

# HISTORIC AND DESIGN REVIEW COMMISSION

August 07, 2019

**HDRC CASE NO:** 2019-428  
**ADDRESS:** 11030 RUIDOSA ST  
**LEGAL DESCRIPTION:** NCB 15647 BLK 18 LOT 37 VILLA CORONADO PARK  
**ZONING:** R-4  
**CITY COUNCIL DIST.:** 3  
**APPLICANT:** Justin Sherwood/Open Air Studios  
**OWNER:** Pat Schneider/CITY OF SAN ANTONIO  
**TYPE OF WORK:** Park improvements  
**APPLICATION RECEIVED:** July 03, 2019  
**60-DAY REVIEW:** September 1, 2019  
**CASE MANAGER:** Adam Rajper  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to carry out various park improvements, including the addition of 17 new parking spaces, construction of a new sidewalk along the back curb of the new parking spaces, replacement of existing parking lot lighting with new LED light fixtures, installation of a new parking lot light post and LED fixture, and installation of new solar lights along the existing walking trail.

## APPLICABLE CITATIONS:

*UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.*

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

- (2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.
- (3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.
- (4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.
- (5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.
- (6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.
- (7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.
- (8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

## **FINDINGS:**

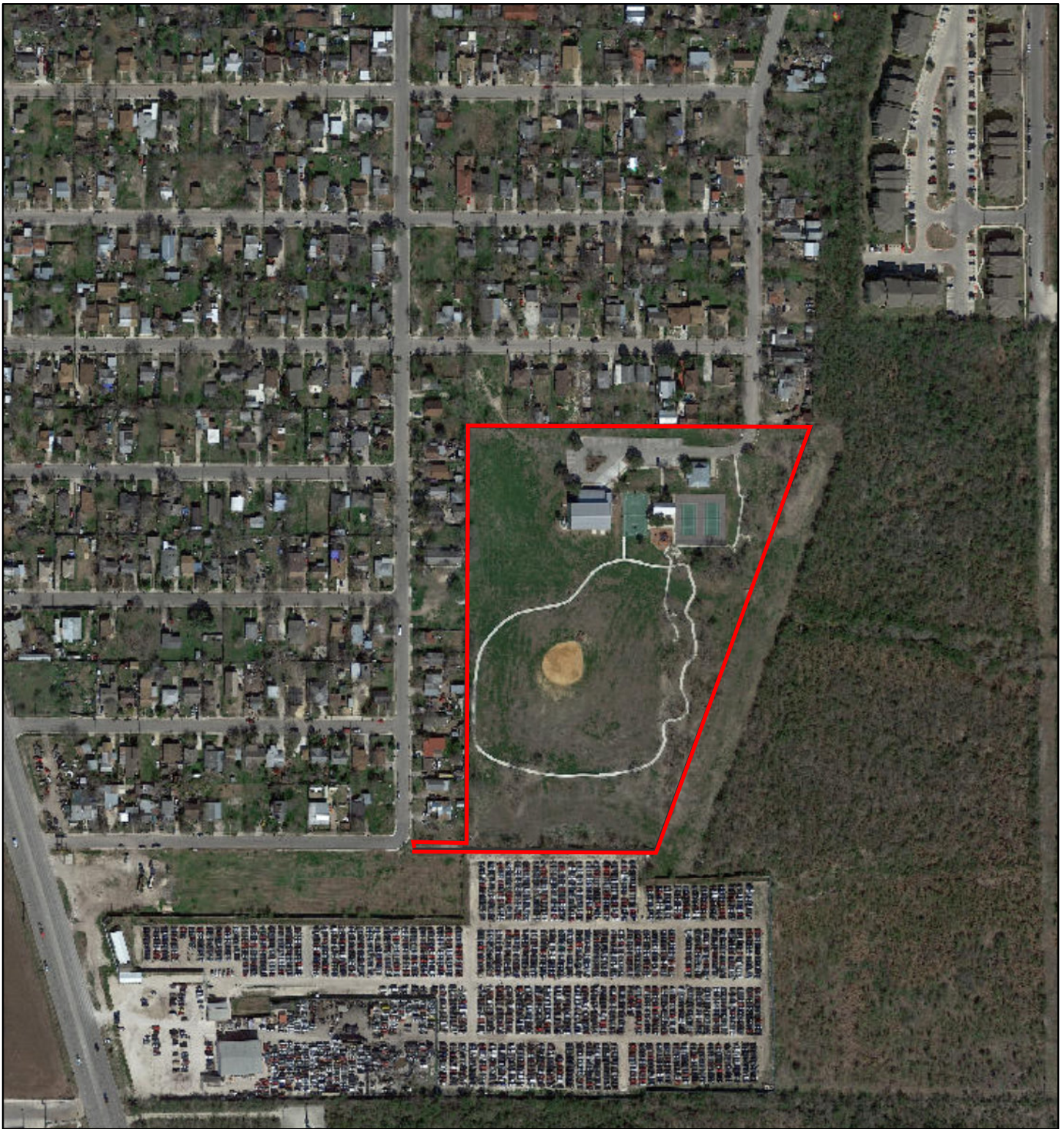
- a. The property located at 11030 Ruidosa, southeast of Downtown, is a public park with the common name of Villa Coronado Park. The applicant is requesting approval to carry out various park improvements.
- b. PARK IMPROVEMENTS – The Applicant has proposed various park improvements, including the addition of 17 new parking spaces, construction of a new sidewalk along the back curb of the new parking spaces, replacement of existing parking lot lighting with new LED light fixtures, installation of a new parking lot light post and LED fixture, and installation of new solar lights along the existing walking trail. Staff finds the proposal consistent with the UDC.
- c. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

## **RECOMMENDATION:**

Staff recommends approval of the proposed park improvements based on findings a through c with the following stipulation:

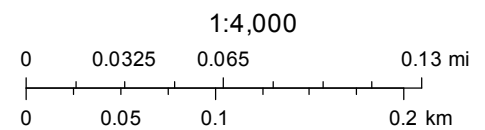
- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

# 11030 Ruidosa St



July 31, 2019

— User drawn lines







Nelson Performance

Zipprint Closed  
Building for Lease

Aztec Auto Sales

Warhawk Mobile  
Mechanic

jesses J&m muffler shop

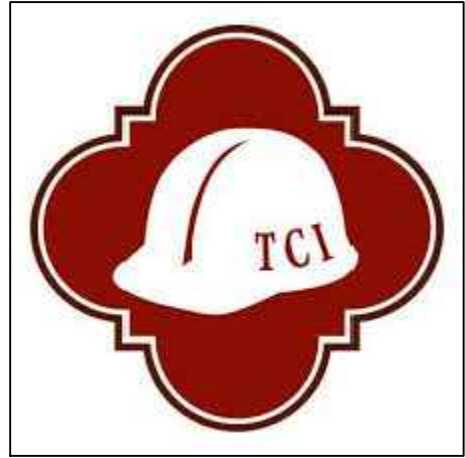
11030 Ruidosa

Father Manuel  
Roman Center

Villa  
Coronado Park

Roosevelt U-Pull-It





# CITY OF SAN ANTONIO

## VILLA CORONADO PARK IMPROVEMENTS

11030 RUIDOSA STREET  
SAN ANTONIO, TEXAS



DATE OF ISSUE: 06/25/2018

### PROJECT NUMBER

CSA20174

### FUNDING

2017 BOND PROGRAM

### CITY COUNCIL

#### **MAYOR**

RON NIRENBERG

#### **COUNCIL**

ROBERTO TREVINO .....	DISTRICT 1
JADA ANDREWS-SULLIVAN .....	DISTRICT 2
REBECCA VIAGRAN .....	DISTRICT 3
DR. ADRIANA ROCHA GARCIA .....	DISTRICT 4
SHIRLEY GONZALES .....	DISTRICT 5
MELISSA CABELLO HAVRDA .....	DISTRICT 6
ANA SANDOVAL .....	DISTRICT 7
MANNY PELAEZ .....	DISTRICT 8
JOHN COURAGE .....	DISTRICT 9
CLAYTON PERRY .....	DISTRICT 10

### CITY MANAGER

ERIK WALSH

### TCI DIRECTOR

MIKE FRISBIE

### PARKS DIRECTOR

XAVIER URRUTIA

### PROJECT MANAGER

XAVIER URRUTIA  
PARKS DIRECTOR  
PH. # 210-207-8480

### PRIME CONSULTANT

OPEN AIR STUDIOS, LLC  
LANDSCAPE ARCHITECT  
PH. # 210-908-6736

### CIVIL ENGINEER

KIMLEY-HORN & ASSOC.  
PH. # 210-321-3435

### MEP ENGINEER

CNG ENGINEERING  
PH. # 210-224-8841

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D1.01 DEMOLITION PLAN

#### **CIVIL ENGINEER**

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C1.1 EROSION CONTROL DETAILS  
C2.0 GRADING PLAN  
C3.0 PAVING PLAN  
C3.1 PAVING DETAILS

#### **LANDSCAPE ARCHITECTURE**

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L1.02 MATERIALS PLAN  
L1.03 MATERIALS PLAN  
L1.04 MATERIALS PLAN  
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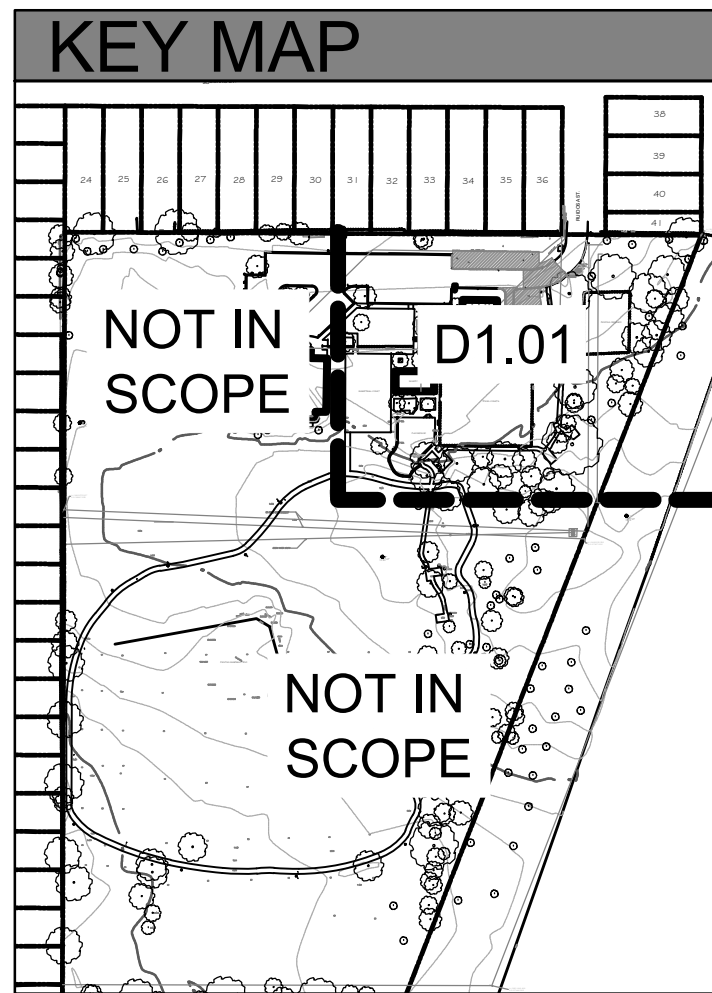
OUR MISSION: THROUGH INNOVATION AND DEDICATION, WE BUILD AND  
MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

### **TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT**

MUNICIPAL PLAZA BUILDING 114 W. COMMERCE SAN ANTONIO, TX 78238 PH # 210-207-2879 FAX # 210-207-2197

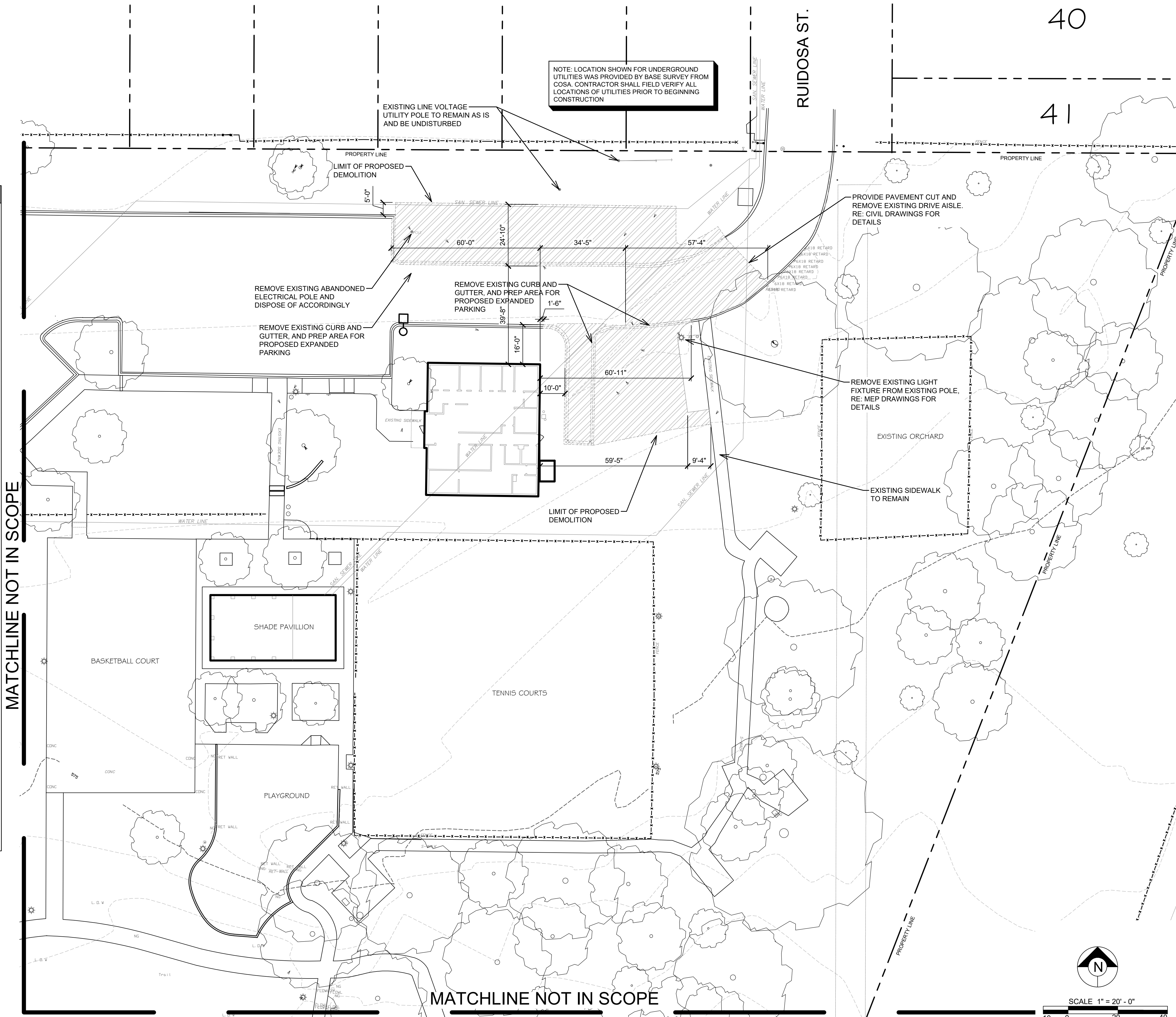
"Although it is not the responsibility of the City to provide sets of drawings and/or specifications to the successful Contractor for the construction of this project, the City may provide extra or returned sets that are available, if any from the bidding process. All other sets as deemed required by the Contractor, for the purposes of construction of this project, shall be obtained and paid by the Contractor."





## DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTAL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO INSTALL WORK AS REQUIRED FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND AT THE COST OF THE CONTRACTOR.
2. CONTRACTOR SHALL COORDINATE CONSTRUCTION PHASING AND STAGING AREA LOCATION (IF NEEDED) WITH THE OWNER. RE: CIVIL ENGINEER PLANS FOR RECOMMENDED PHASING. CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE AROUND PROPOSED SITE WORK AREAS WHERE APPROPRIATE AND IS RESPONSIBLE FOR THE SAFETY & SECURITY OF ALL ACTIVITIES AROUND THE CONSTRUCTION SITE. CONSTRUCTION FENCING SHALL MEET ALL CITY, STATE, AND FEDERAL GUIDELINES. RE: DEMOLITION PLANS AND CIVIL ENGINEER PLANS FOR AREAS TO BE REMOVED, EROSION CONTROL, STAGING AREA (IF NEEDED), AND CONSTRUCTION PHASING FOR THE SITE.
3. DURING THE SITE DEMOLITION PROCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ADJACENT SITE ITEMS, EXISTING SITE STRUCTURES, EXISTING PAVING, AND EXISTING SITE UTILITIES UNLESS NOTED OTHERWISE ON PLANS. THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (800-245-4545) 72 HOURS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WHETHER OR NOT TEXAS ONE CALL IS NOTIFIED. ALL REMOVED MATERIAL FROM SITE SHALL BE HAULED-OFF AND DISPOSED OF ACCORDINGLY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE SET IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ITEMS AS CALLED OUT PER THE PLAN AND THEIR TRANSPORT OFF-SITE.
6. CONTRACTOR SHALL REFER TO TREE PRESERVATION PLANS FOR ALL PROTECTED TREES ON SITE. PROPOSED SITE IMPROVEMENTS ARE NOT TO DISTURB ANY EXISTING TREES ON SITE. RE: TREE PRESERVATION PLANS FOR TREE PROTECTION DETAILS. TREE PROTECTION METHODS AND FENCING MUST BE IN PLACE PRIOR TO START OF DEMOLITION.
7. CONTRACTOR SHALL REFER TO M.E.P. PLANS FOR ALL ELECTRICAL DEMOLITION WORK ON SITE.
8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE AND CONTACT LANDSCAPE ARCHITECT FOR DIRECTION IF DISCREPANCIES ARE FOUND WITHIN THE FIELD.
9. CONTRACTOR SHALL REFER TO CIVIL ENGINEER EROSION CONTROL PLANS AND ENSURE THAT ALL AREAS DISTURBED OUTSIDE INDICATED LIMITS OF CONSTRUCTION SHALL BE RE-VEGETATED.
10. ALL EXISTING IMPROVEMENTS, MATERIALS, UTILITIES, AND PLANT MATERIAL TO REMAIN WITHIN NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
11. STREETS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS.
12. REFER TO STATE/CITY STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.
13. DURING DEMOLITION OPERATIONS, EVERY EFFORT SHALL BE MADE TO CONTROL DUST PER CITY REQUIREMENTS.
14. THE ENTIRE DEMOLITION AREA SHALL BE GRUBBED. GRUBBING SHALL INCLUDE ALL STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL AND ANY OTHER DELETERIOUS ITEMS. GRUBBING SHALL BE TO THE DEPTHS AS REQUIRED TO REMOVE THESE ITEMS.
15. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND FORMS PRIOR TO INSTALLATION OF PROPOSED ELEMENTS.



LANDSCAPE ARCHITECTURE  
PLANNING  
URBAN DESIGN

2310 N. LOOP 1604, STE #22  
SAN ANTONIO, TX 78232

P: 210-908-6736  
WWW.GOOPENAIR.COM

PROJECT:  
VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
SAN ANTONIO, TEXAS

**INTERIM REVIEW ONLY**

Document incomplete; Not intended for permit, bidding or construction.

