

LOCATION MAP
NOT TO SCALE

SITE CONCRETE DRAINAGE NOTES:

1. EXPOSED CONCRETE SURFACES SHALL BE BROOM FINISHED.
2. ANY IRREGULAR AREA SHALL BE HAND RUBBED TO A SMOOTH FINISH.
3. ALL EXPOSED EDGES SHALL RECEIVE A 3/4" CHAMFER.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE DONE IN ACCORDANCE WITH CITY OF SAN ANTONIO STANDARD SPECIFICATIONS, AS WELL AS ITEM 360 (TXDOT STD SPECS, LATEST ED.)
5. JOINTS TO BE COMPLETED PRIOR TO CONCRETE SHRINKAGE OCCURRING.

PARKING TABULATION

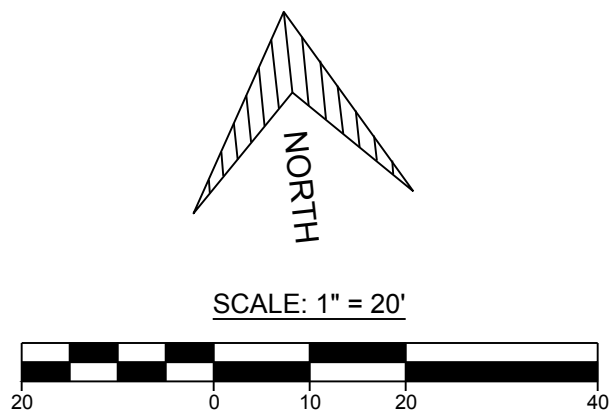
16	REGULAR SPACES
1	ACCESSIBLE SPACES
0	VAN ACCESSIBLE SPACES
17	TOTAL SPACES

RETAINING WALL NOTE:

CONTRACTOR TO PROVIDE PEDESTRIAN BARRIERS (I.E. HANDRAILING, FENCING) BEHIND RETAINING WALLS THAT EXCEED 24" IN HEIGHT.

RETAINING WALL NOTE:

WALLS ARE TO BE DESIGNED, SIGNED, AND SEALED BY A QUALIFIED ENGINEER. MBC RECOMMENDS USING A MODULAR BLOCK RETAINING WALL W/ GEGRID (I.E. "ANCHOR WALL," "KEystone, OR MESA") OR EQUAL. CONTRACTOR TO COORDINATE WITH DEVELOPER.

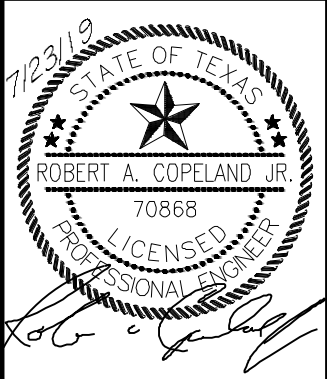
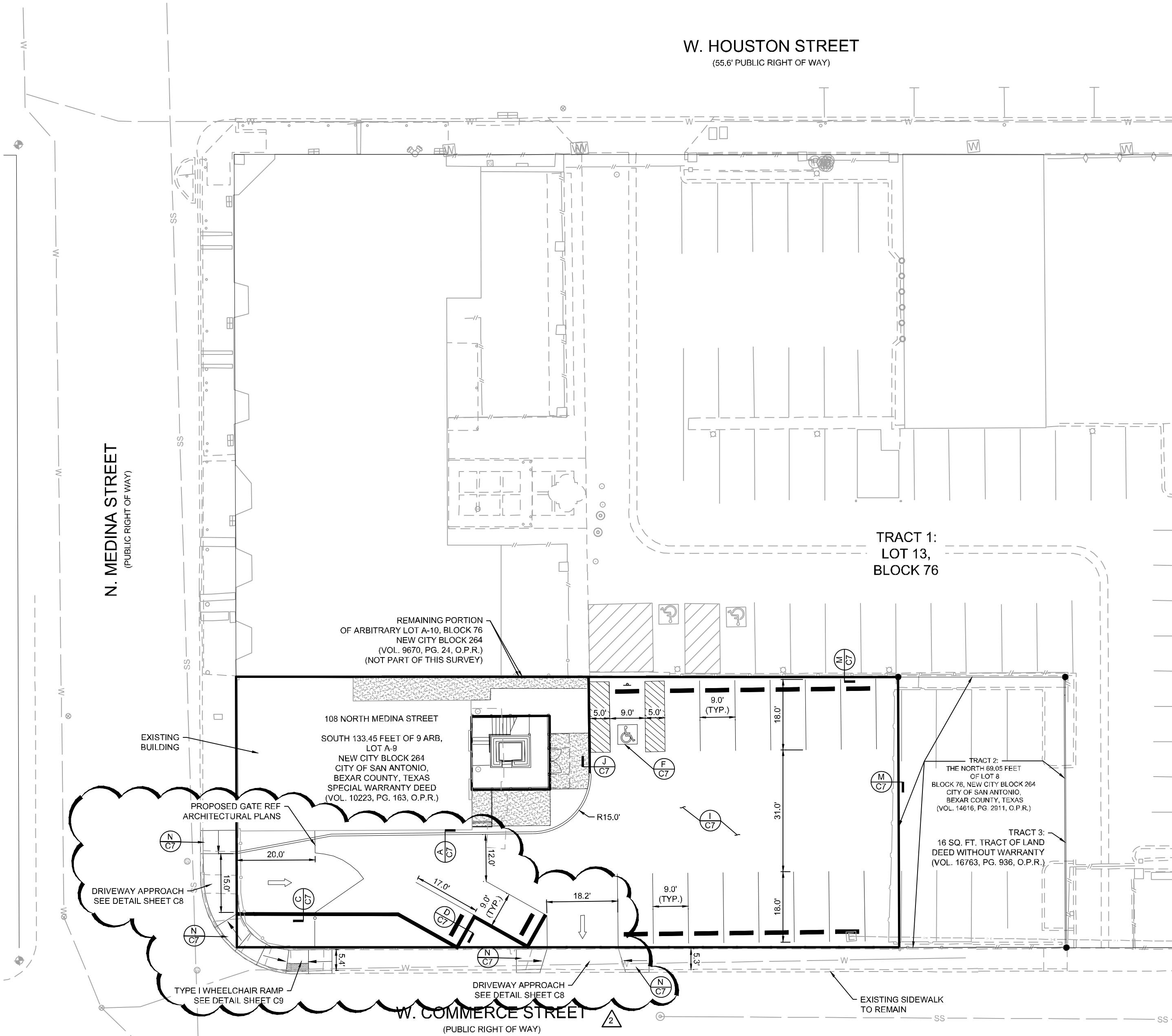


ADA NOTE:
ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS (TAS) AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION.

LEGEND	
	PROPOSED CONCRETE HEADER CURB
	PROPOSED CONCRETE CURB
	EXISTING CONCRETE CURB
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
	MISC. TRAFFIC SIGN
	GUARD POST
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	LIGHT POLE
	POWER POLE
	EXISTING MANHOLE
	PROPOSED MANHOLE
	GRATE
	TRAFFIC LIGHT
	GUY WIRE ANCHOR
	ACCESSIBLE PARKING
	DETAIL REFERENCE
	SHEET NUMBER
	EXISTING CONCRETE AREAS
	WHEELSTOP
	EXISTING FENCE
	PROPOSED FENCE
	EXISTING OVERHEAD ELECTRIC
	RETAINING WALL (REF. STRUCTURAL DWGS)
	SAWTOOTH CURB
	SINGLE LAMP LIGHT POLE
	DOUBLE LAMP LIGHT POLE

