

HISTORIC AND DESIGN REVIEW COMMISSION

September 04, 2019

HDRC CASE NO: 2019-479
ADDRESS: 831 BURLESON ST
LEGAL DESCRIPTION: NCB 1301 BLK 2 LOT 21 & 22
ZONING: RM-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Dianet Lopez Daniel/Delafield Investments, LLC
OWNER: Delafield Investments, LLC
TYPE OF WORK: Porch modifications, side fenestration modifications
APPLICATION RECEIVED: August 16, 2019
60-DAY REVIEW: October 15, 2019
CASE MANAGER: Huy Pham

REQUEST:

The applicant has requested a Certificate of Appropriateness for approval to:

1. FRONT: Extend the existing front porch to the corner of the side addition featuring a rounded corner.
2. WEST SIDE: Remove two (2) windows and a door to install new door.
3. FENCE: Install a front yard wood picket fence.

APPLICABLE CITATIONS:

2. Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters

that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.

iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.

ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.

iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.

iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.

v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

5. Guidelines for Site Elements

2. Fences and Walls

B. NEW FENCES AND WALLS

i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link *fencing*.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

FINDINGS:

- a. The primary historic structure at 831 Burleson was constructed circa 1910 in the Folk Victorian and first appears on the 1911-1924 Sanborn map. The one-story single-family structure originally featured a modified L-plan, front bay window, and a wraparound porch. By 1924, the structure featured a side addition that modified the wraparound porch to feature a full-width front facing porch. By 2007, the single family structure was modified into a quad-plex featuring two front entries each with a Craftsman style door and a sidelight and two side entries with nonconforming windows and doors. At the June 24, 2019, Historic and Design Review Commission hearing, the property received approval to remove the secondary front door with the stipulation that ganged wood windows are installed.
- a. DESIGN REVIEW COMMITTEE – The applicant met with the Design Review Committee and staff on a site visit at 831 Burleson on August 14, 2019. Staff explained that the structure originally featured a rounded wraparound porch per the 1924 Sanborn map and advised that a partial reconstruction to meet the nonoriginal side addition would be supported over the square porch addition first submitted; DRC members conferred with staff. Regarding the three windows in the side rear bay, DRC members found that the two ganged windows were likely nonoriginal openings to the existing isolated window and that they may be removed to relocate the side door; the third isolated wood window should be restored in place.
- b. FRONT PORCH – The applicant has proposed to extend the existing modified front porch to meet the corner of the side addition to feature a rounded footprint referencing the original rounded wraparound porch. Per the

Guidelines for Exterior Modifications and Alterations 7.B.v. porches, balconies, and porte-cocheres should be reconstructed based on accurate evidence of the original, such as photographs; if no such evidence exists, the design should be based on the architectural style of the building and historic patterns. Staff finds that the proposed front porch modifications per the submitted drawings are generally consistent with the Guidelines.

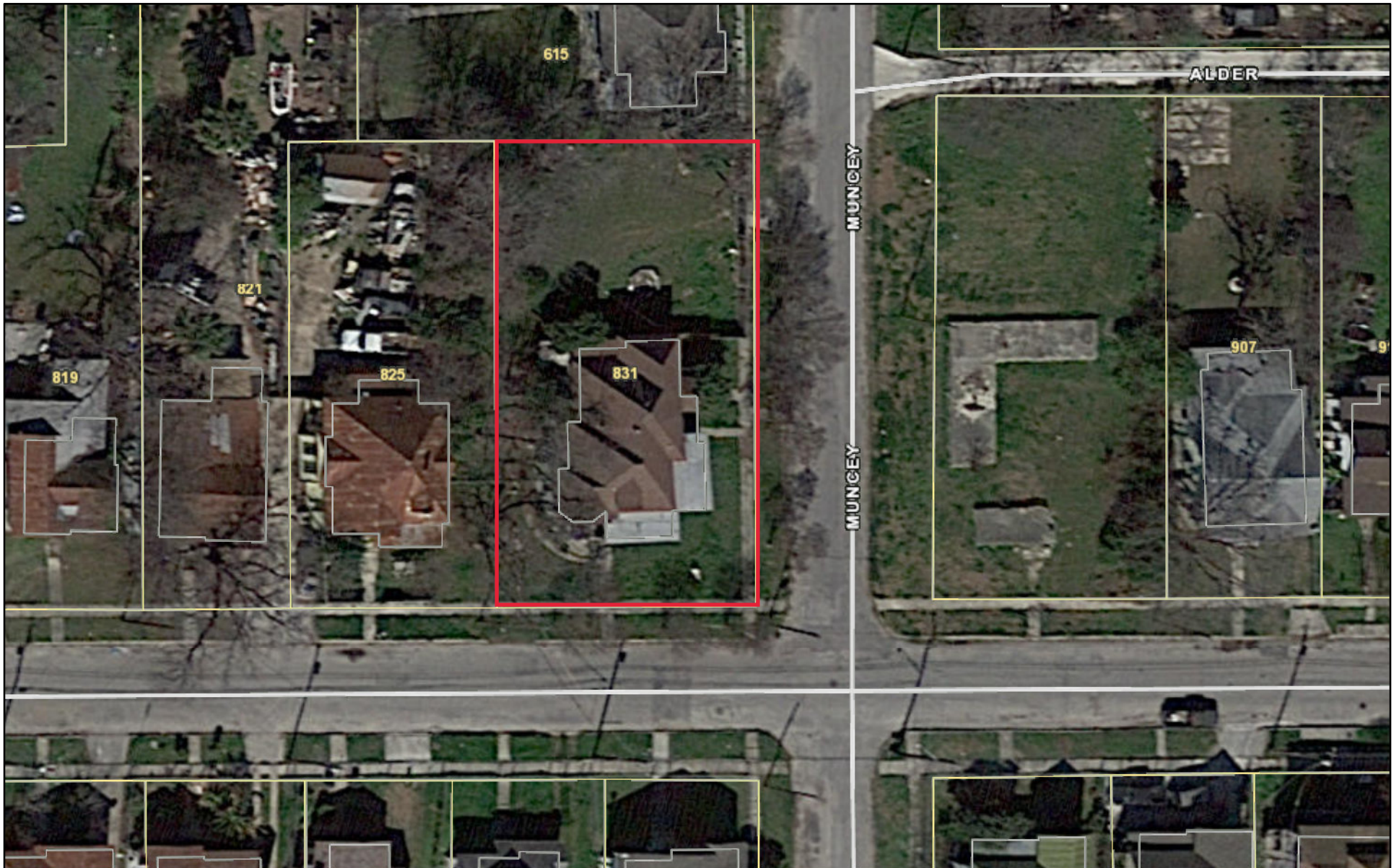
- c. WEST SIDE FENESTRATION – On the rear of the west side, the applicant has proposed to remove to ganged wood windows and doorway to install a new side door. From front to rear, the existing side fenestration features the two ganged wood windows, an isolated wood window, and then a wood door with steps. Staff is in concurrence with the Design Review Committee members and finds that the two ganged windows were likely not original to the house and their modifications may be appropriate provided a comparable fenestration pattern is installed. The isolated wood window is likely original and should be restored in-place. The new side door should feature a matching frame and a simple 6-panel configuration or a style that relates to the historic structure.
- d. FENCE – The applicant has proposed to install a front yard fence featuring wood pickets measuring 3 feet in height. Staff finds that wood picket fences are found historically in the Dignowity Hill Historic District and are appropriate for Folk Victorian style structures. Staff finds that proposed fence is generally consistent with the Guidelines for Site Elements 5.2.B., although a site plan with the proposed fence line should be submitted to staff prior to final approval.

RECOMMENDATION:

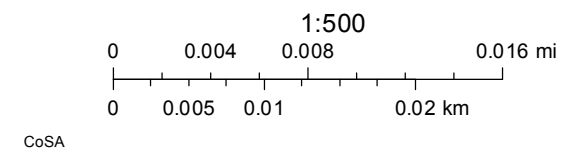
Staff recommends approval of items 1 through 3 based on findings b through e with the following stipulations:

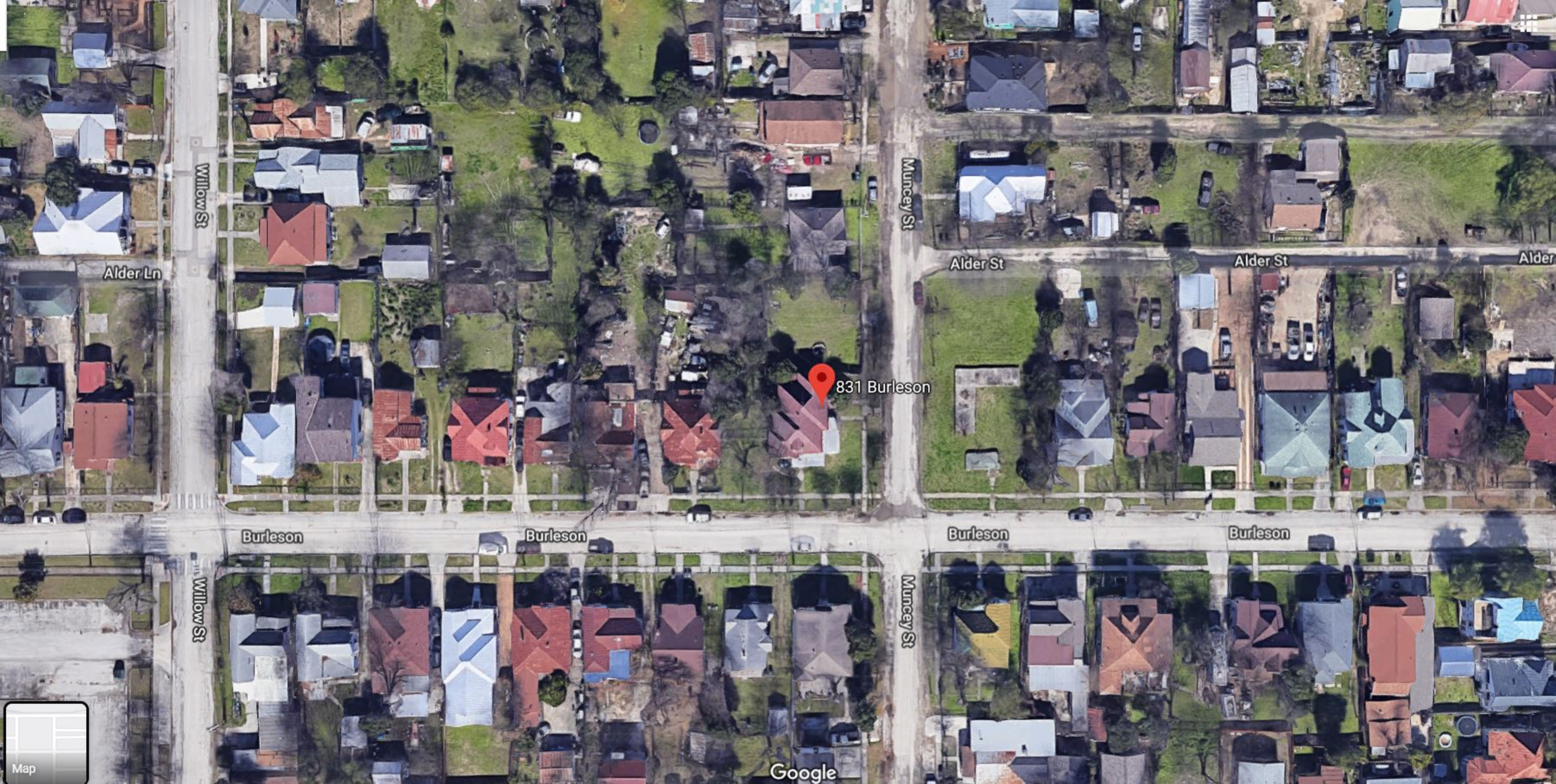
- i. That the new side door feature a matching frame and a simple 6-panel configuration or a style that relates to the historic structure
- ii. A site plan with the proposed fence line should be submitted to staff prior to final approval.

831 Burleson



August 1, 2019





Willow St

Alder Ln

Muncey St

Alder St

Alder St

Alder

831 Burleson

Burleson

Burleson

Burleson

Burleson

Willow St

Muncey St

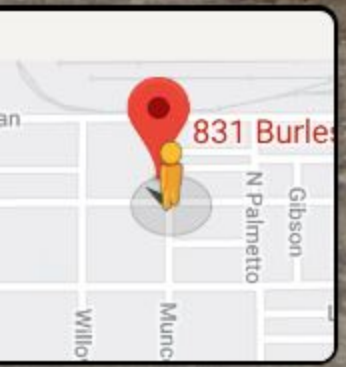
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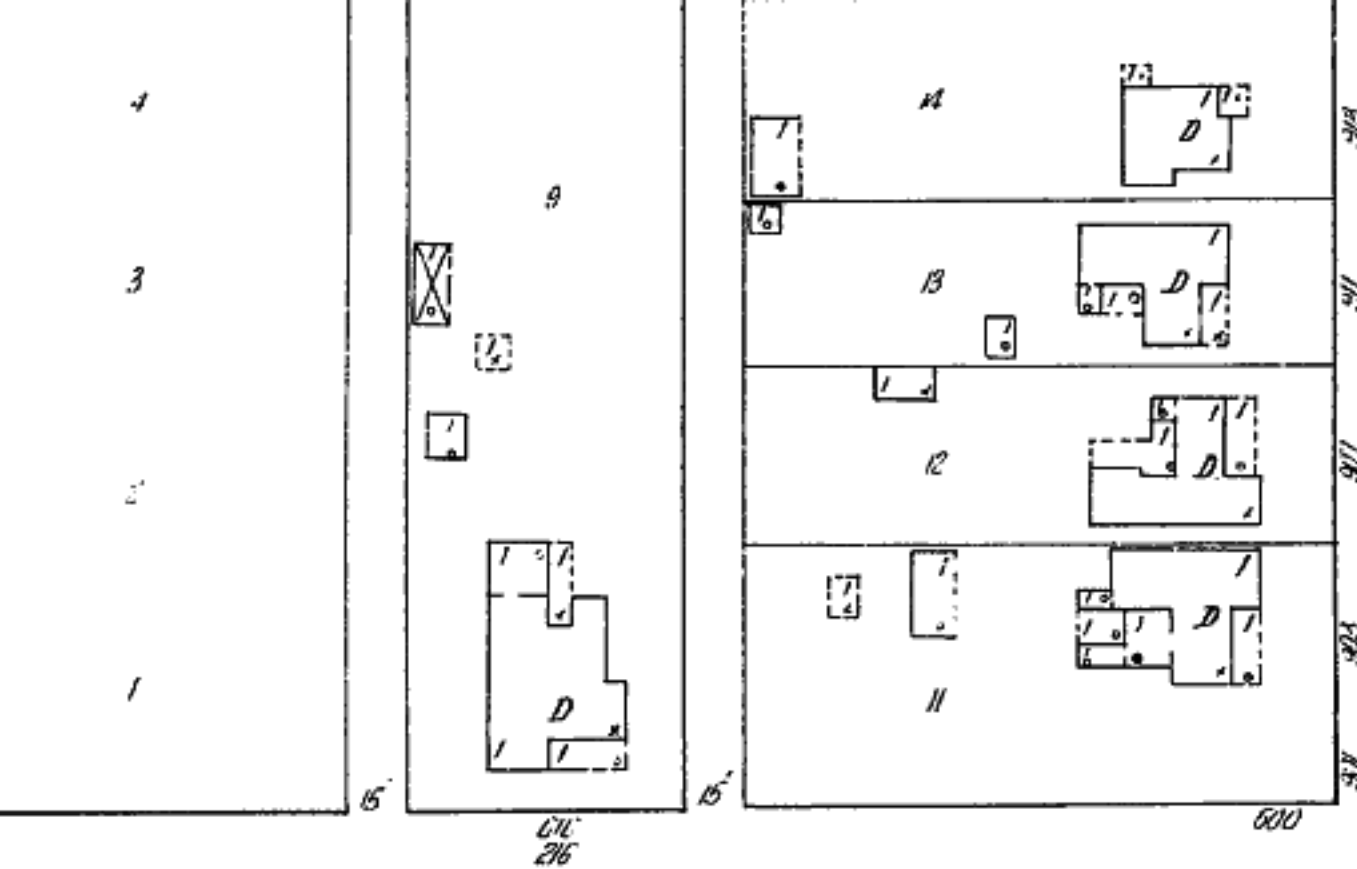




