

HISTORIC AND DESIGN REVIEW COMMISSION

September 18, 2019

HDRC CASE NO: 2019-531
ADDRESS: 1518 E GRAYSON ST
LEGAL DESCRIPTION: NCB 1258 BLK LOT A3
ZONING: C-2 IDZ, H
CITY COUNCIL DIST.: 2
DISTRICT: Government Hill Historic District
APPLICANT: Timothy Cone
OWNER: Tim Sanford/1518 GRAYSON LLC
TYPE OF WORK: Exterior modifications, Historic Tax Certification
APPLICATION RECEIVED: September 06, 2019
60-DAY REVIEW: November 04, 2019
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace the existing, non-original façade with a brick façade to match the existing, original brick that remains on portions of the façade. Many brick elements that are currently existing are not original, including window sills and pony walls.
2. Replace the existing, non-original storefront system with a glazed aluminum storefront system.
3. Install a new street canopy to replace the existing, non-original street canopy on the north and west elevations.
4. Install a new covered patio on the west elevation.
5. Receive Historic Tax Certification.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character defining features such as cornice molding, upper-story windows, transoms, display windows, kick plates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

i. Existing canopies and awnings—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.

ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

FINDINGS:

- a. The applicant has proposed a number of rehabilitative scopes of work to the historic structure at 1518 E Grayson, located within the Government Hill Historic District. The structure previously featured a non-original stucco façade over the historic brick, and modified façade elements including entrances and storefront systems. An Administrative Certificate of Appropriateness was issued on February 19, 2019, for the demolition of the rear warehouse located on this lot. That structure was found to be non-contributing by OHP staff.
- b. **FAÇADE MODIFICATIONS** – The structure currently features many non-original façade elements, including entrances and storefront elements. The applicant has proposed to install a new brick façade to feature decorative brick courses, a stone parapet cap, and uniform façade depths on both the north and west elevation. A decorative façade previously did not exist on the west elevation. The Guidelines for Exterior Maintenance and Alterations 10.B.ii. notes that non-historic facades should be returned to the original design based on photographic evidence. When evidence of the original is not available, the scale, design, materials, color and texture are to be compatible to those of the historic building. Generally, staff finds that the proposed design is appropriate and consistent with the Guidelines.
- c. **STOREFRONT SYSTEM** – The applicant has proposed to replace the existing, non-original storefront system. The applicant has proposed a glazed aluminum storefront system to feature pony walls and transom lights that are located and scaled appropriately; however, staff finds that the storefront system beneath the transom should not feature multiple vertical storefront panels. Staff finds that the proposed storefront system should feature dark mullions and frames.
- d. **CANOPY** – The applicant has proposed to install a new street canopy on both the north and west facades to replace the existing, non-original canopy. The Guidelines for Exterior Maintenance and Alterations 11. B.ii. notes that new canopies should be added based on accurate evidence of the original, such as photographs. If this evidence does not exist, the design of new canopies should be based on the architectural style of the building. Generally, staff finds the proposed canopy to be appropriate and consistent with the Guidelines.
- e. **COVERED PATIO** – Toward the rear of the west elevation, the applicant has proposed to construct a covered patio for outdoor patio seating. Staff finds this to be appropriate.
- f. **HISTORIC TAX CERTIFICATION** – The applicant has submitted an itemized list of costs that meets the threshold to be eligible for Historic Tax Certification. Additionally, applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer.

RECOMMENDATION:

Staff recommends approval based on findings a through f with the following stipulations:

- i. That the proposed storefront system feature dark frames and mullions, and that only one vertical storefront panel should be installed beneath the canopy, rather than one large and one small panel beneath the canopy as proposed.



LEGACY
TOURS AND TOURS
(810) 212-8958

LOUNGE

LOANS & BARGAINS
PAWN SHOP
"WE APPRECIATE YOUR BUSINESS"

Security
1518 E. GRAYS

1524 1st Battalion

Welcome
Soldier
Medics

AIRBORNE
101st





**NO
SMOKING**

METER

Narrative of Proposed Work for 1518 Grayson Street

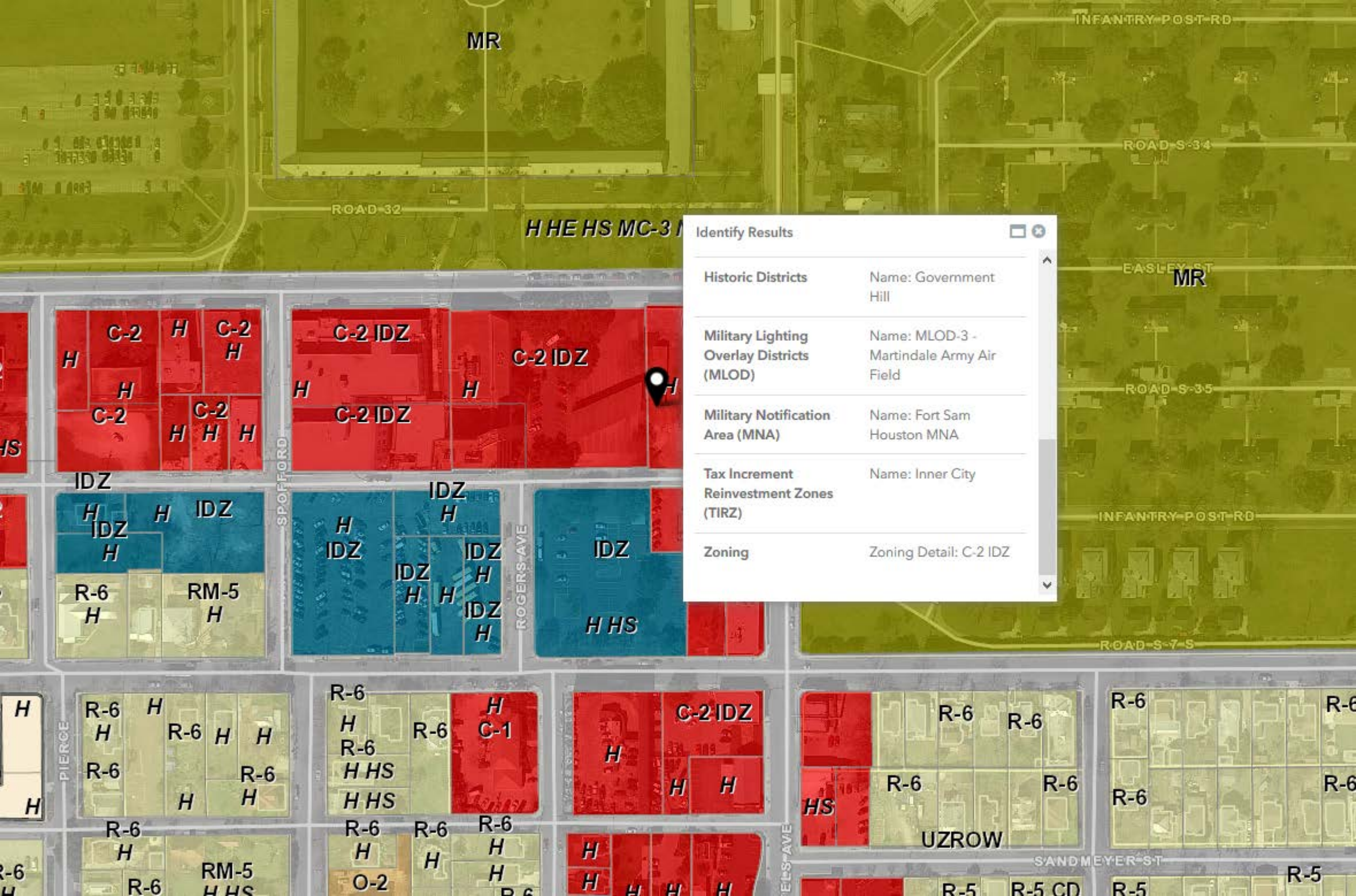
1518 Grayson, LLC (the “Owner”) purchased the property located at 1518 E. Grayson Street, San Antonio, TX, 78208. (the “Property”) on September 20, 2018 for the purpose of rehabilitation and future rental.

During the Owner’s due diligence period while the Property was under contract, it was discovered that the groundwater was impacted by dry-cleaning chemicals that were found to have traveled to the property from off-site. The Owner worked with Terracon, an environmental engineer, to properly identify and come up with a mitigation plan for the environmental concerns. The Owner enrolled in the Texas Commission on Environmental Quality (“TCEQ”) voluntary clean-up program (“VCP”) in February of 2019. The Owner and Terracon have worked through the VCP to remediate and remove impacted materials, and their efforts had been approved by TCEQ in May of 2019. Owner expects to receive a certificate of completion of the VCP program from TCEQ in August of 2019. Said certificate will be recorded in the Bexar County Clerk of Court’s office for public record.

A historic assessment was completed by the City of San Antonio (“COSA”) on January 19, 2018, to evaluate the historic features of the Property. It had been determined by COSA that the back-warehouse portion of the property (“Building 2”) was not a contributing element to the historic nature of the property because most of the original material had been removed. Building 2 was in poor condition and the Owner decided to demolish it in order to create more off-street parking for the Property and neighboring office building. Building 2 was demolished in its entirety in May and June of 2019 in concert with the removal of impacted soil pursuant to the VCP plan initiated by Owner and Terracon described above.

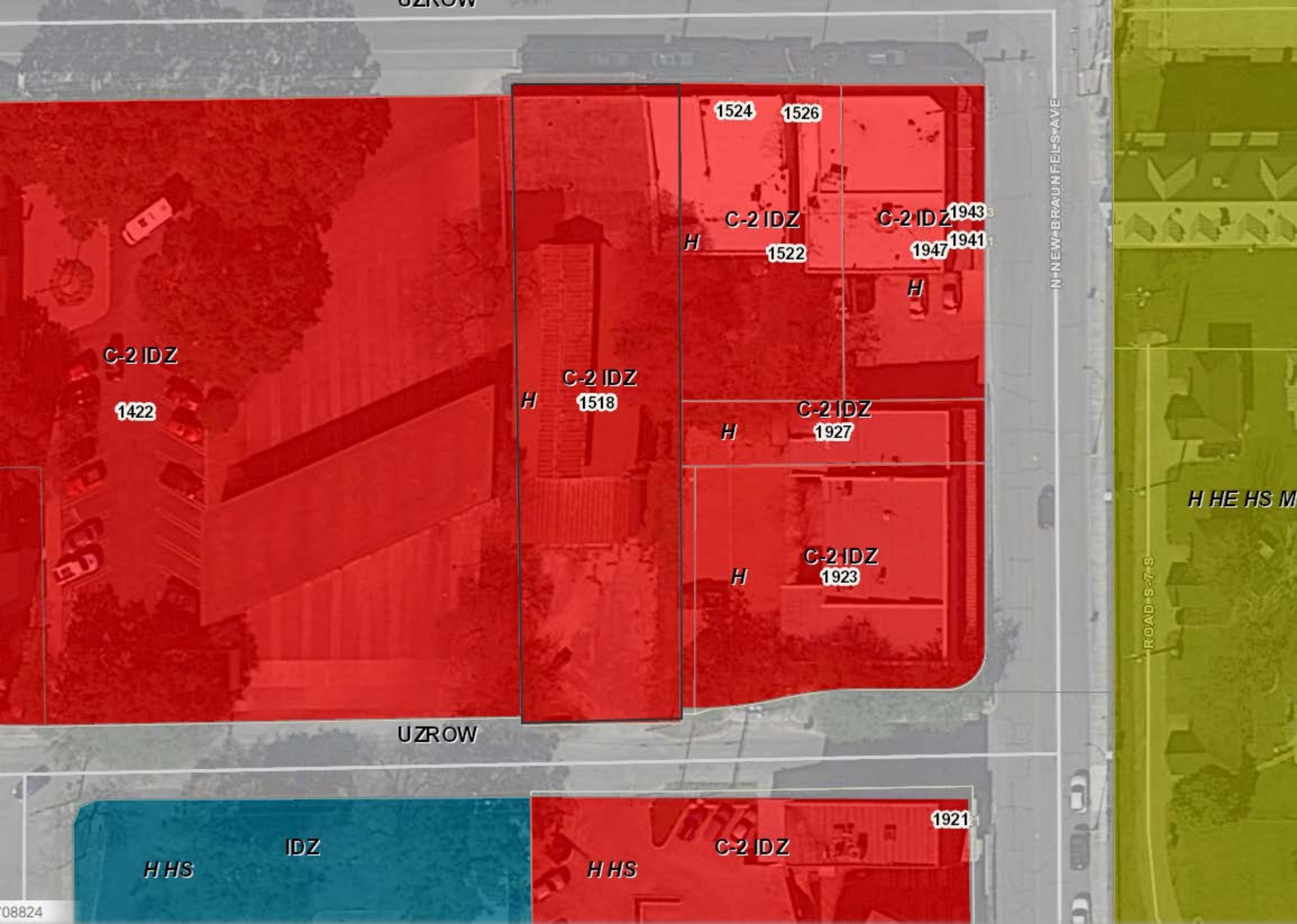
The design considerations for the rehabilitation of the exterior of the property intend to mimic the more historic features most prevalent on the neighboring retail properties fronting New Braunfels Avenue, by restoring the clerestory windows, red brick, and cantilevered awning, among other considerations, as can be seen in the provided renderings by Creo Architects. Preliminary Schematic Design has been approved by the Historic Design Review Commission of the COSA. Owner is currently working on finalizing lease negotiations with an up-scale restaurant operator for the Property. The proposed lease contemplates interior tenant improvements for said operator.

The construction time schedule includes a projected start date of October 2019 and projected completion date of May 2020.



Identify Results

Historic Districts	Name: Government Hill
Military Lighting Overlay Districts (MLOD)	Name: MLOD-3 - Martindale Army Air Field
Military Notification Area (MNA)	Name: Fort Sam Houston MNA
Tax Increment Reinvestment Zones (TIRZ)	Name: Inner City
Zoning	Zoning Detail: C-2 IDZ



UZROW

N-NEW BRAUNFELS AVE

H HE HS M

ROAD S-7-S

UZROW

RENDER



Sheet List		
Discipline	Sheet Number	Sheet Name
00 GENERAL	G000	COVER SHEET
01 STRUCTURAL	S100	TYP. ABBREV., SYM., PLAN NOTES @ GENERAL NOTES
01 STRUCTURAL	S102	GENERAL NOTES
01 STRUCTURAL	S200	SITE PLAN
01 STRUCTURAL	S201	CANOPY FOUNDATION FRAMING PLAN
01 STRUCTURAL	S202	CANOPY ROOF FRAMING PLAN
01 STRUCTURAL	S310	CONCRETE SECTIONS
01 STRUCTURAL	S400	TYPICAL STEEL DETAILS
01 STRUCTURAL	S401	TYPICAL STEEL DETAILS
01 STRUCTURAL	S410	STEEL SECTIONS
01 STRUCTURAL	S411	STEEL SECTIONS
02 ARCHITECTURAL	A001	SYMBOLS
02 ARCHITECTURAL	A110	FLOOR PLAN
02 ARCHITECTURAL	A100	SITE PLAN
02 ARCHITECTURAL	A002	ADA
02 ARCHITECTURAL	A200	EXTERIOR ELEVATIONS
02 ARCHITECTURAL	A900	PERSPECTIVES
02 ARCHITECTURAL	A300	BUILDING SECTIONS
02 ARCHITECTURAL	A140	ROOF PLAN
02 ARCHITECTURAL	A400	PLAN DETAILS
02 ARCHITECTURAL	A502	EXTERIOR DETAILS
02 ARCHITECTURAL	A501	EXTERIOR DETAILS
02 ARCHITECTURAL	A130	ELECTRICAL PLAN
02 ARCHITECTURAL	A600	SCHEDULES & PARTITION TYPES
02 ARCHITECTURAL	A003	LIFE & SAFETY PLAN
02 ARCHITECTURAL	A201	EXTERIOR ELEVATIONS

PROJECT SUMMARY

PROPOSED RENOVATION OF AN EXISTING 1 STORY BRICK AND CMU BUILDING. WORK INCLUDES INTERIOR REMODEL AND EXTERIOR IMPROVEMENTS.

BUILDING INFORMATION

CLIENT..... PARADIGM MANAGMENT COMPANY

ADDRESS.....1518 E GRAYSON ST.
San Antonio, Texas 78208

LOT DESCRIPTION.....LOT A-3 N.C.B. 1258
0.3265 ACRES
VOL: 8569 PG: 1565 (O.P.R)

BASE ZONING..... C-2 IDZ

TOTAL GROSS AREA..... 3, 285 SQFT

APPLICABLE CODES

BUILDING CODE..... 2018 IBC

FIRE CODE..... 2018 IFC

MECHANICAL CODE..... 2018 IMC

PLUMBING CODE..... 2018 IPC

ELECTRICAL CODE..... 2017 NEC

ENERGY CODE..... 2018 IECC

EXISTING BUILDING CODE..... 2018 IEBC

CODE ANALYSIS

TYPE OF CONSTRUCTION..... EXISTING V B

NUMBER OF STORIES..... 1

PRIMARY OCCUPANCY..... A-2 (RESTAURANT)

FIRE RATING CALCULATIONS

FIRE SUPRESSION.....FULLY SPRINKLED

TYPE IIIB RESISTANCE RATINGS TABLE 601/602, 1020.1 2018 IBC

EXTERIOR BEARING WALLS.....0HR

INTERIOR BEARING WALLS.....0HR

INTERIOR NONBEARING WALLS.....0HR

FLOOR/ROOF CONSTRUCTION.....0HR

CORRIDOR.....0 HR(PER IBC 1020.1)

PLUMBING COUNT

PER CHAPTER 29 OF 2018 IBC			
OCCUPANT LOAD:			
(DINING AREA) 1,957 SF (NET) / 15 = 131			
(OUTDOOR SEATING) 207 SF (NET) / 15 = 14			
(KITCHEN) 877 SF (GROSS) / 200 = 5			
150 TOTAL			
PLUMBING COUNT (LVL 1 TENANT SPACE) 150/2 = 75	TABLE 2902.1 2018 IBC	REQD.	PROVIDED
	75 WOMEN	1/75=1	1
	75 MEN	1/75=1	1
TOTAL:		1 WC (MEN)	
		1 WC (WOMEN)	

GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETINS, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCE, A.D.A., T.A.S AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT. OWNER WILL PAY FOR BUILDING PERMIT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
- ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICTS BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURE AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, FAX MACHINE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN TEN DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN FOUR COPIES.
- THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
- ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH TWO PART SEALANT EACH SIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ONE COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS, ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.
- SPECIAL INSPECTIONS NOTE:
AT THE COMPLETION OF CONSTRUCTION, A FINAL REPORT OF REQUIRED SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSIONAL ENGINEER SHALL BE SUBMITTED TO THE CITY OF SAN ANTONIO UNTIL THIS FINAL REPORT IS RECEIVED. REFER TO DOCUMENT LABELED "DETERMINATION OF REQUIRED SPECIAL INSPECTIONS" AS WELL AS STRUCTURAL SHEET OR REQUIRED INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION THAT ALL REQUIRED INSPECTIONS HAVE BEEN CONDUCTED AND ALL REPORTED NON-COMPLYINGITEMS HAVE BEEN RESOLVED.
- GOVERNING CODE AND FIRE DEPARTMENT, FIELD INSPECTORS SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS.
- ALL EXPOSED ELECTRICAL EQUIPMENT, CONDUITS, PLUMBING LINES, ETC. SHALL BE PAINTED W/ MIN (2) COATS OF PAINT TO MATCH ADJACENT SURFACES.
- KNOX BOX-LOCATE PER LOCAL FIRE DEPARTMENT REQUIREMENTS.

PROJECT LOCATION



51 Essex Street . San Antonio . TX 78210
P.210.943.3777 E. info@creoarc.com
www.creoarc.com

Design Team

Consultant
Address
Address
Phone
Fax
e-mail

Consultant
Address
Address
Phone
Fax
e-mail

CLIENT

NAME: PARADIGM MANAGMENT COMPANY

ADDRESS: 1422 E. Grayson St, Ste 500
San Antonio, TX 78208

PROJECT

1518 EAST GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS		
No.	Description	Date

SHEET TITLE

COVER SHEET

DWG INFO

PROJECT: OPP

ISSUE DATE: 08/26/2019

DRAWN BY: STEVENS

CHECKED BY: FELDMANN

SHEET G000



51 Essex Street . San Antonio . TX 78210

P.210.943.3777 E. info@creoarc.com

www.creoarc.com

Design Team

DATUM ENGINEERS
5021 BROADWAY
SAN ANTONIO, TX, 78209
210-858-2880

Consultant

Address

Address _____
Phone _____

Fax

e-mail

TYPICAL STRUCTURAL ABBREVIATIONS

ALL ABBREVIATIONS SHOWN
ARE NOT NECESSARILY USED

[illegible]

GENERAL NOTES

THE FOLLOWING GENERAL NOTES CONSTITUTE A MAJOR PART OF THE PLANS AND SPECIFICATIONS. STRICT COMPLIANCE WITH THESE NOTES IS ESSENTIAL TO THE PROPER CONSTRUCTION OF THE BUILDING.

1. REFER TO THE PLAN NOTES, LOCATED IN THESE GENERAL NOTES, FOR APPLICATION OF DETAILS WHICH ARE DESIGNATED AS "TYPICAL DETAILS" IN THIS SET OF DRAWINGS.
2. SLEEVES AND BLOCKOUTS REQUIRED FOR PASSAGE OF DUCTWORK, PIPING, DRAINS, CONDUIT, ETC., AND ANCHORS REQUIRED FOR ANCHORING EQUIPMENT AND PIPING ARE NOT GENERALLY INDICATED ON THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL DETERMINE SUCH REQUIREMENTS FROM OTHER SERIES DRAWINGS, SUBCONTRACTORS, AND SUPPLIERS AND SHALL COORDINATE THE LOCATIONS AND DETAILS FOR THESE ITEMS PRIOR TO FABRICATION OR CONSTRUCTION OF THE STRUCTURE. ANY CONFLICTS BETWEEN THESE ITEMS AND THE BUILDING STRUCTURE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
3. VERIFY, OR ESTABLISH, LOCATIONS AND DIMENSIONS OF ALL FRAMED OPENINGS RELATED TO EQUIPMENT OR DUCTWORK, INCLUDING INSULATION, IF ANY. WHERE SUBSTANTIAL RELOCATION OR RECONFIGURATION IS REQUIRED, SUBMIT A DRAWING TO THE ARCHITECT FOR REVIEW.
4. LOCATE EXISTING REINFORCEMENT, USING APPROPRIATE IMAGING EQUIPMENT, PRIOR TO CUTTING OR DRILLING INTO EXISTING CONCRETE. DO NOT CUT OR DAMAGE EXISTING REINFORCEMENT. IF THE REQUIRED OPERATIONS MAKE DAMAGING EXISTING REINFORCING UNAVOIDABLE, INFORM ARCHITECT SO THAT THE CONDITION MAY BE EVALUATED AND ALTERNATIVE DIRECTIONS GIVEN.
5. MATERIALS OR PRODUCTS SUBMITTED FOR APPROVAL WHICH ARE NOT AS SPECIFIED IN THE DOCUMENTS SHALL BE ACCOMPANIED BY A CURRENT ES REPORT (BY ICC EVALUATION SERVICE, INC.) OR ICBO REPORT (BY INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS). MATERIALS OR PRODUCTS THAT DO NOT HAVE AN ES OR ICBO REPORT INDICATING THE SUBSTITUTED MATERIAL OR PRODUCT TO BE EQUAL TO THAT SPECIFIED, WILL NOT BE CONSIDERED.

SHEET LIST	
SHT. NO.	SHEET NAME
S100	TYP. ABBREV., SYM., PLAN NOTES & GENERAL NOTES
S102	GENERAL NOTES
S200	SITE PLAN
S201	CANOPY FOUNDATION FRAMING PLAN
S202	CANOPY ROOF FRAMING PLAN
S310	CONCRETE SECTIONS
S400	TYPICAL STEEL DETAILS
S401	TYPICAL STEEL DETAILS
S410	STEEL SECTIONS
S411	STEEL SECTIONS

[illegible]

SHEET TITLE

TYP. ABBREV., SYM., PLAN
NOTES & GENERAL NOTES

DWG INFO

PROJECT: Project Number

ISSUE DATE: 05/28/19

DRAWN BY: BGV

CHECKED BY: LRR

DWG # S100

DATUM
ENGINEERS
www.datumengineers.com | Co. Reg. No. F-2819
Dallas Austin San Antonio
214-358-0174 512-469-9490 210-858-2880
Datum Project No. 19103

C:\Revit\2019\19103_R19_1518-E-Grayson_Struct_CENTRAL_bernard@datumsa.rvt 8/23/2019 6:03:52 PM

DESIGN LOADS

1. DEAD LOADS INCLUDE THE WEIGHT OF THE STRUCTURAL COMPONENTS AND ALLOWANCES FOR PERMANENT PARTITIONS, PERMANENT FIXTURES, FINISHES, ROOFING, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION MATERIALS SHOWN OR SPECIFIED.

2. LOADINGS FOR MECHANICAL ROOMS ARE BASED ON THE WEIGHTS OF ASSUMED EQUIPMENT, AS INDICATED ON THE MECHANICAL DRAWINGS (INCLUDING THE WEIGHT OF CONCRETE PADS, WHERE INDICATED). ANY CHANGES IN TYPE, SIZE, LOCATION OR NUMBER OF PIECES OF EQUIPMENT SHOULD BE REPORTED TO THE ARCHITECT FOR VERIFICATION OF THE ADEQUACY OF SUPPORTING MEMBERS PRIOR TO THE PLACEMENT OF SUCH EQUIPMENT.

3. DESIGN LIVE LOADING IS AS FOLLOWS:

ROOF 20 PSF

ROOF OVER KITCHEN 30 PSF

STAIRWAYS 100 PSF

HOTEL GUEST ROOMS 40 PSF

ALL SLABS-ON-GRADE 100 PSF

DINING ROOMS, BANQUET ROOMS AND RESTAURANTS 100 PSF

RETAIL STORES, FIRST FLOOR 100 PSF

RETAIL STORES, UPPER FLOORS 75 PSF

WHOLESALE STORES, ALL FLOORS 125 PSF

STORAGE (LIGHT) 125 PSF

STORAGE (HEAVY) 250 PSF

KITCHEN (INCLUDES 25 PSF FOR KITCHEN EQUIPMENT) 100 PSF

MECHANICAL ROOM (MIN.) 150 PSF

4. LIVE LOAD REDUCTIONS, WHERE PERMISSIBLE, ARE COMPUTED IN ACCORDANCE WITH THE BUILDING CODE.

5. KITCHEN AREA DESIGN LIVE LOAD INCLUDES AN ALLOWANCE FOR THE WEIGHT OF KITCHEN EQUIPMENT.
SUBMIT FINAL LAYOUT SHOWING LOCATION AND WEIGHT OF ALL EQUIPMENT TO THE ENGINEER FOR COMPARISON WITH ASSUMED LOADS.

6. DESIGN WIND LOADING IS AS FOLLOWS (NOTE: PER ASCE 7-10, WIND LOADS ARE ULTIMATE. SERVICE LOADS MAY BE OBTAINED BY DIVIDING THE STATED LOADS BY 1.6.):

WIND DESIGN OPTION ANALYTICAL PROCEDURE

BASIC WIND SPEED (3-SECOND GUST) 108 MPH

RISK CATEGORY II

EXPOSURE CATEGORY B

INTERNAL PRESSURE COEFFICIENT 0.18

ROOF PRESSURE(+) SUCTION(-) LOADS (NET – INCLUDING INTERNAL PRESSURE – LOADS MAY BE LINEARLY INTERPOLATED BETWEEN VALUES FOR THE GIVEN TRIBUTARY AREAS)

INTERIOR ZONES – MORE THAN 6' FROM EDGE, HIP, OR RIDGE (ZONE 1)

(10 SQ.FT. OF TRIBUTARY AREA) +16 / -21 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -20 PSF

END ZONES - WITHIN 14' OF EDGE, HIP, OR RIDGE (ZONE 2)

(10 SQ.FT. OF TRIBUTARY AREA) +16 / -36 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -23 PSF

CORNER ZONES - WHERE ZONE 2 AREAS OVERLAP (ZONE 3)

(10 SQ.FT. OF TRIBUTARY AREA) +16 / -53 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -23 PSF

ON CANOPIES AND OVERHANGS

ENDS (ZONE 2) (10 SQ.FT. OF TRIBUTARY AREA) +16 / -34 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -32 PSF

CORNERS (ZONE 3) (10 SQ.FT. OF TRIBUTARY AREA) +16 / -53 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -18 PSF

CURTAINWALL DESIGN PRESSURE/SUCTION

INTERIOR ZONE (ZONE 4) (10 SQ.FT. OF TRIBUTARY AREA) +20 / -21 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -19 PSF

EXTERIOR ZONE (ZONE 5) (10 SQ.FT. OF TRIBUTARY AREA) +20 / -26 PSF

(100 SQ.FT. OF TRIBUTARY AREA) +16 / -20 PSF

RELIABLE ROOF DEAD LOAD TO RESIST WIND UPLIFT 5 PSF

INTERIOR PRESSURE ON STRUCTURAL ELEMENTS 5 PSF
7. SEISMIC DESIGN DATA (IBC):

RISK CATEGORY II

MAPPED SPECTRAL RESPONSE ACCELERATIONS, SS & S1 0.051/0.023

SITE CLASS D

SPECTRAL RESPONSE COEFFICIENTS SDS /SD1 0.054/0.037

SEISMIC DESIGN CATEGORY A

BASIC SEISMIC-FORCE-RESISTING SYSTEM ORDINARY REINFORCED MASONRY WALLS

DESIGN BASE SHEAR 7K

SEISMIC RESPONSE COEFFICIENT, CS 0.027

RESPONSE MODIFICATION FACTOR, R 2

ANALYSIS PROCEDURE USED EQUIVALENT LATERAL FORCE

DEFLECTION AMPLIFICATION FACTOR 1.75
8. SNOW LOADING (ASCE 7, SECTION 7):

GROUND SNOW LOAD 5 PSF
9. STACKS OF MATERIALS OR OTHER CONSTRUCTION LOADS PLACED ON THE STRUCTURE SHALL NOT EXCEED THE STATED DESIGN LIVE LOAD FOR THE AREA AFFECTED UNLESS ADEQUATELY SHORED.