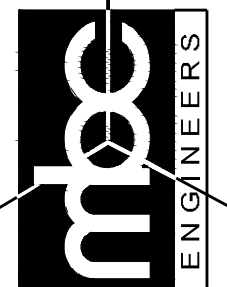
GENERAL SITE NOTES

1. CONTRACTOR SHALL COMPLY WITH THE CITY OF SAN ANTONIO BUILDING CODE AND REGULATIONS AND APPLICABLE TECHNICAL SPECIFICATIONS IN THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE CITY OF SAN ANTONIO," AS WELL AS OTHER SAFETY CODES AND INSPECTION PROVISIONS APPLICABLE TO THIS PROJECT.
2. CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR CONSTRUCTION AND SHALL NOTIFY ALL RESPECTIVE GOVERNMENTAL OR UTILITY AGENCIES AFFECTED BY CONSTRUCTION PRIOR TO STARTING CONSTRUCTION.
3. LOCATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON A COMBINATION OF FIELD SURVEYING AND AVAILABLE UTILITY MAPS. CONTRACTOR TO DETERMINE VERTICAL AND HORIZONTAL LOCATIONS OF ALL UTILITIES (WHETHER SHOWN ON PLANS OR NOT) BY COORDINATING WITH THE RESPECTIVE UTILITY AGENCIES PRIOR TO CONSTRUCTION. THE FOLLOWING ARE NUMBERS OF THE RESPECTIVE AGENCIES:
SAN ANTONIO WATER SYSTEM (WATER) 233-2009
SAN ANTONIO WATER SYSTEM (SEWER) 233-2009
OPS ENERGY (GAS & ELECTRIC) 878-3800
AT&T (TELEPHONE/INTERNET) 820-6229
SPECTRUM (TELEVISION/INTERNET) 875-4560
VALERO ENERGY CORP. 246-2384
TESS-STATEWIDE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES ... 1-800-DIG-TESS
IF ANY NUMBER HAVE CHANGED OR ARE INCORRECT, THE CONTRACTOR IS STILL RESPONSIBLE FOR CONTACTING THE AGENCIES.
4. REMOVE ALL ASPHALT AND CONCRETE WITH A SMOOTH SAW-CUT.
5. COMPACT ALL PAVEMENT SUBGRADE TO 95% MAXIMUM DRY DENSITY. COMPACT AREAS TO RECEIVE LANDSCAPING AND/OR GRASS TO 85%.
6. PRIOR TO BIDDING, THE CONTRACTOR SHALL THOROUGHLY INVESTIGATE THE SITE AND FAMILIARIZE HIMSELF WITH ALL ASPECTS OF THE SITE WHICH MAY AFFECT HIS WORK. THIS INCLUDES ACCOUNTING FOR ALL VISIBLE FEATURES WHICH MAY IMPACT THE BID OR THE WORK.
7. CONTRACTOR SHALL CAREFULLY DEMOLISH AND REMOVE ALL ITEMS (ABOVE AND BELOW GROUND) AS REQUIRED TO CONSTRUCT THE PROJECTS AS SHOWN. ALL REMOVAL AND DISPOSAL ACTIVITIES MUST COMPLY WITH APPLICABLE CODES, LAWS AND ORDINANCES.
8. REMOVE AND DISPOSE OF ALL EXCESS EXCAVATION.
9. CONTRACTOR IS RESPONSIBLE FOR ALL VERTICAL AND HORIZONTAL CONTROL.
10. BASE MATERIAL AND INSTALLATION TO BE IN CONFORMANCE WITH ITEM 247 (TXDOT STD. SPECS, LATEST ED.), TYPE A GRADE 2. COMPACT TO 95% MAXIMUM DRY DENSITY OF THE MODIFIED PROCTOR OR 98% MAXIMUM DRY DENSITY OF THE STANDARD PROCTOR.
11. LIME STABILIZED SUBGRADE SHALL BE COMPACTED WITHIN 3% OF OPTIMUM MOISTURE CONTENT TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR.
12. PRIME COAT MATERIAL AND INSTALLATION TO BE CUT-BACK ASPHALT TYPE IN ACCORDANCE WITH ITEM 510 (TXDOT STD. SPECS, LATEST ED.) (0.2 GAL/S.Y.).
13. ALL ASPHALT MATERIAL AND INSTALLATION TO COMPLY WITH ITEM 340 TYPE "C" (TXDOT STD. SPECS, LATEST ED.).
14. WHEELSTOPS SHALL BE OF PRE-CAST CONCRETE AND 6' IN LENGTH. DOWEL PRE-CAST CONCRETE WHEEL STOPS A MINIMUM OF 12" INTO BASE AND PAVEMENT.
15. CONTRACTOR TO FULLY COOPERATE WITH PARKING LOT LIGHT CONTRACTOR.
16. ALL SITE CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED. ALL MATERIALS AND METHODOLOGIES USED SHALL CONFORM WITH ITEM 360 (TXDOT STD. SPECS, LATEST ED.).
17. FOR ALL STRIPING AND TRAFFIC CONTROL MARKINGS, CONTRACTOR TO USE GLIDDEN TRAFFIC PAINT #65228 OR SHERWIN-WILLIAMS PRO-MAR TRAFFIC MARKING PAINT (SERIES B29W1). COLOR IS WHITE. APPLY TWO COATS.
18. INSTALL "NO PARKING - FIRE LANE" SIGNS IN ACCORDANCE WITH THE FIRE MARSHALL'S REQUIREMENTS. PAINT CURBS AS REQUIRED BY FIRE MARSHALL.
19. DIMENSIONS ARE TO THE PAVEMENT EDGE OF THE CURB, FACE OF BUILDING OR PROPERTY LINE, OR STRIPING CENTERLINE.
20. THE CONCRETE DRIVE APPROACHES WITHIN CITY RIGHT-OF-WAY ARE SUBJECT TO CITY INSPECTION.
21. MAXIMUM SIDEWALK CURB CONTROL JOINT SPACING IS 5 FEET.
22. MAXIMUM SIDEWALK CURB EXPANSION JOINT SPACING IS 40 FEET.
23. CONTRACTOR MUST KEEP ALL PERMITS ON JOB SITE.
24. ALL EXISTING SIGNS AND BENCHES (WHETHER SHOWN ON PLANS OR NOT) WHICH CONFLICT WITH CONSTRUCTION SHALL BE RELOCATED.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING EXISTING SPRINKLER SYSTEM COMPONENTS WHICH CONFLICT WITH CONSTRUCTION.
26. PROPOSED CURBING TO BE TRANSITIONED SMOOTHLY TO MATCH EXISTING.
27. THE CONSTRUCTION SITE IS TO BE THOROUGHLY CLEANED BY THE CONTRACTOR PRIOR TO ISSUANCE OF PAYMENT BY THE OWNER.
28. CONTRACTOR SHALL INCLUDE ALL COSTS FOR ROUTING PEDESTRIAN AND VEHICULAR TRAFFIC IN THE BID AMOUNT. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CURRENT LEASE HOLDER IN ORDER TO INSURE CONVENIENT ACCESS.
29. DASHED LINES REPRESENT EXISTING IMPROVEMENTS.
30. P.C. = POINT OF CURVATURE, P.R.C. = POINT OF REVERSE CURVATURE, P.T. = POINT OF TANGENCY, P.C.C. = POINT OF COMPOUND CURVATURE.
31. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATION. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
32. REFERENCE DETAILS FOR HANDICAP SIGNAGE.
33. BARRICADES AND WARNING SIGNS SHALL CONFORM TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND GENERALLY BE LOCATED TO AFFORD MAXIMUM PROTECTION TO THE PUBLIC AS WELL AS CONSTRUCTION PERSONNEL AND EQUIPMENT AND TO ASSURE AN EXPEDITIOUS TRAFFIC FLOW AT ALL TIMES DURING CONSTRUCTION. DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL PROVIDE ACCESS FOR LOCAL TRAFFIC.
34. ITEMS OF WORK NOTED "BY OTHERS" SHALL BE CONSIDERED AS NOT PART OF THIS CONTRACT.
35. THE CONTRACTOR SHALL COORDINATE (WITH OWNER/ARCHITECT) WHICH TREES ARE TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ACCORDINGLY AND PROVIDE WATER AS REQUIRED.
36. ON ALL GRAVITY LINES, CONTRACTOR MUST START AT DOWNSTREAM END AND PROCEED UPSTREAM TAKING CARE TO EXPOSE ALL EXISTING UTILITIES AND STRUCTURES WHICH MAY CONFLICT WITH THE PROPOSED LINE. ANY OTHER SEQUENCE OF CONSTRUCTION WILL BE AT THE CONTRACTOR'S RISK.
37. IN CASES WHERE HYDOMULCH HAS BEEN PROPERLY APPLIED, CONTRACTOR TO PROVIDE WATER AS REQUIRED TO ACHIEVE A MINIMUM OF 75% GERMINATION TOWARDS SUBSTANTIAL GROWTH.
38. PEDESTRIAN RAILING OR FENCING SHALL BE INSTALLED ALONG ALL RETAINING WALLS OR VERTICAL DROPS GREATER THAN 24". CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR LANDSCAPE ARCHITECT FOR DESIGN AND SPECIFICATIONS. ANY RAILING REQUIRED CLOSER THAN 10' TO A DRIVE LANE OR PARKING SPACE MAY NEED TO BE A TRAFFIC BARRIER. CONTRACTOR TO COORDINATE WITH ENGINEER.



PRIMARY CONTACT:
RICHARD HENDRIX, P.E.

MACINA • BOSE • COPELAND & ASSOC., INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
1035 Central Parkway North, San Antonio, Texas 78232
(210) 545-1122 Fax (210) 545-9302 www.mbcengineers.com
FIRM REGISTRATION NUMBER: T.B.P.E. F-784 & T.B.P.L.S. 10011700



