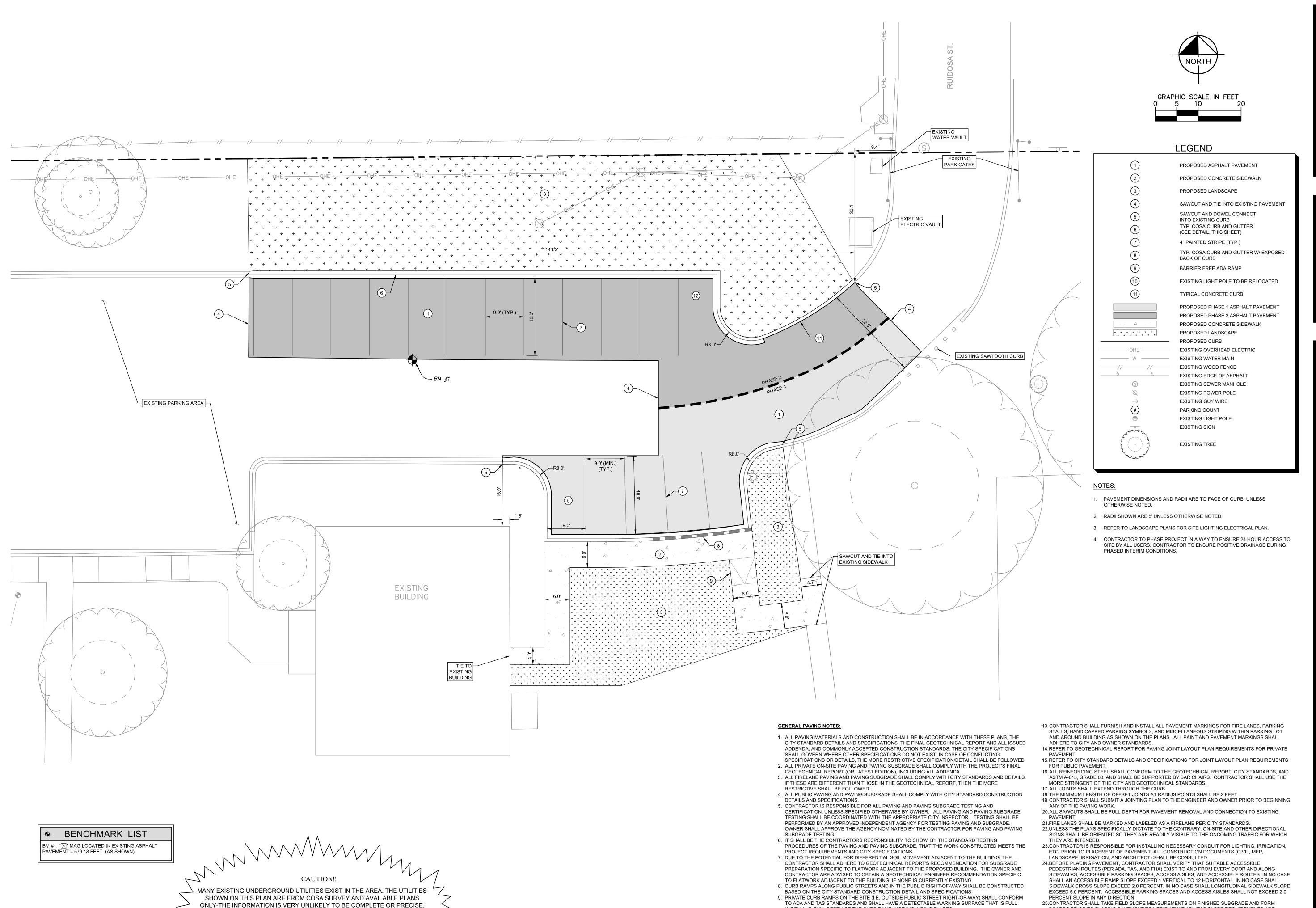
PROJECT #: 068713501 **DESIGNED BY: MGM** DRAWN BY: JLF

**REVIEWED BY: MAS** 

ISSUED: 6/24/2019

운 Kimley

**SHEET TITLE:** 



THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND

VERTICAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN PRIOR TO

CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO

UTILITIES DUE TO DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL

NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.

ADA AND TAS STANDARDS, LATEST EDITION.

SMOOTH, FLUSH, CONNECTION.

DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.

10. ALL ACCESSIBLE RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO

11. ANY COMPONENTS OF THE PROJECT SUBJECT TO RESIDENTIAL USE SHALL ALSO CONFORM TO THE

FAIR HOUSING ACT, AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US

12. CONTRACTOR SHALL CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A

OPENAIR
STUDIOS
LANDSCAPE ARCHITECTURE

LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN

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Kimley > Horn

Ingineer MICHAEL A. SCHOLZE

E. No. 131737 Date 6/24/2019

PROJECT #: 068713501 DESIGNED BY: MGM DRAWN BY: JLF REVIEWED BY: MAS

ISSUED: 6/24/2019

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WWW.KIMLEY-HORN.COM TBPE FIRM NO. 928

SHEET TITLE:

PAVING PLAN

SHEET NUMBER:

BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA/TAS SLOPE REQUIREMENTS ARE

SLOPE COMPLIANCE ISSUES.

PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES

ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA AND TAS

C3.0

PAVING SECTION NOTES:

1. PRIOR TO PLACING ANY FILL, ANY VEGETATION, LOOSE TOPSOIL, AND ANY OTHERWISE UNSUITABLE MATERIALS SHOULD BE REMOVED FROM THE NEW PAVEMENT AREAS. AFTER STRIPPING, THE SUBGRADE SHOULD BE PROOF-ROLLED WHERE POSSIBLE TO AID IN LOCATING LOOSE OR SOFT ARES, PROOF-ROLLING CAN BE PERFORMED WITH A 15-TON ROLLER OF FULLY LOADED DUMP TRUCK.

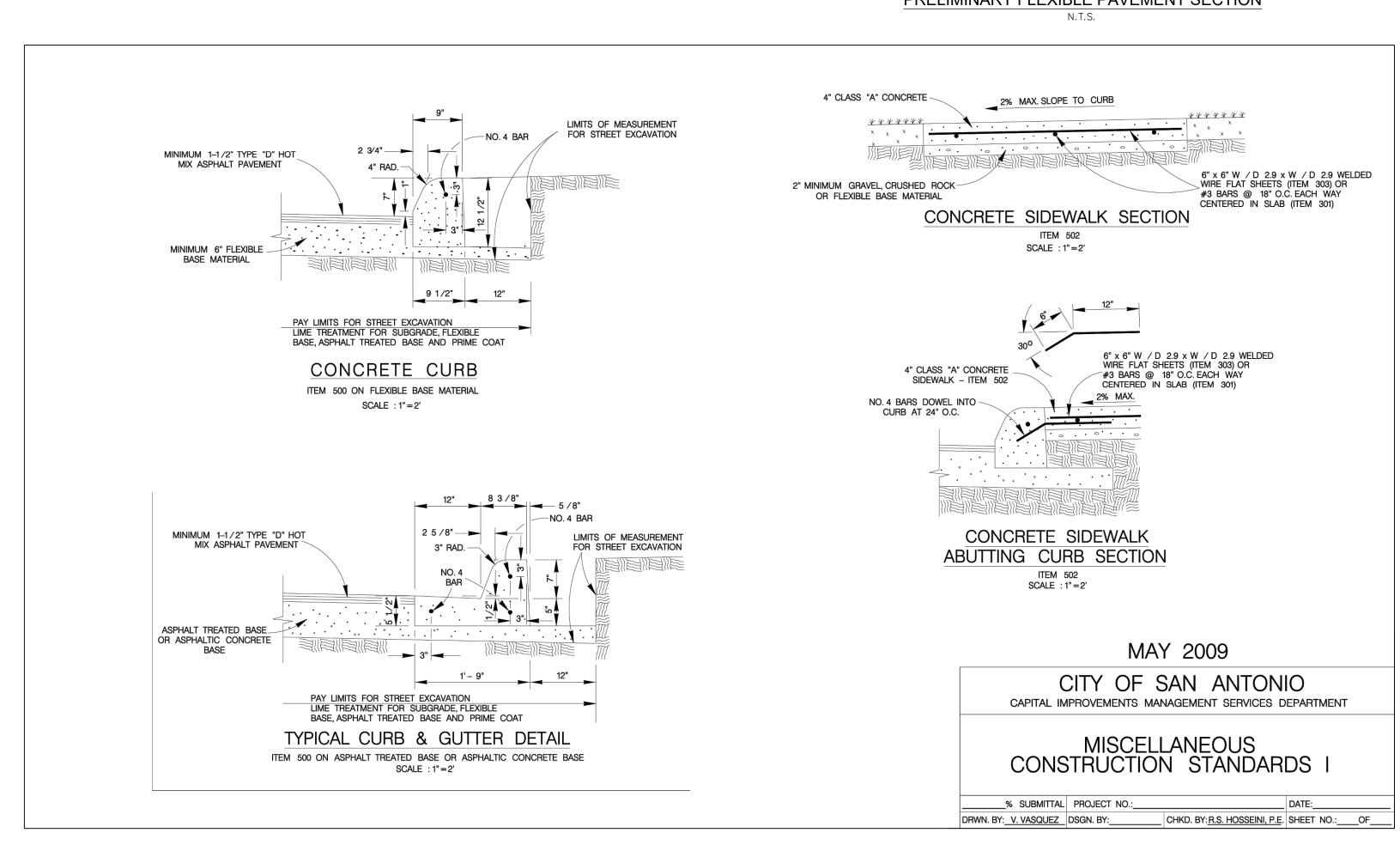
3. THE ASPHALTIC BASE COURSE SHOULD BE PLANT MIXED, HOT LAID TYPE A OR B.

PRELIMINARY FLEXIBLE PAVEMENT SECTION

2. THE ASPHALTIC CONCRETE SURFACE COURSE SHOULD BE PLANT MIXED, HOT LAID TYPE

C OR D SURFACE.

- HMAC (2" TYPE C OR D)



◆ BENCHMARK LIST

BM #1: "□ MAG LOCATED IN EXISTING ASPHALT

PAVEMENT = 579.18 FEET. (AS SHOWN)



CAUTION!!

MANY EXISTING UNDERGROUND UTILITIES EXIST IN THE AREA. THE UTILITIES SHOWN ON THIS PLAN ARE FROM COSA SURVEY AND AVAILABLE PLANS ONLY-THE INFORMATION IS VERY UNLIKELY TO BE COMPLETE OR PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO UTILITIES DUE TO DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN

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SAN ANTONIO, TEXAS

**IMPROVEMENTS** 

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Kimley >>> Horn

Engineer MICHAEL A. SCHOLZE

P.E. No. 131737 Date 6/24/2019

PROJECT #: 068713501 DESIGNED BY: MGM DRAWN BY: JLF

REVIEWED BY: MAS

ISSUED: 6/24/2019

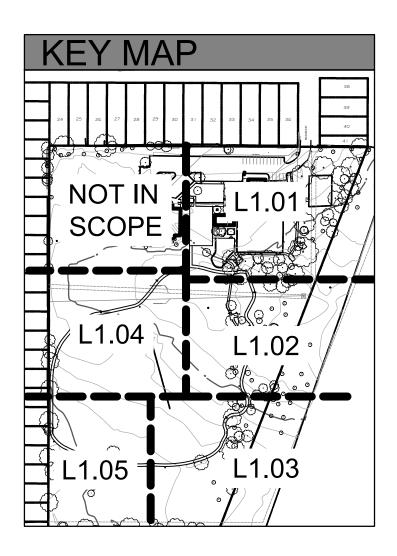
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
601 NW LOOP 410, SUITE 350, SAN ANTONIO, TX 78216
PHONE: 210-541-9166 FAX: 210-541-8699
WWW.KIMLEY-HORN.COM TBPE FIRM NO. 928

SHEET TITLE:

PAVING DETAILS

SHEET NUMBER:

C3.1



EXISTING LIGHT POLE TO HAVE LIGHT FIXTURE REPLACED WITH LED LIGHT, RE: MEP DRAWINGS FOR SPECIFICATIONS AND DETAILS

2. PROPOSED NEW PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS. RE: DEMOLITION PLANS FOR LIMITS OF REMOVAL FOR EXISTING CURB AND GUTTER

PROPOSED NEW LINE VOLTAGE LED PARKING LIGHT AND POLE, RE: MEP DRAWINGS FOR DETAILS AND SPECIFICATIONS. RE: STRUCTURAL DRAWINGS FOR POST FOOTING