DATE: 06-25-2019

LANDSCAPE  
ARCHITECT: MATTHEW MOCZYGENBA  
REGISTRATION: 2484

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE:  
DEMOLITION  
PLAN

SHEET NUMBER:  
D1.01

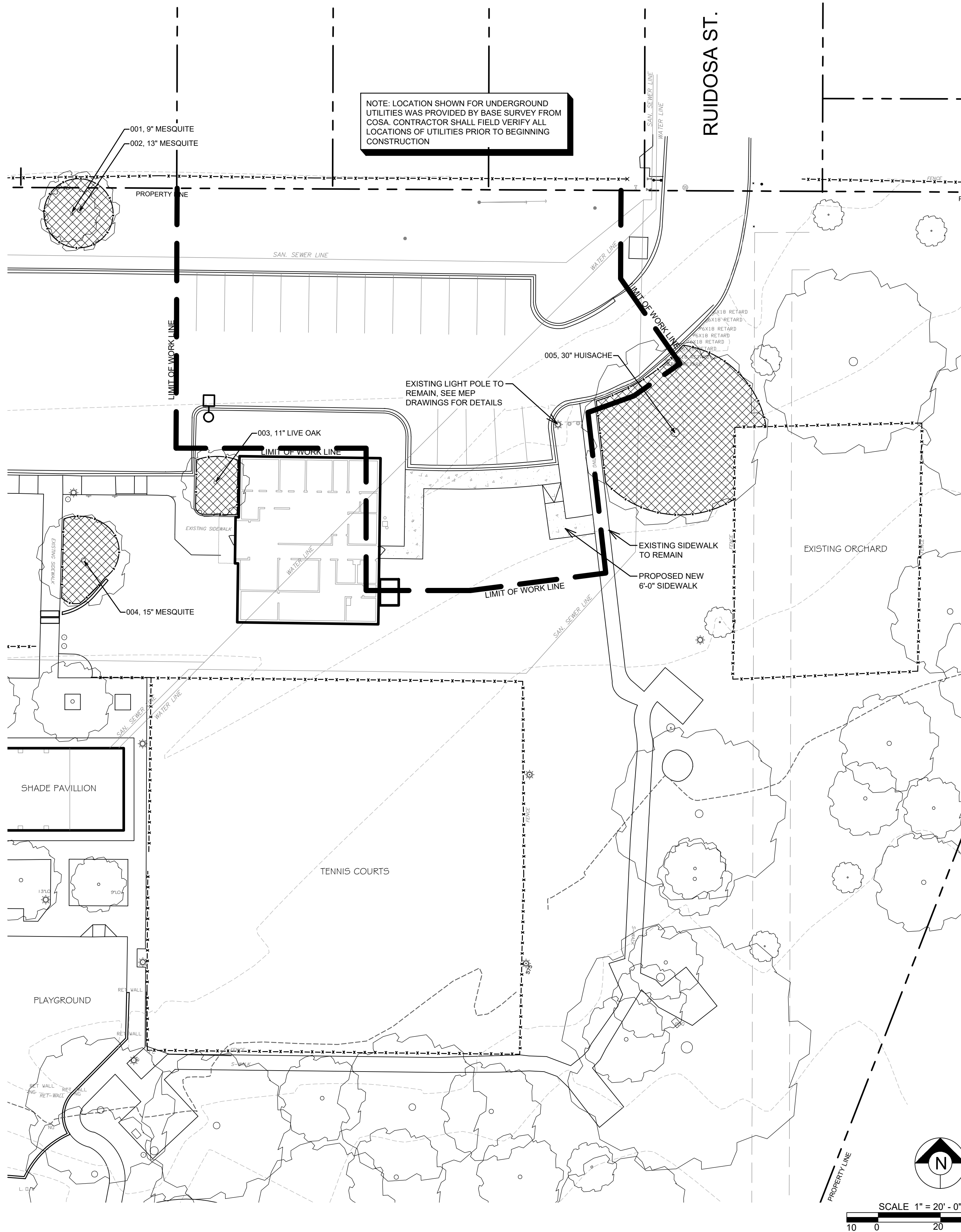


## TREE PROTECTION NOTES

- ROOT PRUNING
  - Prune roots within root zone areas of trees using hand-digging techniques.
  - Cut roots measuring one inch (1") in diameter or larger using sharpened pruning shears or pruning saw to make a clean, smooth-cut surface. Do not chop roots.
  - Large roots measuring three inches (3") in diameter and larger shall be cut using a sharpened saw.
  - Cut roots flush with edge of soil to limit root exposure.
  - Apply appropriate, non-toxic pruning paint labeled for horticultural use immediately to all wounds on trees.
- Route underground utility lines around tree root zone areas where possible.
- Where excavating is required within root zones, hand excavate and tunnel under or around roots to minimize damage and to preserve roots measuring one inch (1") in diameter and larger.
- Where excavation is unavoidable within root zone areas, proper tree root pruning techniques shall be used.
- Do not allow exposed roots to dry out before permanent backfill is in place.
- Maintain existing natural grade within the dripline of trees.
- Solid fill within root zone areas shall be free of harmful chemicals and adequate for supporting healthy root growth.
- Where existing grade around trees is below proposed finish grade place up to a maximum of three inches (3") of clean bank sand in a single layer to make the transition to new grade. Do not compact. Hand grade to required elevation. Large surface roots (that were exposed prior to construction) shall remain exposed.
- Contractor to receive written authorization from the landscape architect prior to initiation of any construction activity and/or tree preservation activities that take place within the tree preservation zone.
- There shall not be storage of any materials, equipment, soil etc. under dripline of existing trees.
- If construction activity is to occur close to any trees not identified for protection, contractor is responsible to install additional protection fencing if required.
- All sidewalks installed under tree's dripline to be hand dug. Landscape architect to approve location prior to digging, etc.
- If hand grading is required within dripline, no fill shall be added. Contractor to have approval from certified arborist before grading areas under tree dripline.
- Refer to civil drawings for all existing and proposed utilities, rights of ways, and easements.
- Refer to tree preservation specifications for pruning of existing trees where vehicular traffic or construction conflicts with existing tree canopy.
- Contractor to stake tree protection fencing for landscape architect approval. Contact landscape architect 48 hours prior to installation.
- Contractor to supply on-site certified arborist to supervise all tree protection, re-location, pruning, fertilizing, etc. work.
- All preserved trees to have tree protection fencing placed around trees at radius equal to 6" per diameter inch (1") of trunk of tree.
- All wounds to the trunk, limbs, and root system of oak trees in the city that expose sapwood shall be painted within thirty minutes of the wound being created with asphaltic or exterior oil or latex based paint.

## LEGEND

	EXISTING TREE TO BE PRESERVED
	EXISTING TREE TO BE REMOVED
	HARDWOOD MULCH
	TREE PROTECTION FENCE





VILLA CORONADO PARK																			
								Understory Species* 5.0" +		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Notes	
Tag #	Species	Tree Code	Size (inches)	Heritage (Y/N)	Save	Exempt Code	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved			
1	MESQUITE	S2	9.0		PRESERVED														
2	MESQUITE	S2	13		PRESERVED							13							
3	LIVE OAK	S1	11		PRESERVED					11									
4	MESQUITE	S2	15		PRESERVED							15							
5	HUISACHE	S2	30	Y	PRESERVED												30		
				Sub. Tot. Inches=			0	0	0	11	0	28	0	0	0	30	0		
				Total inches by category=			0		11		28		0		0		30		
				Preservation percentage=			#DIV/0!		Significant		100%		Heritage Preservation		100%				
				Mitigation required (Commercial) =			0		Commercial (inches)		-23								
				Mitigation required (Residential) =			0		Residential (inches)		-25				Heritage Mitigation (inches)		0		
											Exemption Codes				Additional Inches Preserved for Mitigation		0		
											1 - Tree is located in ROW								
											2 - Tree located off property								
											3 - Tree is located within easement								
															Additional Inches Needed to meet Mitigation Requirements		-23		
* Small species: Condalia, Redbud, Tx. Mountain Laurel, Tx. Persimmon, Hawthorn, Possumhaw - mitigated at 1:1 for Heritage																			
** Ashe Juniper, Huisache, Mesquite, Arizona Ash, Hackberry protected at 10" dbh and mitigated at 1:1 for Heritage																			
*** Mitigation Trees: Unprotected-sized trees to be used for mitigation calculations; subtract inches from mitigation owed																			

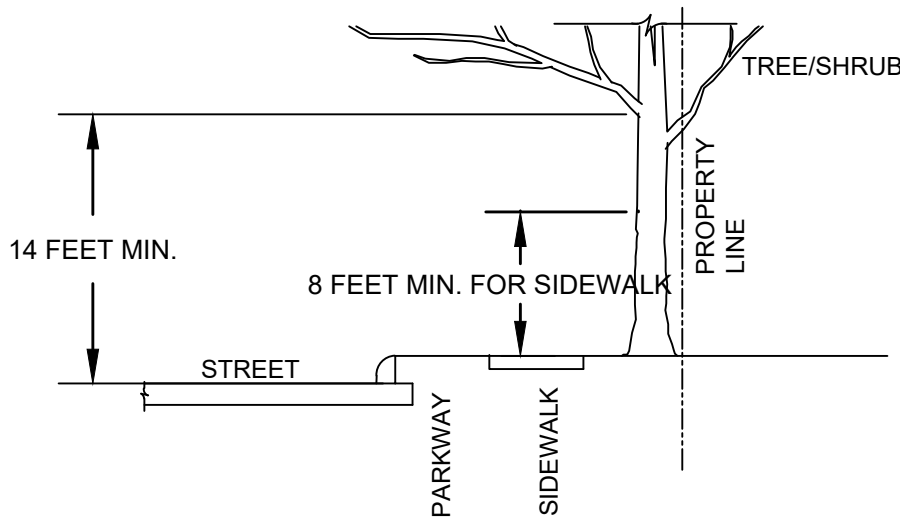
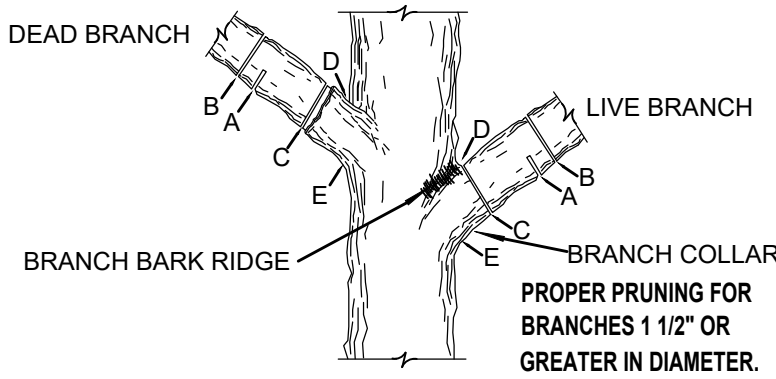


FIGURE No.2:  
A MINIMUM BRANCH CLEARANCE OF 14 FEET ABOVE STREET ELEVATION MUST BE MAINTAINED FROM THE PROPERTY LINE TO THE CURB LINE AS PRESCRIBED BY PROJECT MANAGER.

## 5 BRANCH CLEARANCE DETAIL

NOT TO SCALE



NOTE: DO NOT CUT FROM D TO E.

- FIRST CUT-TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS
- SECOND CUT-TO REDUCE THE WEIGHT OF BRANCH.
- FINAL CUT-ALLOW FOR HEALING COLLAR BUT NO STUBS
- BRANCH RIDGES-INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.

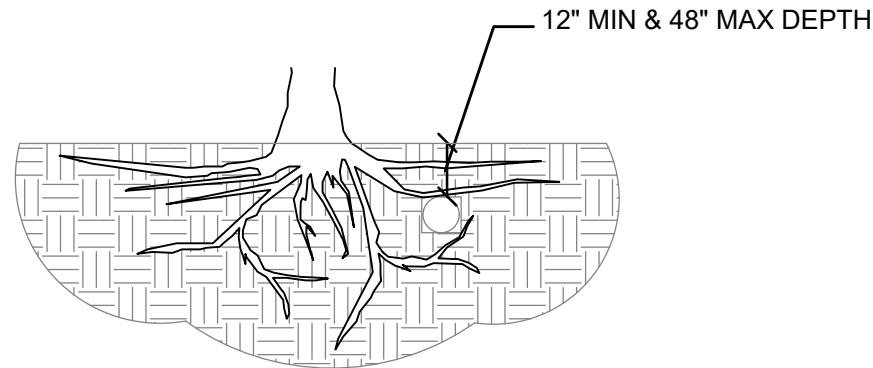
FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

## 4 BRANCH PRUNING DETAIL

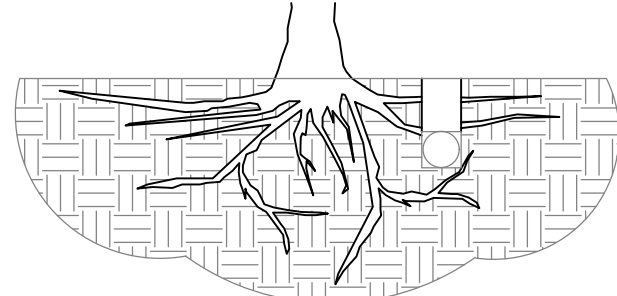
NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ARBORIST.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



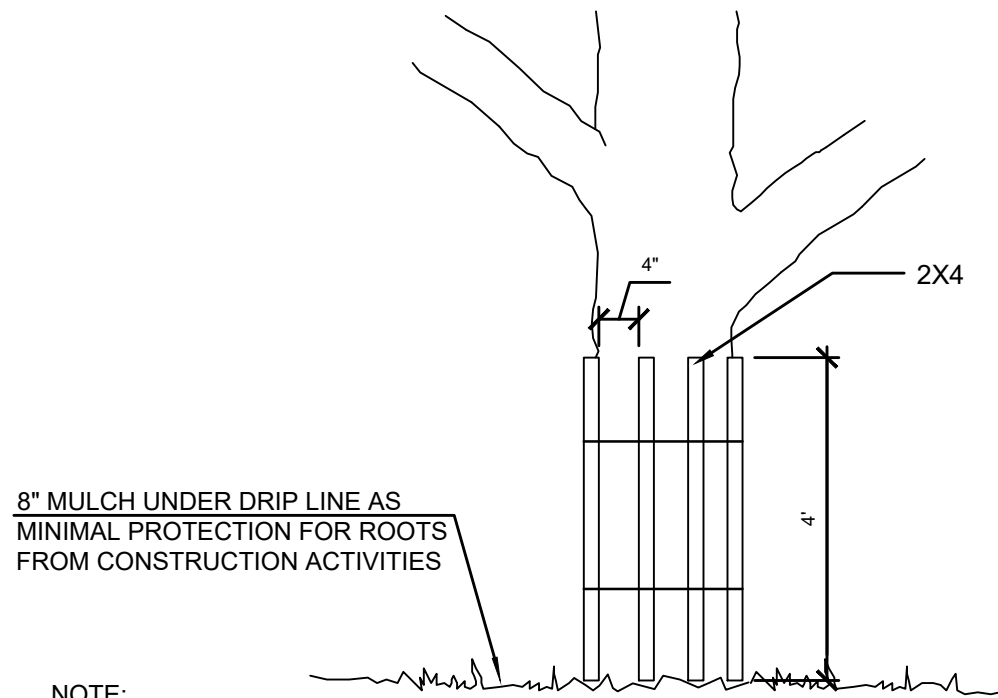
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

## 3 BORING THRU TREE ROOT ZONE

NOT TO SCALE

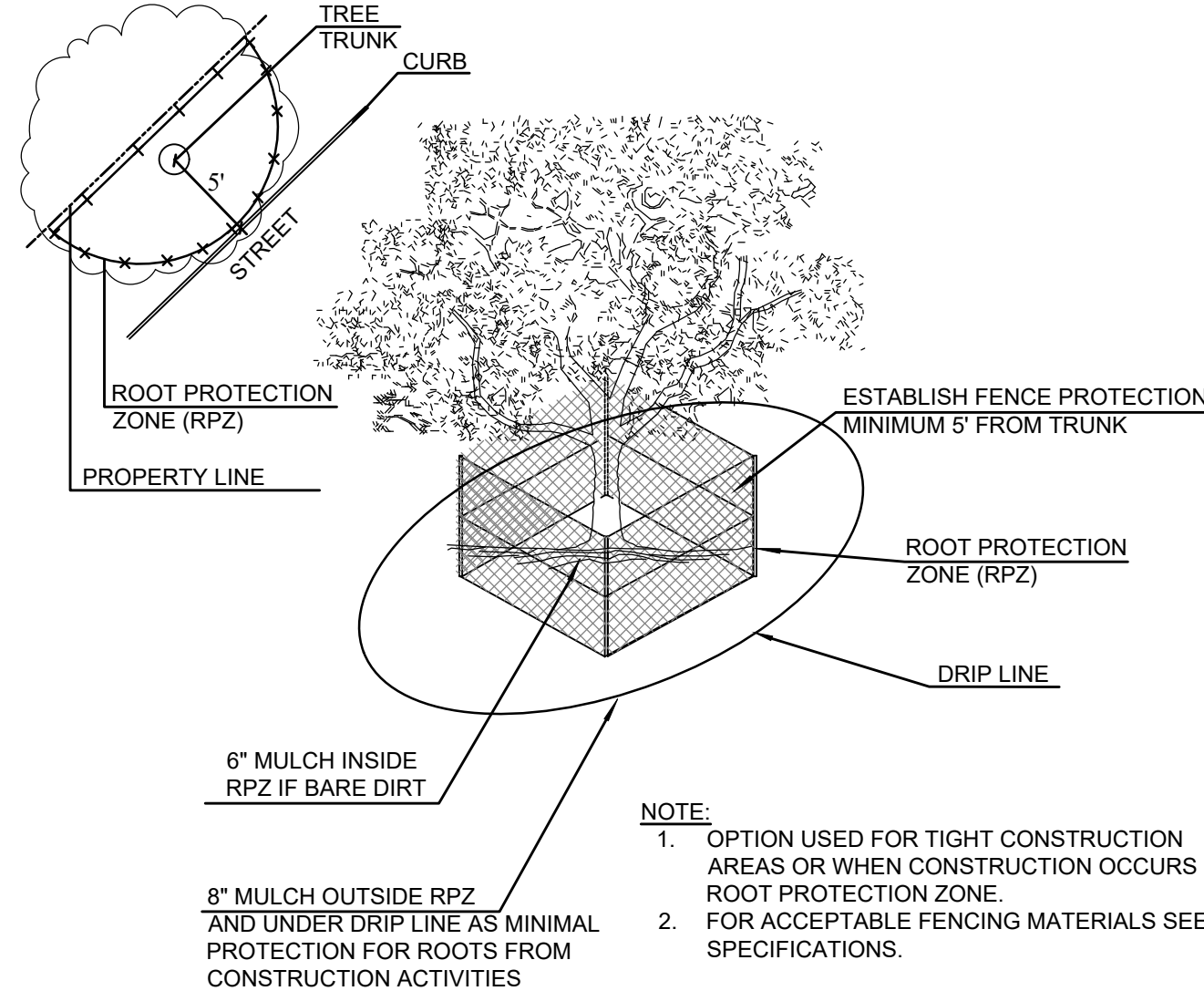


- NOTE:
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
  - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

NOTE:  
WRAP TREE TRUNK WITH 2"x4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS.

## 2D LEVEL II B FENCE PROTECTION

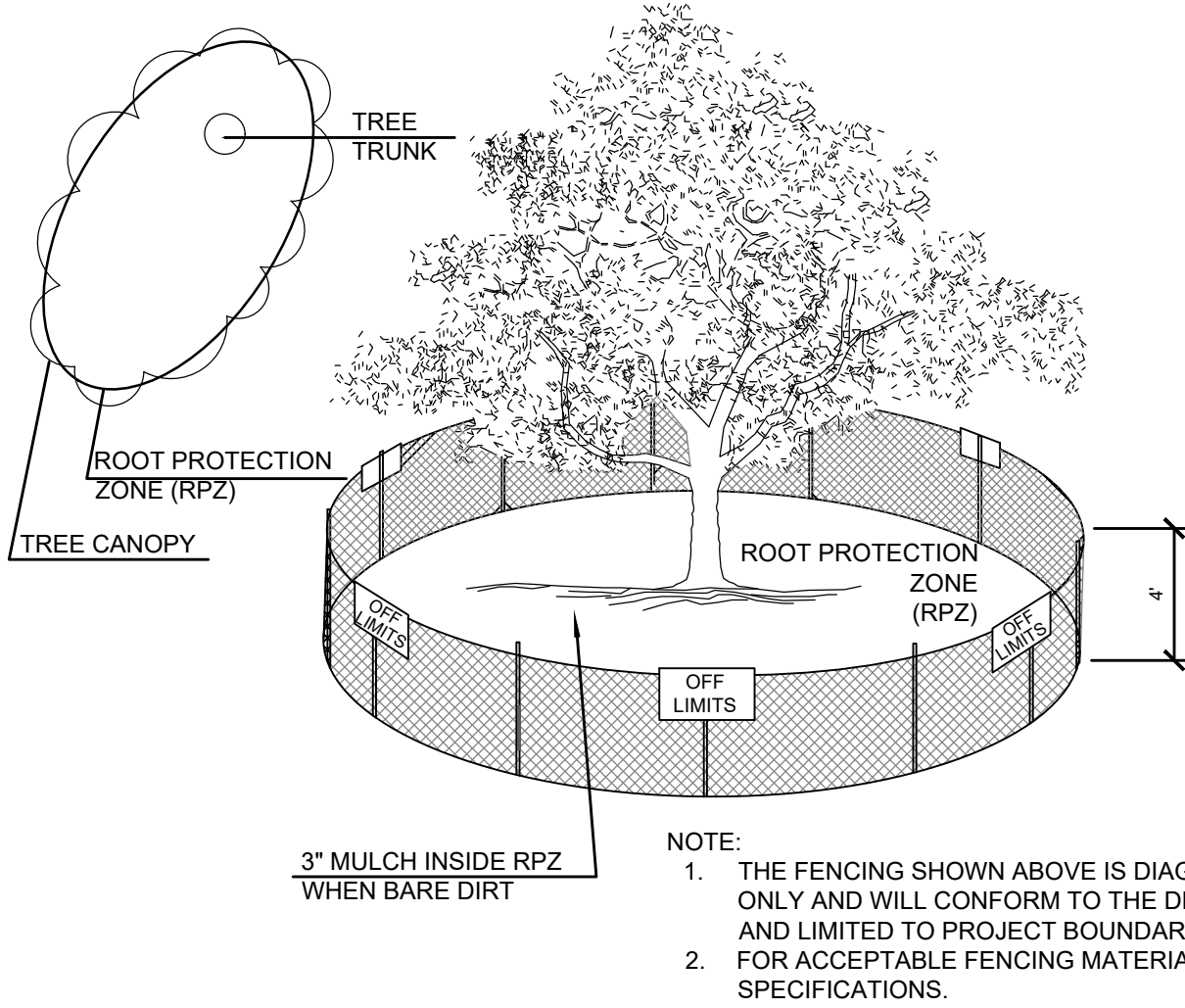
NOT TO SCALE



- NOTE:
- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
  - FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