SANTA MONICA HOTEL
108 NORTH MEDINA
SAN ANTONIO, TEXAS
SITE PLAN

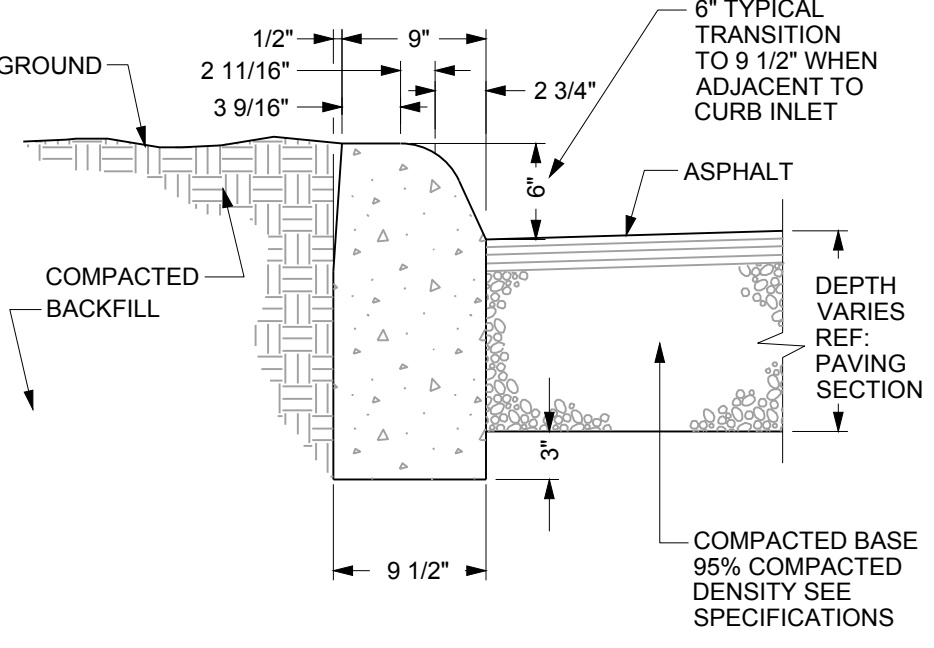
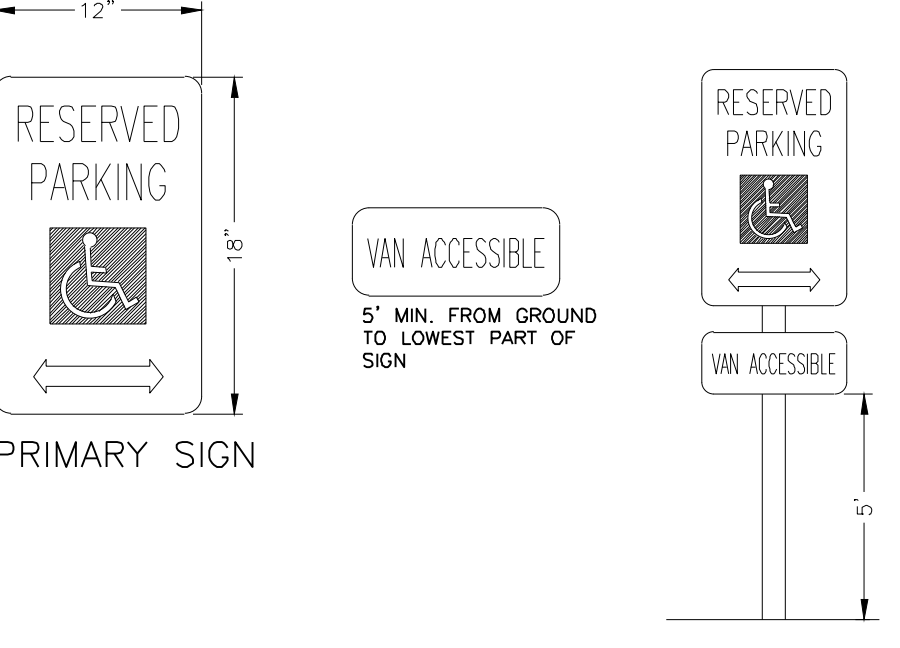
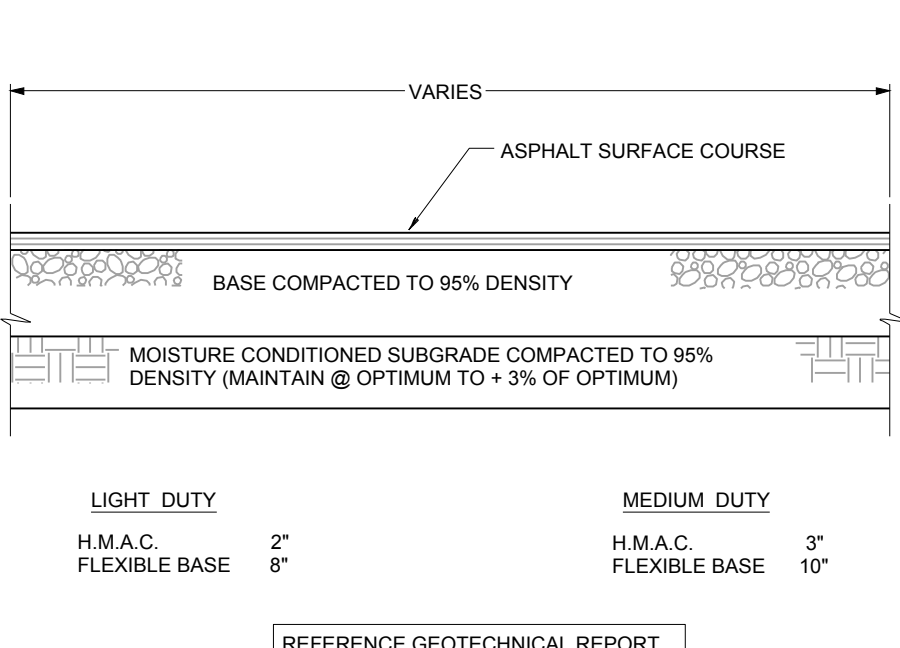
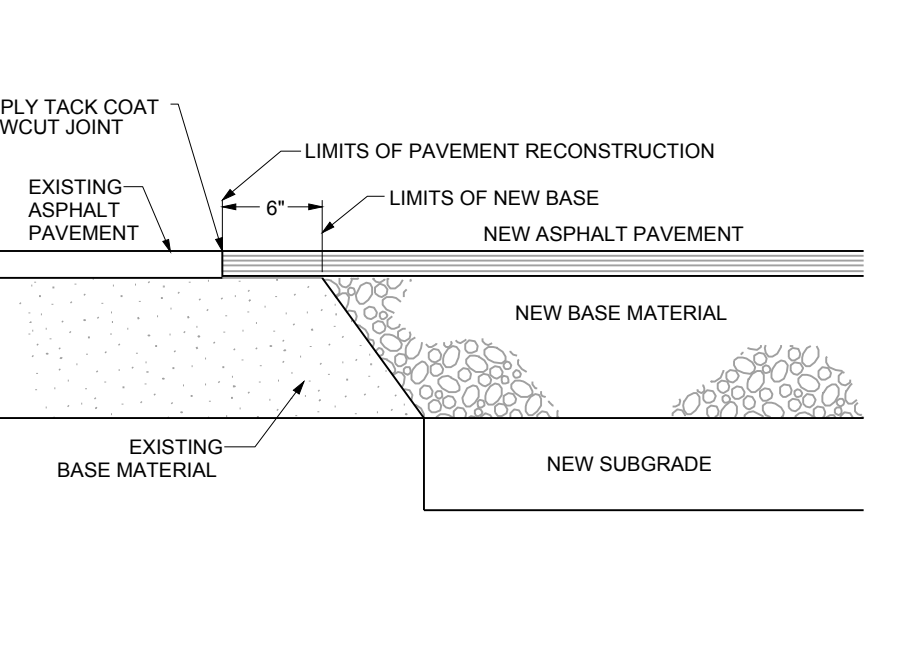
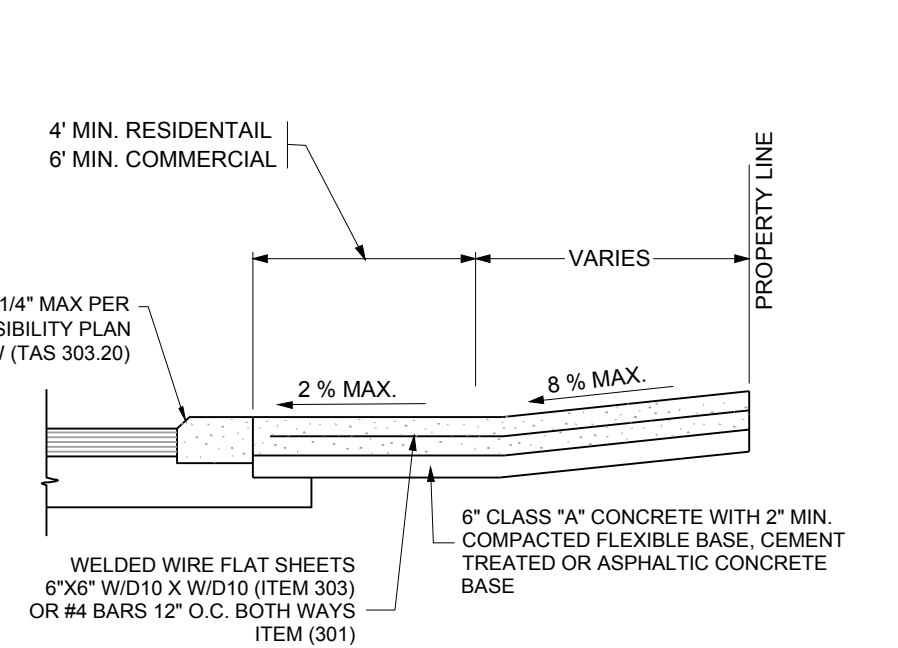
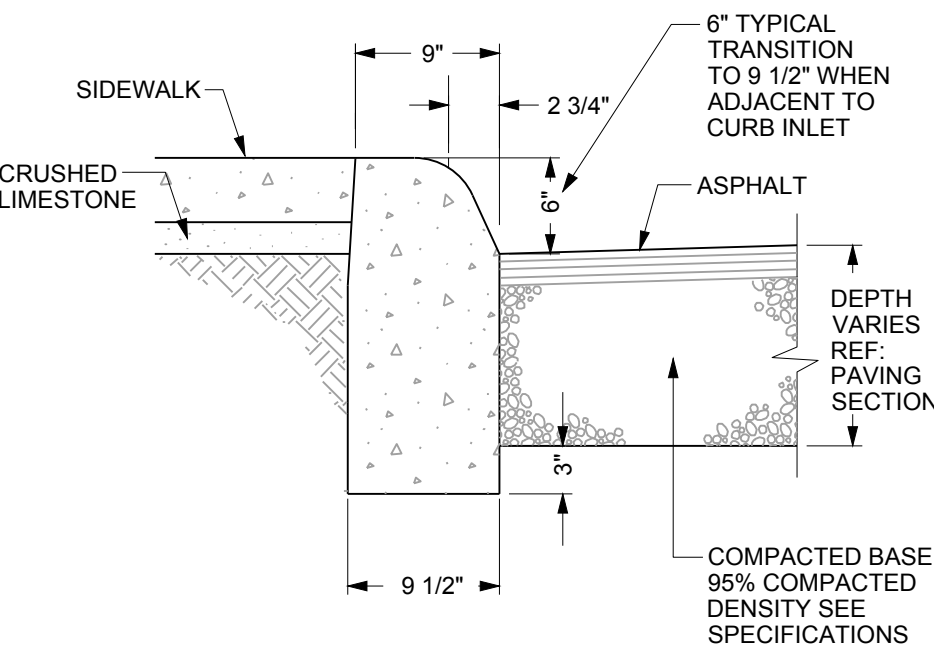
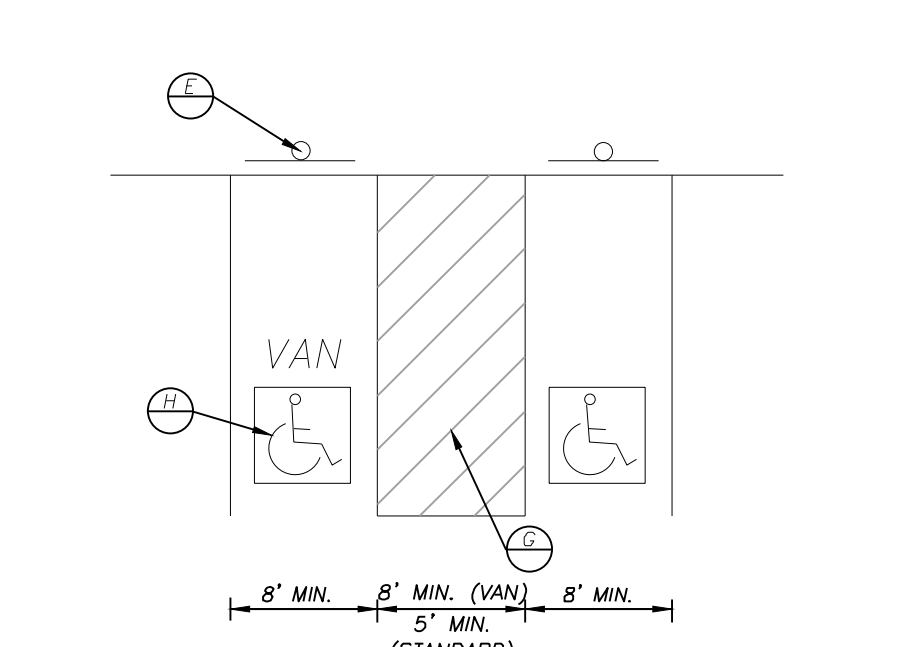
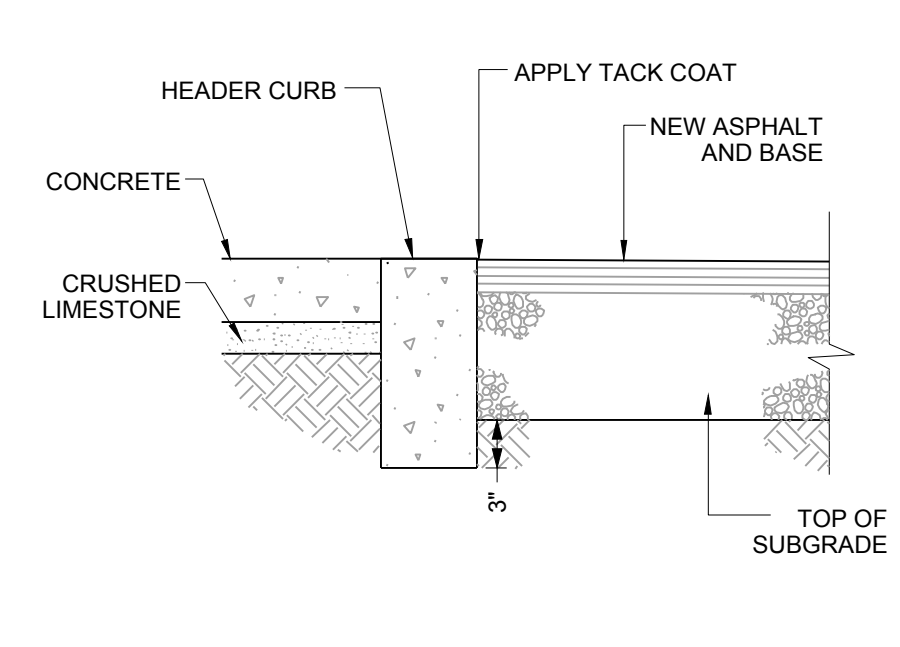
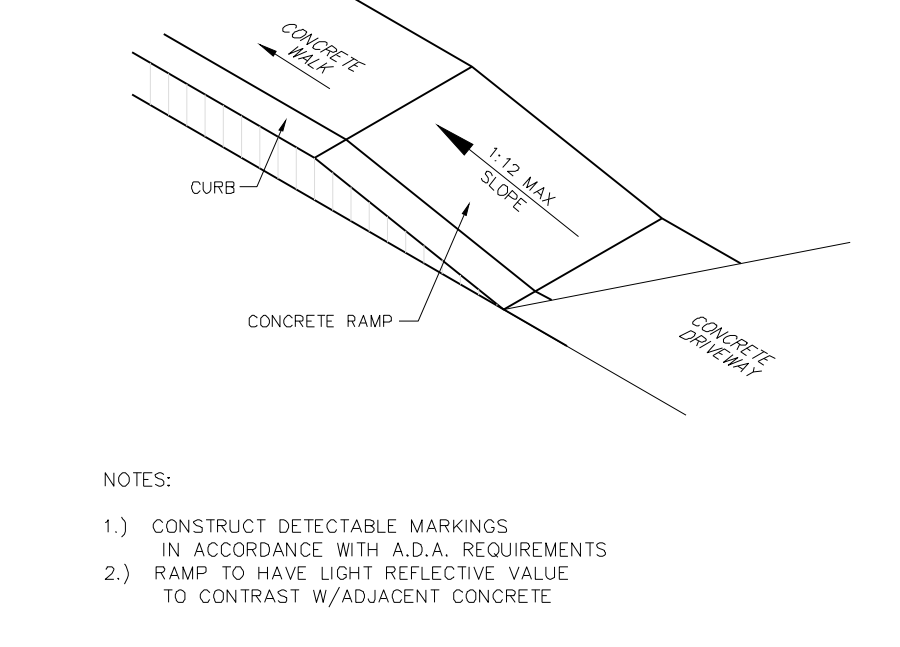
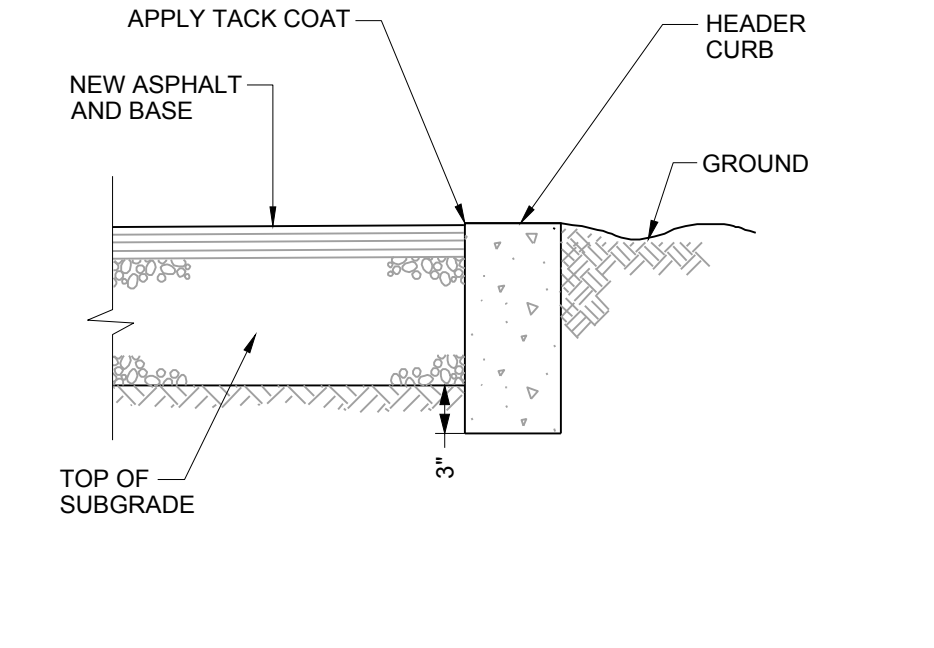