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PROJECT

1518 E. GRAYSON

PROJECT KEY

ARCHITECT STAMP

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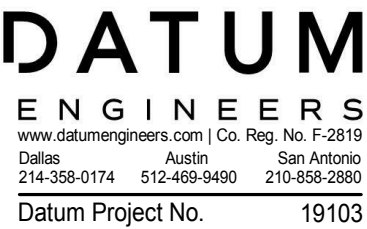
SHEET TITLE

GENERAL NOTES

DWG INFO

PROJECT: Project Number
ISSUE DATE: 05/28/19
DRAWN BY: BGV
CHECKED BY: LRR

DWG # S102





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SHEET TITLE

SITE PLAN

DWG INFO

PROJECT: Project Number

ISSUE DATE: 05/28/19

DRAWN BY: BGV

CHECKED BY: LRR

DWG # | **S200**

1 SITE PLAN

$$1/16'' = 1'-0''$$

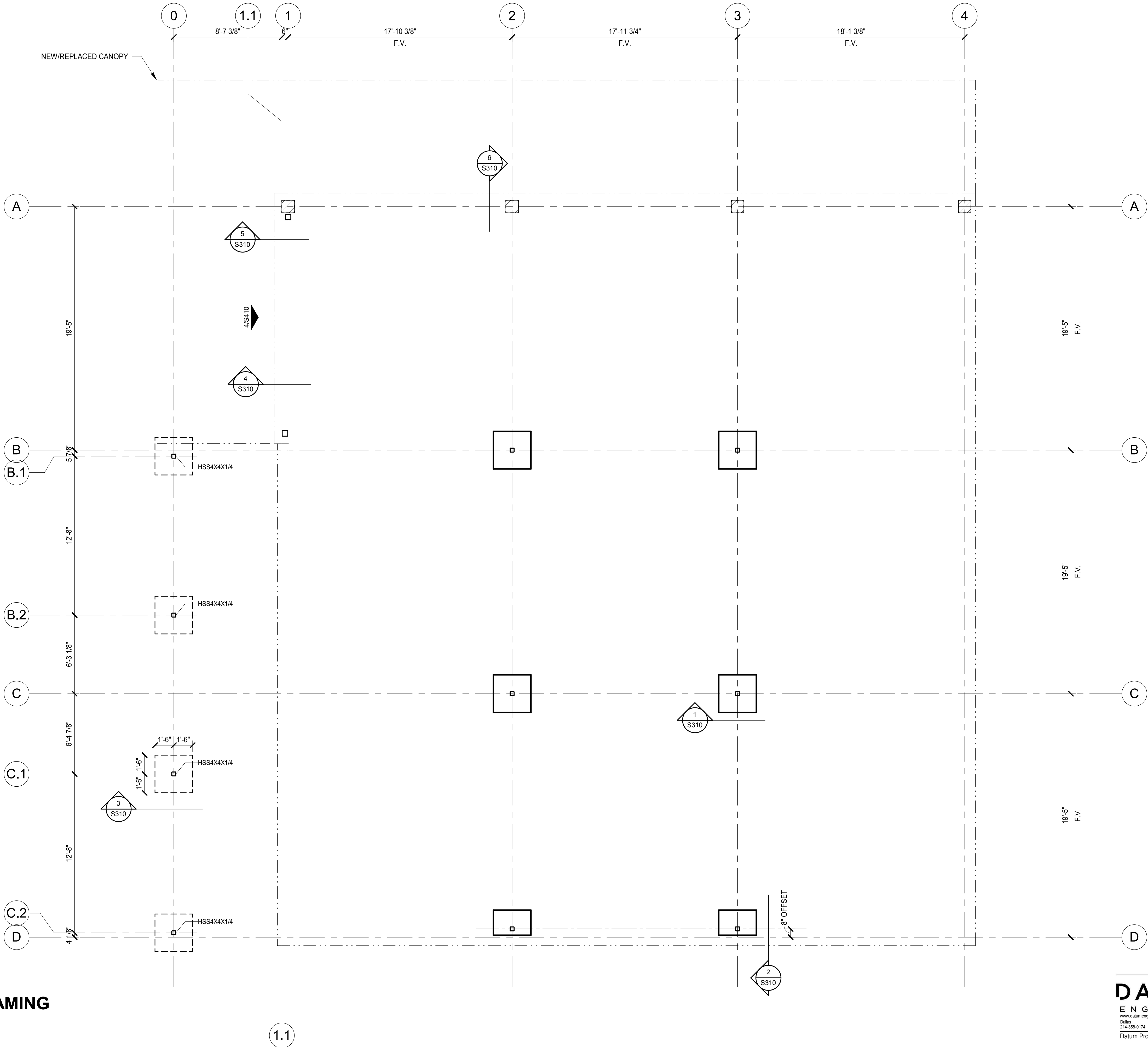
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1 GROUND FLOOR FRAMING

1/4" = 1'-0"



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No.	Description	Date

SHEET TITLE

CANOPY FOUNDATION
FRAMING PLAN

DWG INFO

PROJECT: Project Number
ISSUE DATE: 05/28/19
DRAWN BY: BGV
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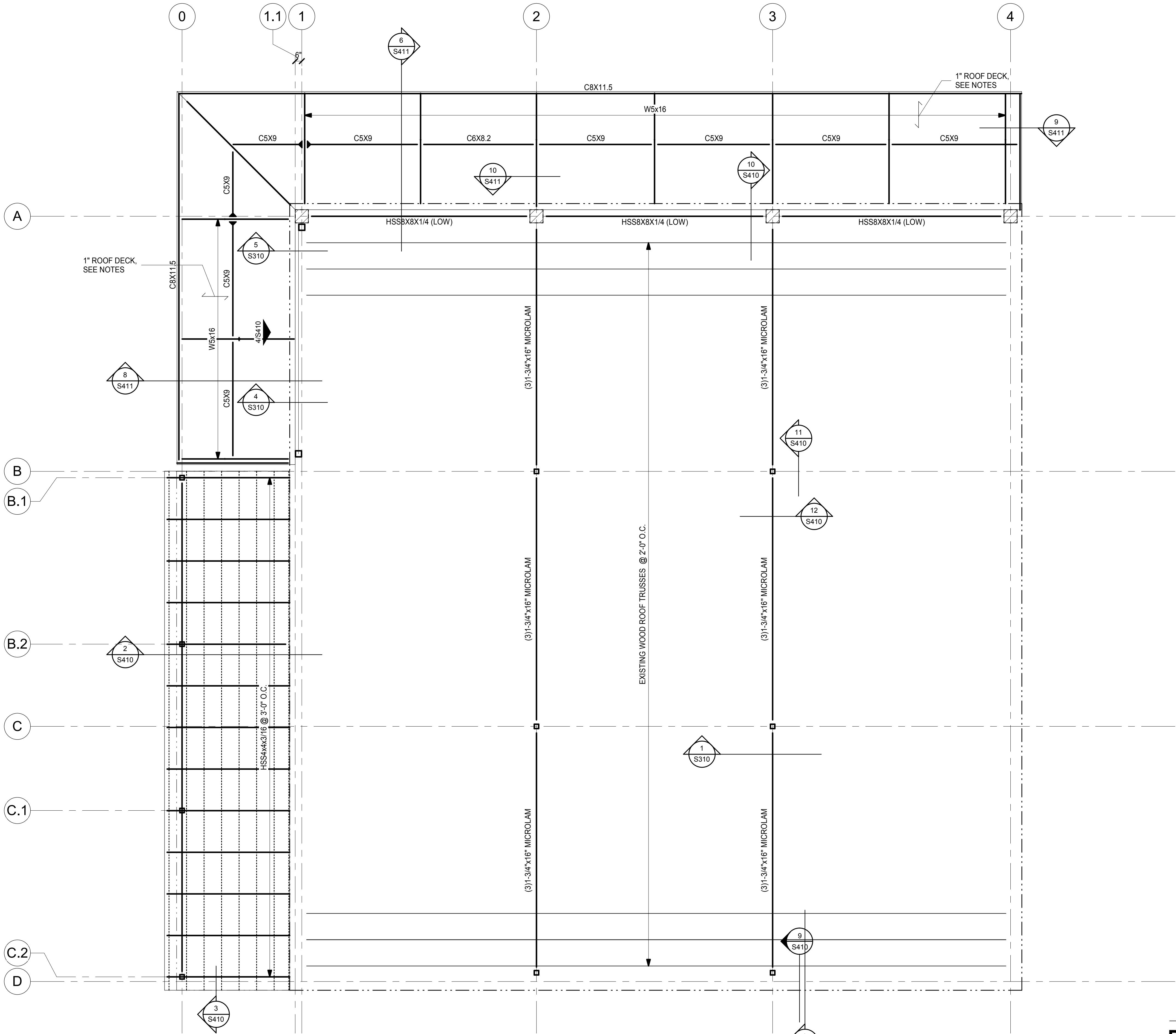
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1 CANOPY FRAMING PLAN

1/4" = 1'-0"



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SHEET TITLE

CANOPY ROOF FRAMING PLAN

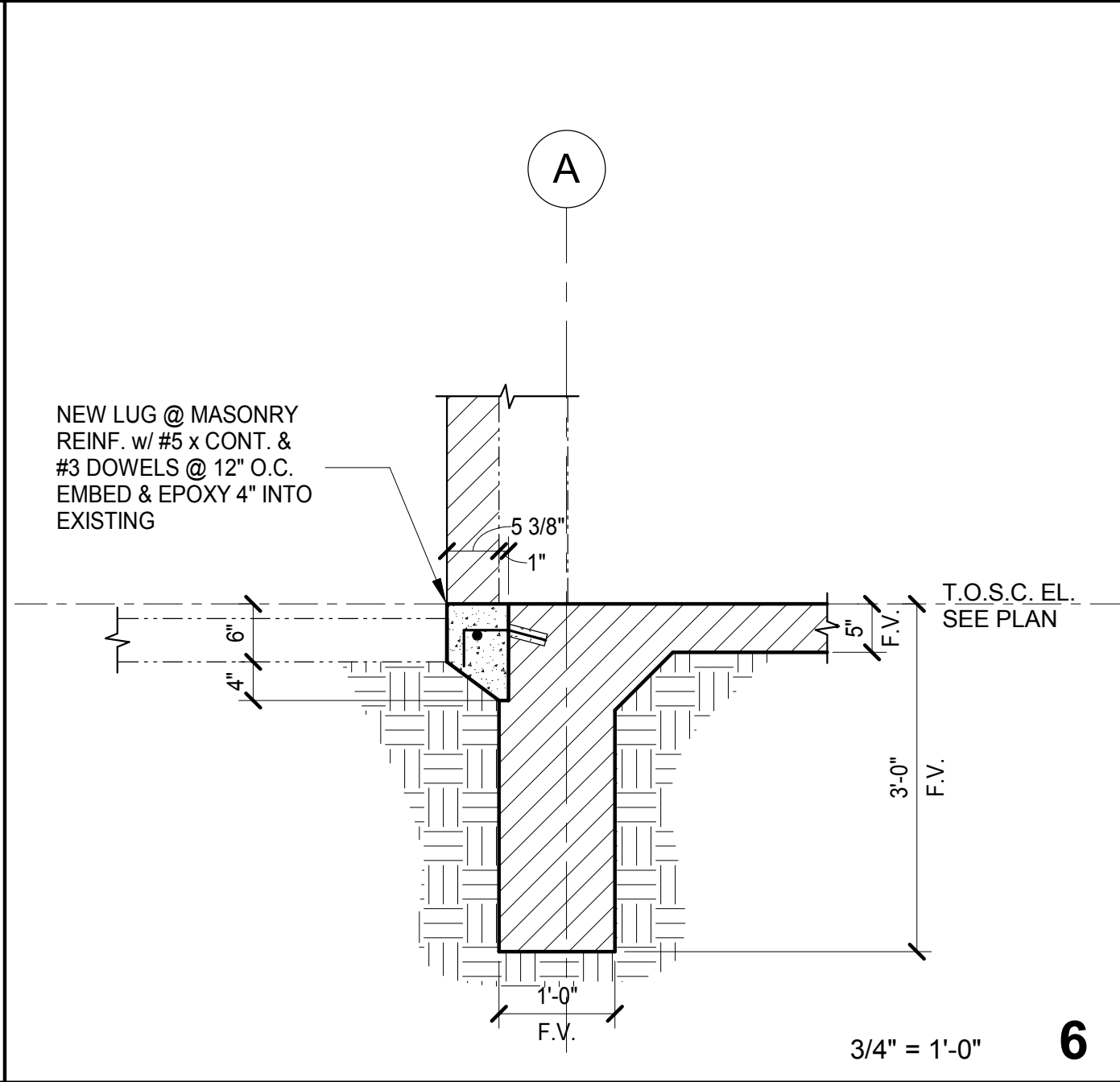
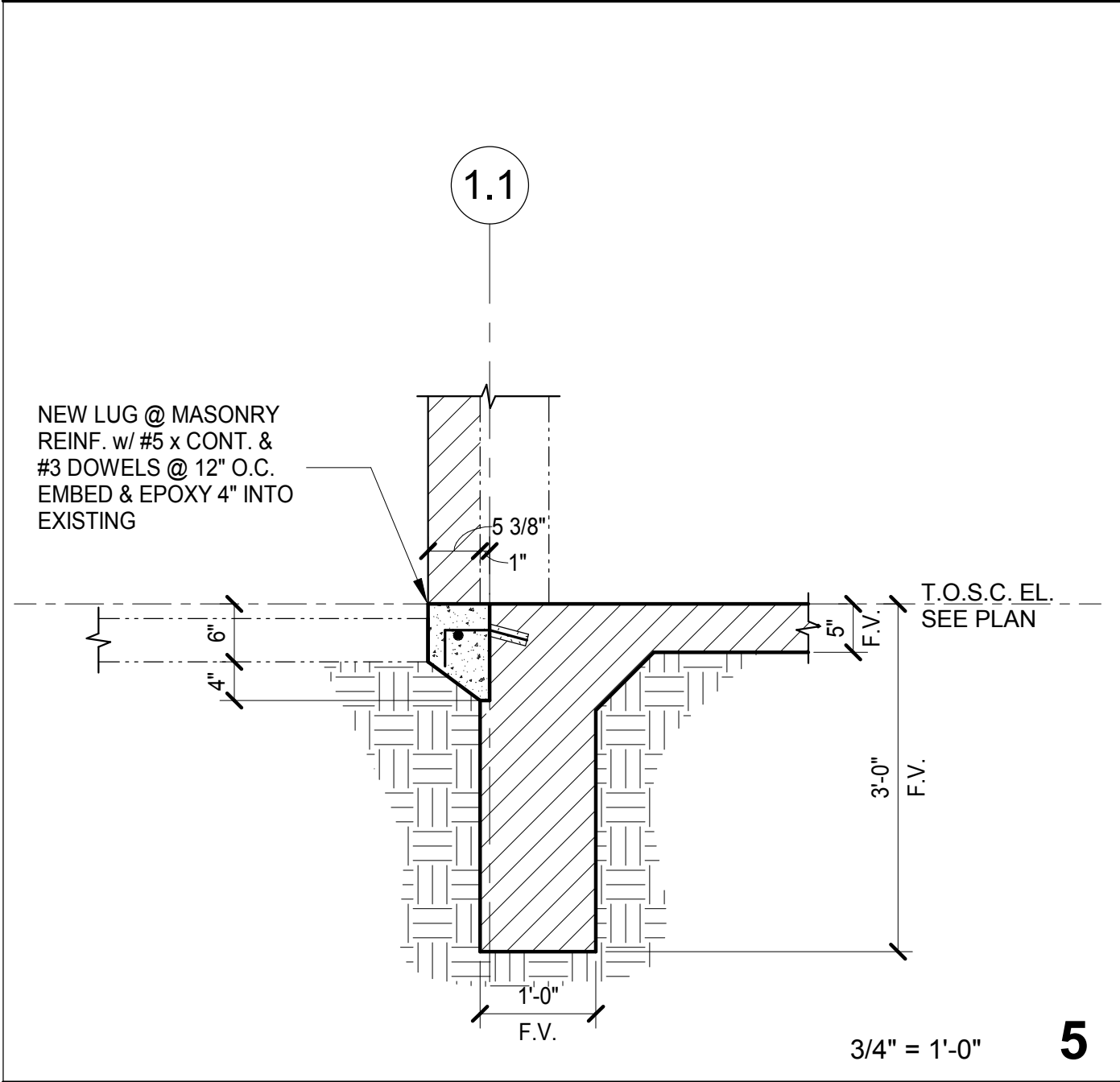
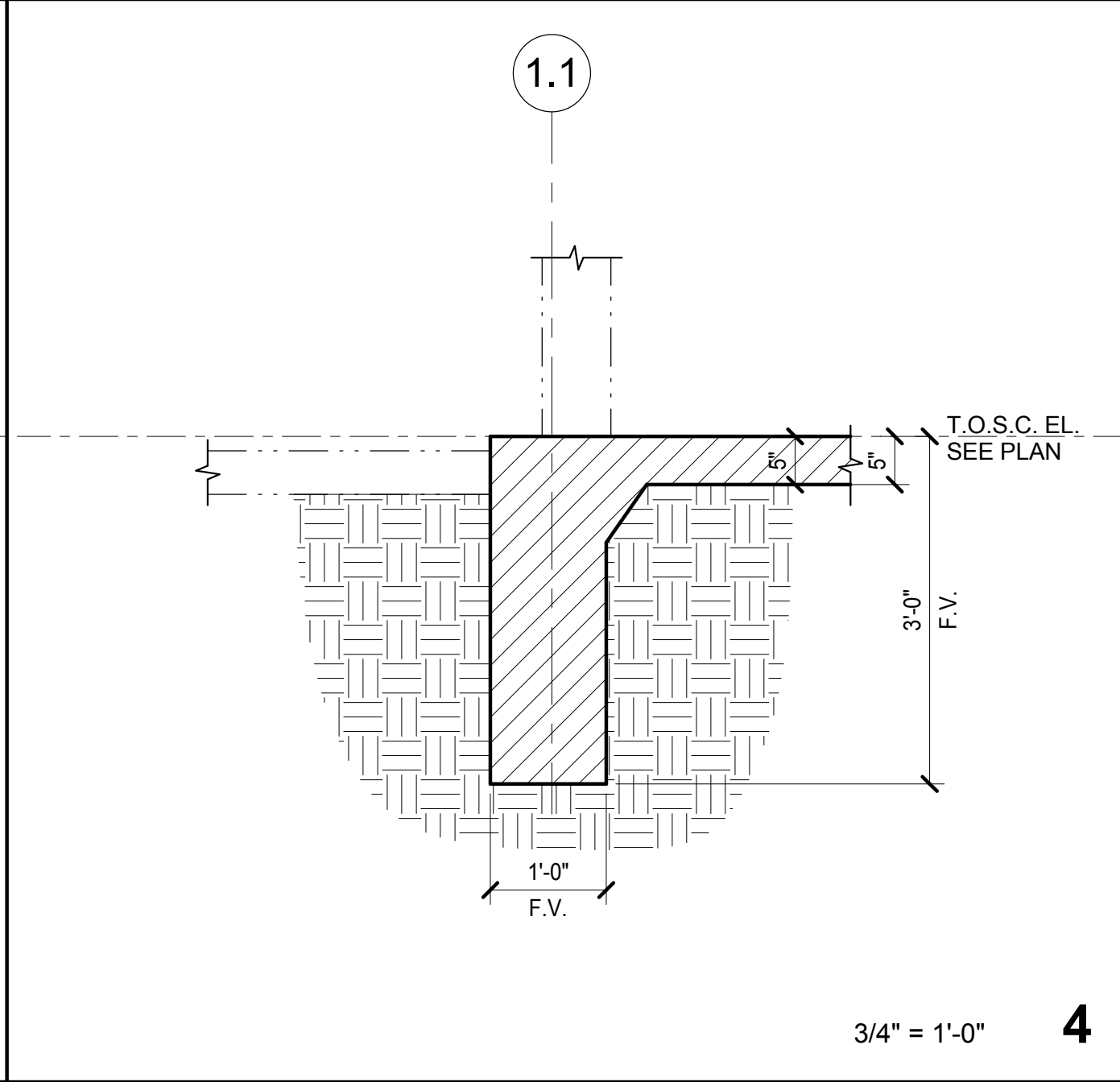
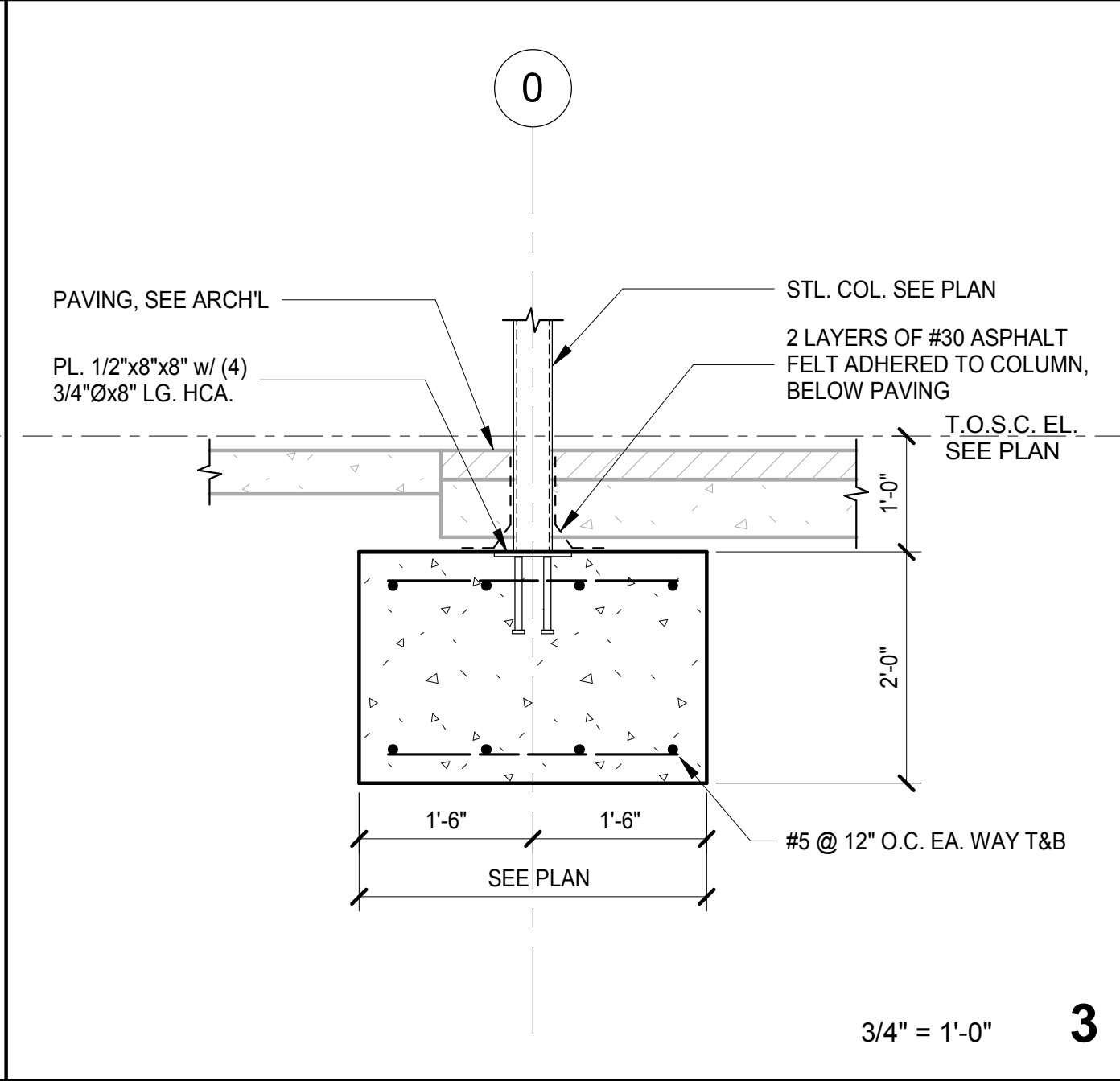
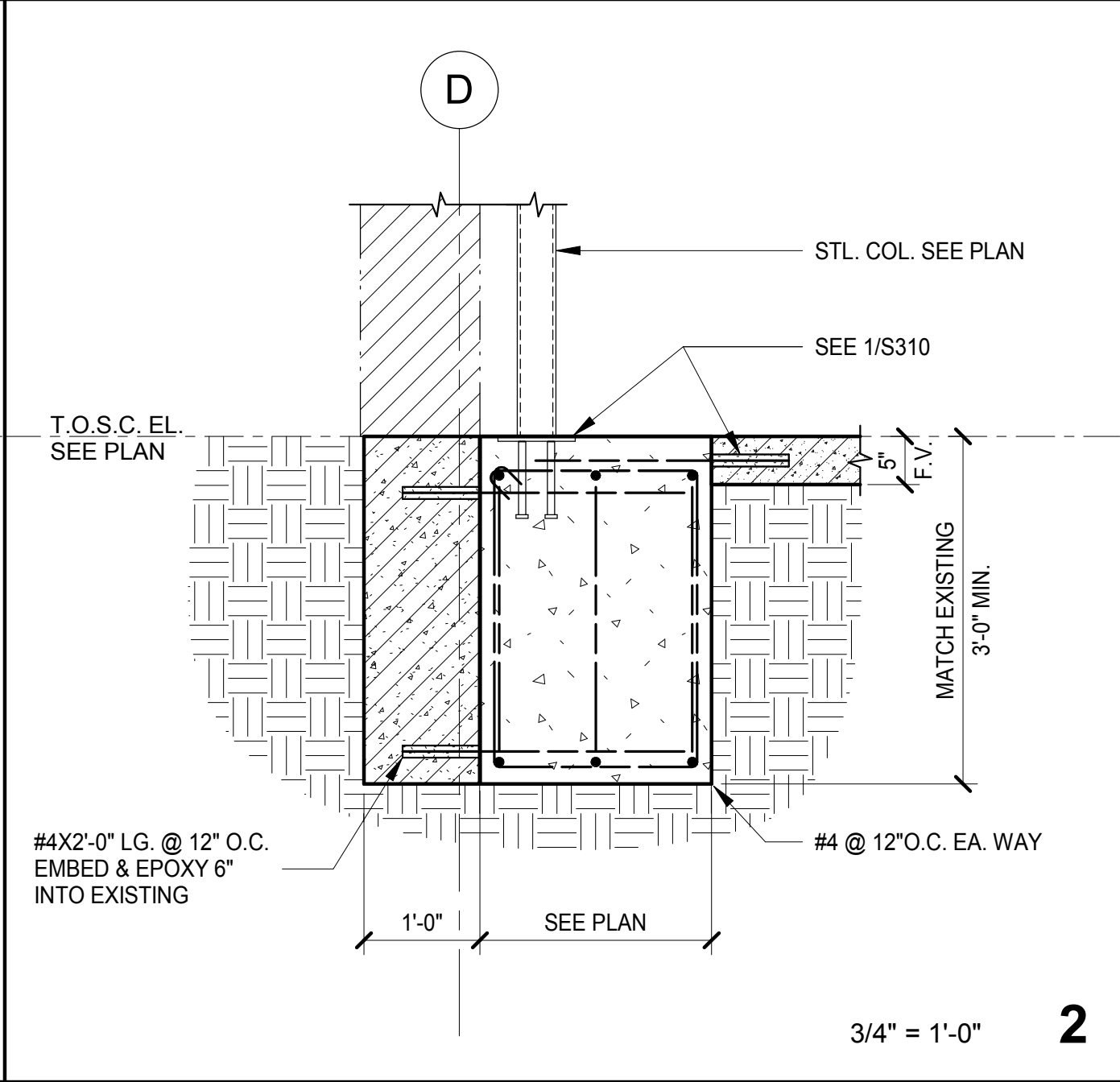
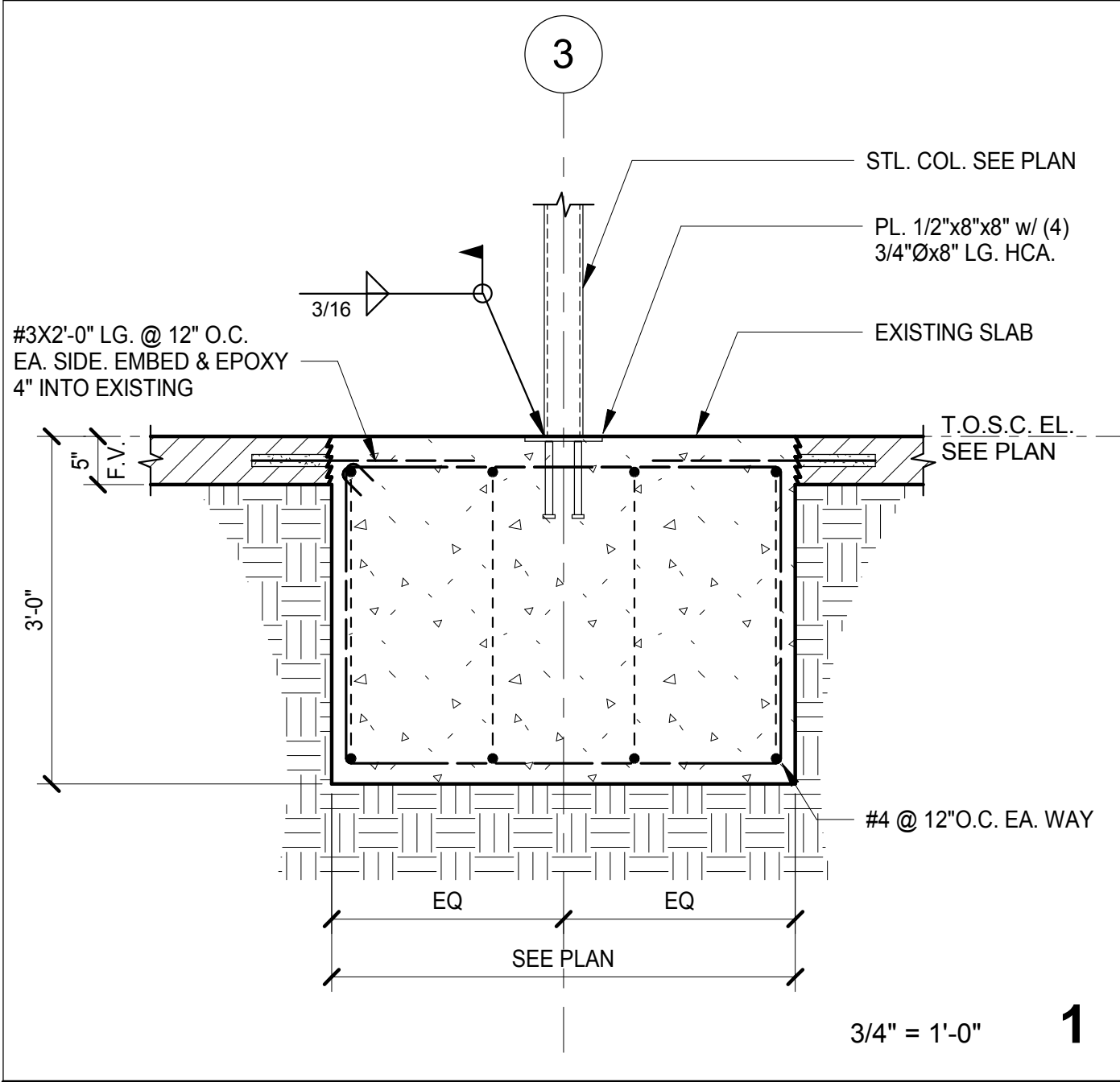
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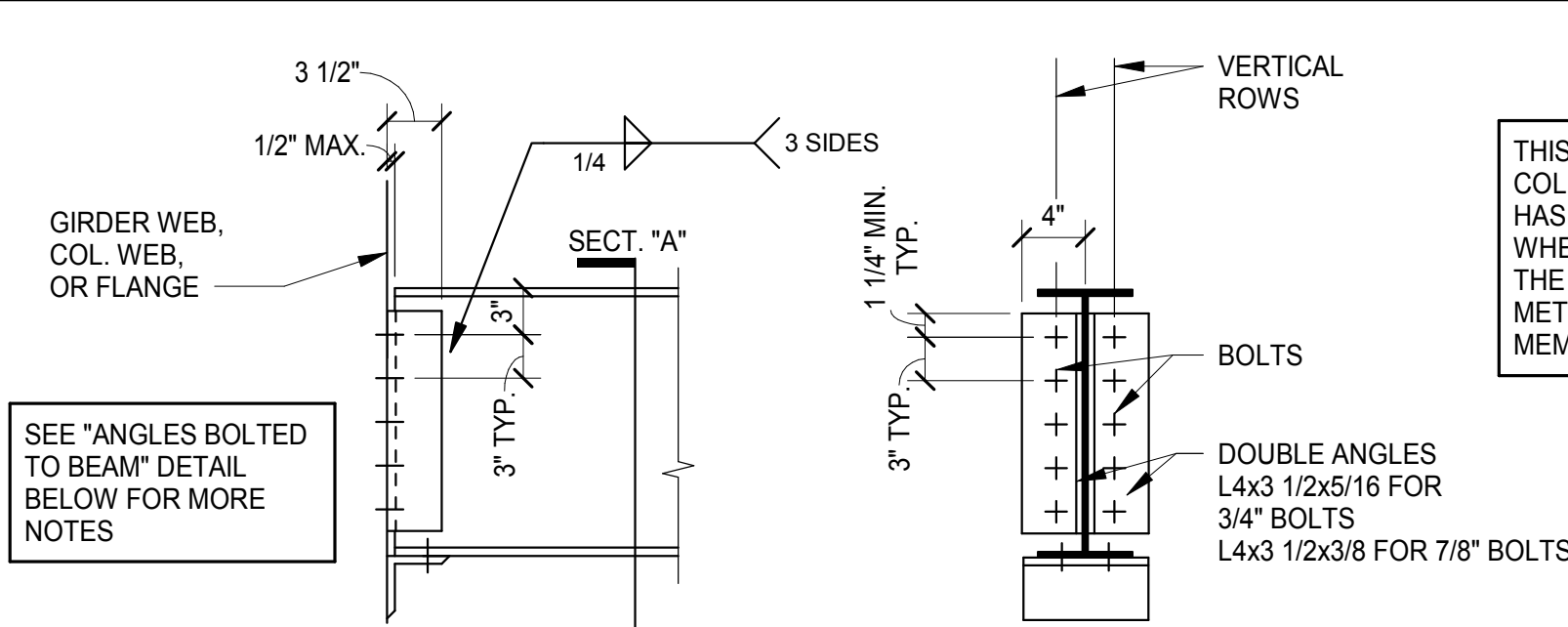
SHEET TITLE
CONCRETE SECTIONS