831 Burleson







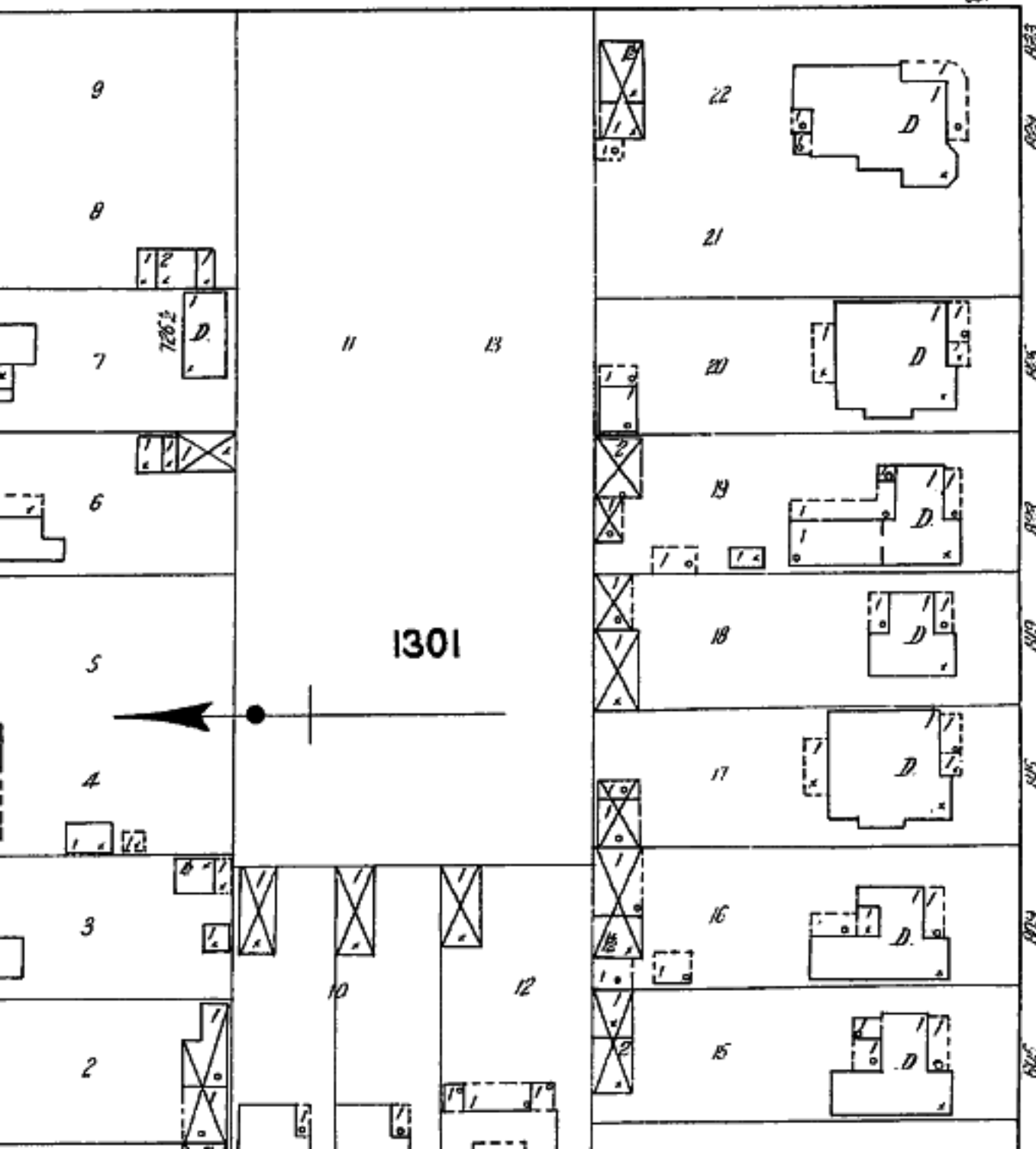
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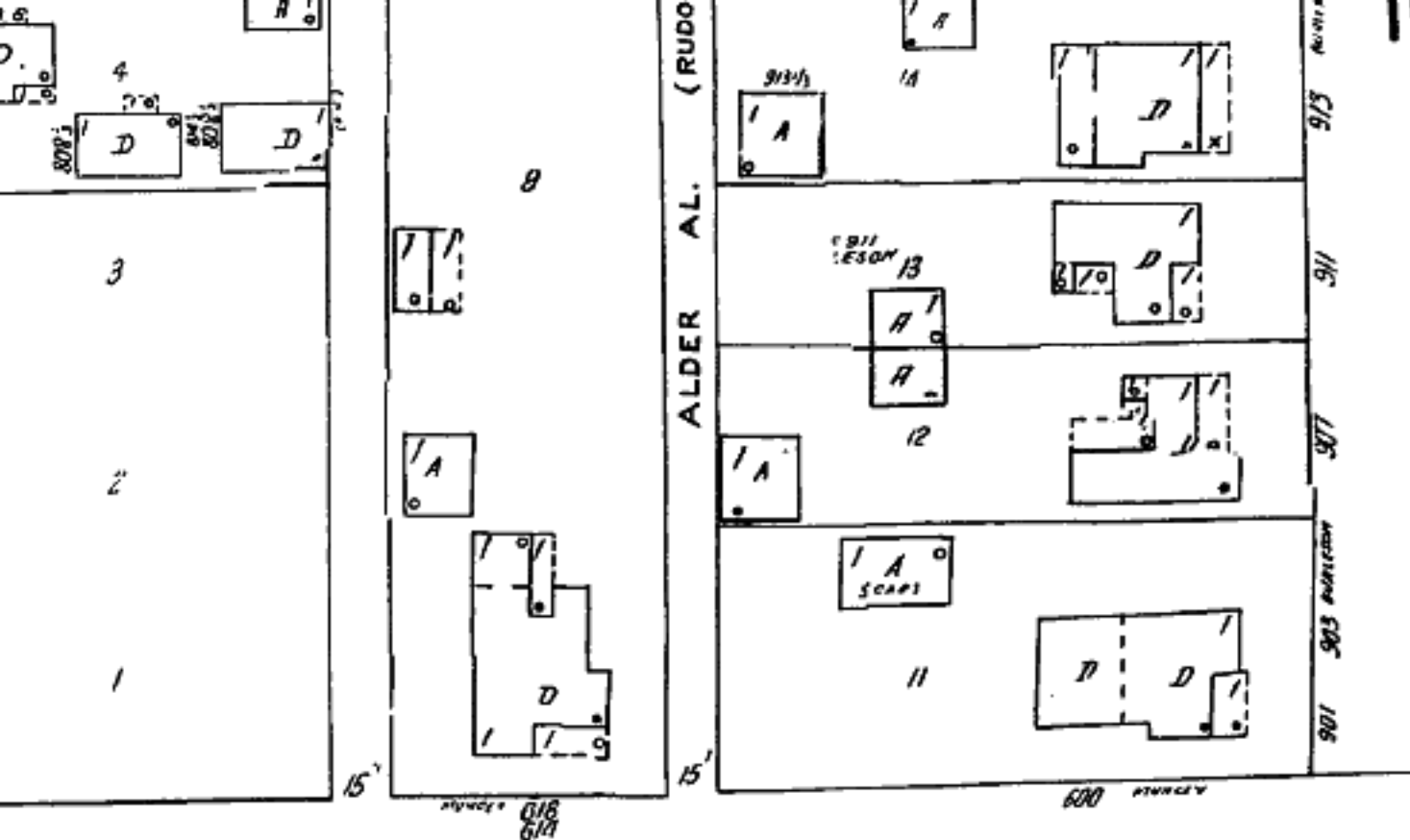
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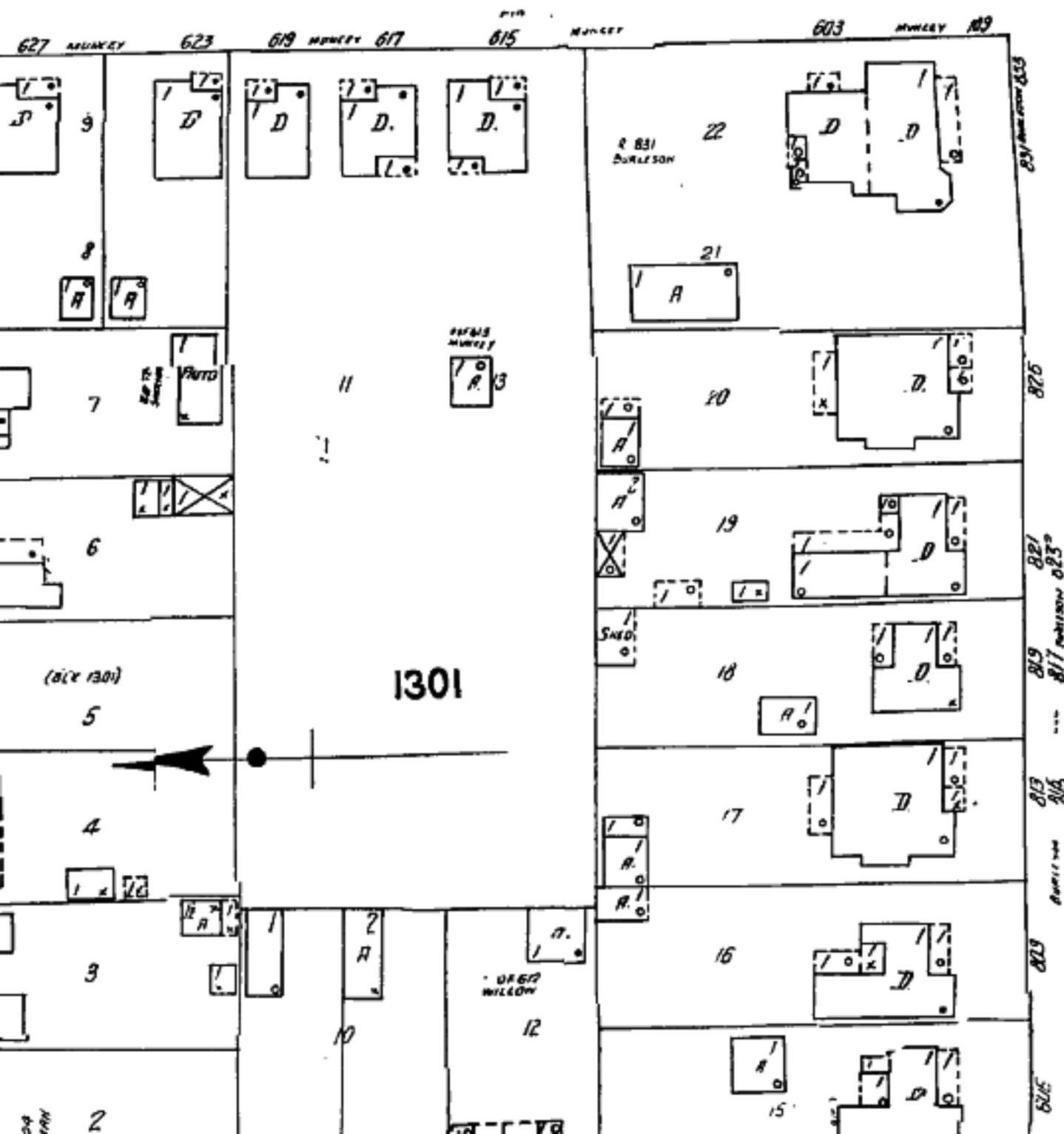
BURLESON

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MUNCEY



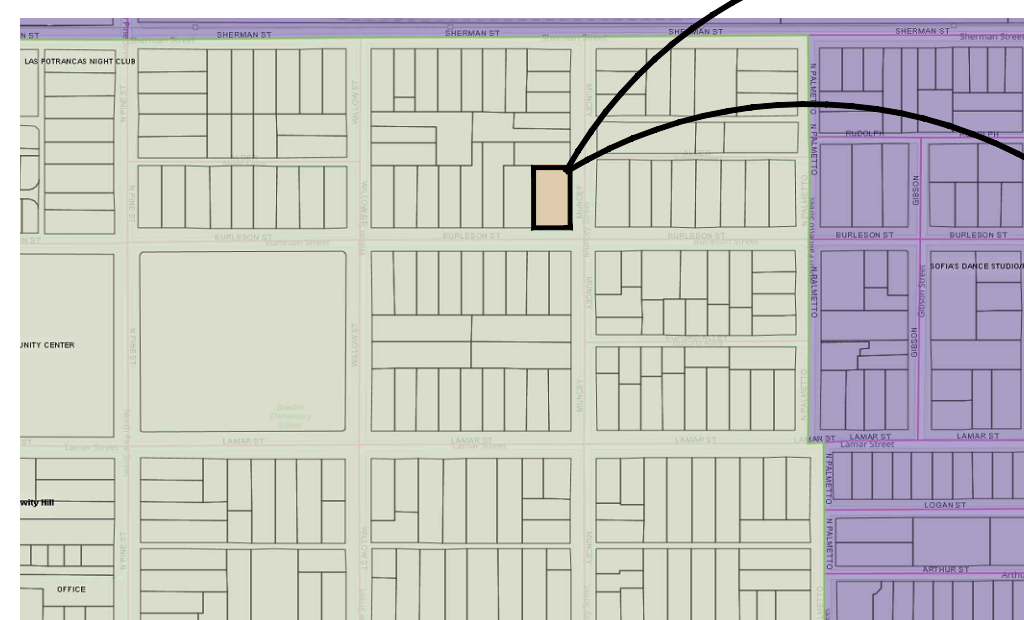
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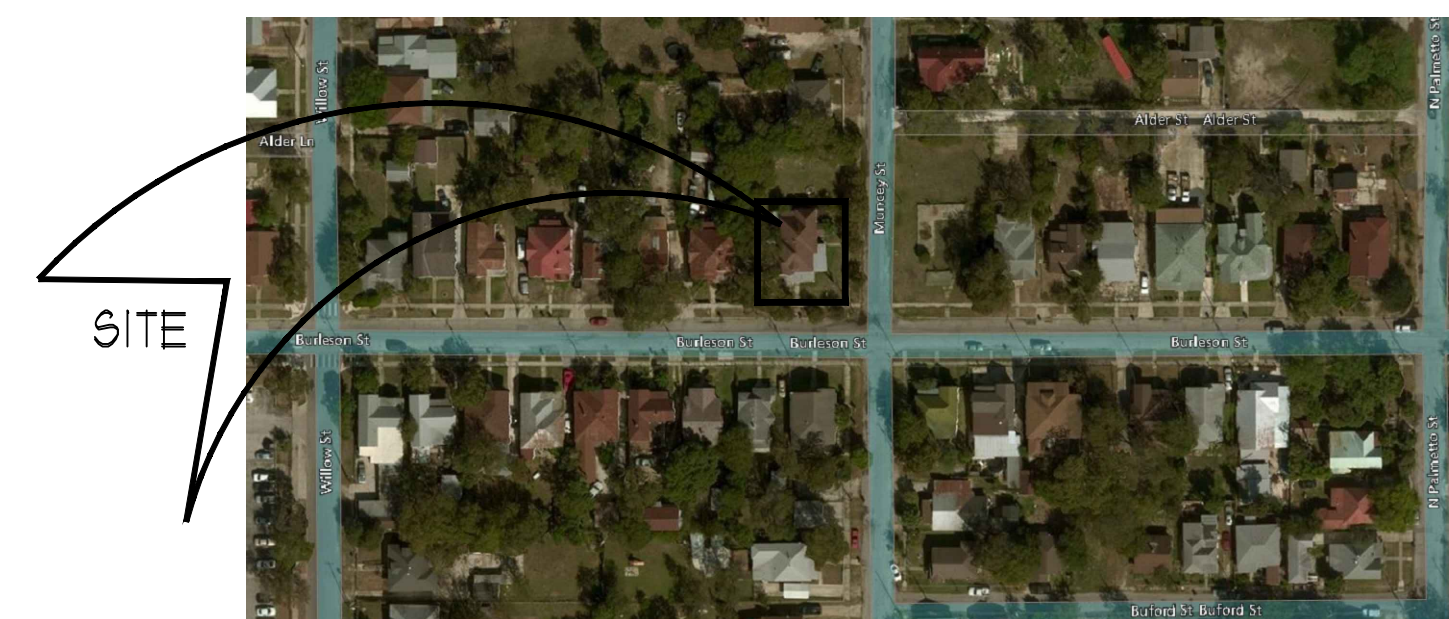
VICINITY MAP
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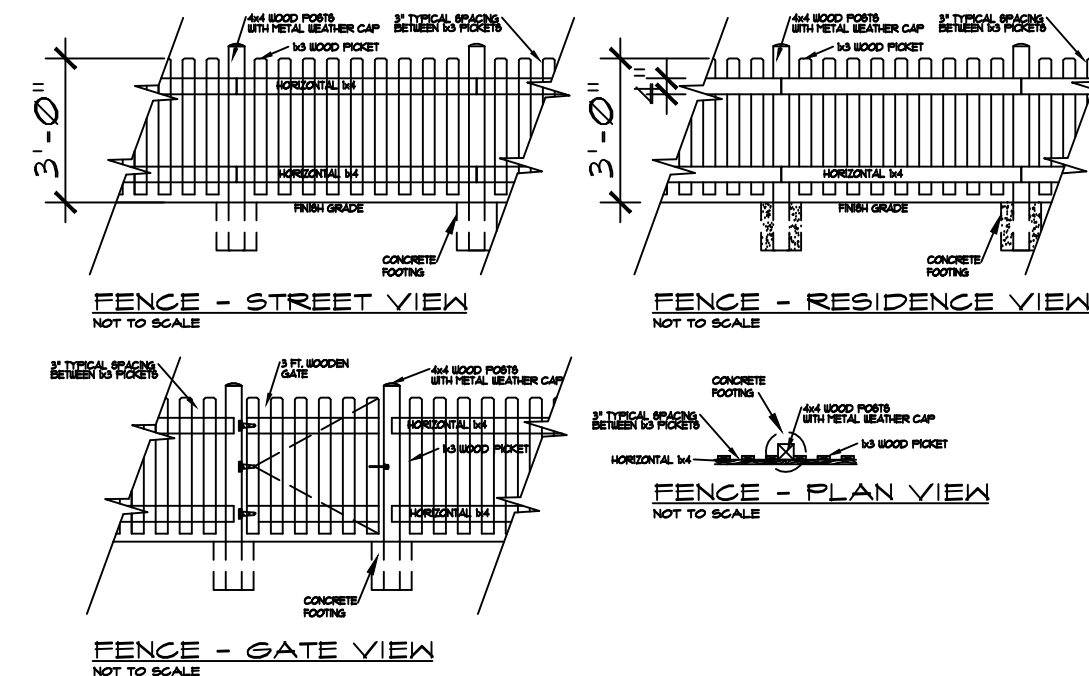
LOCATION MAP
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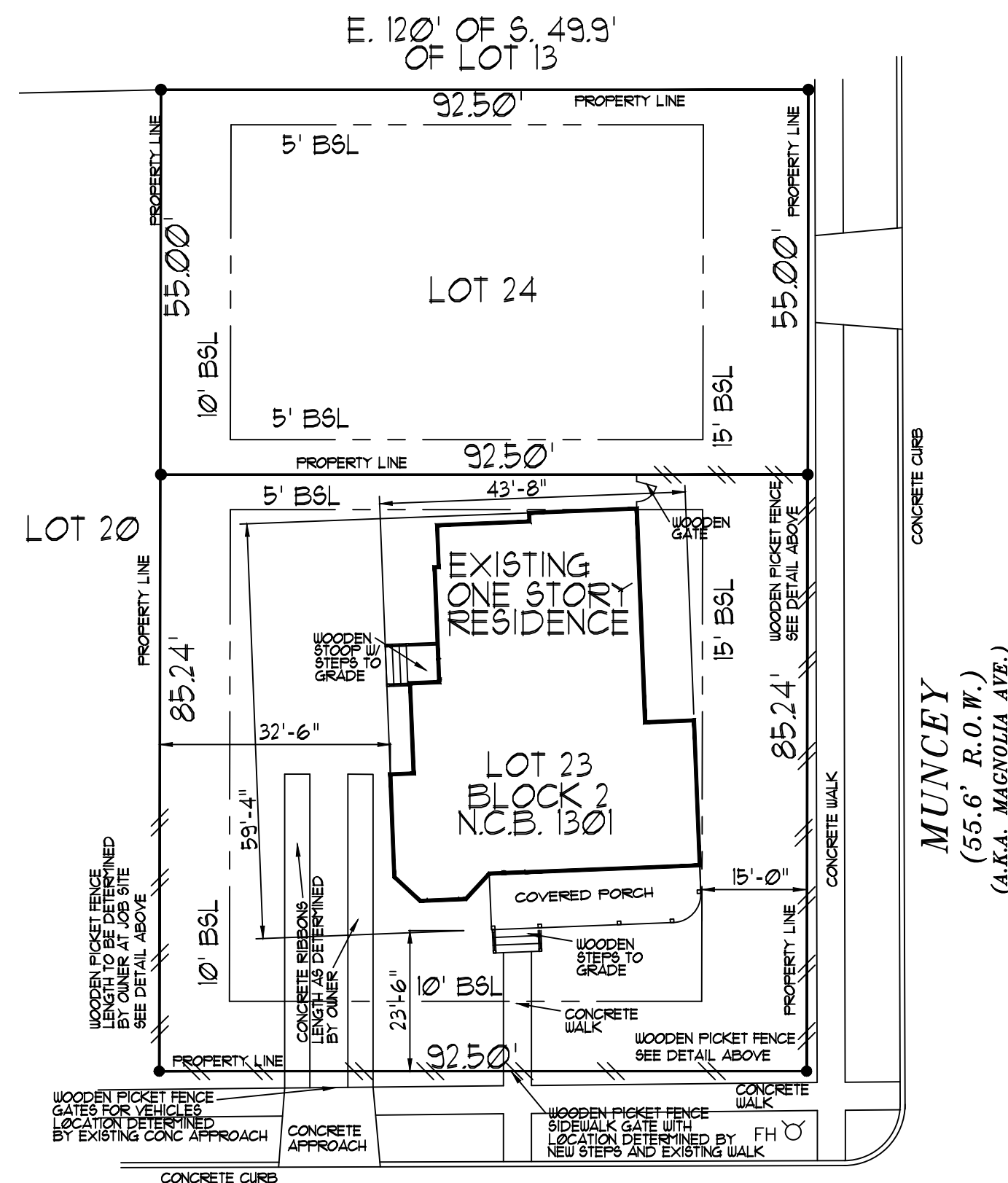
ZONING MAP
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AERIAL MAP
NOT TO SCALE