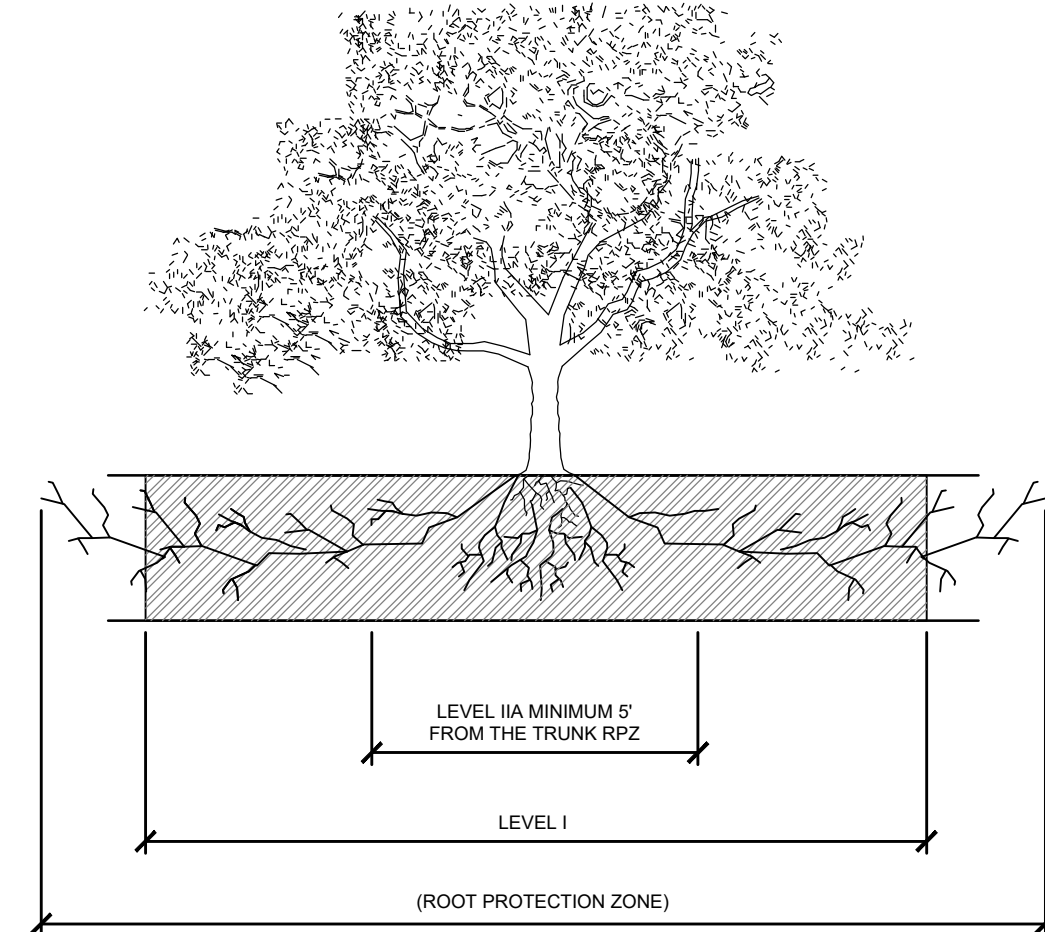
## 2C LEVEL II A FENCE PROTECTION

NOT TO SCALE



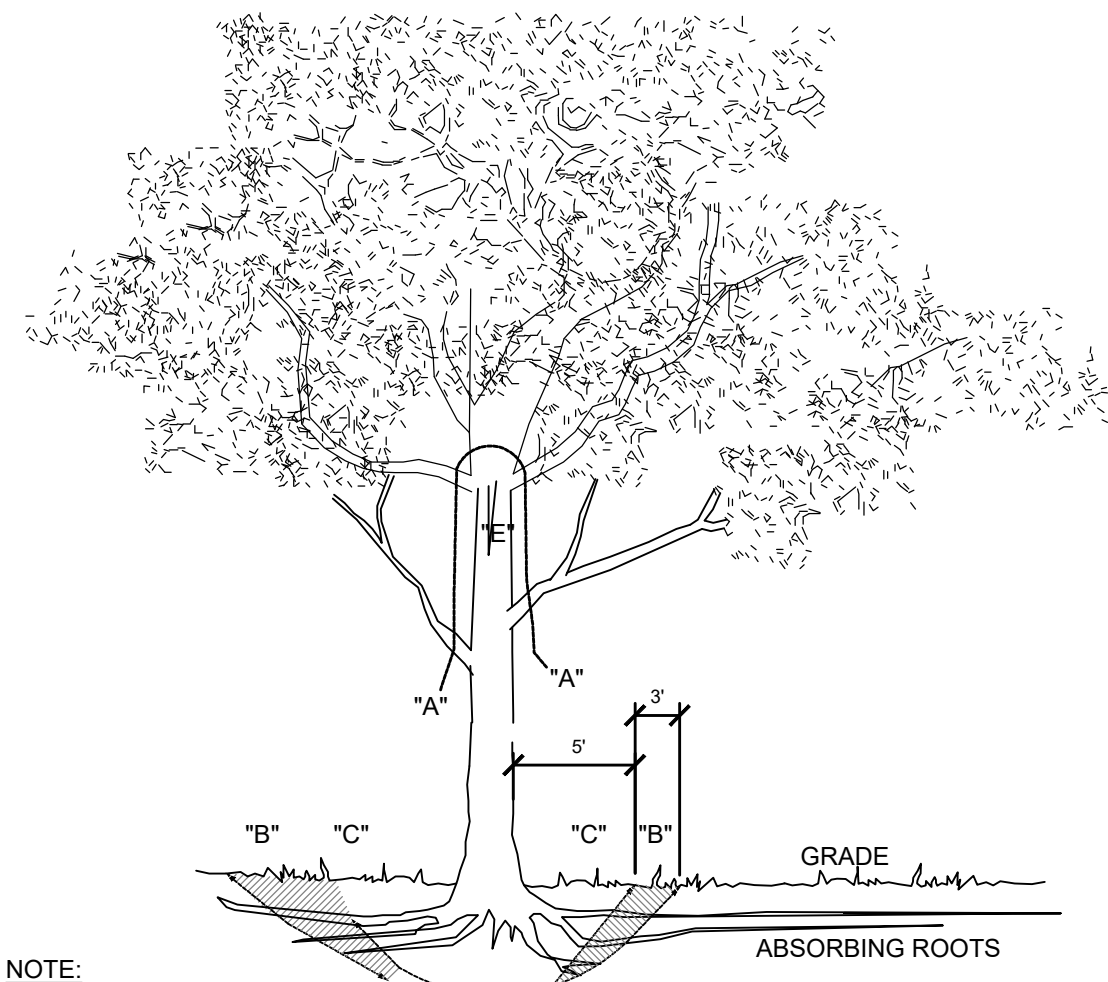
## 2B LEVEL I & FENCE PROTECTION

NOT TO SCALE



## 2A LEVEL I & FENCE PROTECTION ELEVATION

NOT TO SCALE

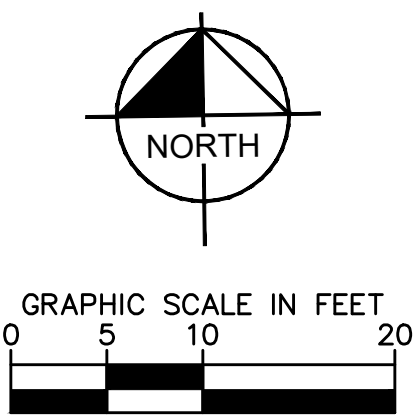
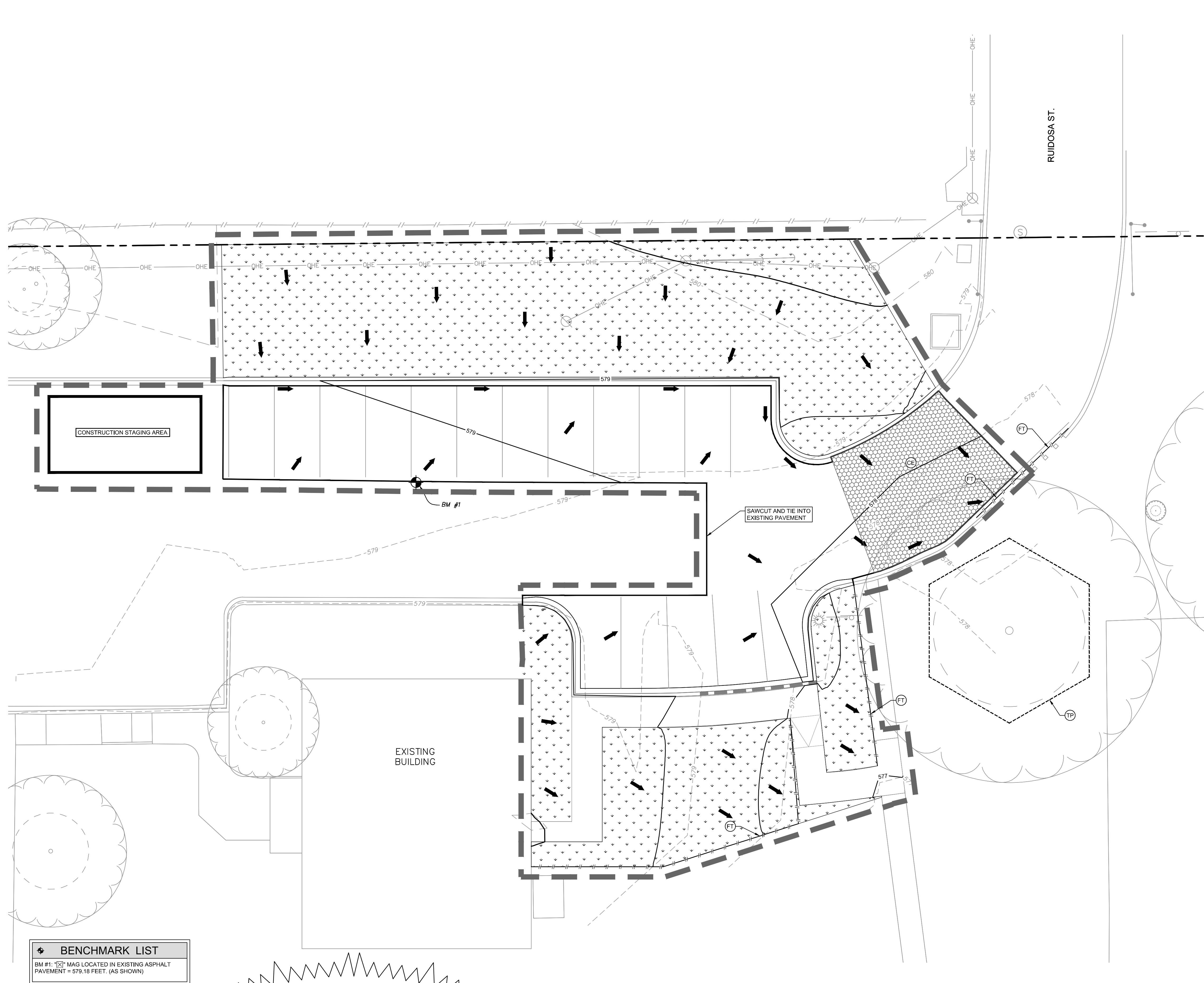


- NOTE:
- REMOVE BULKY TREE PARTS "SHRED" AND/OR HAUL SEPARATELY.
  - BEGIN EXCAVATION APPROX. 8' FROM THE TRUNK - CUT THRU ANCHOR ROOTS AT AN ANGLE - 3' TO 4' DEEP
  - USING TREE TRUNK AS A LEVER PUSH AT POINT "E" TO REMOVE TREE BOLE AND LARGE FEEDER ROOTS (4" TO 10" IN DIAM.)
  - BACKFILL HOLE AND CLEAN UP.

## 1 TREE REMOVAL DIAGRAM

NOT TO SCALE





LEGEND

- TP TREE PROTECTION (SEE DETAIL, SHEET C1.1)
- CE CONSTRUCTION ENTRANCE (SEE DETAIL, SHEET C1.1)
- LANDSCAPE
- FT FILTER TUBE (SEE DETAIL, SHEET C1.1)
- SAWCUT AND TIE INTO EXISTING PAVEMENT
- EXISTING CONTOURS
- PROPOSED CONTOURS
- LIMITS OF DISTURBED AREA/CONSTRUCTION
- FLOW DIRECTION

SITE MAP-GENERAL NOTES

- CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.

SITE MAP-SITE SPECIFIC NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF:
  - A. CLEARING AND GRUBBING
  - B. UTILITY INSTALLATION
  - C. PAVEMENT MODIFICATIONS
  - D. FOUNDATION CONSTRUCTION
  - E. FINAL GRADING AND STABILIZATION
- THE SUBSURFACE CONDITIONS ON-SITE CONSIST OF CLAY, SILT, SAND, AND GLAUCONITE AS PER THE GEOTECHNICAL REPORT PROVIDED BY RABA KISTNER, DATED FEBRUARY 7, 2019, REPORT NO. ASA18-128-00.
- STORM WATER ON-SITE WILL LEAVE THE SITE VIA SHEET FLOW.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, OR LANDSCAPING.
- DISTURBED PORTIONS OF SITE MUST BE STABILIZED. STABILIZATION PRACTICES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS BEEN EITHER TEMPORARILY OR PERMANENTLY CEASED. UNLESS EXCEPTED WITHIN THE TPDES PERMIT, CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF STABILIZATION OR PERMANENT DRAINAGE FACILITIES.
- PER FIRM MAPS 48029C0580G, DATED SEPTEMBER 29, 2010, THE SITE IS PARTIALLY LOCATED WITHIN A FEMA DESIGNATED FLOODPLAIN.
- CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
- CONTRACTOR SHALL INSPECT DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLE ENTRY AND EXIT AREAS AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.

SITE DATA

TOTAL AREA DISTURBED *	0.294 AC	(12,607 SF)
PAVED AREA	0.192 AC	(8,363 SF)
LANDSCAPED AREA	0.102 AC	(4,443 SF)

\* DOES NOT INCLUDE ANY OFF-SITE DISPOSAL OR BORROW AREAS - CONTRACTOR TO UPDATE AS NECESSARY DURING CONSTRUCTION.

NO SINGLE DRAINAGE AREA EXCEEDS 10 ACRES, THEREFORE SEDIMENTATION BASIN IS NOT REQUIRED.

EROSION CONTROL SCHEDULE AND SEQUENCING

- |   |   |
|---|---|
| I. ROUGH GRADING                                  | TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED.   |
| II. PAVING  | ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT. |
| III. FINAL GRADING/SOIL STABILIZATION/LANDSCAPING | ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE CITY OR COUNTY.                    |

BENCHMARK LIST
BM #1: 1/2" MAG LOCATED IN EXISTING ASPHALT PAVEMENT = 579.18 FEET. (AS SHOWN)



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CAUTION!!

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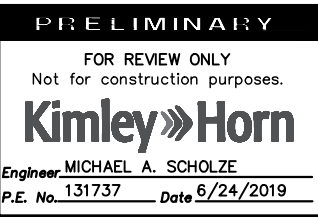


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PROJECT:  
VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
11030 RUIDOSA  
SAN ANTONIO, TEXAS



PROJECT #: 068713501  
DESIGNED BY: MGM  
DRAWN BY: JLF  
REVIEWED BY: MAS  
ISSUED: 6/24/2019

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SHEET TITLE:  
EROSION  
CONTROL  
DETAILS