DWG INFO
PROJECT: Project Number
ISSUE DATE: 05/28/19
DRAWN BY: BGV
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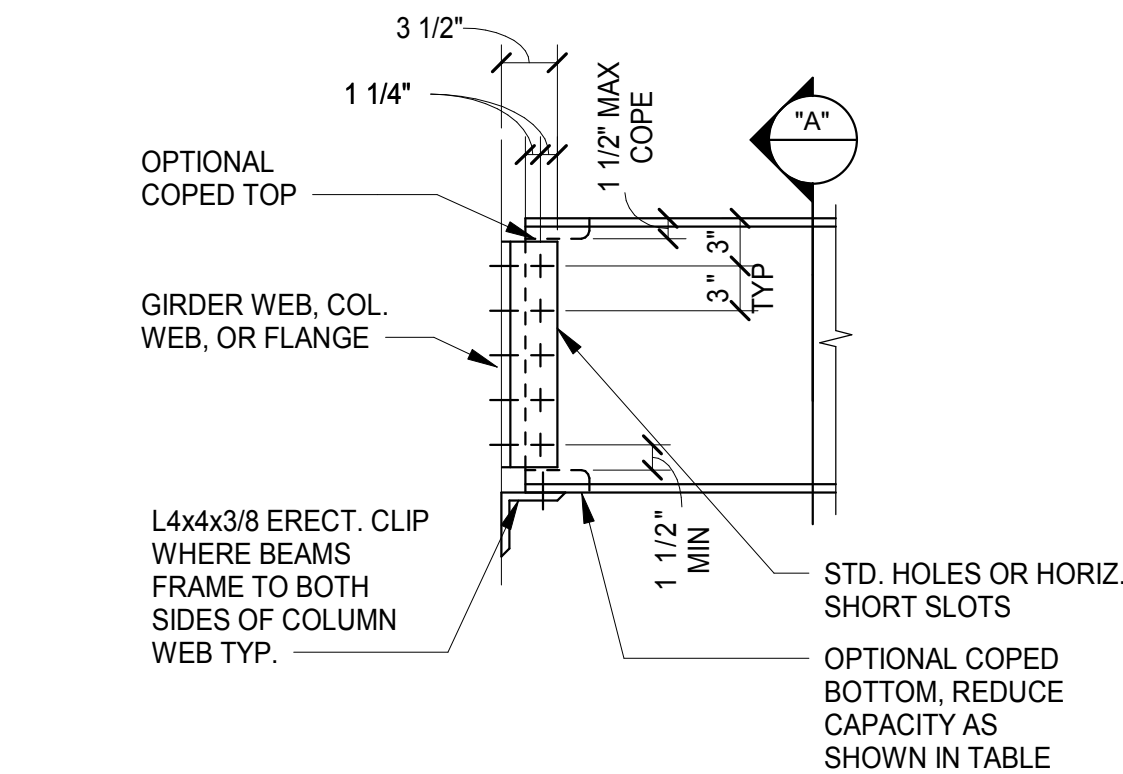
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ANGLES WELDED TO BEAM



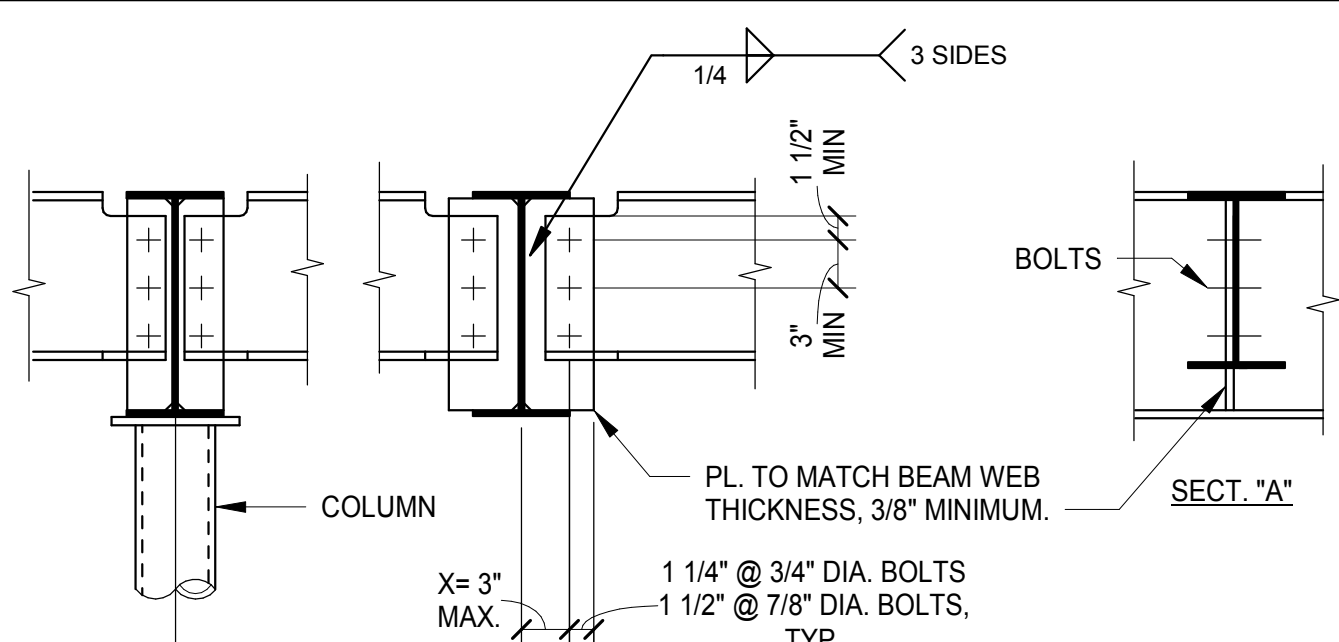
ANGLES BOLTED TO BEAM

CONNECTION LOAD CAPACITY								
WIDE FLANGE BEAM SIZE	# BOLTS PER VERT. ROW	MINIMUM BEAM WEB THICKNESS (IN.)	WELDED TO BEAM WEB		BOLTED TO BEAM WEB		REDUCTION FOR COPED BOTTOM	MIN. ANGLE LENGTH (IN.)
			MAX REACTION (KIPS)					
			3/4 " DIA. BOLTS	7/8 " DIA. BOLTS	3/4 " DIA. BOLTS	7/8 " DIA. BOLTS		
W8 TO W12	2	.230	29	29	14	13	4	5 1/2
W12 TO W18	3	.235	51	51	25	23	4	8 1/2
W16 TO W24	4	.250	82	82	42	39	5	11 1/2
W18 TO W30	5	.300	104	120	63	59	6	14 1/2
W21 TO W40	6	.350	124	148	87	82	7	17 1/2
W24 TO W44	7	.395	145	172	115	108	8	20 1/2
W30 TO W44	8	.470	165	197	156	147	--	23 1/2
W33 TO W44	9	.550	185	221	185	194	--	26 1/2
W36 TO W44	10	.600	205	245	205	235	--	29 1/2
W40 TO W44	11	.630	226	269	226	269	--	32 1/2
W44	12	.710	246	294	246	294	--	35 1/2

NOTE: VALUES IN THE COLUMNS LABELED "BOLTED TO BEAM WEB" MAY BE INCREASED BY THE RATIO OF THE ACTUAL BEAM WEB THICKNESS TO THE MINIMUM BEAM WEB THICKNESS TABULATED. FOR THIS CALCULATION THE BEAM WEB THICKNESS MAY NOT BE TAKEN MORE THAN 0.43" FOR 3/4" DIA. BOLTS OR MORE THAN 0.62" FOR 7/8" DIA. BOLTS.

TYPICAL DOUBLE ANGLE CONNECTION

NO SCALE TYP.

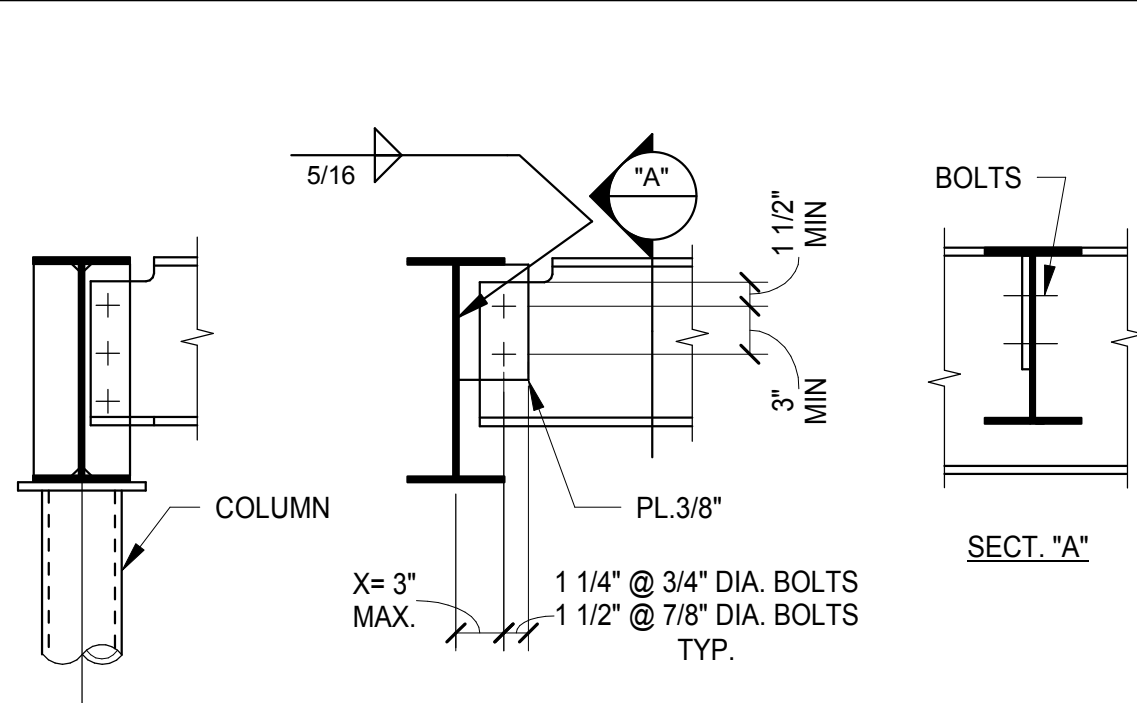


CONNECTION LOAD CAPACITY (X = 3" MAX.)				
WIDE FLANGE BEAM SIZE	# BOLTS PER VERT. ROW	MINIMUM BEAM WEB THICKNESS (IN.)	MAX REACTION (KIPS)	
			3/4" DIA. BOLTS	7/8" DIA. BOLTS
W8x10	2	.170	14	14
W10x12	2	.190	14	20
W12x14	3	.200	26	29
W12x16	3	.220	26	32
W8 TO W12	2	.230	14	20
W12 TO W18	3	.235	26	34
W16 TO W24	4	.250	37	51
W18 TO W30	5	.300	48	65
W21 TO W44	6	.350	59	78
W24 TO W44	7	.395	70	91
W30 TO W44	8	.470	81	104
W33 TO W44	9	.550	91	117
W36 TO W44	10	.600	102	130
W40 TO W44	11	.630	112	143
W44	12	.710	123	156

NOTE: LARGER BM. REACTION MUST BE LESS THAN 3 TIMES SMALLER BM. REACTION

TYP. SINGLE PLATE BOLTED CONNECTION FOR BEAMS ON BOTH SIDES ONLY

2



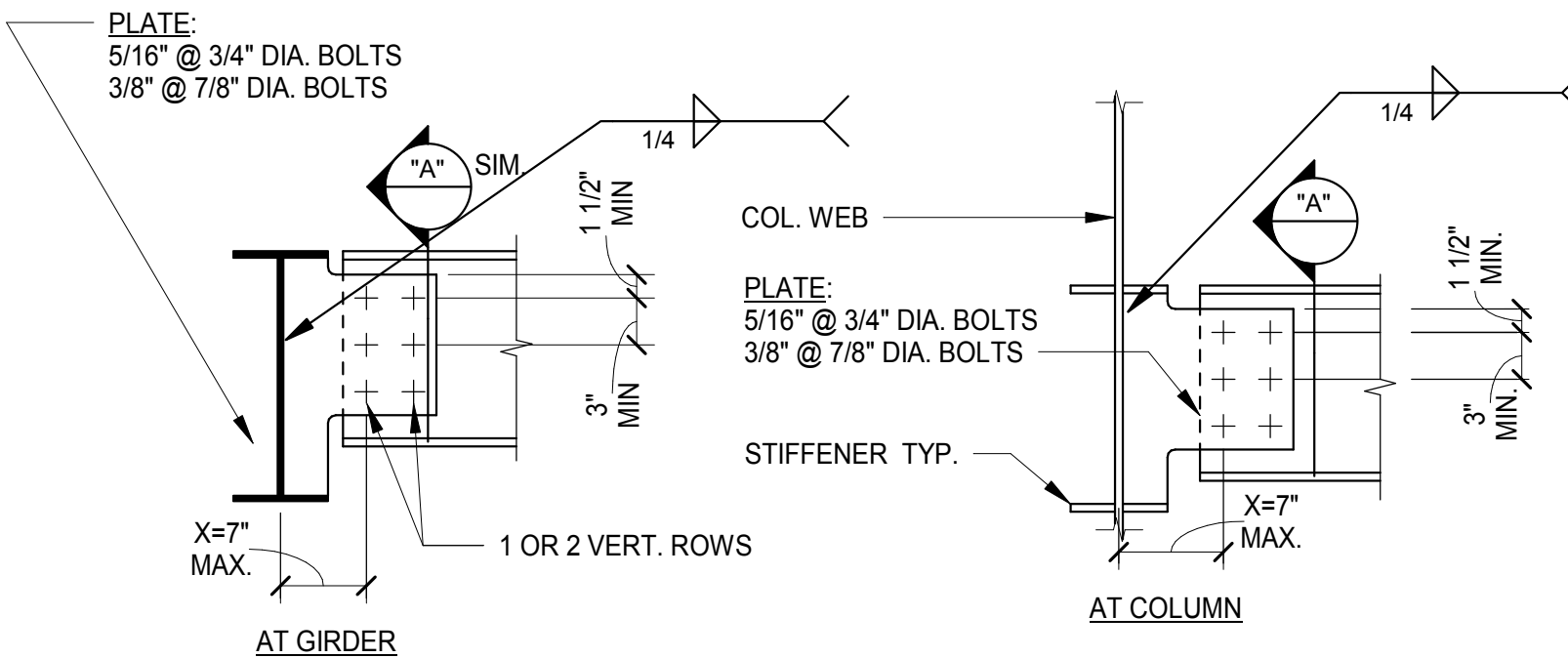
CONNECTION LOAD CAPACITY (X = 3" MAX.)

WIDE FLANGE BEAM SIZE	# BOLTS PER VERT. ROW	MAX REACTION (KIPS)	
		3/4" DIA. BOLTS	7/8" DIA. BOLTS
W8 TO W12	2	9	12
W12 TO W18	3	18	23
W16 TO W18	4	29	39
W18	5	41	56

SHEAR TAB BOLTED CONNECTION

FOR BEAMS ON ONE SIDE ONLY

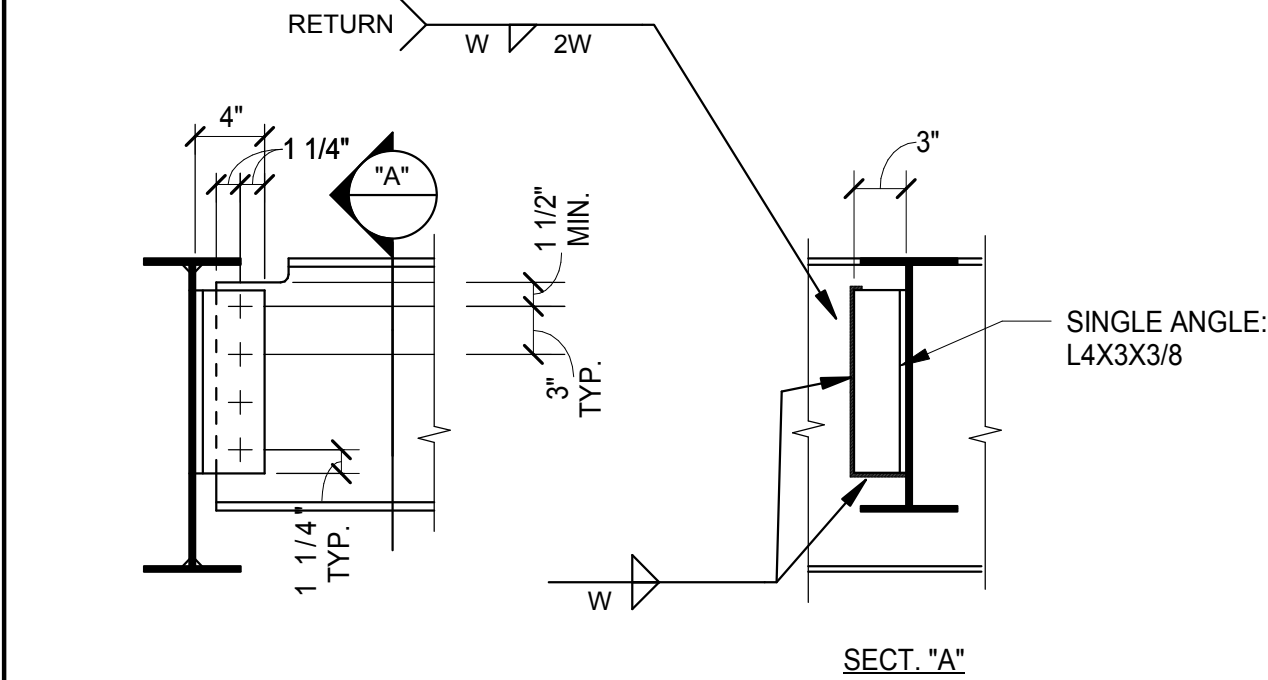
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WIDE FLANGE BEAM SIZE	# BOLTS PER VERT. ROW	MINIMUM BEAM WEB THICKNESS (IN.)	CONNECTION LOAD CAPACITY (X = 7" MAX.)			
			MAX REACTION (KIPS)			
			3/4" DIA. BOLTS	7/8" DIA. BOLTS	3/4" DIA. BOLTS	7/8" DIA. BOLTS
W8x10	2	.170	4	2	5	3
W10x12	2	.190	4	3	5	4
W12x14	3	.200	8	10	11	11
W12x16	3	.220	8	13	11	15
W8 TO W12	2	.230	4	6	5	8
W12 TO W18	3	.235	8	16	11	18
W16 TO W24	4	.250	16	28	21	33
W18 TO W30	5	.300	24	41	32	55
W21 TO W44	6	.350	33	56	45	77
W24 TO W44	7	.395	43	73	59	100
W30 TO W44	8	.470	54	92	74	126
W33 TO W44	9	.550	65	113	89	154
W36 TO W44	10	.600	77	134	105	183
W40 TO W44	11	.630	88	155	120	212
W44	12	.710	100	178	136	233

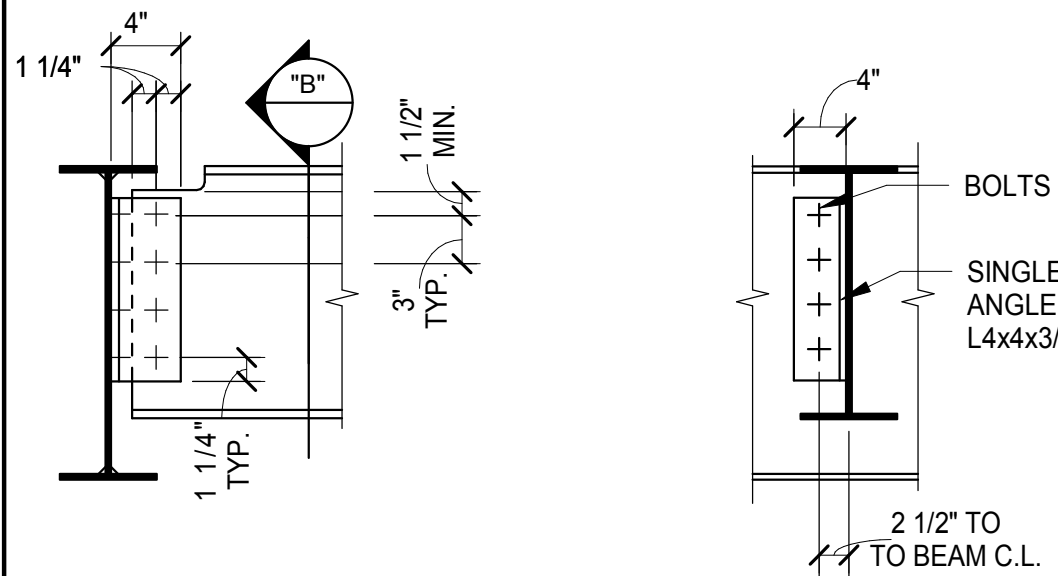
SINGLE PLATE BOLTED CONNECTION

4



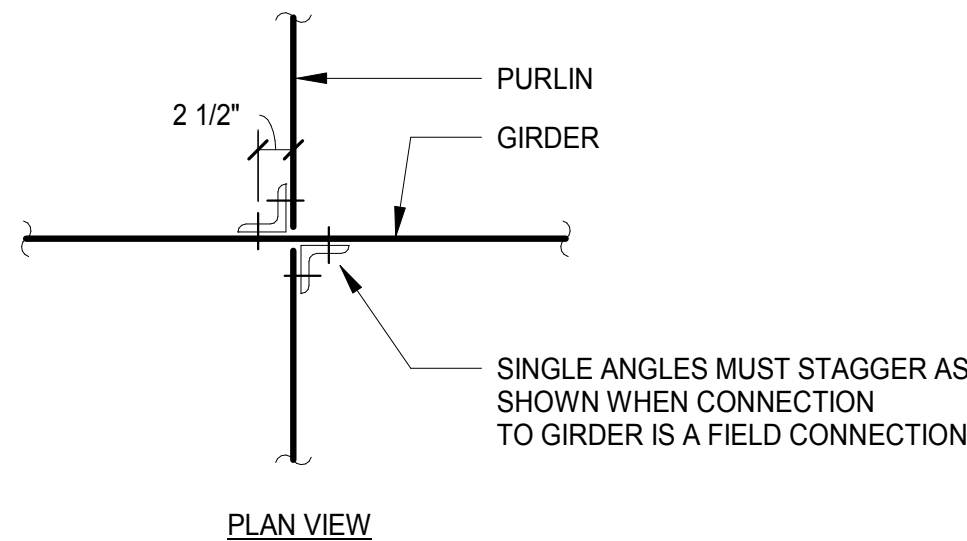
WELDED TO GIRDER

WELD SIZE "W" IS 1/4" FOR 3/4" DIA. BOLTS AND 5/16" FOR 7/8" DIA. BOLTS



BOLTED TO GIRDER

SECT. "B"



TYPICAL SINGLE ANGLE CONNECTION

5

PRE-ENGINEERED CONNECTION DETAILS ARE PROVIDED TO ASSIST THE DETAILER AND FABRICATOR. WHERE THESE PRE-ENGINEERED DETAILS ARE USED THEN NO DESIGN WORK IS REQUIRED BY THE FABRICATOR AND NO CALCULATIONS ARE REQUIRED TO BE SUBMITTED WHERE THESE PRE-ENGINEERED DETAILS ARE USED, ALL ASPECTS OF THE CONNECTIONS MUST CONFORM TO THE PRE-ENGINEERED DETAILS.

THE FABRICATOR MAY, AT HIS OPTION, SUBMIT ALTERNATE CONNECTION DETAILS FOR USE ON THE PROJECT. ALTERNATE CONNECTION DETAILS MUST CONFORM TO THE CONCEPTS SHOWN IN THE PRE-ENGINEERED CONNECTION DETAILS. SUBMITTALS CONTAINING ALTERNATE CONNECTION DETAILS MUST INCLUDE DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER PER THE SPECIFICATIONS.

BEAMS OF VARIOUS WEB THICKNESSES ARE GROUPED BASED ON THEIR DEPTH. NUMBER OF BOLTS SHOWN ARE THEREFORE BASED ON THE THINEST WEB IN EACH GROUP.

NOTES:
1. FABRICATOR SHALL SELECT TYPICAL BEAM CONNECTIONS FROM THESE DETAILS USING LOAD REACTIONS GIVEN ON THE PLAN (AS K) OR SCHEDULE. WHERE REACTIONS ARE NOT PROVIDED FOR COMPOSITE BEAMS, DESIGN CONNECTIONS TO DEVELOP THE FULL CAPACITY OF THE BEAM WEB IN SHEAR. WHERE REACTIONS ARE NOT PROVIDED FOR NON-COMPOSITE BEAMS, DESIGN CONNECTIONS FOR 60 PERCENT OF THE MAXIMUM TOTAL ALLOWABLE (ASD) UNIFORM LOAD FOR THE BEAM SIZE AND SPAN GIVEN IN THE 50 KSI TABLES IN PART 3 OF THE AISC STEEL CONSTRUCTION MANUAL.
2. ALL BEAM REACTIONS ARE IN KIPS, AT SERVICE LOADS (UNFACTORED).
3. TABULATED CONNECTION CAPACITIES ARE UNFACTORED AND ARE BASED ON GRADE 50 BEAMS, A36 PLATES AND ANGLES, A325N BOLTS (BEARING TYPE) AND E70XX ELECTRODES.
4. SLOTTED HOLES ARE NOT PERMISSIBLE EXCEPT WHERE SHOWN.
5. WHERE HORIZONTAL FORCES ARE SHOWN ON THE PLAN (AS H= K), THE FABRICATOR SHALL SIZE THE CONNECTION TO TRANSFER THE HORIZONTAL FORCE IN ADDITION TO THE REQUIRED VERTICAL REACTION (CONNECTION CAPACITY=V+H). SLOTTED HOLES ARE NOT PERMITTED.
6. COMPLY WITH AISC MIN. EDGE DISTANCES.

DWG INFO

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TYPICAL STEEL DETAILS

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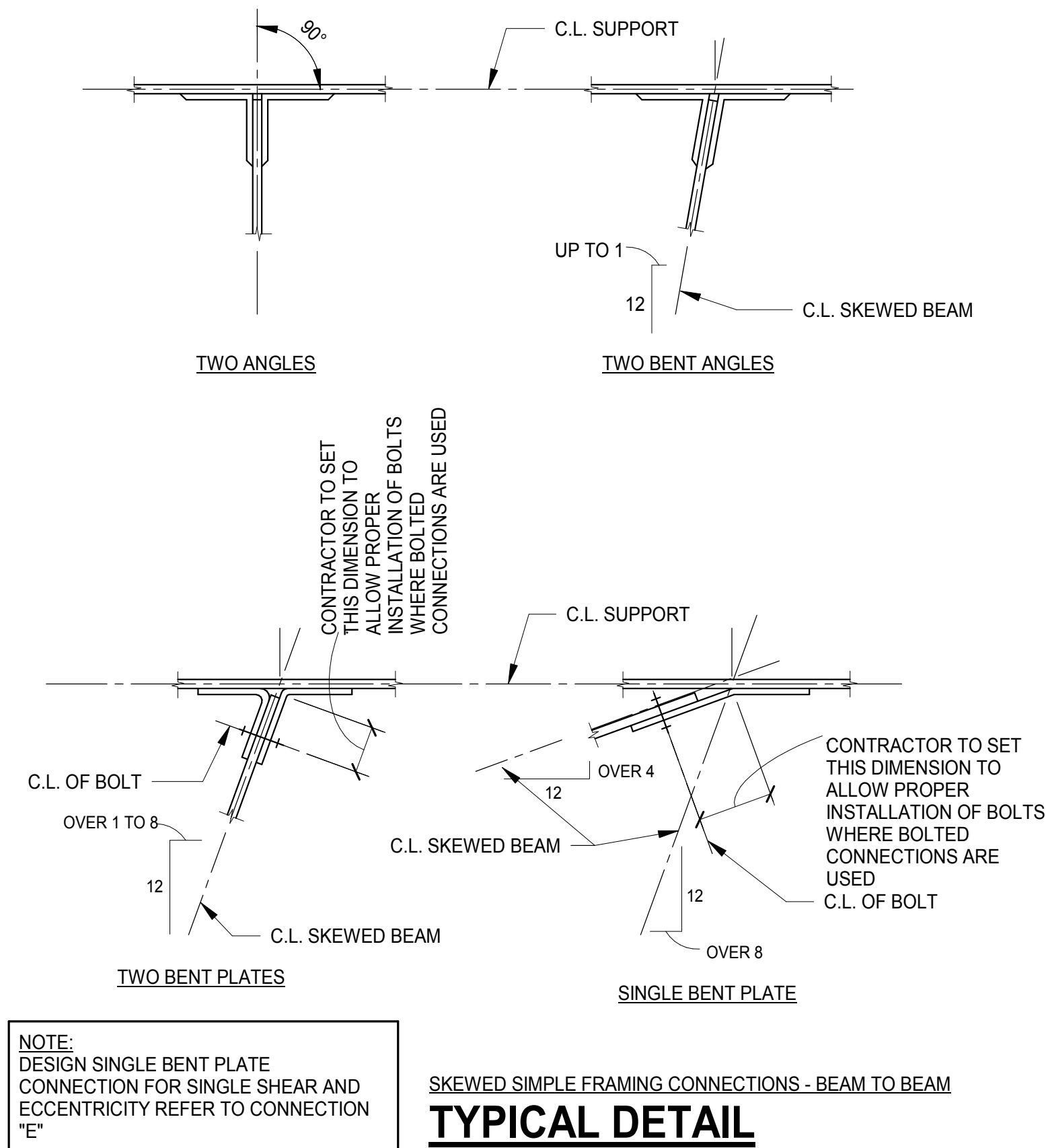
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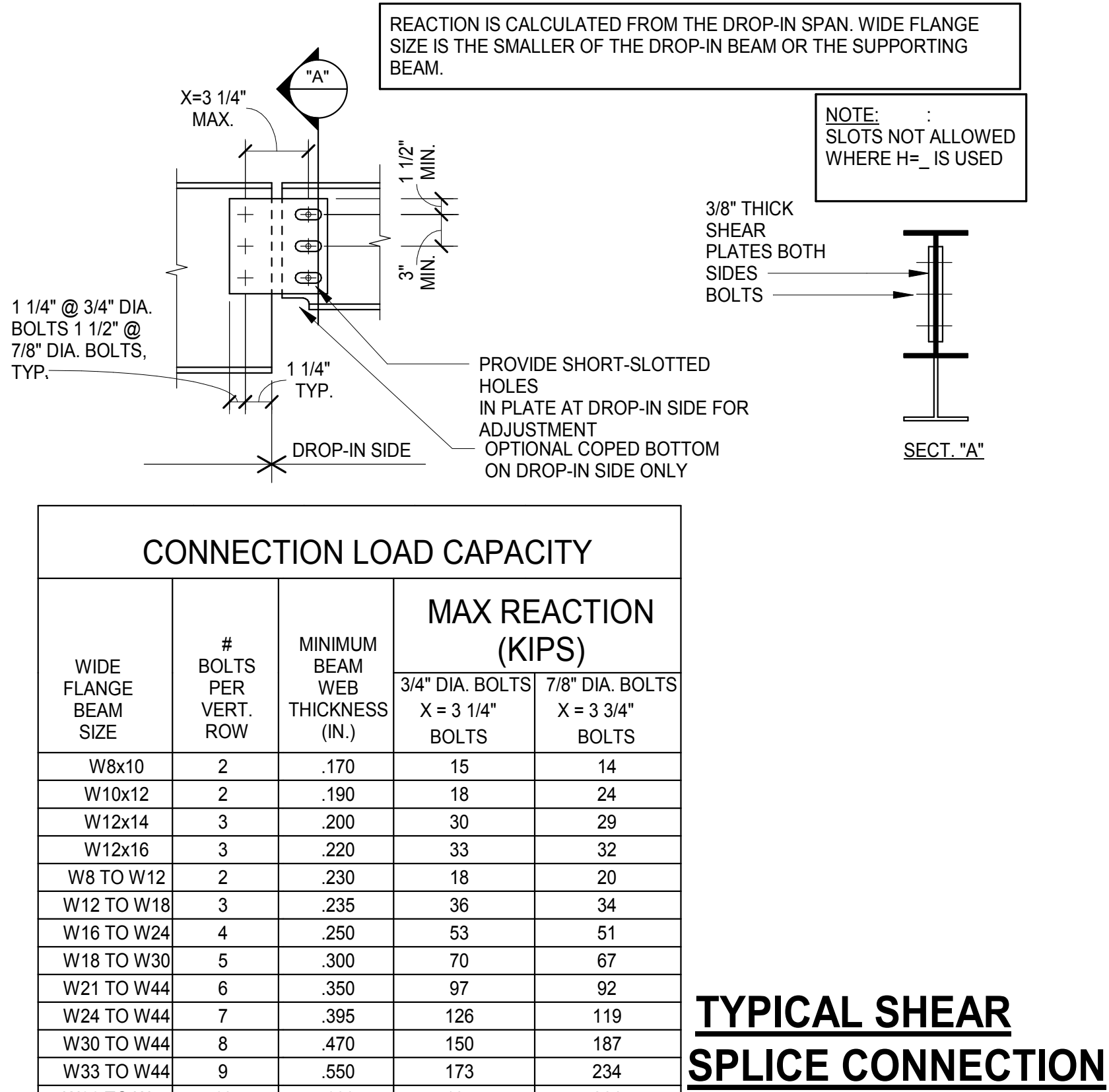
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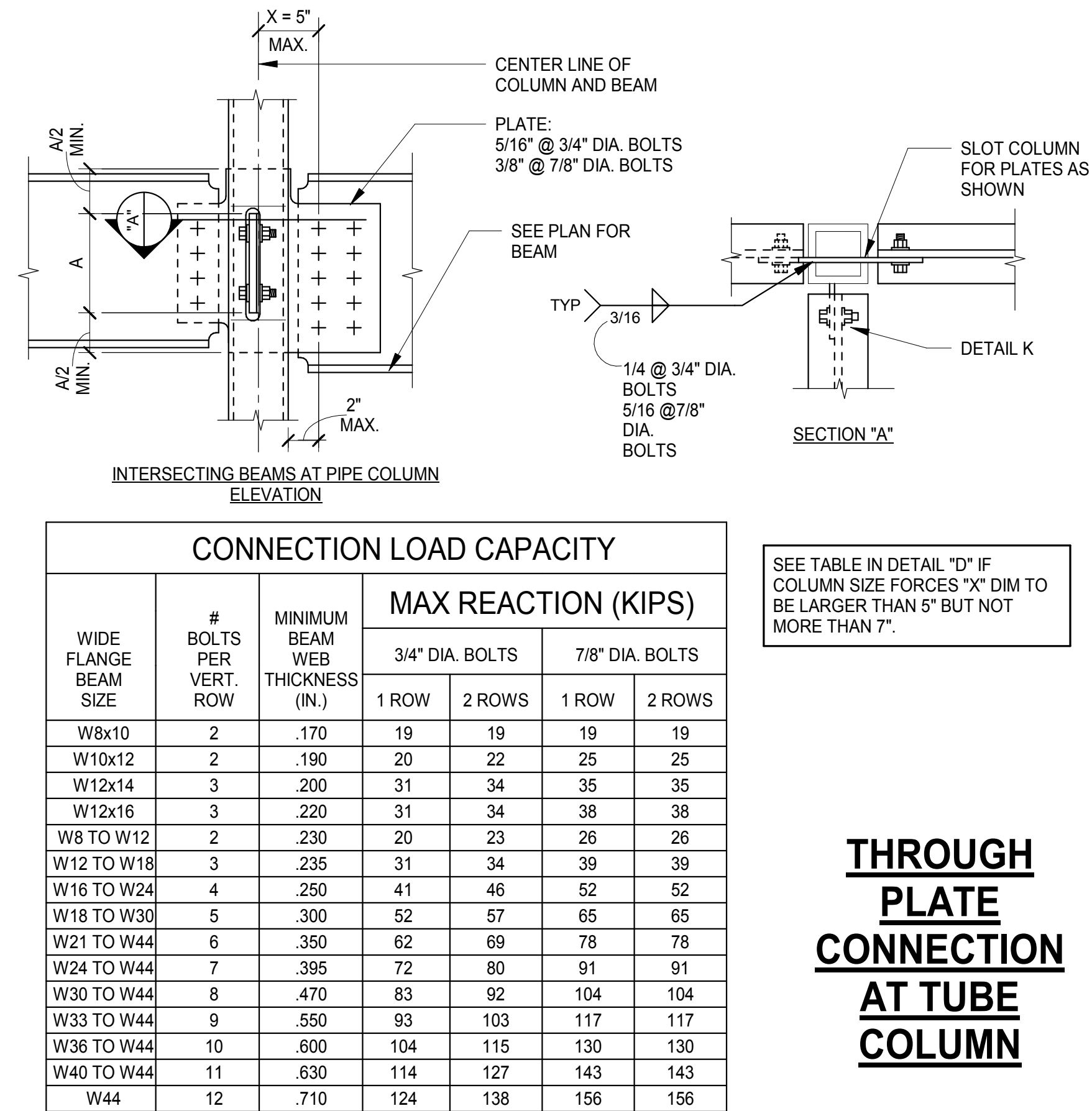
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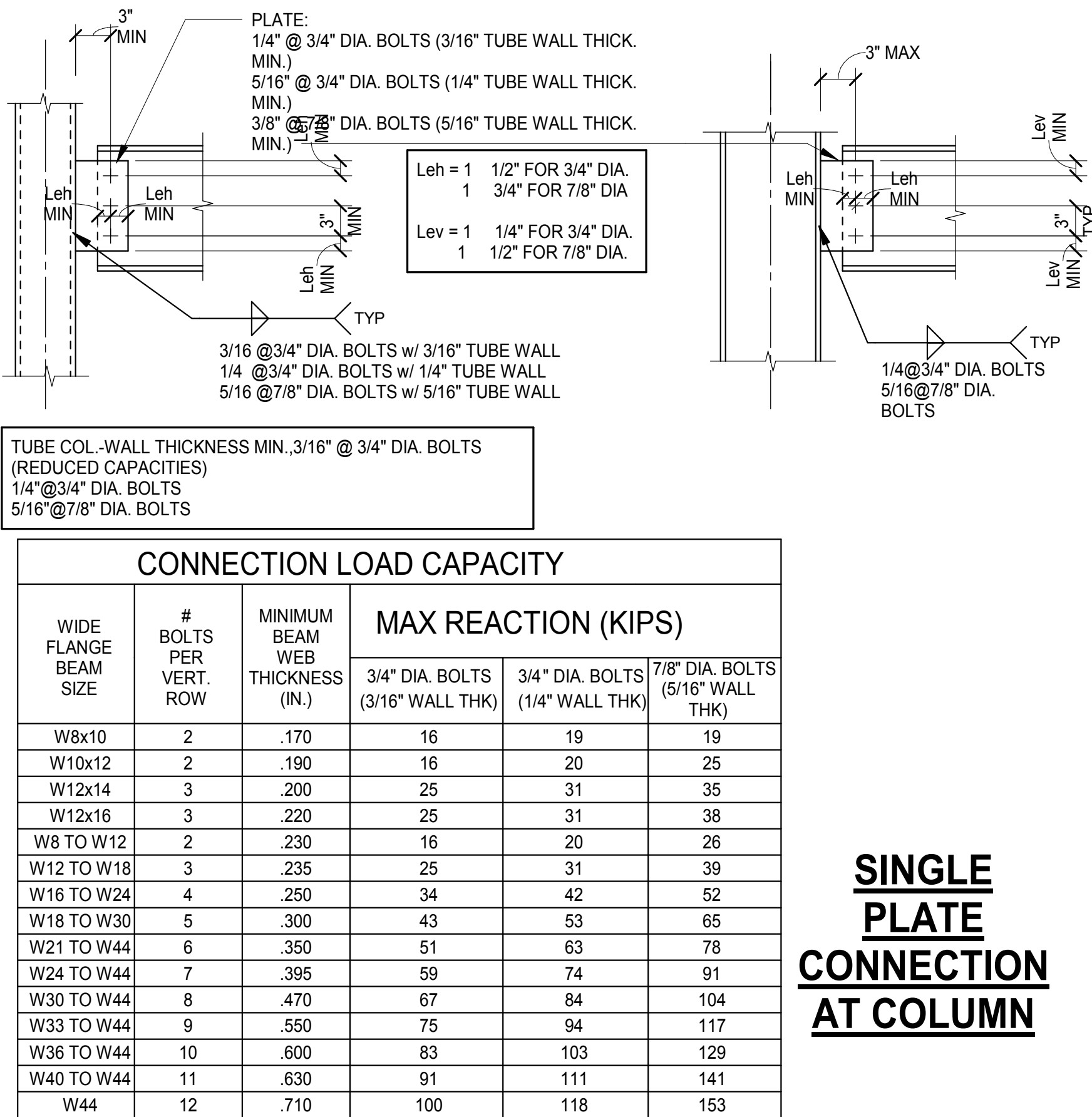
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2