PROPERTY FENCE
NOT TO SCALE



BURLESON ST.
(55.6' R.O.W.)
(A.K.A. BURLESON)

SITE PLAN FOR
831 BURLESON ST.

NOTE
FOR FURTHER SITE INFORMATION
REFER TO THE TITLE SURVEY PERFORMED
BY SOUTH CENTRAL SURVEYORS
JOB NUMBER 19-6046-003

INDEX OF DRAWINGS

- A1 SITE PLAN
- A2 EXISTING FLOOR PLAN, DEMOLITION PLAN
- A3 EXISTING FOUNDATION PLAN, FOUNDATION PLAN, FOUNDATION DETAILS
- A4 ARCHITECTURAL FLOOR PLAN, ELECTRICAL FLOOR PLAN, NOTES
- A5 INTERIOR ELEVATIONS, CONSTRUCTION DETAILS
- A6 EXISTING ROOF PLAN, DEMOLITION PLAN, ROOF PLAN
- A7 ROOF FRAMING PLAN, BUILDING SECTIONS, DETAILS
- A8 EXTERIOR ELEVATIONS, PRIVACY FENCE DETAILS

A Remodel and Addition to
A Residence at

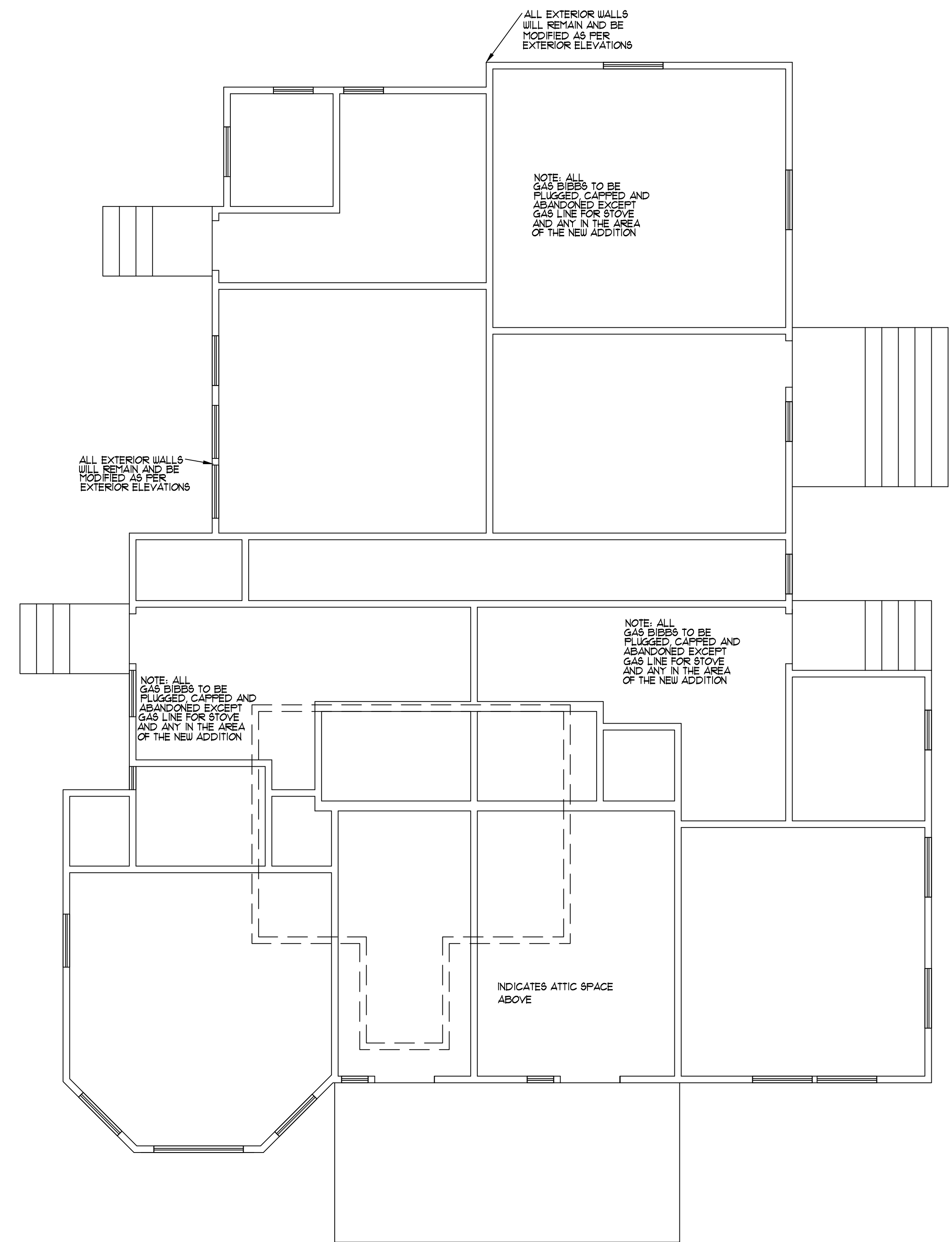
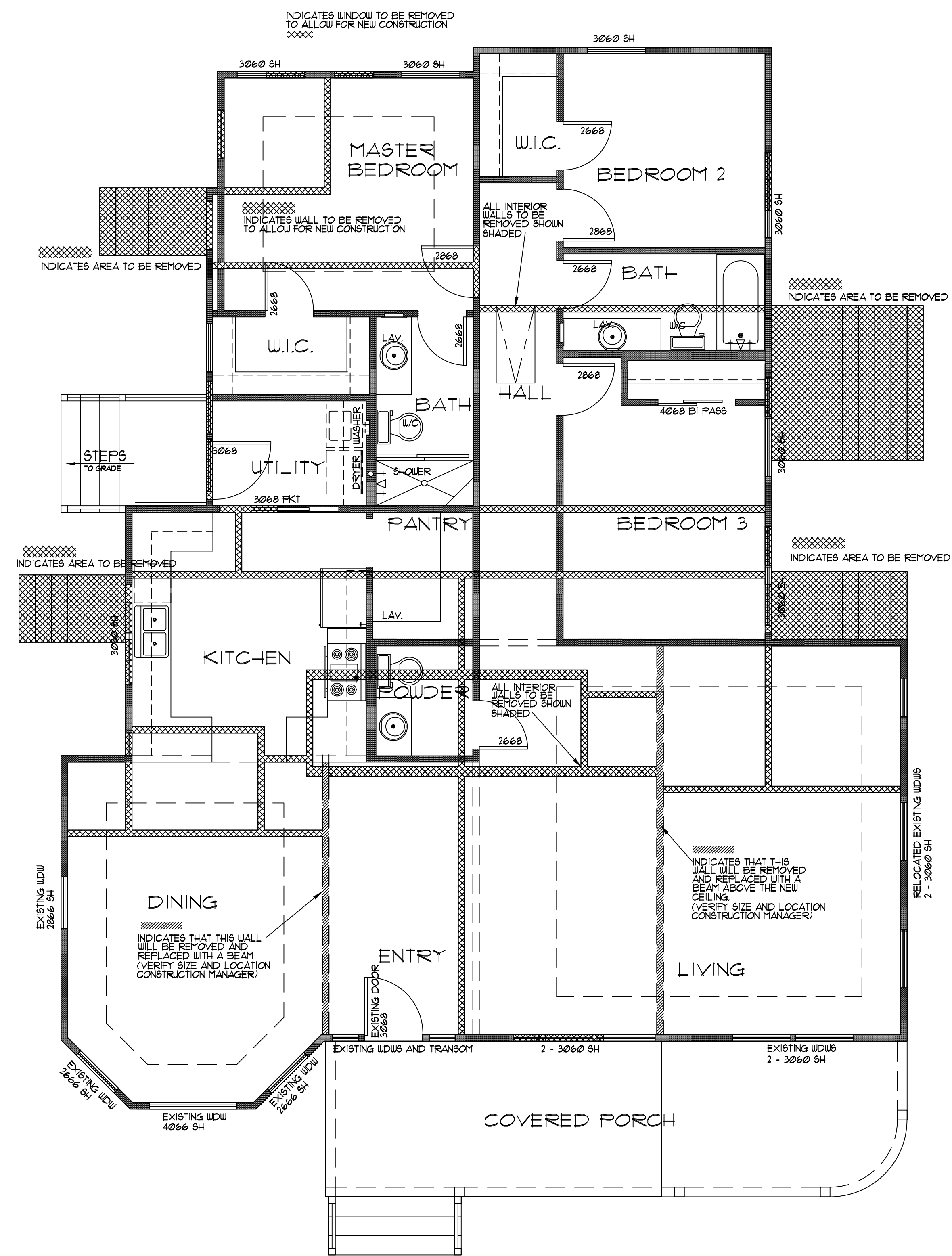
831 Burleson
San Antonio, Texas 78202



Project Name and Address
831 BURLESON ST.
LOTS - 23 & 24
NEW CITY BLOCK 1301
ZONE RM-5
DIGNOWITY HILL HISTORIC DISTRICT
CITY OF SAN ANTONIO
BEXAR COUNTY, TEXAS