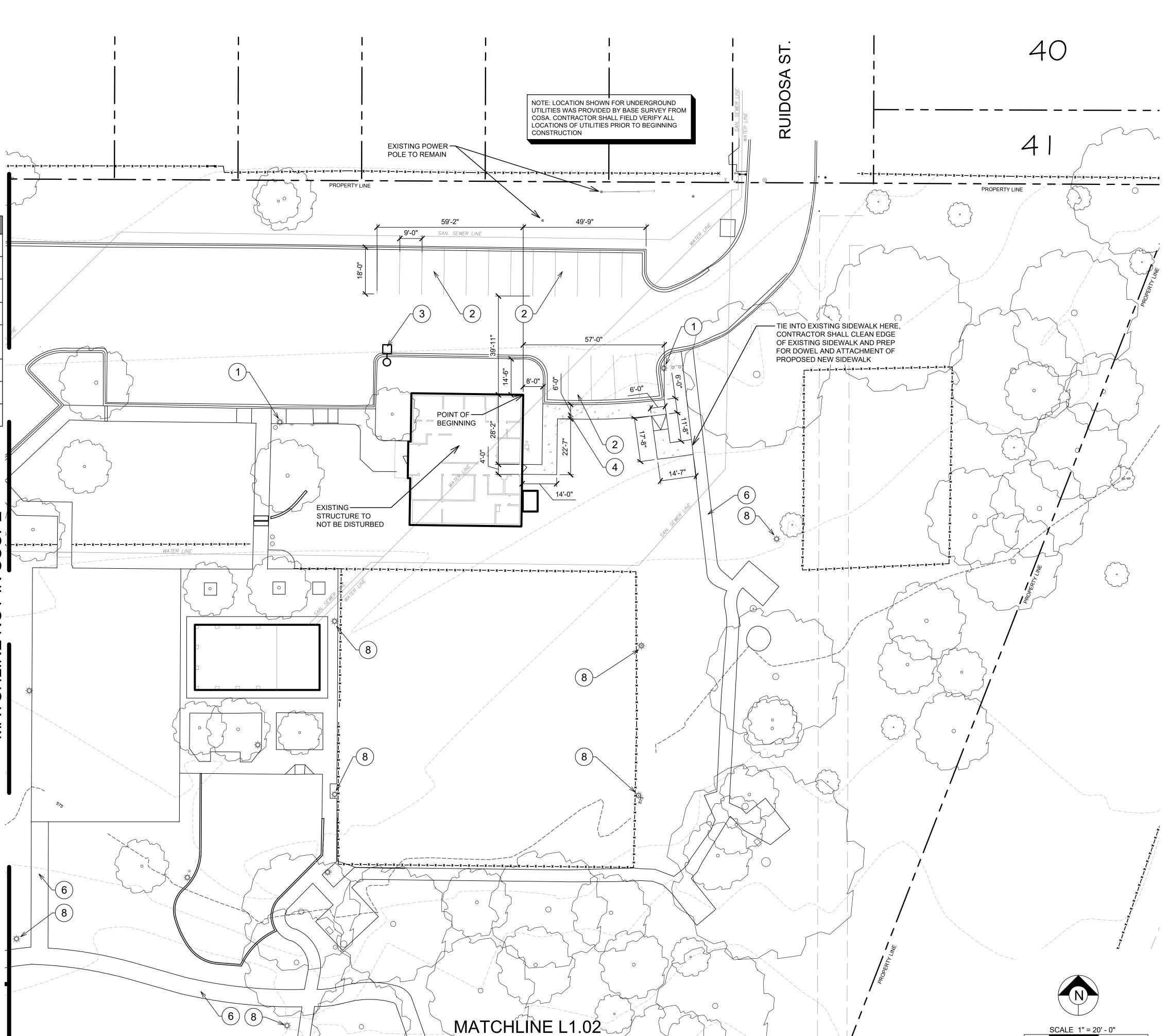
PROPOSED NEW PEDESTRIAN SIDEWALK ACCESS, RE: CIVIL DRAWINGS FOR DETAILS

PROPOSED HIGHLIGHT EXCEL LED SOLAR PATH LIGHT BY SOLAR PATH SUN SOLUTIONS, MODEL #EXCEL1000-55K-8019-2. LIGHT TO BE PLACED ON 20' HT. 6" DIAMETER ALUMINUM POLE BY SOLAR PATH SUN SOLUTIONS, MODEL #RTA8M20AA5. RE: DETAILS L2.01

EXISTING CONCRETE SIDEWALK TO REMAIN

EXISTING SOLAR TRAIL LIGHT TO REMAIN

B. EXISTING LINE VOLTAGE LIGHT TO REMAIN





LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN 2310 N. LOOP 1604, STE #22 SAN ANTONIO, TX 78232

PROJECT:
VILLA CORONADO
PARK

WWW.GOOPENAIR.COM

P: 210-908-6736

OWNER: CITY OF SAN ANTONIO TRAFFIC AND CAPITAL

**IMPROVEMENTS** 

LOCATION: SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY

Document incomplete; Not intended for

permit, bidding or construction.

DATE: 06-25-2019

LANDSCAPE
ARCHITECT: MATTHEW MOCZYGEMBA
REGISTRATION: 2484

PROJECT #: CSA20174

DESIGNED BY: JS

DRAWN BY: JS

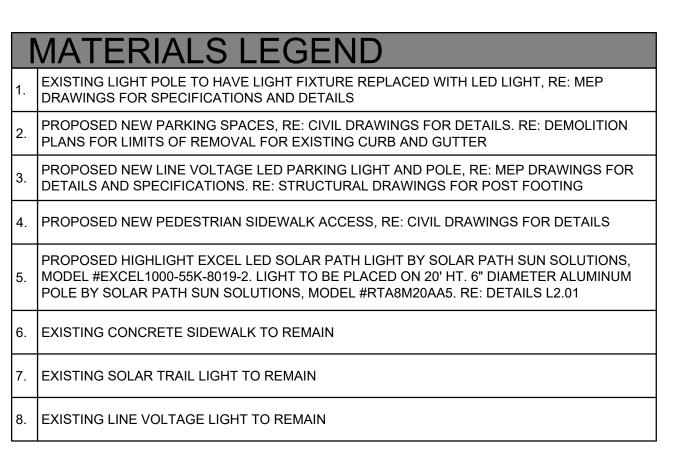
REVIEWED BY: MJM

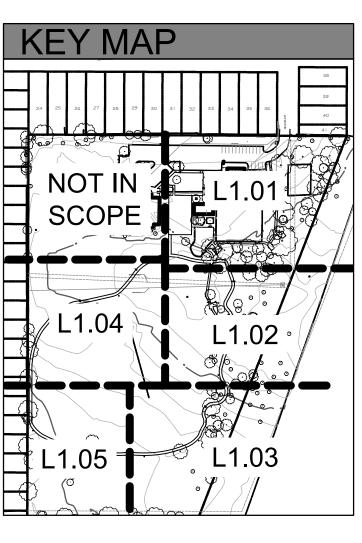
ISSUED: JUN. XX 2018

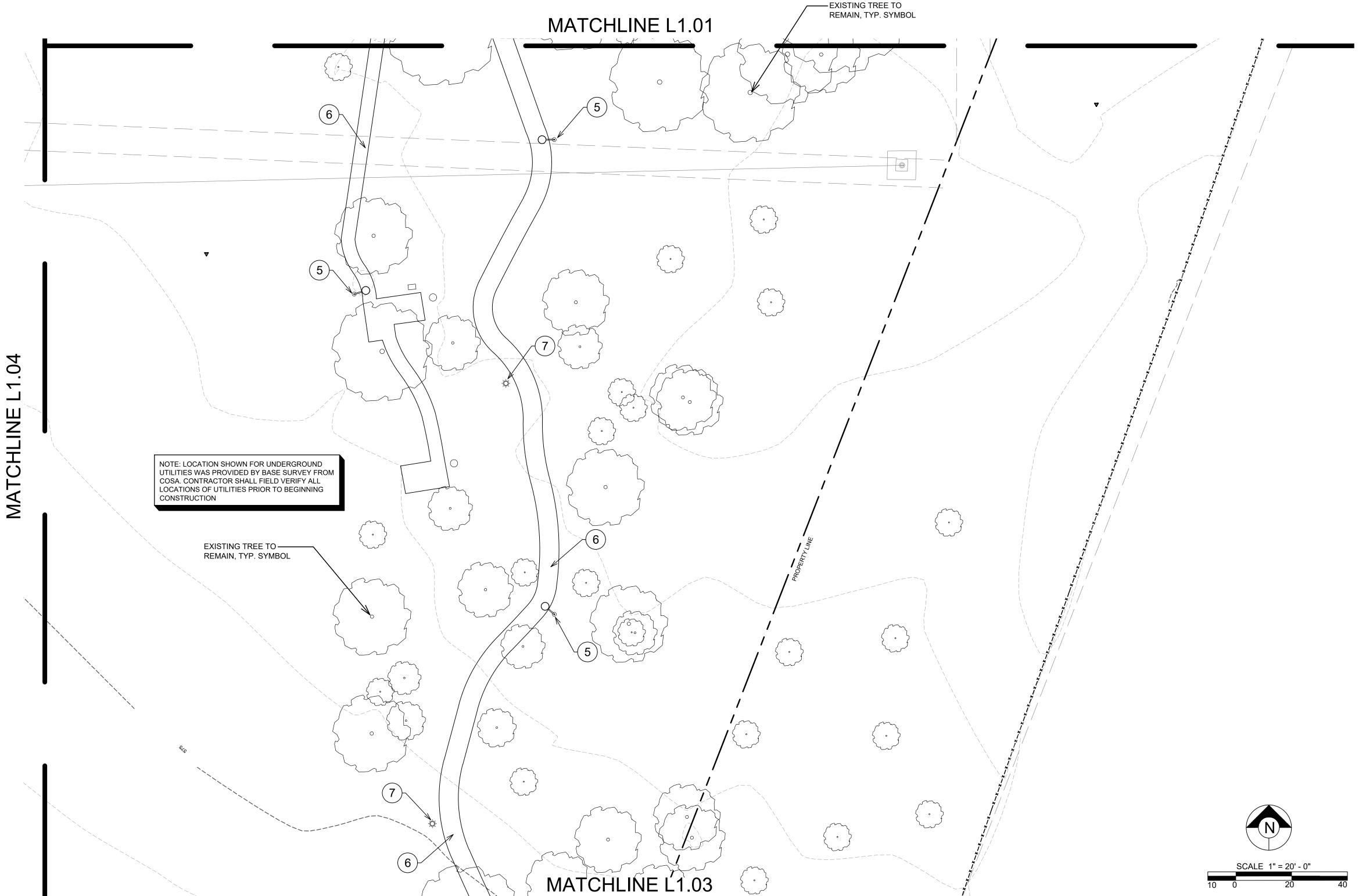
SHEET TITLE:

MATERIALS

PLAN









LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN 2310 N. LOOP 1604, STE #22 SAN ANTONIO, TX 78232 P: 210-908-6736

PROJECT:
VILLA CORONADO
PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

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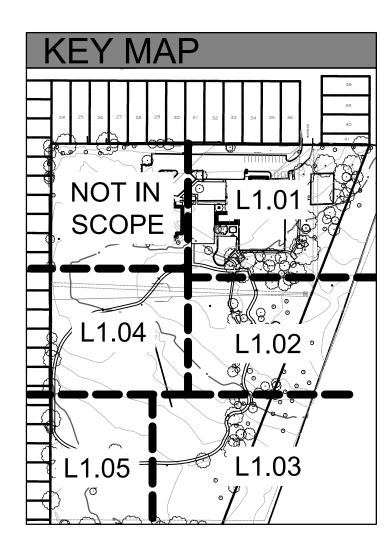
DRAWN BY: JS