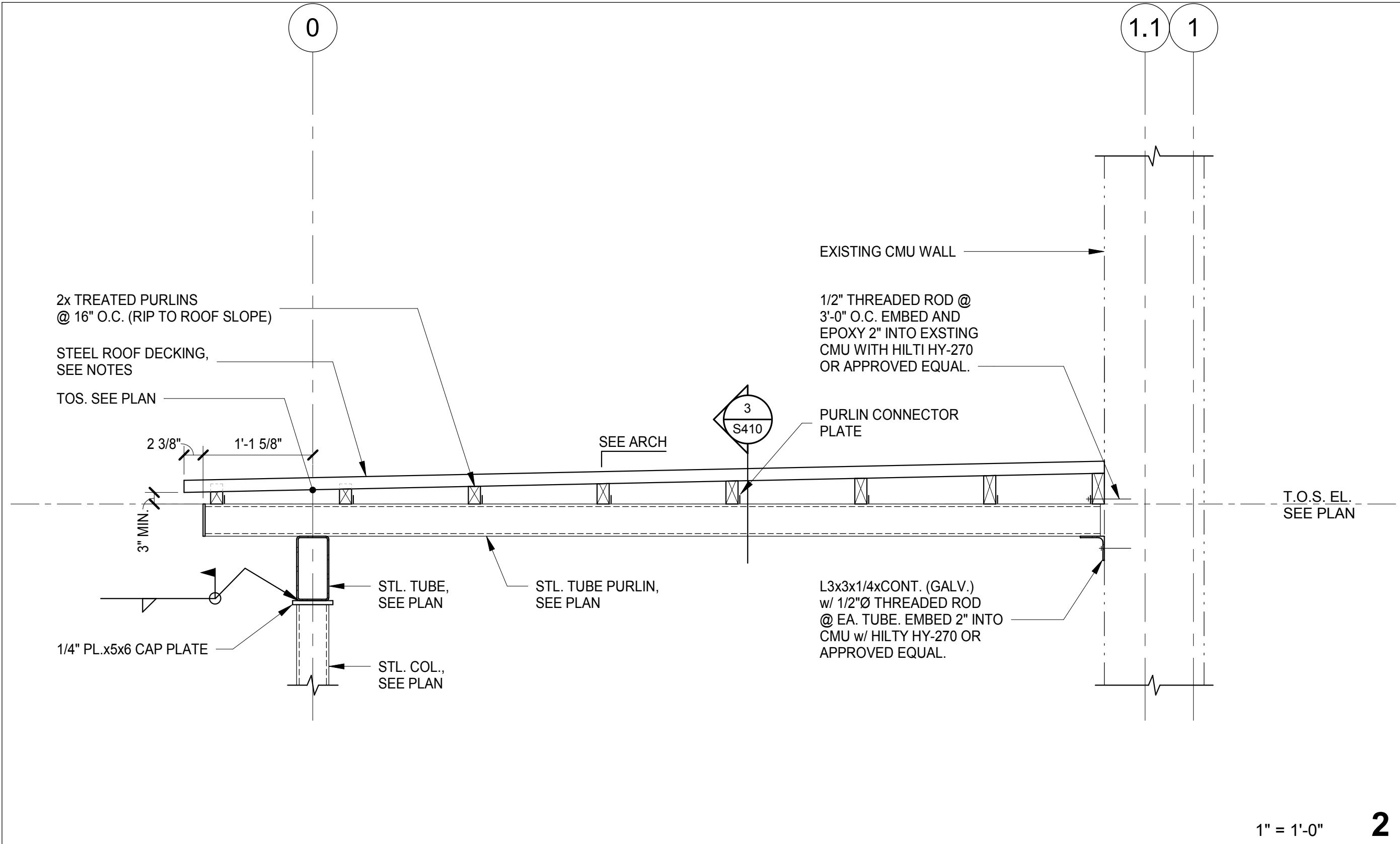
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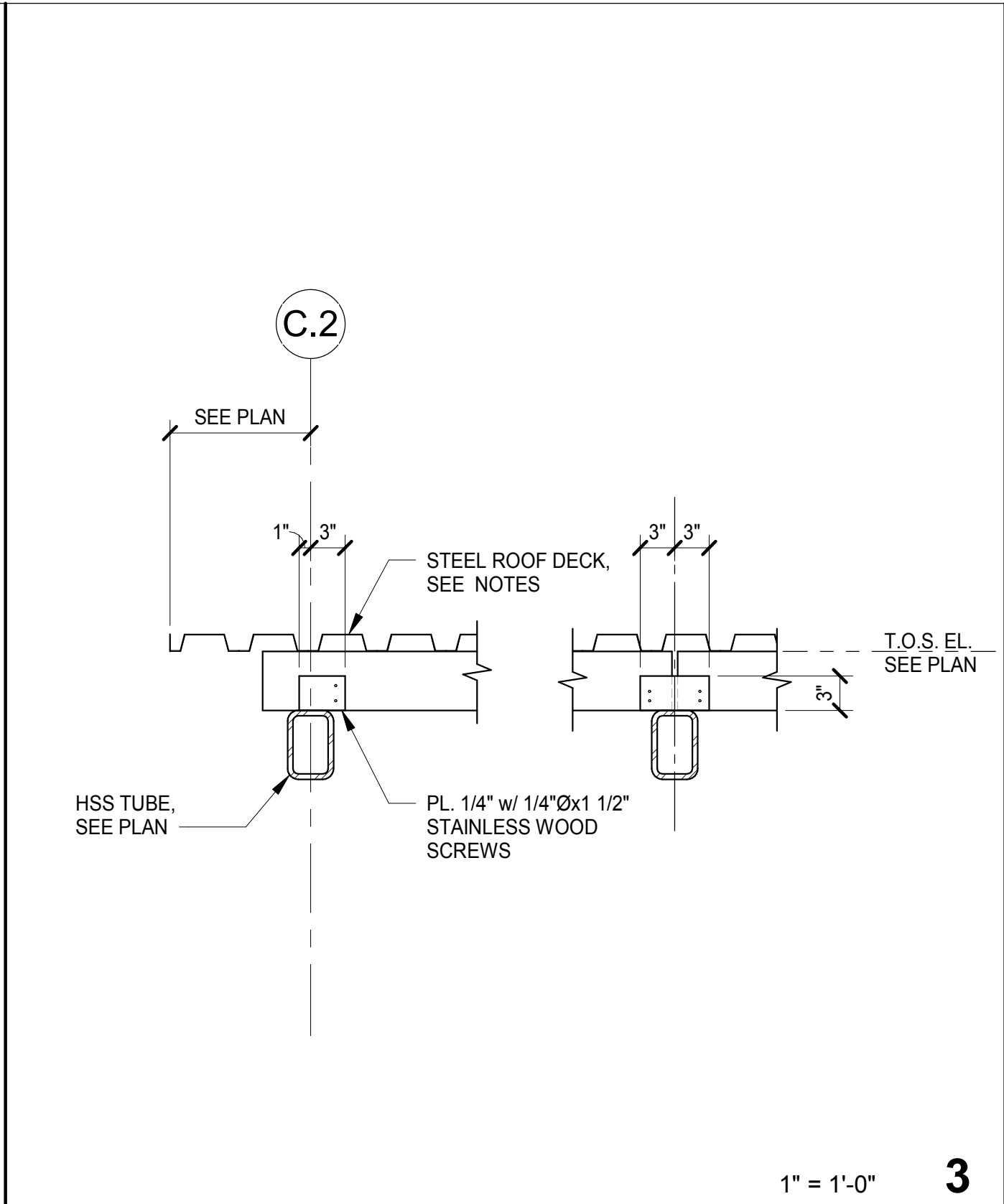
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No.	Description	Date

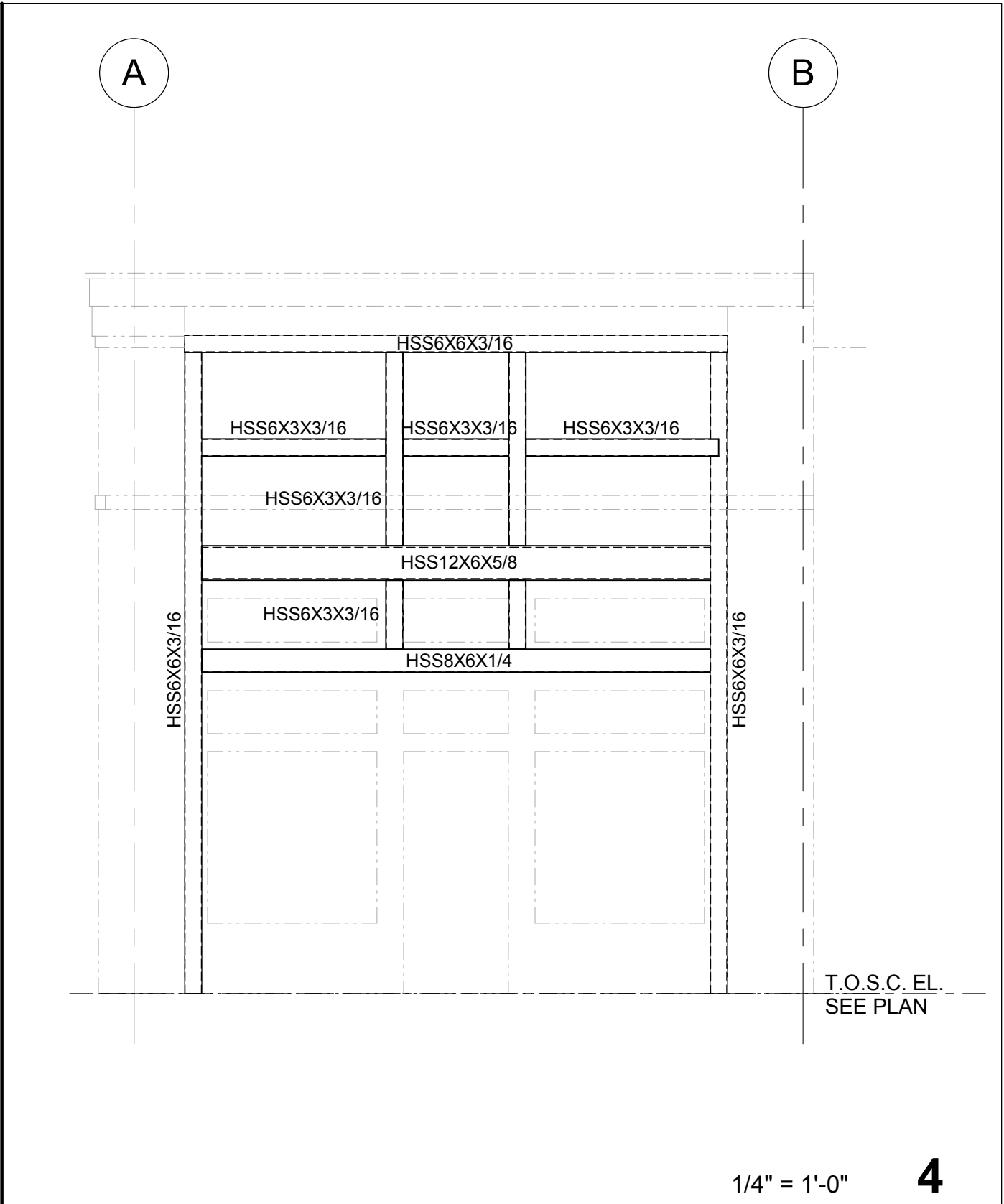
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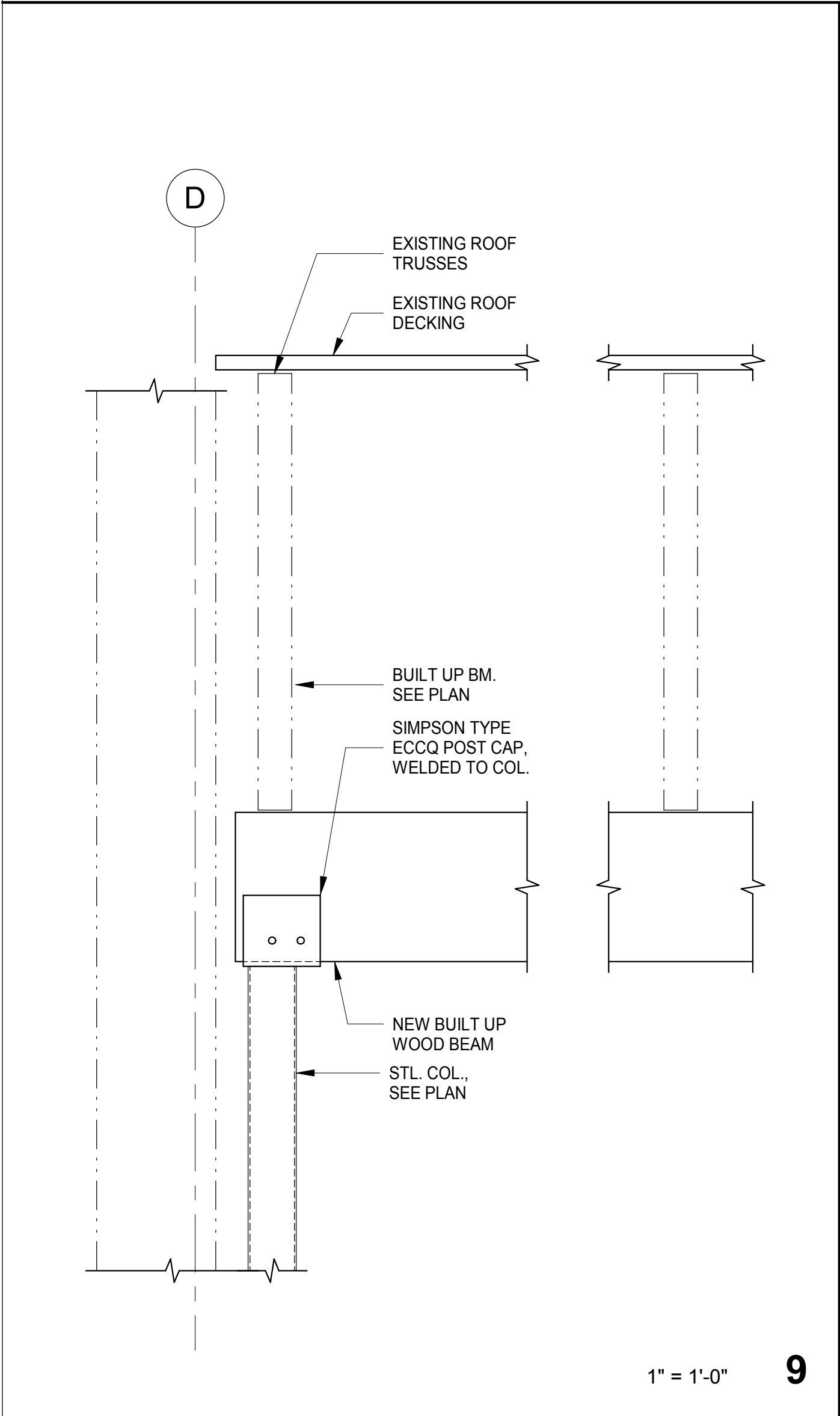
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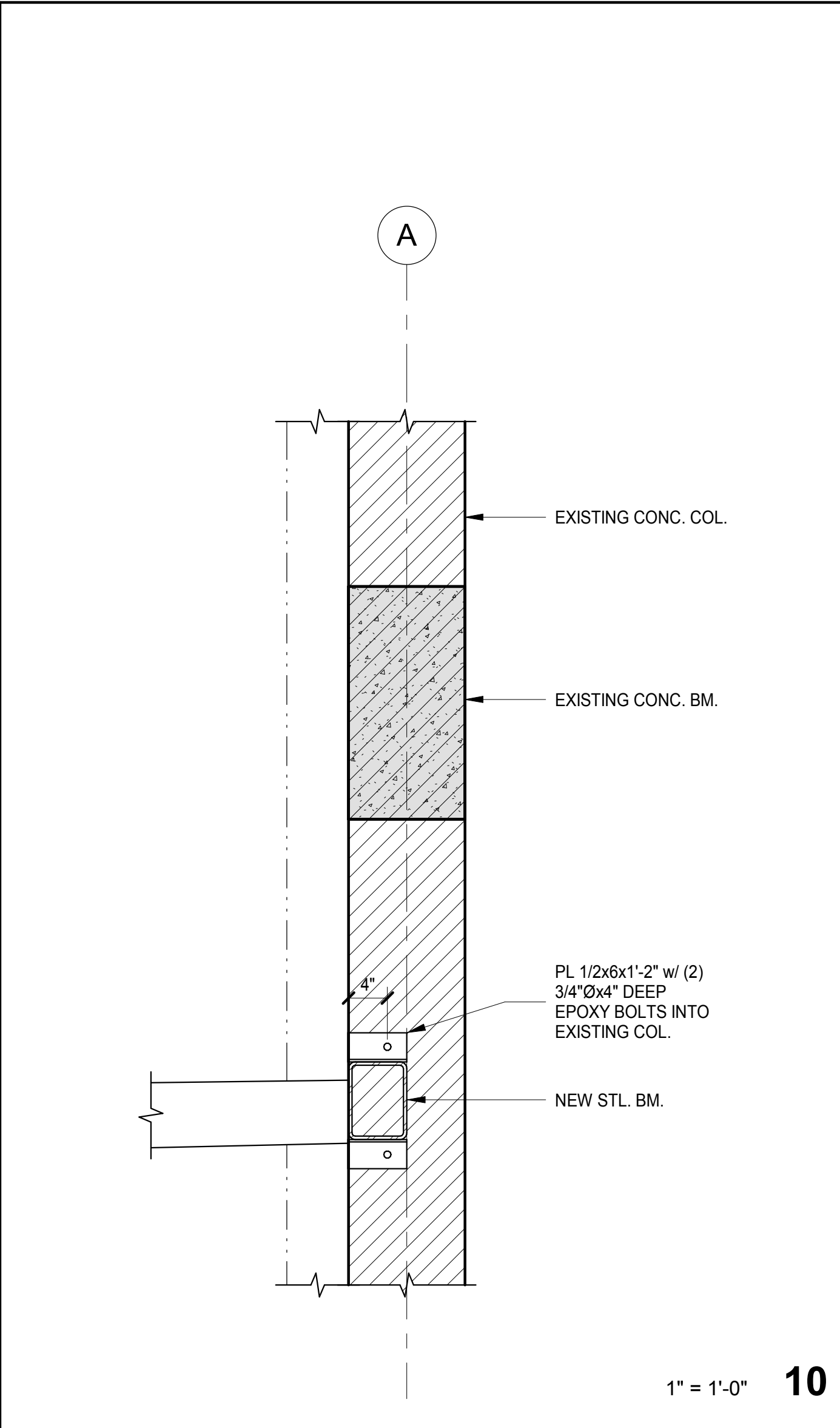
1" = 1'-0" **3**



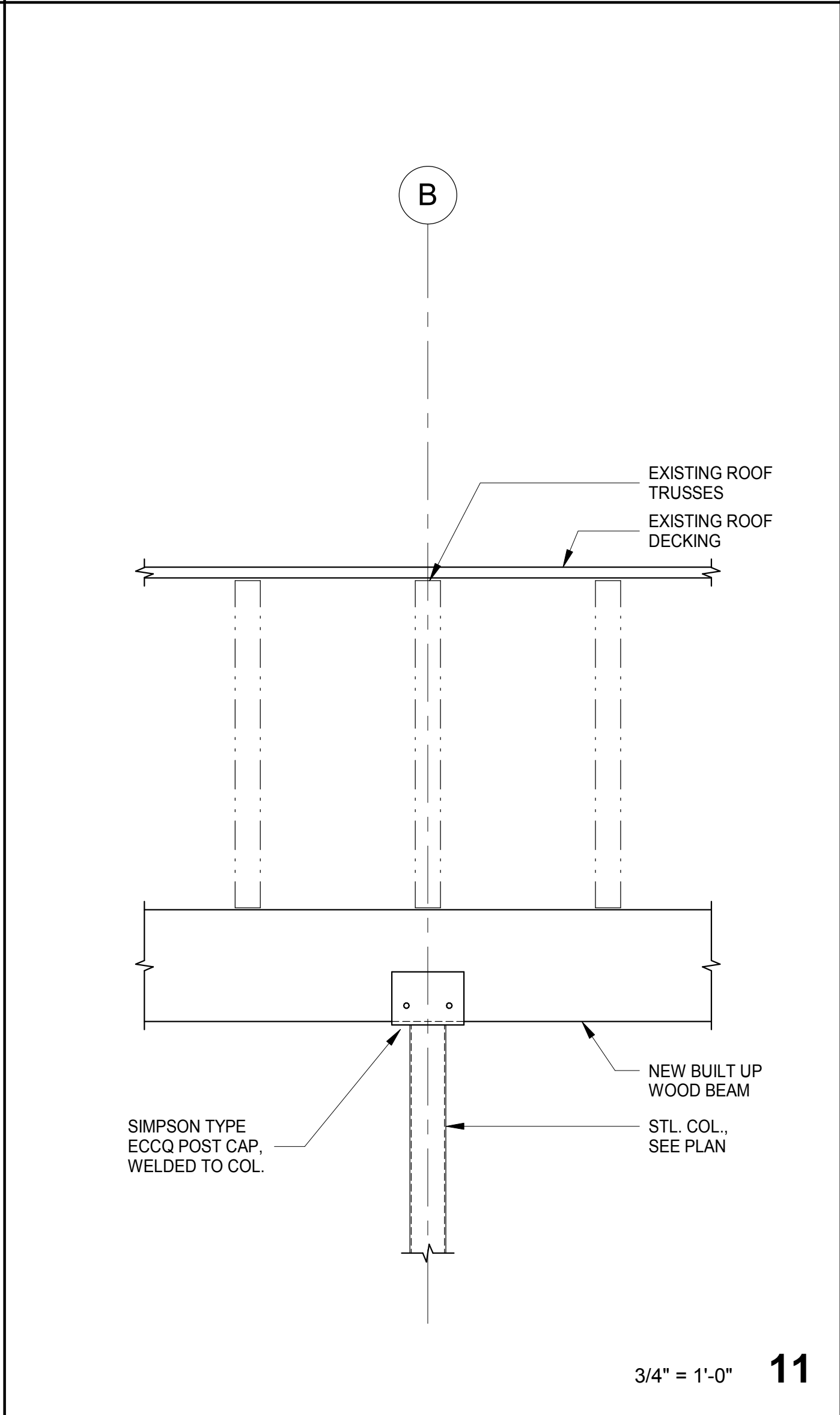
1/4" = 1'-0" **4**



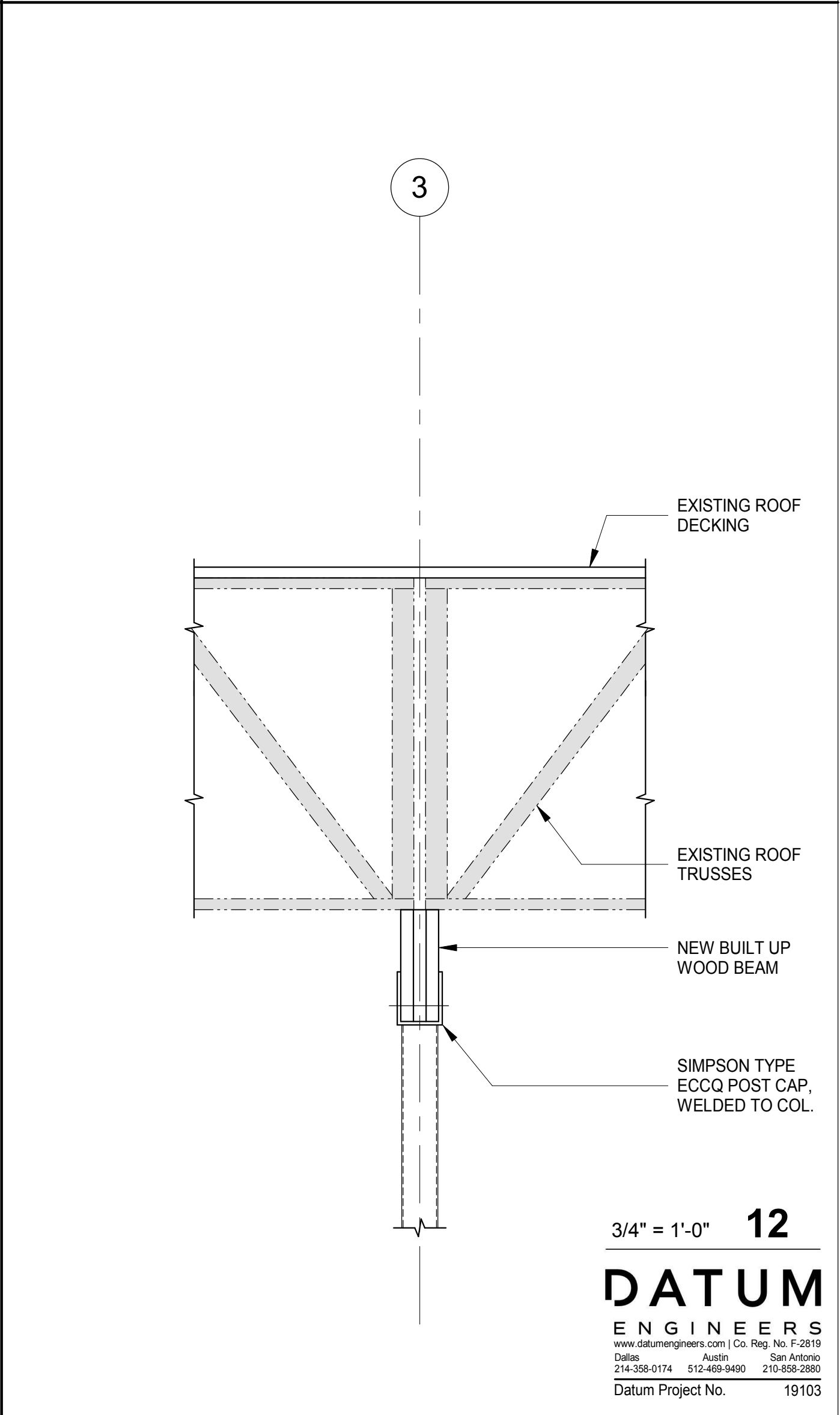
1" = 1'-0" **9**



1" = 1'-0" **10**



3/4" = 1'-0" **11**



3/4" = 1'-0" **12**

DATUM
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NAME: Owner

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PROJECT

1518 E. GRAYSON

PROJECT KEY

ARCHITECT STAMP

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, UNDER THE AUTHORITY OF LAWRENCE R. RICKELS, P.E. NO. 89443, ON 08/23/19. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES

REVISIONS

No.	Description	Date

SHEET TITLE

STEEL SECTIONS

DWG INFO

PROJECT: Project Number

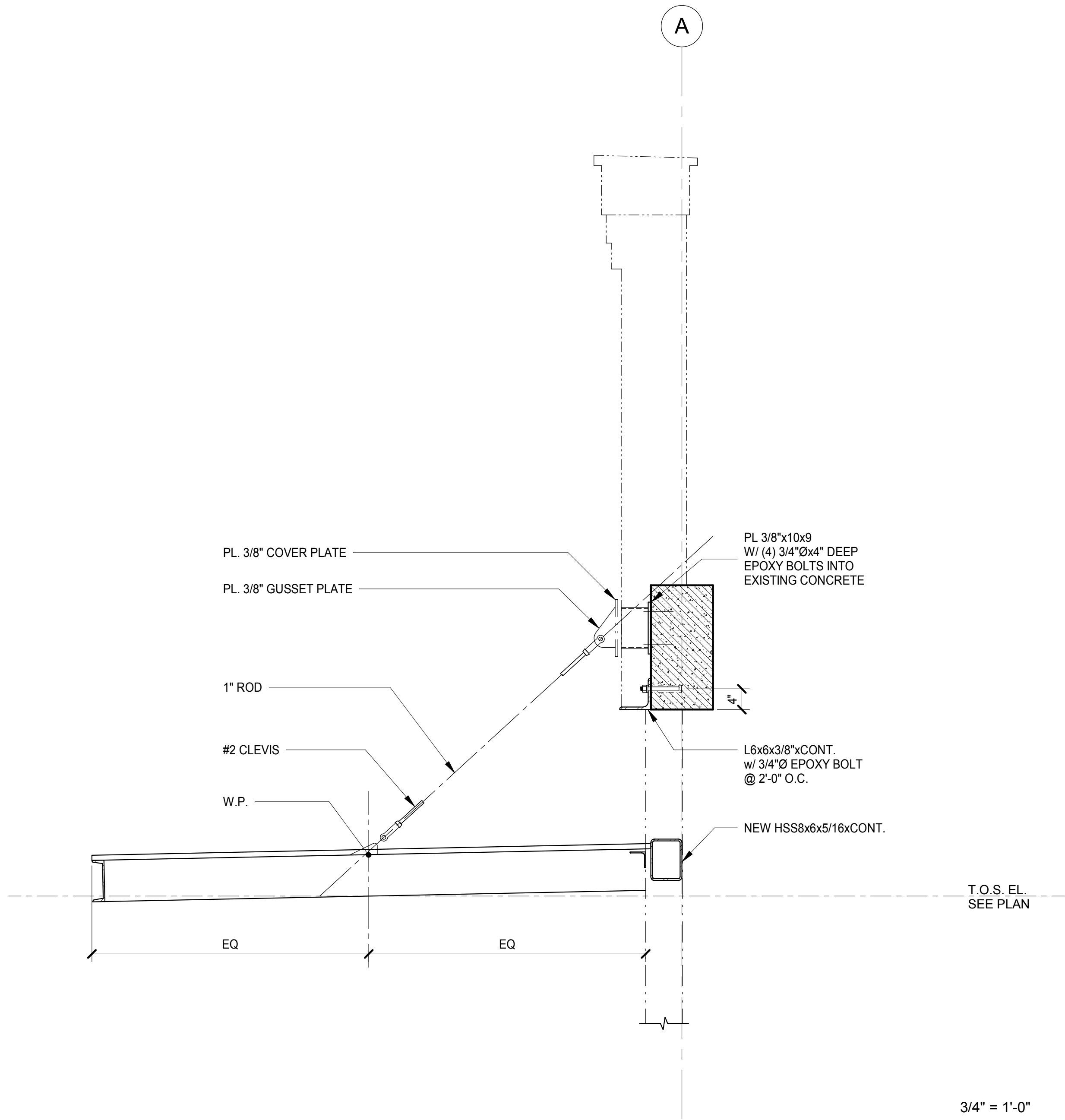
ISSUE DATE: 05/28/19

DRAWN BY: BGV

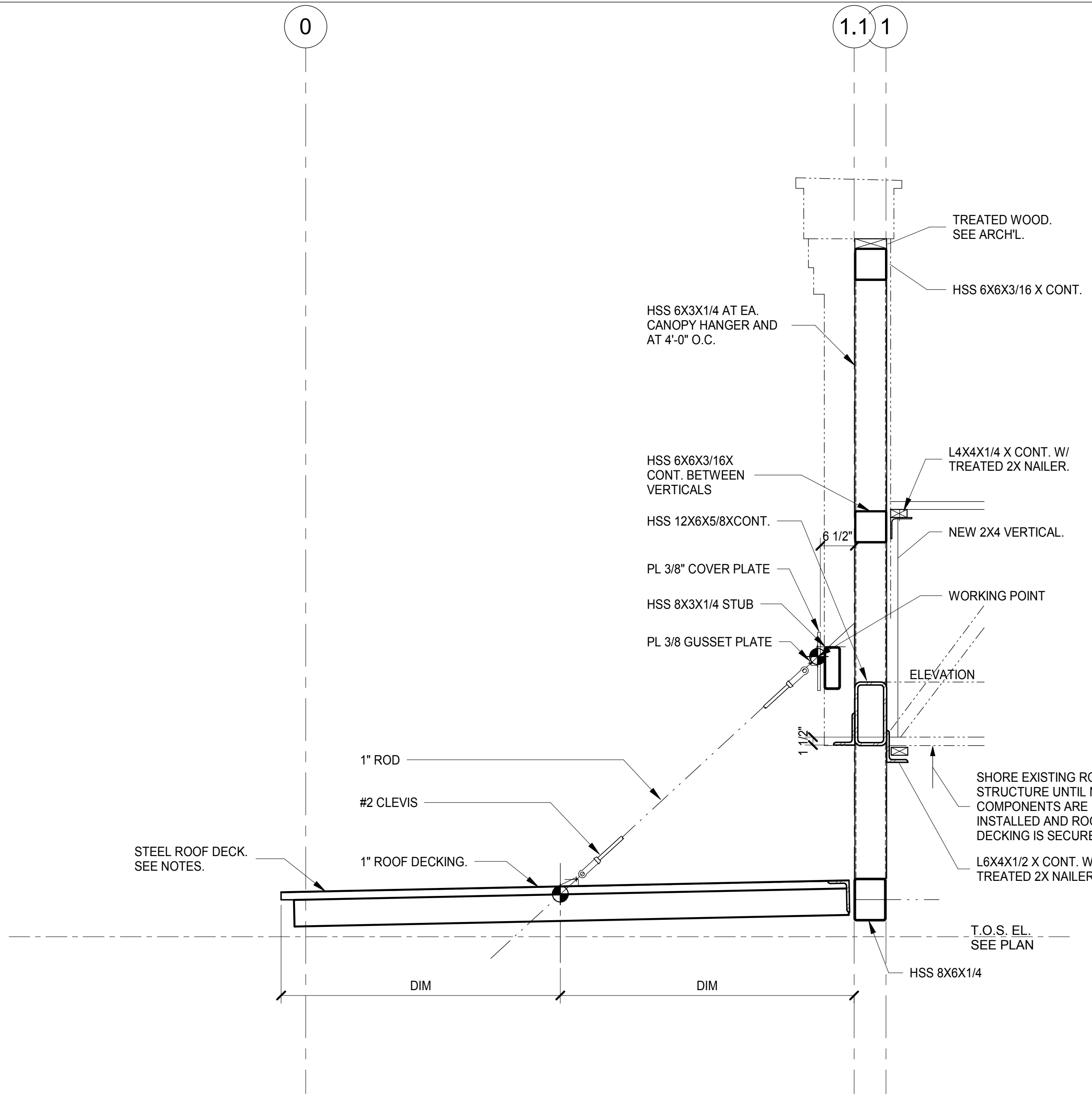
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DWG #**S410**

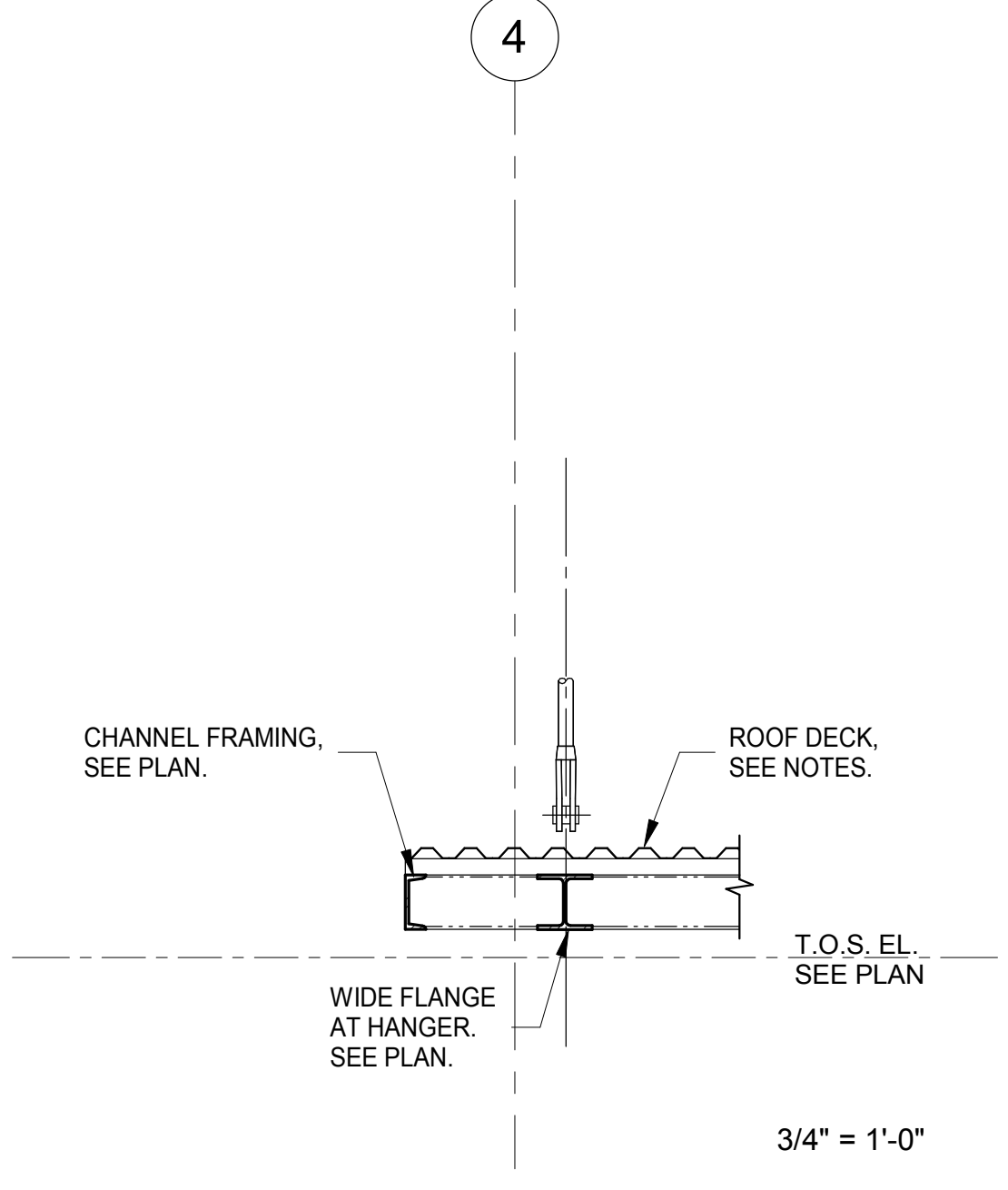
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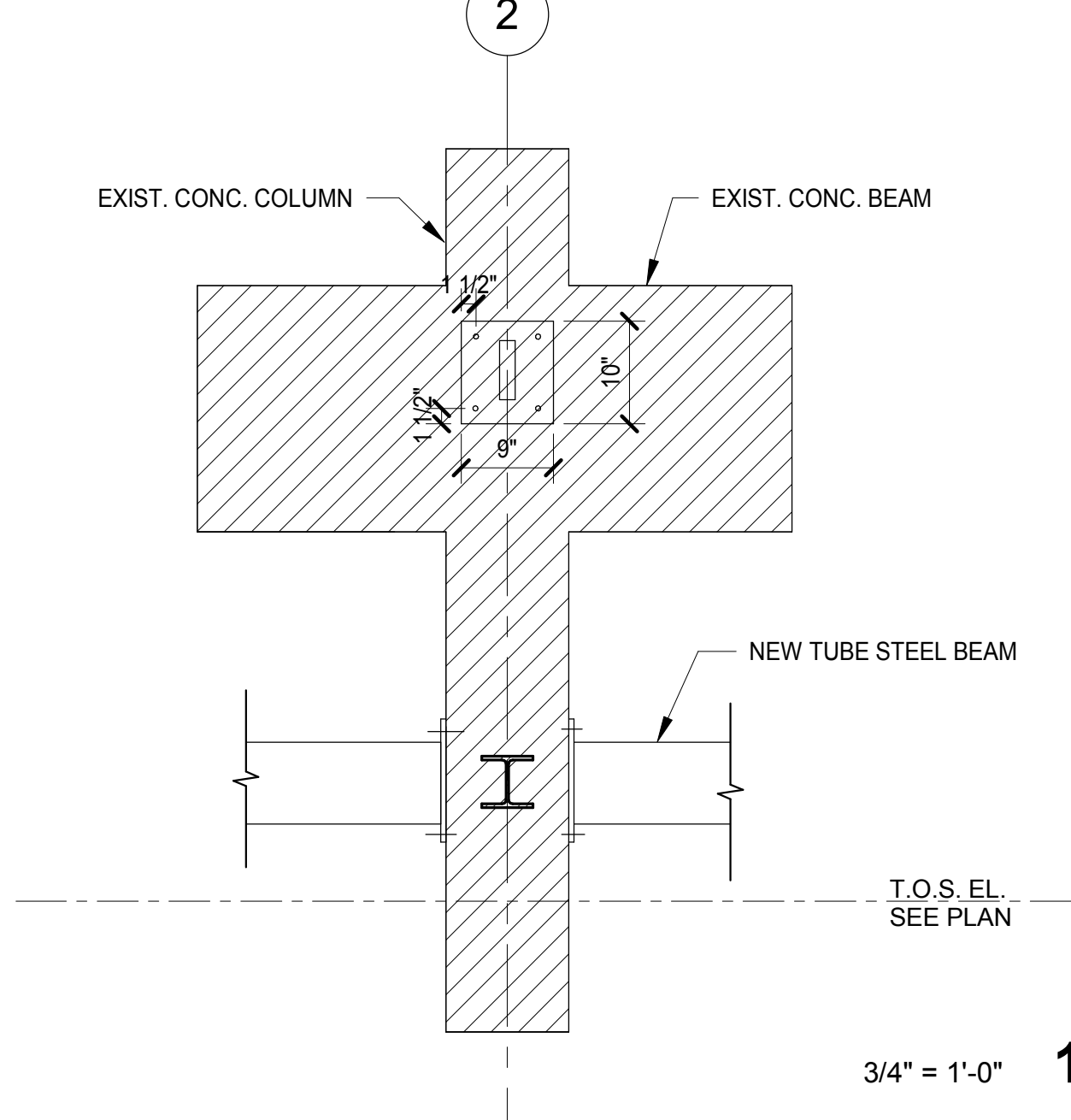
3/4" = 1'-0" **6**



3/4" = 1'-0" **8**



3/4" = 1'-0" **9**



3/4" = 1'-0" **10**

DATUM
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REVISIONS		
No.	Description	Date

SHEET TITLE
STEEL SECTIONS

DWG INFO
PROJECT: Project Number
ISSUE DATE: 05/28/19
DRAWN BY: BGV
CHECKED BY: LRR

DWG # S411

SHEET NUMBERING

A401

EACH SHEET OF DRAWINGS IS NUMBERED IN THE LOWER RIGHT HAND CORNER. SHEETS ARE NUMBERED FIRST BY SECTION LETTER THEN BY SHEET NUMBER WITHIN THE SECTION. FOR EXAMPLE, SHEET A401 REPRESENTS SHEET 401 WITHIN THE ARCHITECTURAL SECTION.

DRAWINGS

DRAWINGS ARE ORGANIZED ACCORDING TO A "SECTION FORMAT". WITH EACH SECTION DESCRIBING A GENERAL ASPECT OF THE CONSTRUCTION. THE FOLLOWING LISTING ILLUSTRATES A TYPICAL SEQUENCE OF DRAWINGS DEVELOPED FOR A LOGICAL SECTION OF WORK.

SECTION G	GENERAL PROJECT INFORMATION & DRAWINGS
SECTION C	CIVIL DRAWINGS
SECTION A	ARCHITECTURAL DRAWINGS
SECTION S	STRUCTURAL DRAWINGS
SECTION M	MECHANICAL DRAWINGS
SECTION E	ELECTRICAL DRAWINGS
SECTION P	PLUMBING DRAWINGS
SECTION L	LANDSCAPE DRAWINGS

SYMBOLS

THE FOLLOWING DRAWINGS SYMBOLS INCLUDE, BUT ARE NOT LIMITED TO THOSE TYPICALLY FOUND IN A SET OF CONSTRUCTION DOCUMENTS

FLOOR LEVEL LINE	
MATCHLINE (SHADED PORTION)	
COLUMN GRIDS	
ROOM TAG	
REVISION TAG	
WINDOW TAG	
DOOR TAG	
NORTH ARROW	
BUILDING SECTION TAG	

THE SECTION IS TAKEN ALONG THE STRAIGHT LINE OF THE SYMBOL. THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE SECTION. THE NUMBER IS A REFERENCE TO THE SECTION DRAWING.

WALL SECTION TAG	
------------------	--

SEE ABOVE FOR EXPLANATION

ELEVATION TAG	
---------------	--

THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE ELEVATION. THE NUMBER IS A REFERENCE TO THE ELEVATION DRAWING. IN THIS EXAMPLE, DRAWING 2 ON SHEET A300

DETAIL KEY	
------------	--

THIS SYMBOL IS A KEY TO A DETAIL DRAWN OF THE AREA WITHIN THE DASHED LINES. THE NUMBER IS A REFERENCE TO THE DETAIL DRAWING. FOR EXAMPLE, DRAWING 1/A101 REPRESENTS DRAWING 1 ON SHEET A101

PARTITION TYPE TAG	
--------------------	--

ABBREVIATIONS

ABV. ABOVE	FIG. FIGURE	PERI. PERIMETER
A.F.F. ABOVE FINISHED FLOOR	FIN. FINISH(ED)	PERP. PERPENDICULAR
ADD. ADDITION	FIXT. FIXTURE	PK. PARKING
ADH. ADHESIVE	FLG. FLASHING	PL. PLATE
ADJ. ADJACENT	FLUOR. FLUORESCENT	
ADJT. ADJUSTABLE	FLR. FLOOR(ING)	PLAS. PLASTER
AGG. AGGREGATE	FND. FOUNDATION	PWD. PLYWOOD
ALT. ALTERNATE	FP. FIREPROOF	PNT. PAINT
ALUM. ALUMINUM	FR. FRAME(D), (ING)	PT. POINT
APPD. APPROVED		PTN. PARTITION
APPROX. APPROXIMATE	G.C. GENERAL CONTRACTOR	PV. PAVE(ING)
ARCH. ARCHITECT(URAL)	GA. GAUGE	PVC. POLYVINYL CHLORIDE
AVG. AVERAGE	GALV. GALVANIZED	PVMT. PAVEMENT
	GD. GRADE, GRADING	
B.S. BOTH SIDES	GL. GLASS, GLAZING	R. RISER
BD. BOARD	GW.B. GYPSUM WALLBOARD	R.A. RETURN AIR
BEL. BELOW	GYP. GYPSUM	R.D. ROOF DRAIN
BET. BETWEEN	GYP.PL. GYPSUM PLASTER	R.H. RIGHT HAND
BLKG. BLOCKING		R.O. ROUGH OPENING
BM. BEAM	H.B. HOSE BIB	R.O.W. RIGHT OF WAY
BOT. BOTTOM	H.C. HOLLOW CORE	RAD. RADIUS
	H.M. HOLLOW METAL	RFG. ROOFING
C.M.U. CONCRETE MASONRY UNIT	H.V.A.C. HEAT/VENT/AIR CONDITIONING	RFL. REFLECT(ED), (IVE), (OR)
C.O. CLEAN OUT	H.W. HOT WATER	REF. REFERENCE
C.W. COLD WATER	HDR. HEADER	REFR. REFRIGERATOR
CTL.JT. CONTROL JOINT	HDW. HARDWARE	REM. REMOVE
CAB. CABINET	HORIZ. HORIZONTAL	RES. RESILIENT
CEM. CEMENT	HR. HOUR	RET. RETURN
CER. CERAMIC	HT. HEIGHT	REV. REVISION
CHAM. CHAMFER	HTG. HEATING	RM. ROOM
CIR. CIRCLE	HWD. HARDWOOD	
CK. CAULK(ING)		S.C.W. SOLID CORE WOOD
CLG. CEILING	I.D. INSIDE DIAMETER	S.D. STORM DRAIN
CLO. CLOSET	IN. INCH	SCHED. SCHEDULE(D)
CLR. CLEAR(ANCE)	INCL. INCLUDE(D), (ING)	SEC. SECTION
CNTR. COUNTER	INS. INSULATE(D), (ING)	SH. SHELF(VES), (VING)
COL. COLUMN	INT. INTERIOR	SHTH. SHEATHING
COMP. COMPRESS(ED), (ION), (IBLE)		SHT. SHEET
COMPO. COMPOSITION (COMPOSITE)	JT. JOINT	SIM. SIMILAR
CONC. CONCRETE		SNT. SEALANT
CONN. CONNECTION	L. LENGTH	SP. SOUNDPROOF
CONST. CONSTRUCTION	L.H. LEFT HAND	SPK. SPEAKER
CORR. CORRUGATED	LAM. LAMINATE	SPEC. SPECIFICATION(S)
CPT. CARPET (ED)	LAV. LAVATORY	SQ. SQUARE
CSMT. CASEMENT	LT. LIGHT	S.S. STAINLESS STEEL
CTR. CENTER	LTL. LINTEL	STL. STEEL
	LVR. LOUVER	STR. STRUCTURAL
D. DRAIN	MAX. MAXIMUM	STD. STANDARD
D.H. DOUBLE HUNG	MBR. MEMBER	STOR. STORAGE
DBL. DOUBLE	MECH. MECHANICAL	SUSP. SUSPENDED
DEM. DEMOLISH, DEMOLITION	MED. MEDIUM	SYS. SYSTEM
DIAG. DIAGONAL	MFR. MANUFACTURER	
DIA. DIAMETER	MIN. MINIMUM	T. TREAD
DIM. DIMENSION	MIR. MIRROR	T.O.S. TOP OF STRUCTURE
DIV. DIVISION	MISC. MISCELLANEOUS	T.P.D. TOILET PAPER DISPENSER
DN. DOWN	MLD. MOLDING, MOULDING	T.O.STL. TOP OF STEEL
DR. DOOR	MO. MONTH	TEL. TELEPHONE
DS. DOWNSPOUT	MOV. MOVABLE	TEMP. TEMPERATURE
DTL. DETAIL	MT. MOUNT(ED), (ING)	THK. THICK(NESS)
DW. DISHWASHER	MTL. METAL	THR. THRESHOLD
DWG. DRAWING	MULL. MULLION	TYP. TYPICAL
DWR. DRAWER		
	N.I.C. NOT IN CONTRACT	V.B. VAPOR BARRIER
E.P. ELECTRICAL PANELBOARD	N.T.S. NOT TO SCALE	VERT. VERTICAL
ELEV. ELEVATION	NO. NUMBER	VIN. VINYL
EQ. EQUIVALENT	NOM. NOMINAL	VNR. VENEER
EQUIP. EQUIPMENT		VOL. VOLUME
	O.C. ON CENTER	W. WIDTH, WIDE
F.A. FIRE ALARM	O.D. OUTSIDE DIAMETER	W.C. WATER CLOSET
F.B.O. FURNISHED BY OTHERS	OH. OVERHEAD	W.H. WATER HEATER
F.D. FLOOR DRAIN	OPNG. OPENING	W.I. WROUGHT IRON
F.E. FIRE EXTINGUISHER	OPP. OPPOSITE	W.M. WIRE MESH
F.F.E. FINISH FLOOR ELEVATION	OPP.HD. OPPOSITE HAND	W.S. WEATHERSTRIPPING
F.O.F. FACE OF FINISH		WD. WOOD
F.O.S. FACE OF STUD	P.L. PROPERTY LINE	WDW. WINDOW
F.R. FIRE RATED	P.LAM. PLASTIC LAMINATE	WP. WATERPROOFING
FAS. FASTEN(ER)	PERF. PERFORATE(D)	WT. WEIGHT
FGL. FIBERGLASS		



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PROJECT

1518 EAST
GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

SHEET TITLE

SYMBOLS

DWG INFO

PROJECT: OPP

ISSUE DATE: 08/26/2019

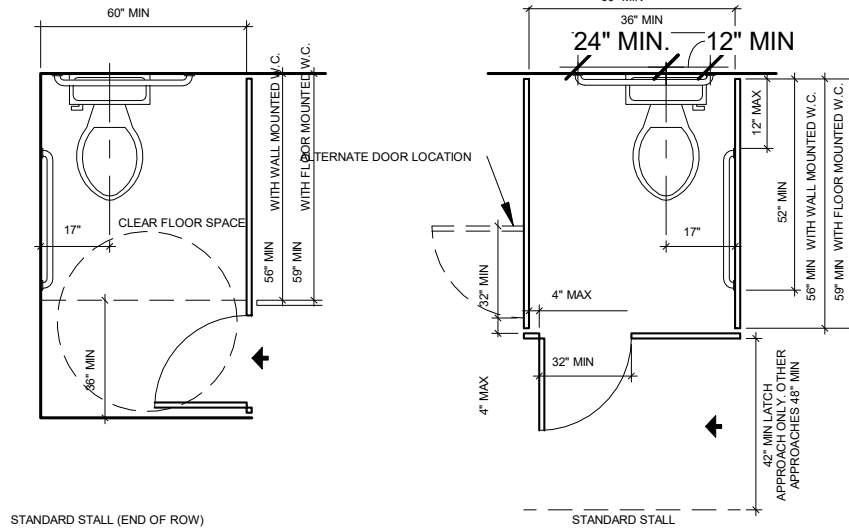
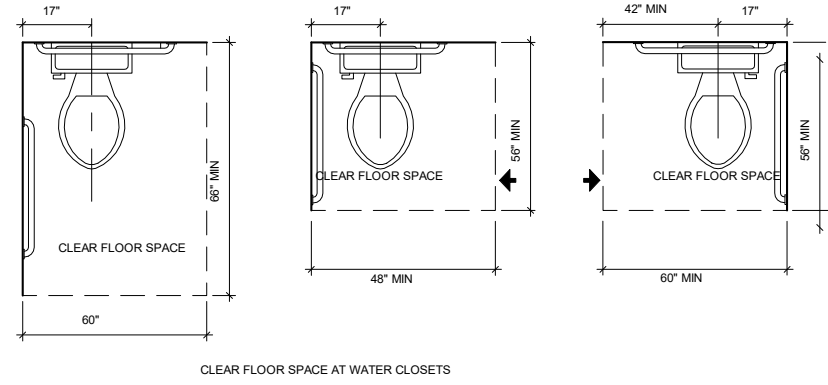
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SHEET

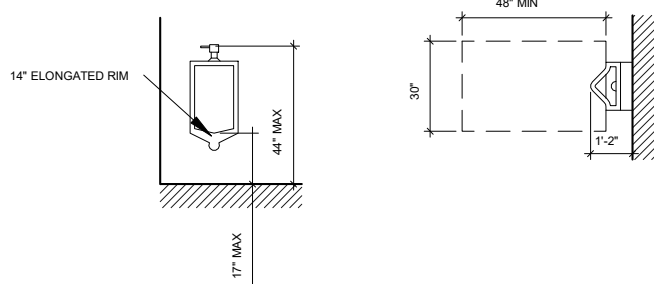
A001

TOILET STALLS

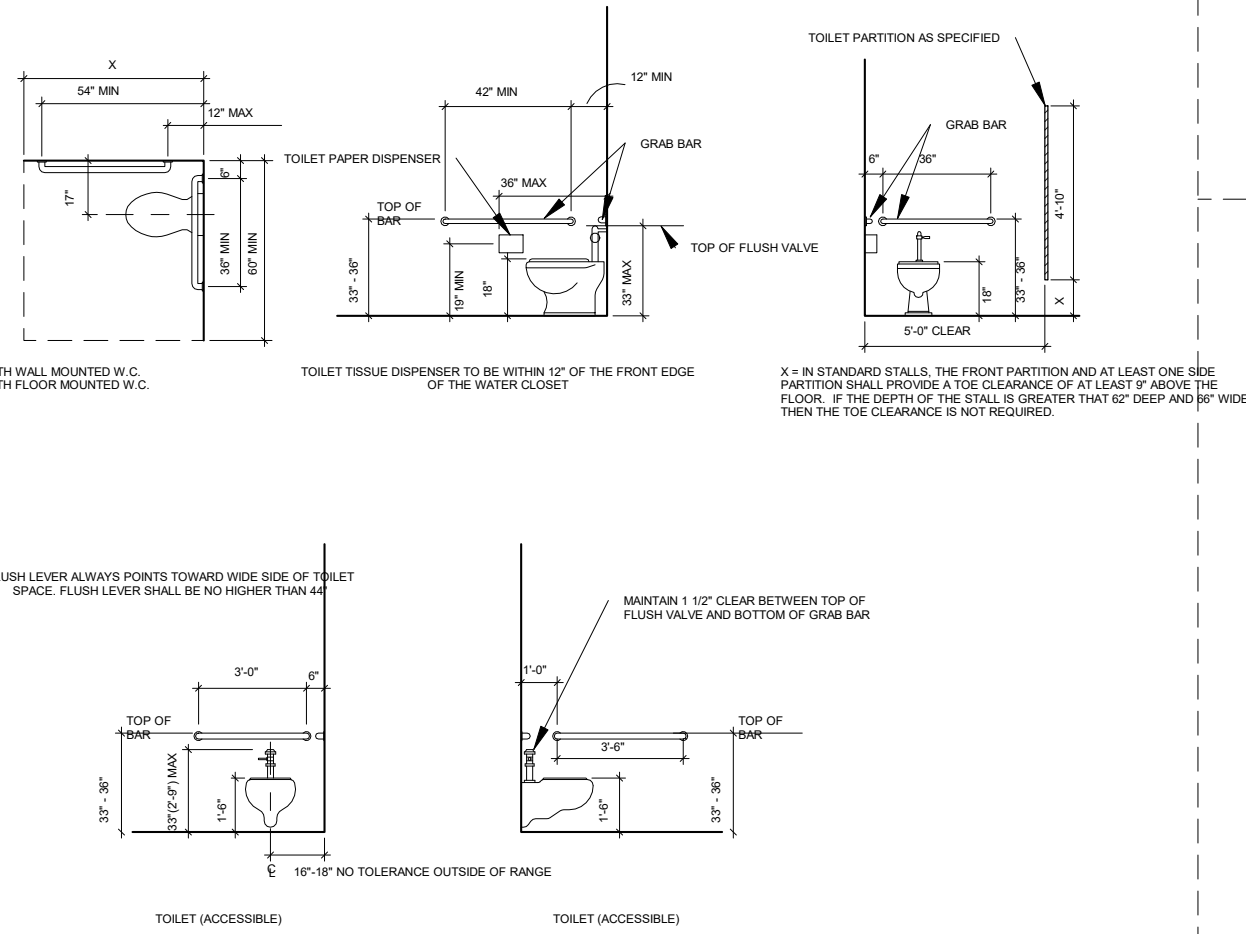


CLEARANCES INDICATED ARE MINIMUM REQUIREMENTS FOR ACCESSIBILITY. REFER TO TOILET ROOMS AND LAVATORY DETAILS FOR MOUNTING HEIGHTS.
NOTE: FLOOR PLANS MAY BE FLIPPED AND ROTATED FOR SIMILAR CONDITIONS.

