

# HISTORIC AND DESIGN REVIEW COMMISSION

August 07, 2019

**HDRC CASE NO:** 2019-439  
**ADDRESS:** 417 E LOCUST  
**LEGAL DESCRIPTION:** NCB 1737 BLK 6 LOT 5  
**ZONING:** MF-33,H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Tobin Hill Historic District  
**APPLICANT:** Marshall Miles/Merkava Investments, LLC  
**OWNER:** Marshall Miles/HYM PROPERTIES LLC  
**TYPE OF WORK:** Installation of a circular driveway, site modifications, fencing, signage, Historic Tax Certification  
**APPLICATION RECEIVED:** July 18, 2019  
**60-DAY REVIEW:** September 16, 2019  
**CASE MANAGER:** Stephanie Phillips  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness to:

1. Replace four existing multi-lite wooden front doors with new doors.
2. Modify the existing driveway configuration, to include the installation of a circular driveway in the front yard, increase the width of the existing curb cut, pour a full side concrete driveway in lieu of ribbons, and add a second curb cut.
3. Install a rear concrete parking pad to total approximately 825 square feet off the rear paved alley.
4. Install a wooden privacy fence measuring over eight feet in height.
5. Install a wooden freestanding sign in the front yard totaling approximately 2.5 square feet.
6. Receive Historic Tax Certification.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 1. Topography

#### A. TOPOGRAPHIC FEATURES

- i. *Historic topography*—Avoid significantly altering the topography of a property (i.e., extensive grading). Do not alter character-defining features such as berms or sloped front lawns that help define the character of the public right-of-way. Maintain the established lawn to help prevent erosion. If turf is replaced over time, new plant materials in these areas should be low-growing and suitable for the prevention of erosion.
- ii. *New construction*—Match the historic topography of adjacent lots prevalent along the block face for new construction. Do not excavate raised lots to accommodate additional building height or an additional story for new construction.
- iii. *New elements*—Minimize changes in topography resulting from new elements, like driveways and walkways, through appropriate siting and design. New site elements should work with, rather than change, character-defining topography when possible.

### 2. Fences and Walls

#### A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

#### B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district.

New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

#### C. PRIVACY FENCES AND WALLS

i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

ii. *Location* – Do not use privacy fences in front yards.

### 5. Sidewalks, Walkways, Driveways, and Curbing

#### A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.

v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

#### B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

#### C. CURBING

i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.

ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

### 7. Off-Street Parking

#### A. LOCATION

i. *Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

ii. *Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

iii. *Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

#### B. DESIGN

i. *Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC

Section 35-510 for buffer requirements.

ii. *Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

### *Historic Design Guidelines, Chapter 6, Guidelines for Signage*

#### 1. General

##### A. GENERAL

i. *Number and size*—Each building will be allowed one major and two minor signs. Total requested signage should not exceed 50 square feet.

ii. *New signs*—Select the type of sign to be used based on evidence of historic signs or sign attachment parts along the building storefront where possible. Design signs to respect and respond to the character and/or period of the area in which they are being placed. Signs should identify the tenant without creating visual clutter or distracting from building features and historic districts.

iii. *Scale*—Design signage to be in proportion to the facade, respecting the building's size, scale and mass, height, and rhythms and sizes of window and door openings. Scale signage (in terms of its height and width) to be subordinate to the overall building composition.

##### B. HISTORIC SIGNS

i. *Preservation*—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's period of significance, whenever possible.

ii. *Maintenance*—Repair historic signs and replace historic parts in-kind when deteriorated beyond repair.

##### C. PLACEMENT AND INSTALLATION

i. *Location*—Place signs where historically located and reuse sign attachment parts where they exist. Do not erect signs above the cornice line or uppermost portion of a facade wall, or where they will disfigure or conceal architectural details, window openings, doors, or other significant details.

ii. *Obstruction of historic features*—Avoid obscuring historic building features such as cornices, gables, porches, balconies, or other decorative elements with new signs.

iii. *Damage*—Avoid irreversible damage caused by installing a sign. For example, mount a sign to the mortar rather than the historic masonry.

iv. *Pedestrian orientation*—Orient signs toward the sidewalk to maintain the pedestrian oriented nature of the historic districts.

##### D. DESIGN

i. *Inappropriate materials*—Do not use plastic, fiberglass, highly reflective materials that will be difficult to read, or other synthetic materials not historically used in the district.

ii. *Appropriate materials*—Construct signs of durable materials used for signs during the period of the building's construction, such as wood, wrought iron, steel, aluminum, and metal grill work.

iii. *Color*—Limit the number of colors used on a sign to three. Select a dark background with light lettering to make signs more legible.

iv. *Typefaces*—Select letter styles and sizes that complement the overall character of the building façade. Avoid hard-to-read or overly intricate styles.

##### E. LIGHTING

i. *Lighting sources*—Use only indirect or bare-bulb sources that do not produce glare to illuminate signs. All illumination shall be steady and stationary. Internal illumination should not be used.

ii. *Neon lighting*—Incorporate neon lighting as an integral architectural element or artwork appropriate to the site, if used.

##### F. PROHIBITED SIGNS

i. An abbreviated list of the types of signs prohibited within San Antonio's historic districts and on historic landmarks is provided below. Refer to UDC Section 35-612(j) and Chapter 28 of the Municipal Code for more detailed information on prohibited signs.

Billboards, junior billboards, portable signs, and advertising benches.

Pole signs.

Revolving signs or signs with a kinetic component.

Roof mounted signs, except in the case of a contributing sign.

Digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign.

Moored balloons or other floating signs that are tethered to the ground or to a structure.

Any sign which does not identify a business or service within the historic district or historic landmark.

Any non-contributing sign which is abandoned or damaged beyond 50 percent of its replacement value, including parts of

old or unused signs.

Notwithstanding the above, signs designated as a contributing sign or structure by the historic preservation officer shall not be prohibited unless or until such designation is revoked.

#### 4. Freestanding Signs

##### A. GENERAL

- i. *Appropriate usage*—Freestanding signs are most appropriate in locations where building forms are set back from the street, such as in areas where historic residences have been adapted for office or retail uses, or in commercial districts where they may be used to identify parking areas or other accessory uses.
- ii. *Placement*—Place freestanding signs near the public right-of-way where they are clearly visible to passing pedestrians and motorists, a minimum of five feet from the street right-of-way and ten feet from all interior side lot lines. No freestanding sign should be placed in a manner that obstructs the pedestrian walkway.
- iii. *Number*—Limit the number of freestanding signs per platted lot to one, unless the lot fronts more than one street, in which case, one sign is allowed on each street on which the lot has frontage.
- iv. *Monument signs*—Do not use —suburban-style monument signs or electronic messaging signs not historically found in San Antonio’s historic districts.