REVIEWED BY: MJM

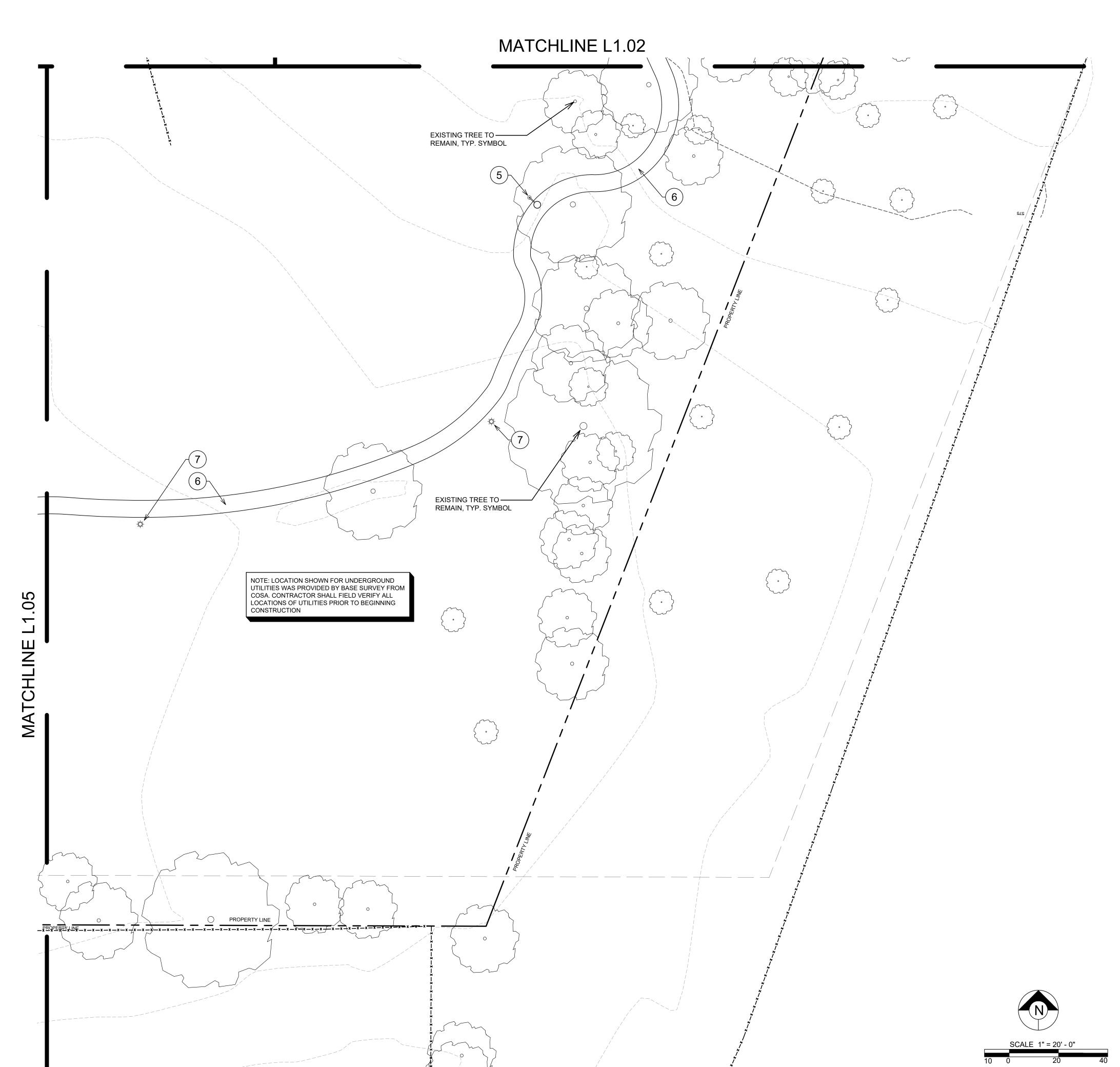
ISSUED: JUN. XX 2018

SHEET TITLE:
MATERIALS
PLAN

SHEET NUMBER: L1.02



- 1. EXISTING LIGHT POLE TO HAVE LIGHT FIXTURE REPLACED WITH LED LIGHT, RE: MEP DRAWINGS FOR SPECIFICATIONS AND DETAILS
- PROPOSED NEW PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS. RE: DEMOLITION PLANS FOR LIMITS OF REMOVAL FOR EXISTING CURB AND GUTTER
- PROPOSED NEW LINE VOLTAGE LED PARKING LIGHT AND POLE, RE: MEP DRAWINGS FOR DETAILS AND SPECIFICATIONS. RE: STRUCTURAL DRAWINGS FOR POST FOOTING
- 4. PROPOSED NEW PEDESTRIAN SIDEWALK ACCESS, RE: CIVIL DRAWINGS FOR DETAILS
- PROPOSED HIGHLIGHT EXCEL LED SOLAR PATH LIGHT BY SOLAR PATH SUN SOLUTIONS,
- 5. MODEL #EXCEL1000-55K-8019-2. LIGHT TO BE PLACED ON 20' HT. 6" DIAMETER ALUMINUM POLE BY SOLAR PATH SUN SOLUTIONS, MODEL #RTA8M20AA5. RE: DETAILS L2.01
- 6. EXISTING CONCRETE SIDEWALK TO REMAIN
- 7. EXISTING SOLAR TRAIL LIGHT TO REMAIN
- 8. EXISTING LINE VOLTAGE LIGHT TO REMAIN





LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN 2310 N. LOOP 1604. STE #22

2310 N. LOOP 1604, STE #22 SAN ANTONIO, TX 78232 P: 210-908-6736 WWW.GOOPENAIR.COM

PROJECT:
VILLA CORONADO
PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION: SAN ANTONIO, TEXAS

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REGISTRATION: 2484

PROJECT #: CSA20174

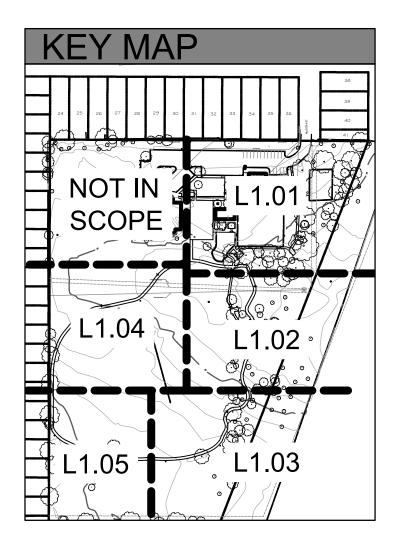
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DRAWN BY: JS

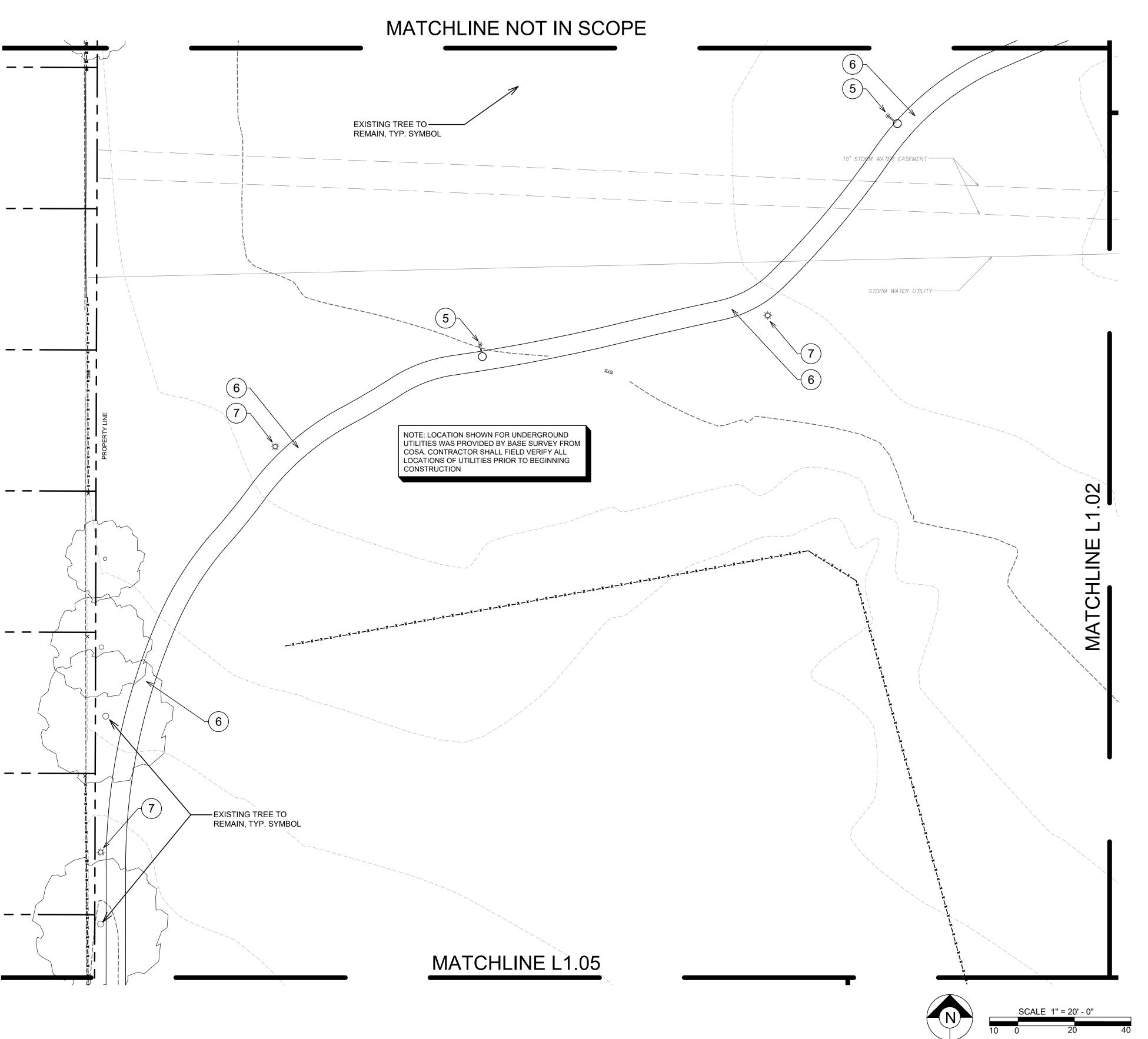
REVIEWED BY: MJM

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SHEET TITLE:
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PLAN



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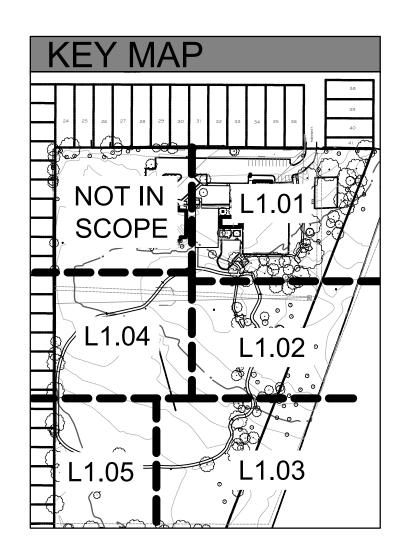
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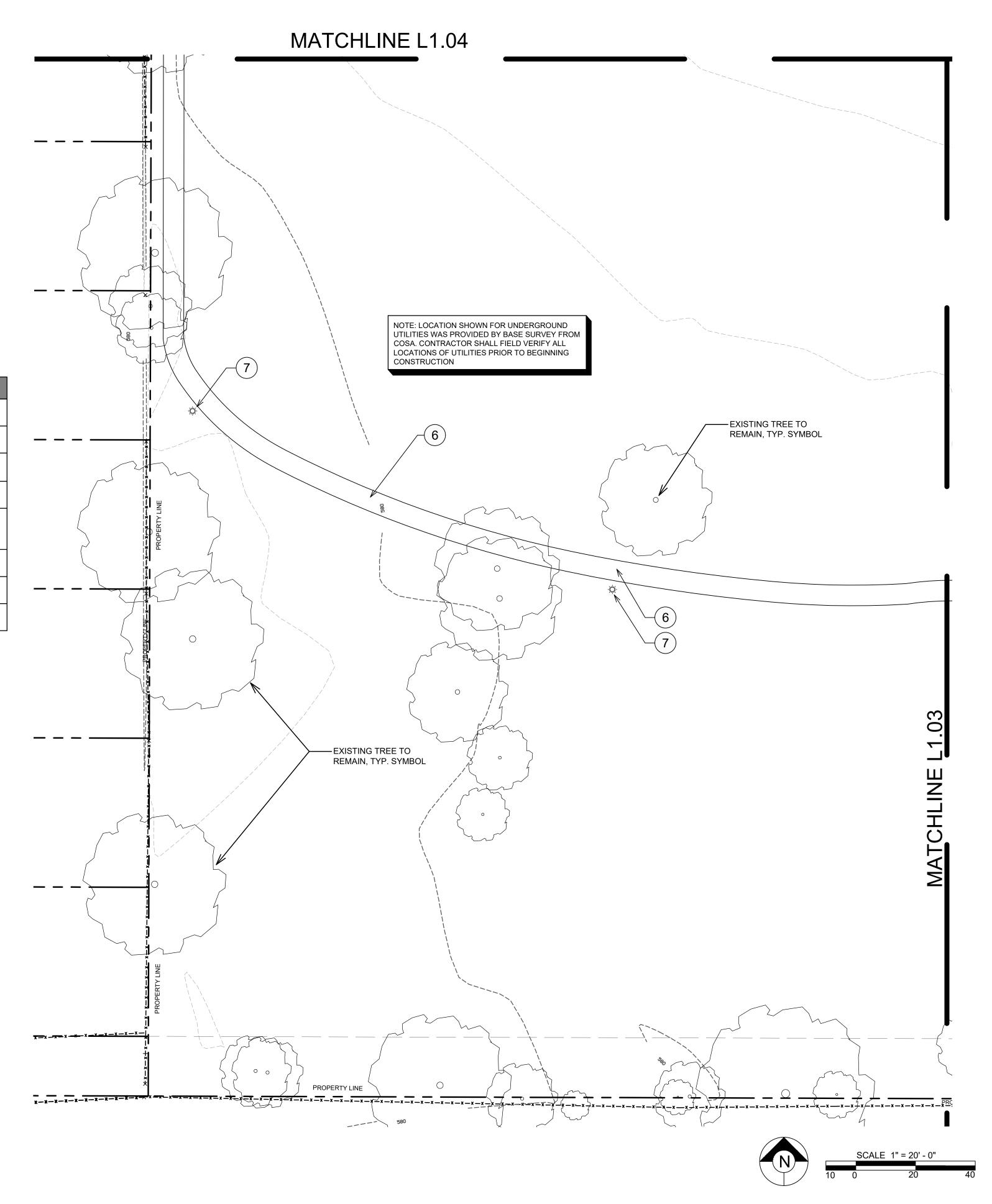
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LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN

2310 N. LOOP 1604, STE #22
SAN ANTONIO, TX 78232

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PROJECT:
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PARK

OWNER:
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TRAFFIC AND CAPITAL
IMPROVEMENTS