Project Sheet
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LOT - 23 & 24
NEW CITY BLOCK 1301
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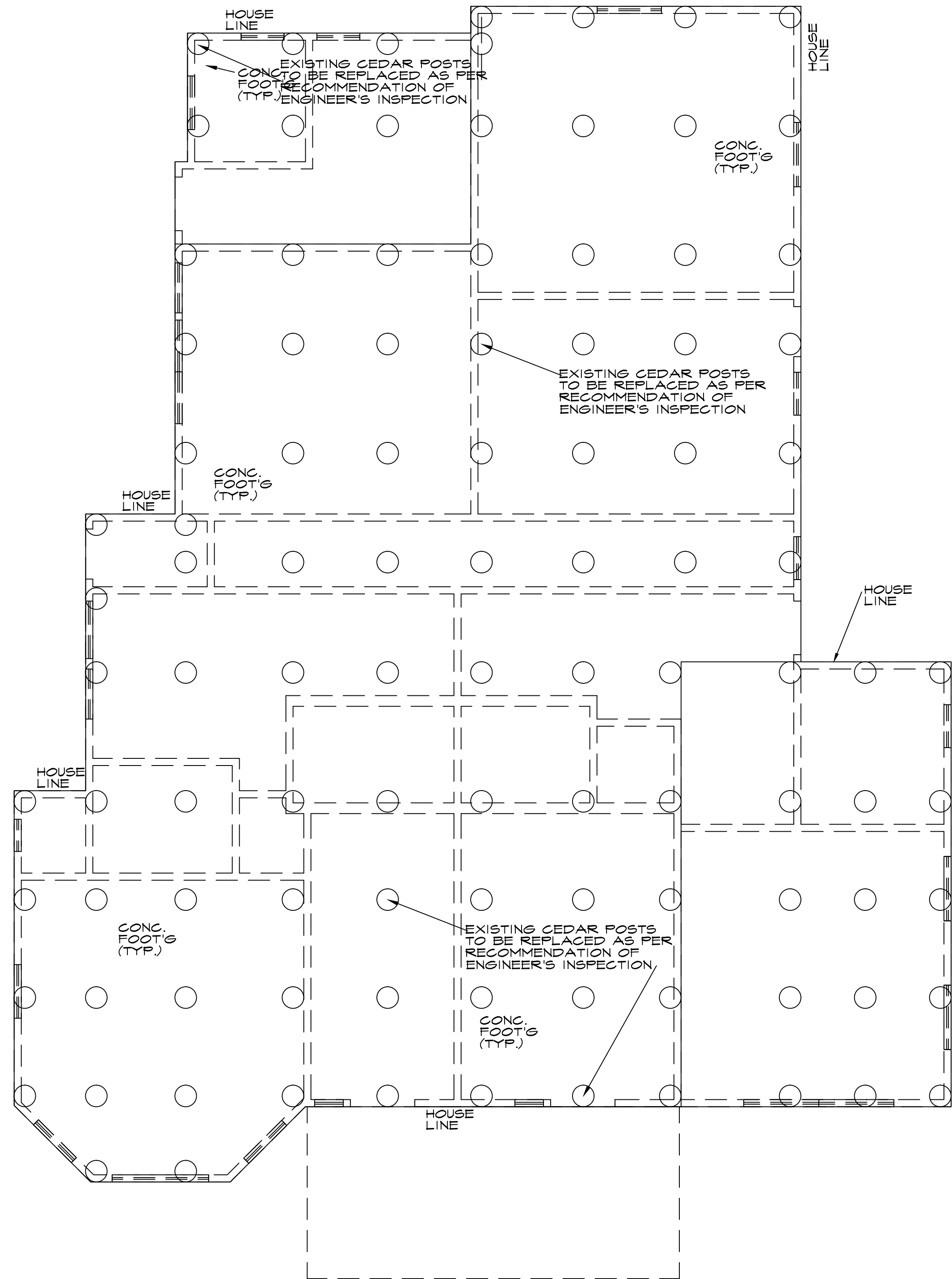
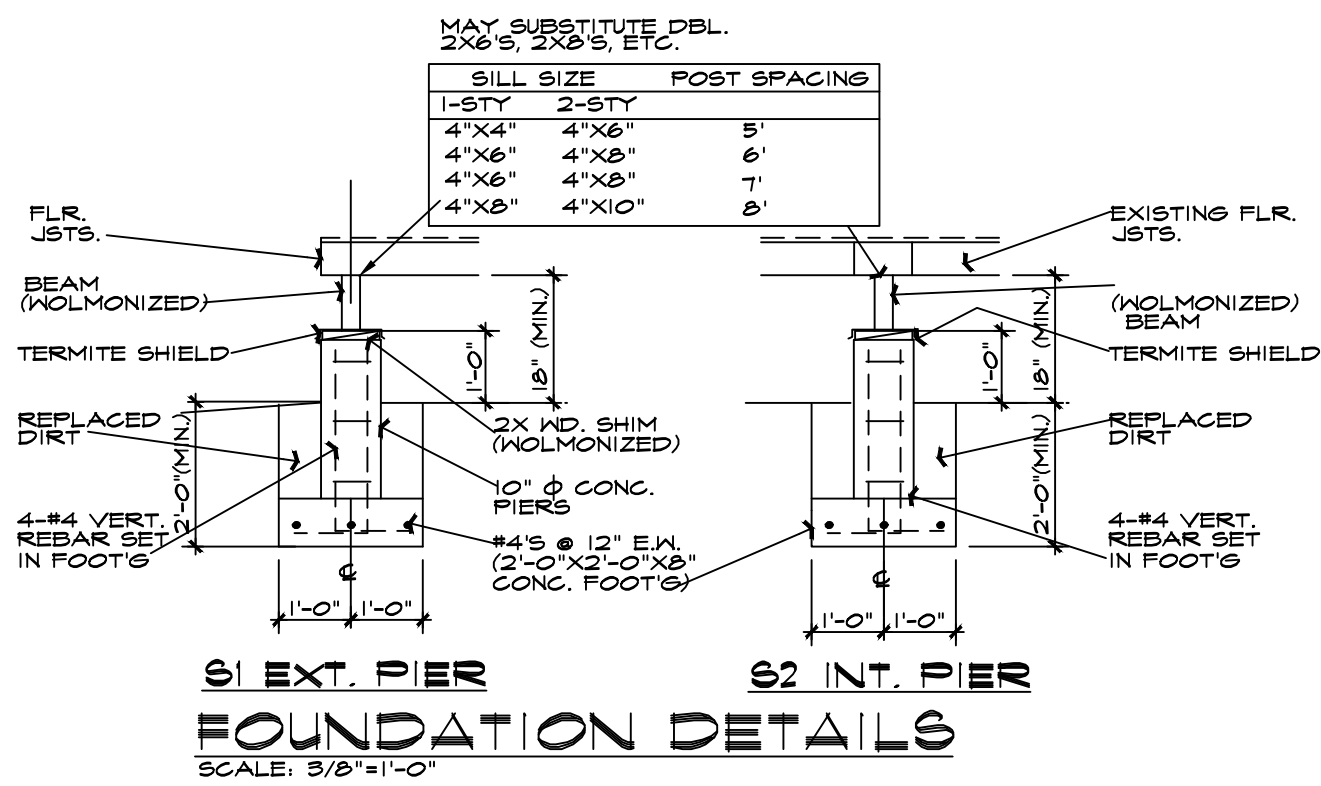
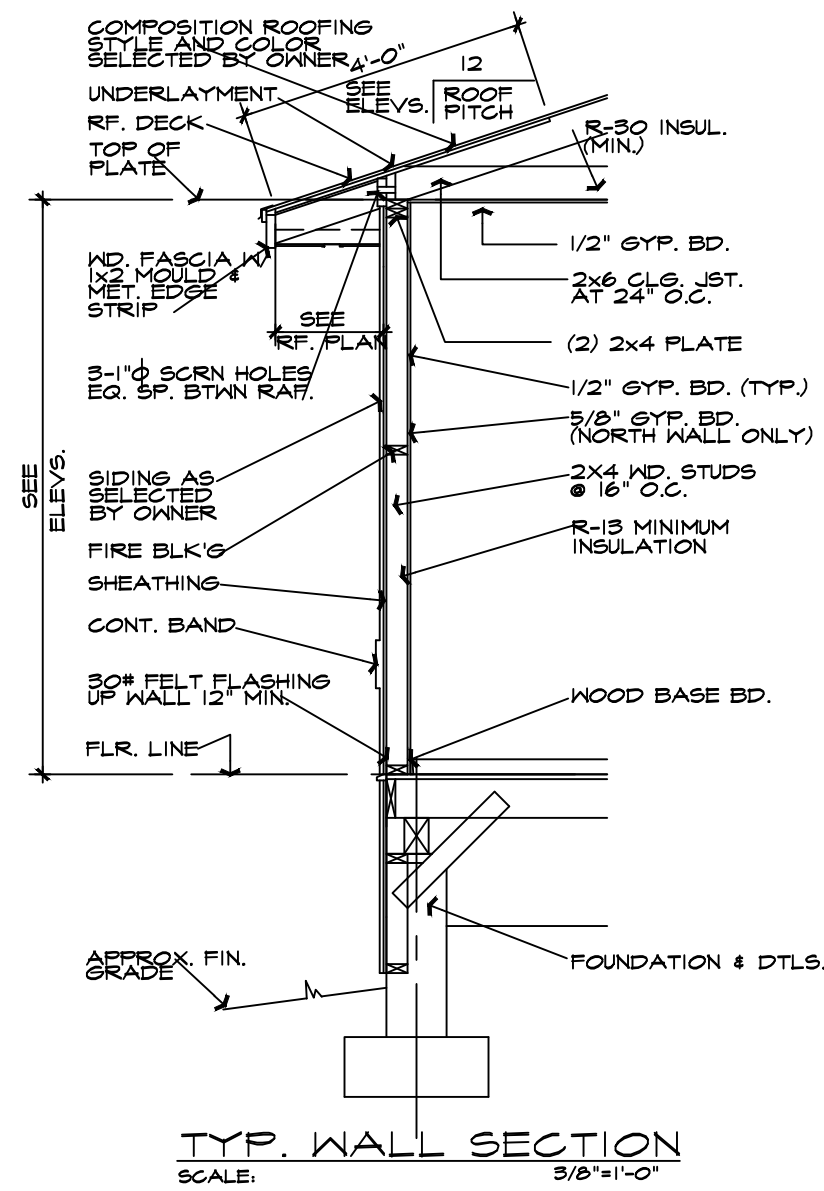
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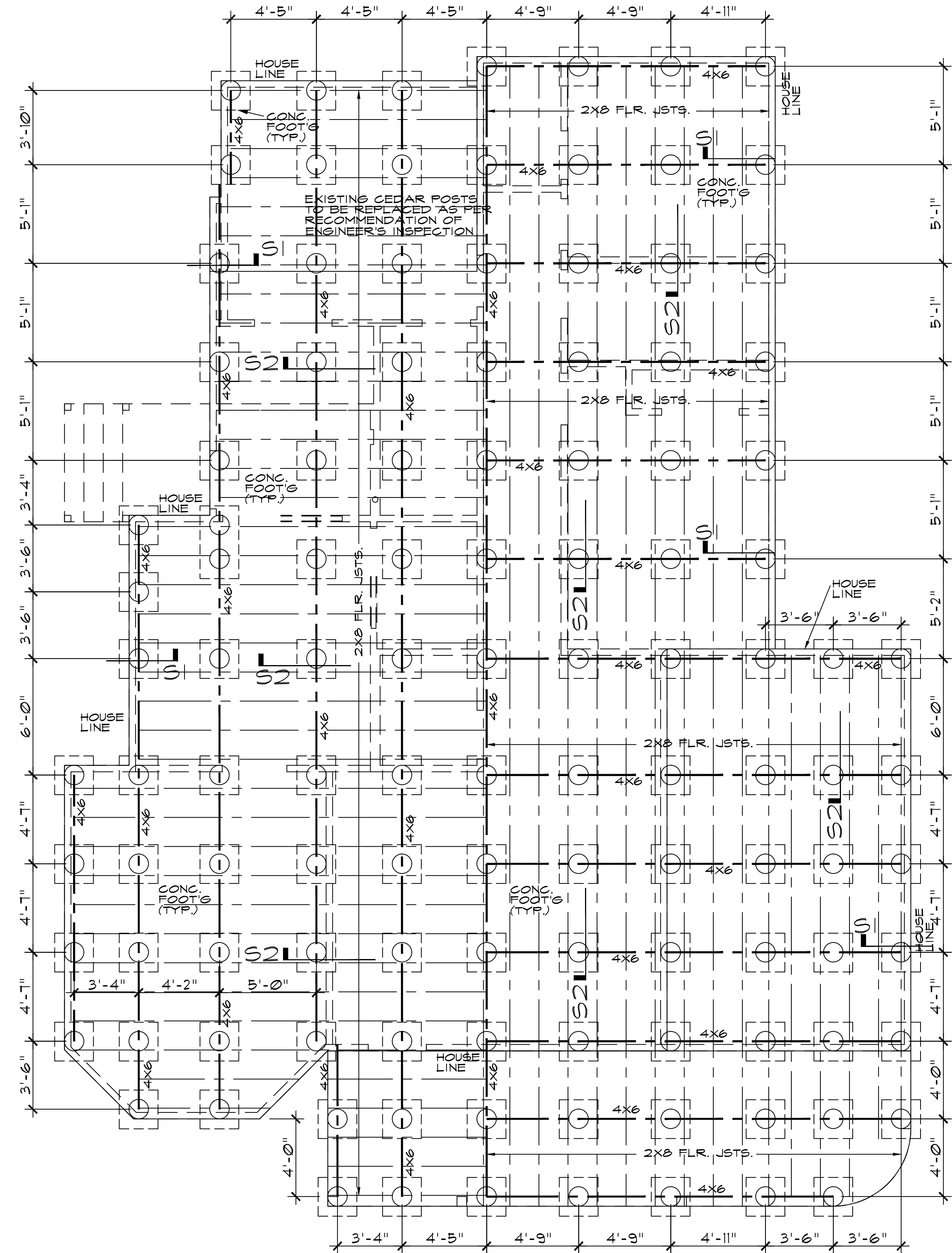
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FOUNDATION PLAN - EXISTING
SCALE: 1/4"=1'-0"



FOUNDATION PLAN - NEW
SCALE: 1/4"=1'-0"

- SPECIAL NOTES:**
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE FRAMING PLAN.
 2. CONTRACTOR SHALL CALL ENGINEER (OR REPRESENTATIVE) FOR FINAL INSPECTION. REQUEST FOR INSPECTION SHALL BE MADE AT LEAST 24 HOURS IN ADVANCE OF COMPLETION. FAILURE TO CALL FOR INSPECTION SHALL VOID THE DESIGN.
 3. IF FOUNDATION RECEIVED RAIN AFTER ISSUANCE OF GREEN TAG BUT BEFORE THE COMPLETION, THE GREEN TAG IS AUTOMATICALLY VOID AND THE CONTRACTOR SHALL CALL FOR REINSPECTION.

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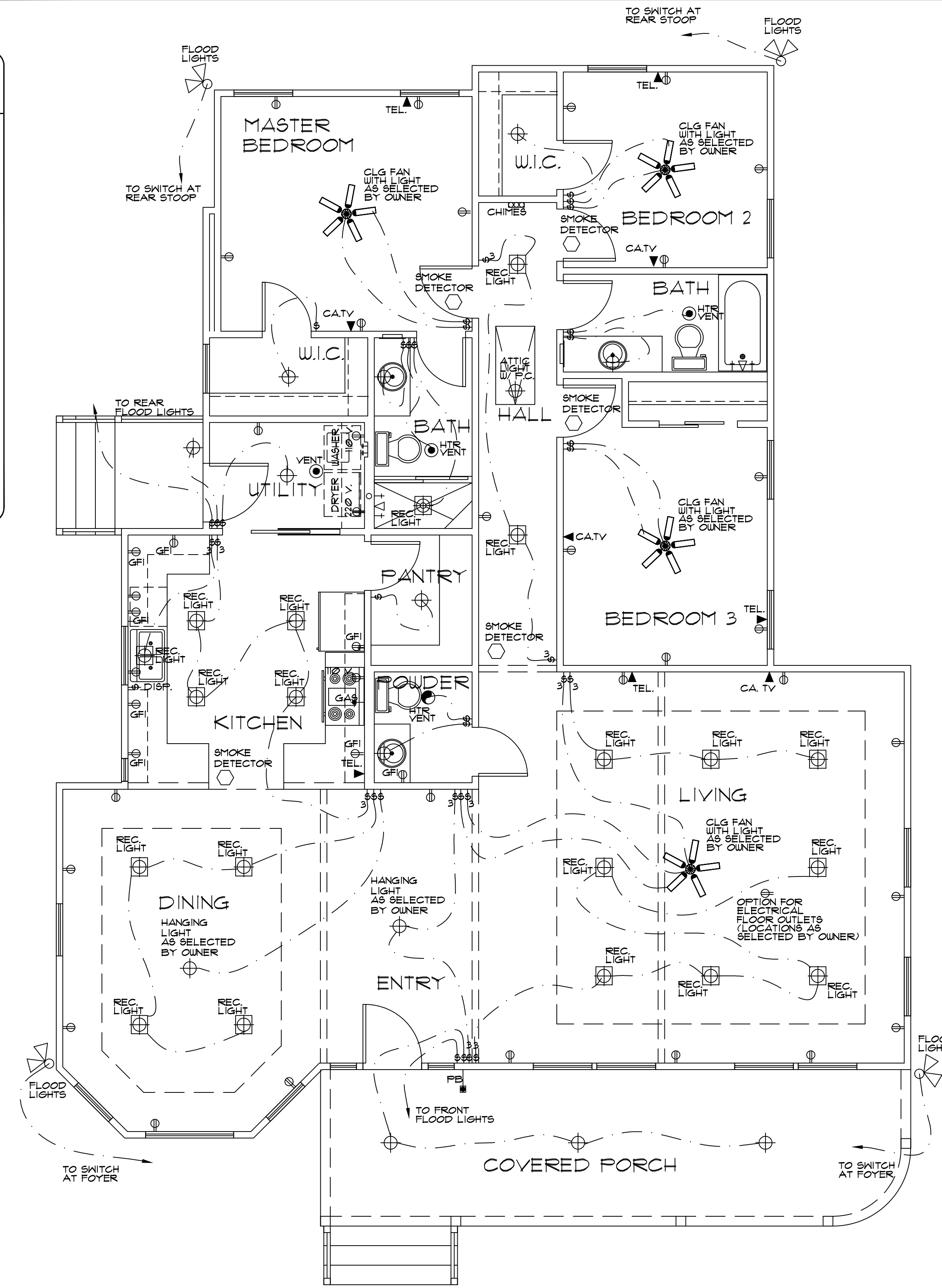
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PROJECT GENERAL NOTES

1. THE OWNER WILL ASSUME RESPONSIBILITY FOR ADMINISTRATION OF THE CONTRACT FOR CONSTRUCTION AND FOR SUPERVISING THE EXECUTION OF THE CONTRACT DOCUMENTS (WORKING DRAWINGS). THE DESIGNER IS NOT RESPONSIBLE FOR DAMAGES RESULTING FROM ERRORS AND OMISSIONS BY THOSE EXECUTING THE WORK OR DAMAGES RESULTING FROM CHANGES IN THE WORK NOT SET FORTH IN THE CONTRACT DOCUMENTS, AND OR CHANGES NOT APPROVED IN WRITING BY THE DESIGNER.
2. CONTRACTOR SHALL HOLD ALL REQUIRED LICENSES IN THE MUNICIPALITY IN WHICH THE WORK IS TO BE PERFORMED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS INCLUDING ANY AND ALL PERMITTING FEES.
3. CONTRACTOR SHALL BE FULLY INSURED AND SUBMIT PROOF OF COVERAGE AND COVERAGE AMOUNTS WITH BID.
4. CONTRACTOR SHALL CONTACT THE OWNER (OR DESIGNER) AS SOON AS POSSIBLE WITH ANY QUESTIONS, COMMENTS OR DISCREPANCIES CONCERNING PLANS.
5. CONTRACTOR SHALL FIELD VERIFY AND BE RESPONSIBLE AND UNDERSTAND ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES, VARIATIONS, ETC. WITH THE DIMENSIONS AND OR CONDITIONS INDICATED OR NOT INDICATED ON THESE PLANS.
6. EXISTING CONDITIONS, I.E. DIMENSIONS, LOCATIONS OF UTILITIES ETC., SUPPLIED BY ENGINEER, THE DESIGNER IS NOT RESPONSIBLE FOR DISCREPANCIES, ERRORS, DAMAGES, AND CHANGES RESULTING FROM INCORRECT INFORMATION.
7. BY SUBMITTING A BID, THE BIDDER AGREES AND WARRANTS THAT HE HAS VISITED THE PROJECT SITE, EXAMINED THE DRAWINGS AND SPECIFICATIONS (IF PART OF CONTRACT) AND FOUND THAT THEY ARE ADEQUATE FOR THE PROPER COMPLETION OF PROJECT.
8. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK SHALL BE DESIGNED/BUILT. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE DESIGN DOCUMENTS AND ESTIMATED COST OF WORK. THE FOUNDATION SHALL BE DESIGNED BY A CERTIFIED FOUNDATION OR STRUCTURAL ENGINEER.
9. SHOULD CONFLICT ARISE BETWEEN GENERAL NOTES, HEREIN AND FOLLOWING, AND SPECIFICATIONS (IF PART OF CONTRACT), THE GENERAL NOTES SHALL HAVE PRECEDENCE. WRITTEN DIMENSIONS ON DRAWINGS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
10. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. SEE WRITTEN DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, OR TO CENTER LINE, UNLESS OTHERWISE NOTED.
11. CONTRACTOR TO VERIFY ALL CODES, ORDINANCES, REQUIREMENTS AND INCORPORATE INTO BIDS, PROPOSALS AND CONSTRUCTION.
12. ALL NECESSARY AND REQUIRED CONTROLLED INSPECTIONS SHALL BE MADE AND FILED WITH THE APPROPRIATE DEPARTMENTS, BY AN AUTHORIZED OR QUALIFIED LICENSED BUILDING INSPECTOR.
13. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.I., A.S.C., ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW, UNLESS NOTED OTHERWISE.
14. USE ONLY SKILLED AND EXPERIENCED PERSONNEL. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER. ALL WORK TO BE DONE IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICES.
16. EACH CONTRACTOR SHALL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK.
17. PROTECT ALL MATERIALS, FIXTURES AND APPLIANCES FROM WEATHER AND OR THEFT.
18. CONTRACTOR SHALL KEEP SITE (INSIDE AND OUTSIDE) NEAT AND ORDERLY THROUGHOUT CONSTRUCTION. COMPLETED WORK SHALL BE CLEAN.
19. SOIL TEST ARE RECOMMENDED TO DETERMINE THE SUBSOIL CONDITIONS OF THE PROJECT SITE. SHOULD SUCH TESTS BE WAIVED, THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR DAMAGES RESULTING FROM INADEQUATE SOIL BEARING CAPACITY SUBSURFACE GROUND WATER, ROCK, ETC.
20. PROVIDE ELECTRICAL REQUIRED FOR BURGLAR ALARM SYSTEM. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SECURITY COMPANY SELECTED BY OWNER.