##### B. DESIGN

- i. *Height*—Limit the height of freestanding signs to no more than six feet.
- ii. *Area*—The size of new signs should be appropriate within the historic context, and should not exceed 25 square feet on either side, for a total of 50 square feet. Appropriate size shall be determined by considering historic precedent, sign patterns within historic districts, and conditions specific to individual properties.
- iii. *Structural supports*—Use subtle structural elements (in terms of their scale and mass) with historically compatible materials to support a freestanding sign.

#### *UDC Section 35-618. Tax Exemption Qualification.*

##### (d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

#### **FINDINGS:**

- a. The primary structure located at 417 E Locust is a 2-story single family structure constructed circa 1925 in the Craftsman style. The home features a primary hipped roof with a front gable, a full-width, double-height porch, battered first floor columns, decorative second story railing, and one over one wood windows. The structure is contributing to the Tobin Hill Historic District.
- b. DOOR REPLACEMENT – The applicant has proposed to replace four existing multi-lite wooden front doors with new Craftsman-style wood doors. The existing doors feature a fixed six over six lite configuration that mimics the configuration of historic wood windows. The lites cover approximately three-quarters of the door with wood on the remaining quarter. The proposed doors are predominantly wood and feature divided lites on the upper third of the door with a decorative shelf. According to the Historic Design Guidelines, existing doors and windows should be preserved. If an existing door is deteriorated beyond repair, new doors should match the existing in style, material, and configuration. Based on the information provided, the existing doors are in repairable condition. Staff finds that the applicant should repair the existing doors in place.
- c. DRIVEWAY MODIFICATIONS – The applicant has proposed to install a new circular driveway in the front yard of the property. The driveway will measure 10’-0” in width and will require the modification of the existing curb cut and the addition of a new curb cut. The existing side ribbon driveway that provides access to the rear of the property will be retained, but the applicant is requesting that the ribbons be removed and the driveway be re-poured in full concrete. According to the Historic Design Guidelines for Site Elements, new driveways should feature a similar driveway configuration—materials, width, and design—to those historically found on the site and in the district. Historic driveways and their configurations should be preserved. Additionally, existing curb cuts should be maintained, while new curb cuts should follow historic patterns and dimensions. Staff does not find the proposal consistent with the Guidelines due to its modification of an existing ribbon driveway and deviation from historic driveway configurations and widths. Circular driveways and multiple front curb cuts are not

historically found in the Tobin Hill Historic District and are not an appropriate front yard treatment. Staff finds that the existing ribbon driveway width and configuration, as well as the associated curb cut, should be repaired and retained.

- d. REAR HARDSCAPING – The applicant has proposed to install a paved parking area adjacent to the existing unnamed but fully paved alley at the rear of the property. Based on the submitted site sketch, the parking area will extend 15'-0" into the property and will match the entire width of the property, approximately 55'-0". The total concrete coverage is 825 square feet. According to the Historic Design Guidelines, off-street parking areas should be designed to be accessed from alleys or secondary streets rather than from principal streets whenever possible. There is a precedent along this specific alley for rear concrete parking pads to extend the width of the property to service large multifamily structures. Based on the site-specific considerations of this property, staff finds the proposal acceptable.
- e. FENCING – The applicant has proposed a privacy fence on the east side of the historic structure. The fence will be wood with a pedestrian gate in the middle. While the total height is not indicated in the submitted documents, the fence appears to eclipse 8 feet. According to the Historic Design Guidelines, new fencing should be consistent with fencing in the district in material, scale, and design. Additionally, per UDC Section 35-514, privacy fences should be limited to 6 feet in height. Staff does not find the proposed height consistent with the Guidelines. Staff finds that the applicant should propose a privacy fence that is 6 feet in height or less, which is eligible for administrative approval.
- f. SIGNAGE – The applicant has proposed to install one freestanding sign containing the words "Tobin Hill Estate, 417 E. Locust St. A Merkava Investments Property" near the front entrance of the building, adjacent to the sidewalk. The sign will measure 24" by 15" based on the documentation submitted by the applicant and will be affixed to a wood post. The sign will measure 5'-7" from the ground to its tallest point, will be made of wood, and will be painted white with black lettering. According to the Historic Design Guidelines for Signage, freestanding signs are most appropriate where historic residences have been adapted for office or retail uses. Signs should not be installed where they were not historically used. Signage was not historically featured on this site or neighboring properties. Staff does not find the use of signage for a residential structure within an in-tact residential block appropriate or for this particular context of the Tobin Hill Historic District.
- g. HISTORIC TAX CERTIFICATION: SCOPE – The scope of work includes a comprehensive interior remodel, painting, and window repair and restoration, in addition to the requested scope as part of this HDRC application.
- h. Staff conducted a site visit on July 30, 2019, to examine the exterior conditions of the property. Staff finds that the property is in need of reinvestment and commends the applicant for undertaking the project.
- i. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

## RECOMMENDATION:

Item 1, Staff does not recommend approval of the door replacement based on finding b. Staff recommends that the doors be repaired in place. Installation of wooden screen doors that are consistent with the design of the home is eligible for administrative approval.

If the HDRC finds that one or more of the doors is deteriorated beyond repair based on the evidence provided, staff recommends that all new doors be fully wood and match the existing in lite configuration and detailing.

Item 2, Staff does not recommend approval of the driveway modifications based on finding c.

Item 3, Staff recommends approval of the rear hardscaping modifications based on finding d.