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PROJECT #: CSA20174

DESIGNED BY: JS

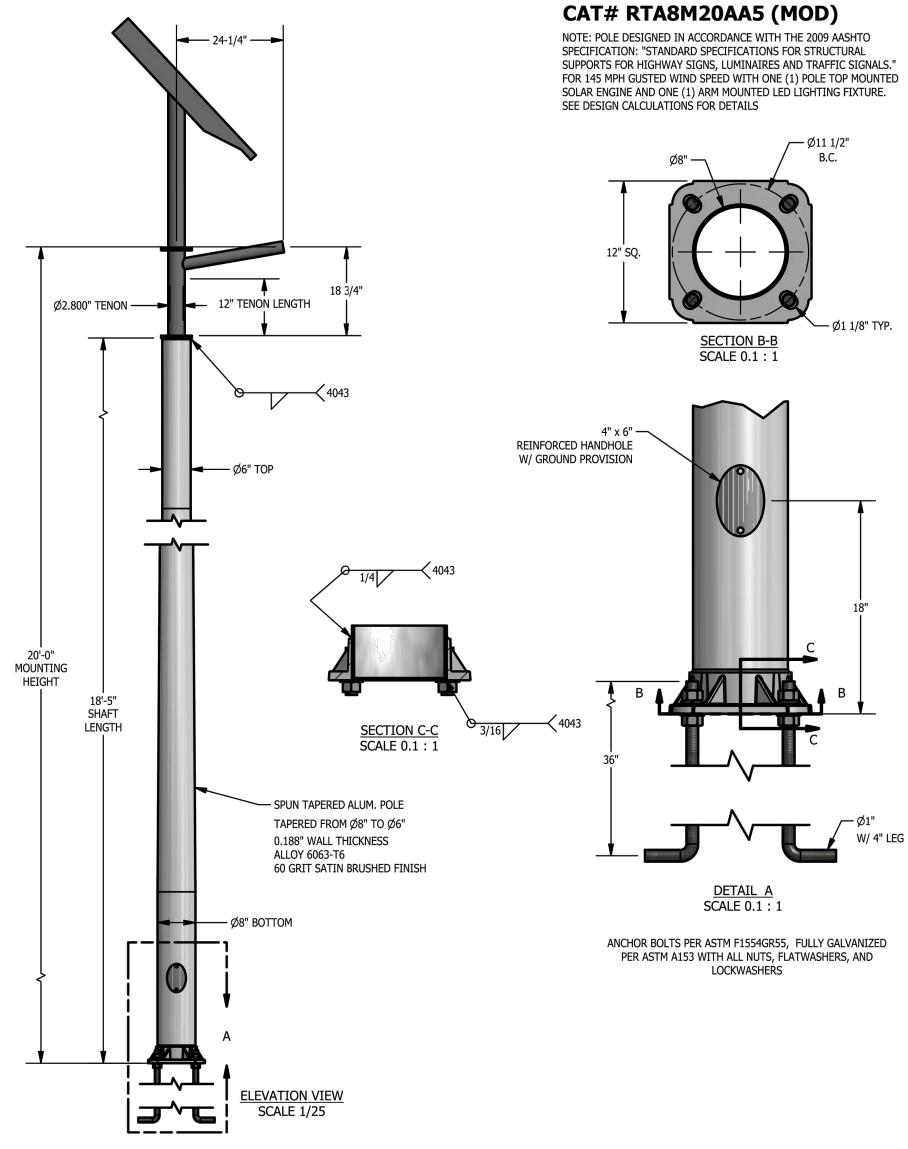
DRAWN BY: JS

REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE:
MATERIALS
CORONADO





2 SOLAR TRAIL LIGHT POST FOOTING

GENERAL NOTES:

REFERENCE THE LIGHTING FIXTURE
SCHEDULE FOR REQUIREMENTS

FOR IN-LINE FUSING TO BE

NOT TO SCALE

PROVIDED IN THE POLE BASE ACCESSIBLE FROM THE HAND CIRCLE DIA. AND BOLT SIZE
 AS DETERMINED BY POLE
 MANUFACTURER PROVIDE
 FULL BOLT COVER. - HANDHOLE SMOOTH FINISHED CONCRETE WITH 3/4" CHAMFERED EDGE — GROUND LUG. #6 BARE GROUND RIGID CONDUIT STUBBED UP— INTO POLE CONDUCTOR. /— CAD WELD — NATURAL GROUND FINISHED PAVEMENT --RIGID STEEL CONDUIT WITH 24" BELOW FINISH GRADE — CORROSION RESISTANT WRAPPING. SINGLE LINE PROVIDED FOR CLARITY. TRANSITION TO SCHEDULE 80
PVC AT 2'-0" PAST
CONCRETE FOOTING ---TRANSITION REFER TO DETAILS ON STRUCTURAL DRAWINGS FC FOOTING DEPTH, CONCRETI TYPE AND REINFORCEMENT REFER TO COPPER STRUCTURAL DRAWINGS

1 LINE VOLTAGE POST FOOTING

NOT TO SCALE



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OWNER:
CITY OF SAN ANTONIO
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REGISTRATION: 2484

PROJECT #: CSA20174

DESIGNED BY: JS

DRAWN BY: JS

REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE:

TYPICAL LIGHT

DETAILS

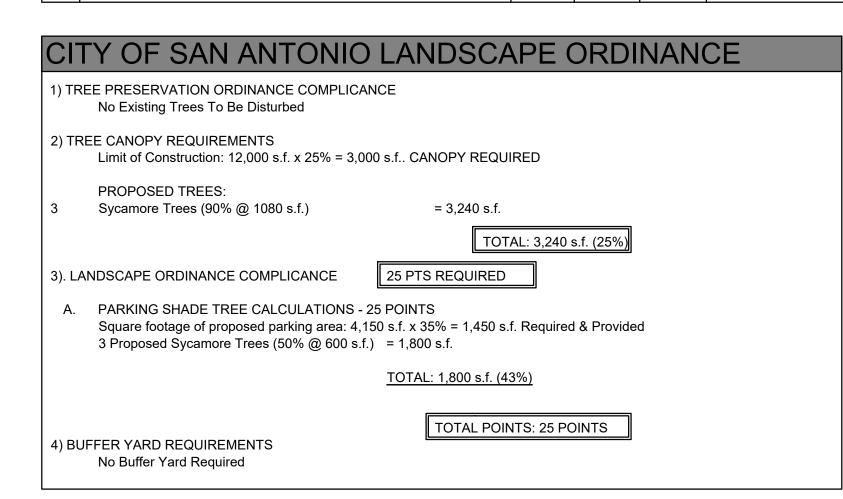
#### LEGEND

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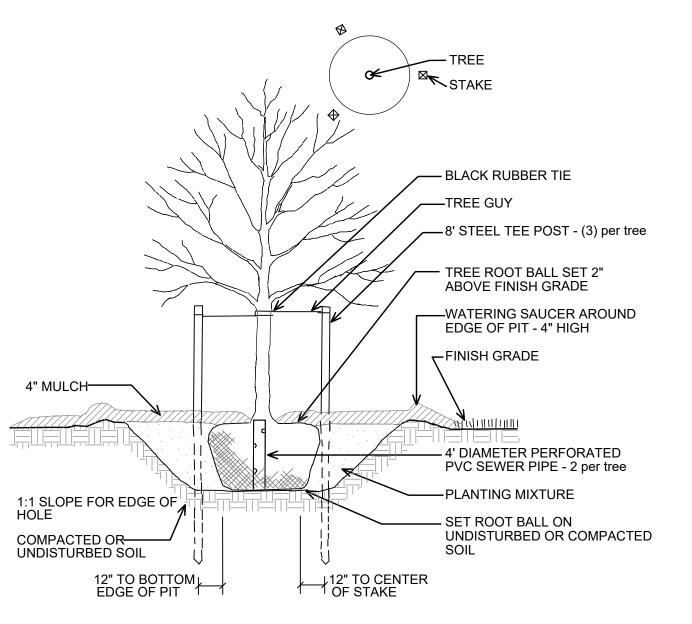
LARGE NURSERY GROWN CONTAINERIZED TREES

BERMUDA HYDROMULCH

PLANT LIST					
BOTANICAL NAME/ COMMON NAME	CAL	HEIGHT	SPREAD	MIN. SIZE	REMARKS
TREES					
SY PLATANUS MEXICANA MEXICAN SYCAMORE	1.5"	10'	4'	65 GAL.	MATCHED, WELL ROOTED
SOD					
CYNODON SPECIES BERMUDA HYDROMULCH					SOLID SOD



# CENERAL NOTES 1. Planting soil mixture shall be composed of the following: Landscape Mix Trees - New Earth 4-Way Planting Mix Shrub Beds - New Earth 4-Way Planting Mix Lawn Areas - New Earth Enriched Topsoil Mulch - New Earth Deuble Ground Composed Hardwood Mulch 2. Bidding contractors be advised that all new tree material is to be container-grown corresponding to stated root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or trans-planted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made. 3. Landscape Contractor doing the installation of this work shall submit to Landscape Architect information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Landscape Architect. Tree material meeting the specifications will be tagged with a serialized locking tag at the nursery by Landscape Architect. Plants arriving at the job site without these tags will be categorically rejected at contractor's expense. 4. If the planting plan does not agree with the plant list the quantities indicated graphically on the planting plan shall govern. 5. All disturbed areas are to receive four inches of topsoil, mulch, sod or hydromulch (depending on the area), and watered until a healthy stand of grass is established. 6. Between proposed trees and utility lines, place root barrier per detail to prevent spreading. 7. All trees planted adjacent to accessible routes and accessible areas shall not have limbs below 80" AFF. 8. At all electric meter, cable, phone, etc. service entry locations, shrubs are to be held off of building 3'-0". 9. Transformer locations may be altered by local electric company. If discrepancies occur, coordinate changes with landscape architect.



2 STANDARD TREE PLANTING DETAIL
SCALE: NTS

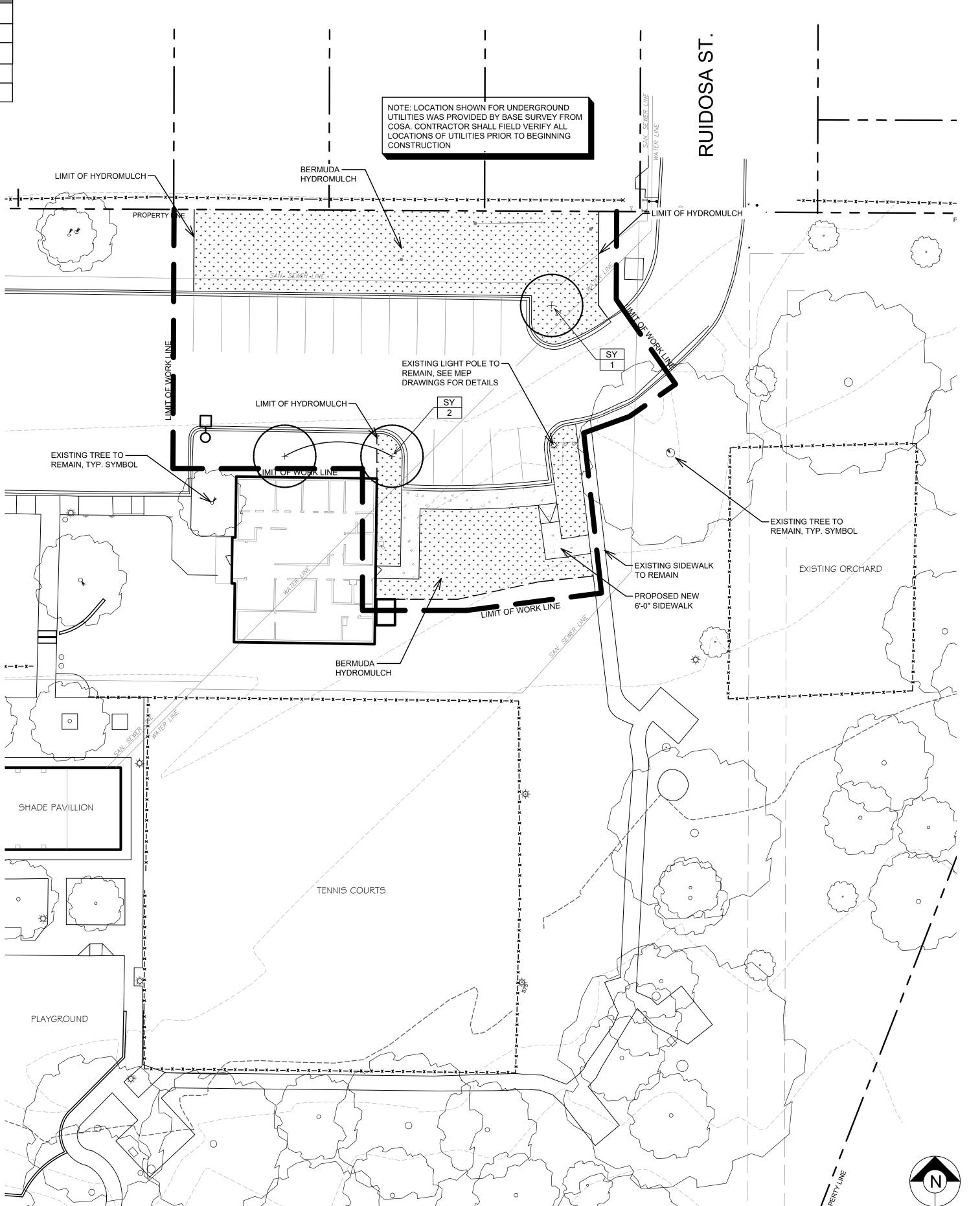
BERMUDA HYDROMULCH
FINISHED GRADE

4" SPECIFIED TOPSOIL

UNDISTURBED SUBGRADE

1 HYDROMULCH DETAIL

SCALE: NTS





LANDSCAPE ARCHITECTURE
PLANNING
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2310 N. LOOP 1604, STE #22
SAN ANTONIO, TX 78232

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PROJECT:
VILLA CORONADO
PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION: SAN ANTONIO, TEXAS

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ARCHITECT: MATTHEW MOCZYGEMBA