ELECTRICAL SYMBOLS LEGEND

- STANDARD SWITCH
- 3 WAY SWITCH
- STANDARD OUTLET (12" AFF. UNO.)
- 220V OUTLET
- GROUND FAULT INTERRUPTER
- GROUND FAULT INTERRUPTER
- WATER PROOFING
- RECESSED CAN LIGHT
- EXTERIOR SPOT
- INCANDESCENT LIGHT
- WALL MOUNTED LIGHT
- FLUORESCENT LIGHT (REF. DRAWINGS FOR SIZE)
- TELEPHONE
- SHOWER HEAD
- CHIMES (DOOR BELL)
- DOOR BELL
- SMOKE DETECTOR
- GAS COOK
- EXHAUST FAN (30" CPM)
- CEILING FAN/LIGHT
- COLD WATER
- HOT WATER
- DISAPPEARING STAIRS
- MEDICINE CABINET
- HOSE BIB
- CHANGE ON FLOOR MATERIAL



ELECTRICAL FLOOR PLAN

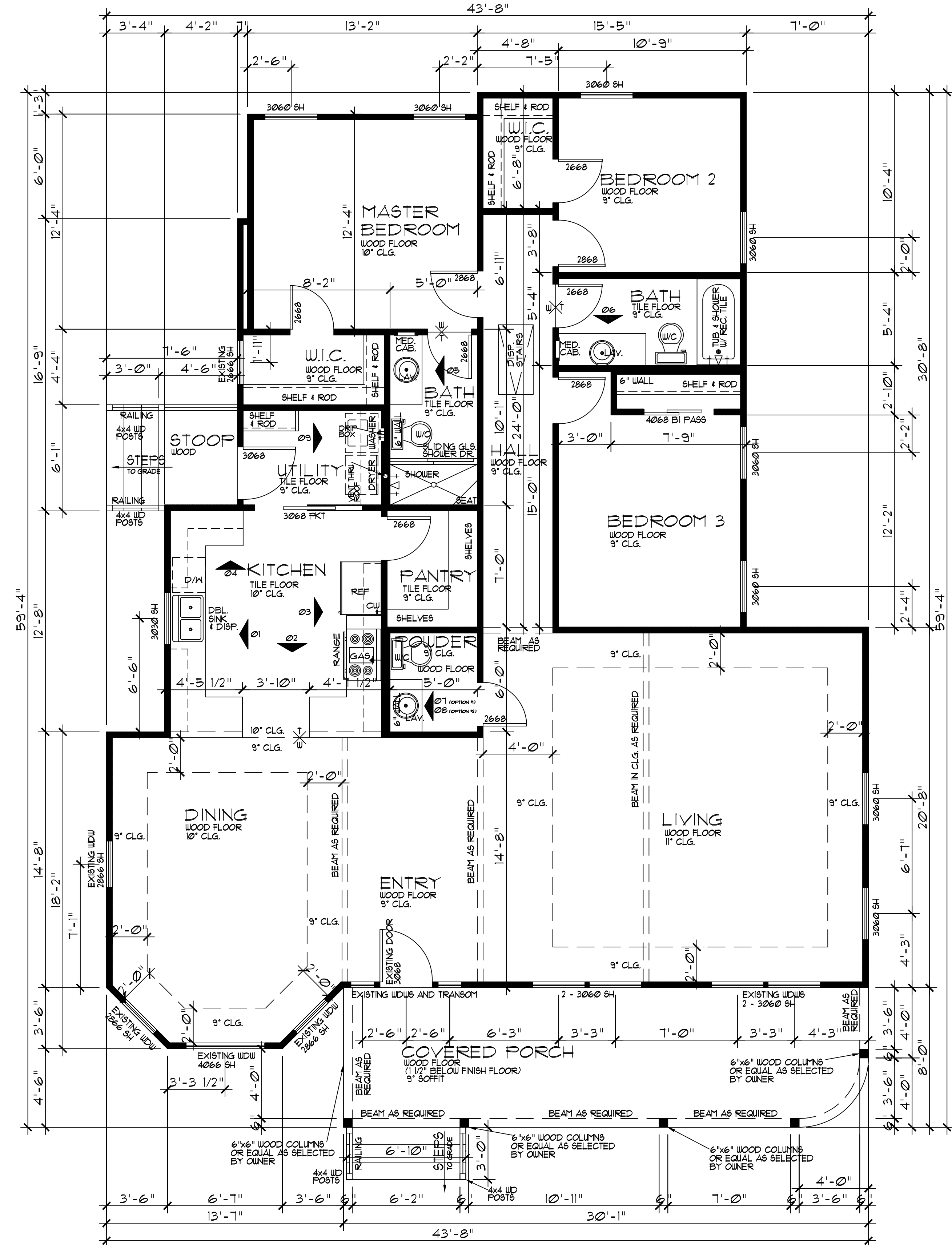
SCALE: 1/4"=1'-0"

Notes

1. Countertops and backsplashes: "Formica", color, pattern, finishes as selected by owners.
2. Ceramic tile flooring and walls: Tile color and patterns as selected by owners.
3. Verify all millwork dimensions prior to fabrication. Cabinet styles, finishes, hardware as selected as per owner.
4. Owner chosen textured finish at gypsum walls And Ceilings. Painted.
5. Verify All Appliance Dimensions Prior to purchase of all Millwork Typical.

FLOOR PLAN NOTES

1. CONTRACTOR IS TO CONFIRM ANY DISCREPANCIES ON PLANS WITH THE HOME OWNER PRIOR TO MAKING CHANGES REGARDING THE CONSTRUCTION.
2. ALL VENTS, FLUES & ROOF JACKS SHALL NOT BE VISIBLE FROM FRONT OF HOUSE.
3. ALL WINDOW HEADERS ARE TO BE SET AT 6'-8" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
4. ALL EXTERIOR ELECTRICAL OUTLETS, BATH OUTLETS AND KITCHEN OUTLETS TO BE GROUND FAULT INDICATOR CIRCUIT.
5. ALL OUTLETS LOCATED PER CODE.
6. INSTALL GREEN BOARD ON ALL TILED WALLS.
7. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOB SITE. DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OF PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT CONSTRUCTION.



FLOOR PLAN

SCALE: 1/4"=1'-0"

1821 SQ. FT. LIVING AREA
264 SQ. FT. COV'D. PORCH

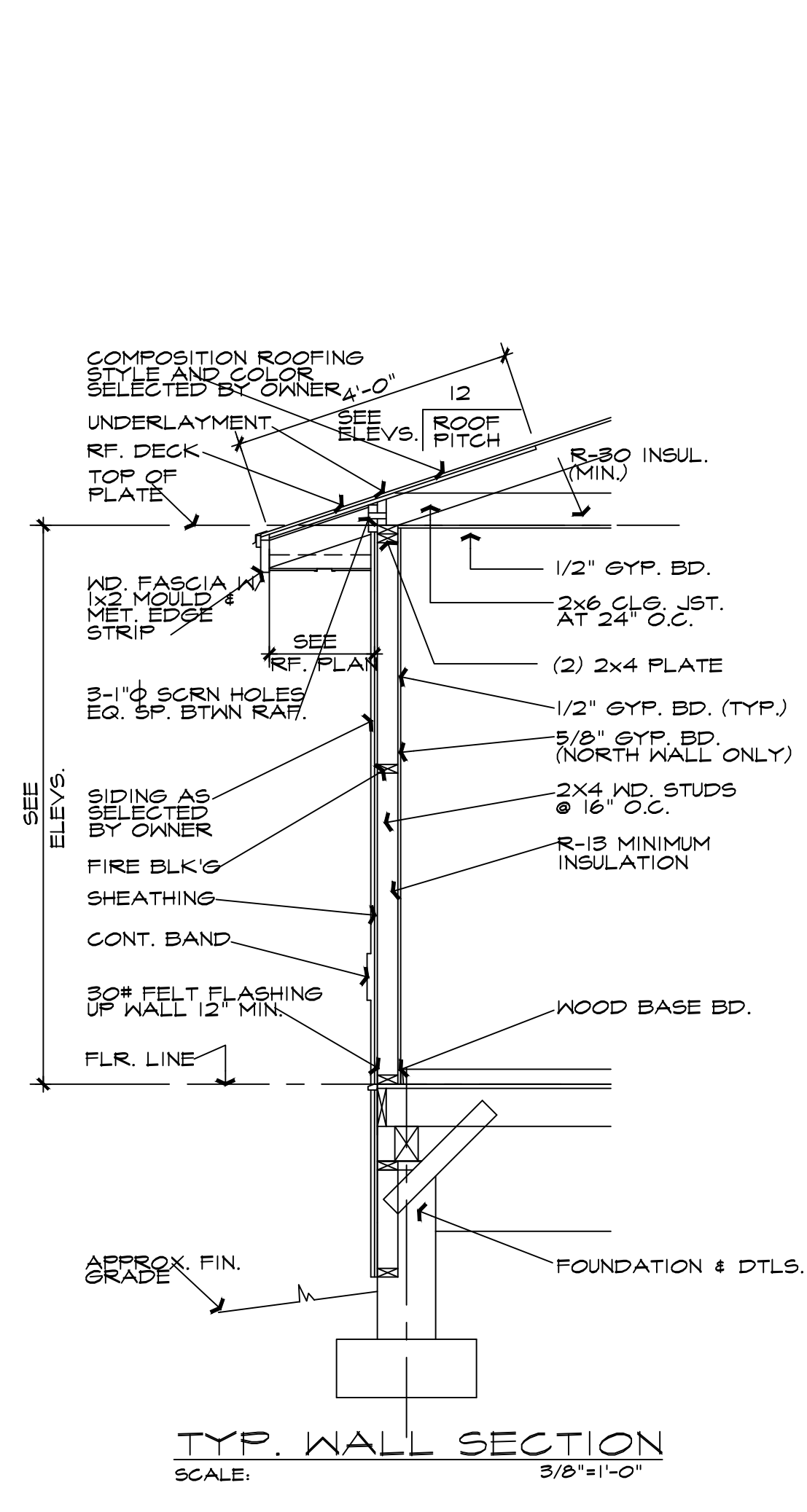
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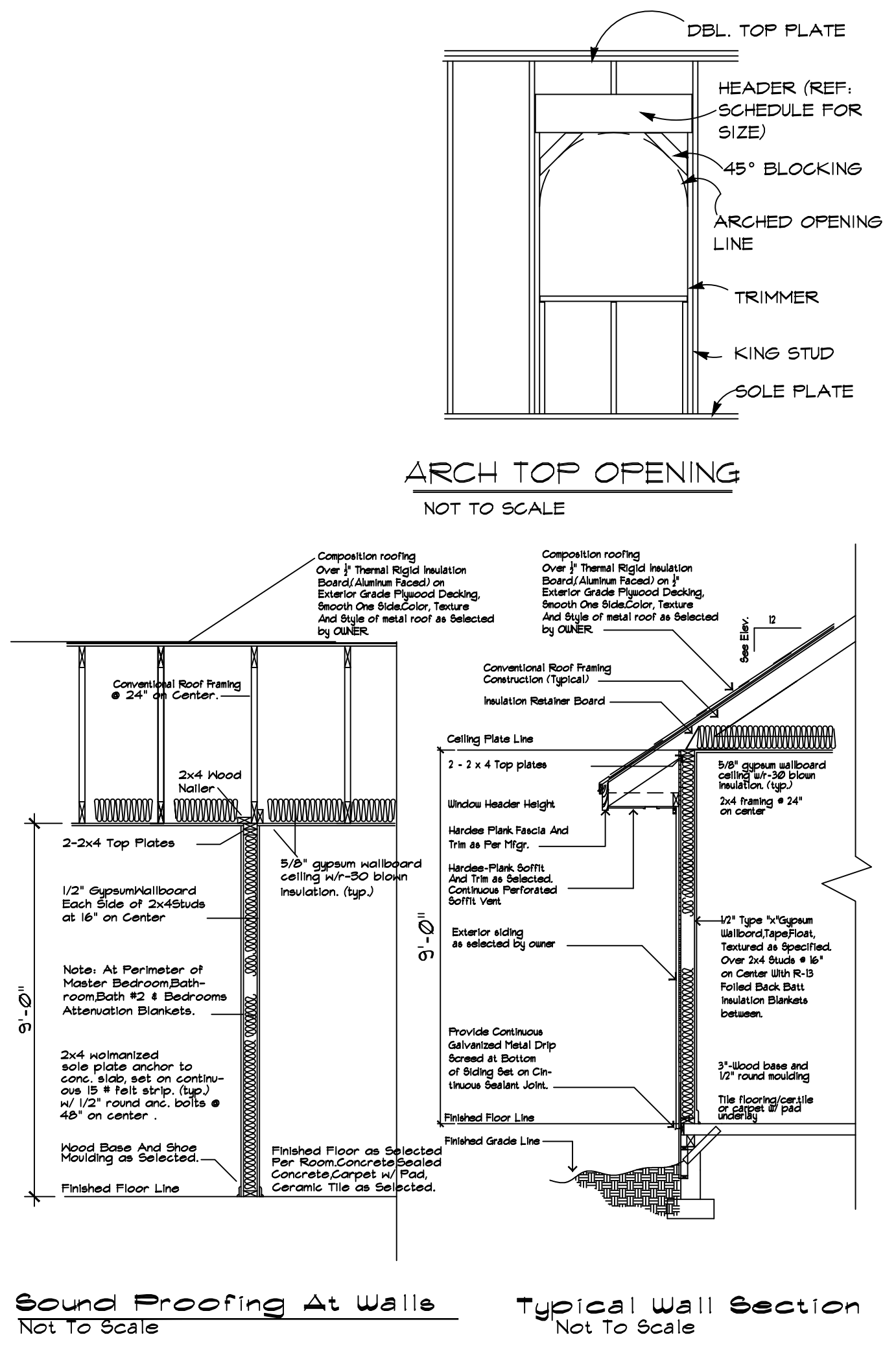


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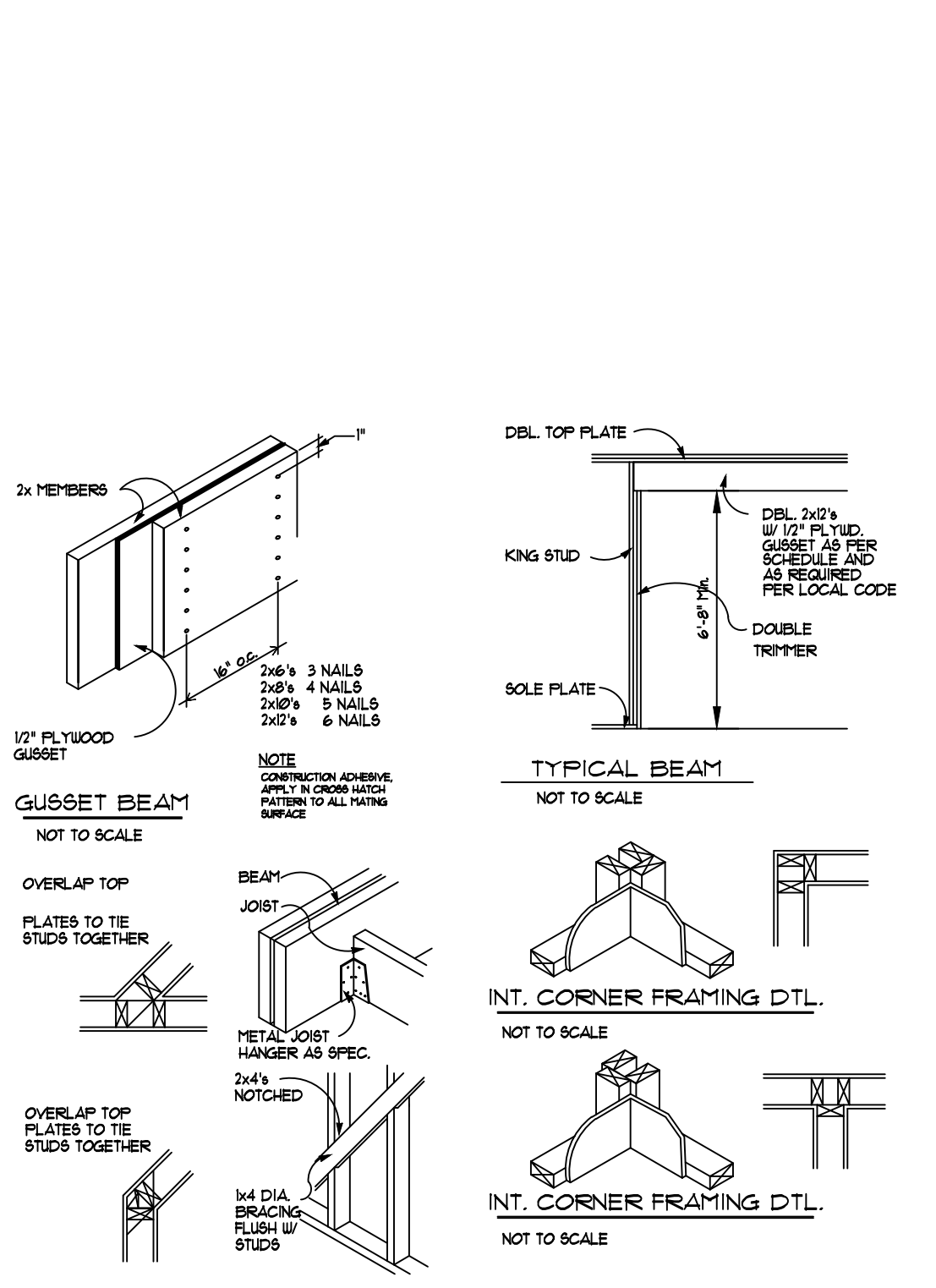