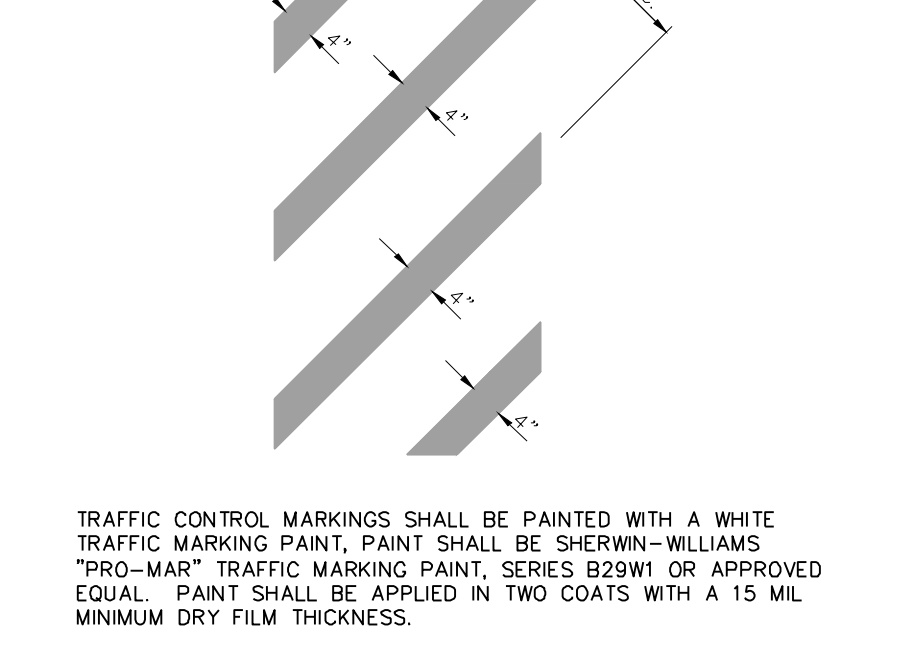
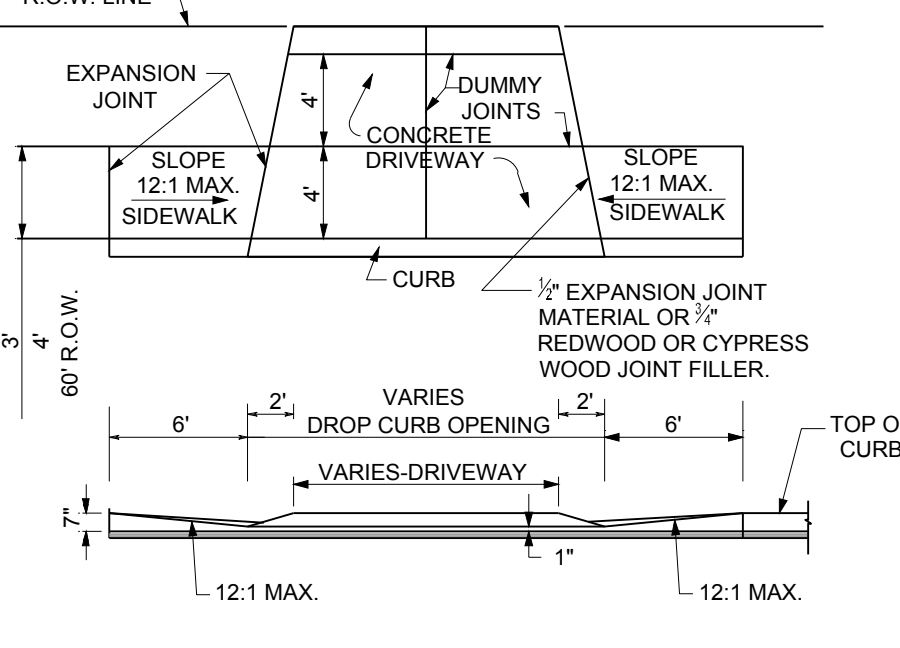
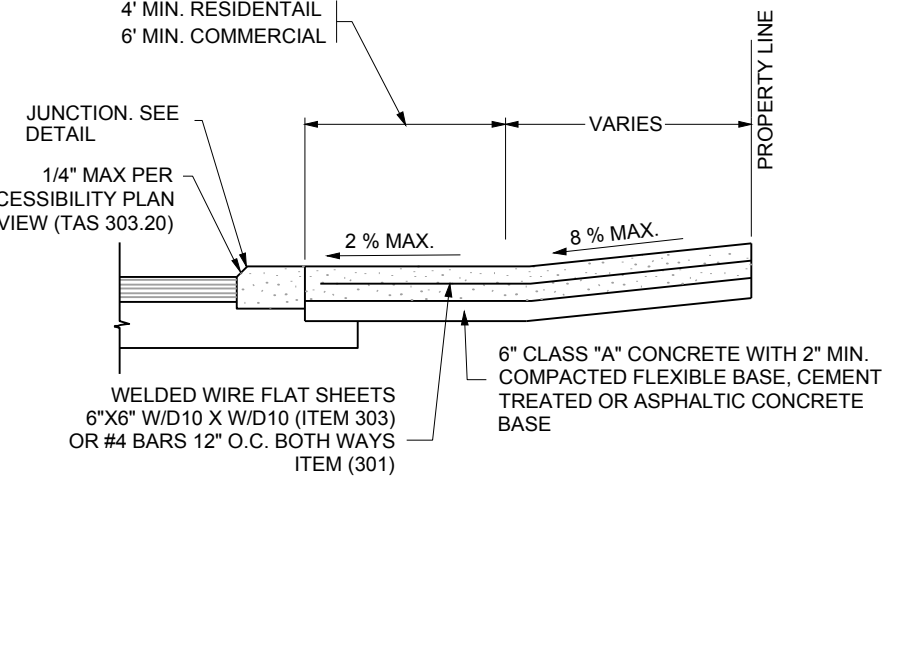
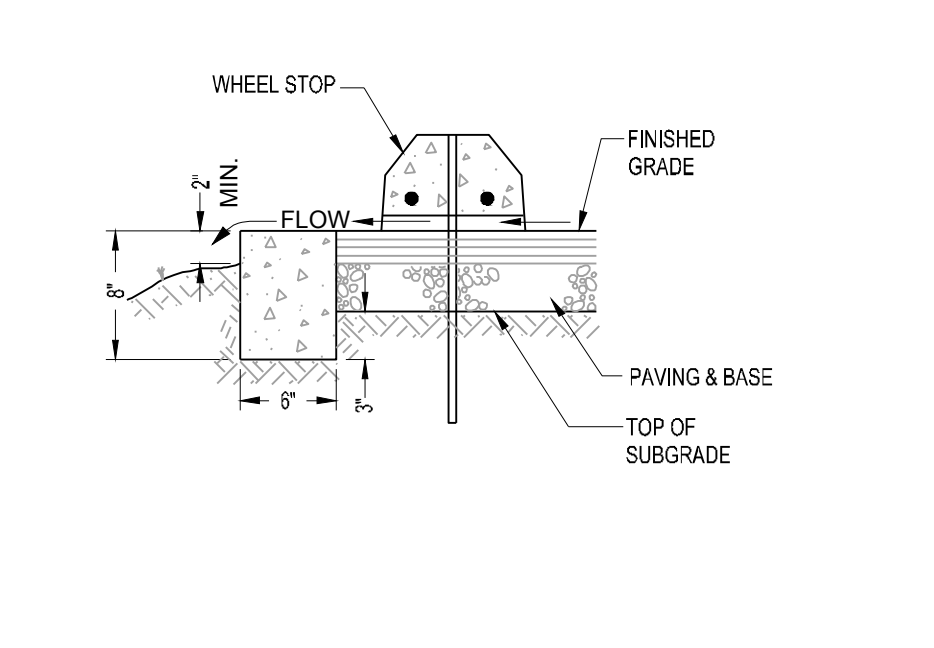
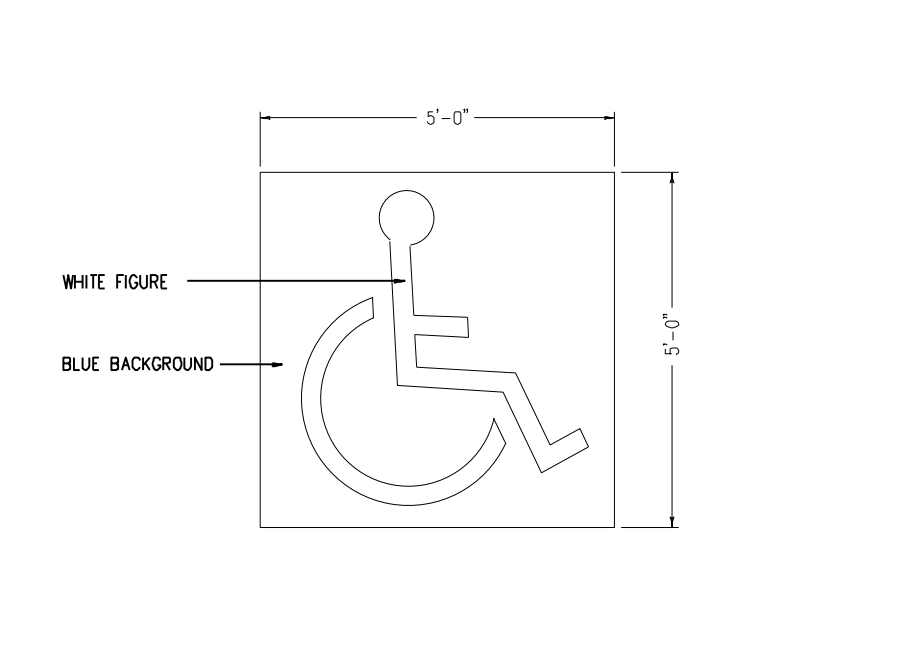
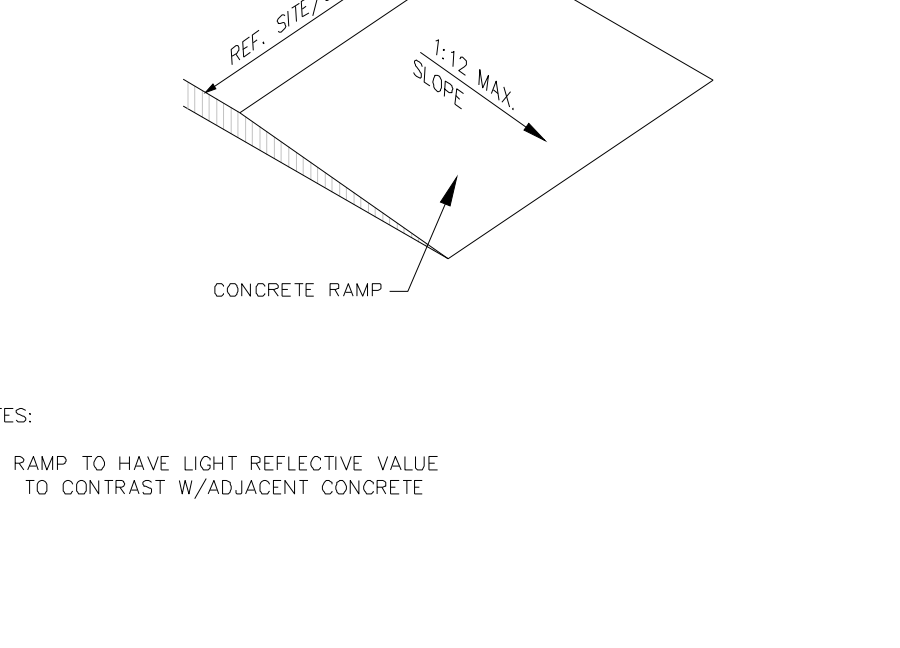
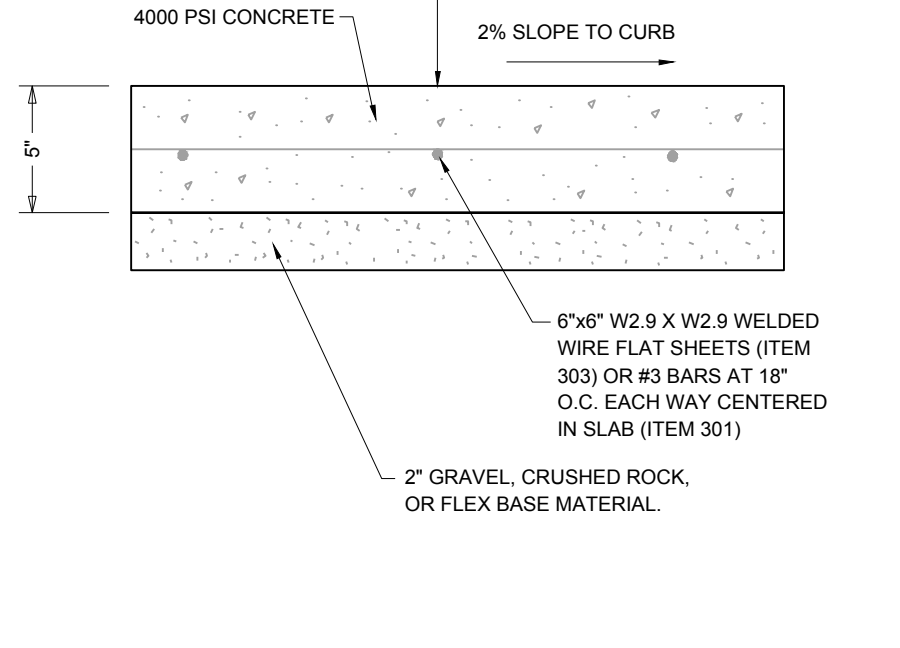
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DATE				
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07-23-2019	2	REVISED PER CITY PERMIT COMMENTS	RWH	