PROJECT #: CSA20174

DESIGNED BY: JS

DRAWN BY: JS

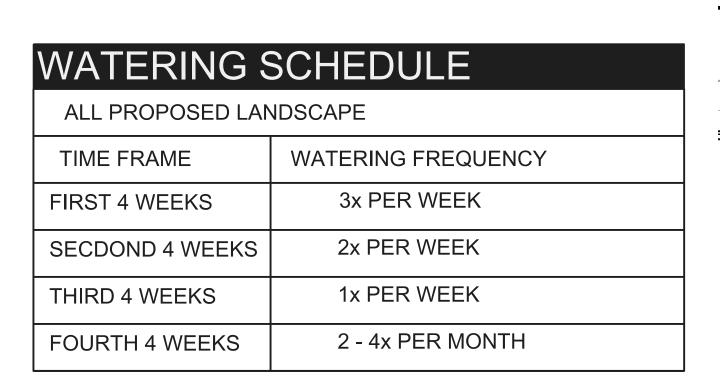
REVIEWED BY: MJM

LANDSCAPE

REGISTRATION: 2484

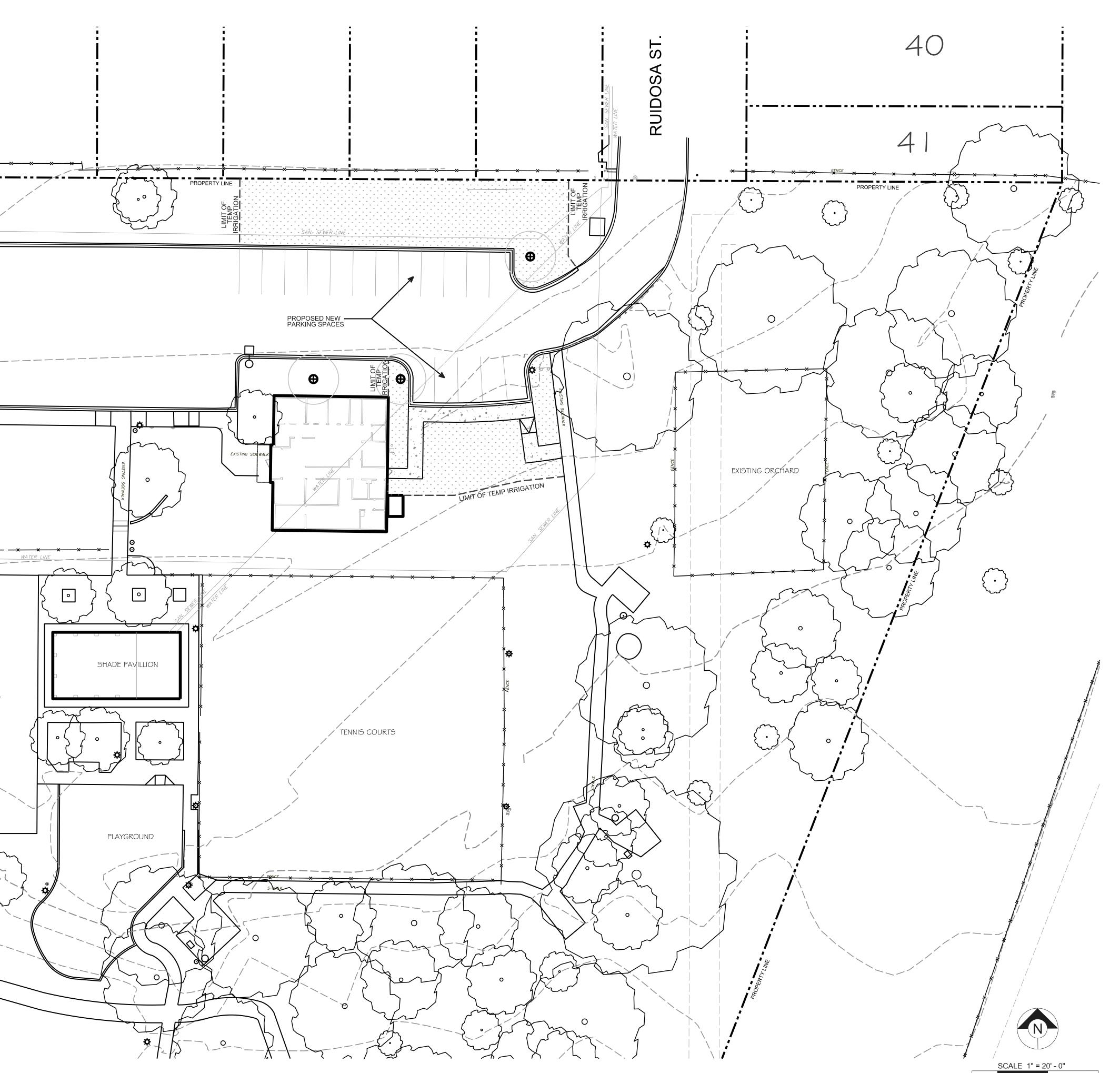
ISSUED: JUN. XX 2018

SHEET TITLE:
PLANTING
PLAN



# TREE GATOR BAG INSTALL PER MANUFACTURER'S SPECIFICATION TEMPORARY IRRIGATION BERMUDA HYDROMULCH TO BE HAND IRRIGATED BY PARKS MAINTENANCE UNTIL HEALTHY STAND OF GRASS IS ESTABLISHED

ALL PROPOSED BERMUDA HYDROMULCH SHALL BE WATERED BY HAND USING PROVIDED WATERING SCHEDULE. CONTRACTOR SHALL UTILIZE TREE GATOR BAGS FOR PROPOSED MEXICAN SYCAMORE TREES





LANDSCAPE ARCHITECTURE PLANNING URBAN DESIGN 2310 N. LOOP 1604 WEST, STE #22 SAN ANTONIO, TX 78248 P: 210-908-6736 WWW.GOOPENAIR.COM

PROJECT:

VILLA CORONADO PARK

OWNER:
CITY OF SAN ANTONIO
TRANSPORTATION AND
CAPITAL IMPROVEMENTS

LOCATION: SAN ANTONIO, TEXAS

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DATE: 06-25-2019

DATE: 06-25-2019 LANDSCAPE ARCHITECT: MATTHEW MOCZYGEMBA REGISTRATION: 2484

PROJECT #: CSA20174

DESIGNED BY: JS

DRAWN BY: JS

REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE:
IRRIGATION
PLAN

more acres distrubed soil. Projects with any dist isson and sedimentation in accordance with Item No Action Required Stion No.  Prevent stormwater pollution by controlling erost accordance with TPDES Permit TXR 150000. Comply with the Storm Water Pollution Prevent necessary to control pollution or required by the Post Construction Site Notice (CSN) with SW31 accessible to the public and Texas Commission Environmental Protection Agency (EPA) or other When Contractor project specific locations (PSI to 5 acres or more, Contractor shall submit Not the COSA Inspector.  NOI required: Yes No  te: If amount of soil disturbance changes, permit work in any potential USACE juth as, rivers, creeks, streams, or wetlands.  The Contractor shall adhere to all of the terms and a following permit(s):  No Permit Required  Nationwide Permit (NWP) 14 - Pre-construction Nationwide Permit 14 - PCN Required  Individual 404 Permit Required  Other Nationwide Permit Required: NWP#	Required Action  Required Action  Ion and sedimentation in  on Plan (SW3P) and revise when Engineer. Information on or near the site, on Environmental Quality (TCEQ), r inspectors. Is) increase disturbed soil area ce of Intent (NOI) to TCEQ and  requirements may change.  S AND WETLANDS CLEAN WATE  red for filling, dredging, risdictional water,  conditions associated with  In Notice (PCN) not Required  es to, location in project and to control erosion,	
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the COSA Inspector.  NOI required: Yes No  te: If amount of soil disturbance changes, permit  WORK IN OR NEAR STREAMS, WATERBODIE ACT SECTIONS 401 AND 404  GARMY Corps of Engineers (USACE) Permit requestavating or other work in any potential USACE justic has, rivers, creeks, streams, or wetlands.  The Contractor shall adhere to all of the terms and a following permit (s):  No Permit Required  Nationwide Permit (NWP) 14 - Pre-construction Nationwide Permit 14 - PCN Required  Individual 404 Permit Required  Other Nationwide Permit Required: NWP#  quired Actions: List waters of the US permit appled check Best Management Practices (BMPs) pladimentation and post-project total suspended solumentation and post-project total suspended solumentation.  1 Best Management Practices: (Not applicable if	requirements may change.  S AND WETLANDS CLEAN WATE  red for filling, dredging, risdictional water,  conditions associated with  n Notice (PCN) not Required  es to, location in project aned to control erosion,	ER
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quired Actions: List waters of the US permit appled check Best Management Practices (BMPs) pladimentation and post-project total suspended sol	ned to control erosion,	
1 Best Management Practices: (Not applicable if	23 (100).	
	no LICACE normait)	
•		
osion Sedime	ntation	Post-Construction TSS
Temporary Vegetation Silf	Fence	Vegetative Filter Strips
Blankets/Matting Ro	k Berm	Retention/Irrigation Systems
Mulch Tris	ngular Filter Dike	Extended Detention Basin
Sodding	d Bag Berm	Constructed Wetlands
Interceptor Swale Str	w Bale Dike	Wet Basin
Diversion Dike Bru	sh Berms	Erosion Control Compost
Erosion Control Compost Ero		
Mulch Filter Berm and Socks Mu	sion Control Compost	Mulch Filter Berm and Socks
Compost Filter Berm and Socks Co	sion Control Compost ch Filter Berm and Socks	Mulch Filter Berm and Socks  Compost Filter Berm and Socks
Sto	·	

Grassy Swales

#### III. CULTURAL RESOURCES

Cultural resources fall under the Antiquities Code of Texas and/or the National Historic Preservation Act, as amended in 1966. If a previously unidentified archeological site is encountered during construction work, activities should be immediately stopped in the vicinity and the City Archeologist (210-207-7306) notified and/or the SHPO.

No Action Required	Required Action
Action No.	
1.	

#### IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical. Contractor must adhere to Construction Specification Requirements Specs 162,164, 192, 193, 506, 730, 751, 752 in order to comply with requirements for invasive species, beneficial landscaping, and tree/brush removal commitments.

No Action Required	$\boxtimes$	Required Action

#### Action No.

- 1. Ensure that a tree permit is in place for this project, if required.
- Follow the tree preservation/mitigation plan provided in the design plan set. If there are any questions or concerns, please contact the City Arborist at 210-207-0278, before any work begins.

V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

Action No	

No Action Required

1. MIGRATORY BIRD NESTEDule construction activities as needed to meet the following requirements:

Required Action

A. Do not remove or destroy any active migratory bird nests (nests containing eggs and/or flightless birds) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.

B. On/in structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to the structures to prevent future nest building.

- 2. Deterrent material should be placed (and maintained) after October 1 or before February 15.
- 3. The preferred nesting season for migratory birds is from February 15 through October 1. When practicable, schedule construction operations outside of the preferred nesting season.

If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the COSA Inspector immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediated area, and contact the COSA Inspector immediately.

#### VI. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES

#### General (applies to all projects):

Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used.

Obtain and keep on-site Material Safety Data Sheets (MSDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labelling as required by the Act.

Maintain an adequate supply of on-site spill response materials, as indicated in the MSDS. In the event of a spill, take actions to mitigate the spill as indicated in the MSDS, in accordance with safe work practices, and contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:

- \* Dead or distressed vegetation (not identified as normal)
- \* Trash piles, drums, canister, barrels, etc.
- \* Undesirable smells or odors
- Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

N N	No Action Required					Required Action
Action	No.					
1.						
2.						
3.						
If "Yes", a proof State Hea	roject involve the der Yes re- demolition notifica alth Services. The co ys prior to the demol ification.	ation nontracto	No (No furt nust be subr or shall cont	her acomitted	tion roto to the Proj	e Texas Departmo lect Engineer 25
VII. OTHER	ENVIRONMENTAL	. ISSU	ES			
(includes reç	gional issues such as	s Edwa	ards Aquifer	Distric	ct, etc	c.)
No Act	tion Required				Requ	uired Action
Action No.						
4						

Villa Coronado Park (2017 Bond)

June 2019

ENVIRONMENTAL\_PERMITS,
ISSUES\_AND\_COMMITMENTS

**EPIC** 

FILE: epic_2015-10-09 SAT.dgn	DN: CO	SA	ск: COSA	DW:	LG		ск: <b>JS</b>
©TxDOT NOVEMBER 2018	CONT	SECT	JOB			HIG	HWAY
REVISIONS							
	DIST		COUNTY				SHEET NO.



LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN

2310 N. LOOP 1604, STE #22
SAN ANTONIO, TX 78232

P: 210-908-6736
WWW.GOOPENAIR.COM

PROJECT:
VILLA CORONADO
PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION: SAN ANTONIO, TEXAS

Document incomplete; Not intended for permit, bidding or construction.