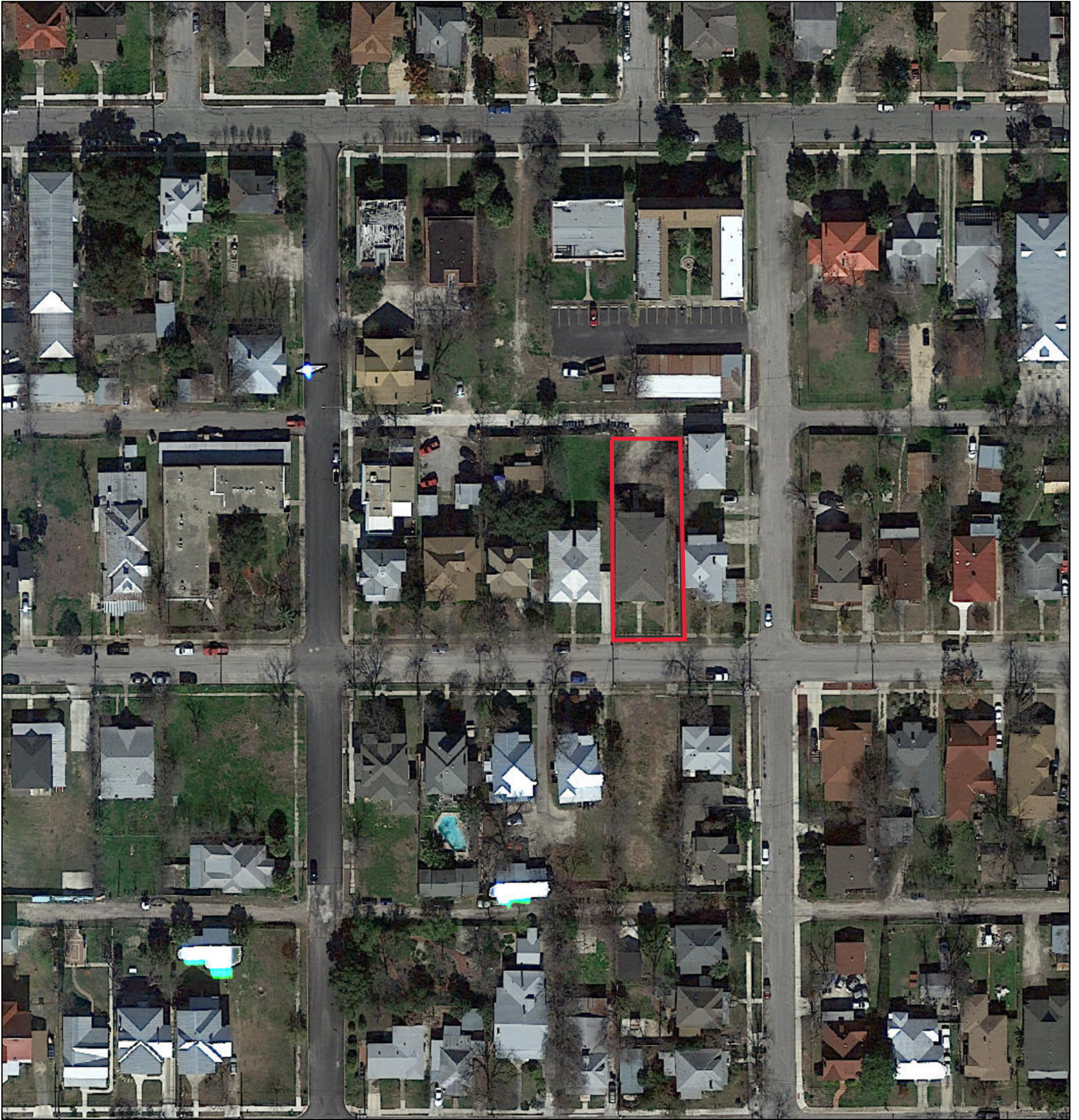
Item 4, Staff does not recommend approval of the privacy fencing as proposed based on finding e. Staff finds that the applicant should propose rear wooden fencing with a maximum height of six feet to comply with UDC Section 35-514, which is eligible for administrative approval.

Item 5, Staff does not recommend approval of the proposed signage as noted in finding f.

Item 6, Staff recommends approval of Historic Tax Certification based on findings g through i with the stipulation that the applicant complies with all administrative and HDRC approvals, including the final determination for items 1 through 5 above.



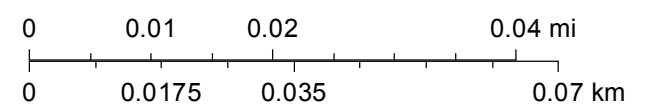
# City of San Antonio One Stop



August 1, 2019

— User drawn lines

1:1,000





G. Street View, Exterior, & Interior Photos of 417 E. Locust St., Tobin Hill, San Antonio, TX 75206



Street View



Exterior



Exterior





Exterior - backyard



Exterior





Exterior – Backyard.



Exhibit A  
Pg. 1



Current View of 417 E. Locust St. San Antonio, Tx 78212 (5/22/19)



Exhibit  
D. pg. 1



Current Landscaping at 417 E. Locust St SA, TX 78212



16 July 2019

MEMORANDUM FOR: SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

TOPIC: REHABILITATION OF 417 E. LOCUST ST. IN THE HISTORIC TOBIN HILL DISTRICT OF SAN ANTONIO TEXAS

Purpose: The purpose of this memorandum is to outline proposed changes to the property located at 417 E. Locust Street, San Antonio, Texas 78212

(Legal Description NCB 1737, Block 6, Lot 5, Property ID 119978)

Overview:

- i. The rehabilitation of 417 E. Locust St. is a project being undertaken by the new owners of the property, Merkava Investments, LLC, who acquired the property on 28 June 2019.
- ii. The purpose of the rehabilitation is to provide an enjoyable, clean, living space for residents of San Antonio, beautify the Tobin Hill neighborhood, and preserve a building designed in the classic Craftsman Style of American architecture.
- iii. **NONE of the exterior structure of building will be changed.** This property is a four-unit property and will be maintained as such. The exterior of the structure consists of pattern 117 wood siding and an existing asphalt shingle roof. The extent of the changes will be primarily to the interior and landscaping. Details of the changes and examples will be provided in the following paragraphs and their respective tabs, annotated below.
- iv. **The projected completion time for Units 3 and 4 of this project is November 1, 2019.**

A. NEW PAINT (Ref. Tab A, Exhibit 1,2, and 3)

1. New paint of the exterior of the building will consist of three primary colors:

- a. Main Structure: Valspar Paint Code 3003-4C, Coconut Scent
- b. Trim 1: Valspar Paint Code 7003-16, Polar White. This will be the main trim for the columns, posts, and around windows.
- c. Trim 2: Valspar Paint Code 5002-6B, Lost Atlantis. This trim will be around the window flashings and front doors.