PLAT ID#	
APP#	
DESIGN	RH
DRAWN	ADG
CHECKED	
DATE	09-12-18
JOB NO.	32109-1270

ISSUED FOR PERMIT
07-23-19

C3

Date: Jul 23, 2019, 1:44 pm User ID: rhendrix Layout: SITE DETAILS
File: P:\17032109-Santa Monica Hotel-108 North Medina\Design\Drawings\Site Details\Site Details.dwg Layout name: SITE DETAILS

 <p>NOTE: BACKFILL TO BE PLACED FLUSH WITH TOP OF CURB</p>	 <p>NOTE: 1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.</p>	 <p>REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL DETAILS.</p>	 <p>APPLY TACK COAT SAWCUT JOINT</p>	 <p>REFERENCE: C.O.S.A. STANDARD SPECIFICATION</p>	
A 6" CURB DETAIL N.T.S	E ACCESSIBLE SIGN DETAIL N.T.S	I ASPHALT PAVING SECTION N.T.S	M JUNCTION DETAIL N.T.S	Q CONCRETE APRON (COSA) DETAIL N.T.S	U DETAIL N.T.S
 <p>NOTE: COMPACTED BASE 95% COMPACTED DENSITY SEE SPECIFICATIONS</p>	 <p>8" MIN. 8" MIN. (VAN) 8" MIN. (STANDARD)</p>	 <p>TOP OF SUBGRADE</p>	 <p>NOTES: 1.) CONSTRUCT DETECTABLE MARKINGS IN ACCORDANCE WITH A.D.A. REQUIREMENTS 2.) RAMP TO HAVE LIGHT REFLECTIVE VALUE TO CONTRAST W/ADJACENT CONCRETE</p>		
B 6" CURB DETAIL N.T.S	F ACCESSIBLE PARKING LAYOUT N.T.S	J HEADER CURB DETAIL ADJACENT TO SIDEWALK N.T.S	N ACCESSIBLE RAMP DETAIL N.T.S	R DETAIL N.T.S	V DETAIL N.T.S
 <p>TOP OF SUBGRADE</p>	 <p>TRAFFIC CONTROL MARKINGS SHALL BE PAINTED WITH A WHITE TRAFFIC MARKING PAINT. PAINT SHALL BE SHERWIN-WILLIAMS "PRO-MAR" TRAFFIC MARKING PAINT, SERIES B29W1 OR APPROVED EQUAL. PAINT SHALL BE APPLIED IN TWO COATS WITH A 15 MIL MINIMUM DRY FILM THICKNESS.</p>	 <p>NOTE: DUMMY JOINTS TO BE PLACED EVERY 4' BEGINNING AT THE BACK OF CURB & ONE DUMMY JOINT RUNNING DOWN THE MIDDLE AS SHOWN.</p>	 <p>1/4" MAX PER ACCESSIBILITY PLAN REVIEW (TAS 303.20)</p>		
C HEADER CURB DETAIL ADJACENT TO LANDSCAPE AREA N.T.S	G STRIPING DETAIL N.T.S	K TYPICAL DRIVEWAY DETAILS (WHERE SIDEWALK ABUTS CURB) N.T.S	O APRON DETAIL N.T.S	S DETAIL N.T.S	W DETAIL N.T.S
 <p>WHEEL STOP FINISHED GRADE PAVING & BASE TOP OF SUBGRADE</p>	 <p>WHITE FIGURE BLUE BACKGROUND</p>	 <p>NOTES: 1.) RAMP TO HAVE LIGHT REFLECTIVE VALUE TO CONTRAST W/ADJACENT CONCRETE</p>	 <p>REFERENCE SITE PLAN FOR SIDEWALK WIDTH</p>		
D HEADER CURB WITH WHEEL STOP N.T.S	H INTERNATIONAL ACCESSIBLE SYMBOL N.T.S	L ACCESSIBLE RAMP N.T.S	P CONCRETE SIDEWALK (ON-SITE) N.T.S	T DETAIL N.T.S	

ISSUED FOR PERMIT
07-23-19

7/23/19

STATE OF TEXAS

ROBERT A. COPELAND, JR.

70668

Professional Engineer

Professional Seal

PRIMARY CONTACT:
RICHARD HENDRIX, P.E.

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mbc

ENGINEERS

SANTA MONICA HOTEL

108 NORTH MEDINA

SAN ANTONIO, TEXAS

SITE DETAILS

REVISIONS:

DATE

NO.

DESCRIPTION

BY

PLAT ID#

APP#

DESIGN

DRAWN

CHECKED

DATE

JOB NO.