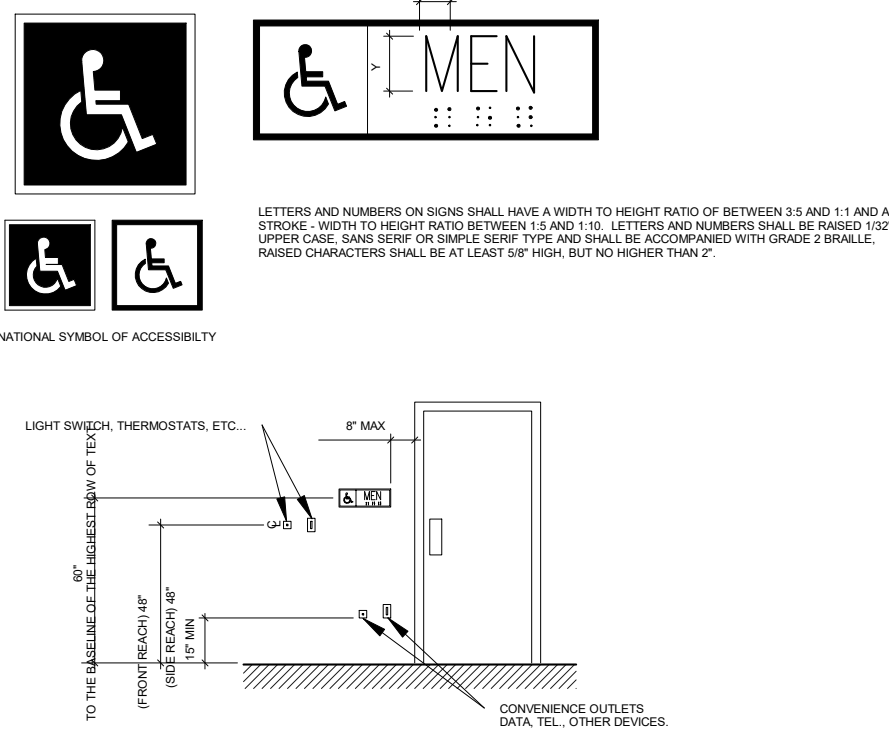
URINALS



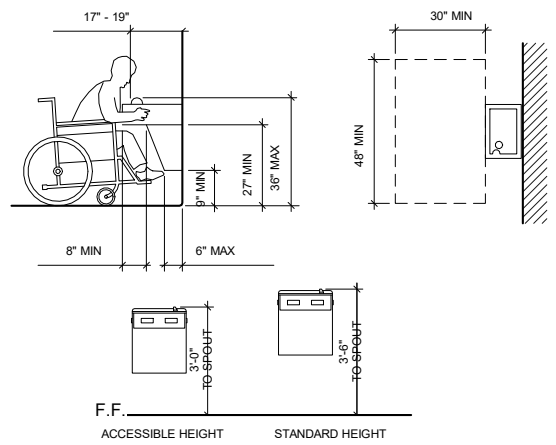
GRAB BARS



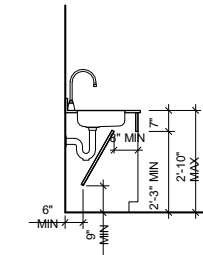
SIGNAGE



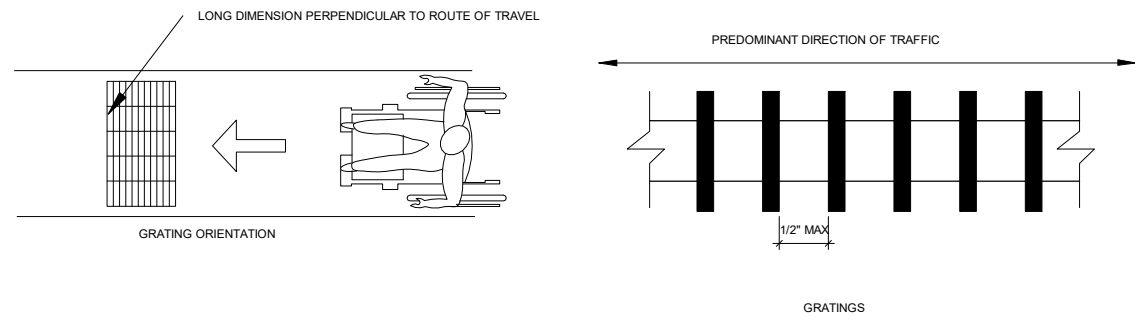
DRINKING FOUNTAINS



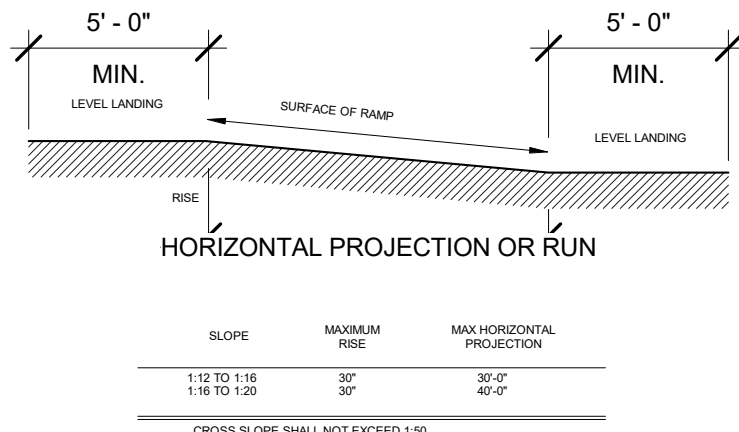
KITCHEN SINK



GRATING AT CURB RAMPS

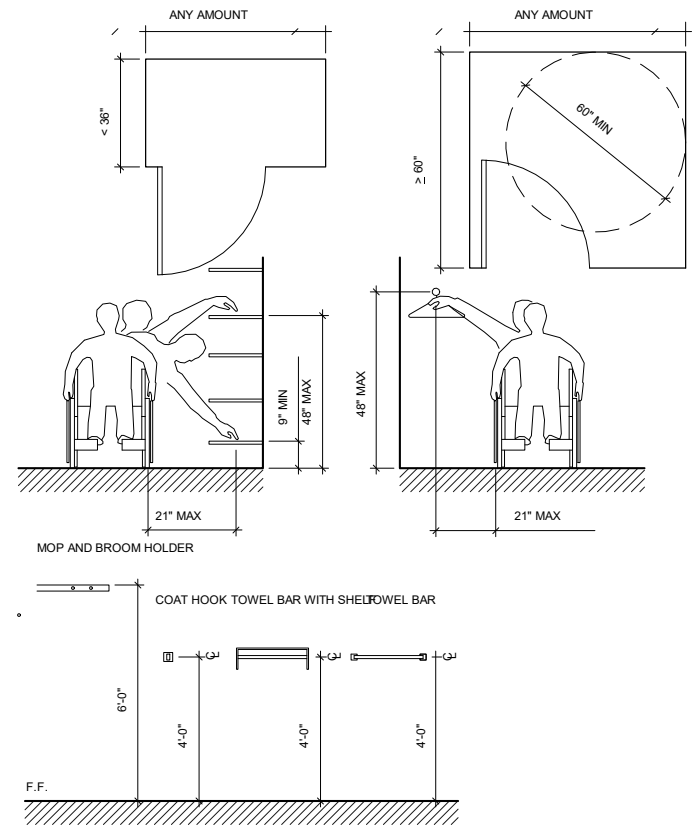


RAMP



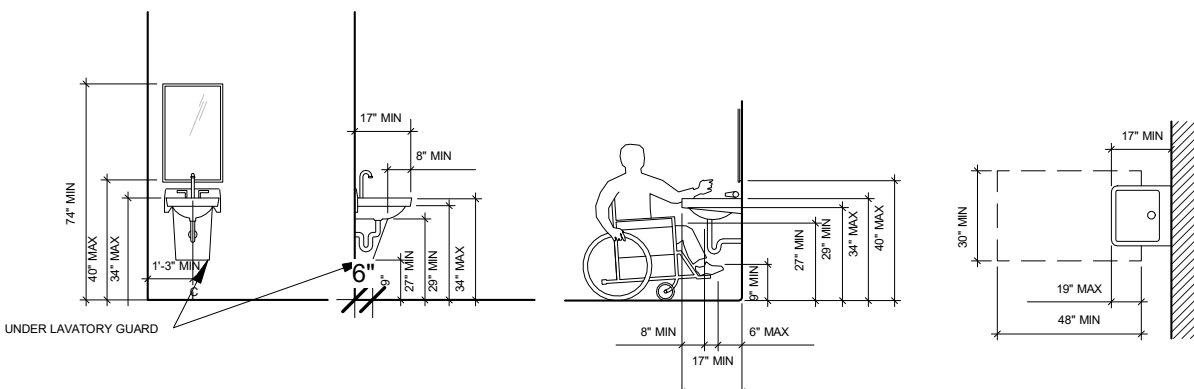
NOTE: THE LANDINGS SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP RUN LEADING TO IT.
- IF RAMP CHANGES DIRECTION AT LANDINGS, THE MINIMUM LANDING SIZE SHALL BE 6'0" x 6'0".

STORAGE

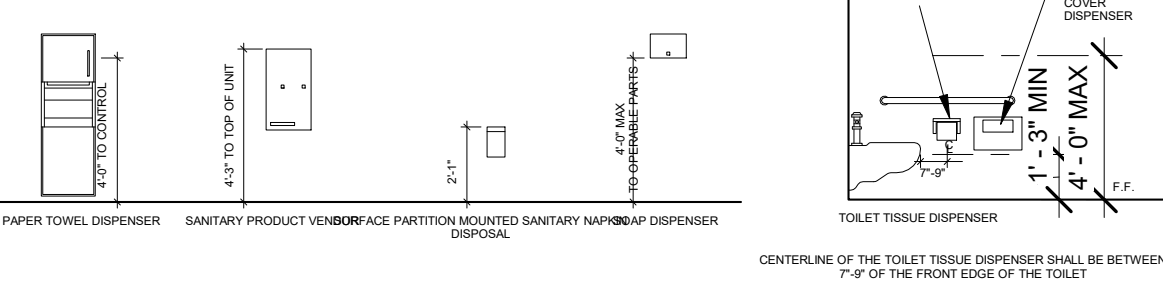


GENERAL NOTES
- DIMENSIONS SHOWN ARE MINIMUMS AND SHALL BE USED UNLESS SHOWN OTHERWISE IN THE CONTRACT DOCUMENTS. REQUEST CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING FOR ANY DISCREPANCIES.

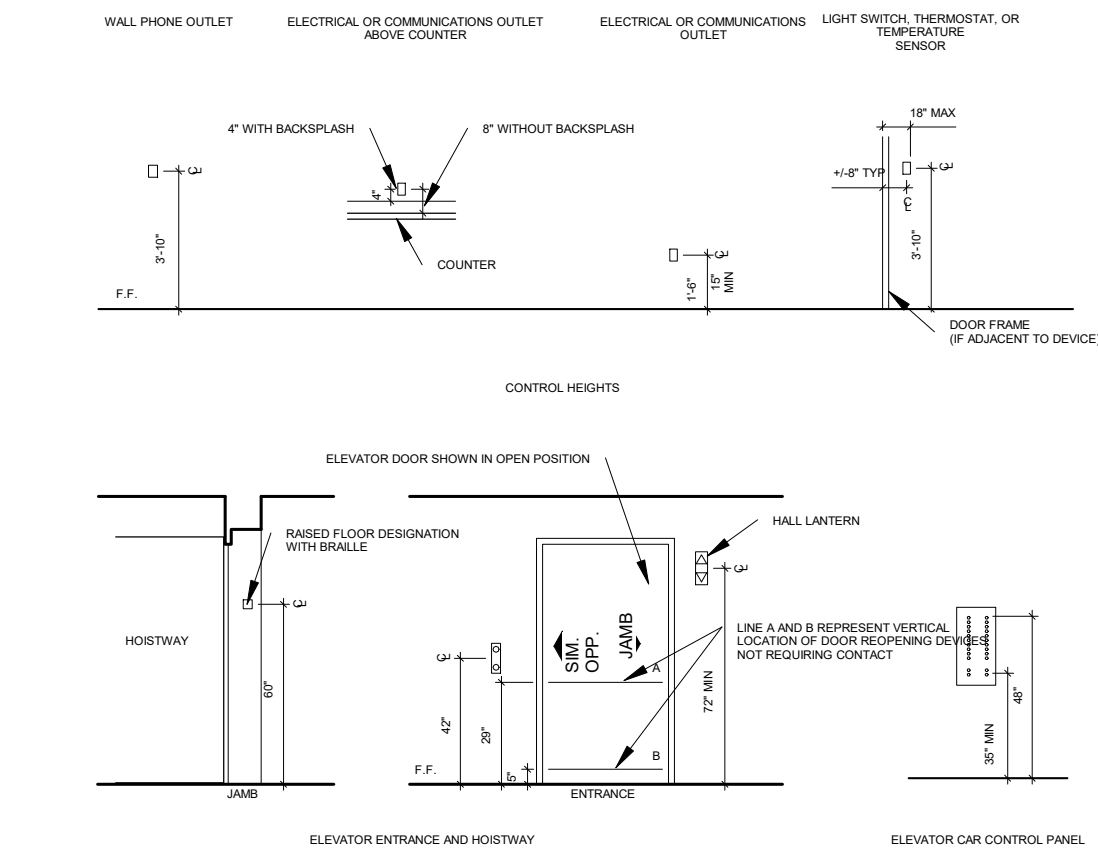
LAVATORIES & MIRRORS



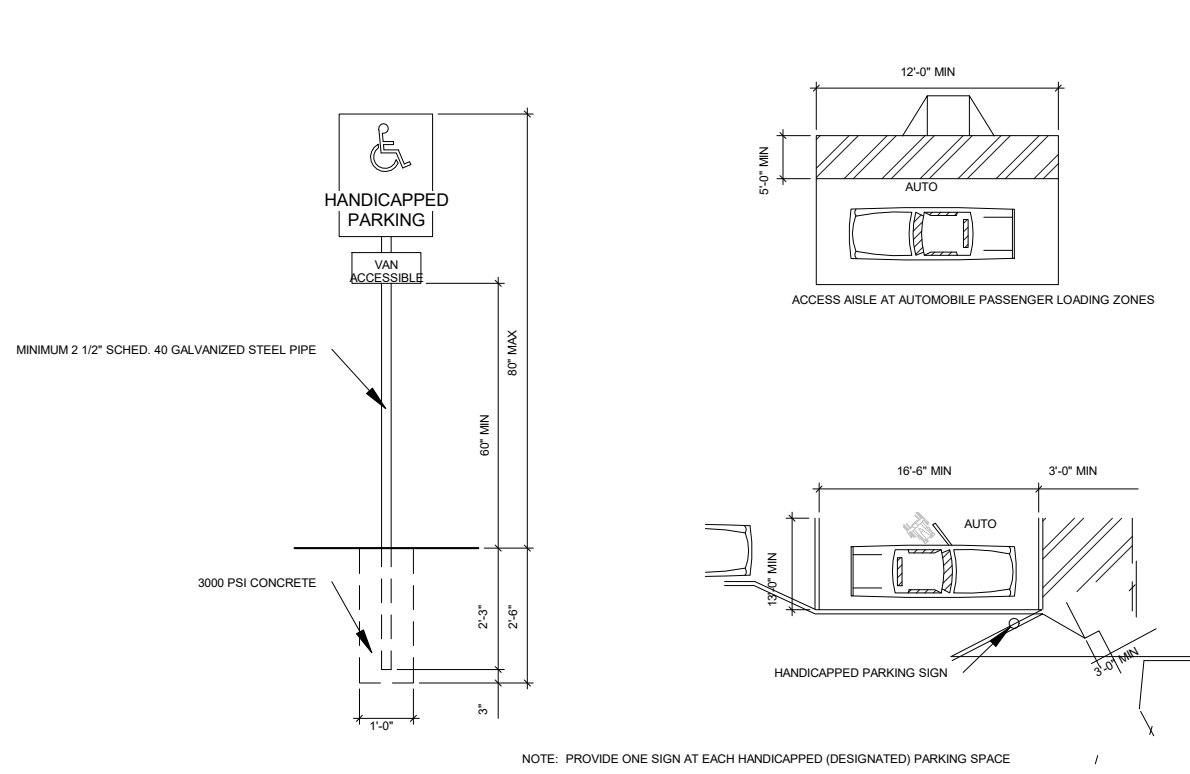
TOILET ACCESSORIES



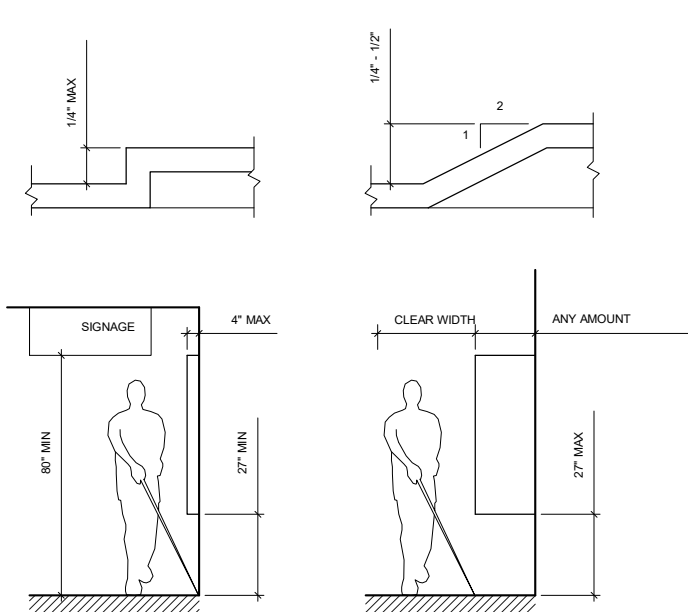
CONTROLS AND OPERATING MECHANISMS



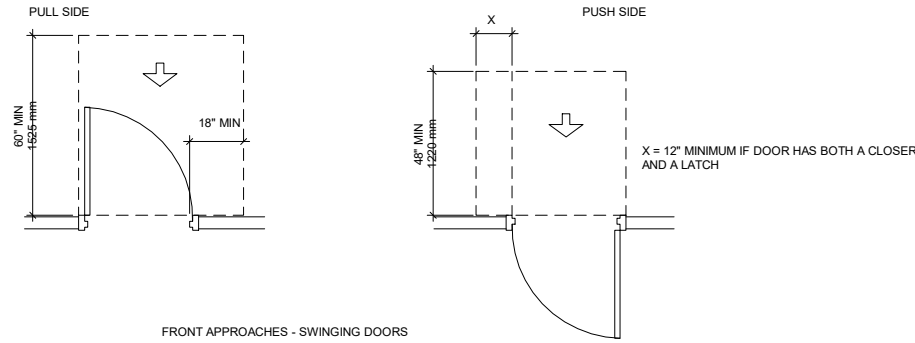
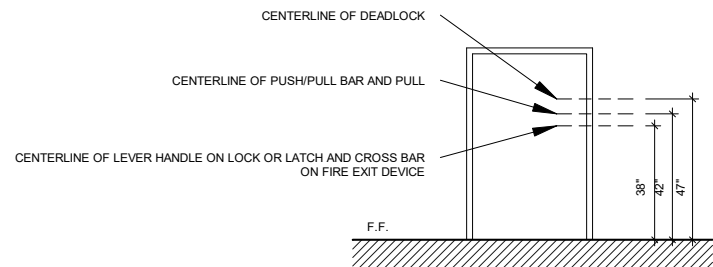
PASSENGER LOADING ZONES



WALL PROJECTIONS

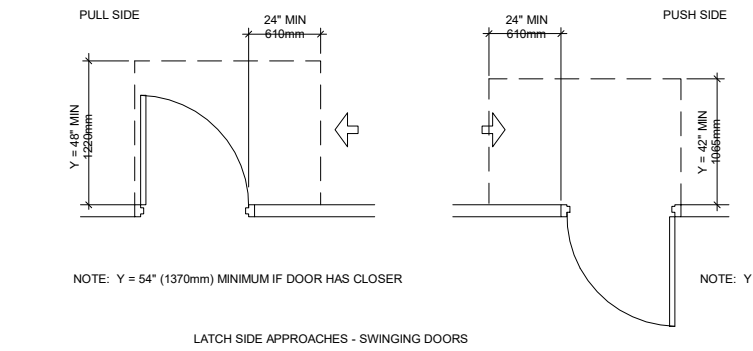
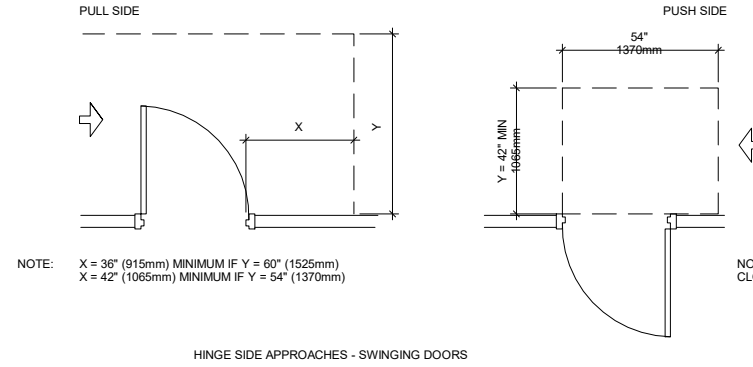


DOOR APPROACH - FRONT

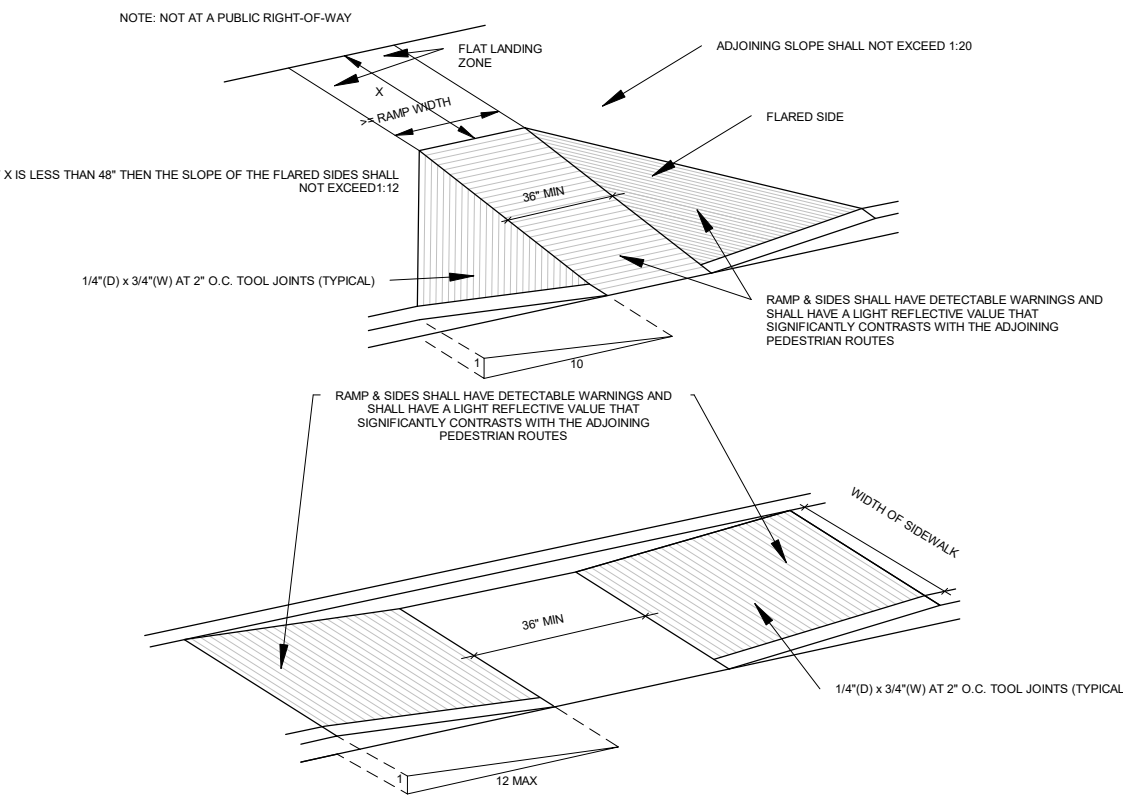


NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCE FOR FRONT APPROACHES

DOOR APPROACH - SIDE



CURB RAMPS



REVISIONS		
No.	Description	Date

EXIT CALCULATIONS
PER 2018 IBC TABLE

MINIMUM EXIT WIDTH REQUIRED..... 32"

EXIT WIDTH PROVIDED.....32" +

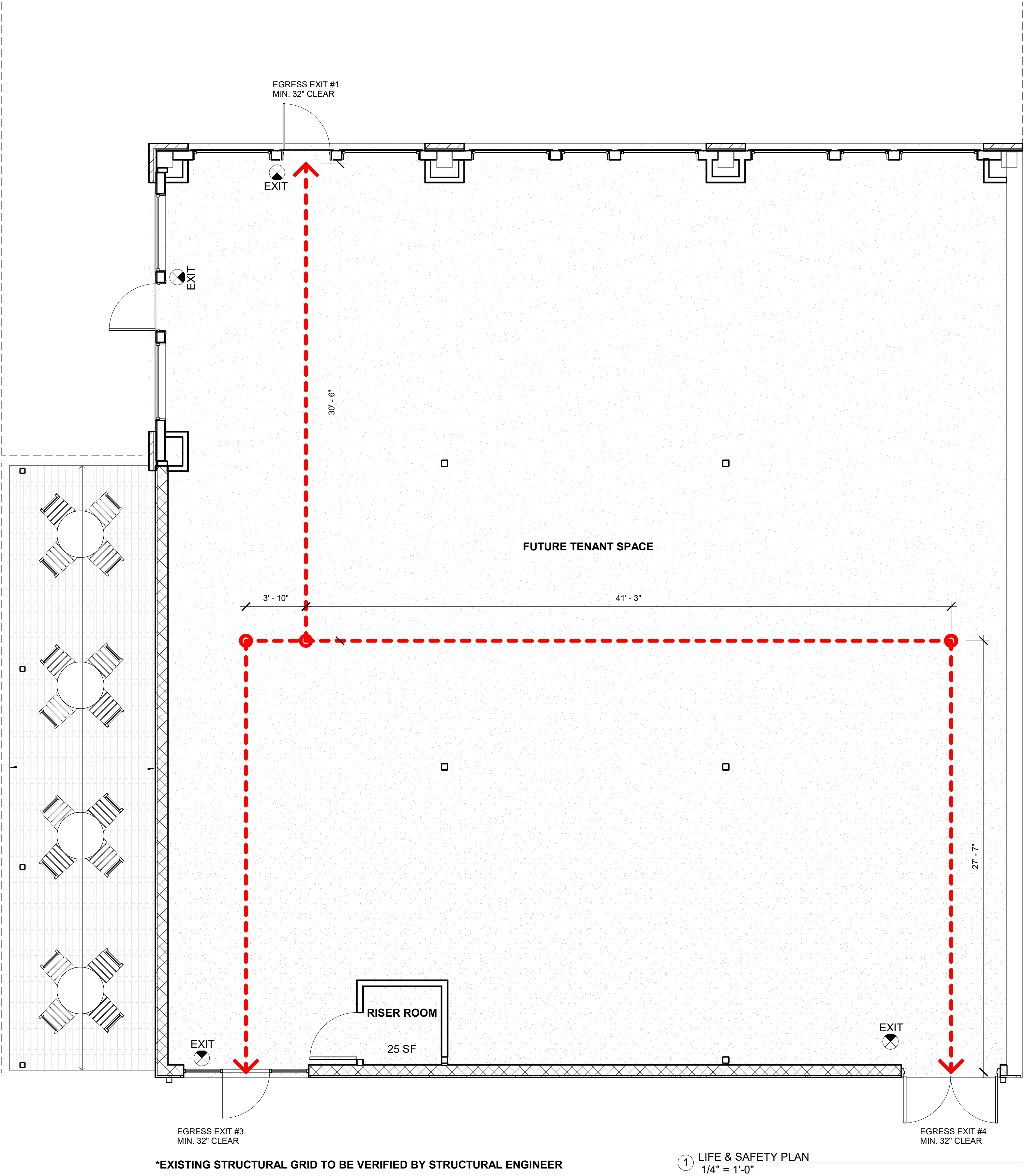
REQUIRED CORRIDOR WIDTH..... MIN. 44"

MINIMUM NUMBER OF EXITS REQ'D..... 2
(PER TABLE 1006.3.2)

NUMBER OF EXITS PROVIDED (LEVEL 1) 4

MAX COMMON PATH DISTANCE ALLOWED75'
FULLY SPRINKLED (1006.2.1)

TRAVEL DISTANCE250'
(1017.1.2)



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PROJECT

1518 EAST
GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

SHEET TITLE

LIFE & SAFETY
PLAN

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET A003

Design Team

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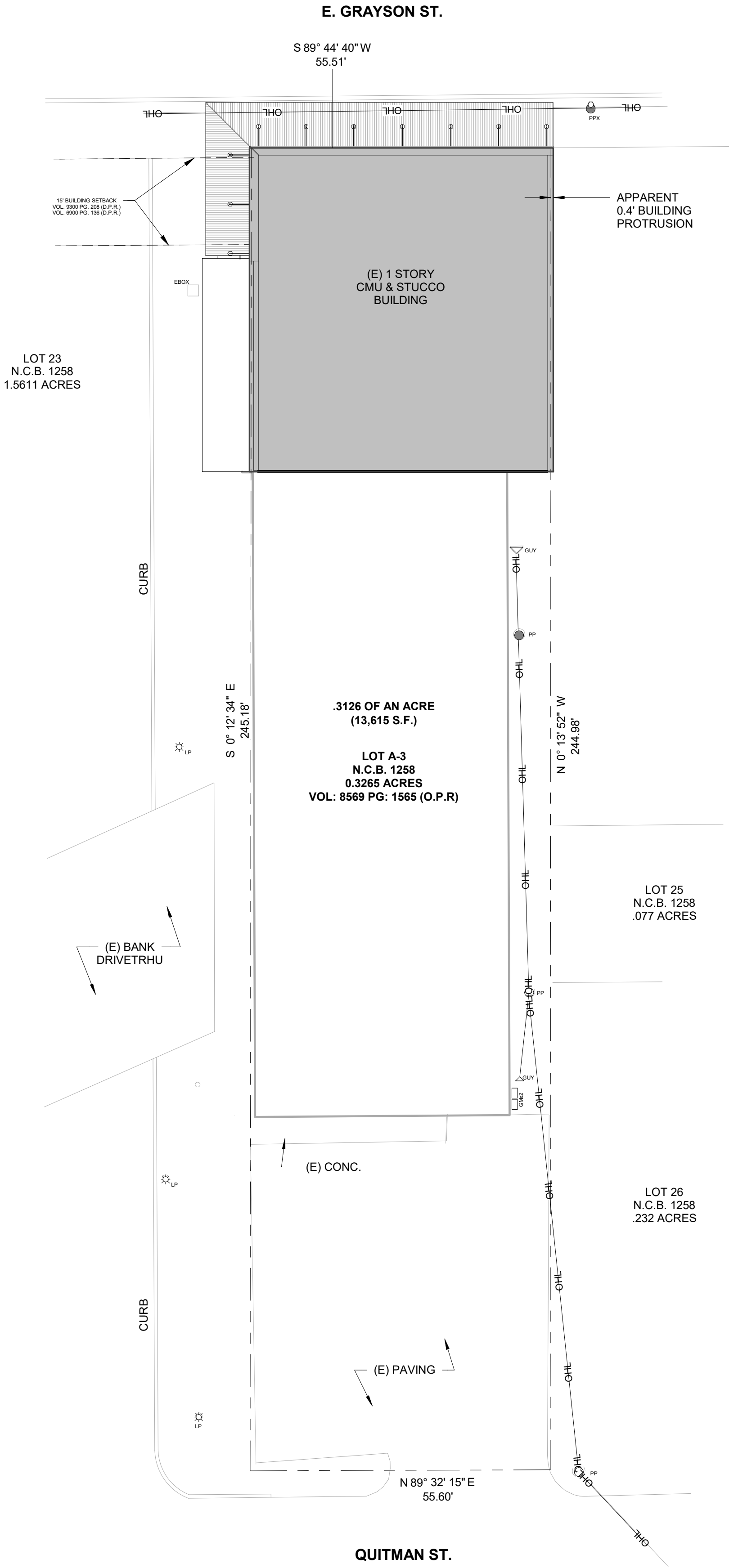
SITE PLAN

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SITE PLAN - GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS. IF A SPECIFIC DIMENSION IS NOT GIVEN, CONTACT CREO ARCHITECTURE FOR CLARIFICATION.
- DIMENSIONS ARE TO FACE OF FRAME OR CENTERLINE OF FRAME AS NOTED.
- REFER TO CIVIL DRAWINGS FOR ACCURATE SITE PLAN.