SHEET NUMBER:  
C1.1

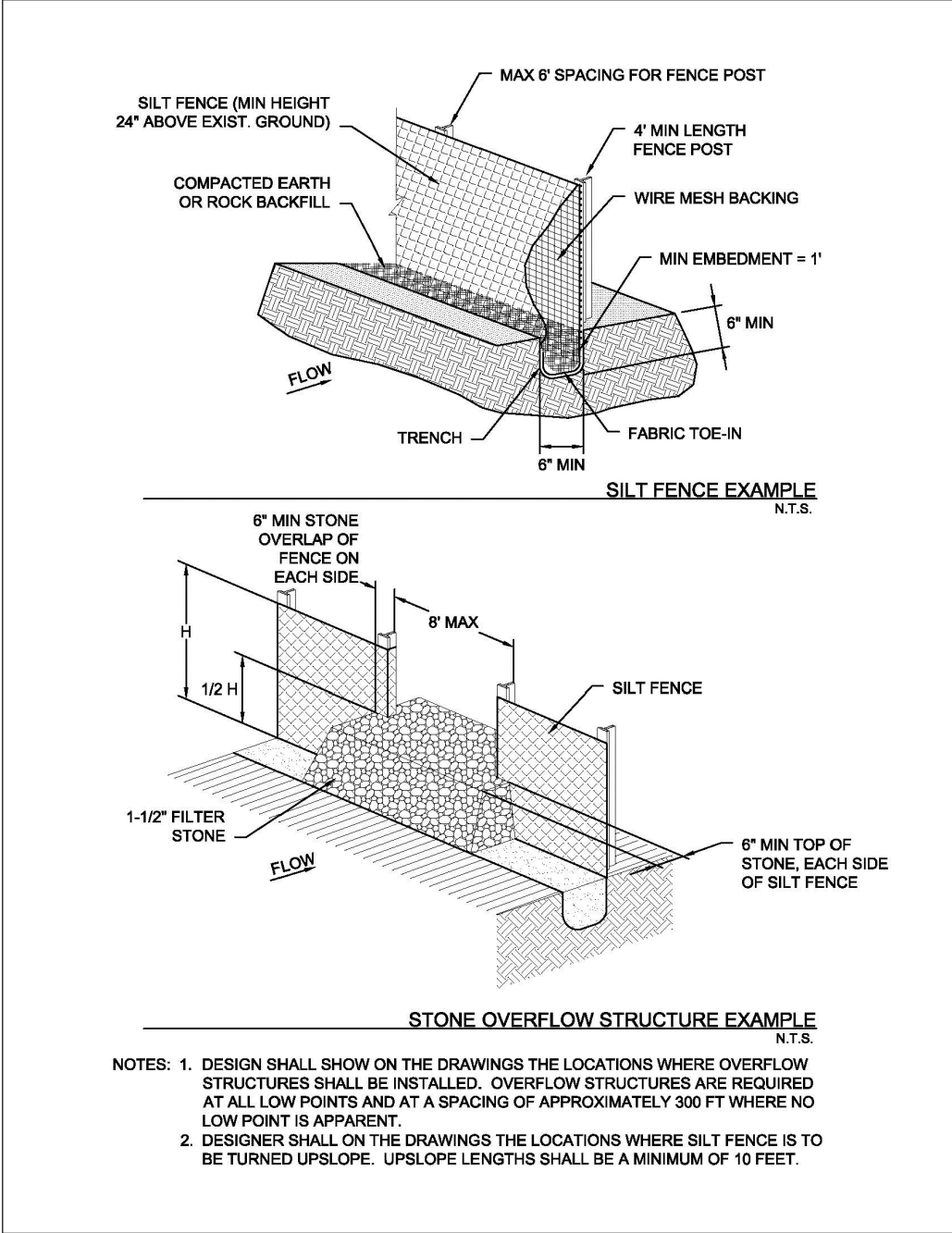


Figure 3.28 Schematics of Silt Fence

Silt Fence  
Revised 04/10 CC-147

### SILT FENCE DETAIL

TO BE LOCATED AT **SF** SYMBOL

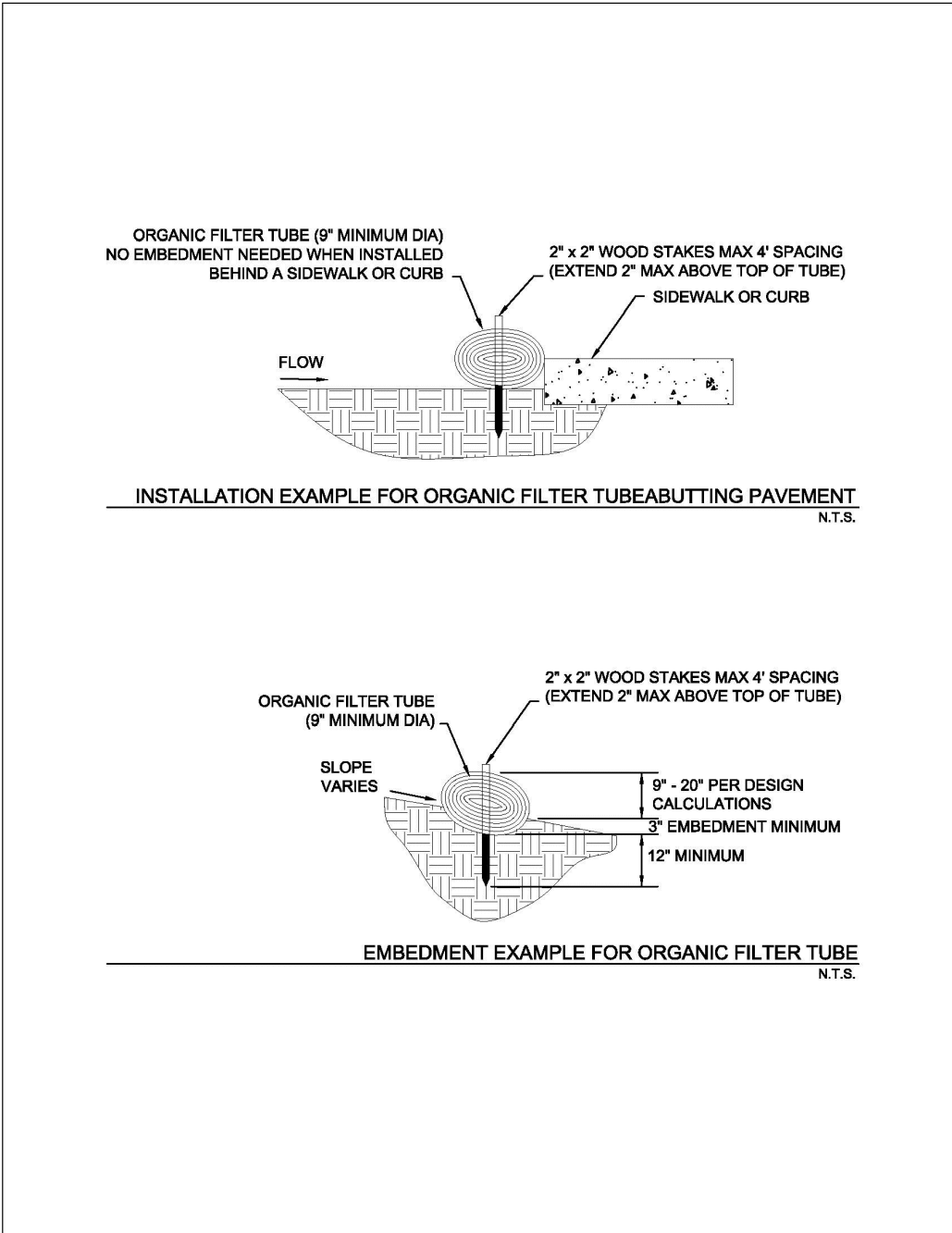


Figure 3.16 Examples of Organic Filter Tube Installation Methods

Organic Filter Tubes  
Revised 04/10 CC-105

### FILTER TUBE

TO BE LOCATED AT **FT** SYMBOL

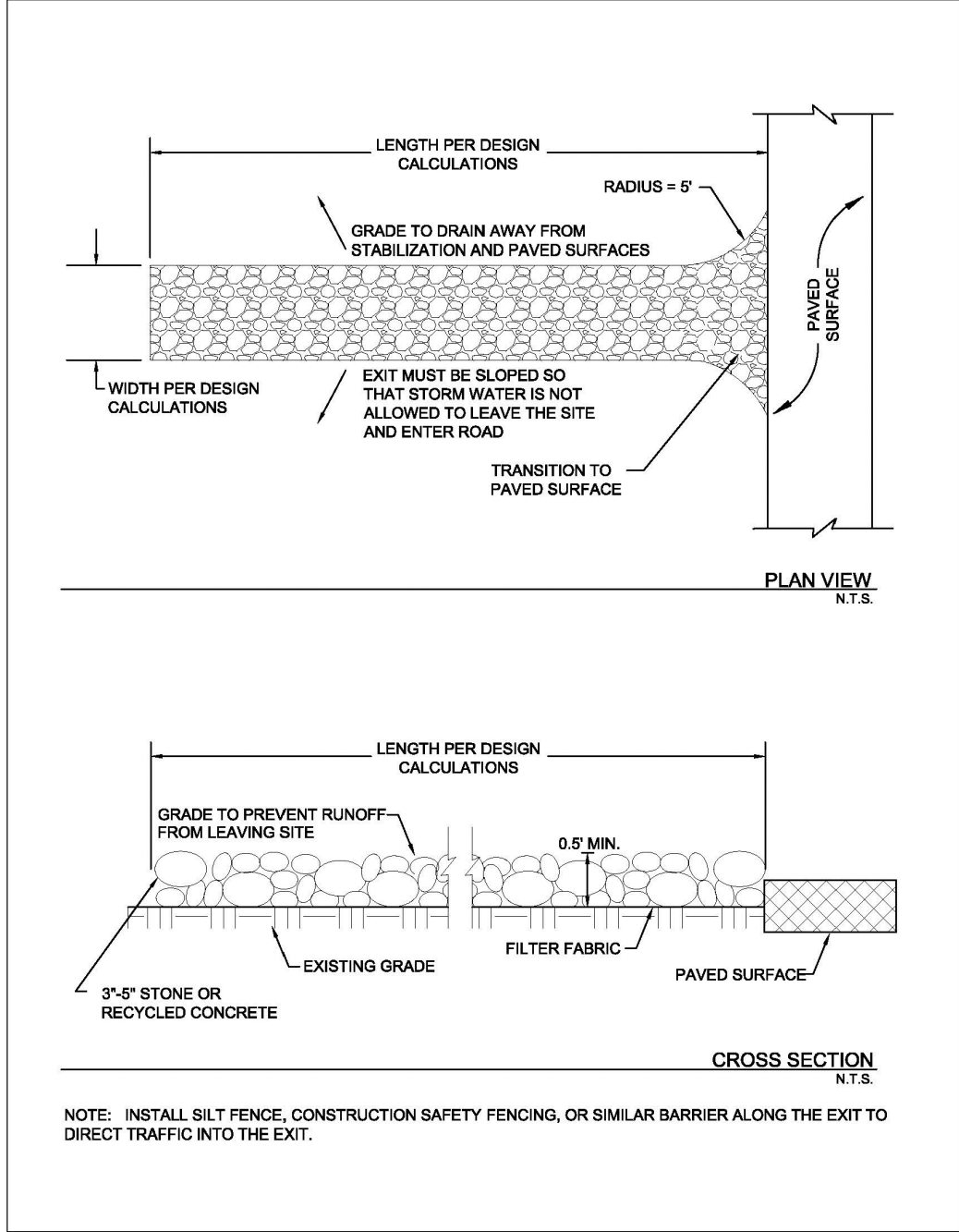


Figure 3.29 Schematics of Stabilized Construction Exit

Stabilized Construction Exit  
Revised 04/10 CC-151

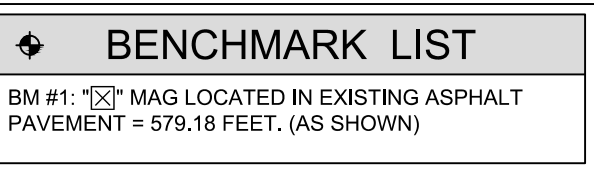
### CONSTRUCTION ENTRANCE DETAIL

TO BE LOCATED AT **CE** SYMBOL

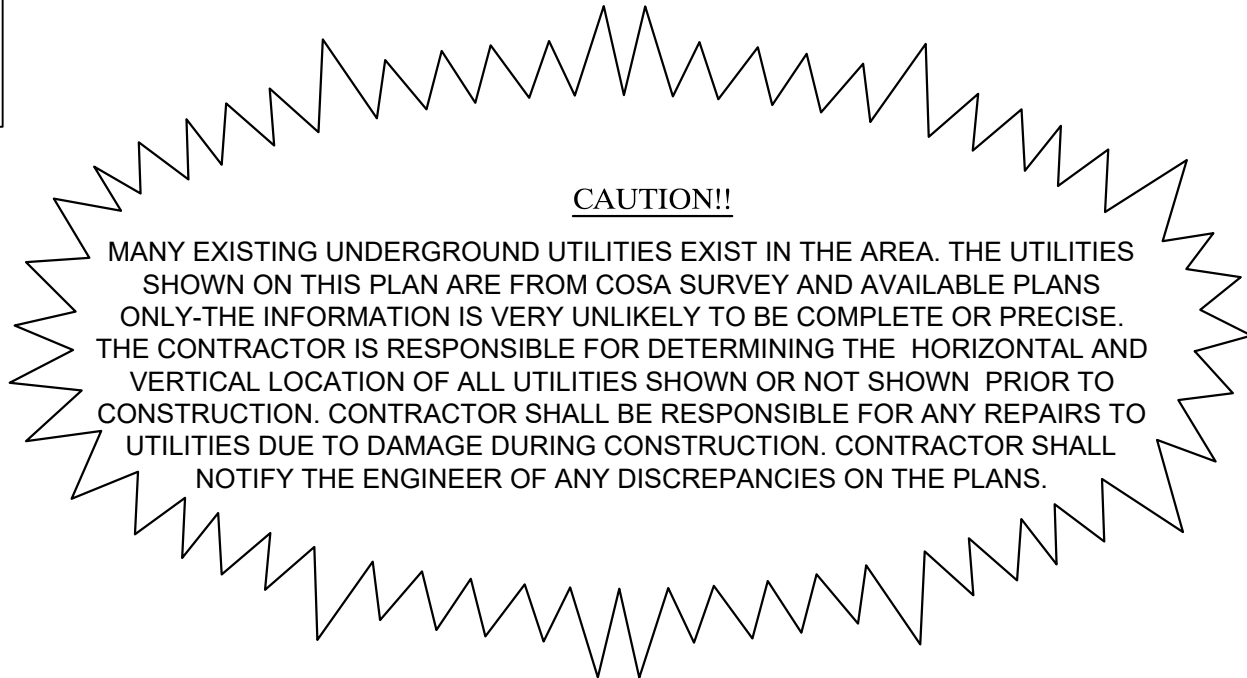
Table 3.9 Minimum Exit Dimensions		
Disturbed Area	Min. Width of Exit	Min. Length of Exit
< 1 Acre	15 feet	20 feet
≥ 1 Acre but < 5 Acres	25 feet	50 feet
≥ 5 Acres	30 feet	50 feet

### GENERAL NOTES:

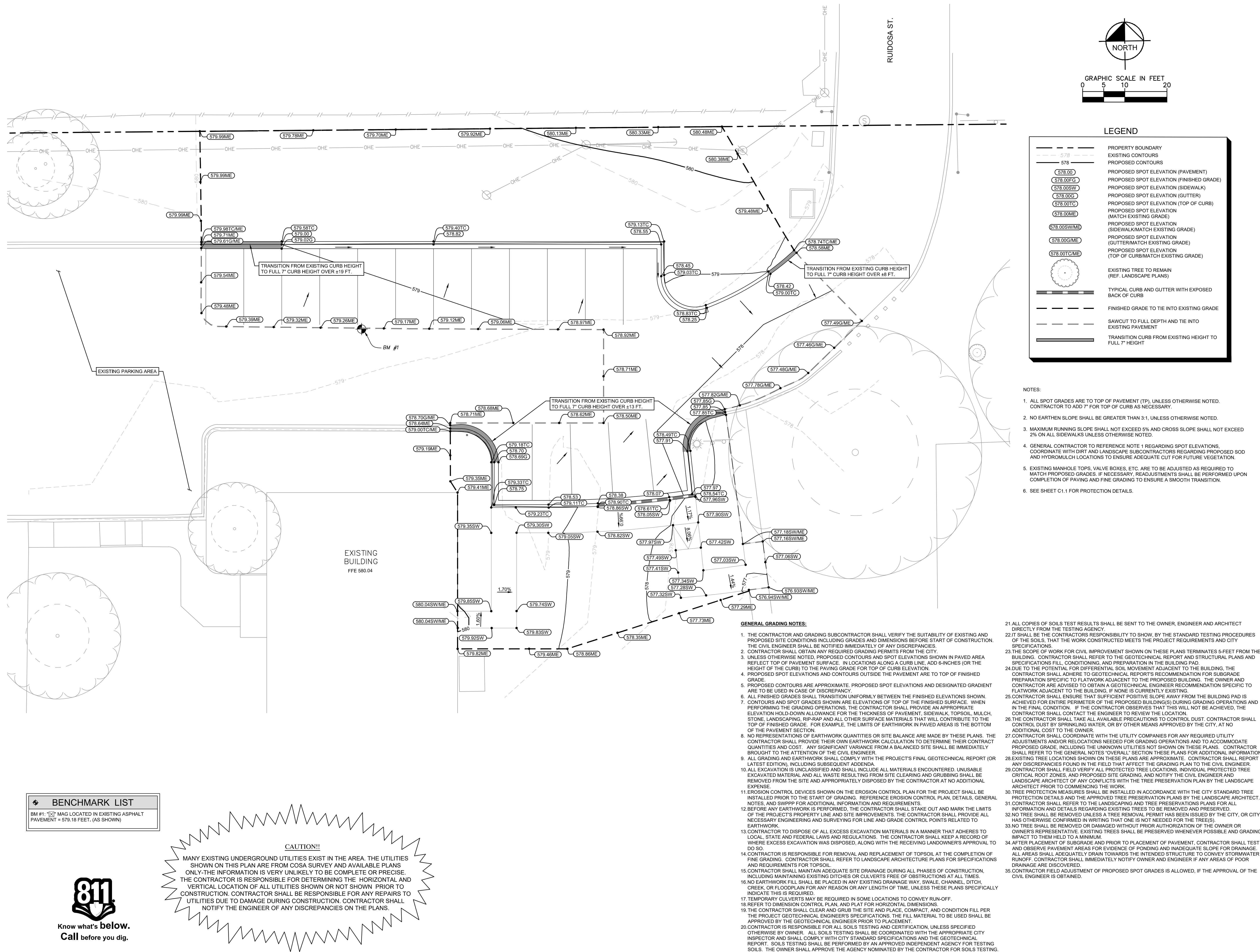
- EROSION CONTROL:**
1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.
  2. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TCEQ GENERAL PERMIT TO DISCHARGE UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM TXR 150000".
  3. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE.
  4. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
  5. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL EROSION CONTROL DEVICES, BEST MANAGEMENT PRACTICES (BMPs), AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
  6. CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF APPLICABLE.
  7. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED AT EACH INLET PER APPROVED DETAILS.
  8. THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.
  9. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES NEEDED DUE TO PROJECT PHASING.
  10. CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION AND PREVENT SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
  11. OFF-SITE SOIL BORROW, SPOIL, AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMPs TO CONTROL EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP AND EROSION CONTROL PLAN TO INCLUDE BMPs FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.
  12. ALL STAGING, STOCKPILES, SPOIL, AND STORAGE SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. PROTECTIVE MEASURES SHALL BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCLOSING THE AREA WITH AN APPROPRIATE BARRIER.
  13. CONTRACTORS SHALL INSPECT ALL EROSION CONTROL DEVICES, BMPs, DISTURBED AREAS, AND VEHICLE ENTRY AND EXIT AREAS WEEKLY AND WITHIN 24 HOURS OF ALL RAINFALL EVENTS OF 0.5 INCHES OR GREATER, AND KEEP A RECORD OF THIS INSPECTION IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND EROSION CONTROL PLAN ARE FUNCTIONING PROPERLY.
  14. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH CITY SPECIFICATIONS. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIMES FOR ALL INGRESS/EGRESS.
  15. SITE ENTRY AND EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY.
  16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION, AS REQUESTED BY OWNER AND CITY. AT A MINIMUM, THIS SHOULD OCCUR ONCE PER DAY FOR THE OFF-SITE ROADWAYS.
  17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP BMP.
  18. CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES, PER TCEQ AND CITY STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.
  19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE SHALL BE PAID BY THE RESPONSIBLE CONTRACTOR.
  20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.
  21. TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, UNLESS ADDITIONAL CONSTRUCTION IN THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
  22. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT, LOOSE MATERIAL, AND TRASH AS CONSTRUCTION PROGRESSES.
  23. UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.
  24. AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREDGED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.



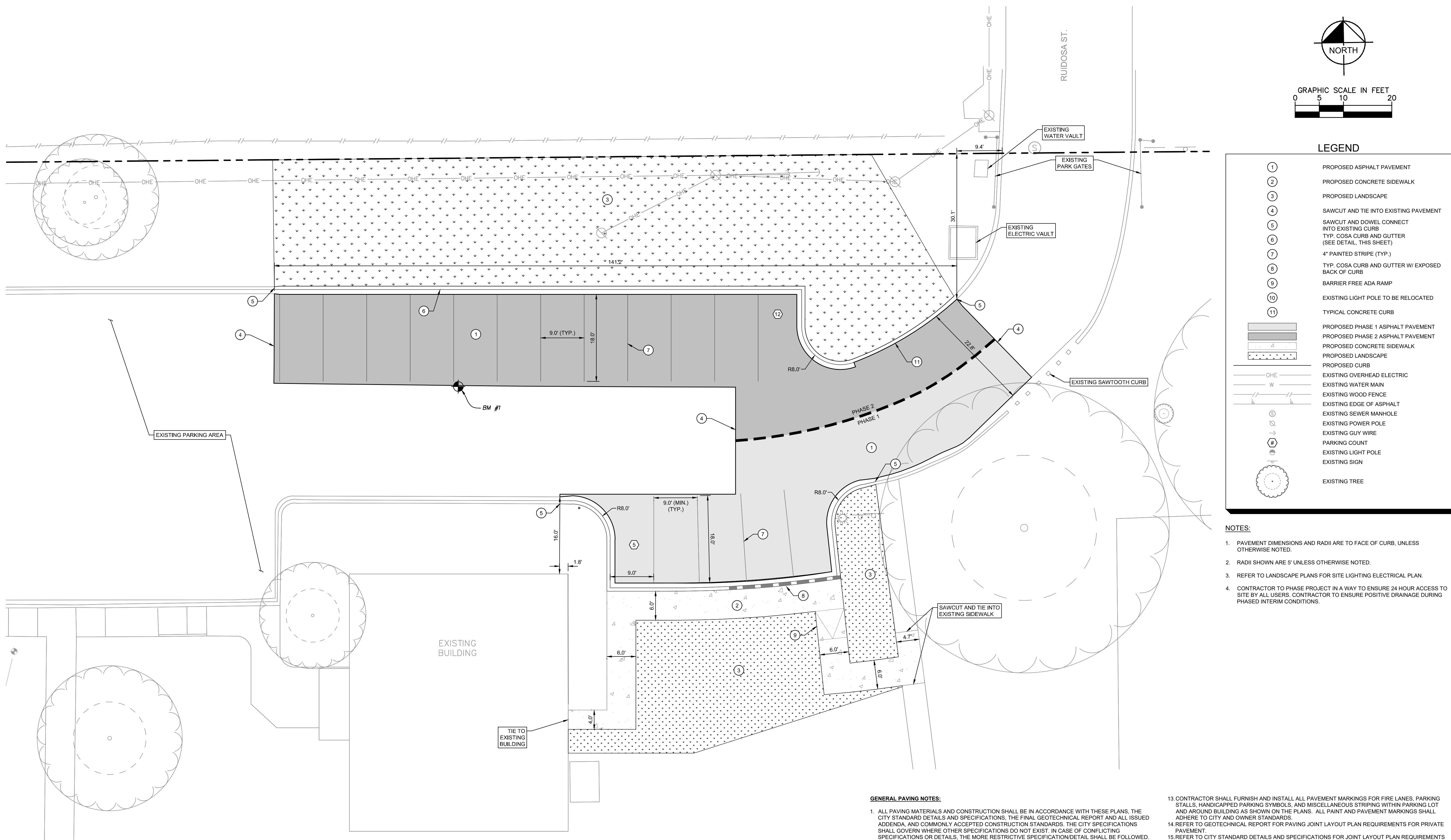
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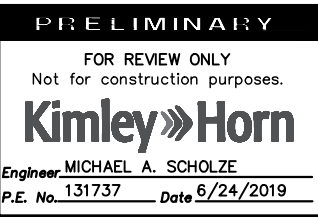


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VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
11030 RUIDOSA  
SAN ANTONIO, TEXAS



PROJECT #: 068713501  
DESIGNED BY: MGM  
DRAWN BY: JLF  
REVIEWED BY: MAS

ISSUED: 6/24/2019



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DETAILS

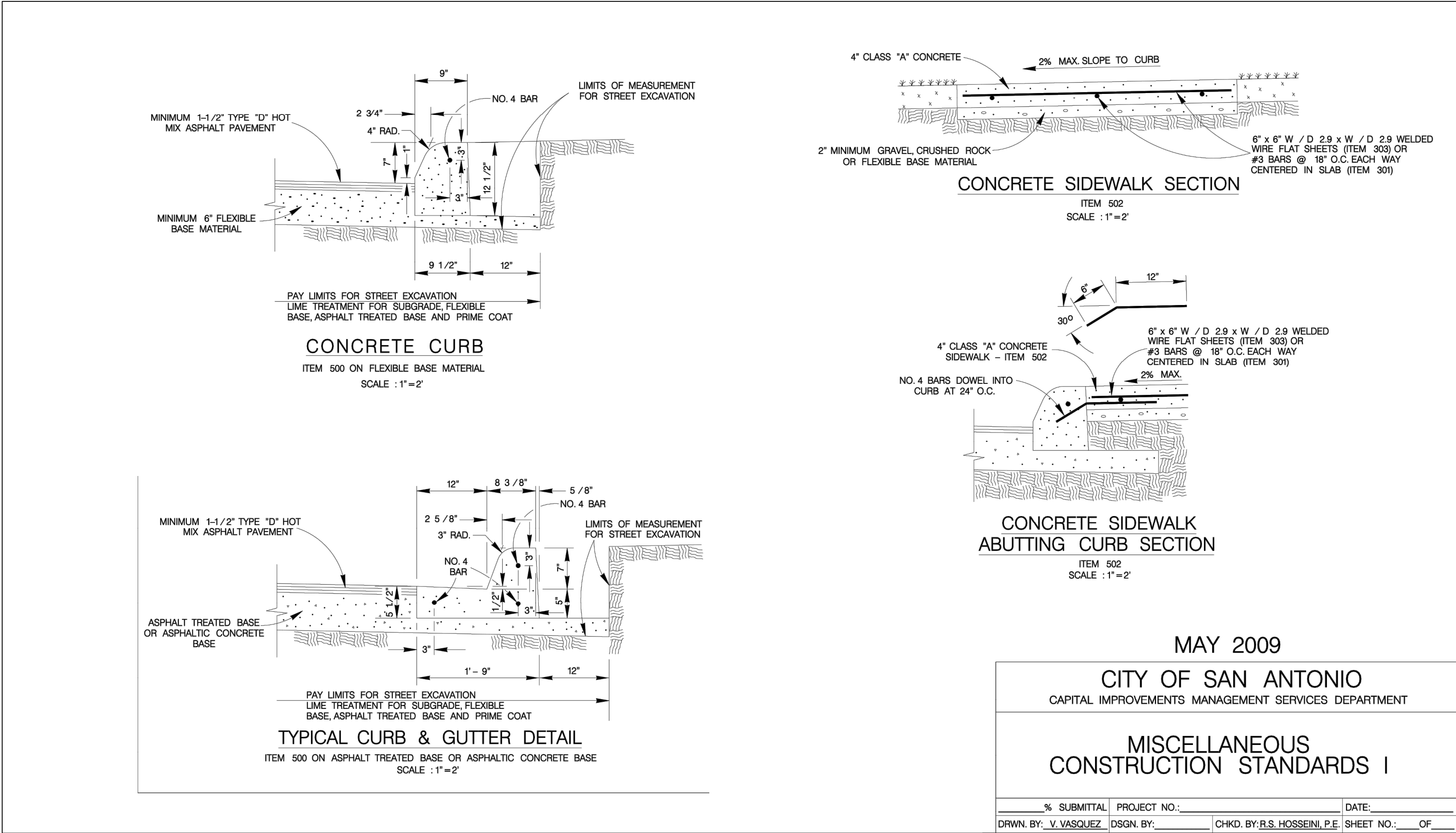
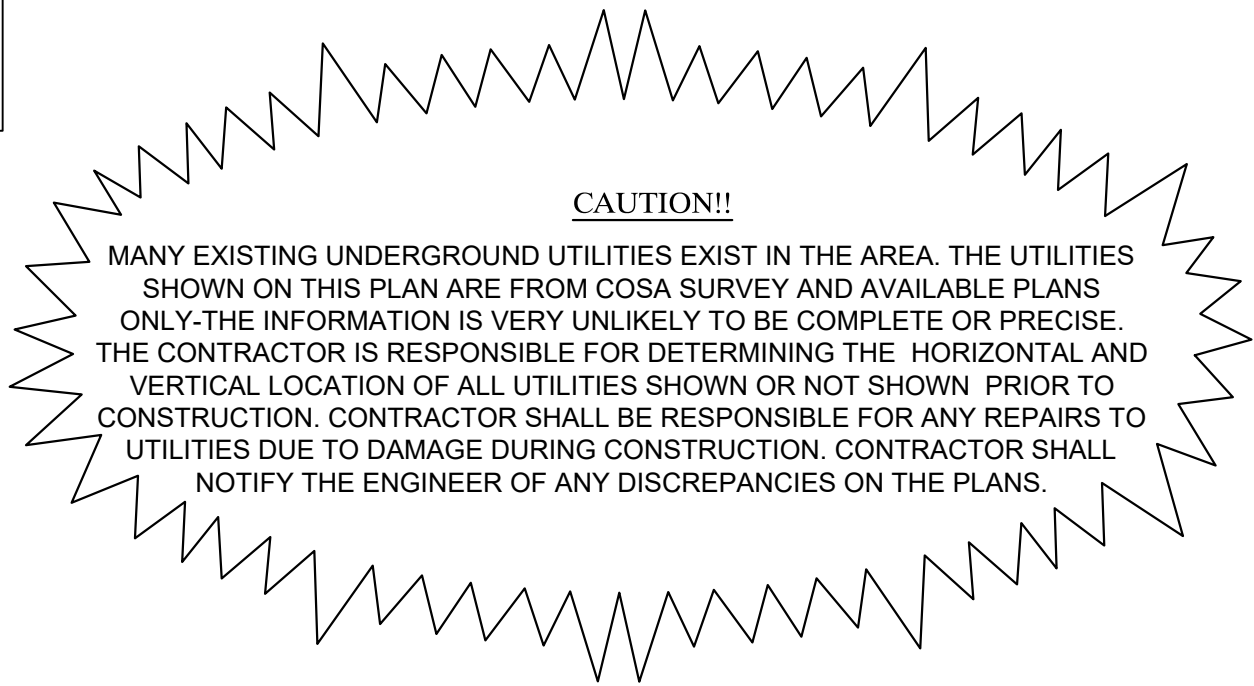
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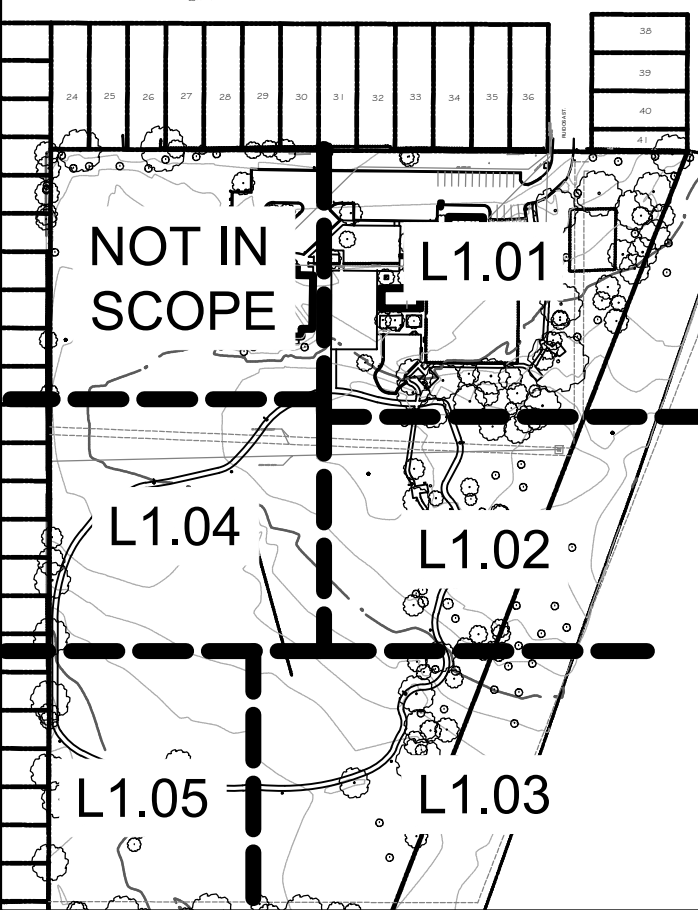