ADG

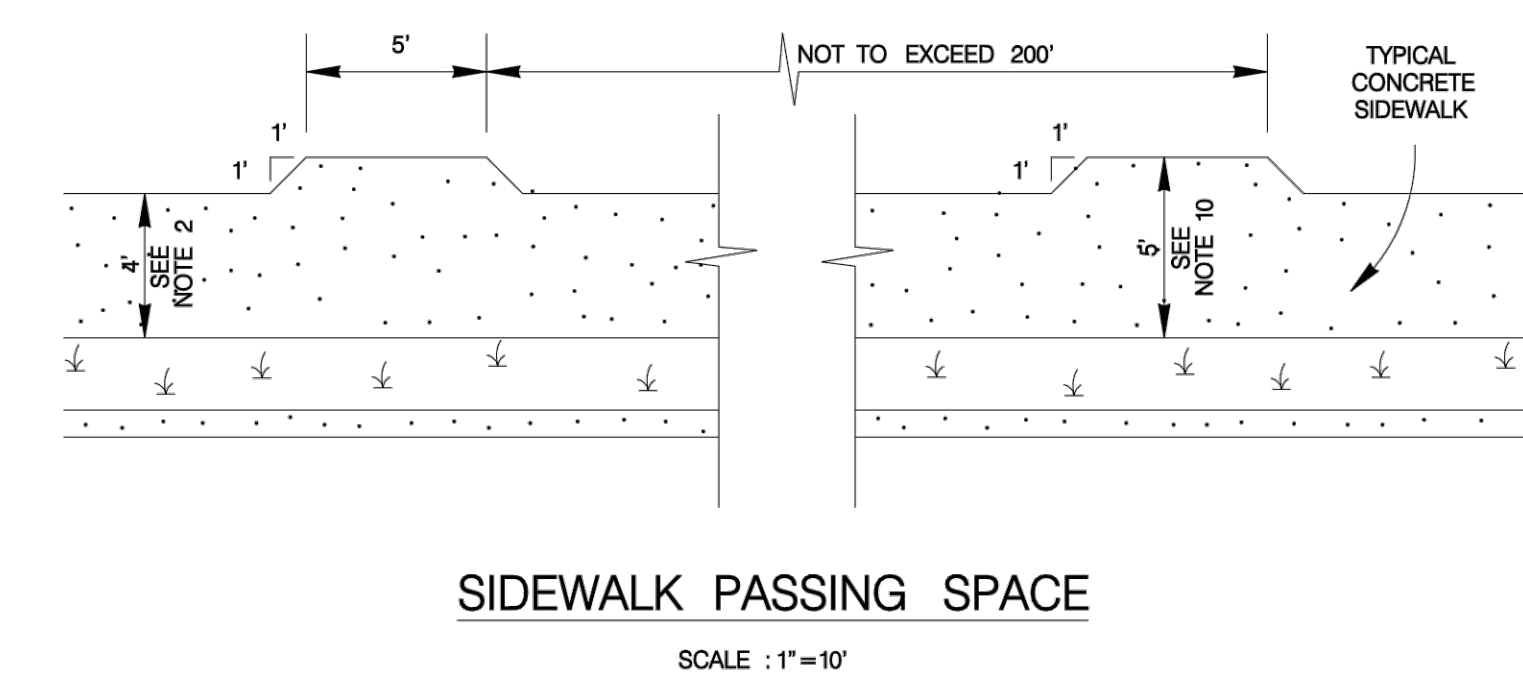
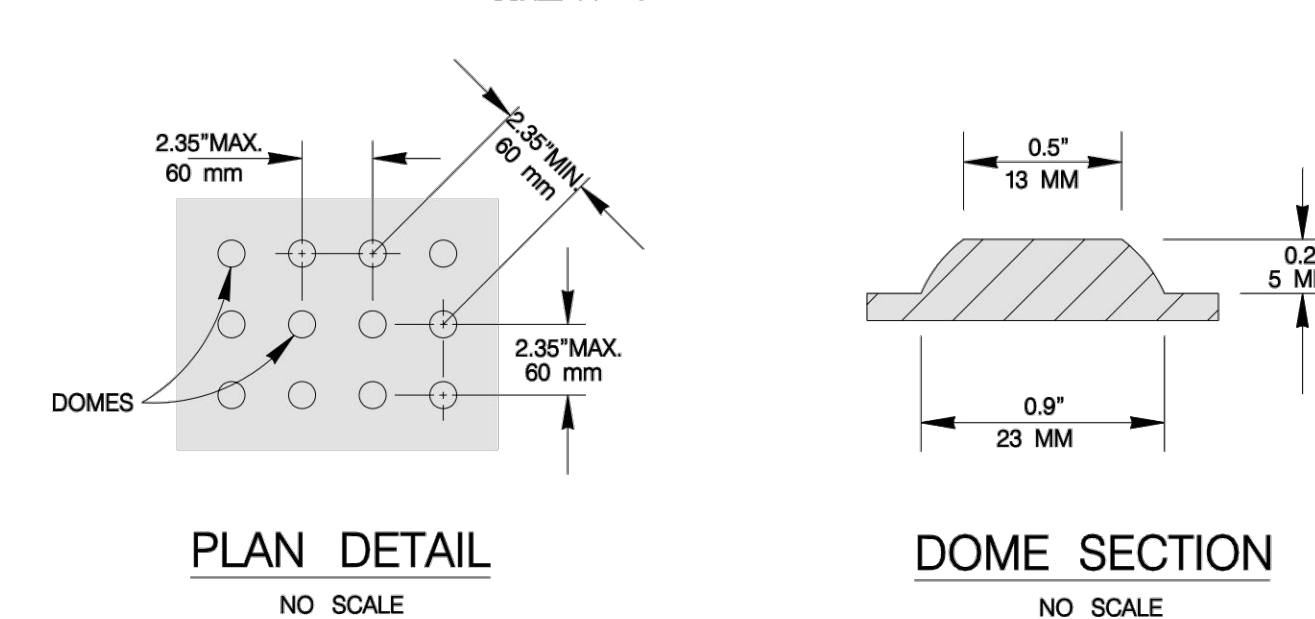
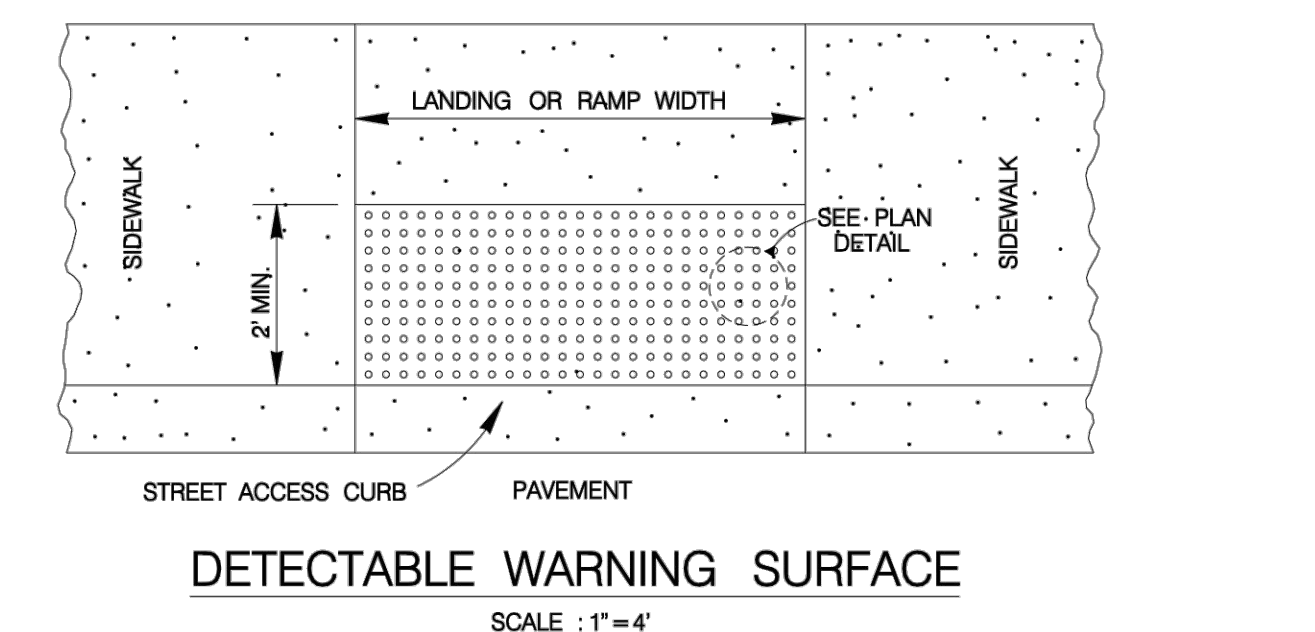
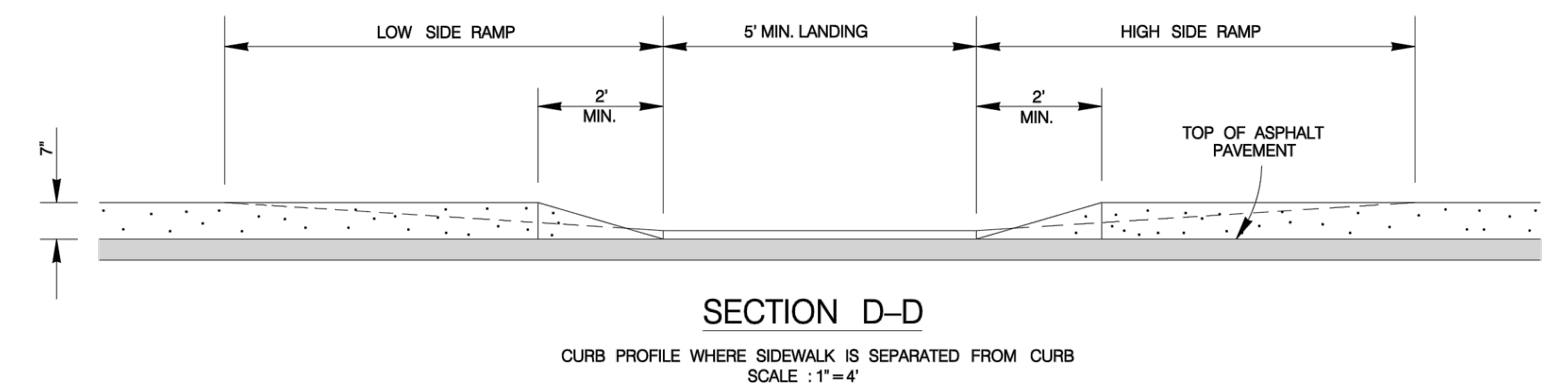
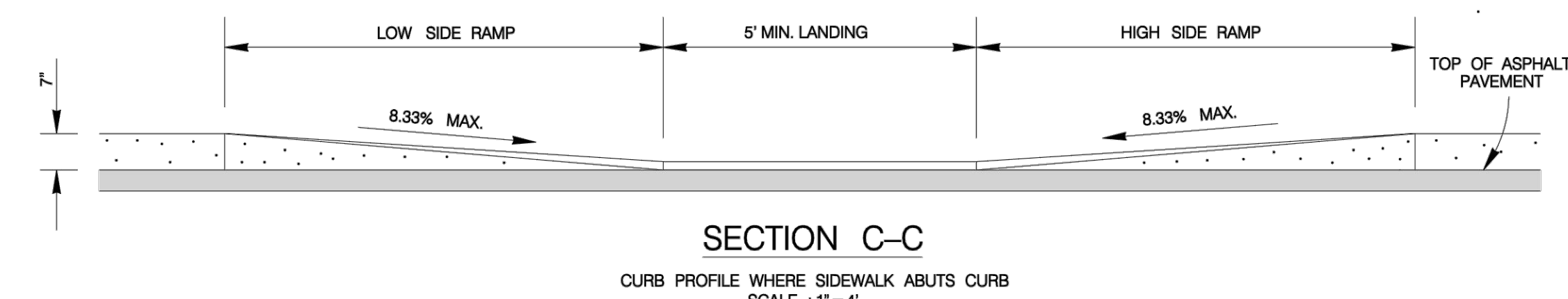