1 SITE PLAN
1/16" = 1'-0"

Design Team

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PROJECT

1518 EAST
GRAYSON STREET

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No.	Description	Date

SHEET TITLE

FLOOR PLAN

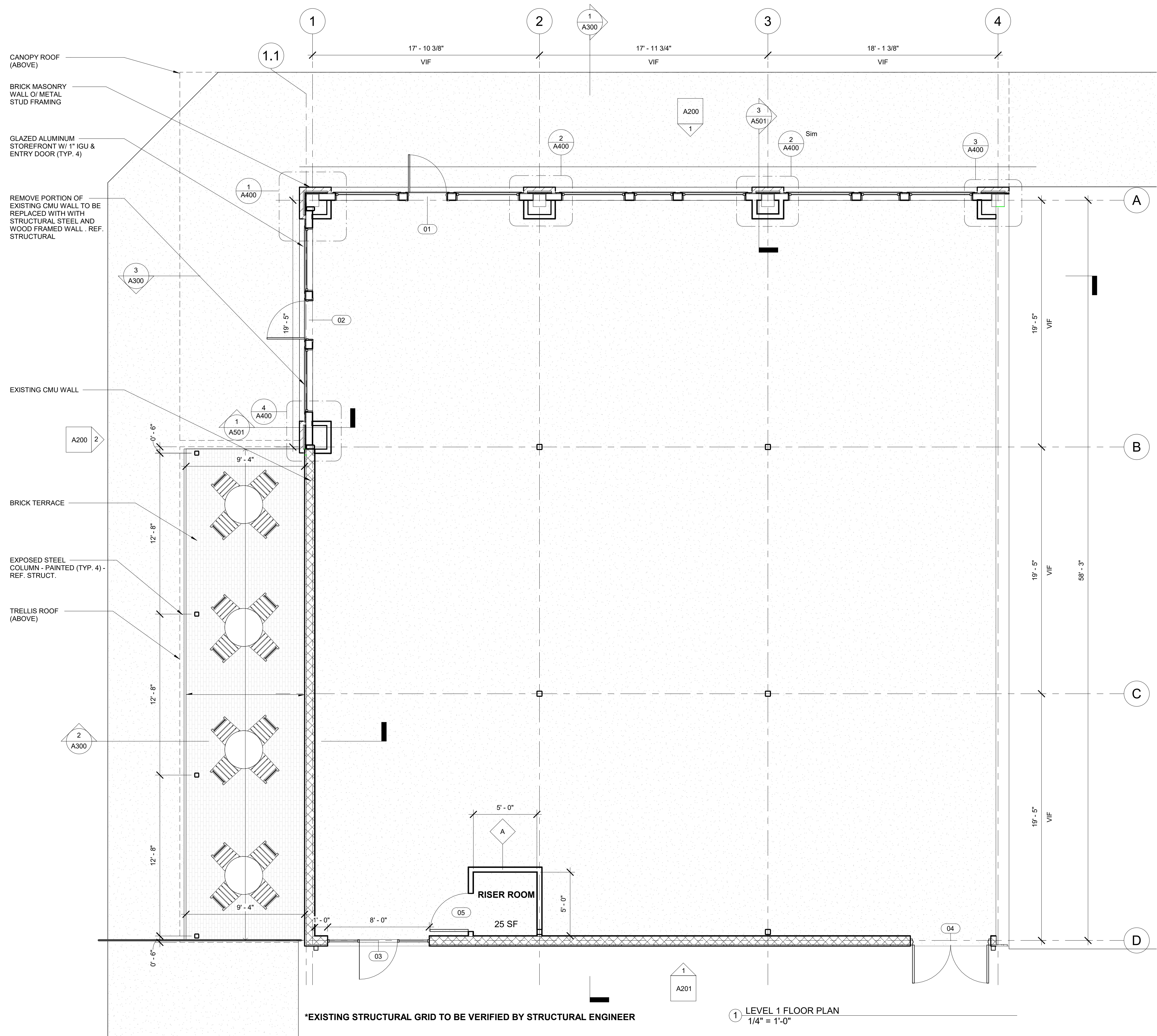
DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET A110

FLOOR PLAN - GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS. IS A SPECIFIC DIMENSION IS NOT GIVEN, CONTACT CREO ARCHITECTURE FOR CLARIFICATION
- DIMENSIONS ARE TO FINISH FACE OF WALL OR CENTERLINE OF FRAMING AS NOTED.
- PROVIDE ADA COMPLIANT THRESHOLDS T ALL REQUIRED DOORS PER TAS SECTION 401.
- PROVIDE ADA COMPLIANT DOOR HARDWARE AT ALL REQUIRED DOORS PER TAS SECTION 401
- FRAME SAMPLE AND ALL HARDWARE TO BE APPROVED BY CREO ARCHITECTURE.
- PROVIDE SUBMITTALS AND SHOP DRAWINGS SHOWING NUMBER OF WINDOWS, LOCATIONS OF TEMPERED GLAZING, ETC.
- VERIFY FINAL FINISHES WITH OWNER.



CANOPY HANGERS @
EXISTING TIE ROD
LOCATIONS
REF. STRUCTURE

CANOPY HANGERS @
NEW TIE ROD LOCATIONS
(THIS FACADE)
REF. STRUCTURE

METAL CANOPY ROOF
REF. STRUCTURE

TRELLIS ROOF
REF. STRUCTURE

FULLY ADHERED TPO
ROOF SYSTEM OVER
SLOPED RIGID
INSULATION

ZERO EDGE ROOF OR
SCUPPERS W/ DOWNSPOUTS

ROOF PLAN - GENERAL NOTES

- DO NOT SCLAE THESE DRAWINGS. IS A SPECIFIC DIMENSION IS NOT GIVEN, CONTACT CREO ARCHITECTURE FOR CLARIFICATION
- PROVIDE APPROPRIATE SHOP DRAWINGS FOR ALL ROOF PENETRATIONS, GUTTERS, SCUPPERS, DOWNSPOUTS, ETC.
- TRIM AND ALL HARDWARE TO BE APPROVED BY CREO ARCHITECTURE.
- CONFIRM ALL ROOFING ASSEMBLIES AND DETAILS WITH ROOFING MANUFACTURER.
- VERIFY FINAL FINSHES WITH OWNER.

1 ROOF PLAN
1/4" = 1'-0"



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PROJECT

1518 EAST
GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

SHEET TITLE

ROOF PLAN

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET A140

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PROJECT

**1518 EAST
GRAYSON STREET**

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

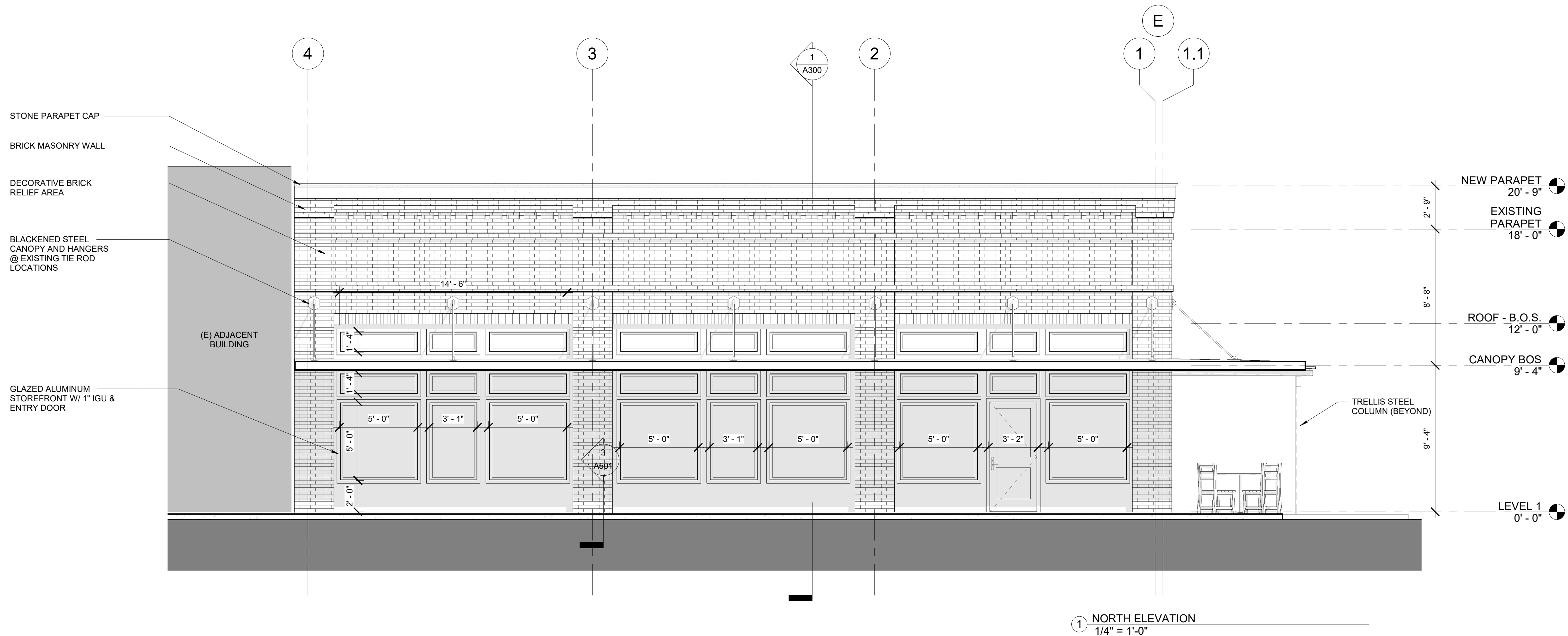
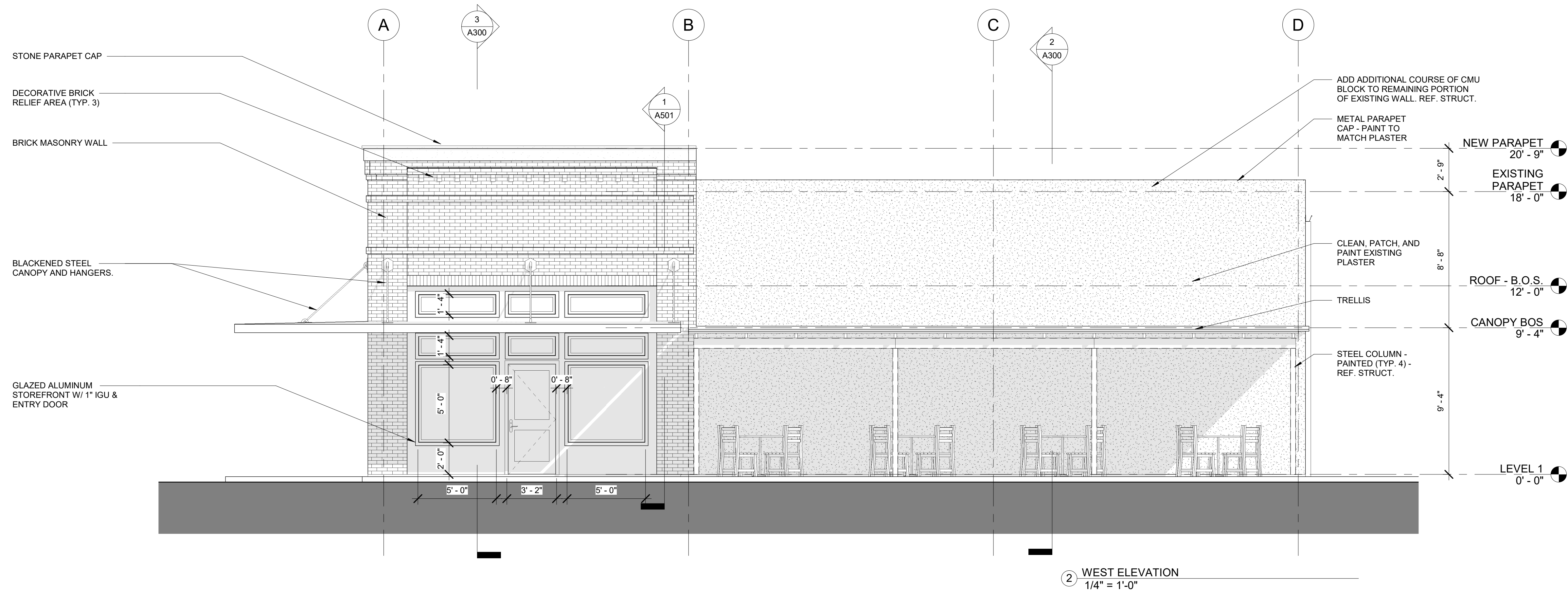
SHEET TITLE

**EXTERIOR
ELEVATIONS**

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET A200





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CLIENT

NAME: PARADIGM MANAGMENT COMPANY
ADDRESS: 1422 E. Grayson St, Ste 500
San Antonio, TX 78208

PROJECT

1518 EAST
GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

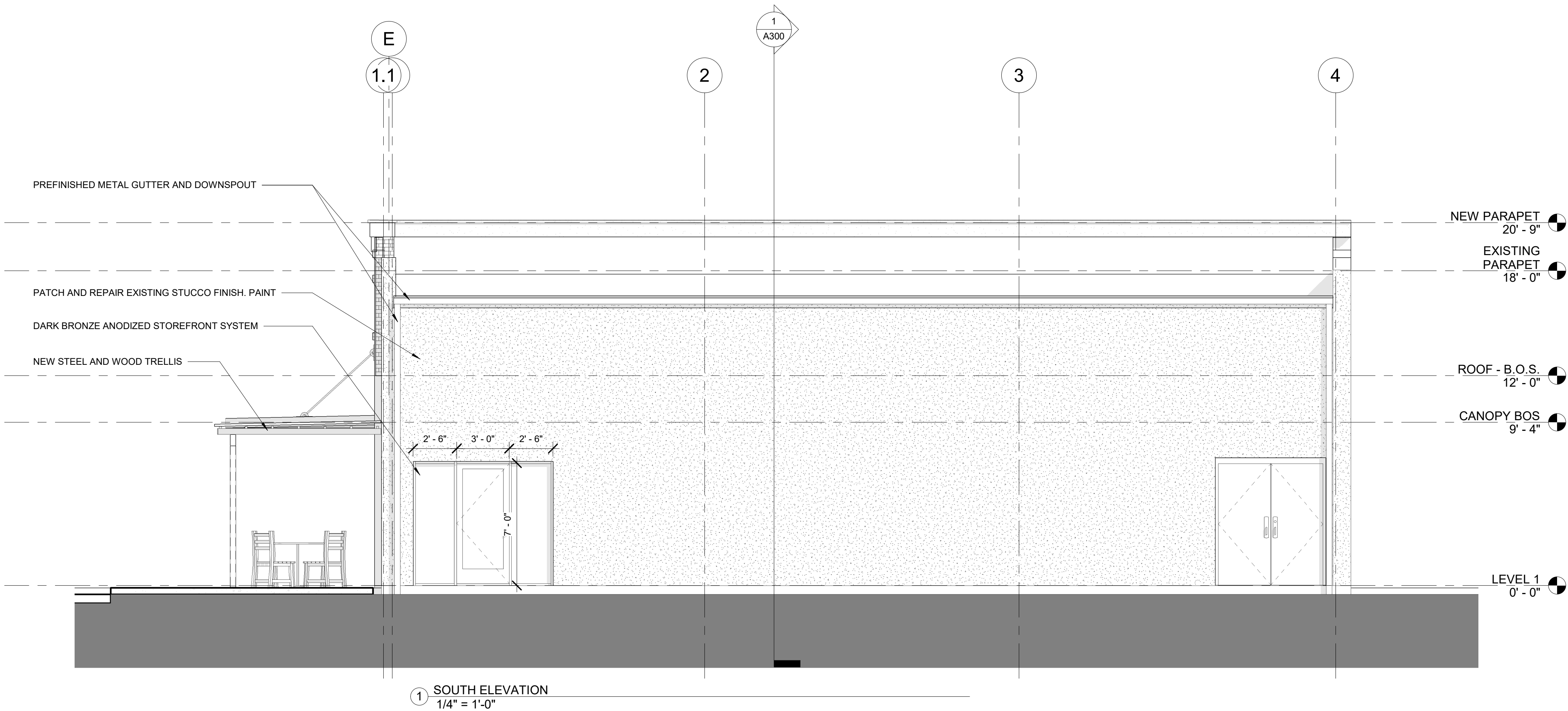
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EXTERIOR
ELEVATIONS

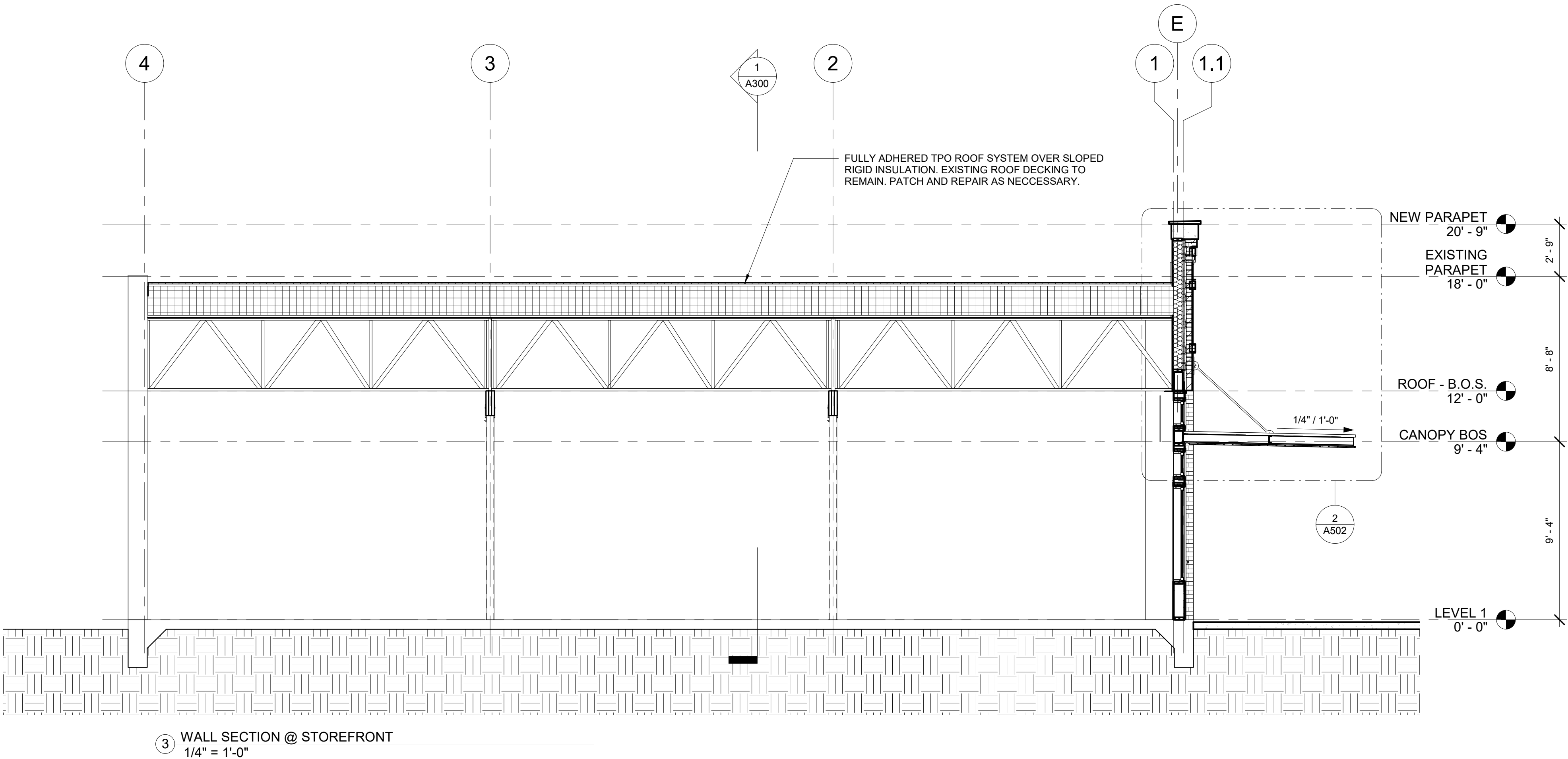
DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

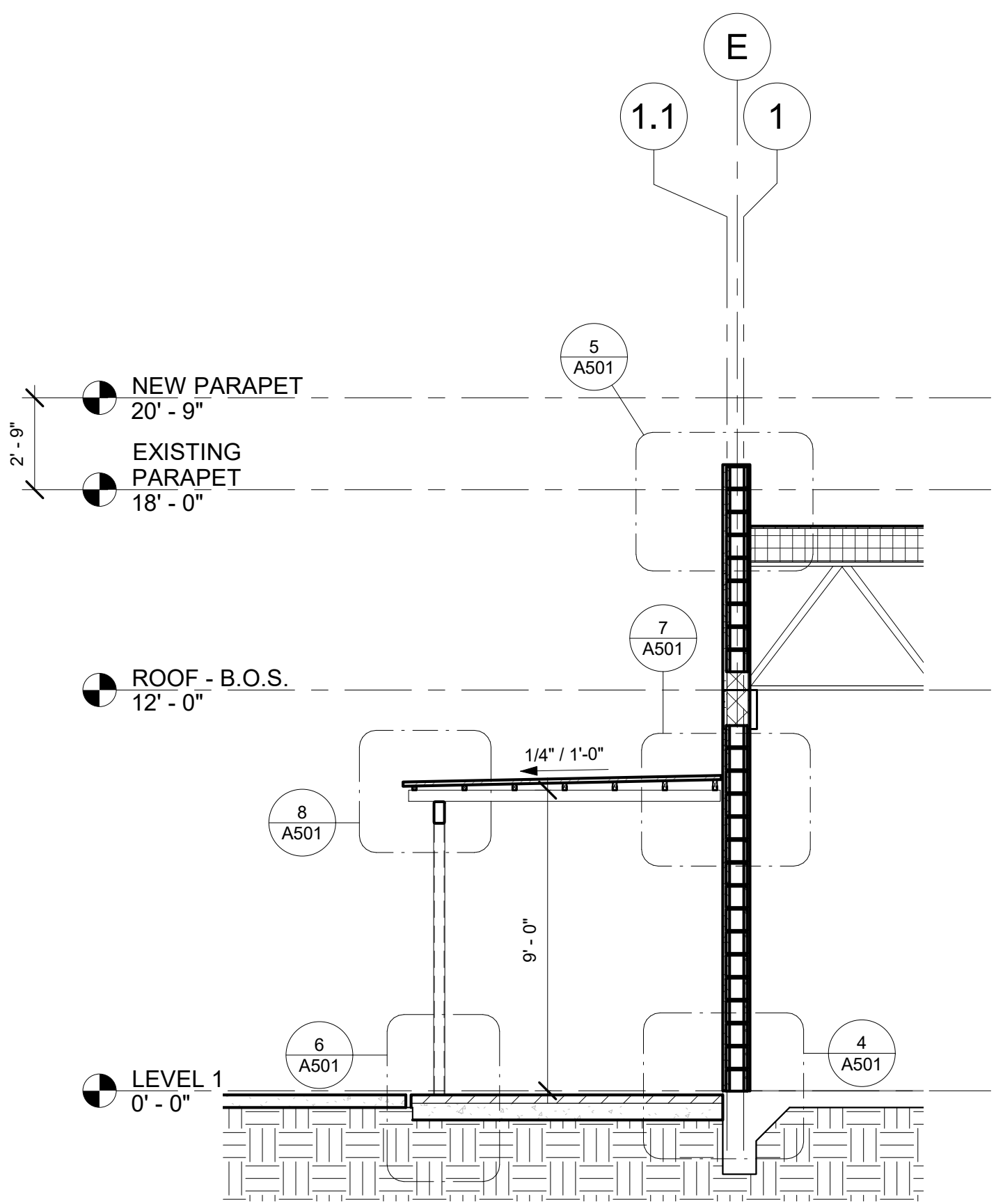
SHEET | A201



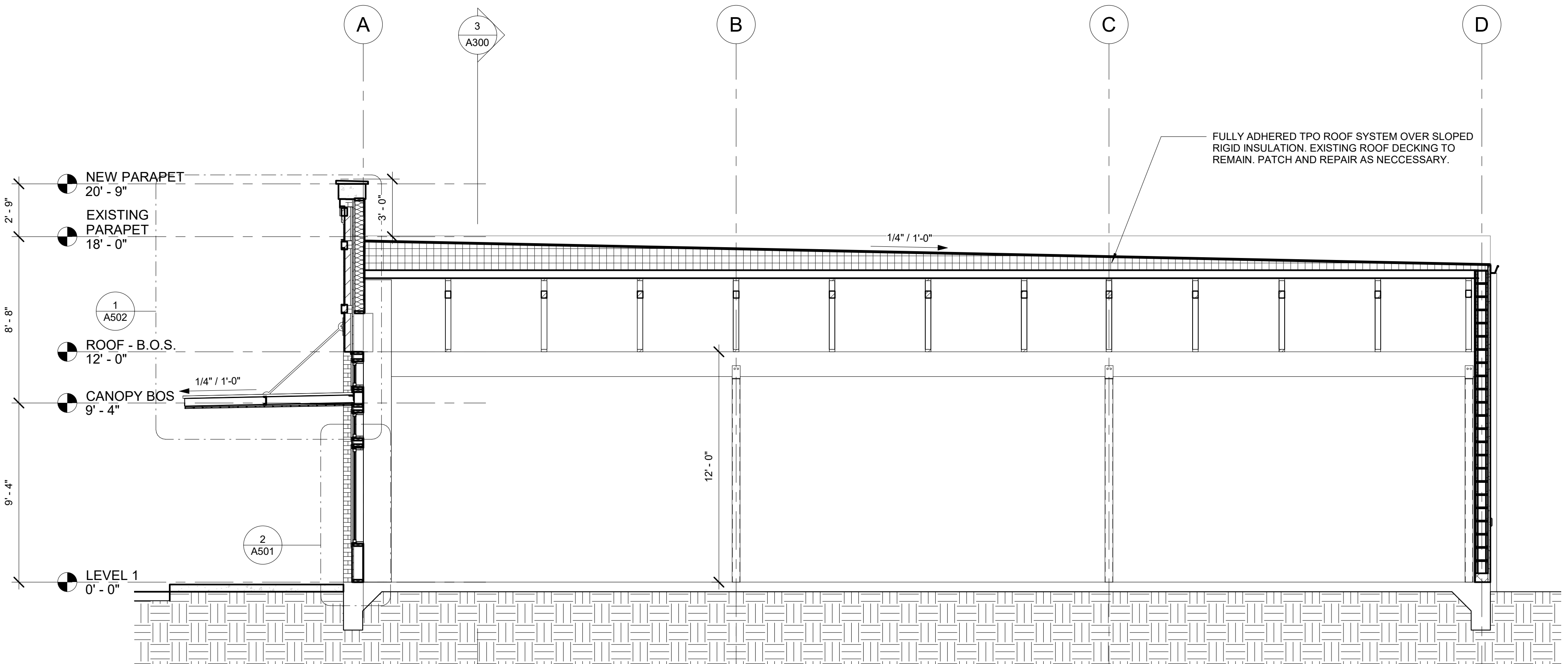
No.	Description	Date



③ WALL SECTION @ STOREFRONT
1/4" = 1'-0"



② WALL SECTION @ TRELLIS
1/4" = 1'-0"



① WALL SECTION @ GRAYSON STOREFRONT
1/4" = 1'-0"