DATE: 06-25-2019

LANDSCAPE
ARCHITECT: MATTHEW MOCZYGEMBA

PROJECT #: CSA20174

DESIGNED BY: JS

DRAWN BY: JS

REVIEWED BY: MJM

ISSUED: JUN. XX 2018

REGISTRATION: 2484

SHEET TITLE: E.P.I.C. SHEET

### **ELECTRICAL SYMBOLS & ABBREVIATIONS**

[SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT]

SYMBOL	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVI	ATION DESCRIPTION	GENERAL NOTES	LIGHTING GENERAL NOTES
GENERAL						CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS     AND REVIEW ALL RELATED DRAWINGS AND SPECIFICATIONS PRIOR TO	ELECTRICAL DRAWINGS INDICATE GENERAL LOCATIONS OF LIGHTING
J	PULL BOX	A ABV AIC	AMPERE(S) ABOVE AMPERE INTERRUPTING CAPACITY	ID IMC IN	INSIDE DIAMETER INTERMEDIATE STEEL CONDUIT INCHES	BID.  2. THE DRAWINGS ARE DIAGRAMMATICAL. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND DETERMINE CONDUIT ROUTING AND EXACT LOCATIONS OF EQUIPMENT AND DEVICES. NOTIFY THE	FIXTURES ONLY. FOR EXACT LOCATIONS AND SPACING, SEE ARCHITECTURAL DRAWINGS. IF CONTRACTOR DETERMINES THAT THERE IS A DIFFERENCE IN QUANTITY OF FIXTURES SHOWN ON THE ARCHITECTURAL AND ELECTRICAL DRAWINGS, HE SHALL USE THE HIGHER NUMBER OF THE TWO QUANTITIES FOR BIDDING AND THEN CONTACT THE DESIGN TEAM FOR FINAL RESOLUTION.
J	JUNCTION BOX	AFG	ABOVE FINISHED GRADE	JB	JUNCTION BOX	ARCHITECT/ENGINEER IF THE APPROXIMATE CONDUIT ROUTING SHOWN ON PLANS IS NOT FEASIBLE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ROUGH—IN.	2. EXTERIOR LIGHTING TO BE CONTROLLED BY THE EXISTING LIGHTING CONTROL
•	EQUIPMENT CONNECTION, HARD WIRED	BFF	BELOW FINISHED FLOOR	KV KVA	KILOVOLT KILOVOLT AMPERE	3. LOCATIONS OF DEVICES ARE DIAGRAMMATICAL. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ROUGH—IN.	SYSTEM.  3. REFERENCE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL FIXTURE INFORMATION.
PANELBOARDS (2	26 24 16)	BLDG	BUILDING	KWH	KILOWATT HOUR	4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT ISSUE OF THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES. ALL WORK SHALL MATCH THE EXISTING BUILDING'S ELECTRICAL	INI OMMATION.
	EVICTINO DANIELDOADD, CUDEACE MOUNTED	CB	CONDUIT CIRCUIT BREAKER	LB	POUND	INSTALLATION. ALL SYSTEMS SHALL BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS APPROVED BY ALL AUTHORITIES HAVING JURISDICTION.	
	EXISTING PANELBOARD, SURFACE MOUNTED	CKT COND	CIRCUIT CONDUCTOR	MAX	MAXIMUM	5. PROVIDE A TYPED PANEL DIRECTORY FOR EACH NEW OR MODIFIED ELECTRICAL PANEL. DIRECTORY SHALL IDENTIFY THE CIRCUIT NUMBER,	
INTERIOR & EXTE	RIOR LIGHTING (26 51 00 & 26 56 00)	DIA DIST	DIAMETER DISTRIBUTION	MH MIN	MOUNTING HEIGHT MINIMUM	DEVICES SERVED, AND LOCATION OF DEVICES BY ROOM NUMBER. FILE COPY OF DIRECTORIES WITH THE OWNER'S REPRESENTATIVE WHEM WORK IS COMPLETED, AND PROVIDE COPIES WITH THE OWNER'S MANUALS.	
	POLE LIGHT FIXTURE	DN DWGS	DOWN DRAWINGS	MLO MTG	MAIN LUGS ONLY MOUNTING	6. IDENTIFY PANEL AND CIRCUIT NUMBER FOR ALL INSTALLED ELECTRICAL DEVICES ON THE OUTSIDE OF THE JUNCTION BOX.	
4	POLE LIGHT FIXTURE	EC	EMPTY CONDUIT	NA NC	NOT APPLICABLE NORMALLY CLOSED	7. REFER TO SHEETS E1.1 AND E1.2 FOR ADDITIONAL GENERAL NOTES.	
RACEWAYS (26 05	5 33)	EMT EQMT	ELEC. METALLIC TUBING EQUIPMENT	NF	NON FUSED		
		EXTG	EXISTING	NO N.T.S.	NOTHOUSCALE	DEMOLITION GENERAL NOTES	
UGE	UNDERGROUND UTILITY LINE	FC FLEX	FOOT CANDLES FLEXIBLE METAL CONDUIT	ос он	ON CENTER OVERHEAD	CONDUCT ALL DEMOLITION WORK IN SUCH MANNER TO MAINTAIN A     SAFE WORK ENVIRONMENT AND IN ACCORDANCE WITH APPLICABLE	
		FN FT	FULL NEUTRAL FEET, FOOT	Р	POLE	SAFETY RULES AND PROCEDURES WITHIN NEC, NESC, NECA, AND OSHA REQUIREMENTS.  2. CONTRACTOR SHALL REQUEST AND REVIEW ANY HAZARDOUS	
UGE	EXISTING UNDERGROUND UTILITY LINE	GALV	GALVANIZED	PEC PNL	PHOTO CELL PANELBOARD	MATERIALS SURVEYS FROM THE OWNER'S REPRESENTATIVE. OBSERVE RECOMMENDED PRECAUTIONS AND VERIFY THE STATUS OF ANY REMEDIAL WORK RECOMMENDED OR NOTED WITHIN THE	
		GFCI GFI	GROUND FAULT CIRCUIT INTERRUPTER GROUND FAULT INTERRUPTER	PVC PWR	POLY VINYL CHLORIDE CONDUIT POWER	HAZARDOUS MATERIAL SURVEY. NOTIFY THE OWNER'S REPRESENTATIVE IF ANY HAZARDOUS MATERIALS ARE SUSPECTED OR OBSERVED DURING THE COURSE OF EXECUTING THIS	
	CONDUIT CONCEALED IN WALL OR CEILING WITH ONE PHASE, NEUTRAL AND GROUND CONDUCTOR U.N.O.	GND HID	GROUND HIGH INTENSITY DISCHARGE	RGS RMC	RIGID GALVANIZED STEEL CONDUIT RIGID METAL CONDUIT	CONTRACT.  3. SURVEY AREAS OF THE FACILITY SCHEDULED FOR RENOVATION OR PARTIAL DEMOLITION PRIOR TO ANY WORK BEING PROFORMED.	
	UNDERGROUND BRANCH CIRCUIT	HP HOA	HORSE POWER HAND OFF AUTOMATIC	SC SN	SPLIT CIRCUIT SOLID NEUTRAL	SUBMIT A REPORT OF THIS PRE-WORK SURVEY DETAILING ANY UTILIZATION EQUIPMENT OR SYSTEMS THAT ARE NOT IN GOOD WORKING ORDER IN ADVANCE OF ANY DEMOLITION WORK AND	
PANEL-2,4,6	BRANCH CIRCUIT HOMERUN, WITH PANEL AND BREAKER POSITION INDICATED. SMALL TICK(S) = PHASE CONDUCTORS, LARGE TICK =	HZ	HERTZ	SQFT SW	SQUARE FEET,FOOT SWITCH	REVIEW WITH THE OWNER'S REPRESENTATIVE.  4. RESTORE CIRCUITS, UTILIZATION EQUIPMENT, AND SYSTEMS	
IG G N	NEUTRAL CONDUCTOR AND LARGE TICK WITH CIRCLE = GROUND CONDUCTOR.			TC	TIME CLOCK	AFFECTED BY SELECTIVE DEMOLITION TO THE CONDITION NOTED IN THE PRE—WORK SURVEY REPORT. ELECTRICAL CIRCUITS WITH A PORTION OF THE LOAD REMOVED SHALL HAVE THE REMOVED LOADS ASSOCIATED CIRCUITRY TERMINATED IN SUCH A MANNER THAT THE	
				TYP.	TYPICAL	REMAINING LOAD REMAINS FULLY OPERATIONAL.  5. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR SALVAGED	
				U.N.O.	UNLESS NOTED OTHERWISE	MATERIAL. REQUEST THAT THE OWNER PROVIDE DIRECTION ON DISPOSITION OF SALVAGED MATERIAL FIVE (5) WORKING DAYS PRIOR TO REMOVAL. IF SO DIRECTED BY THE OWNER, SALVAGED MATERIAL	
				V VP	VOLT(S) VAPOR PROOF	SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE DELIVERED BY THE CONTRACTOR TO A LOCATION AS DIRECTED. REMOVE AND DISPOSE ANY SALVAGED MATERIAL NOT RETAINED BY THE OWNER.	
				W WP	WIRE WEATHERPROOF	6. VERIFY LOCATION AND QUANTITY OF ITEMS TO BE REMOVED. NO ALLOWANCE WILL BE MADE BECAUSE OF CONTRACTOR'S UNFAMILIARITY WITH THESE DETAILS.	
		REFERENCE SYMBO	DLS	XFMR	TRANSFORMER	7. LIGHTS SCHEDULED FOR DEMOLITION SHALL HAVE THEIR ASSOCIATED CIRCUITRY REMOVED UNLESS OTHERWISE NOTED. ASSOCIATED CIRCUITRY IS DEFINED AS ALL WIRE, CONDUIT, JUNCTION BOXES, DEVICE BOXES, WIRING	
		}	CIRCUIT END EXTENSION	Z 1P	IMPEDENCE  ONE POLE	DEVICES, COVER PLATES, PROTECTIVE DEVICE, AND PANEL, ETC. ASSOCIATED WITH THE ITEM SCHEDULED FOR REMOVAL. CONDUIT FOR ITEMS SCHEDULED FOR REMOVAL AND IN INACCESSIBLE AREAS SHALL BE EMPTIED AND SEALED OR OTHERWISE TERMINATED IN A SAFE MANNER ACCEPTABLE TO THE	
		⊗	KEYED NOTE TAG, HEXAGON	2P 3P	TWO POLE THREE POLE	OWNER.  8. DAMAGED AREAS CAUSED BY REMOVAL OF ANY OF THE ABOVE	
			ADDENDUM, ASI, ASR, PR TAG	0	PHASE	ITEMS AND WHICH ARE NOT CONCEALED BY NEW CONSTRUCTION SHALL BE REPAIRED TO MATCH ADJACENT SURFACES. OPENINGS CREATED BY THE REMOVAL OF THESE ITEMS THROUGH FIRE RATED WALLS SHALL BE FIRE STOPPED.	
		(1) E1.0)	ENLARGED PLAN, DETAIL TAG			9. REMOVE ABANDONED CONDUIT TO POINT OF CONCEALMENT BEHIND INACCESSIBLE SURFACES. ENTIRELY REMOVE ABANDONED WIRING.	
		5 E303	ELEVATION TAG			10. IF A CONDUIT RUN IS EXPOSED OR A SURFACE RACEWAY LEFT WITHOUT A MOUNTING SURFACE DUE TO REMOVAL OF A PARTITION, THE RACEWAY SHALL BE REROUTED AS ACCEPTABLE TO THE OWNER/ARCHITECT.	
		5 E303	SECTION TAG			11. PROTECT ELECTRICAL EQUIPMENT, OUTLETS, AND DEVICES THAT ARE SCHEDULED TO BE RELOCATED. REPAIR, RESTORE, OR REPLACE ITEMS DAMAGED WHEN REMOVED TO THE APPROVAL OF THE OWNER. NOTIFY THE OWNER/ARCHITECT/ENGINEER OF ANY	
						ELECTRICAL EQUIPMENT, OUTLETS AND/OR DÉVICES WHICH ARE SCHEDULED TO BE RE-USED THAT ARE FOUND TO BE UNUSABLE.  12. CONTRACTOR SHALL UPDATE PANELBOARD DIRECTORIES AT EACH	
						PANEL WHERE CIRCUIT MODIFICATIONS ARE MADE	





PROJECT:
VILLA CORONADO
PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION: 11030 RUIDOSA SAN ANTONIO, TEXAS

PROJECT #: CSA20174 DESIGNED BY:

REVIEWED BY:

DRAWN BY:

ISSUED: XX XXX. 2018

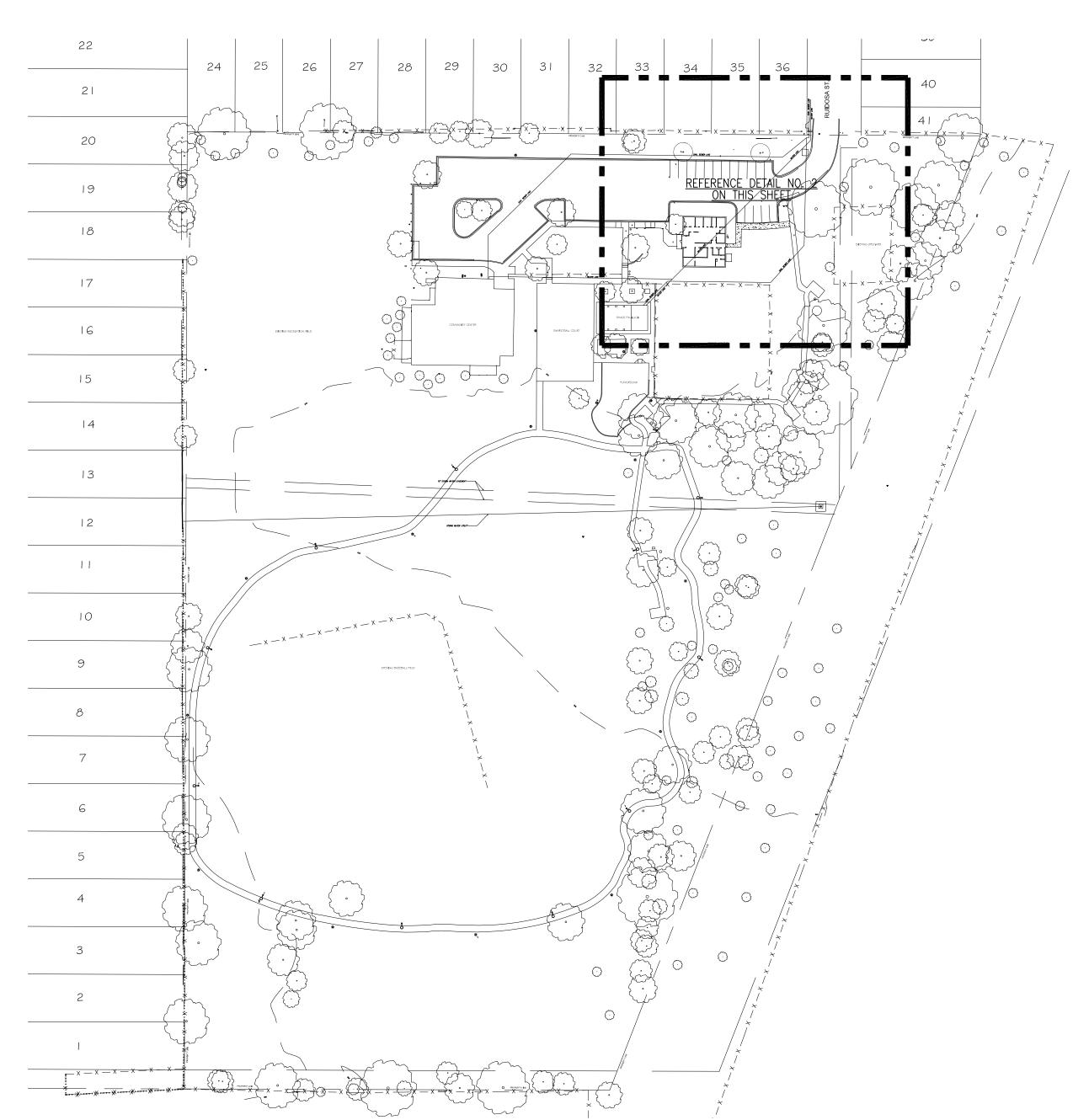
INTERIM REVIEW ONLY
Document Incomplete: Not Intended for permit, bidding or construction.
Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name: CNG ENGINEERING, PLLC.
Texas Registered Engineering Firm:F-7964
Date: 06/19/2019

SHEET TITLE:

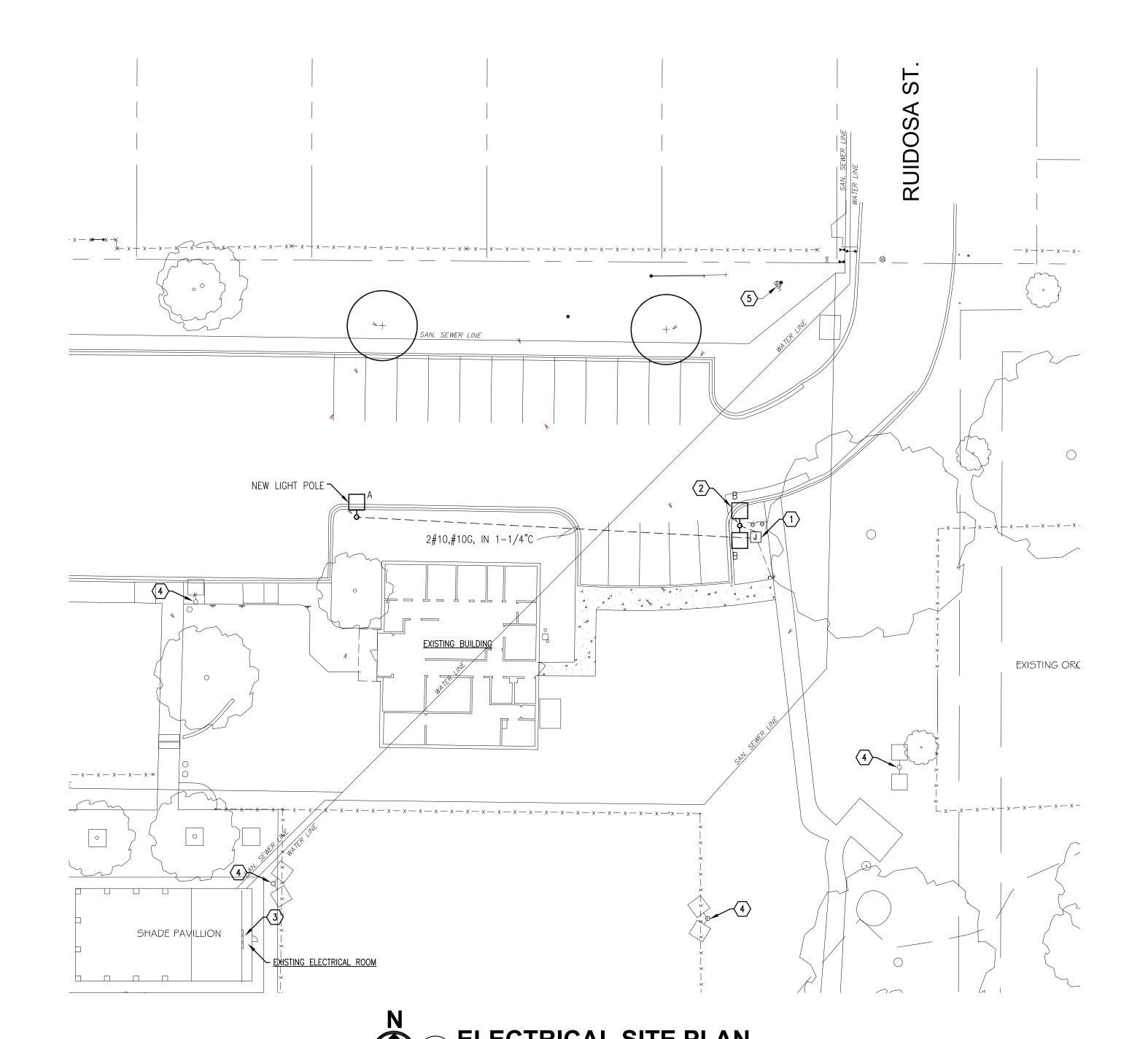
SYMBOLS & ABBREVIATIONS

SHEET NUMBER:

E1.00







#### (#) KEYED NOTES: (DETAIL NO.1 ONLY)

- 1. INTERCEPT ELECTRICAL CONDUIT SERVING LIGHT POLE AND LEAVE READY FOR INSTALLATION OF IN-GRADE JUNCTION BOX AND EXTENSION OF CIRCUIT TO NEW POLE MOUNTED PARKING LOT LIGHT. PROVIDE MEDIUM DUTY PULLBOX PER TYPICAL DETAIL 1/E2.1. EXTEND UNDERGROUND ELECTRICAL CIRCUIT TO EXISTING LIGHT POLE TO REMAIN. EXTEND 2#10,#10G, IN 1-1/4"C TO NEW POLE MOUNTED PARKING LOT LIGHTING
- 2. REPLACE EXISTING LIGHTING FIXTURES WITH NEW LED LIGHTING FIXTURES AS SPECIFIED. VERIFY CIRCUIT CONFIGURATION AND VOLTAGE PRIOR TO PURCHASING FIXTURES. CONNECT NEW POLE MOUNTED LIGHTING FIXTURES TO EXISTING CIRCUIT. REUSE EXISTING WIRING CONNECTIONS. COORDINATE MOUNTING BRACKET REQUIREMENTS WITH EXISTING POLE TO REMAIN.
- 3. LOCATION OF EXISTING 120/240V, 1 PHASE PANEL, CONTACTOR ENCLOSURE AND TIMECLOCK SERVING EXISTING SITE LIGHTING. LIGHTING CIRCUITS ARE CONTROLLED THROUGH AN EXISTING LIGHTING CONTACTOR CONTROLLED BY A ROTARY TIMECLOCK DEVICE. FIELD VERIFY CIRCUIT NUMBER SERVING LIGHTS BEING REPLACED. TRACE CIRCUITS BACK TO PANEL AS NECESSARY. NOTIFY ENGINEER OF ANY CIRCUIT SOURCE DISCREPANCY FOUND. EXISTING PANEL AND LIGHTING CONTROLS DEVICES TO REMAIN. UPDATE PANELBOARD SCHEDULE AS NECESSARY.
- 4. EXISTING POLE MOUNTED LIGHTING FIXTURE TO REMAIN. MAINTAIN LIGHTING CIRCUIT DURING CONSTRUCTION.
- 5. EXISTING 100A METERED SERVICE AND DISCONNECT SWITCH TO REMAIN. DISCONNECT SWITCH REPLACEMENT, GROUNDING CONDUCTOR AND RACEWAY REPAIRS TO BE PERFORMED BY OWNER.

#### GENERAL DEMOLITION NOTES: (DETAIL NO.1 ONLY)

- A. CONDUCT ALL DEMOLITION WORK IN SUCH A MANNER AS TO MAINTAIN A SAFE WORK ENVIRONMENT AND IN ACCORDANCE WITH APPLICABLE SAFETY RULES AND PROCEDURES WITHIN NEC, NECA AND OSHA REQUIREMENTS.
- B. CONTRACTOR SHALL REQUEST AND REVIEW ANY HAZARDOUS MATERIALS SURVEYS FROM THE OWNER'S REPRESENTATIVE. OBSERVE RECOMMENDED PRECAUTIONS AND VERIFY THE STATUS OF ANY REMEDIAL WORK RECOMMENDED OR NOTED WITHIN THE HAZARDOUS MATERIAL SURVEY. NOTIFY THE OWNER'S REPRESENTATIVE IF ANY HAZARDOUS MATERIALS ARE SUSPECTED OR OBSERVED DURING THE COURSE OF EXECUTING THIS CONTRACT.
- C. SURVEY AREAS OF THE FACILITY SCHEDULED FOR RENOVATION OR PARTIAL DEMOLITION PRIOR TO ANY WORK BEING PERFORMED. SUBMIT REPORT OF THE PRE-WORK SURVEY DETAILING ANY UTILIZATION EQUIPMENT OR SYSTEMS THAT ARE NOT IN GOOD WORKING ORDER IN ADVANCE OF ANY DEMOLITION WORK AND REVIEW WITH THE OWNER'S REPRESENTATIVE.
- D. CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE TO USE CALL 811 FOR LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING OR TRENCHING.
- E. RESTORE CIRCUITS, UTILIZATION EQUIPMENT AND SYSTEMS AFFECTED BY SELECTIVE DEMOLITION TO THE CONDITION NOTED IN THE PRE-WORK SURVEY REPORT. ELECTRICAL CIRCUITS WITH A PORTION OF THE LOAD REMOVED SHALL HAVE THE REMOVED LOADS ASSOCIATED CIRCUITRY TERMINATED IN SUCH A MANNER THAT THE REMAINING LOAD REMAINS FULLY OPERATIONAL.

- F. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR SALVAGED MATERIAL. REQUEST THAT THE OWNER PROVIDE DIRECTION ON DISPOSITION OF SALVAGED MATERIAL FIVE(5) WORKING DAYS PRIOR TO REMOVAL. IF SO DIRECTED BY THE OWNER, SALVAGED MATERIAL SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE DELIVERED BY THE CONTRACTOR TO A LOCATION AS DIRECTED. REMOVE AND DISPOSE ANY SALVAGED MATERIAL NO RETAINED BY THE OWNER.
- G. UNLESS OTHERWISE NOTED, DEMOLISH ELECTRICAL DEVICES, INCLUDING BUT NOT LIMITED TO: POWER WIRING, RACEWAYS, AND LIGHTING DEVICES. SCHEDULED FOR DEMOLITION.
- H. DAMAGED AREAS CAUSED BY REMOVAL OF ANY OF THE ABOVE ITEMS AND WHICH ARE NOT CONCEALED BY NEW CONSTRUCTION SHALL BE REPAIRED TO MATCH ADJACENT SURFACES.
- I. REMOVE ABANDONED CONDUIT TO POINT OF CONCEALMENT BEHIND INACCESSIBLE SURFACES. ENTIRELY REMOVE ABANDONED WIRING.
- J. CONTRACTOR SHALL SUBMIT WRITTEN REQUEST TO SHUT OFF POWER TO THE SITE OR ELECTRICAL DEMOLITION AND NEW WORK 10 DAYS PRIOR TO SHUTOFF.
- K. FOR SYMBOLS AND ABBREVIATIONS, REFER TO SHEET EO.O.
- L. PROVIDE SCH. 80 PVC DIRECT-BURIAL CONDUITS. BURY CONDUITS A MINIMUM OF 24" BELOW FINISHED GRADE OR PAVEMENT. PROVIDE CONCRETE CAP NOT LESS THAN 2" THICK ABOVE DIRECT BURIED LOW VOLTAGE CONDUITS WHERE SUBJECT TO VEHICULAR OR EXCAVATION DAMAGE OR WHERE MINIMUM BURIAL DEPTH CANNOT BE ACHIEVED.