TYP. WALL SECTION
SCALE: 3/8"=1'-0"



Sound Proofing At Walls
Not to Scale

Typical Wall Section
Not to Scale

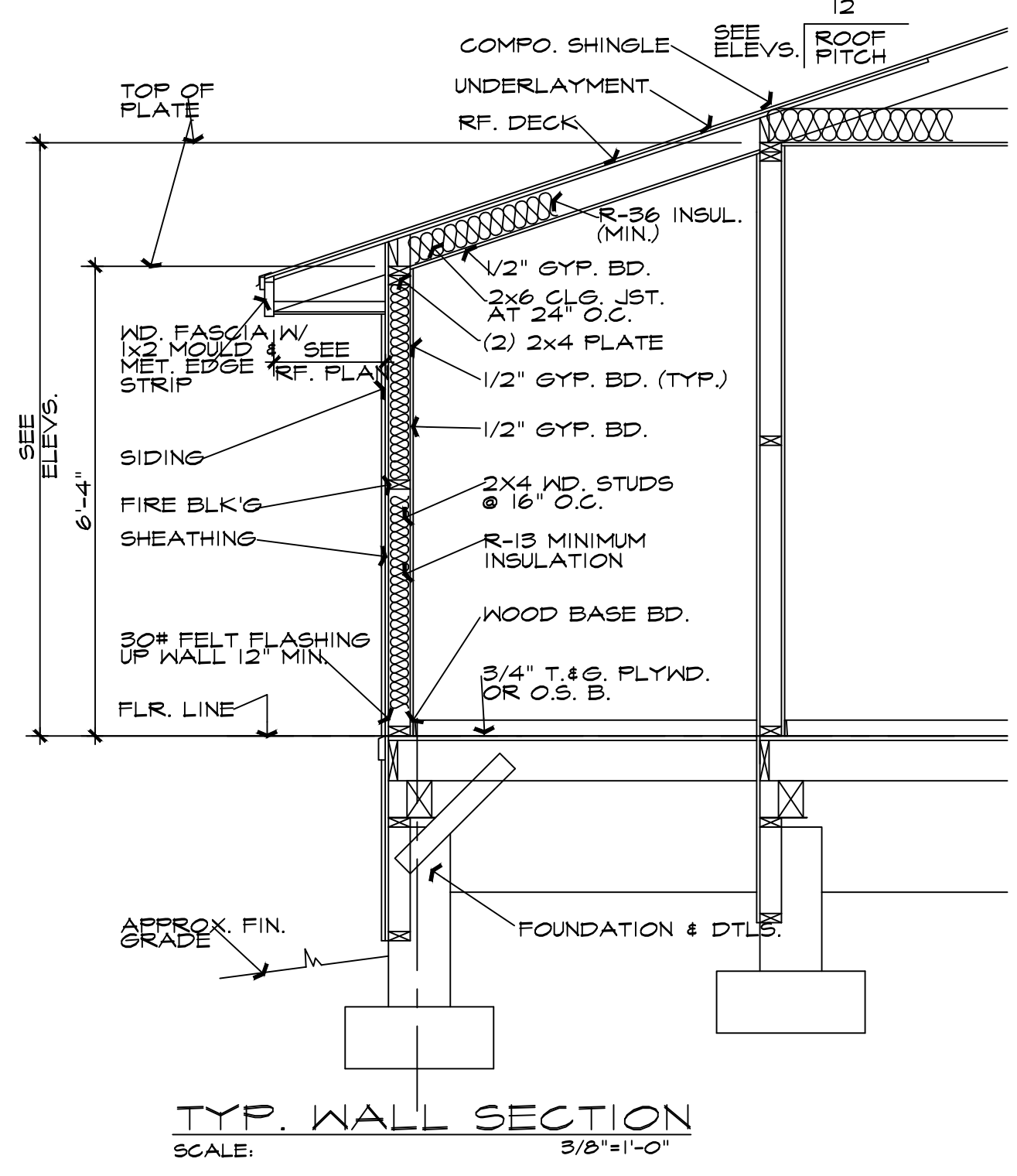


TYPICAL TRUSS DETAIL
Not To Scale

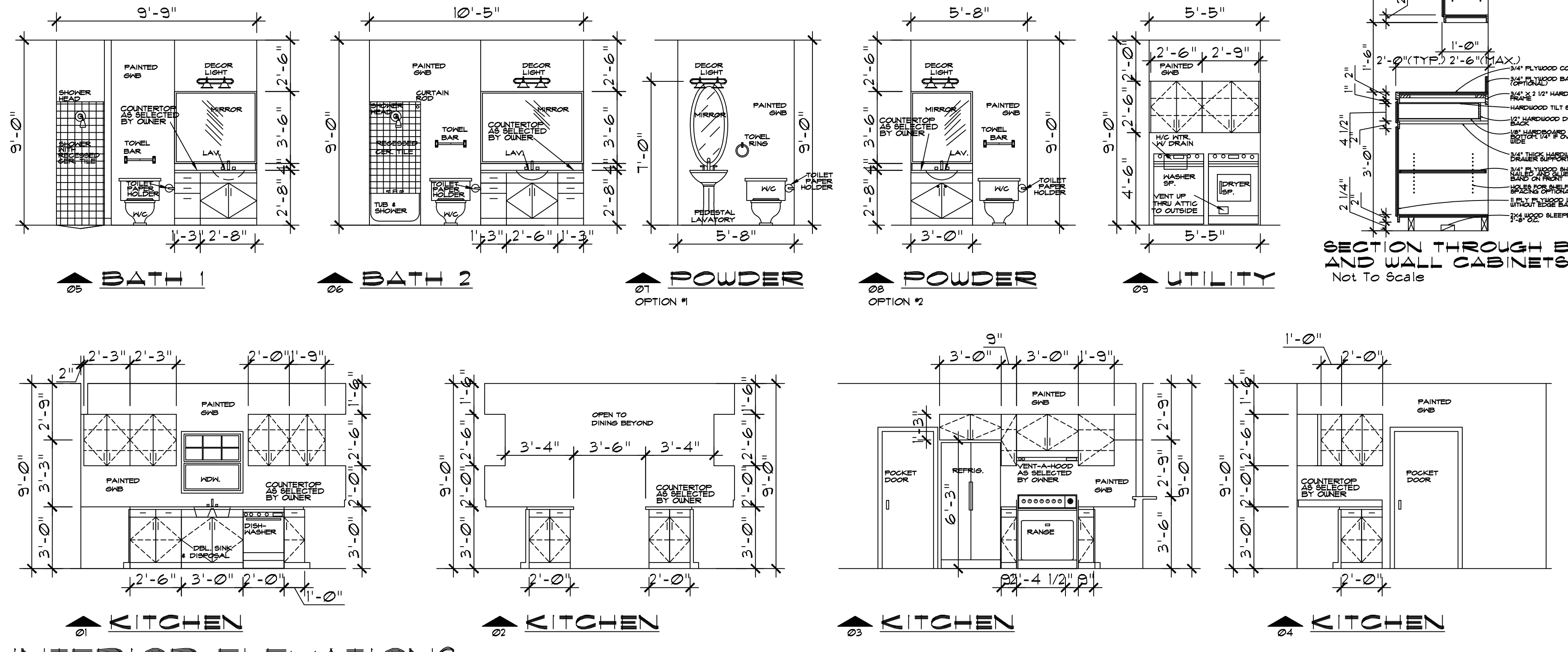
HEADER SCHEDULE		STL. LINTEL SCHEDULE	
SPAN	SIZE	SPAN	SIZE
4'-0" TO 5'-0"	2-2x6's	4'-0" OR LESS	2 1/2"x3 1/2"x5/16"
5'-0" TO 6'-1"	2-2x8's	6'-0"	4 1/4"x3 1/2"x5/16"
6'-1" TO 8'-4"	2-2x10's	8'-0"	5 1/4"x3 1/2"x5/16"
8'-4" TO 10'-2"	2-2x12's	10'-0"	6 1/4"x3 1/2"x5/16"
10'-2" TO 15'-0"	2-2x12's w/ PLYWOOD GUSSET		

NOTE: ALL HEADERS & FIRST FLOOR OF TWO STORY HOUSE TO BE 2x12's WHEN THERE IS A FLOOR ABOVE, UNLESS OTHERWISE NOTED

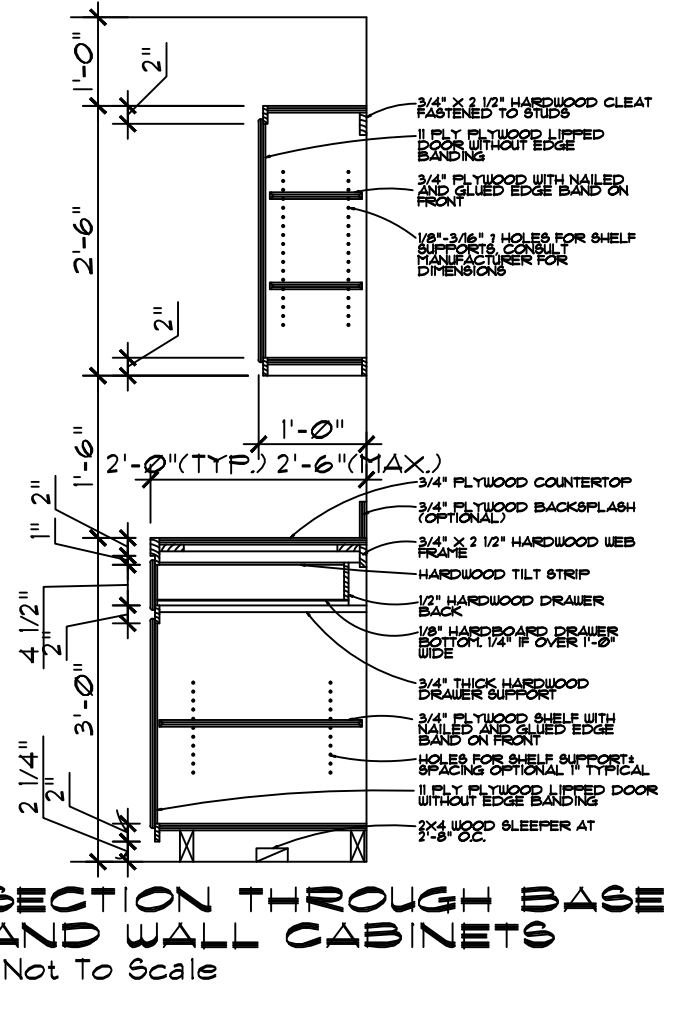
- Notes**
- Countertops and backslashes: "Formica" color, pattern/finishes as selected by owners.
 - Ceramic tile flooring and walls: Tile color and patterns as selected by owners.
 - Verify all millwork dimensions prior to fabrication. Cabinet styles, finishes, hardware as selected as per owner.
 - Owner chosen textured finish at gypsum walls and ceilings.
 - Verify All Appliance Dimensions Prior to purchase of all millwork typical.
- FLOOR PLAN NOTES**
- CONTRACTOR IS TO CONFIRM ANY DISCREPANCIES ON PLANS WITH THE HOME OWNER PRIOR TO MAKING CHANGES REGARDING THE CONSTRUCTION.
 - ALL VENTS, FLUES & ROOF JACKS SHALL NOT BE VISIBLE FROM FRONT OF HOUSE.
 - ALL WINDOW HEADERS ARE TO BE SET AT 6'-0" ABOVE FINISHED FLOOR UNLESS OTHERWISE
 - ALL EXTERIOR ELECTRICAL OUTLETS, BATH OUTLETS AND KITCHEN OUTLETS TO BE GROUND FAULT INDICATOR CIRCUIT.
 - ALL OUTLETS LOCATED PER CODE.
 - INSTALL GREEN BOARD ON ALL TILED WALLS.
 - CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT JOB SITE. DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OF PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT CONSTRUCTION.



TYP. WALL SECTION
SCALE: 3/8"=1'-0"



INTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"



SECTION THROUGH BASE AND WALL CABINETS
Not to Scale

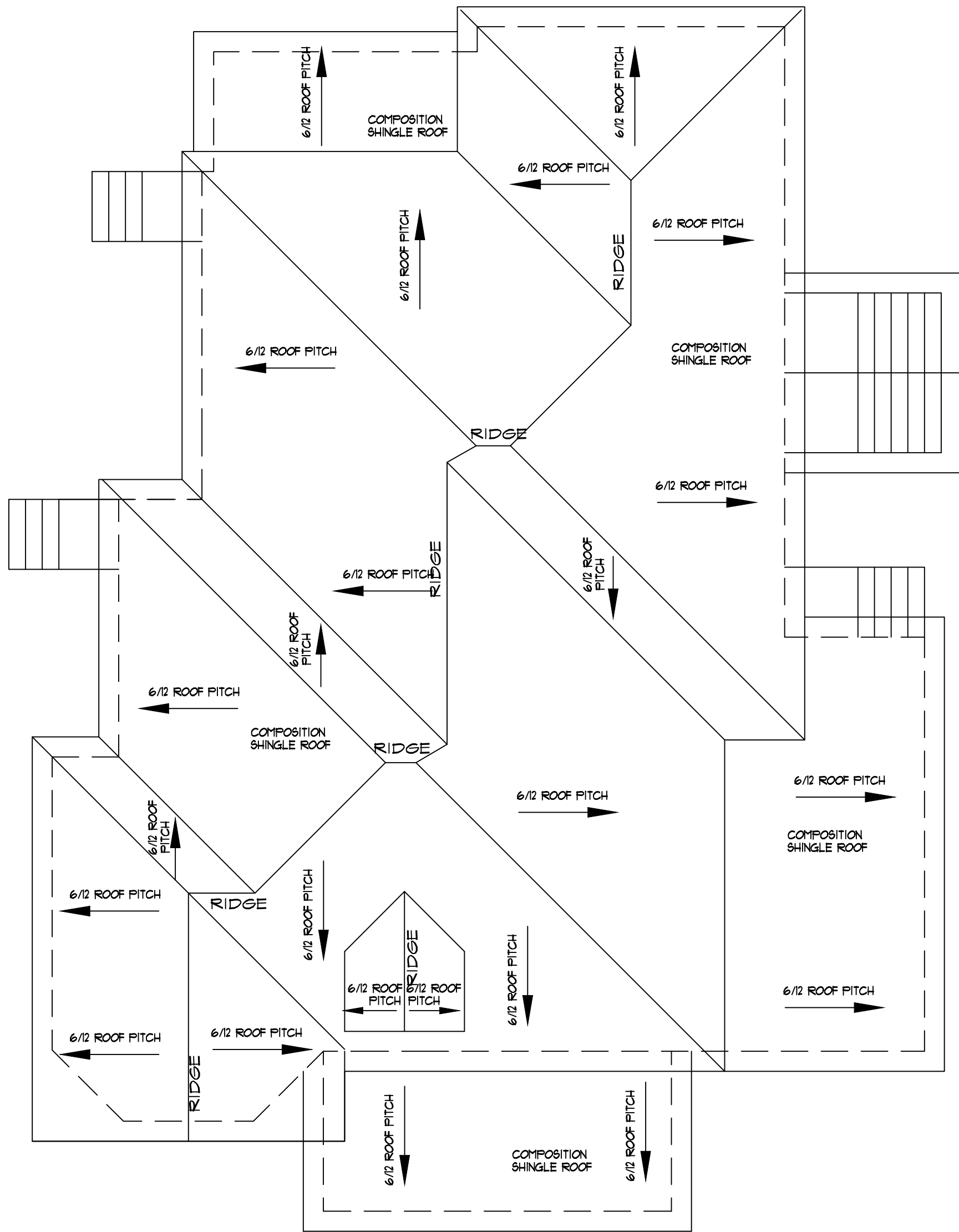
A Remodel and Addition to A Residence at

831 Burleson
San Antonio, Texas 78202

Firm Name and Address
Custom Designs
Ray Guajardo
(214) 332-4400

Project Name and Address
831 BURLESON ST.
LOTS - 23 & 24
NEW CITY BLOCK 1301
ZONE RM-5
DIGNITY HILL HISTORIC DISTRICT
CITY OF SAN ANTONIO
BEXAR COUNTY, TEXAS