#### B. INTERIOR, FLOORPLAN (Ref. Tab B1, B2, and B3)

1. A new floorplan is being submitted. This floorplan will contain modern amenities, fixtures, and appliances. They will include a new half-bathroom, additional sink in the current main bathroom, modern shower, kitchen appliances, and expanded living space with the removal of walls dividing the kitchen, dining room and living room.
2. This new floorplan will in **no way change the external structure** of the building.
3. **Original windows will be maintained and refurbished.** However, the current burglar bars, consisting of crude, welded rebar, will be removed. All window A/C units will eventually be removed as new, central A/C is installed.

#### C. NEW DOORS. (Ref. Tab C)

Four new front doors will replace the current dilapidated doors. The new front doors will be in the original Craftsman Style period-correct doors. These new doors will increase the safety of the residents and appearance of the building as a whole.

#### D. LANDSCAPING. (Ref. Tab D, Exhibits 1-5)

The landscaping of this property will be the greatest external enhancement of the property, but will in no way affect the external structure of the building. Changes to the landscaping will consist of the following.

1. Paved parking area in backyard adjacent to the existing alleyway.
2. Paved sidewalk on the east side of the building.
3. A new wood-fence with a gated walkway, opening onto the sidewalk described above.
4. A paved semi-circular driveway, ten-feet wide. This driveway will relieve congestion on the main street and be more attractive in nature than the current, dilapidated landscaping.
5. One palm tree will be planted on both the southwest and southeast corners of the building to replace the current large bush which habitually becomes overgrown and masks the beauty of the building. Hedges at the entrance of the front porch will be maintained.
6. One Sago Palm will be placed at either side of the main entrance walk-way, behind the new sidewalk and in front of the new front driveway. These Sago Palms will provide a welcoming appearance to the entrance of the building.
7. The current chain-link fence behind the sidewalk will be removed. The current sidewalks will be repaired and leveled. The current bushes between the street and the sidewalk will be removed so that the beauty of the building can be easily observed from the street.

- 8 . A decorative garden will be planted around the oak tree located on the east side of the building. The tree located on the northwest corner of the building will be removed, as it is overgrown and interfering with the water lines.
9. Flower beds, consisting primarily purple and red salvia flowers, will be planted in front of the current hedges and along the front of the new palm trees. This will greatly beautify the landscape.

E. SIGNAGE. (Ref. Tab E)

One sign, containing the words “Tobin Hill Estate, 417 E. Locust St. A Merkava Investments Property” will be near the front entrance of the building, adjacent to the sidewalk. The sign will be 24”x15” in dimensions.

F. COSTS (Ref. Tab F)

A breakdown of estimated costs is outlined in Tab F of this document. These costs are only current estimates and itemized.

G. PHOTOS (Ref. Tab G)

Current color photos, consisting of the street view, external view, and interior view at provided in Tab G. of this document.

H. HISTORIC REHABILITATION APPLICATION (Ref. Tab H)

Tab H contains Merkava’s Part 1 of the Historic Rehabilitation Application for substantial rehabilitation tax incentive.

I. DEED & TITLE (Ref. Tab I1 and I2)

Since this property was recently purchased and the Bexar CAD may not have been updated, the current deed of ownership and title has been included in Tab I.

J. CONTACT:

**For additional information on this project, please contact the following:**

**Marshall & Christa Miles, Merkava Investments, LLC, (210) 473-1681,  
marshall.miles@merkavallc.com.**

ENCLOSURES:

TAB A – PAINT

TAB B – FLOORPLAN

TAB C – NEW DOORS

TAB D – LANDSCAPING

TAB E – SIGNAGE

TAB F – COST BREAKDOWN

TAB G – COLOR PHOTOS





Search products...



MENU

1-877-929-3667



## 36"x80" 8-Lite Craftsman Style Mahogany Wood Entry Door

Brand: MAI Doors



# 417 E. LOCUST ST. UNIT 3 REMODEL

Square Foot Chart	
EXIST. LIVING AREA:	1194 sq. ft.
EXIST. BALCONY AREA:	141 sq. ft.
TOTAL AREA:	1335 sq. ft.

## CODE ANALYSIS

BUILDING CODES:  
2018 INTERNATIONAL RESIDENTIAL CODE AND LOCAL AMENDMENTS  
  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL PLUMBING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2017 NATIONAL ELECTRICAL CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE

## GENERAL REQUIREMENTS

- contractor shall verify all existing dimensions and conditions at the job site. any discrepancies and/or inconsistencies shall be brought to the attention of the design company BRC Design Studio LLC prior to the execution of the work.
- any and all deviations and/or changes from the plans shall be approved by the design company BRC Design Studio LLC prior to execution.
- contractor shall verify locations of, and protect all existing utilities during all operations.
- contractor shall comply with all laws, codes and ordinances applicable to this project. contractor shall obtain and pay for all permits required in connection with the execution and completion of the project. contractor shall pay all taxes and fees required. contractor is responsible and liable for securing any and all inspections required.
- provide any necessary preparation, blocking, substrata, etc. required to properly install and finish the work.
- contractor shall provide temporary security fencing and any other necessary barriers around the entire area of operations. coordinate extent and location of fencing with owner
- all work shall comply with all applicable local building codes and regulations.
- Do not scale drawings. all dimensions indicated shall govern any larger scale details of lesser scale drawings.
- site access and hours/days of construction shall be coordinated with the owner.
- contractor shall be responsible for restoring to its original, or better condition any damage done to existing buildings, utilities, fences, pavement, curbs or drives.
- contractor shall be responsible for coordinating with all necessary utility companies for providing temporary utility services during construction.
- contractor shall be responsible for acquiring all permits, tests, approvals and acceptances required to complete construction of this project.
- geotechnical engineering report that is the basis for the structural concrete foundation design is available for review by any interested parties. Contact the structural engineer for this project to obtain a copy of the report.