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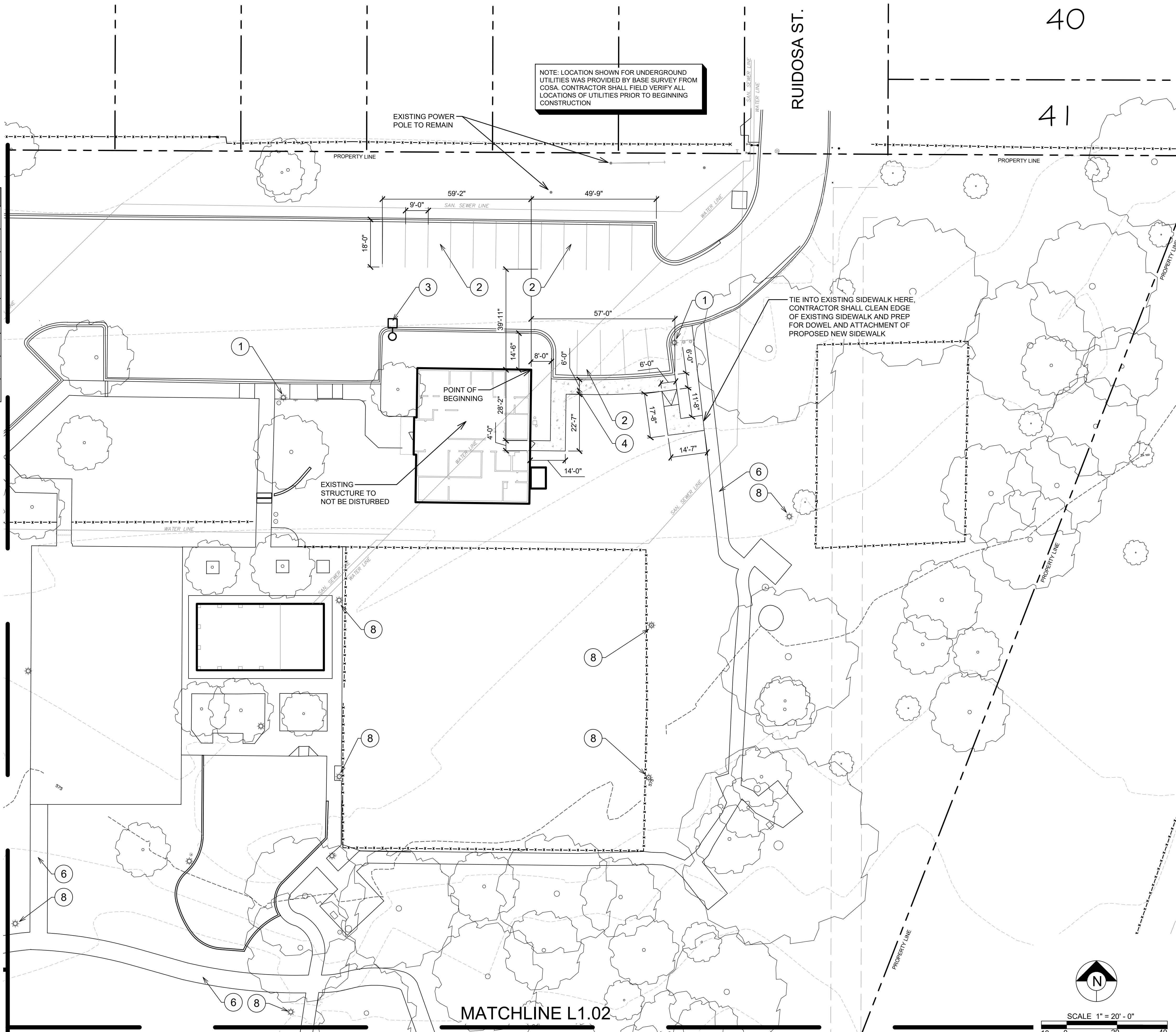
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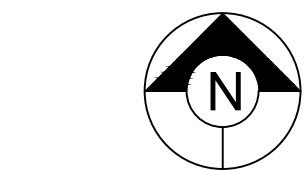
MATERIALS LEGEND

1.	EXISTING LIGHT POLE TO HAVE LIGHT FIXTURE REPLACED WITH LED LIGHT, RE: MEP DRAWINGS FOR SPECIFICATIONS AND DETAILS
2.	PROPOSED NEW PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS. RE: DEMOLITION PLANS FOR LIMITS OF REMOVAL FOR EXISTING CURB AND GUTTER
3.	PROPOSED NEW LINE VOLTAGE LED PARKING LIGHT AND POLE, RE: MEP DRAWINGS FOR DETAILS AND SPECIFICATIONS. RE: STRUCTURAL DRAWINGS FOR POST FOOTING
4.	PROPOSED NEW PEDESTRIAN SIDEWALK ACCESS, RE: CIVIL DRAWINGS FOR DETAILS
5.	PROPOSED HIGHLIGHT EXCEL LED SOLAR PATH LIGHT BY SOLAR PATH SUN SOLUTIONS, MODEL #EXCEL1000-55K-8019-2. LIGHT TO BE PLACED ON 20' HT. 6" DIAMETER ALUMINUM POLE BY SOLAR PATH SUN SOLUTIONS, MODEL #RTA8M20AA5. RE: DETAILS L2.01
6.	EXISTING CONCRETE SIDEWALK TO REMAIN
7.	EXISTING SOLAR TRAIL LIGHT TO REMAIN
8.	EXISTING LINE VOLTAGE LIGHT TO REMAIN

MATCHLINE NOT IN SCOPE



MATCHLINE L1.02



SCALE 1" = 20' - 0"



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ARCHITECT: MATTHEW MOCZYGENBA  
REGISTRATION: 2484

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

ISSUED: JUN. XX 2018

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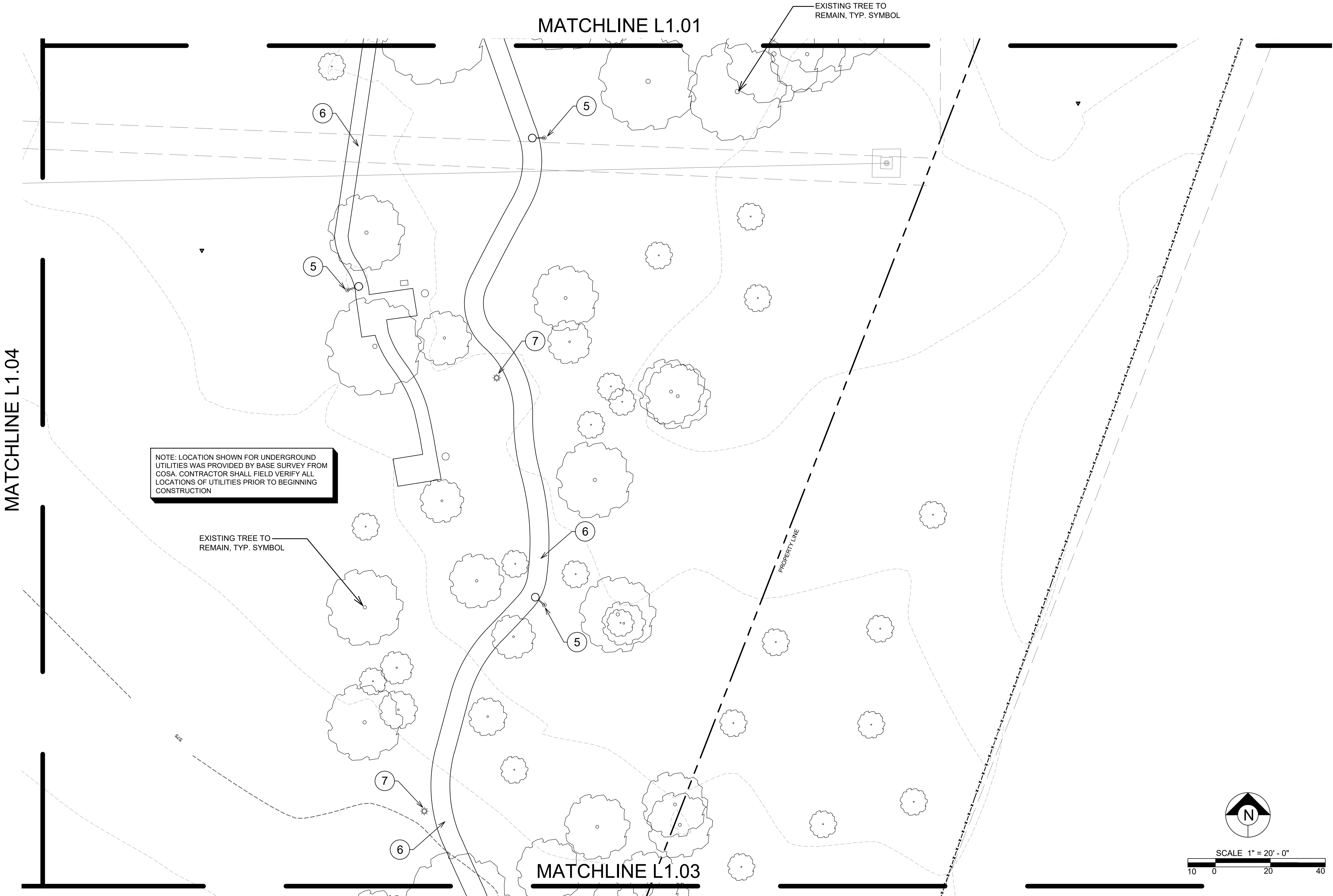
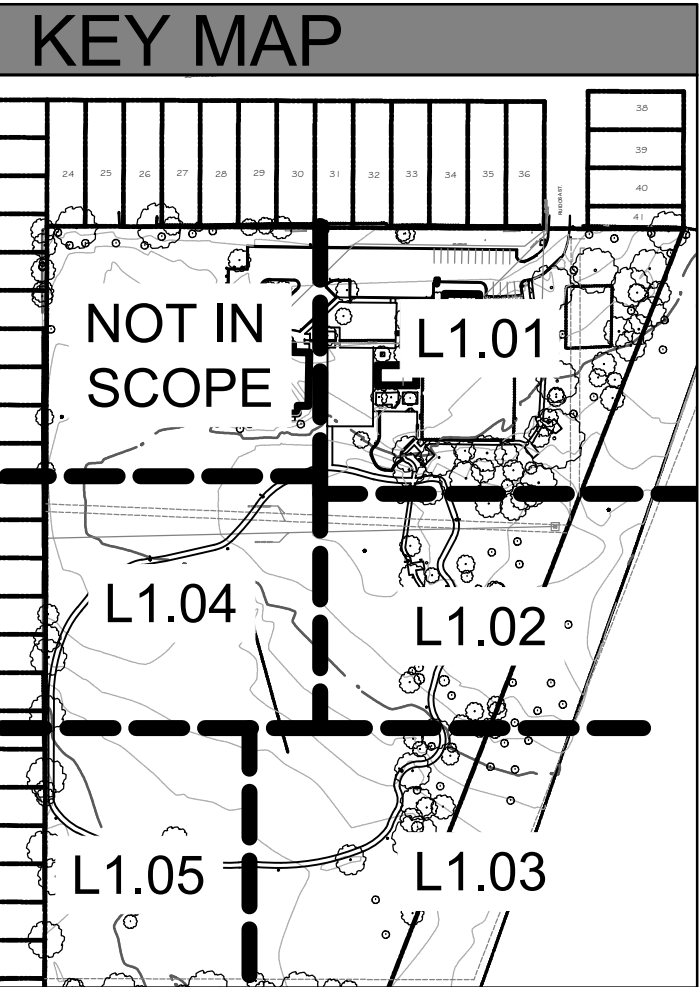
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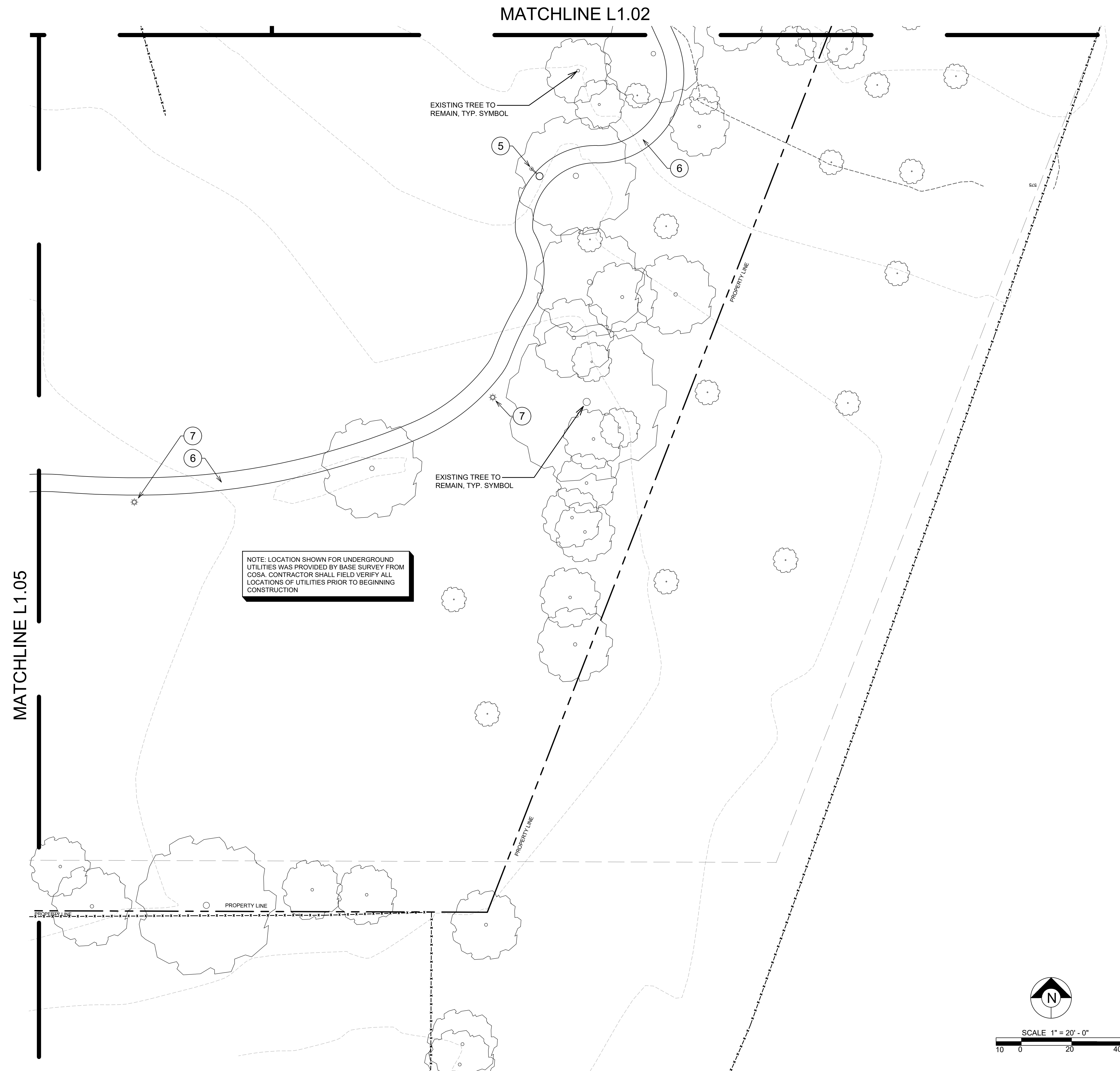
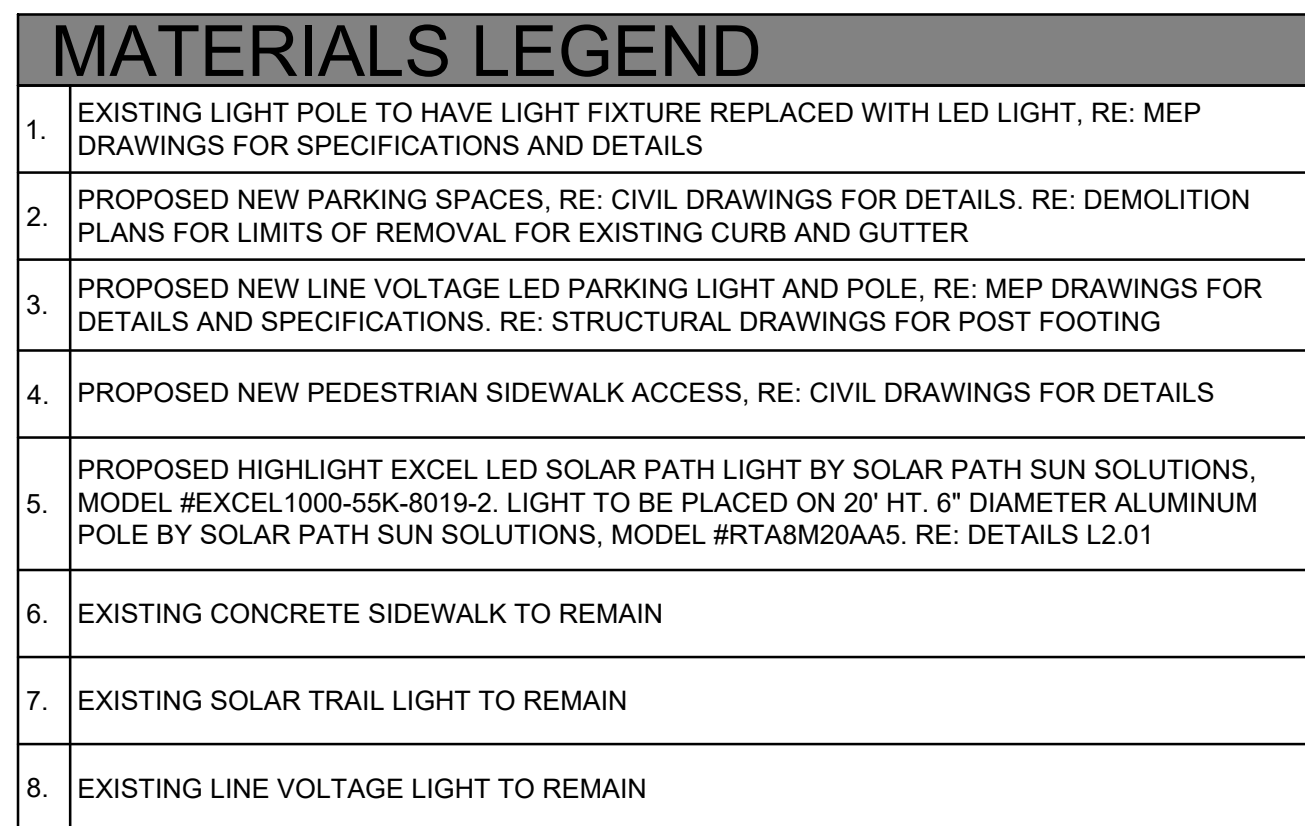
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1.	EXISTING LIGHT POLE TO HAVE LIGHT FIXTURE REPLACED WITH LED LIGHT, RE: MEP DRAWINGS FOR SPECIFICATIONS AND DETAILS
2.	PROPOSED NEW PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS. RE: DEMOLITION PLANS FOR LIMITS OF REMOVAL FOR EXISTING CURB AND GUTTER
3.	PROPOSED NEW LINE VOLTAGE LED PARKING LIGHT AND POLE, RE: MEP DRAWINGS FOR DETAILS AND SPECIFICATIONS. RE: STRUCTURAL DRAWINGS FOR POST FOOTING
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ARCHITECT: MATTHEW MOCZYGENBA