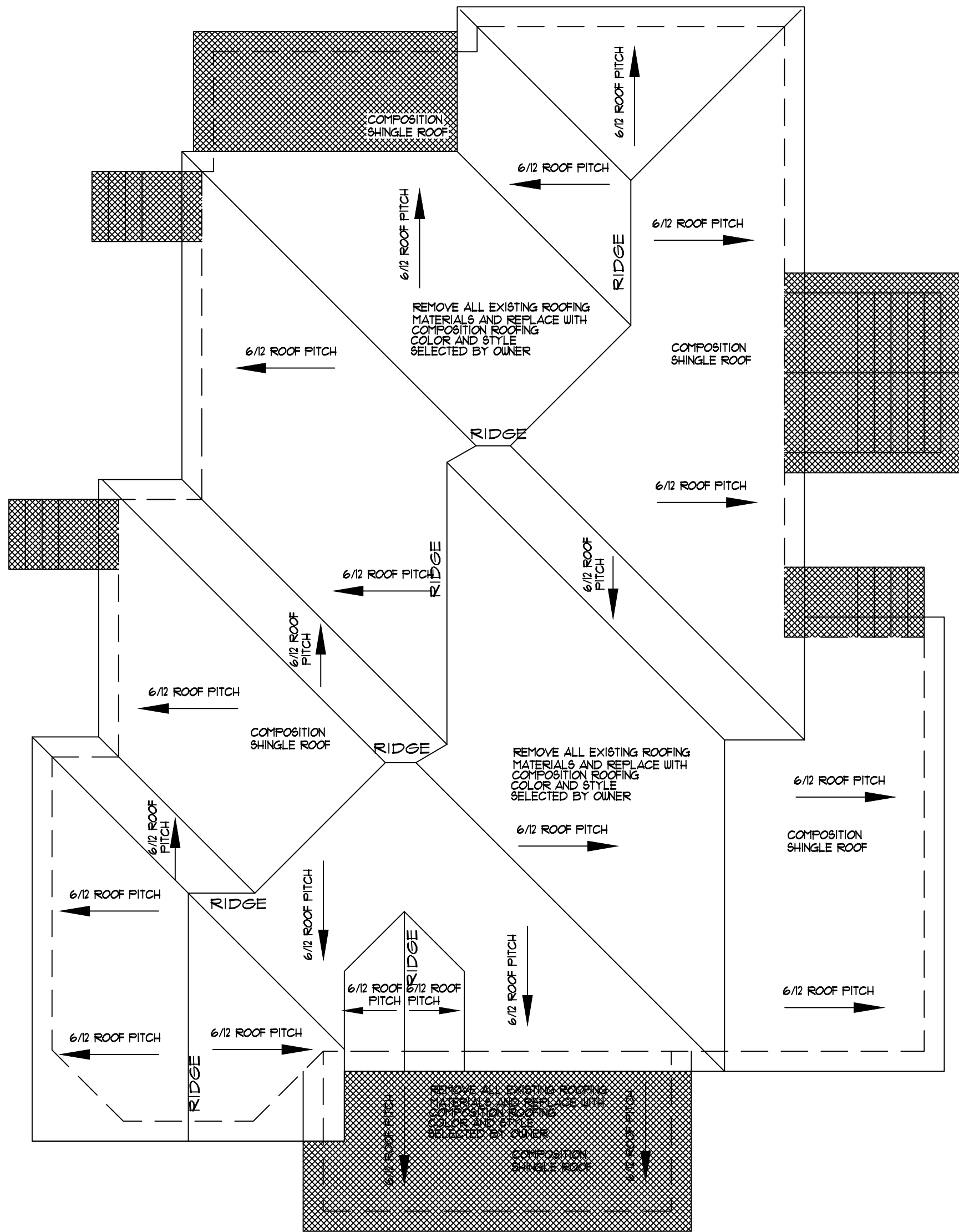
Project Sheet
Date 15 AUG 2019
Scale of 8
A5



ROOF PLAN - EXISTING

SCALE: 3/16"=1'-0"

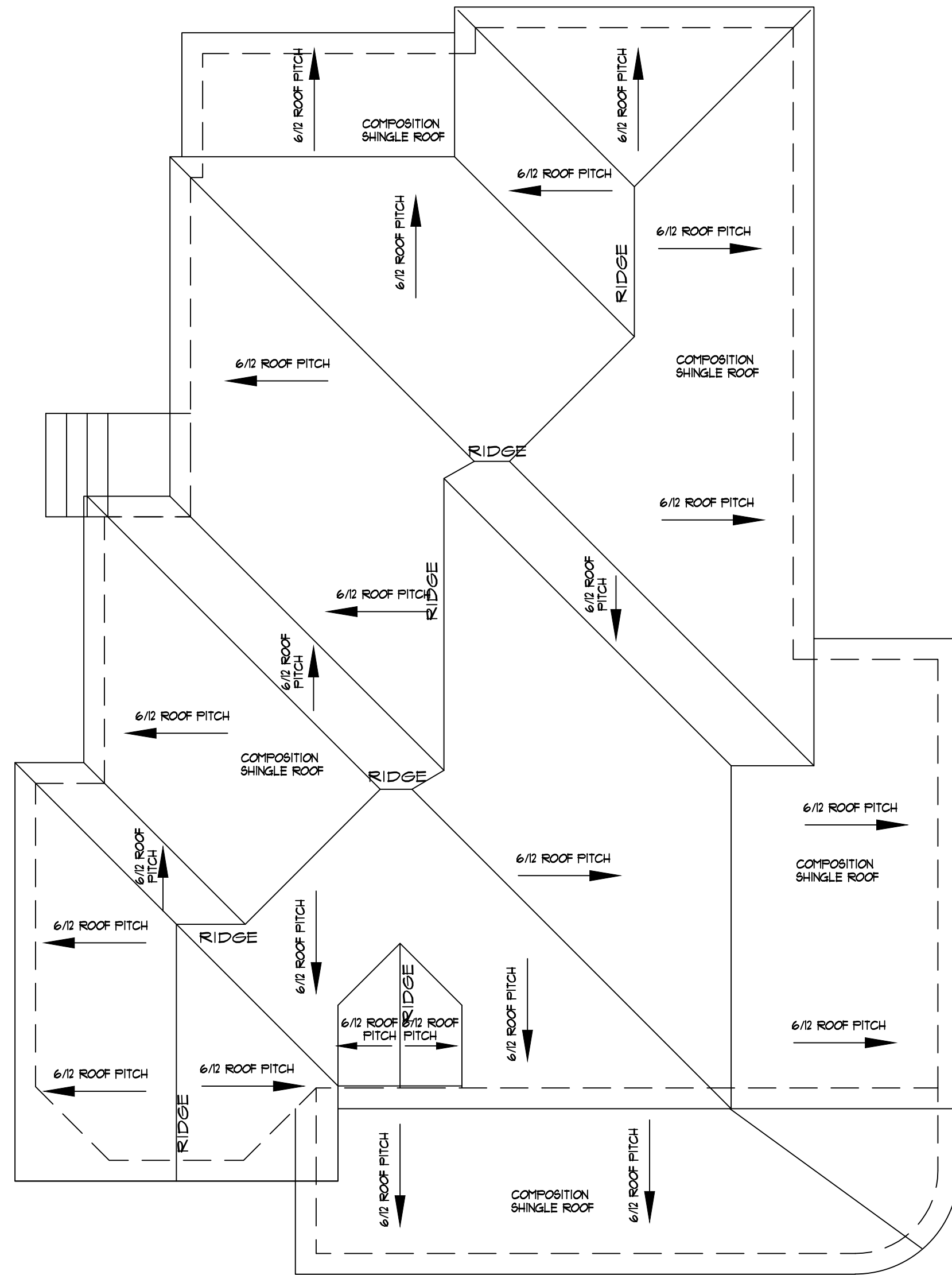
NOTE:
ALL ROOF LINE LOCATIONS ARE SHOWN
AT AN APPROPRIATE LOCATION AND
ROOF PITCH MAY BE SUBJECT TO CHANGE
AS PER CONTRACTOR AND STRUCTURAL
INTEGRITY OF FRAMING MEMBERS.



ROOF PLAN - DEMOLITION

SCALE: 3/16"=1'-0"

NOTE:
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AT AN APPROPRIATE LOCATION AND
ROOF PITCH MAY BE SUBJECT TO CHANGE
AS PER CONTRACTOR AND STRUCTURAL
INTEGRITY OF FRAMING MEMBERS.



ROOF PLAN

SCALE: 3/16"=1'-0"

NOTE:
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AT AN APPROPRIATE LOCATION AND
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AS PER CONTRACTOR AND STRUCTURAL
INTEGRITY OF FRAMING MEMBERS.

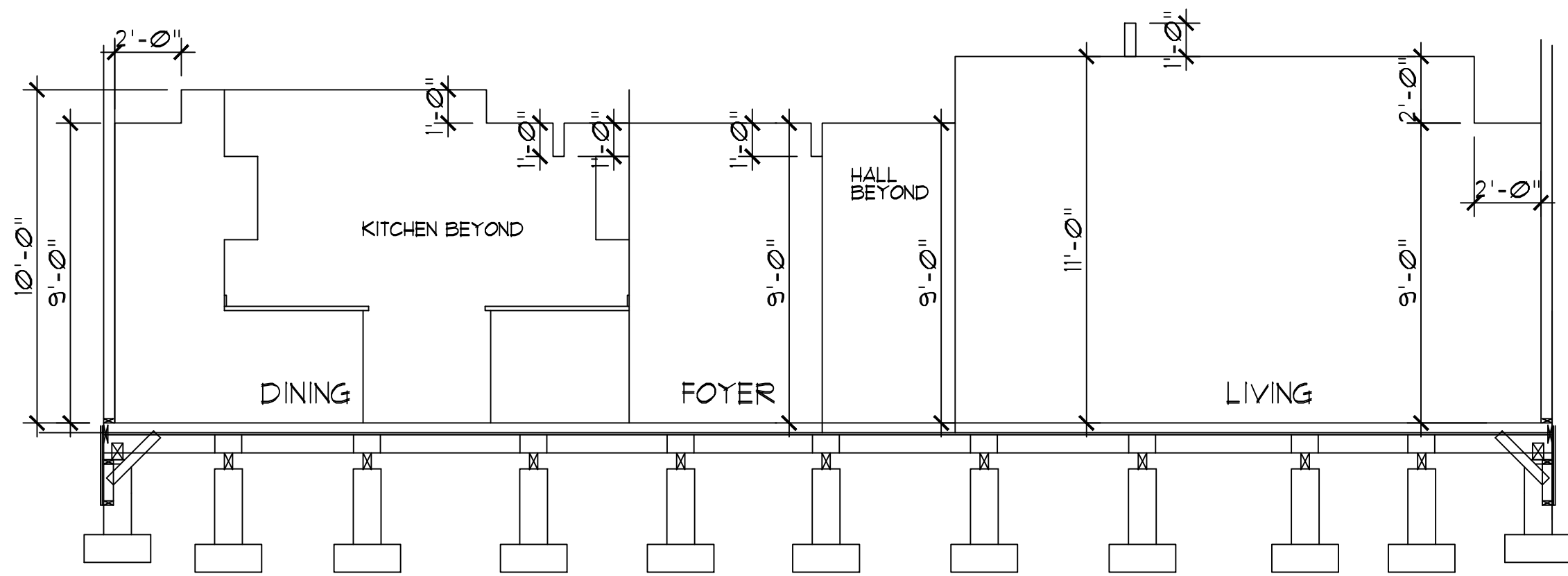
A Remodel and Addition to
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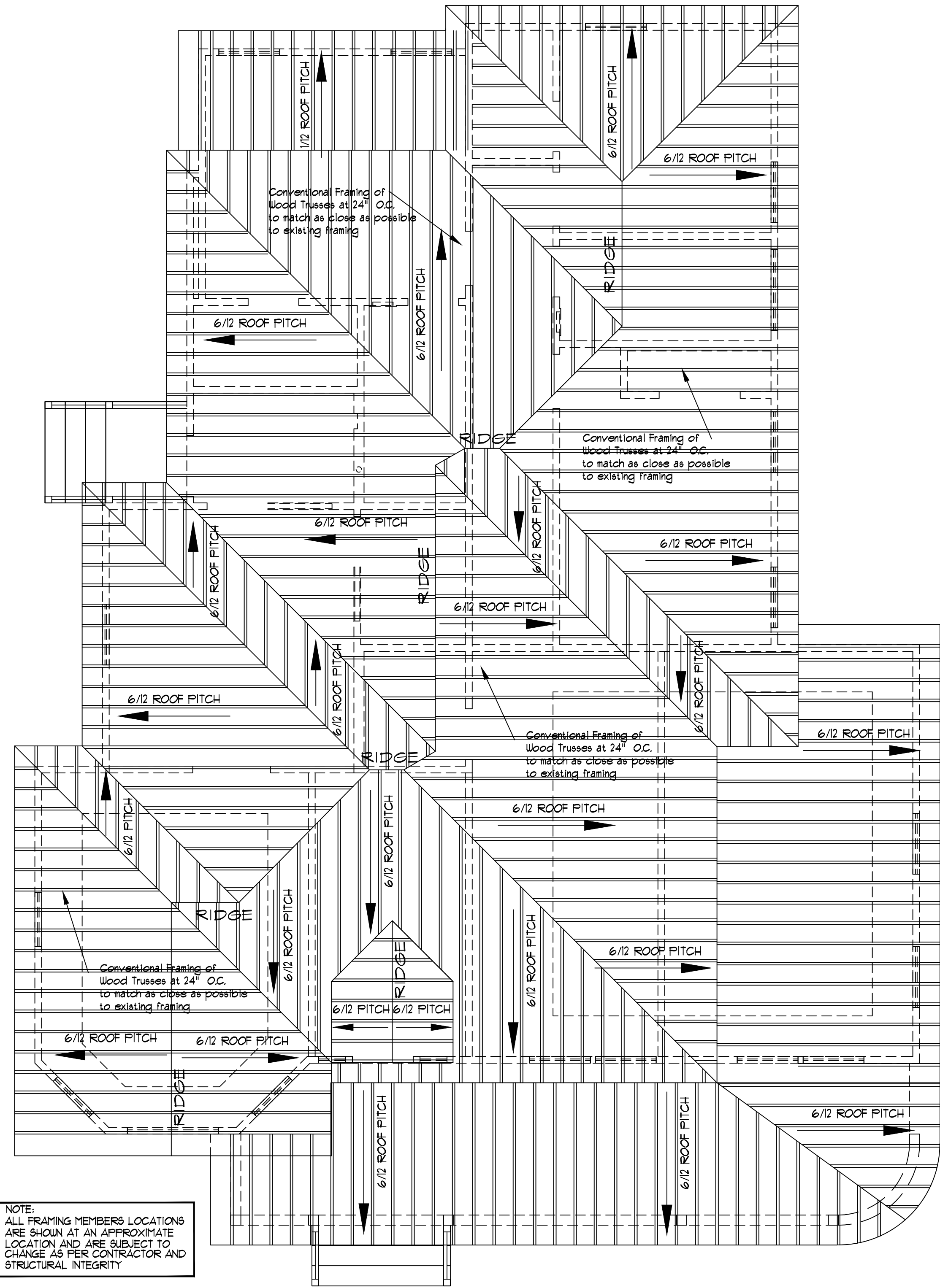
Project Name and Address
831 BURLESON ST.
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CITY OF SAN ANTONIO
BEXAR COUNTY, TEXAS

Project
Date
15 AUG 2019
Scale
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of 8



BUILDING SECTION

SCALE: 1/4"=1'-0"



NOTE:
ALL FRAMING MEMBERS LOCATIONS
ARE SHOWN AT AN APPROXIMATE
LOCATION AND ARE SUBJECT TO
CHANGE AS PER CONTRACTOR AND
STRUCTURAL INTEGRITY