## INDEX OF DRAWINGS

- A1 SITE PLAN  
A2 EXISTING/ DEMOLITION FLOOR PLAN  
NEW WORK FLOOR PLAN

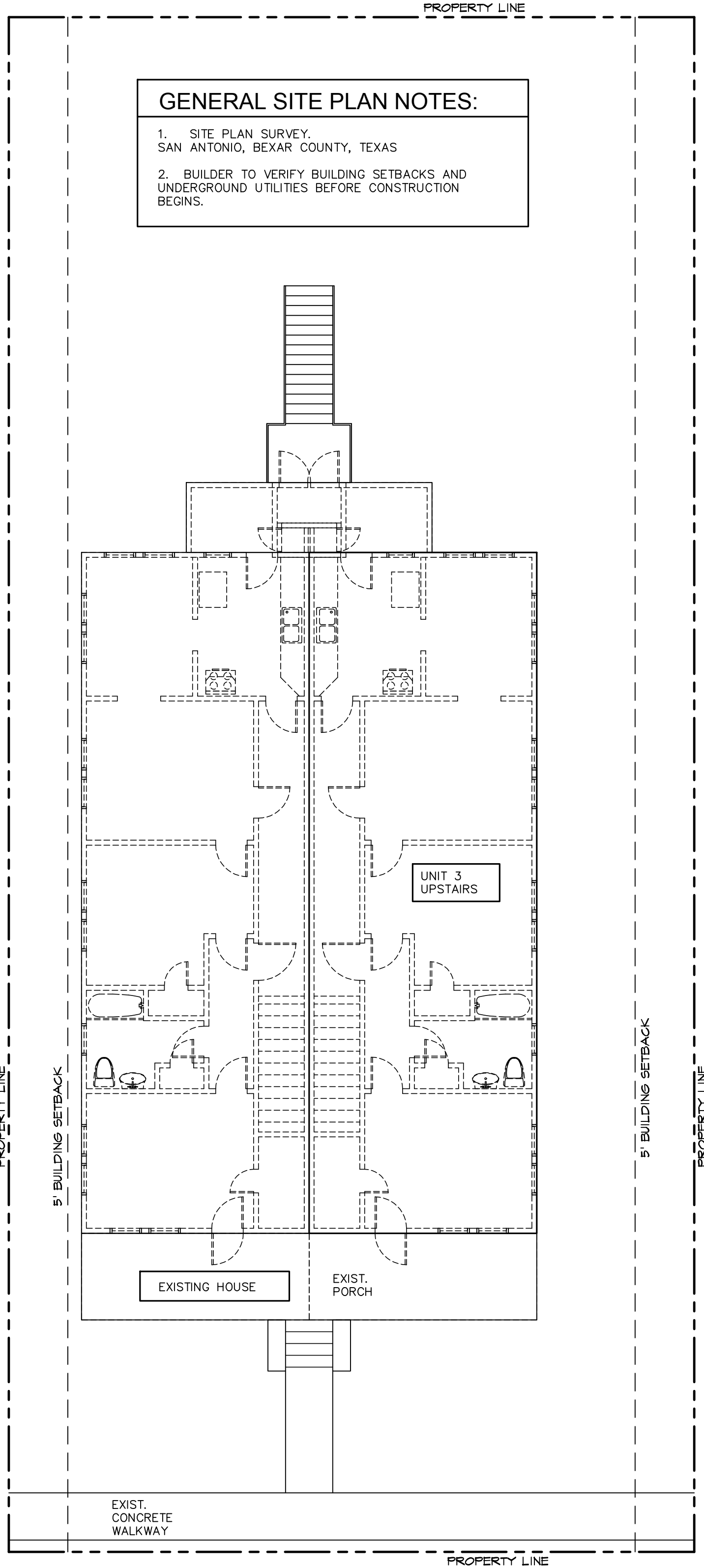
## SCOPE OF WORK

PROJECT WORK INCLUDES INTERIOR HOME REMODEL.

EXISTING BUILDING HAS 4 SEPARATE UNITS 2 DOWNSTAIRS AND 2 UPSTAIRS.

EXISTING HOME IS WOOD STUD CONSTRUCTION W/ SIDING AND ASPHALT ROOF.

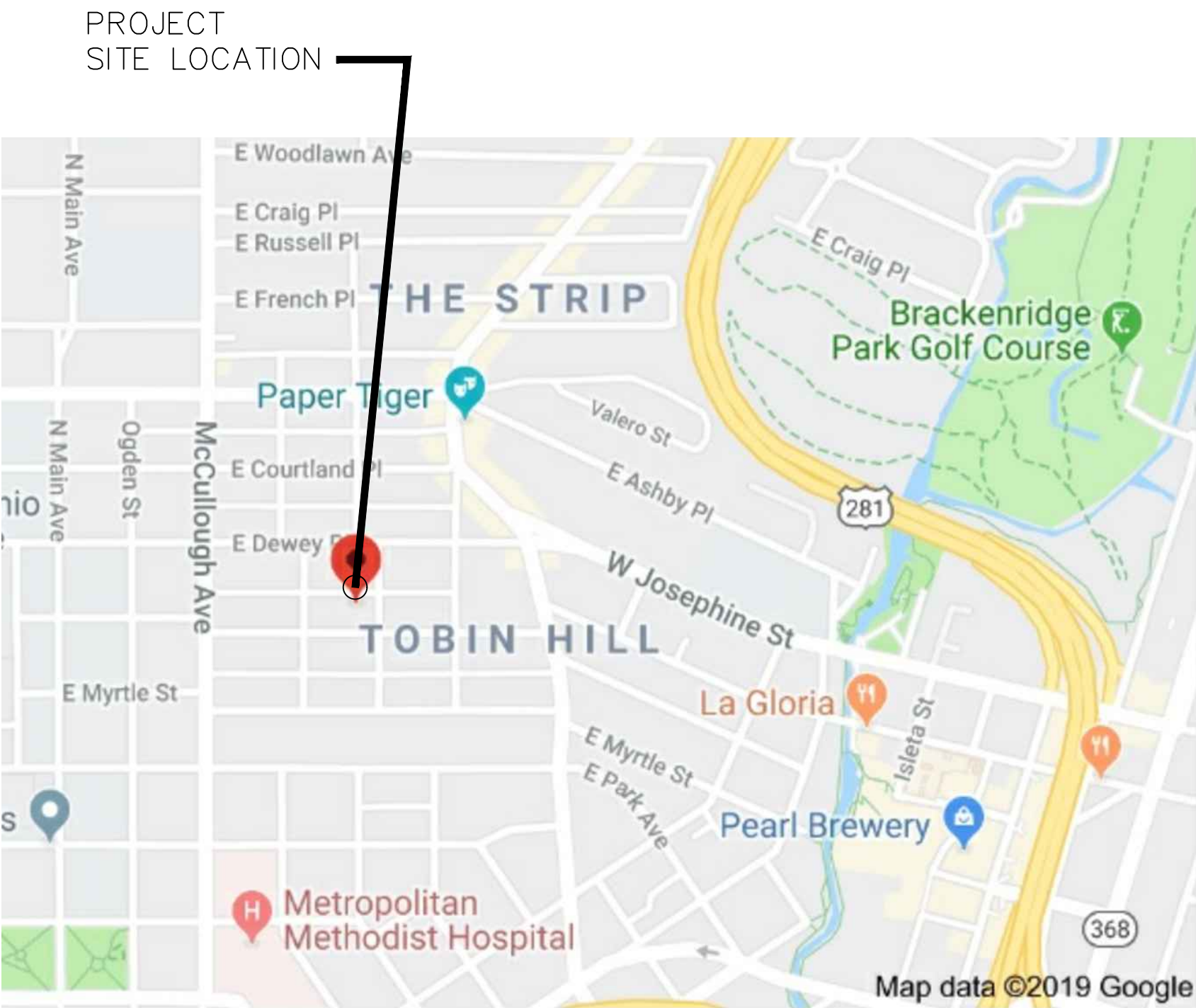
THE NEW INTERIOR REMODEL TO BE 2X WOOD STUD CONSTRUCTION. NO EXTERIOR WORK.