REGISTRATION: 2484

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

SUED: JUN. XX 2018

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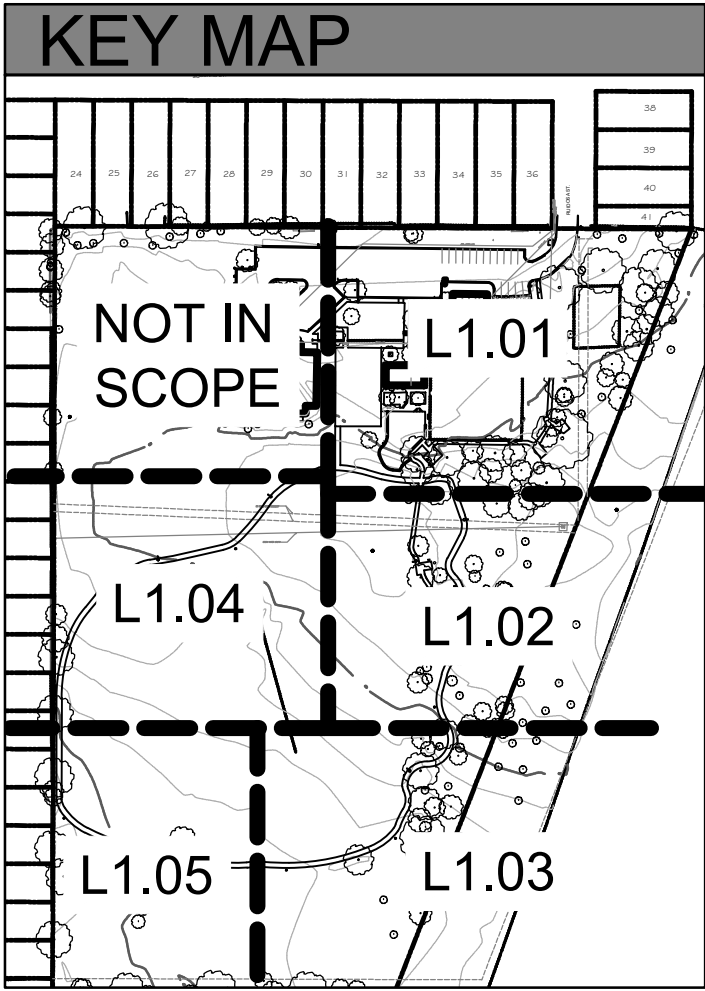
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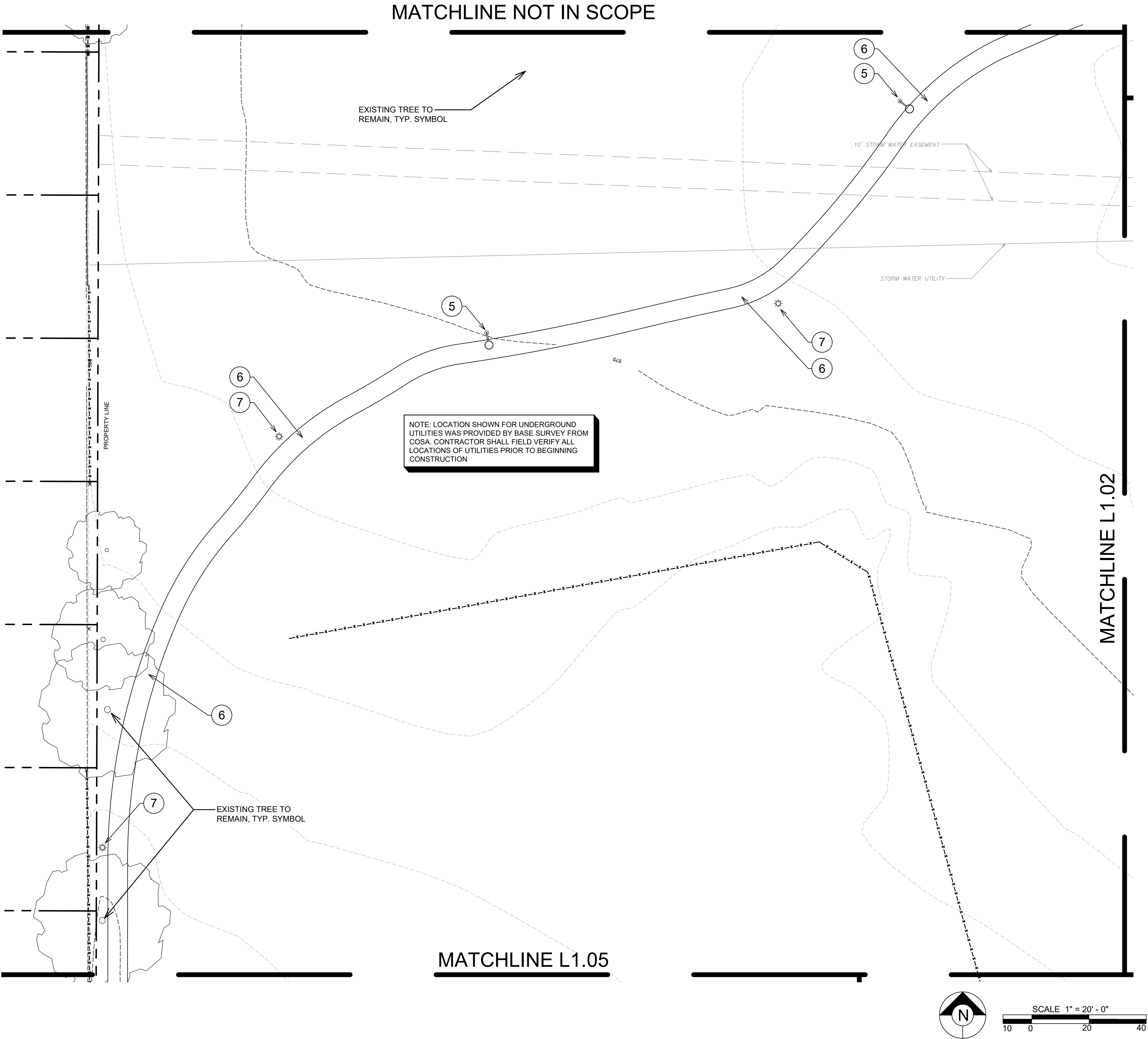
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MATERIALS LEGEND	
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2.	PROPOSED NEW PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS. RE: DEMOLITION PLANS FOR LIMITS OF REMOVAL FOR EXISTING CURB AND GUTTER
3.	PROPOSED NEW LINE VOLTAGE LED PARKING LIGHT AND POLE. RE: MEP DRAWINGS FOR DETAILS AND SPECIFICATIONS. RE: STRUCTURAL DRAWINGS FOR POST FOOTING
4.	PROPOSED NEW PEDESTRIAN SIDEWALK ACCESS, RE: CIVIL DRAWINGS FOR DETAILS
5.	PROPOSED HIGHLIGHT EXCEL LED SOLAR PATH LIGHT BY SOLAR PATH SUN SOLUTIONS, MODEL #EXCEL1000-55K-8019-2. LIGHT TO BE PLACED ON 20' HT. 6" DIAMETER ALUMINUM POLE BY SOLAR PATH SUN SOLUTIONS, MODEL #RTA8M20AA5. RE: DETAILS L2.01
6.	EXISTING CONCRETE SIDEWALK TO REMAIN
7.	EXISTING SOLAR TRAIL LIGHT TO REMAIN
8.	EXISTING LINE VOLTAGE LIGHT TO REMAIN



LANDSCAPE ARCHITECTURE  
PLANNING  
URBAN DESIGN  
2310 N. LOOP 1604, STE #22  
SAN ANTONIO, TX 78232  
P: 210-908-6736  
WWW.GOOPENAIR.COM

PROJECT:  
VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY  
Document incomplete; Not intended for  
permit, bidding or construction.  
DATE: 06-26-2019  
LANDSCAPE  
ARCHITECT: MATTHEW MOCZYGENBA  
REGISTRATION: 2484

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE:  
MATERIALS  
PLAN

SHEET NUMBER:  
L1.04





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VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
SAN ANTONIO, TEXAS

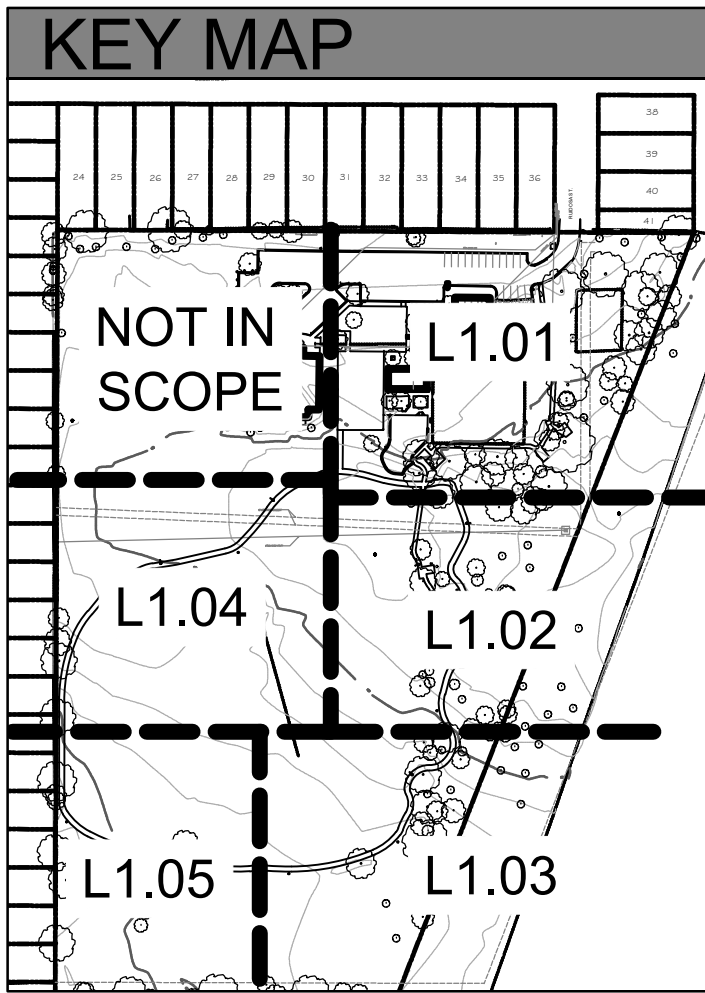
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DATE: 06-25-2019  
LANDSCAPE  
ARCHITECT: MATTHEW MOCZYGENBA  
REGISTRATION: 2454

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

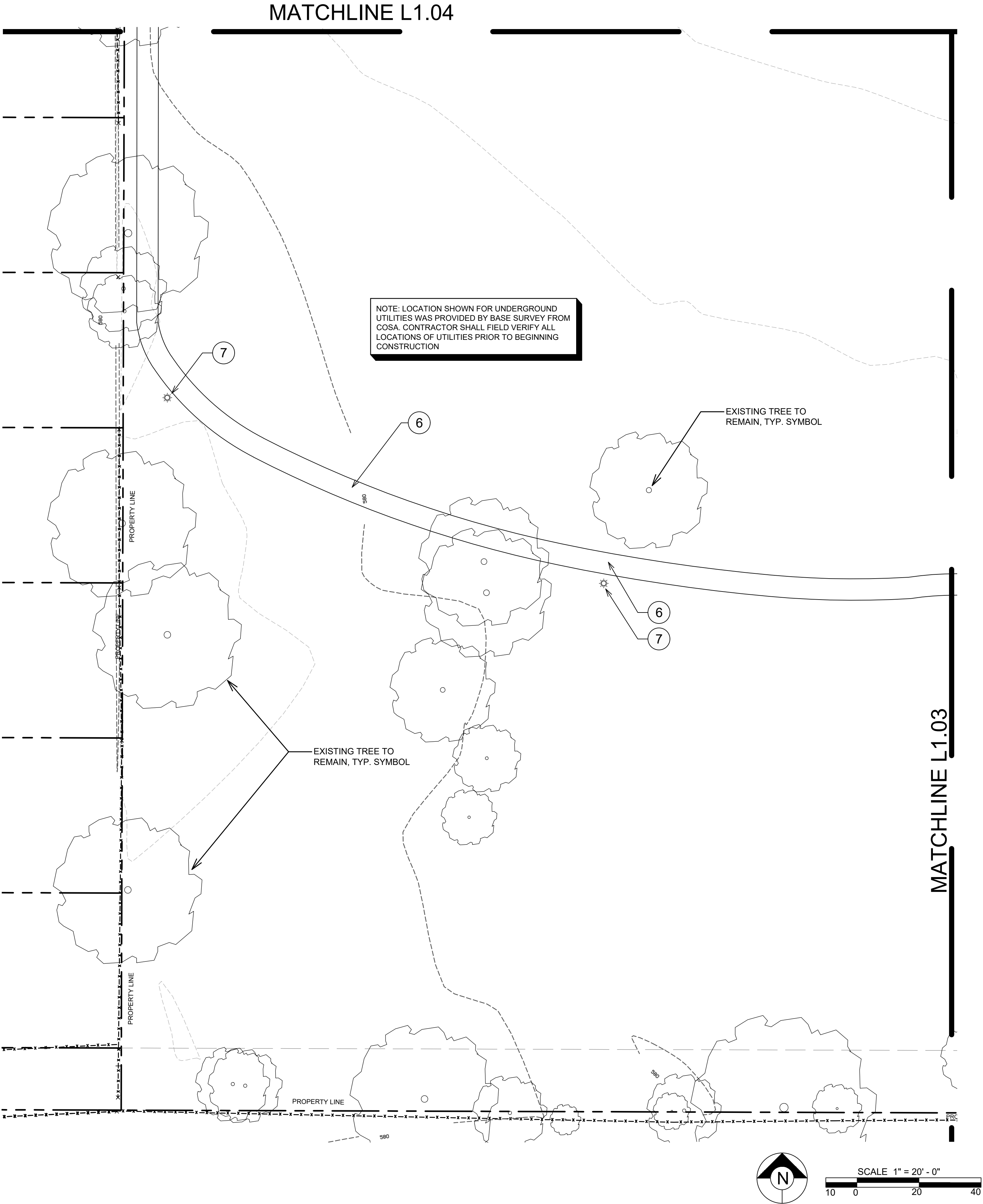
ISSUED: JUN. XX 2018

SHEET TITLE:  
MATERIALS  
CORONADO

SHEET NUMBER:  
L1.05



MATERIALS LEGEND	
1.	EXISTING LIGHT POLE TO HAVE LIGHT FIXTURE REPLACED WITH LED LIGHT, RE: MEP DRAWINGS FOR SPECIFICATIONS AND DETAILS
2.	PROPOSED NEW PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS. RE: DEMOLITION PLANS FOR LIMITS OF REMOVAL FOR EXISTING CURB AND GUTTER
3.	PROPOSED NEW LINE VOLTAGE LED PARKING LIGHT AND POLE, RE: MEP DRAWINGS FOR DETAILS AND SPECIFICATIONS. RE: STRUCTURAL DRAWINGS FOR POST FOOTING
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PROJECT:  
VILLA CORONADO  
PARK

**OWNER:**  
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TRAFFIC AND CAPITAL  
IMPROVEMENTS

**LOCATION:**  
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**LANDSCAPE**  
**ARCHITECT: MATTHEW MOCZYGEMBA**  
**REGISTRATION: 2484**

REVIEWED BY: MJM

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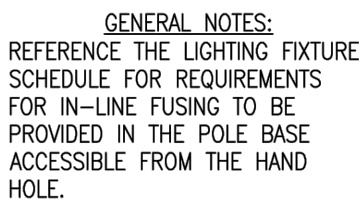
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## TYPICAL LIGHT DETAILS

## L2.01



1	LINE VOLTAGE POST FOOTING
	NOT TO SCALE





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URBAN DESIGN  
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PROJECT:  
VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
SAN ANTONIO, TEXAS

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LANDSCAPE  
ARCHITECT: MATTHEW MOCZYGENBA  
REGISTRATION: 2454

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

ISSUED: JUN. XX 2018

SHEET TITLE:  
PLANTING  
PLAN

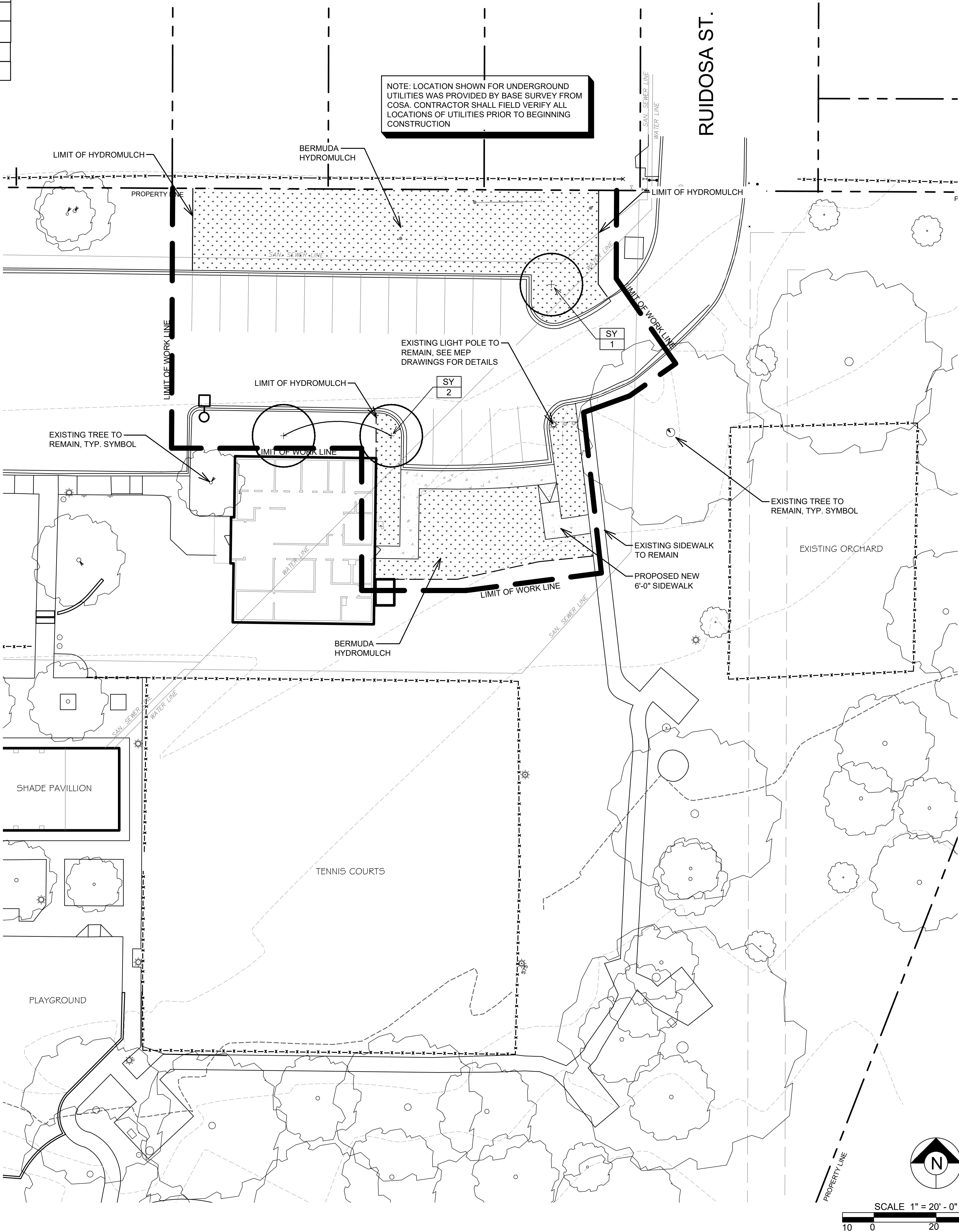
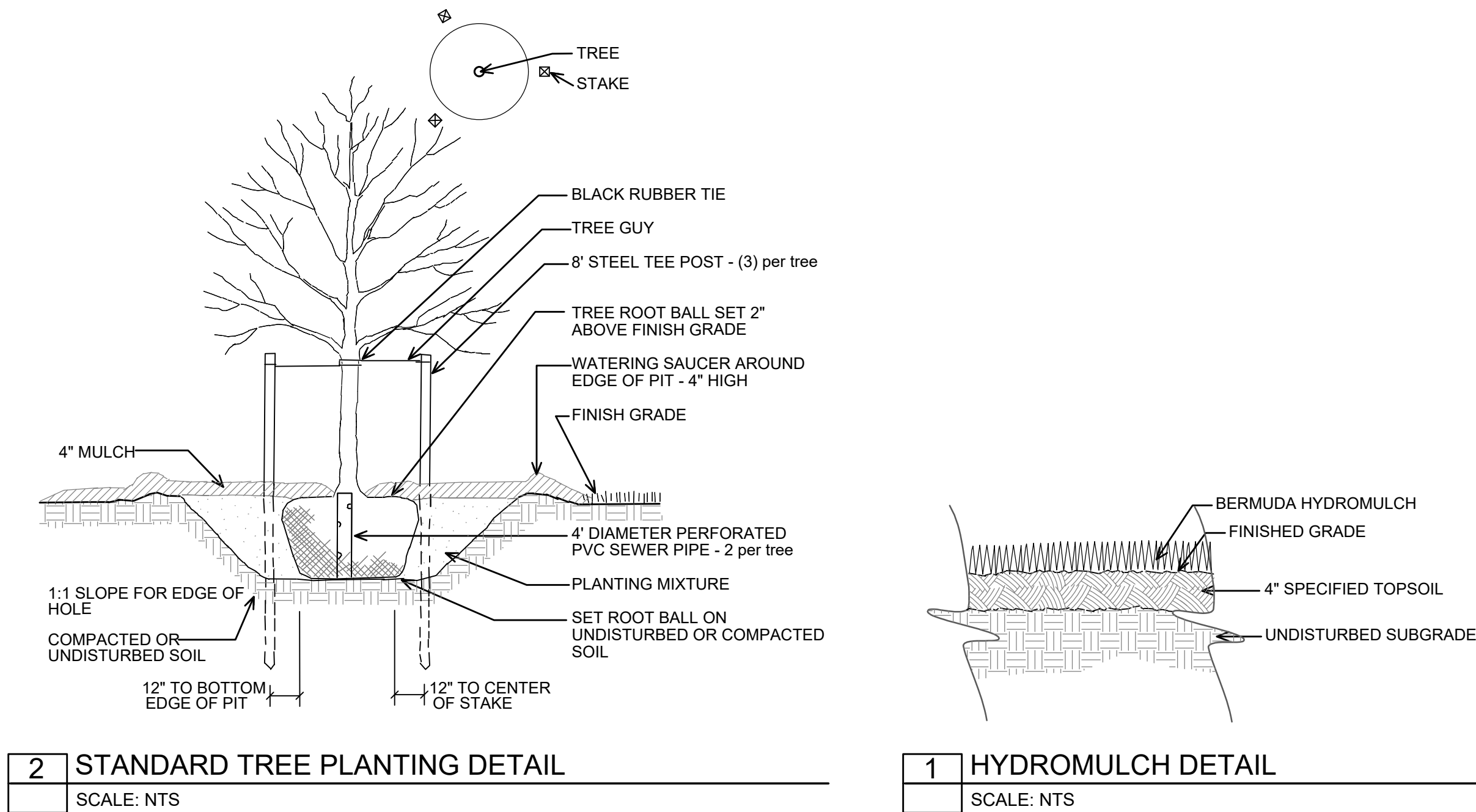
SHEET NUMBER:  
L3.01