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PROJECT

1518 EAST
GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

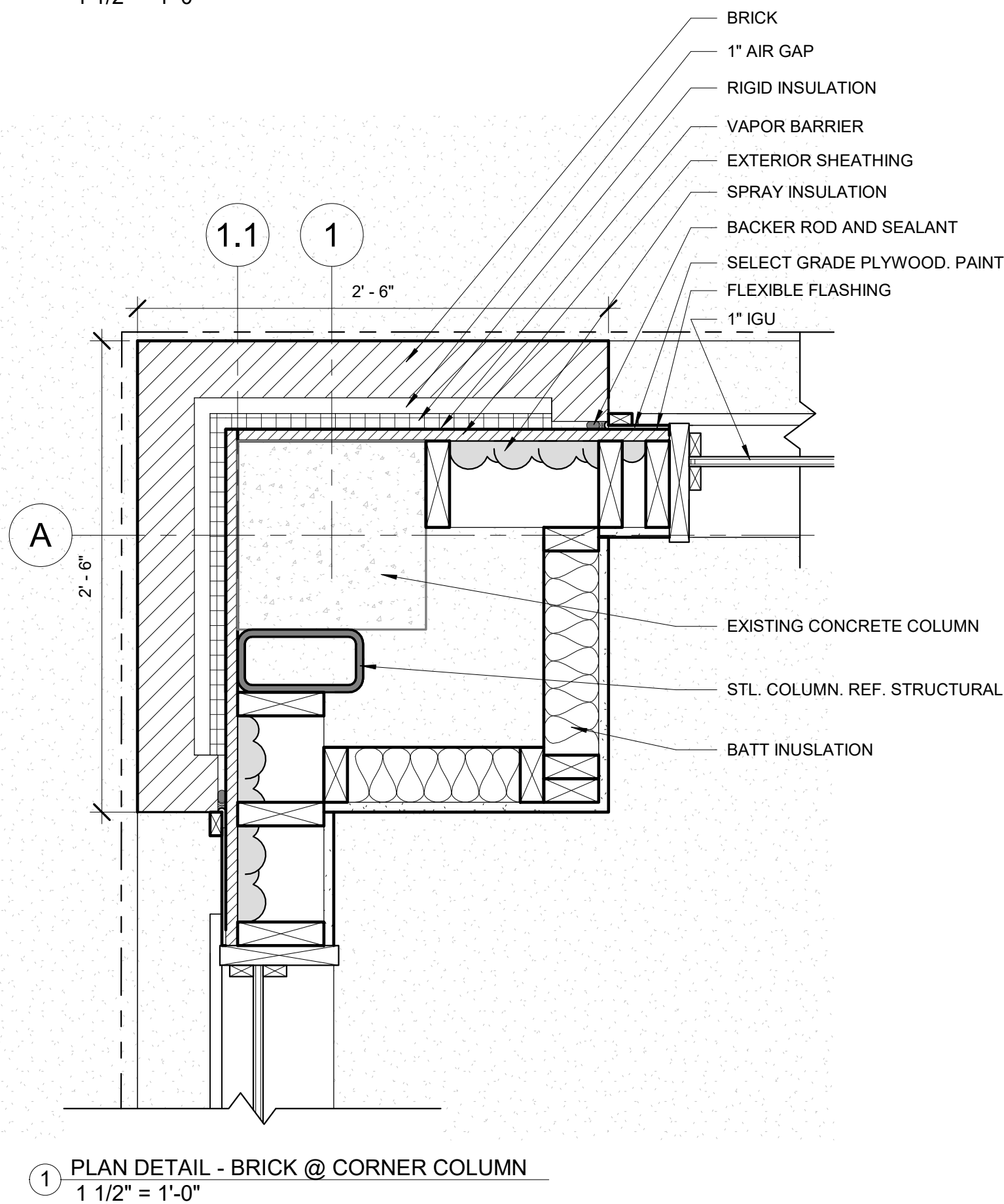
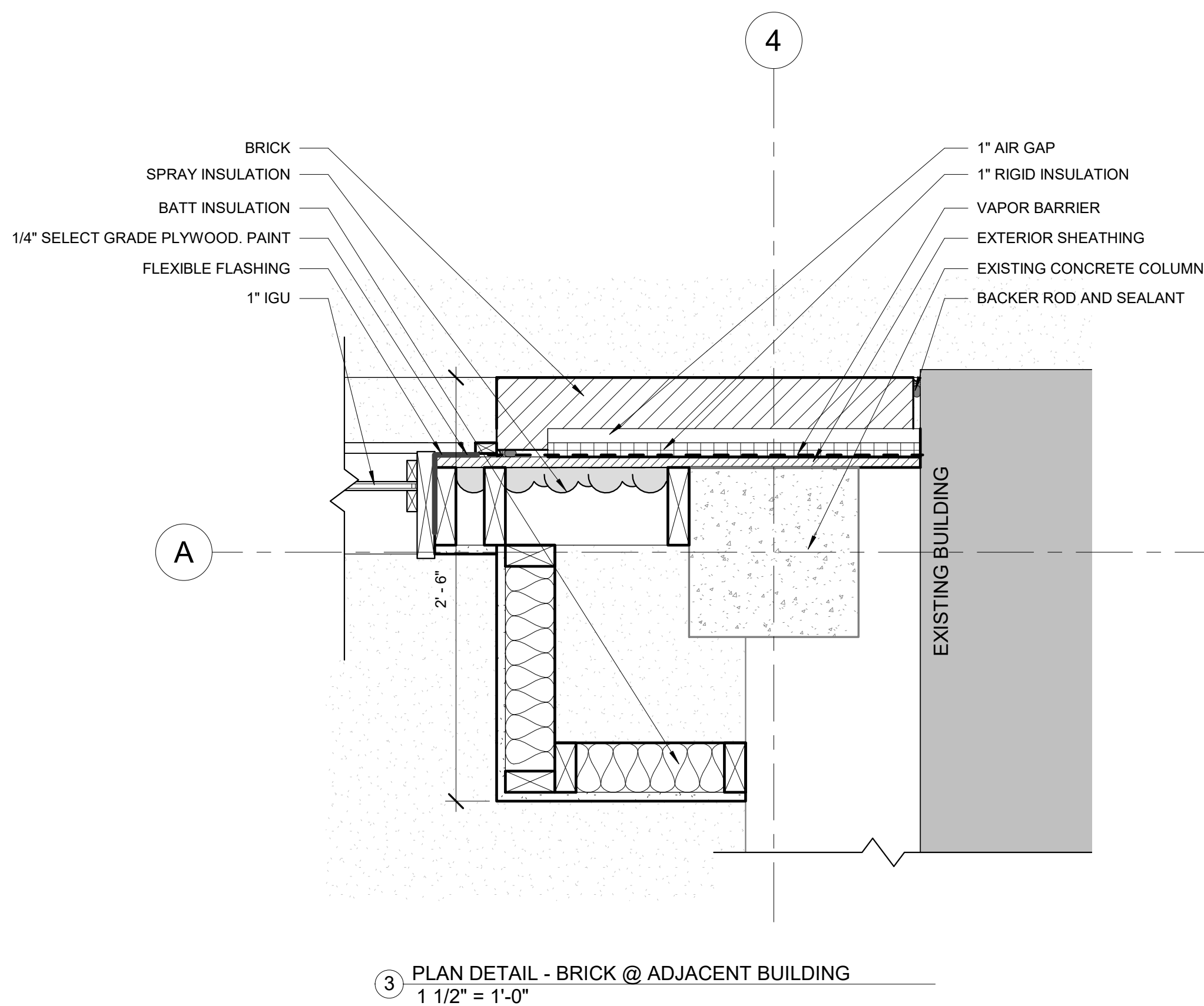
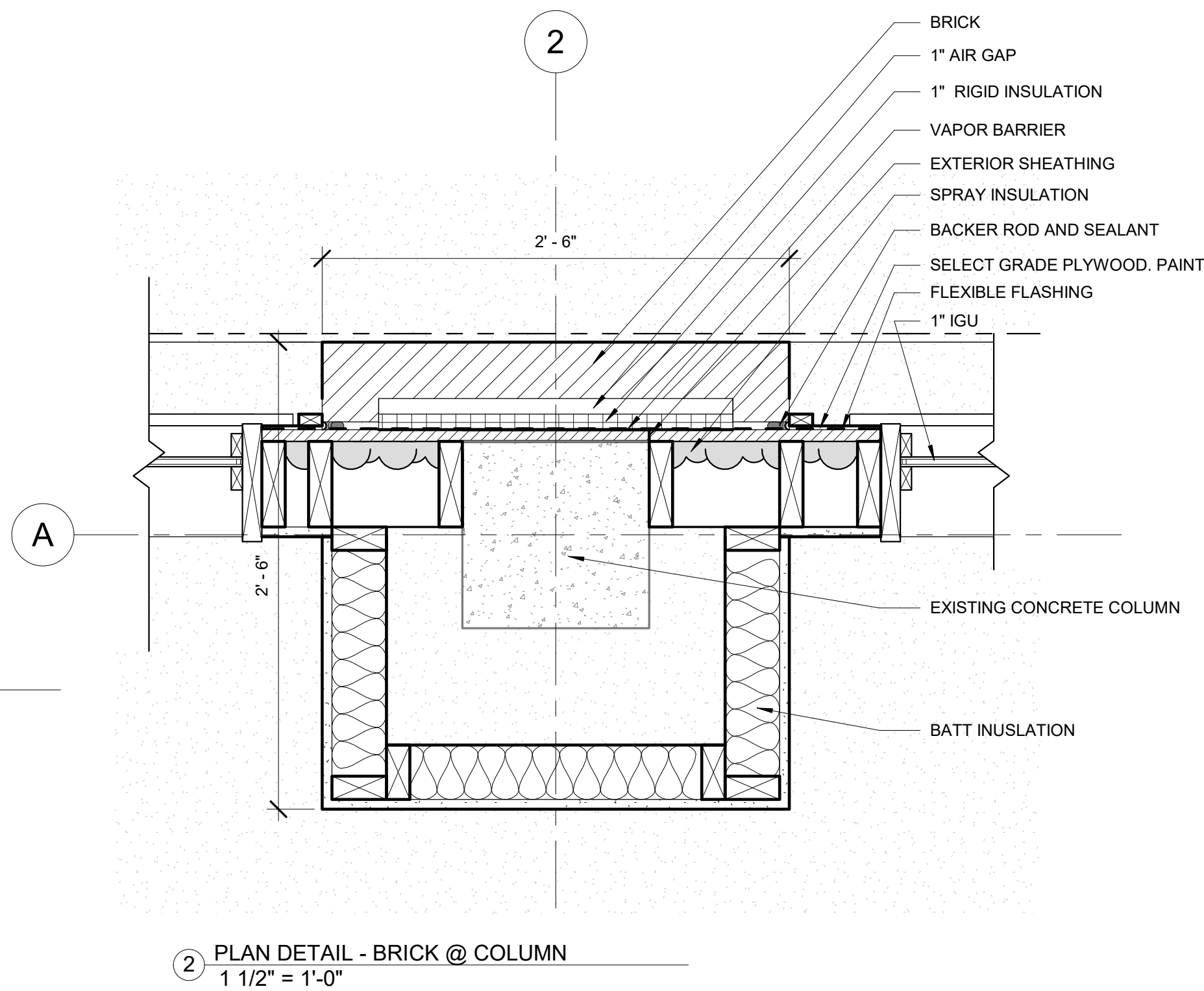
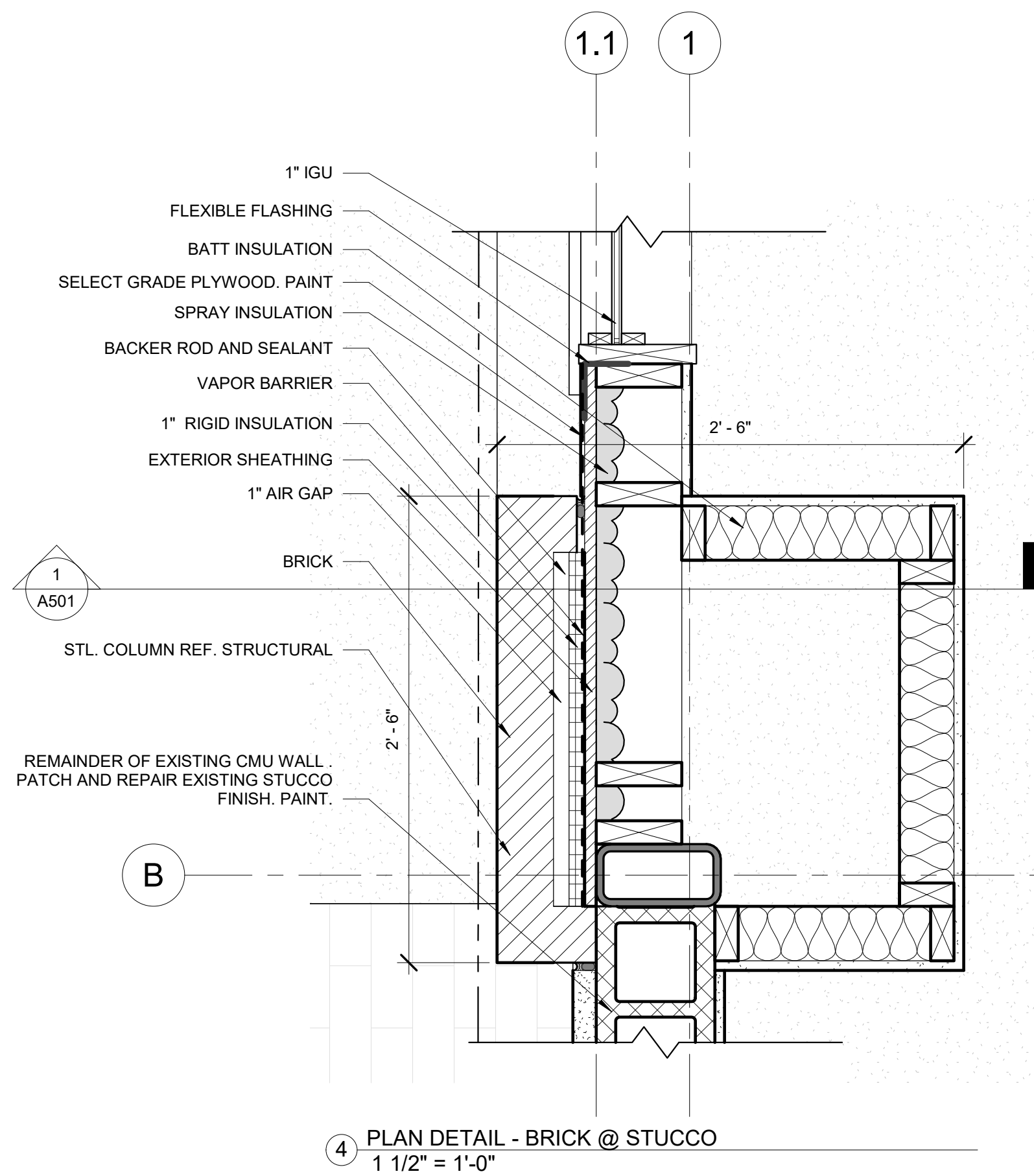
SHEET TITLE

PLAN DETAILS

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET **A400**



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PROJECT

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No.	Description	Date

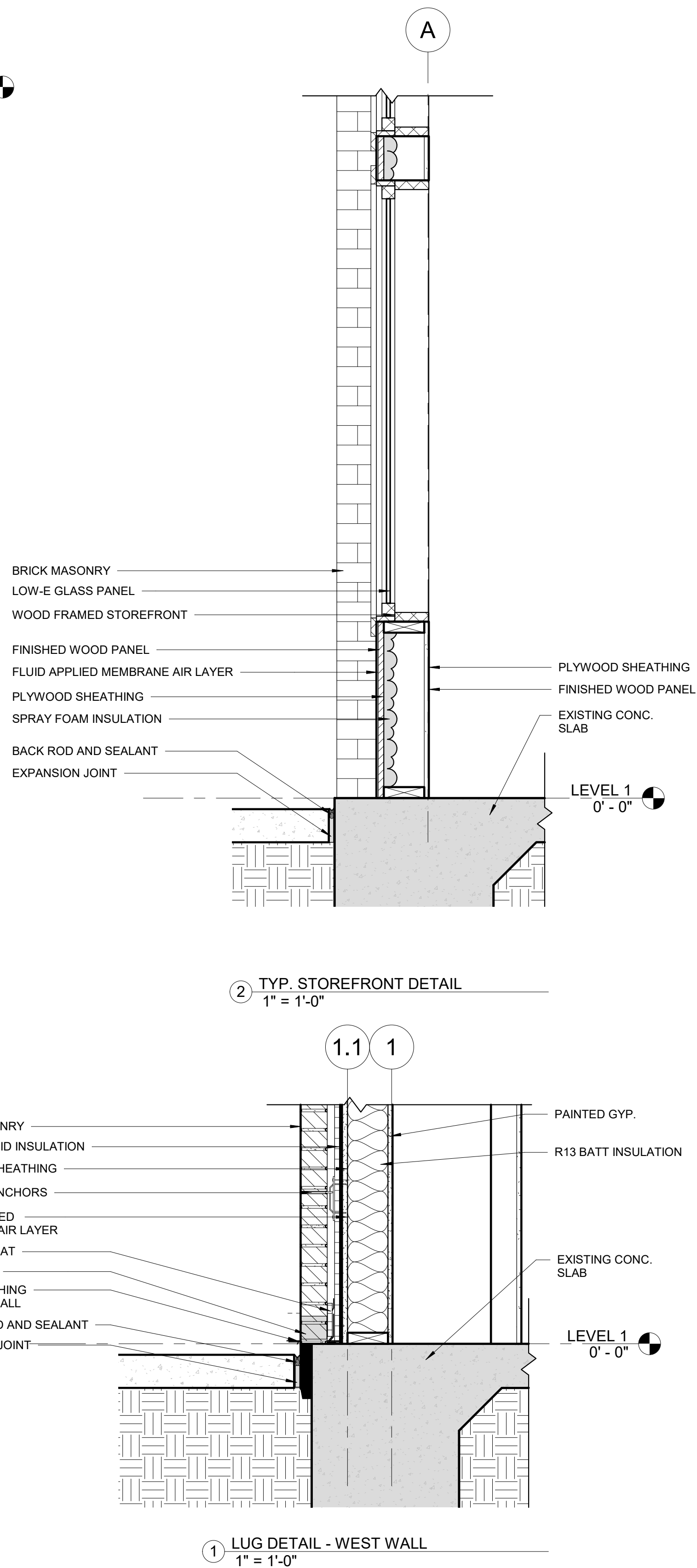
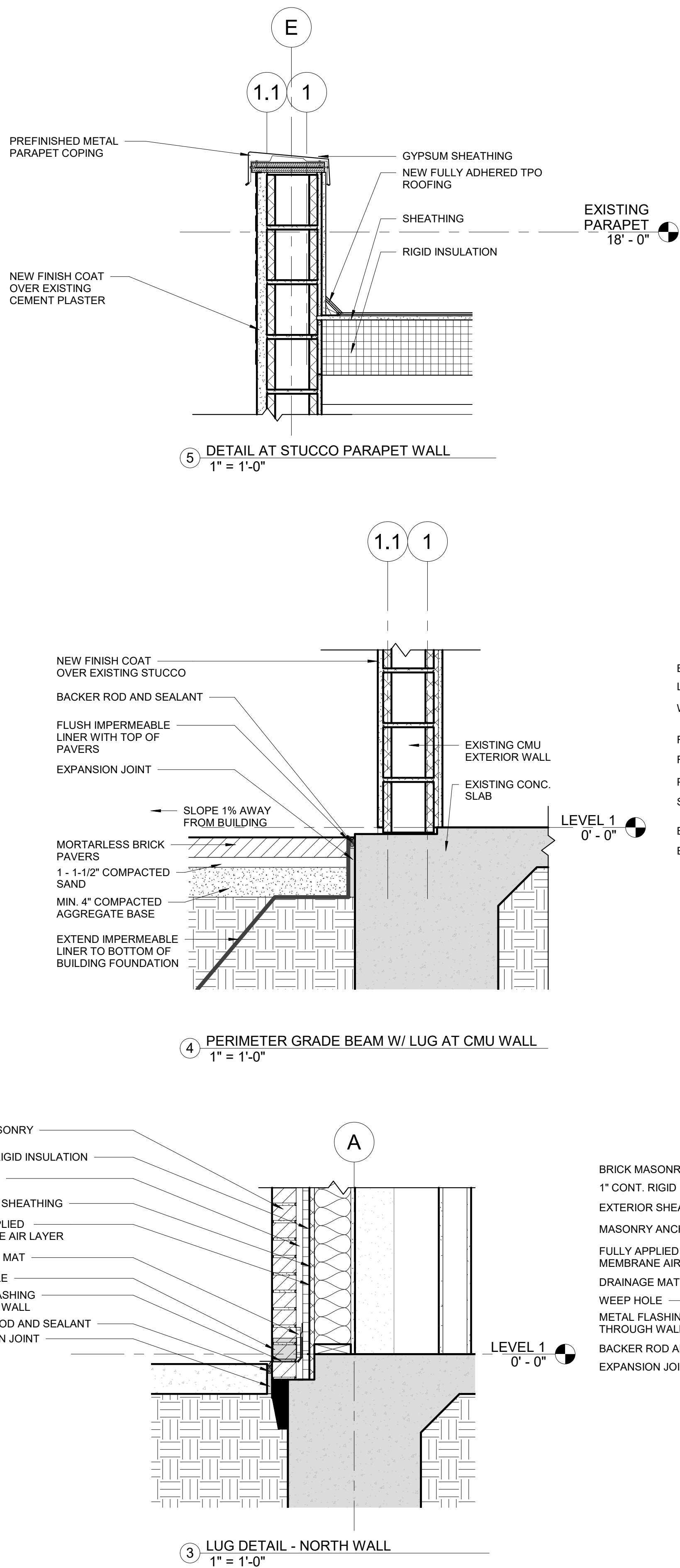
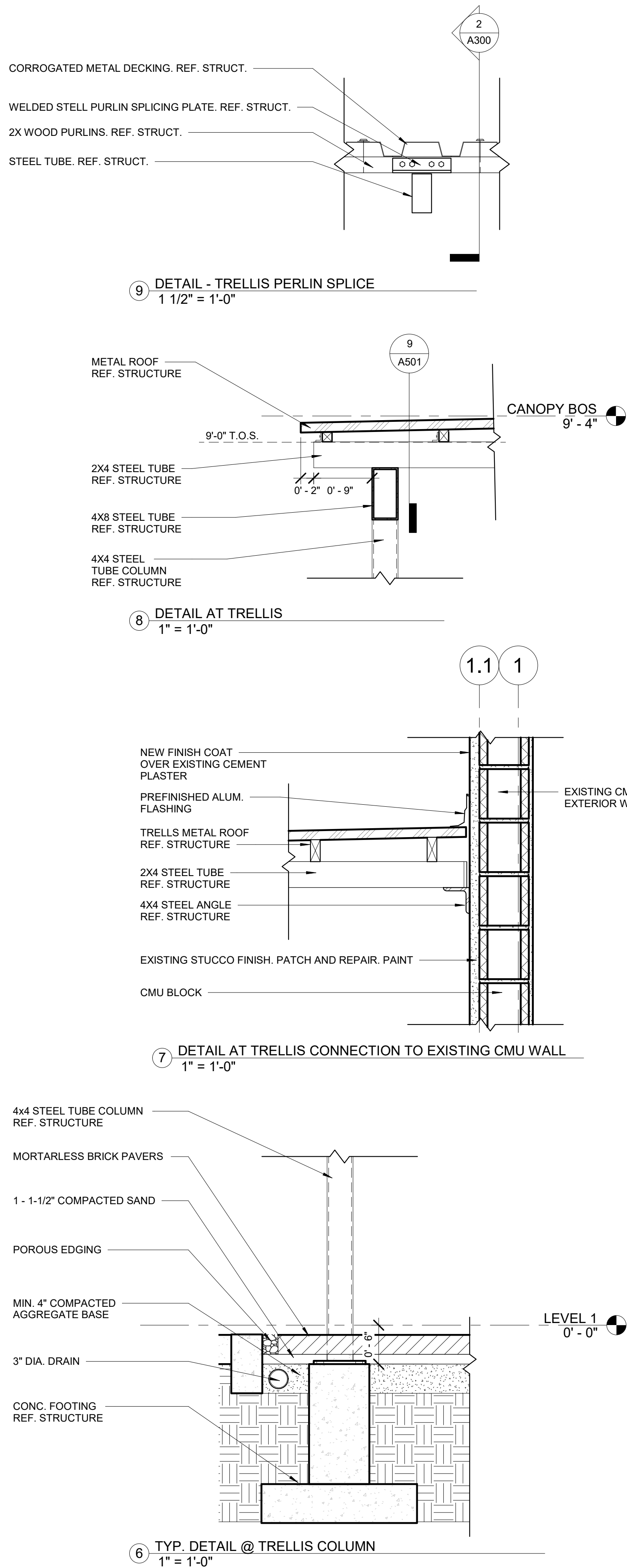
SHEET TITLE

EXTERIOR
DETAILS

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET A501



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PROJECT

1518 EAST
GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

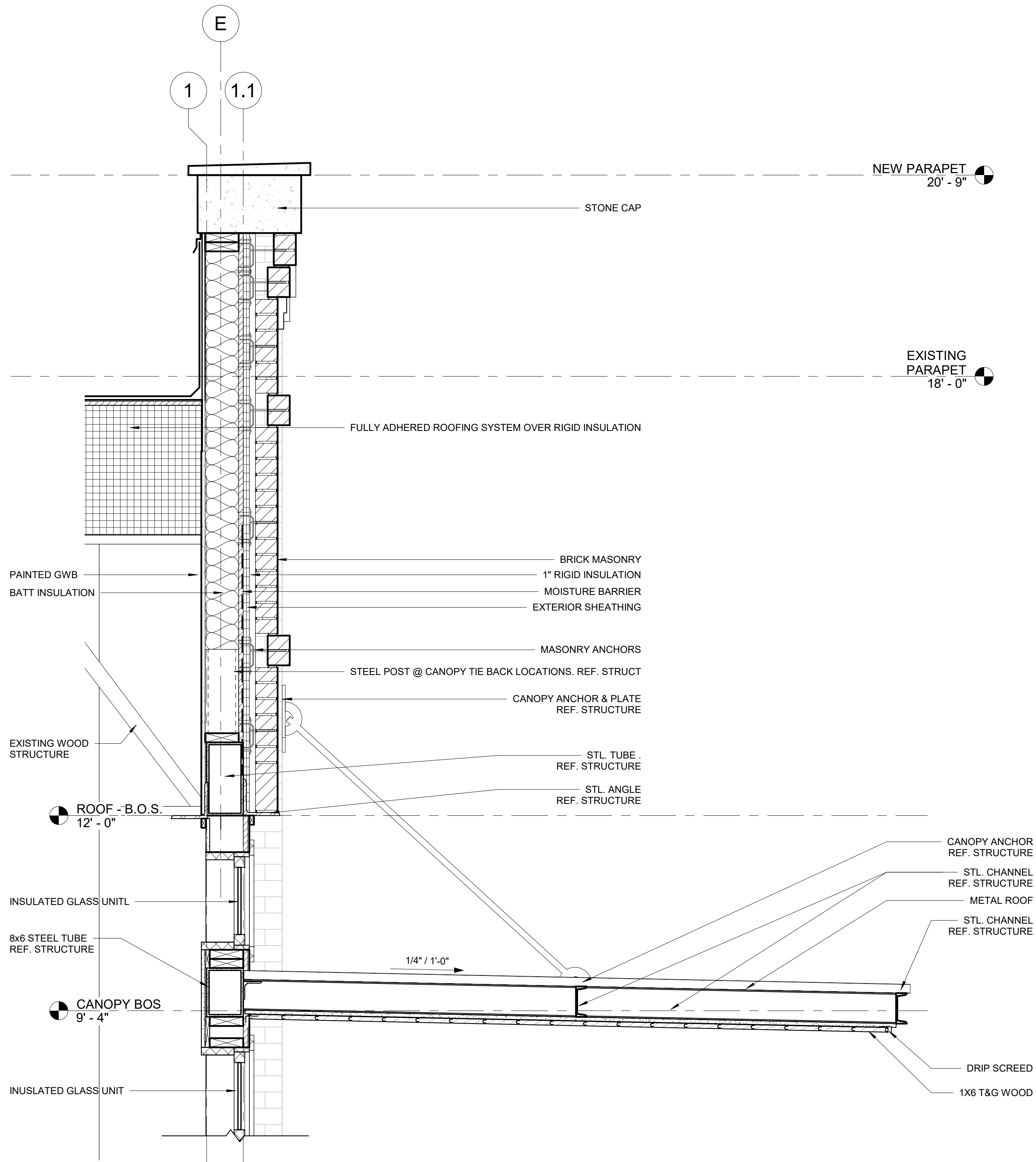
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EXTERIOR
DETAILS

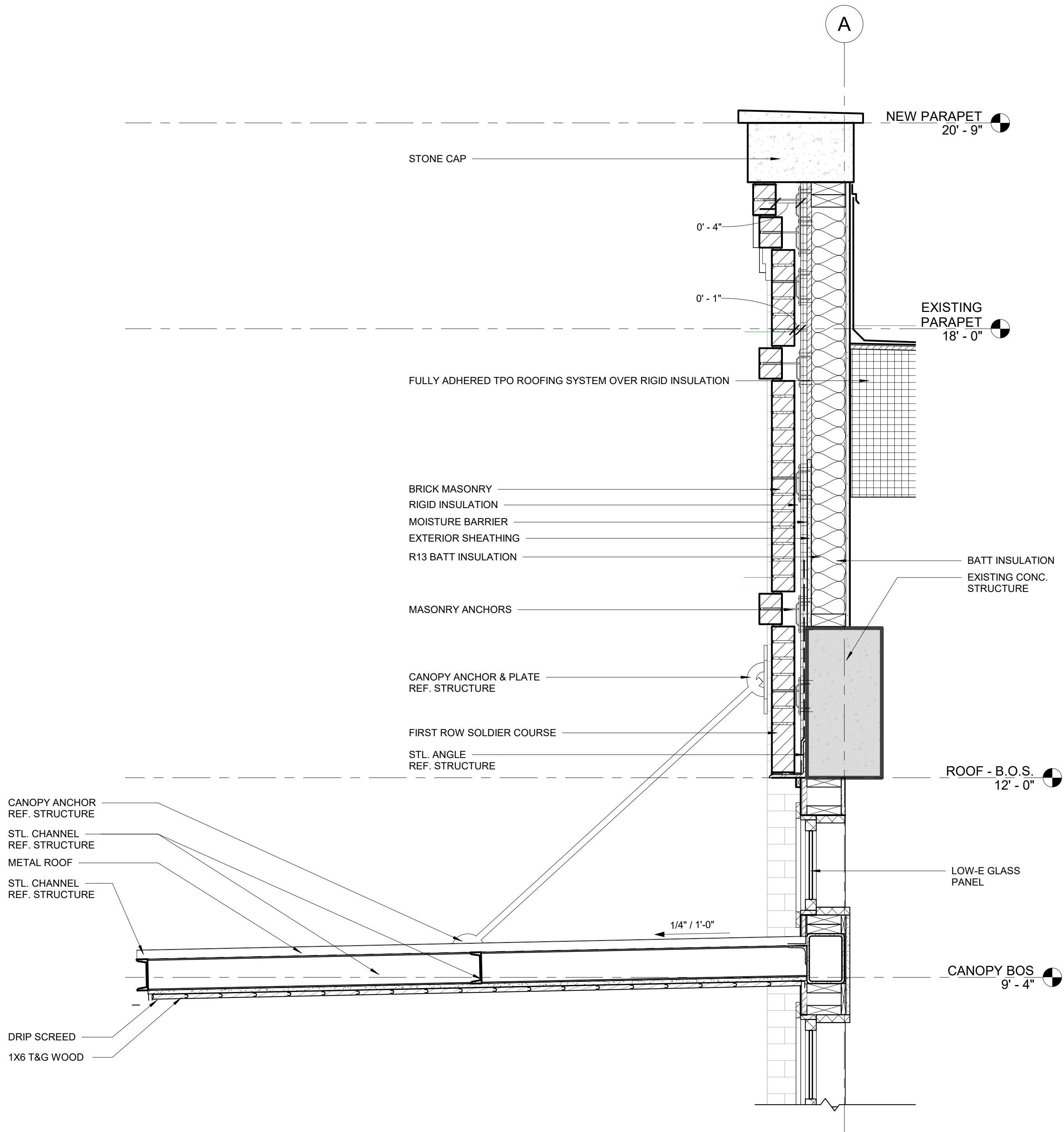
DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET **A502**



2 DETAIL AT STEEL FRAMED STOREFRONT
1" = 1'-0"



1 TYP. DETAIL AT STOREFRONT & AWNING
1" = 1'-0"



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PROJECT

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GRAYSON STREET

PROJECT KEY

ARCHITECT STAMP

PRELIMINARY

REVISIONS

No.	Description	Date

SHEET TITLE

PERSPECTIVES

DWG INFO

PROJECT: OPP
ISSUE DATE: 08/26/2019
DRAWN BY: Author
CHECKED BY: Checker

SHEET A900



1 PERSPECTIVE FROM NE

Future Expenditures
1518 Grayson

	<u>Budget</u>	7/24/2019 <u>Expenditures</u>
Environmental & Abatement	100,000	89,398
Demo	40,000	34,350
Architect & Engineers	50,000	10,200
Exterior Façade	425,000	
Paving and Site work	50,000	11,983
Tenant Improvement	388,800	757
Budgeted Expenditures	1,053,800	146,688
Contingency @ 3% rounded	31,200	
Total Estimated Costs	<u>1,085,000</u>	
Asset Purchase	626,570	626,570
Organizational Costs	349	349
	<u>626,919</u>	<u>773,607</u>
Total estimated expenditures	<u><u>1,711,919</u></u>	

1518 E. Grayson St, San Antonio, TX 78208 – Site Photos



1518 E. Grayson St, San Antonio, TX 78208 – Site Photos



1518 E. Grayson St, San Antonio, TX 78208 – Site Photos

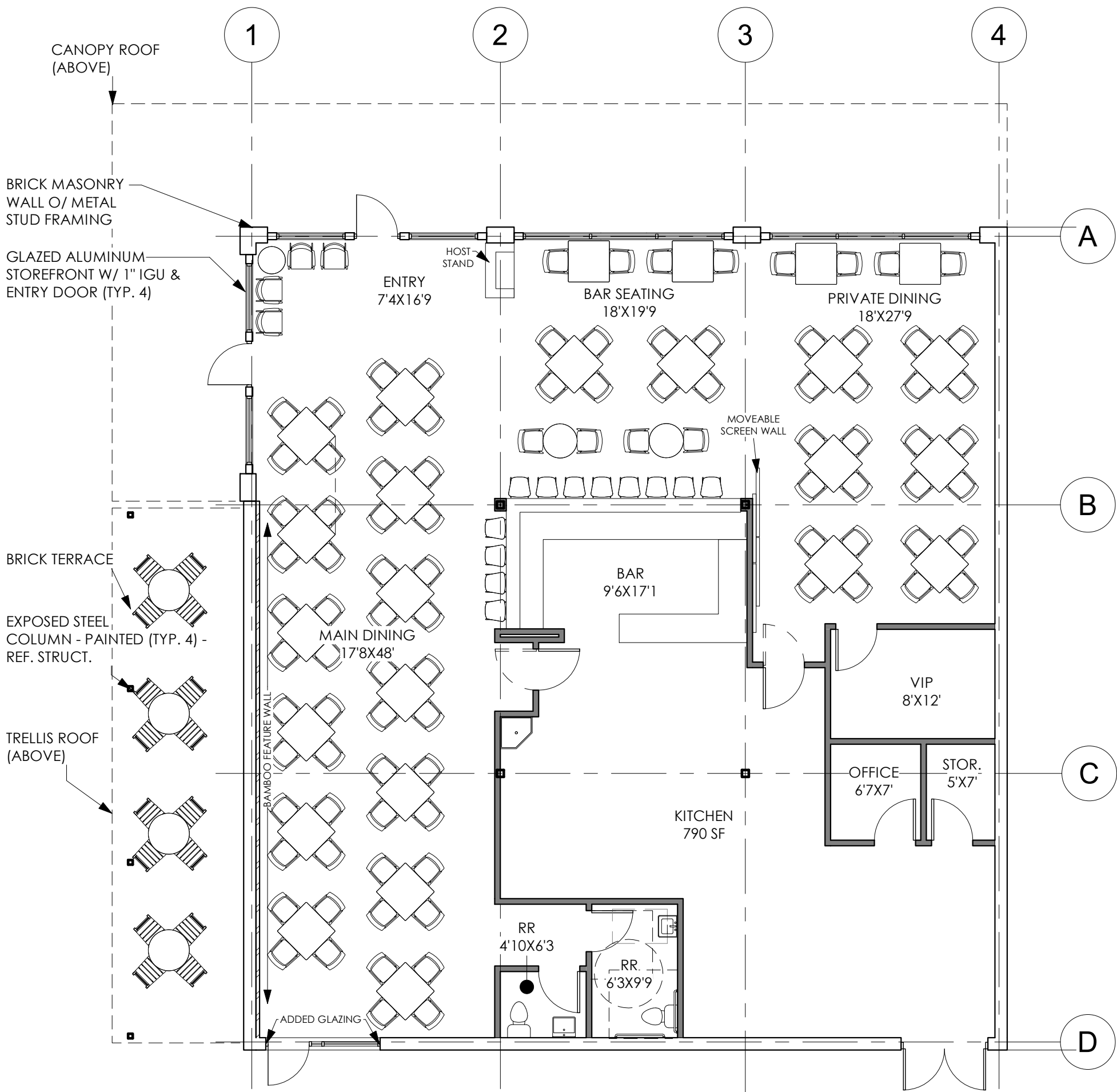


1518 E. Grayson St, San Antonio, TX 78208 – Site Photos



1518 E. Grayson St, San Antonio, TX 78208 – Site Photos





***EXISTING STRUCTURAL GRID TO BE VERIFIED BY STRUCTURAL ENGINEER**

1 LEVEL 1 PRELIM
1/8" = 1'-0"

DRAWING INFORMATION:
SCALE 1/8" = 1'-0"
3,138 SF

www.thejordangroup-sa.com

SICHUAN HOUSE
1518 E. GRAYSON ST.
SAN ANTONIO, TX

DATE:
04/23/19
07/16/19 REV

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interiors | planning | design