417 E. LOCUST STREET

## EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



## SITE LOCATION MAP

SCALE: NOT TO SCALE

417 E. Locust St. Unit 3

REVISIONS

A RESIDENCE FOR:  
417 E. LOCUST STREET UNIT 3 REMODEL  
417 E. LOCUST ST. UNIT 3  
SAN ANTONIO, TEXAS 78212

CUSTOM HOME DESIGN  
HOUSE PLANS  
DESIGN - HOME REMODELS/  
HOME ADDITIONS

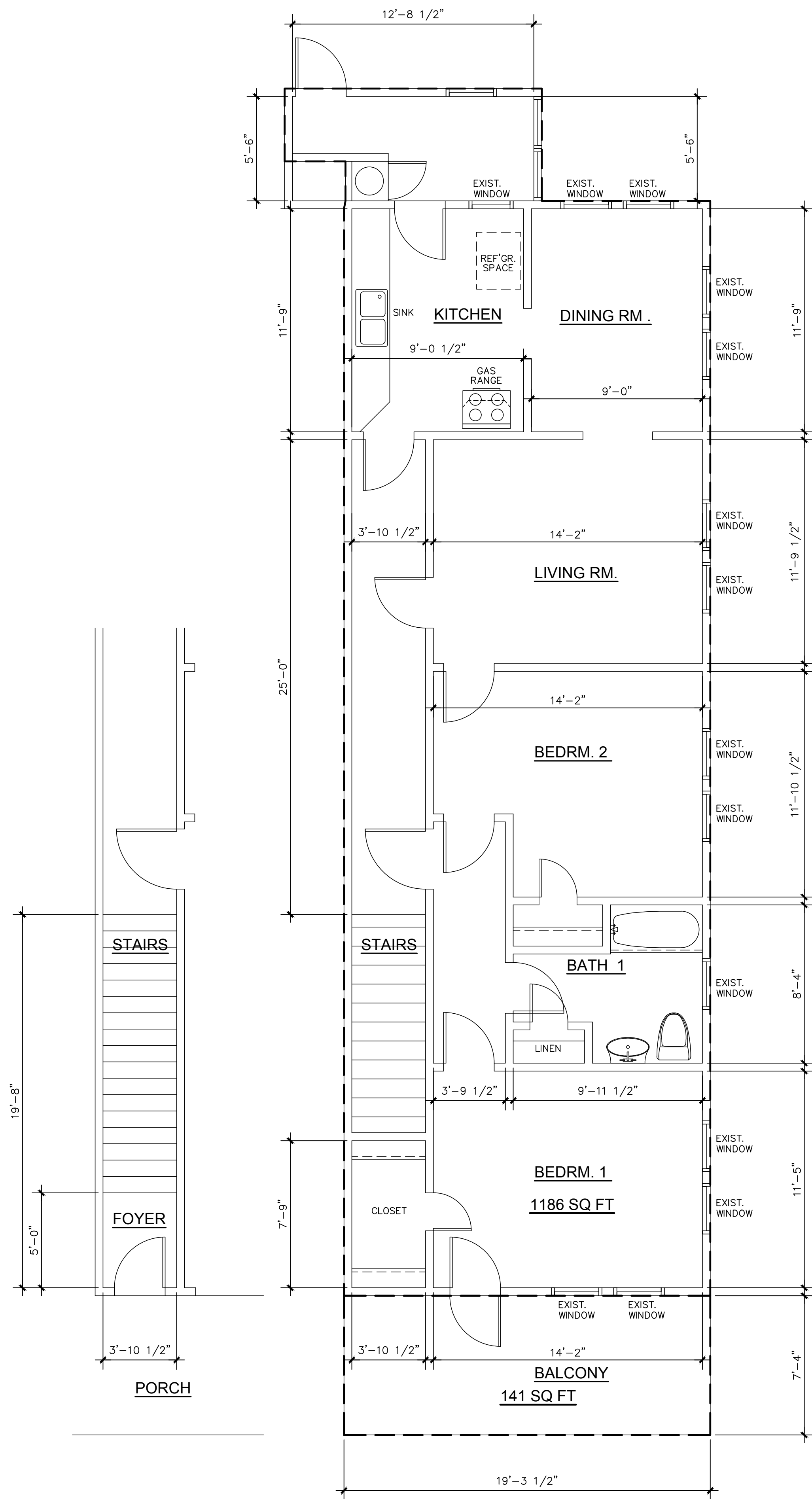
BRC DESIGN STUDIO LLC  
14080 NACOGDOCHES ROAD SUITE 539 SAN ANTONIO TEXAS 78247  
PH: 1 - 210 - 577 - 1304  
EMAIL: brcdesign.info@gmail.com