LEGEND					
	LARGE NURSERY GROWN CONTAINERIZED TREES				
	BERMUDA HYDROMULCH				

PLANT LIST						
	BOTANICAL NAME/ COMMON NAME	CAL	HEIGHT	SPREAD	MIN SIZE	REMARKS
TREES						
SY	PLATANUS MEXICANA MEXICAN SYCAMORE	1.5"	10'	4'	65 GAL.	MATCHED, WELL ROOTED
SOD						
	CYNODON SPECIES BERMUDA HYDROMULCH					SOLID SOD

CITY OF SAN ANTONIO LANDSCAPE ORDINANCE	
1) TREE PRESERVATION ORDINANCE COMPLIANCE No Existing Trees To Be Disturbed	
2) TREE CANOPY REQUIREMENTS Limit of Construction: 12,000 s.f. x 25% = 3,000 s.f.. CANOPY REQUIRED	
PROPOSED TREES: 3 Sycamore Trees (90% @ 1080 s.f.)	= 3,240 s.f.
	TOTAL: 3,240 s.f. (25%)
3). LANDSCAPE ORDINANCE COMPLIANCE	25 PTS REQUIRED
A. PARKING SHADE TREE CALCULATIONS - 25 POINTS Square footage of proposed parking area: 4,150 s.f. x 35% = 1,450 s.f. Required & Provided 3 Proposed Sycamore Trees (50% @ 600 s.f.) = 1,800 s.f.	TOTAL: 1,800 s.f. (43%)
4) BUFFER YARD REQUIREMENTS No Buffer Yard Required	TOTAL POINTS: 25 POINTS

GENERAL NOTES	
1. Planting soil mixture shall be composed of the following: Landscape Mix Trees - New Earth 4-Way Planting Mix Shrub Beds - New Earth 4-Way Planting Mix Lawn Areas - New Earth Enriched Topsoil Mulch - New Earth Double Ground Composed Hardwood Mulch	
2. Bidding contractors be advised that all new tree material is to be container-grown corresponding to stated root ball sizes as recognized by industry standards. This shall exclude all B&B, machine moved, or trans-planted trees from the bidding process unless otherwise indicated on the plan. The installation contractor shall be prepared to provide photographs of intended plant material along with signed clarification that plant material meets these requirements and that no variations or substitutions have been made.	
3. Landscape Contractor doing the installation of this work shall submit to Landscape Architect information regarding sourcing of plant material. All plant material must be container grown and approved at the source of growth by Landscape Architect. Tree material meeting the specifications will be tagged with a serialized locking tag at the nursery by Landscape Architect. Plants arriving at the job site without these tags will be categorically rejected at contractor's expense.	
4. If the planting plan does not agree with the plant list the quantities indicated graphically on the planting plan shall govern.	
5. All disturbed areas are to receive four inches of topsoil, mulch, sod or hydromulch (depending on the area), and watered until a healthy stand of grass is established.	
6. Between proposed trees and utility lines, place root barrier per detail to prevent spreading.	
7. All trees planted adjacent to accessible routes and accessible areas shall not have limbs below 80" AFF.	
8. At all electric meter, cable, phone, etc. service entry locations, shrubs are to be held off of building 3'-0".	
9. Transformer locations may be altered by local electric company. If discrepancies occur, coordinate changes with landscape architect.	





PROJECT:  
VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRANSPORTATION AND  
CAPITAL IMPROVEMENTS

LOCATION:  
SAN ANTONIO, TEXAS

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REGISTRATION: 2484

PROJECT #: CSA20174  
DESIGNED BY: JS  
DRAWN BY: JS  
REVIEWED BY: MJM

ISSUED: JUN. XX 2018



SHEET TITLE:  
IRRIGATION  
PLAN

SHEET NUMBER:  
L4.01

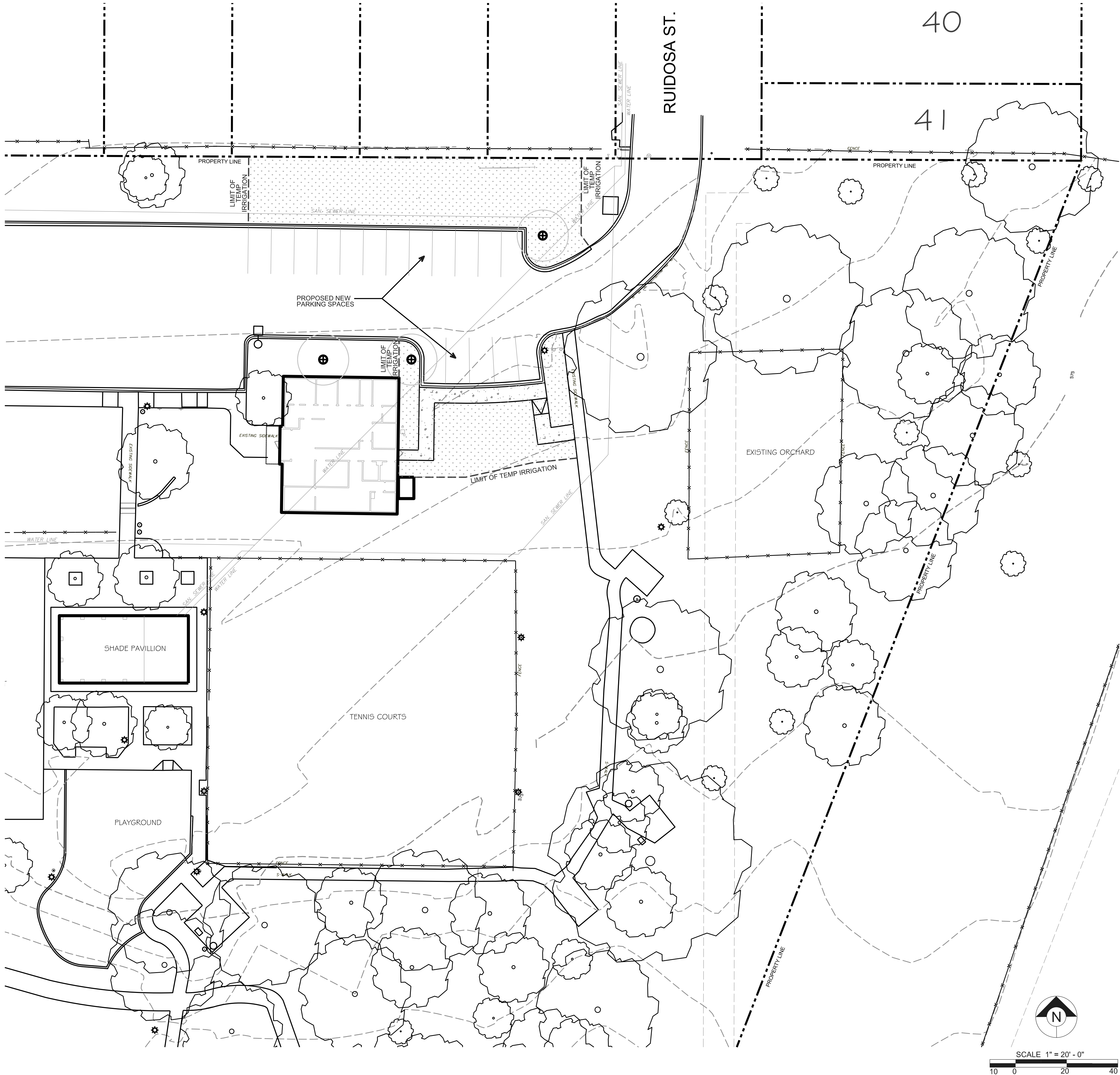
WATERING SCHEDULE

ALL PROPOSED LANDSCAPE	
TIME FRAME	WATERING FREQUENCY
FIRST 4 WEEKS	3x PER WEEK
SECDOND 4 WEEKS	2x PER WEEK
THIRD 4 WEEKS	1x PER WEEK
FOURTH 4 WEEKS	2 - 4x PER MONTH

LEGEND

	TREE GATOR BAG INSTALL PER MANUFACTURER'S SPECIFICATION
	TEMPORARY IRRIGATION BERMUDA HYDROMULCH TO BE HAND IRRIGATED BY PARKS MAINTENANCE UNTIL HEALTHY STAND OF GRASS IS ESTABLISHED

ALL PROPOSED BERMUDA HYDROMULCH  
SHALL BE WATERED BY HAND USING  
PROVIDED WATERING SCHEDULE.  
CONTRACTOR SHALL UTILIZE TREE  
GATOR BAGS FOR PROPOSED MEXICAN  
SYCAMORE TREES





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I. STORMWATER POLLUTION PREVENTION-CLEAN WATER ACT SECTION 402

Texas Pollutant Discharge Elimination System (TPDES) TXR 150000: Stormwater Discharge Permit or Construction General Permit (CGP) required for projects with 1 or more acres disturbed soil. Projects with any disturbed soil must protect for erosion and sedimentation in accordance with Item 540.

☐ No Action Required ☒ Required Action

Action No.

- Prevent stormwater pollution by controlling erosion and sedimentation in accordance with TPDES Permit TXR 150000.
- Comply with the Storm Water Pollution Prevention Plan (SW3P) and revise when necessary to control pollution or required by the Engineer.
- Post Construction Site Notice (CSN) with SW3P information on or near the site, accessible to the public and Texas Commission on Environmental Quality (TCEQ), Environmental Protection Agency (EPA) or other inspectors.
- When Contractor project specific locations (PSL's) increase disturbed soil area to 5 acres or more, Contractor shall submit Notice of Intent (NOI) to TCEQ and the COSA Inspector.
- NOI required: ☐ Yes ☒ No

Note: If amount of soil disturbance changes, permit requirements may change.

II. WORK IN OR NEAR STREAMS, WATERBODIES AND WETLANDS CLEAN WATER ACT SECTIONS 401 AND 404

US Army Corps of Engineers (USACE) Permit required for filling, dredging, excavating or other work in any potential USACE jurisdictional water, such as, rivers, creeks, streams, or wetlands.

The Contractor shall adhere to all of the terms and conditions associated with the following permit(s):

- ☒ No Permit Required
- ☐ Nationwide Permit (NWP) 14 - Pre-construction Notice (PCN) not Required
- ☐ Nationwide Permit 14 - PCN Required
- ☐ Individual 404 Permit Required
- ☐ Other Nationwide Permit Required: NWP# \_\_\_\_\_

Required Actions: List waters of the US permit applies to, location in project and check Best Management Practices (BMPs) planned to control erosion, sedimentation and post-project total suspended solids (TSS).

- 
- 
- 
- 

401 Best Management Practices: (Not applicable if no USACE permit)

Erosion

- ☐ Temporary Vegetation
- ☐ Blankets/Matting
- ☐ Mulch
- ☐ Sodding
- ☐ Interceptor Swale
- ☐ Diversion Dike
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks

Sedimentation

- ☐ Silt Fence
- ☐ Rock Berm
- ☐ Triangular Filter Dike
- ☐ Sand Bag Berm
- ☐ Straw Bale Dike
- ☐ Brush Berms
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks
- ☐ Stone Outlet Sediment Traps
- ☐ Sediment Basins

Post-Construction TSS

- ☐ Vegetative Filter Strips
- ☐ Retention/Irrigation Systems
- ☐ Extended Detention Basin
- ☐ Constructed Wetlands
- ☐ Wet Basin
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks
- ☐ Vegetation Lined Ditches
- ☐ Sand Filter Systems
- ☐ Sedimentation Chambers
- ☐ Grassy Swales

III. CULTURAL RESOURCES

Cultural resources fall under the Antiquities Code of Texas and/or the National Historic Preservation Act, as amended in 1966. If a previously unidentified archeological site is encountered during construction work, activities should be immediately stopped in the vicinity and the City Archeologist (210-207-7306) notified and/or the SHPO.

☒ No Action Required ☐ Required Action

Action No.

- 
- 
- 
- 

IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical. Contractor must adhere to Construction Specification Requirements Specs 162,164, 192, 193, 506, 730, 751, 752 in order to comply with requirements for invasive species, beneficial landscaping, and tree/brush removal commitments.

☐ No Action Required ☒ Required Action

Action No.

- Ensure that a tree permit is in place for this project, if required.
- Follow the tree preservation/mitigation plan provided in the design plan set. If there are any questions or concerns, please contact the City Arborist at 210-207-0278, before any work begins.

V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

☐ No Action Required ☒ Required Action

Action No.

- MIGRATORY BIRD NESTS  
a. Schedule construction activities as needed to meet the following requirements:  
  
A. Do not remove or destroy any active migratory bird nests (nests containing eggs and/or flightless birds) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.  
  
B. On/in structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to the structures to prevent future nest building.  
  
2. Deterrent material should be placed (and maintained) after October 1 or before February 15.  
  
3. The preferred nesting season for migratory birds is from February 15 through October 1. When practicable, schedule construction operations outside of the preferred nesting season.

If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the COSA Inspector immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediated area, and contact the COSA Inspector immediately.

VI. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES

General (applies to all projects):

Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used.

Obtain and keep on-site Material Safety Data Sheets (MSDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labelling as required by the Act.

Maintain an adequate supply of on-site spill response materials, as indicated in the MSDS. In the event of a spill, take actions to mitigate the spill as indicated in the MSDS, in accordance with safe work practices, and contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:

- \* Dead or distressed vegetation (not identified as normal)
- \* Trash piles, drums, canister, barrels, etc.
- \* Undesirable smells or odors
- \* Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

☒ No Action Required ☐ Required Action

Action No.

- 
- 
- 

Does the project involve the demolition of a span bridge?

☐ Yes ☒ No (No further action required)

If "Yes", a pre- demolition notification must be submitted to the Texas Department of State Health Services. The contractor shall contact the Project Engineer 25 calendar days prior to the demolition of the bridges(s) on the project to assist with the notification.

VII. OTHER ENVIRONMENTAL ISSUES

(includes regional issues such as Edwards Aquifer District, etc.)

☒ No Action Required ☐ Required Action

Action No.

- 
- 
- 

Villa Coronado Park (2017 Bond)				
June 2019				
ENVIRONMENTAL_PERMITS, ISSUES_AND_COMMITMENTS				
EPIC				
FILE: epic.2015-10-09 SAT.dgn	DN: COSA	CK: COSA	DW: LG	CK: JS
©TxDOT NOVEMBER 2018	CONT	SECT	JOB	HIGHWAY
REVISIONS				
	DIST	COUNTY		SHEET NO.



LANDSCAPE ARCHITECTURE  
PLANNING  
URBAN DESIGN

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VILLA CORONADO  
PARK

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CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
SAN ANTONIO, TEXAS

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DATE: 06-25-2019

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ARCHITECT: MATTHEW MOCZYGENBA  
REGISTRATION: 2484

PROJECT #: CSA20174

DESIGNED BY: JS

DRAWN BY: JS

REVIEWED BY: MJM

ISSUED: JUN. XX 2018

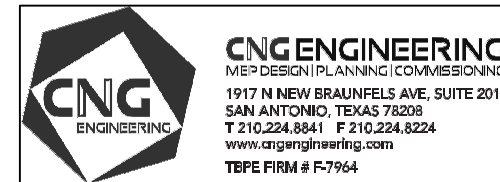
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E.P.I.C.  
SHEET

SHEET NUMBER:

L5.01





**OWNER:**  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

PROJECT #: CSA20174

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Engineer: DOUGLAS W. SCHULZE  
P.E. Reg. No.: 80707  
Company Name: CNG ENGINEERING, PLLC.  
Texas Registered Engineering Firm: F-7964  
Date: 06/19/2019

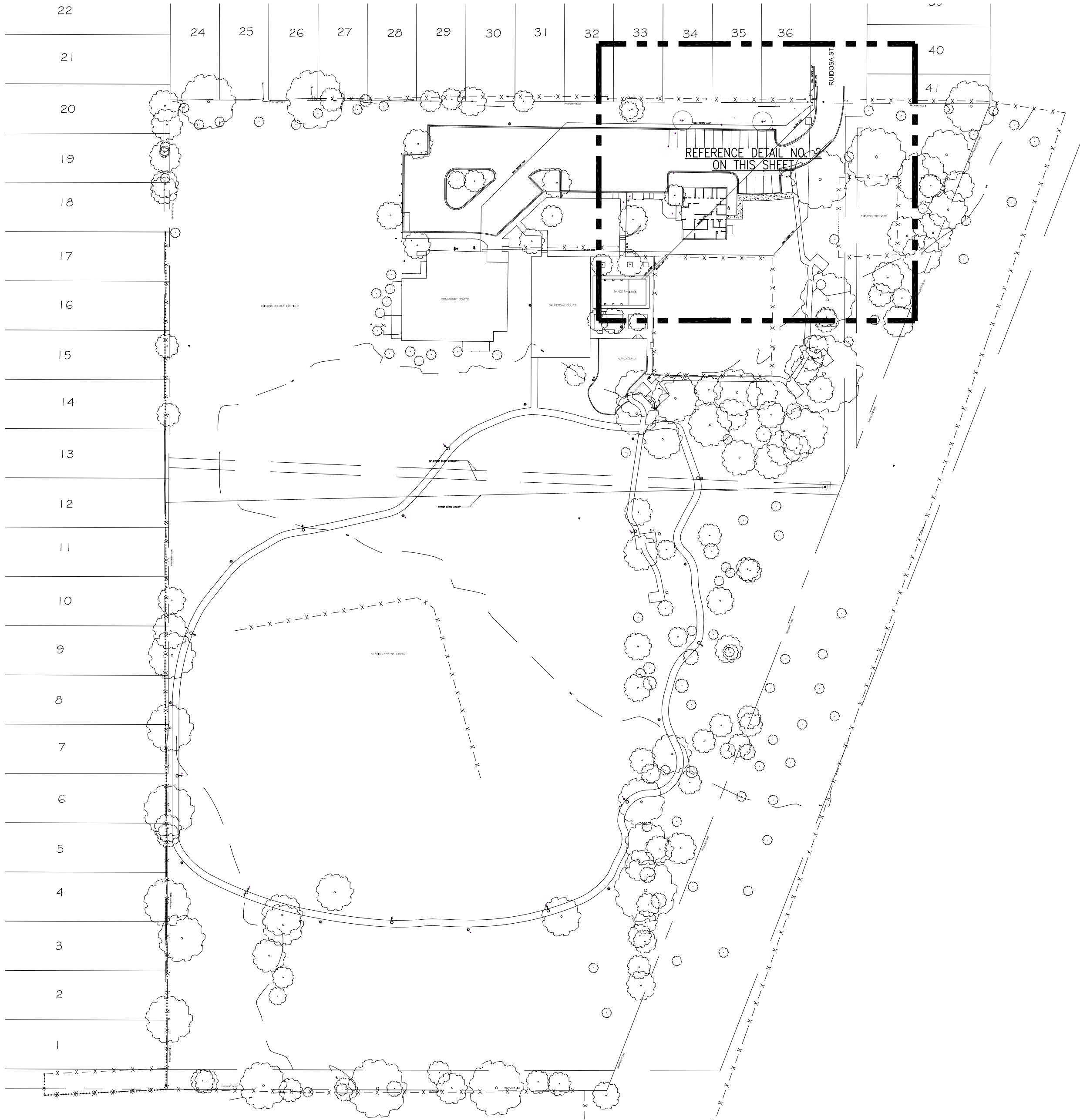
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E1.00