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

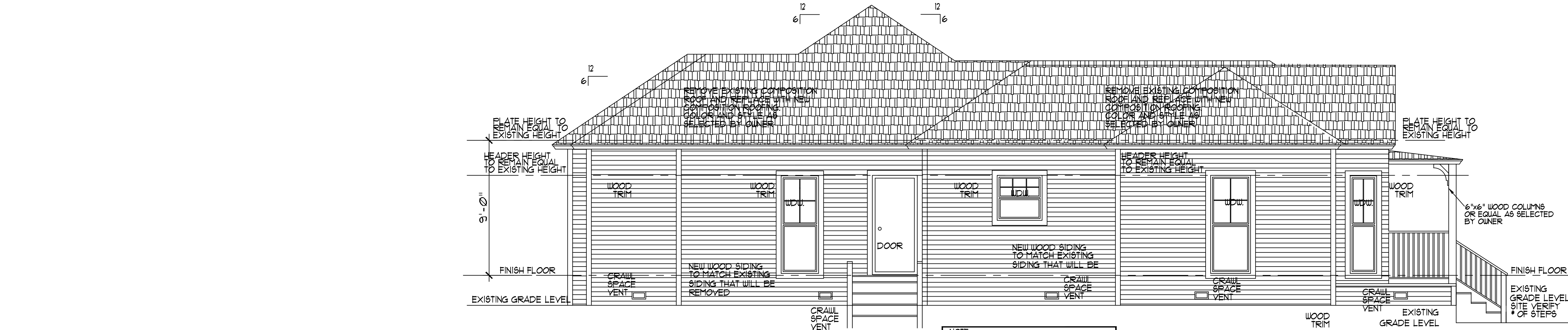
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Project Name and Address
831 BURLESON ST.
LOTS - 23 & 24
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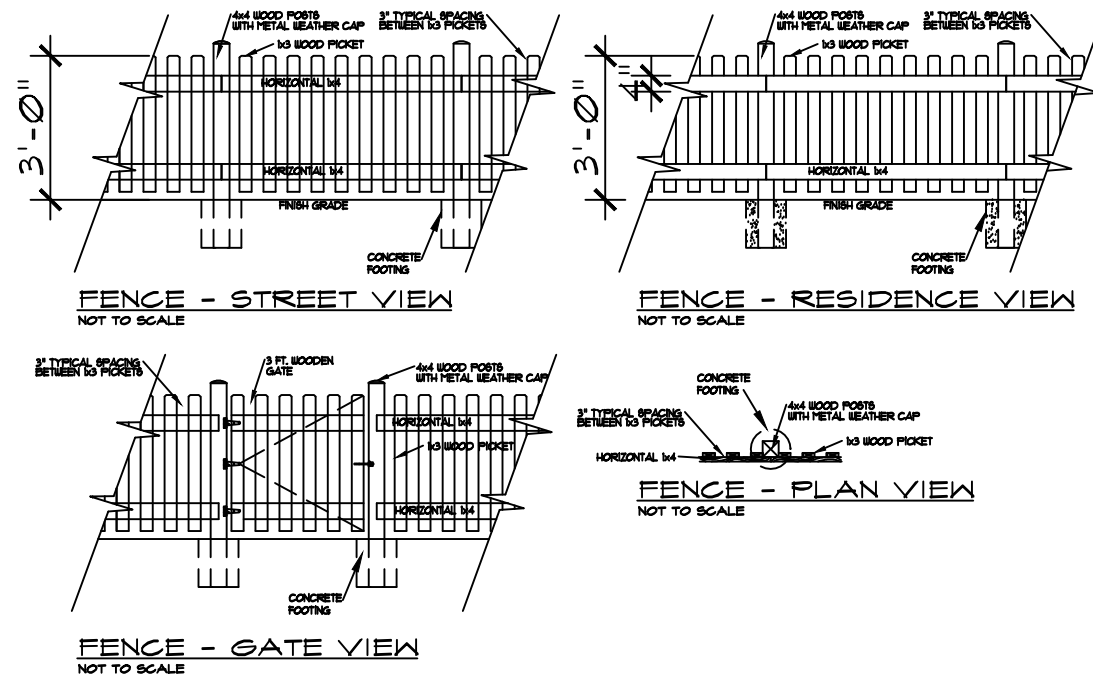
Project	Sheet
Date 15 AUG 2019	A7
Scale	
of 8	



LEFT SIDE ELEVATION

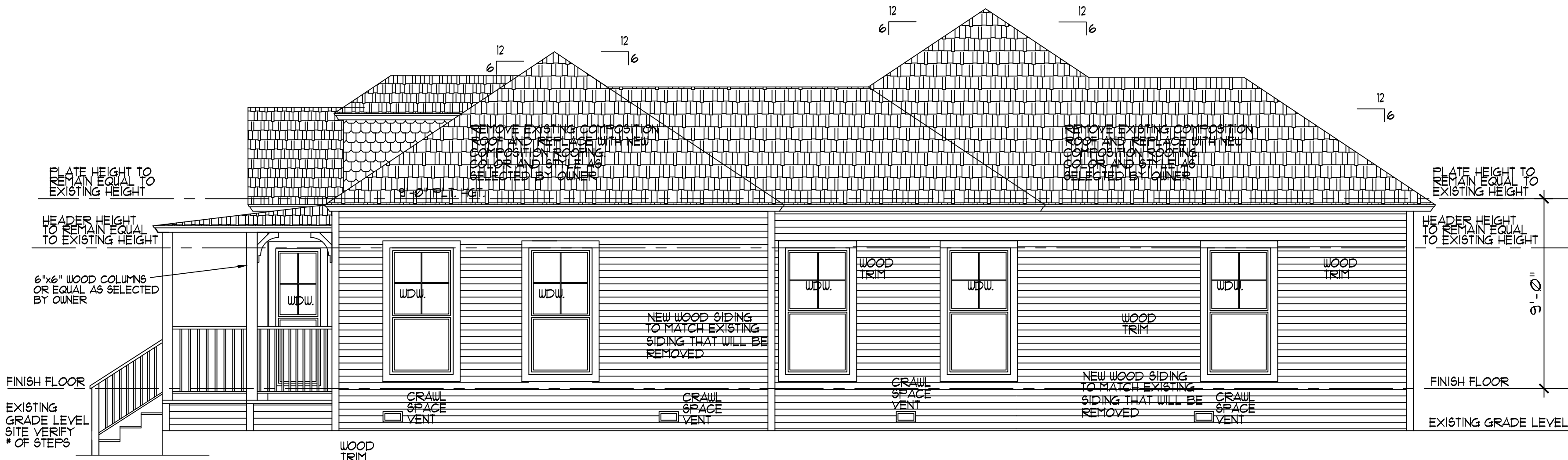
SCALE: 1/4"=1'-0"

NOTE:
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AS PER CONTRACTOR AND STRUCTURAL
INTEGRITY OF FRAMING MEMBERS.



ELEVATION NOTES

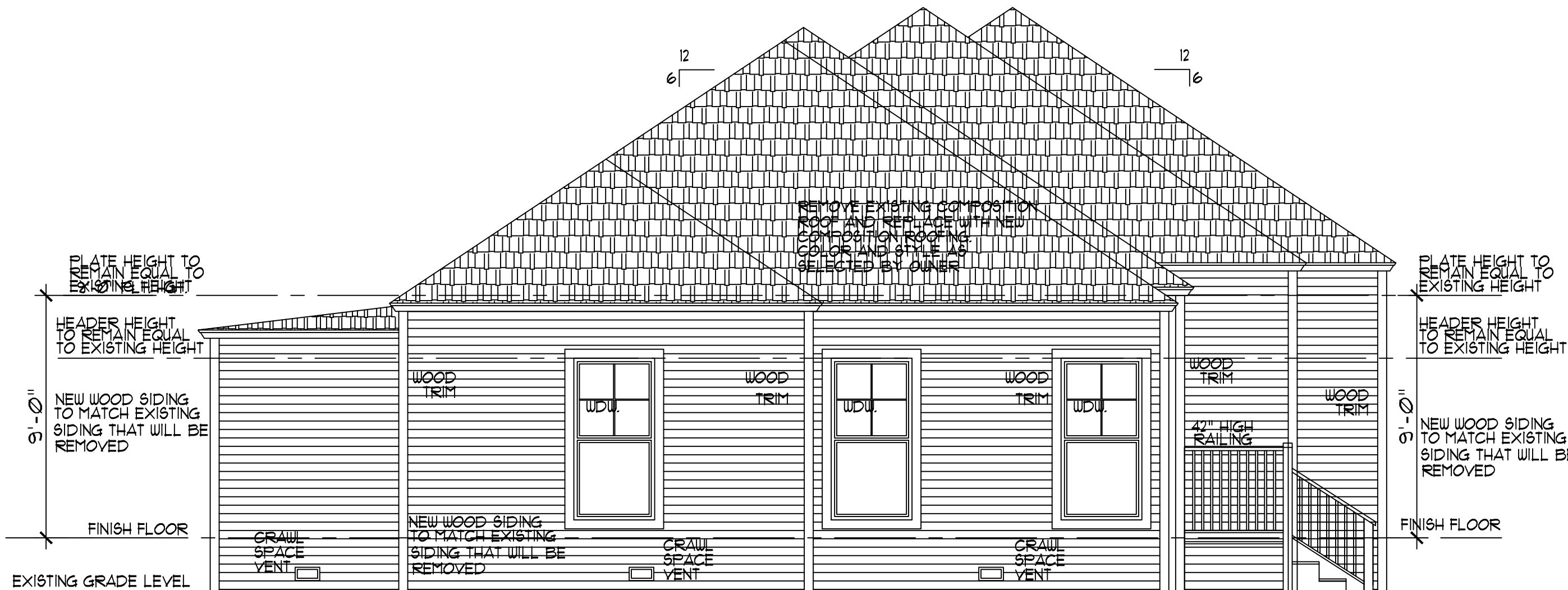
1. ROOF TO BE COMPOSITION ROOFING
ROOF TYPE SEL. BY OWNER
2. FASCIA TO BE 2"x 8" THRU-OUT HOUSE.
3. ROOF DECKING TO BE 1/2" CDX PLYND.
INSTALL ALL DECKING W/ 1/2" DECKING CLIPS.
4. RF. OVERHANG TO BE BOXED, WIDTH AS PER
ROOF PLAN AND W/ 3" CONTINUOUS ALUM. VENT STRIP.
5. ALL VENTS & EXHAUST VENTS, ETC. TO VENT TO
OUTSIDE AND TO THE REAR OF THE HOUSE IF POSSIBLE.
6. ROOF VENTILATION TO BE PROVIDED EITHER BY
RIDGE VENT STRIP OR ROOF TURBINES.



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
ALL ROOF LINE LOCATIONS ARE SHOWN
AT AN APPROXIMATE LOCATION AND
ROOF PITCH MAY BE SUBJECT TO CHANGE
AS PER CONTRACTOR AND STRUCTURAL
INTEGRITY OF FRAMING MEMBERS.



REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
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AT AN APPROXIMATE LOCATION AND
ROOF PITCH MAY BE SUBJECT TO CHANGE
AS PER CONTRACTOR AND STRUCTURAL
INTEGRITY OF FRAMING MEMBERS.



FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
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ROOF PITCH MAY BE SUBJECT TO CHANGE
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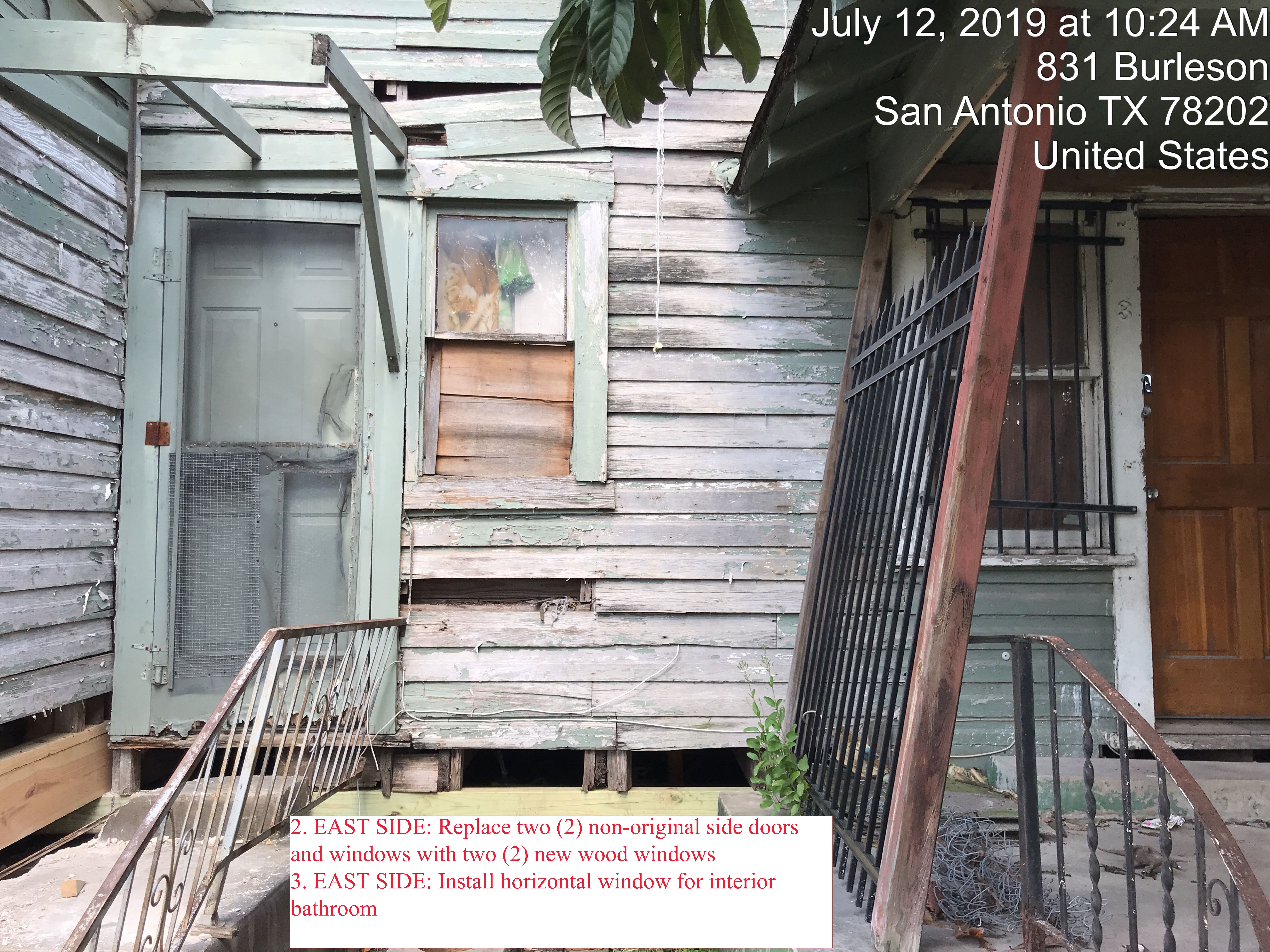
Project
Date
15 AUG 2019
Scale
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July 12, 2019 at 10:25 AM
585-615 Muncey
San Antonio TX 78202
United States



1. FRONT: Extend the front porch including a roof addition, creating a full width porch

July 12, 2019 at 10:24 AM
831 Burleson
San Antonio TX 78202
United States



2. EAST SIDE: Replace two (2) non-original side doors and windows with two (2) new wood windows
3. EAST SIDE: Install horizontal window for interior bathroom

July 12, 2019 at 10:25 AM
831 Burleson
San Antonio TX 78202
United States



2. EAST SIDE: Replace two (2) non-original side doors and windows with two (2) new wood windows
3. EAST SIDE: Install horizontal window for interior bathroom

4. WEST SIDE: Remove non-historic side door and corner window
5. WEST SIDE: Modify existing square window for interior kitchen

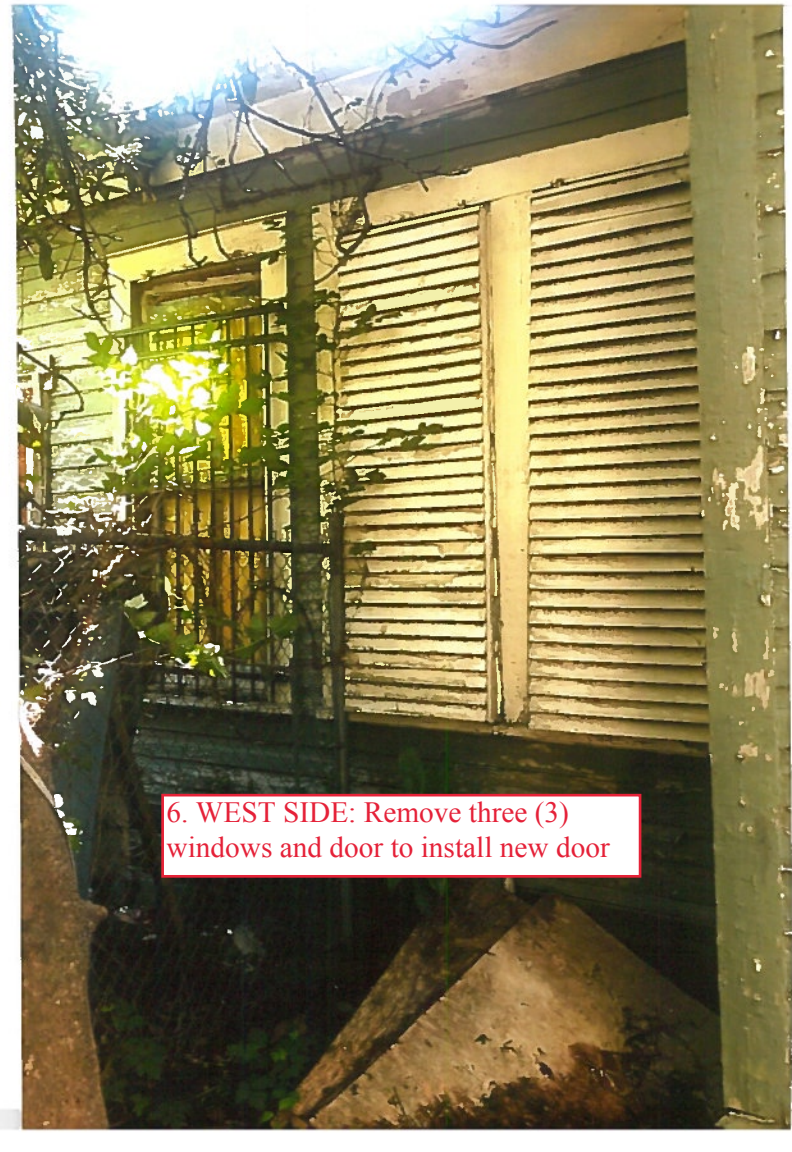


4. WEST SIDE: Remove non-historic side door and corner window
5. WEST SIDE: Modify existing square window for interior kitchen



4. WEST SIDE: Remove non-historic side door and corner window





6. WEST SIDE: Remove three (3) windows and door to install new door

July 12, 2019 at 10:22 AM
812 Burleson
San Antonio TX 78202
United States



ITEM 6: WEST SIDE: Remove three (3) windows and door to install new door

July 12, 2019 at 10:23 AM
813 Burleson
San Antonio TX 78202
United States

ITEM 6 - WEST SIDE - Remove (3)
windows and DOOR to install new door.