PROJECT:  
2019.078

DATE  
7 - 16 - 19

SHEET NO.  
1  
OF  
2 SHEETS

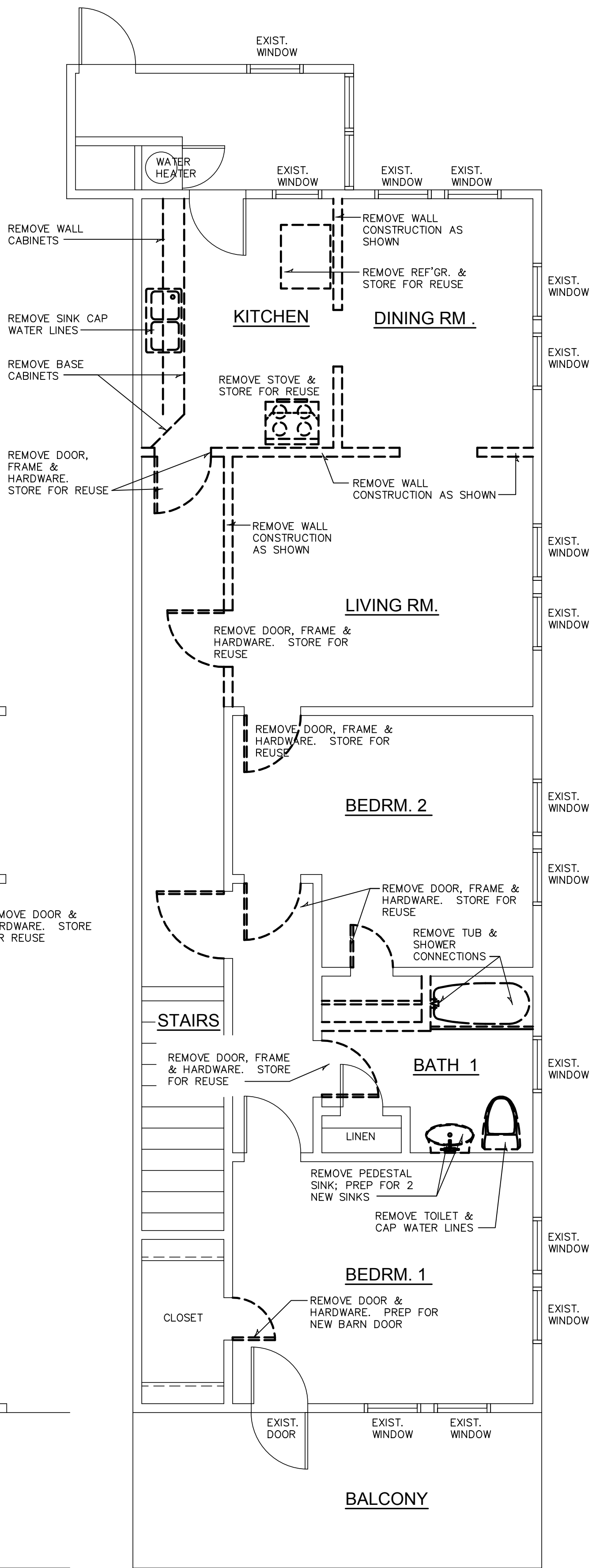




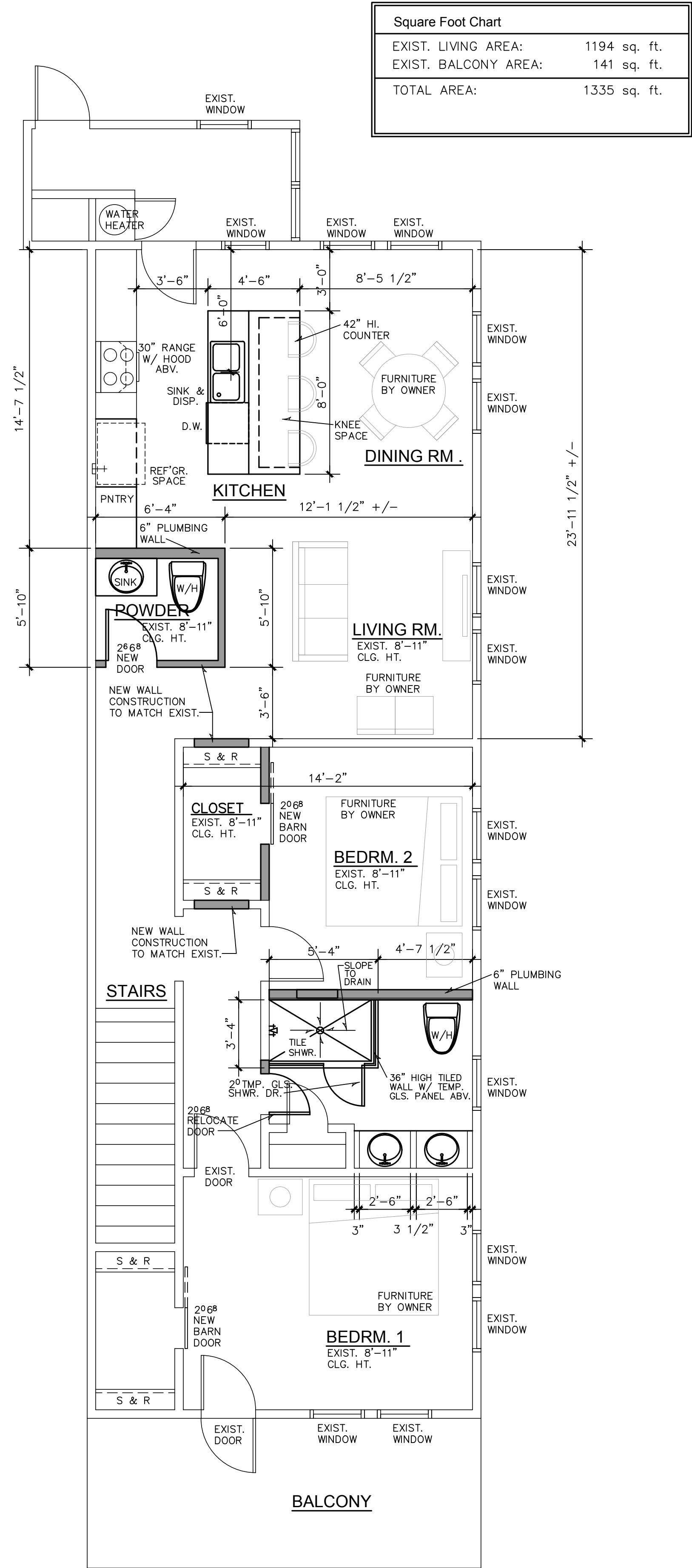
EXISTING  
LOWER LEVEL  
FLOOR PLAN  
SCALE: 1/4" = 1'-0"

EXISTING SECOND  
FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DEMOLITION  
LOWER LEVEL  
FLOOR PLAN  
SCALE: 1/4" = 1'-0"



DEMOLITION  
SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



NEW WORK FLOOR PLAN  
SCALE: 1/4" = 1'-0"

Square Foot Chart	
EXIST. LIVING AREA:	1194 sq. ft.
EXIST. BALCONY AREA:	141 sq. ft.
TOTAL AREA:	1335 sq. ft.