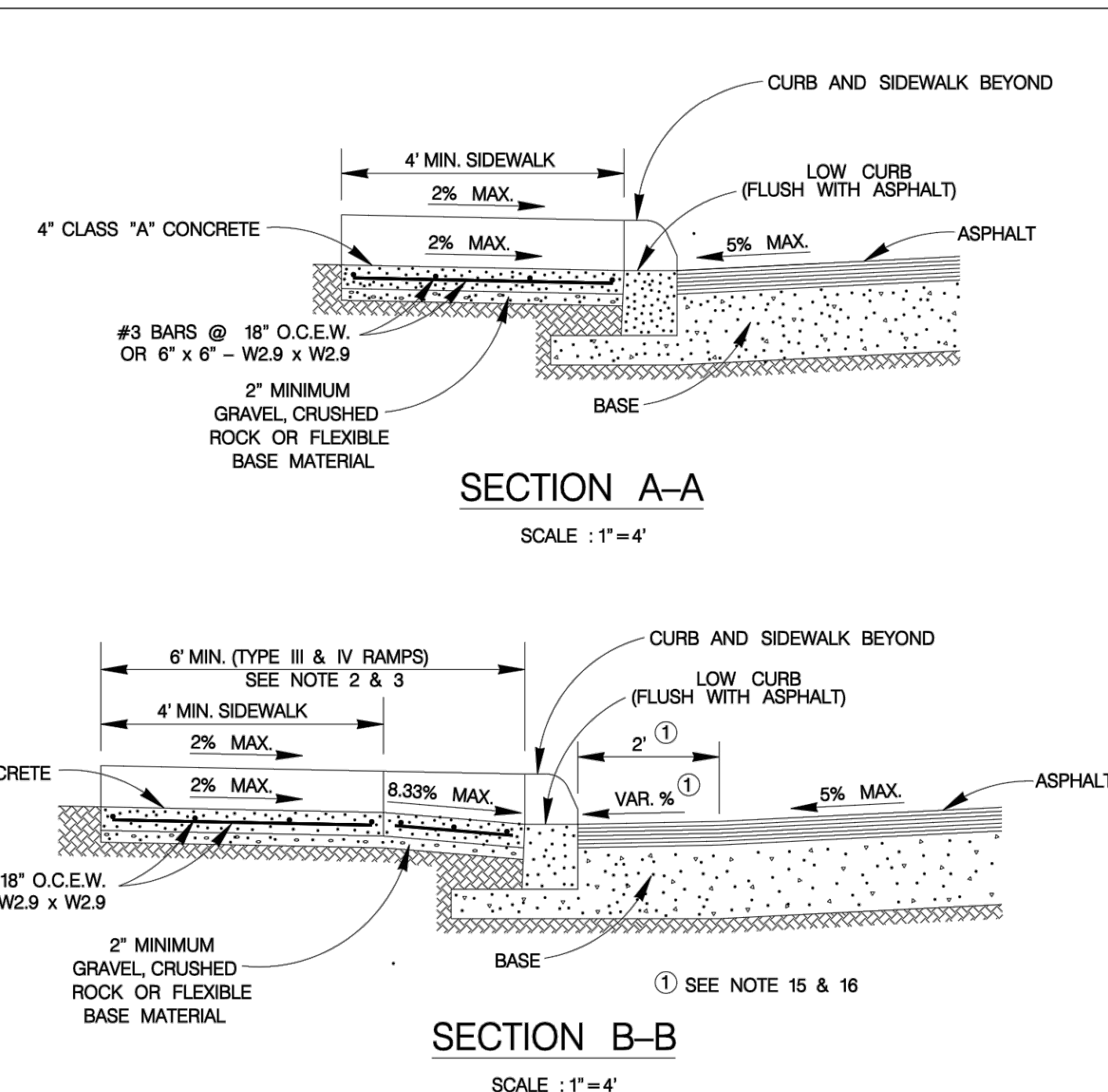
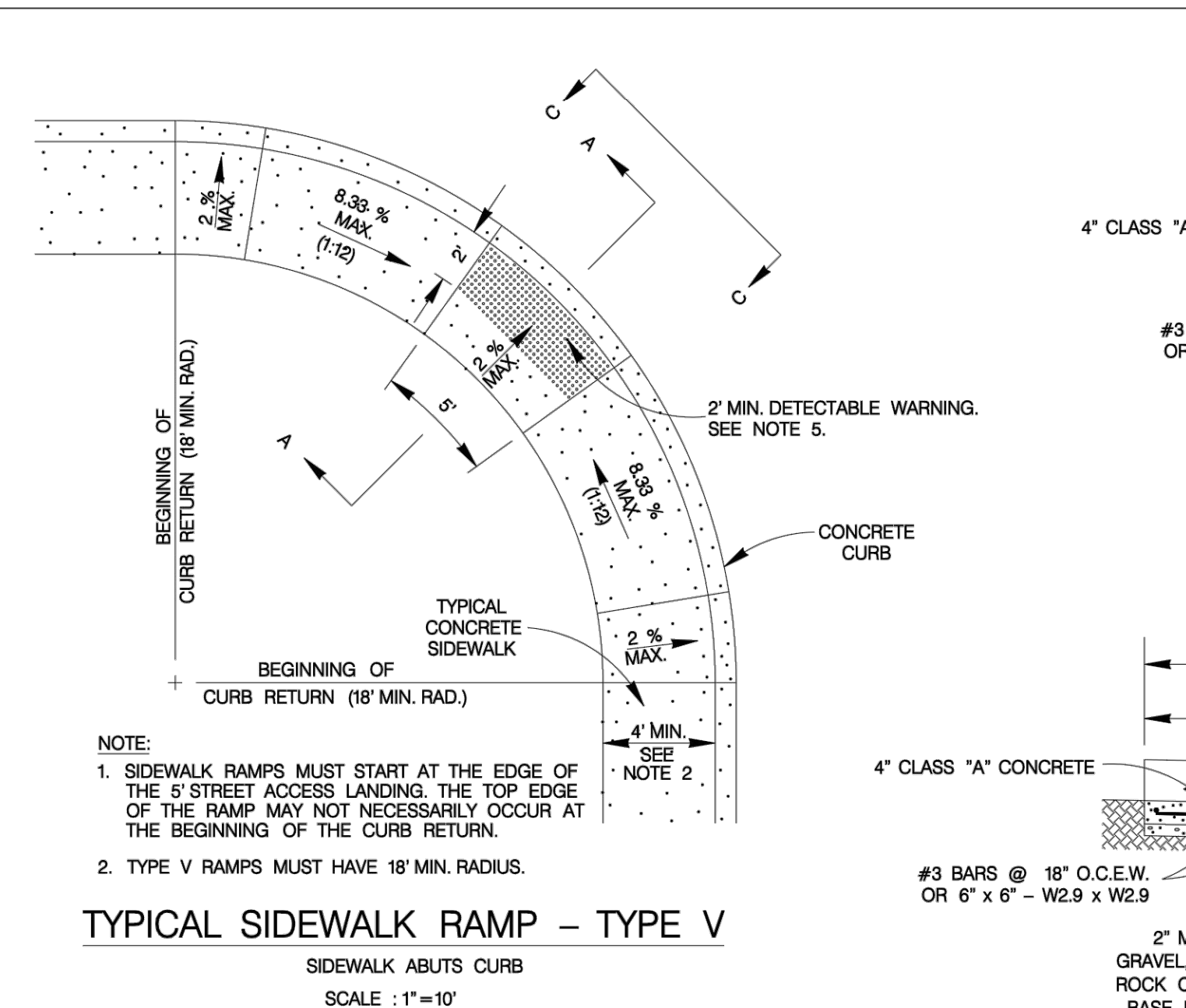
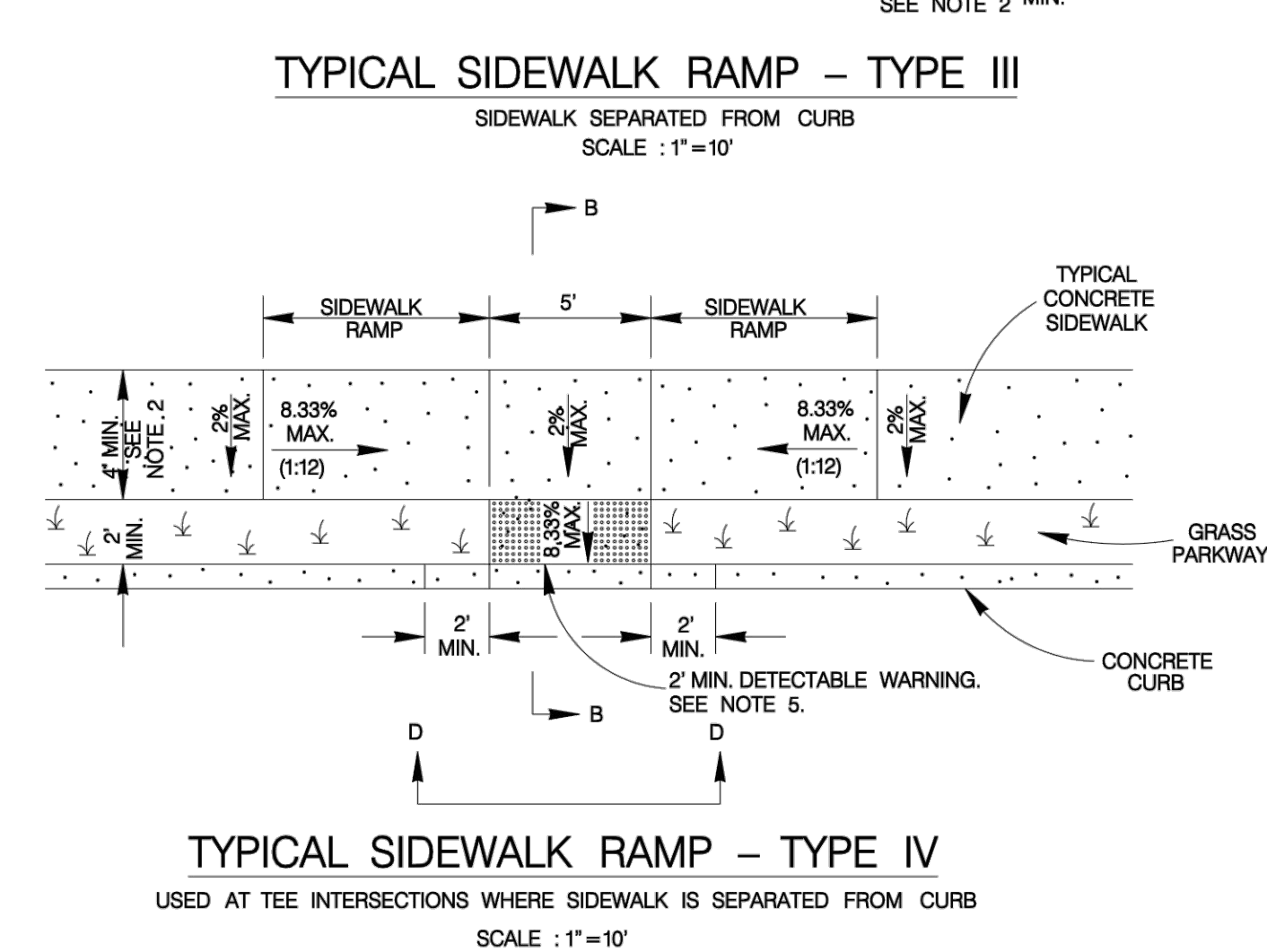
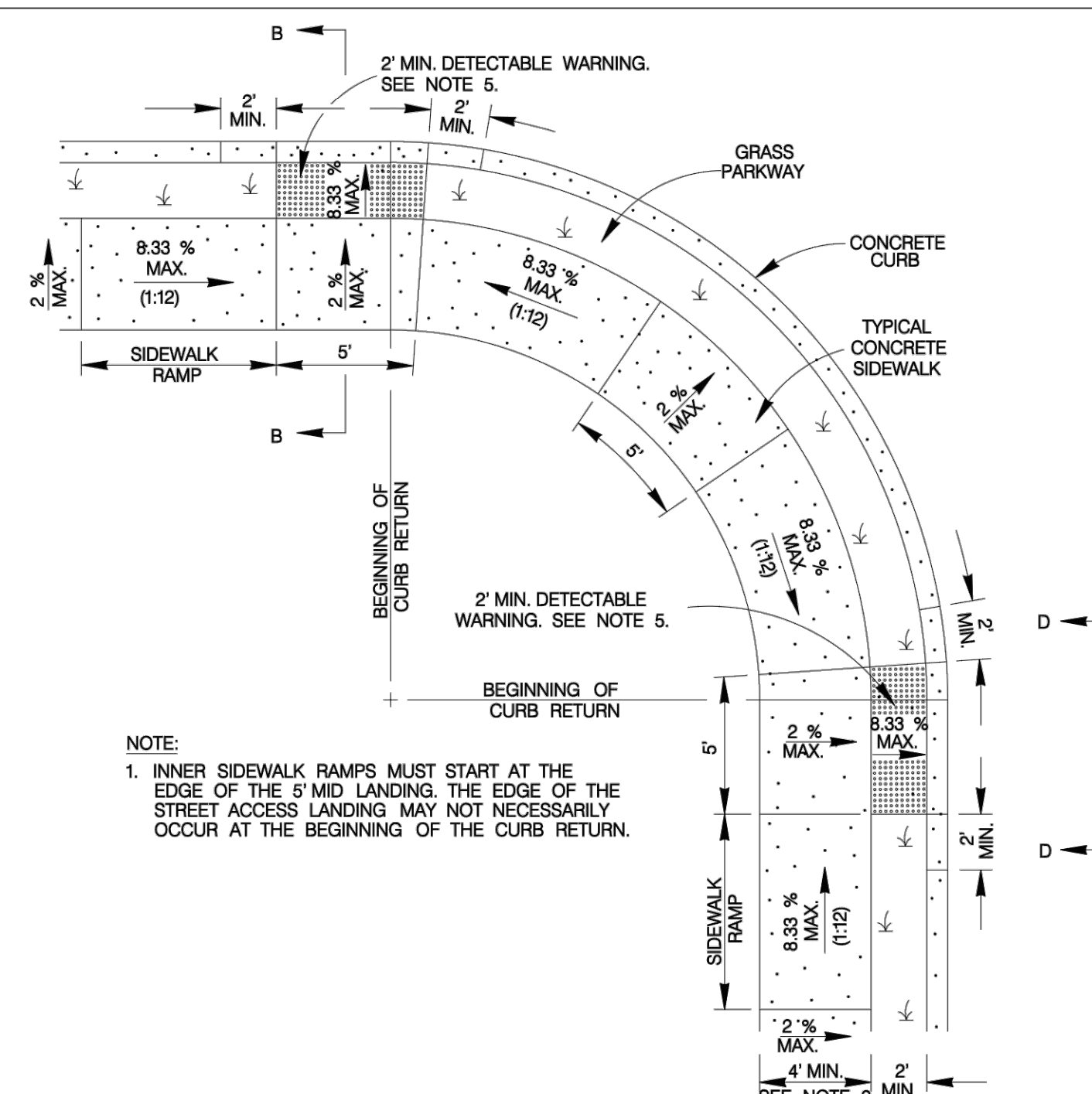
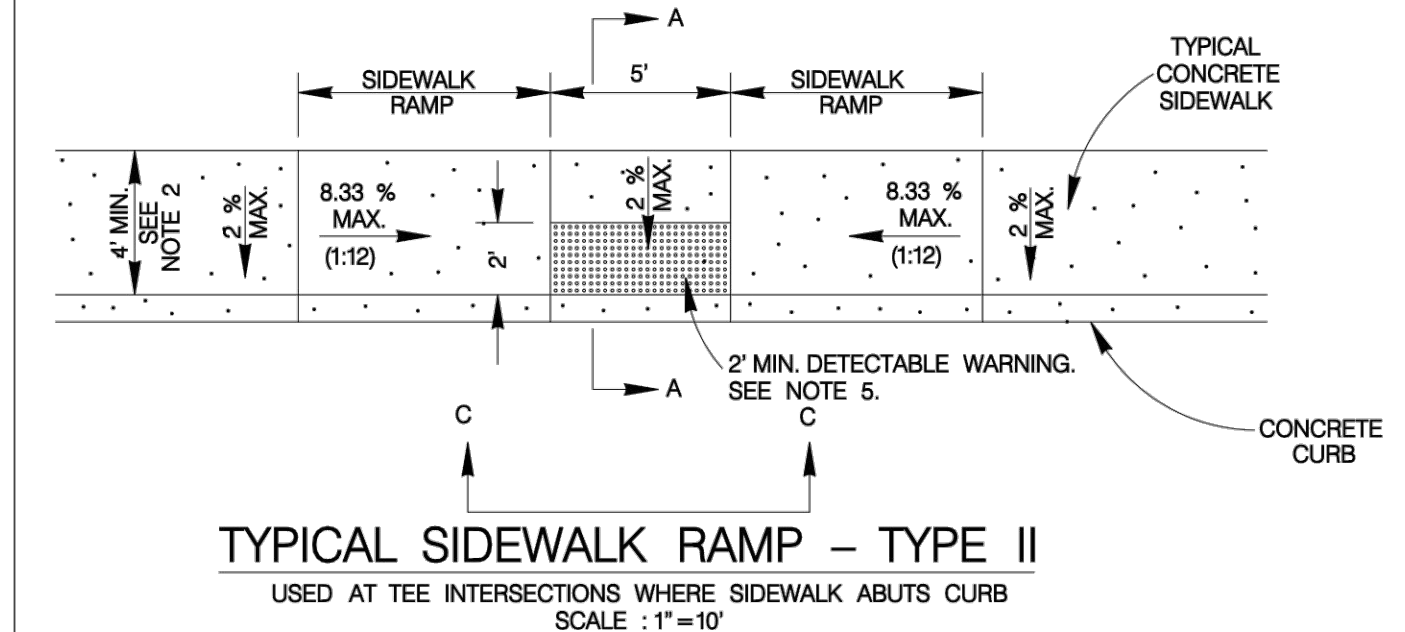