PROJECT:
VILLA CORONADO
PARK

OWNER:

CITY OF SAN ANTONIO TRAFFIC AND CAPITAL IMPROVEMENTS

LOCATION: 11030 RUIDOSA SAN ANTONIO, TEXAS

PROJECT #: CSA20174

DESIGNED BY:

DRAWN BY:

REVIEWED BY:

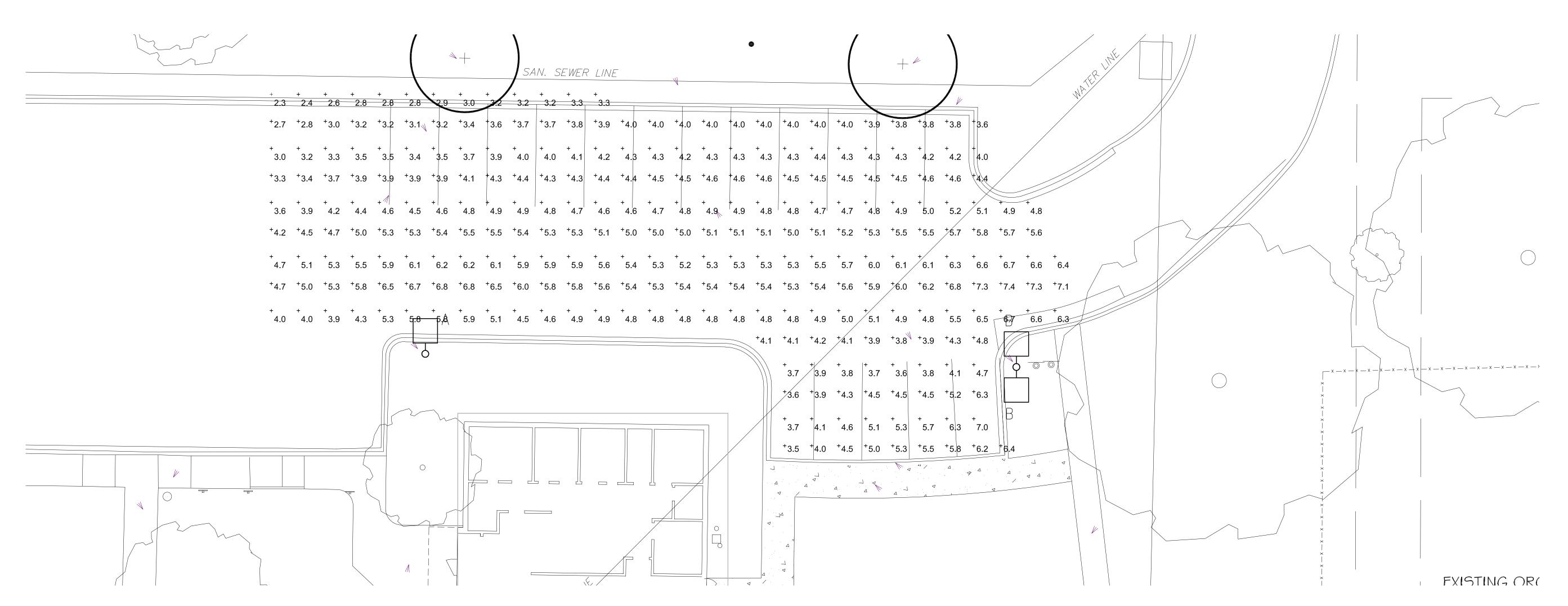
ISSUED: XX XXX. 2018

SHEET TITLE:

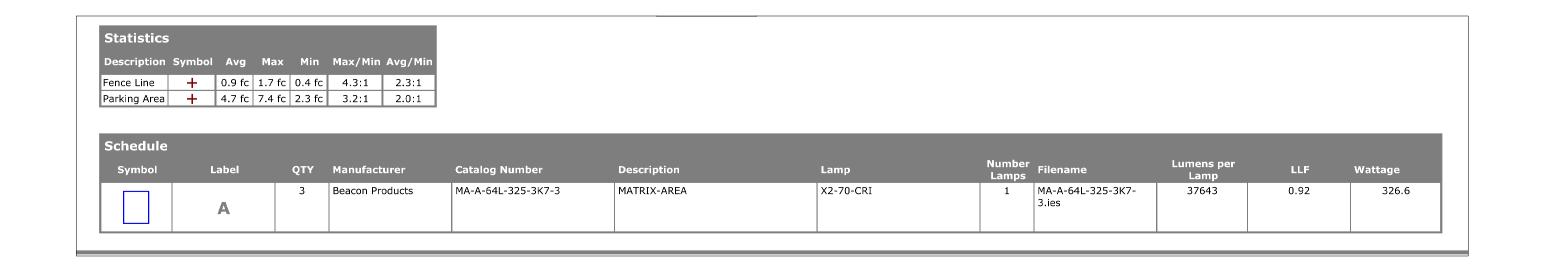
ELECTRICAL SITE PLAN

SHEET NUMBER:

E1.01











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ISSUED: XX XXX. 2018

INTERIM REVIEW ONLY
Document Incomplete: Not Intended for permit, bidding or construction.
Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name: CNG ENGINEERING, PLLC.
Texas Registered Engineering Firm:F-7964
Date: 06/19/2019

SHEET TITLE:

PHOTOMETRIC CALCULATIONS

SHEET NUMBER:

E1.02

# ANALYSIS OF PROJECTED ELECTRICAL LOAD VILLA CORONADO PARK

6/19/2019

SERVICE VOLTAGE: 240/120V, 1Ph., 3W

LOAD DESCRIPTION	CONNECTED	NEC LOAD	
EOAD DESCRIPTION	LOAD, VA	kVA	AMPERES
EXISTING LOADS (FROM UTILITY DEMAND):  NOTE:			
PRIOR 12 MONTH PEAK DEMAND ( MARCH, 2019) 6 kW @ 1 PF 1	7,500	7.5	31
REMOVED LOADS NOTES			
LIGHTING - POLE MOUNTED EXTERIOR LIGHTS	400	0.4	1
	SUBTOTAL	0	1

NEW OR ADDED LOADS

NEW OR ADDED LOADS											
LOAD DESCRIPTION						NOTES	CONNECTED LOAD, kVA	NEC LOAD			
								kVA	AMPERES		
	QUANTITY	UNIT LOAD	UNITS	DEMAND kVA	1.25	3	3	3			-
	-	0.0	VA/ SF	-	1.23	1.23	1.23	J		_	_
EXTERIOR LIGHTING		975			1.25		1.0	1.2	5		
EQUIPMENT					1.00	2	-	-	-		
CONNECTED NEW LOADS SUBTOTAL							1	1	5		
NET SUBTOTAL OF EXISTING, DEMO, AND NEW LOADS							8.3	35			
LOAD GROWTH ALLOWANCE 20%							2	7			
TOTAL							10	42			
SERVICE ENTRANCE DESIGN (200A FUSED DISCONNECT SWITCH)						SWITCH)		75	100		

The project site location at 11030 RUIDOSA SAN ANTONIO, TX 78214 and is located approximately 6.8 miles from the nearest property line to JBSA/Kelly Field Annex. A measurement of the distance from the nearest Military Base was made using www.maps.google.

LIGHTING FIXTURE SCHEDULE									
TYPE	LAMPS	MOUNTING	MOUNT HEIGHT	VOLTS	WATTS	DESCRIPTION	MANUFACTURER AND CATALOG NO.	B.U.G. RATINGS	
Α	3000K 39960 LUMENS LED	POLE- MOUNTED	30 FT	UNV. 120-277V		HEAVY DUTY, AREA, FULL CUTOFF LUMINAIRE WITH PAINTED HOUSING (COORDINATE WITH ARCHITECT), TYPE 3 OPTICS. PROVIDE FUSE PROTECTION. PROVIDE 30' ALUMINUM POLE. MATCH EXISTING SQUARE POLE. PROVIDE POLE WITH BRONZE FINISH. PROVIDE WITH PHOTOCELL CONTROL UNIT.	HUBBELL BEACON MA-A-64L-325-3K7-3-UNV-ASQ-DB-7PR-TL-DF240	B3-U0-G2	
В	3000K 39960 LUMENS LED	POLE- MOUNTED (REFER TO E1.2)	30 FT	UNV. 120-277V		HEAVY DUTY, AREA, FULL CUTOFF LUMINAIRE WITH PAINTED HOUSING (COORDINATE WITH ARCHITECT), TYPE 3 OPTICS. PROVIDE FUSE PROTECTION. PROVIDE WITH PHOTOCELL CONTROL UNIT.	HUBBELL BEACON MA-A-64L-325-3K7-3-UNV-ASQ-DB-7PR-TL-DF240	B3-U0-G2	

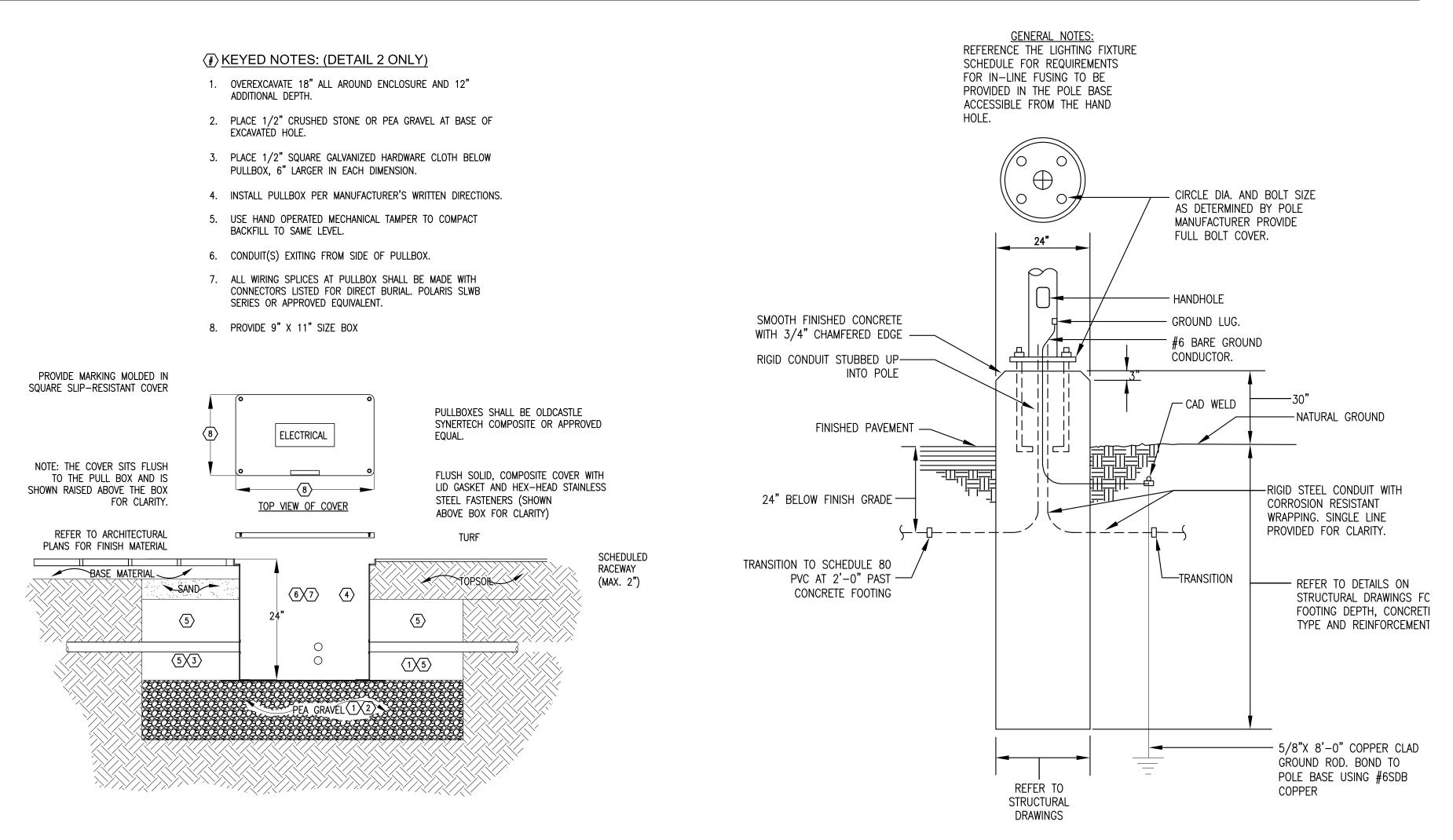
#### Notes

1. ALTERNATE EQUIVALENT MANUFACTURERS MAY BE SUBMITTED TO BASIS OF DESIGN BY APPROVAL. ACCEPTANCE TO BE DETERMINED BY EOR.

SCALE: NOT TO SCALE

- 2. ALL POLES, FIXTURES, AND CROSSARMS EPA SHALL BE CONFIRMED BY THE MANUFACTURER AND REVIEWED IN SUBMITTAL PHASE.
- 3. FINISH COLOR OF POLES AND LUMINAIRES SHALL MATCH. PROVIDE DARK BRONZE COLOR UNLESS OTHERWISE DIRECTED BY ARCHITECT DURING SUBMITTAL

MEDIUM DUTY PULLBOX (NON-DELIBERATE TRAFFIC)









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PARK

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TRAFFIC AND CAPITAL
IMPROVEMENTS

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Texas Registered Engineering Firm:F-7964
Date: 06/19/2019

SHEET TITLE:

ELECTRICAL SCHEDULES AND DETAILS

SHEET NUMBER:

E 2.00