REVISIONS

A RESIDENCE FOR:

417 E. LOCUST STREET UNIT 3 REMODEL

417 E. LOCUST ST. UNIT 3  
SAN ANTONIO, TEXAS 78212

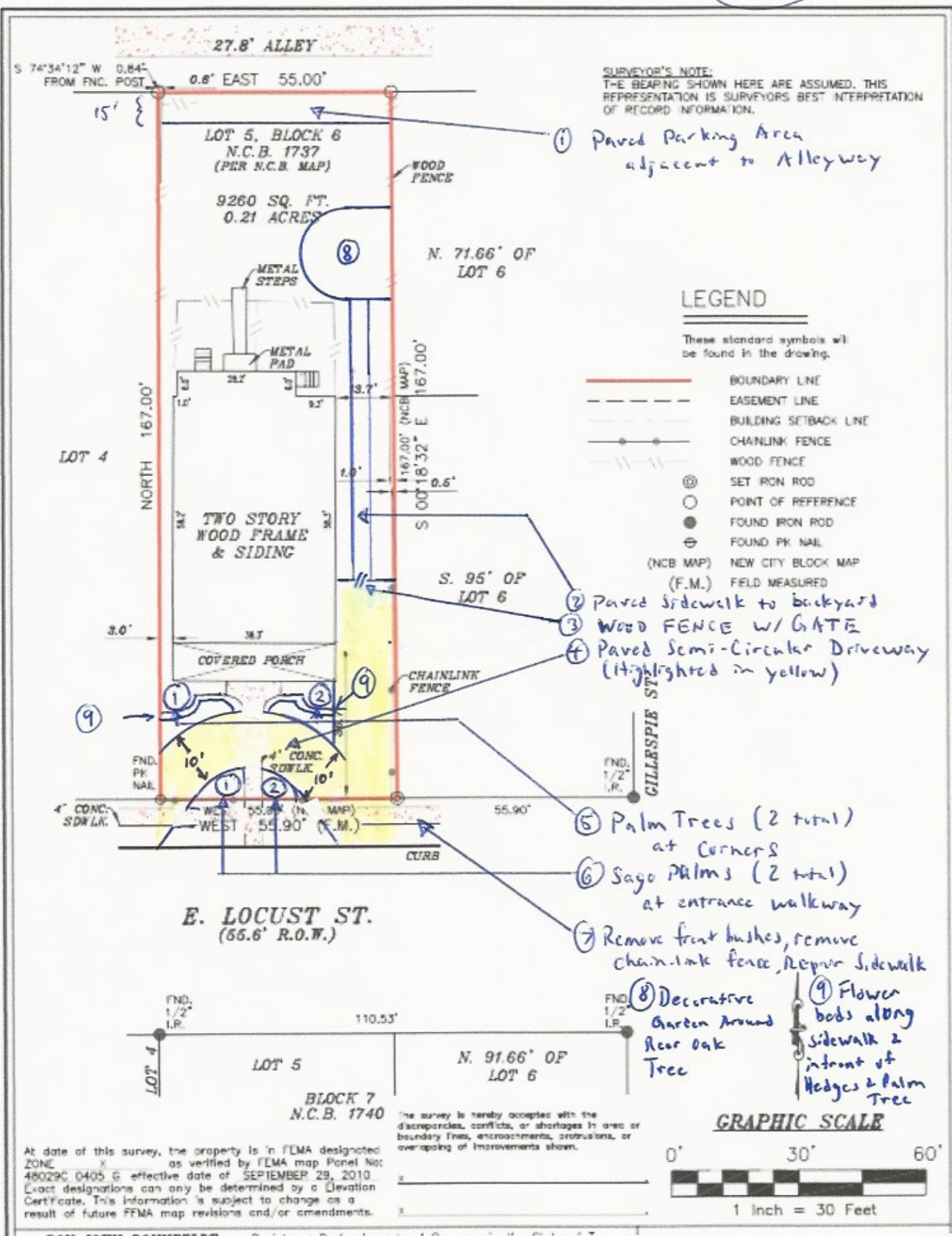
CUSTOM HOME DESIGN  
HOUSE PLANS  
DESIGN - HOME REMODELS/  
HOME ADDITIONS

BRC DESIGN STUDIO LLC  
14080 NACOGDOCHES ROAD SUITE 539 SAN ANTONIO TEXAS 78247  
PH: 1-210-577-1304  
EMAIL: brcdesigninfo@gmail.com

PROJECT:  
2019.078

DATE  
7 - 16 - 19

SHEET NO.  
2  
OF  
2 SHEETS





• Remove front bushes

⑤ Add 2 Palm Trees at corners

Exhibit D 19.3

⑦

- Remove chain link fence
- Repair sidewalk



⑥ 2 Sago Palms at entrance to walkway

④ New Driveways (concrete)

③ New Wood Fence w/ Gate (Pushed back behind gas meters)

Proposed Landscaping at 417 E. Lucas St., SA, TX 78212



Exhibit D  
pg. 4

MM

From: Marshall Miles mars\_cmi@yahoo.com  
Subject: Driveway  
Date: July 12, 2019 at 10:50 AM  
To: Marshall Miles mars\_cmi@yahoo.com





NW Corner looking South 417 E. Locust St.

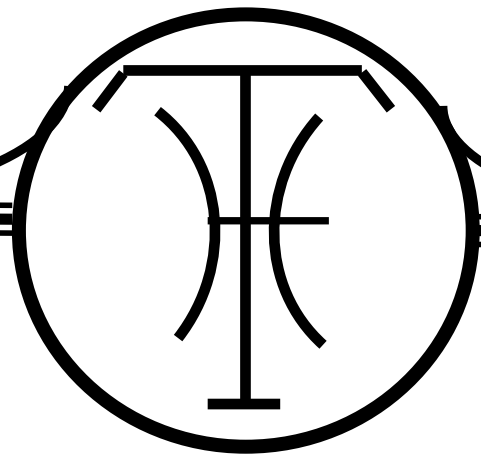
Exhibit D  
p. 5

• This refuse  
will be removed

• This fence  
will be moved  
West to  
enlarge the  
back yard  
for Unit 1

• Remove Tree.

This tree on  
the NW corner  
of the building  
is interfering  
with the water  
line & will be  
removed.



# TOBIN HILL ESTATE

417 E. LOCUST ST.

*A Merkava Investments Property*