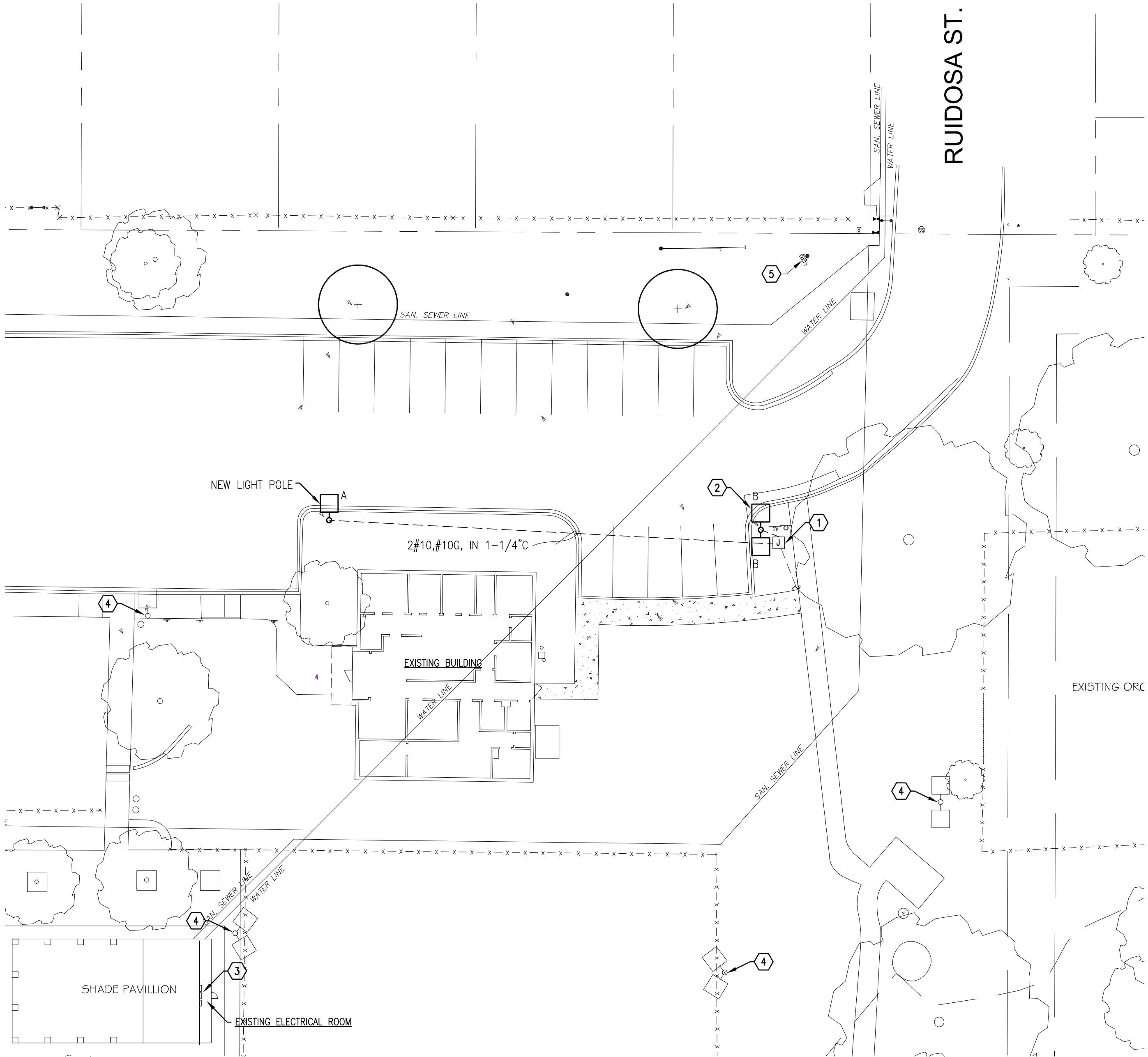
**SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT**

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**1 PARTIAL OVERALL ELECTRICAL SITE PLAN**  
SCALE: NOT TO SCALE



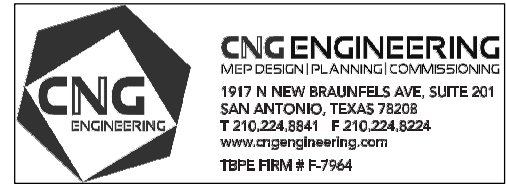
**2 ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'  
GRAPHIC SCALE: 20' 15' 10' 5' 0' 10' 20' 30'

**# KEYED NOTES: (DETAIL NO.1 ONLY)**

- INTERCEPT ELECTRICAL CONDUIT SERVING LIGHT POLE AND LEAVE READY FOR INSTALLATION OF IN-GRADE JUNCTION BOX AND EXTENSION OF CIRCUIT TO NEW POLE MOUNTED PARKING LOT LIGHT. PROVIDE MEDIUM DUTY PULLBOX PER TYPICAL DETAIL 1/E2.1. EXTEND UNDERGROUND ELECTRICAL CIRCUIT TO EXISTING LIGHT POLE TO REMAIN. EXTEND 2#10,#10G, IN 1-1/4" TO NEW POLE MOUNTED PARKING LOT LIGHTING FIXTURE.
- REPLACE EXISTING LIGHTING FIXTURES WITH NEW LED LIGHTING FIXTURES AS SPECIFIED. VERIFY CIRCUIT CONFIGURATION AND VOLTAGE PRIOR TO PURCHASING FIXTURES. CONNECT NEW POLE MOUNTED LIGHTING FIXTURES TO EXISTING CIRCUIT. REUSE EXISTING WIRING CONNECTIONS. COORDINATE MOUNTING BRACKET REQUIREMENTS WITH EXISTING POLE TO REMAIN.
- LOCATION OF EXISTING 120/240V, 1 PHASE PANEL, CONTACTOR ENCLOSURE AND TIMECLOCK SERVING EXISTING SITE LIGHTING. LIGHTING CIRCUITS ARE CONTROLLED THROUGH AN EXISTING LIGHTING CONTACTOR CONTROLLED BY A ROTARY TIMECLOCK DEVICE. FIELD VERIFY CIRCUIT NUMBER SERVING LIGHTS BEING REPLACED. TRACE CIRCUITS BACK TO PANEL AS NECESSARY. NOTIFY ENGINEER OF ANY CIRCUIT SOURCE DISCREPANCY FOUND. EXISTING PANEL AND LIGHTING CONTROLS DEVICES TO REMAIN. UPDATE PANELBOARD SCHEDULE AS NECESSARY.
- EXISTING POLE MOUNTED LIGHTING FIXTURE TO REMAIN. MAINTAIN LIGHTING CIRCUIT DURING CONSTRUCTION.
- EXISTING 100A METERED SERVICE AND DISCONNECT SWITCH TO REMAIN. DISCONNECT SWITCH REPLACEMENT, GROUNDING CONDUCTOR AND RACEWAY REPAIRS TO BE PERFORMED BY OWNER.

**GENERAL DEMOLITION NOTES: (DETAIL NO.1 ONLY)**

- CONDUCT ALL DEMOLITION WORK IN SUCH A MANNER AS TO MAINTAIN A SAFE WORK ENVIRONMENT AND IN ACCORDANCE WITH APPLICABLE SAFETY RULES AND PROCEDURES WITHIN NEC, NECA AND OSHA REQUIREMENTS.
- CONTRACTOR SHALL REQUEST AND REVIEW ANY HAZARDOUS MATERIALS SURVEYS FROM THE OWNER'S REPRESENTATIVE. OBSERVE RECOMMENDED PRECAUTIONS AND VERIFY THE STATUS OF ANY REMEDIAL WORK RECOMMENDED OR NOTED WITHIN THE HAZARDOUS MATERIAL SURVEY. NOTIFY THE OWNER'S REPRESENTATIVE IF ANY HAZARDOUS MATERIALS ARE SUSPECTED OR OBSERVED DURING THE COURSE OF EXECUTING THIS CONTRACT.
- SURVEY AREAS OF THE FACILITY SCHEDULED FOR RENOVATION OR PARTIAL DEMOLITION PRIOR TO ANY WORK BEING PERFORMED. SUBMIT REPORT OF THE PRE-WORK SURVEY DETAILING ANY UTILIZATION EQUIPMENT OR SYSTEMS THAT ARE NOT IN GOOD WORKING ORDER IN ADVANCE OF ANY DEMOLITION WORK AND REVIEW WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE TO USE CALL 811 FOR LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO DIGGING OR TRENCHING.
- RESTORE CIRCUITS, UTILIZATION EQUIPMENT AND SYSTEMS AFFECTED BY SELECTIVE DEMOLITION TO THE CONDITION NOTED IN THE PRE-WORK SURVEY REPORT. ELECTRICAL CIRCUITS WITH A PORTION OF THE LOAD REMOVED SHALL HAVE THE REMOVED LOADS ASSOCIATED CIRCUITRY TERMINATED IN SUCH A MANNER THAT THE REMAINING LOAD REMAINS FULLY OPERATIONAL.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR SALVAGED MATERIAL. REQUEST THAT THE OWNER PROVIDE DIRECTION ON DISPOSITION OF SALVAGED MATERIAL FIVE(5) WORKING DAYS PRIOR TO REMOVAL. IF SO DIRECTED BY THE OWNER, SALVAGED MATERIAL SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE DELIVERED BY THE CONTRACTOR TO A LOCATION AS DIRECTED. REMOVE AND DISPOSE ANY SALVAGED MATERIAL NOT RETAINED BY THE OWNER.
- UNLESS OTHERWISE NOTED, DEMOLISH ELECTRICAL DEVICES, INCLUDING BUT NOT LIMITED TO: POWER WIRING, RACEWAYS, AND LIGHTING DEVICES. SCHEDULED FOR DEMOLITION.
- DAMAGED AREAS CAUSED BY REMOVAL OF ANY OF THE ABOVE ITEMS AND WHICH ARE NOT CONCEALED BY NEW CONSTRUCTION SHALL BE REPAIRED TO MATCH ADJACENT SURFACES.
- REMOVE ABANDONED CONDUIT TO POINT OF CONCEALMENT BEHIND INACCESSIBLE SURFACES. ENTIRELY REMOVE ABANDONED WIRING.
- CONTRACTOR SHALL SUBMIT WRITTEN REQUEST TO SHUT OFF POWER TO THE SITE OR ELECTRICAL DEMOLITION AND NEW WORK 10 DAYS PRIOR TO SHUTOFF.
- FOR SYMBOLS AND ABBREVIATIONS, REFER TO SHEET E0.0.
- PROVIDE SCH. 80 PVC DIRECT-BURIAL CONDUITS. BURY CONDUITS A MINIMUM OF 24" BELOW FINISHED GRADE OR PAVEMENT. PROVIDE CONCRETE CAP NOT LESS THAN 2" THICK ABOVE DIRECT BURIED LOW VOLTAGE CONDUITS WHERE SUBJECT TO VEHICULAR OR EXCAVATION DAMAGE OR WHERE MINIMUM BURIAL DEPTH CANNOT BE ACHIEVED.



**PROJECT:**  
**VILLA CORONADO PARK**

**OWNER:**  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL IMPROVEMENTS

**LOCATION:**  
11030 RUIDOSA  
SAN ANTONIO, TEXAS

**PROJECT #:** CSA20174  
**DESIGNED BY:**  
**DRAWN BY:**  
**REVIEWED BY:**

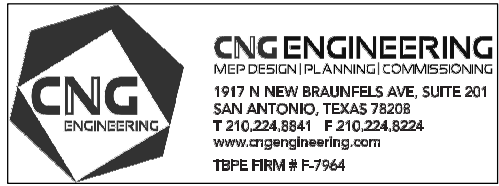
**ISSUED:** XX XXX. 2018

**INTERIM REVIEW ONLY**  
Document Incomplete: Not Intended for permit, bidding or construction.  
Engineer: **DOUGLAS W. SCHULZE**  
P.E. Reg. No.: **80707**  
Company Name: **CNG ENGINEERING, PLLC.**  
Texas Registered Engineering Firm: **F-7964**  
Date: **06/19/2019**

**SHEET TITLE:**  
**ELECTRICAL SITE PLAN**

**SHEET NUMBER:**  
**E1.01**





PROJECT:  
VILLA CORONADO  
PARK

OWNER:  
CITY OF SAN ANTONIO  
TRAFFIC AND CAPITAL  
IMPROVEMENTS

LOCATION:  
11030 RUIDOSA  
SAN ANTONIO, TEXAS

PROJECT #: CSA20174  
DESIGNED BY:  
DRAWN BY:  
REVIEWED BY:

ISSUED: XX XXX. 2018

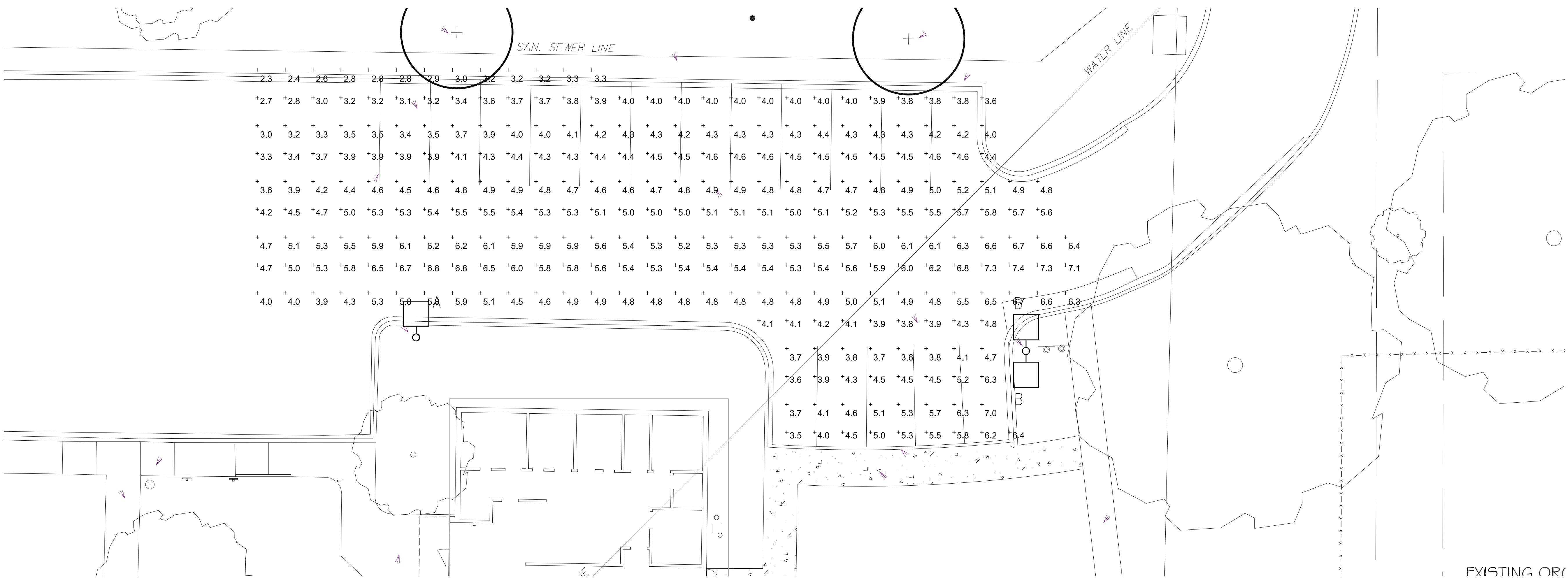
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Company Name: CNG ENGINEERING, PLLC.  
Texas Registered Engineering Firm: F-7964  
Date: 06/19/2019

SHEET TITLE:

PHOTOMETRIC  
CALCULATIONS

SHEET NUMBER:

E1.02

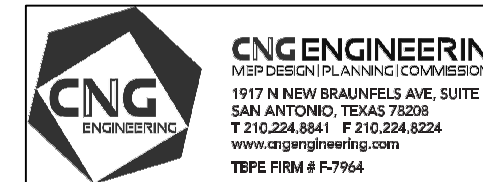


**PHOTOMETRIC CALCULATIONS**  
1 NOT TO SCALE

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Fence Line	+	0.9 fc	1.7 fc	0.4 fc	4.3:1	2.3:1	
Parking Area	+	4.7 fc	7.4 fc	2.3 fc	3.2:1	2.0:1	

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF Wattage
	A	3	Beacon Products	MA-A-64L-325-3K7-3	MATRIX-AREA	X2-70-CRI	1	MA-A-64L-325-3K7-3.ies	37643	0.92 326.6



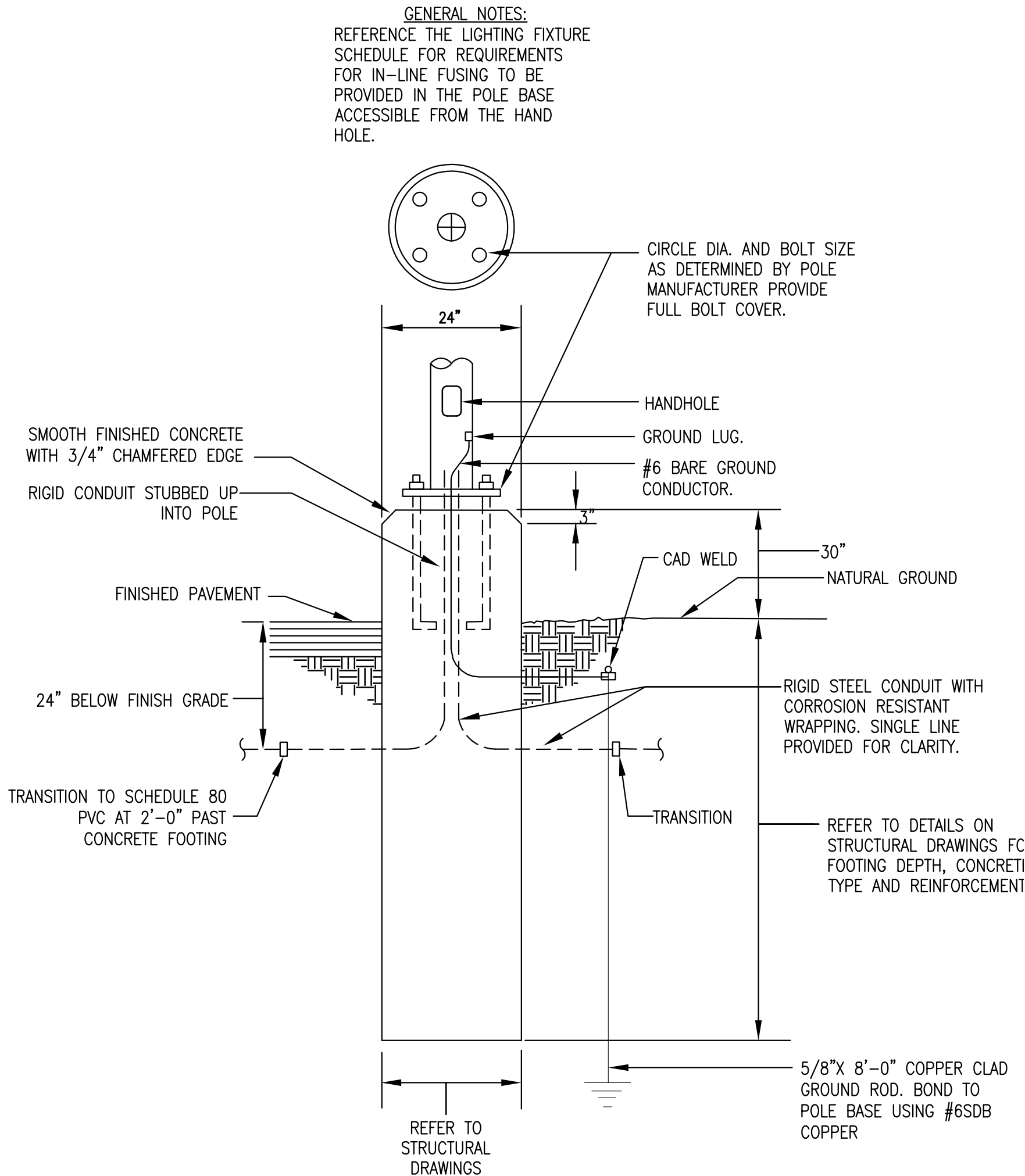


ANALYSIS OF PROJECTED ELECTRICAL LOAD										
VILLA CORONADO PARK										
6/19/2019										
SERVICE VOLTAGE: 240/120V, 1Ph., 3W										
LOAD DESCRIPTION							CONNECTED LOAD, VA	NEC LOAD		
								kVA	AMPERES	
EXISTING LOADS (FROM UTILITY DEMAND):							NOTES			
PRIOR 12 MONTH PEAK DEMAND ( MARCH, 2019) 6 kW @ 1 PF							1	7,500	7.5	31
REMOVED LOADS							NOTES			
LIGHTING - POLE MOUNTED EXTERIOR LIGHTS								400	0.4	1
								SUBTOTAL	0	1
NEW OR ADDED LOADS										
LOAD DESCRIPTION					DEMAND FACTOR	NOTES	CONNECTED LOAD, KVA	NEC LOAD		
								kVA	AMPERES	
					1.25	3		-	-	
								-	-	
EXTERIOR LIGHTING					1.25		1.0	1.2	5	
EQUIPMENT					1.00	2	-	-	-	
CONNECTED NEW LOADS SUBTOTAL							1	1	5	
NET SUBTOTAL OF EXISTING, DEMO, AND NEW LOADS								8.3	35	
LOAD GROWTH ALLOWANCE 20%								2		
TOTAL								10	42	
SERVICE ENTRANCE DESIGN (200A FUSED DISCONNECT SWITCH)								75	100	

PROJECT:  
VILLA CORONADO  
PARK

**LOCATION:**  
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Date: **06/19/2019**



## 2 LIGHT POLE FOOTING DETAIL

SCALE: NOT TO SCALE

SHEET NUMBER:  
E 2.00