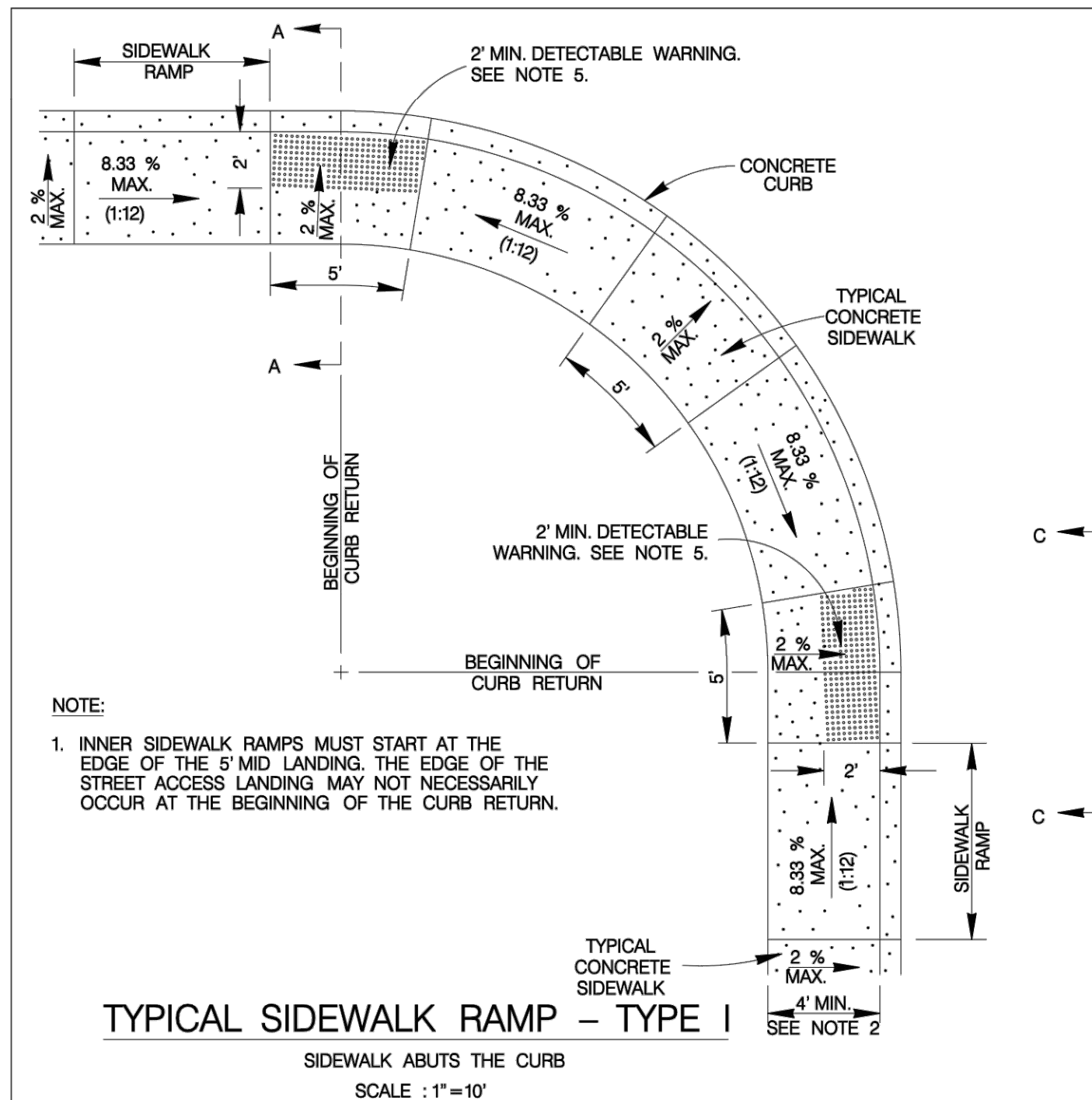
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09-12-18

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07-23-19



GUTTER SLOPE	SIDEWALK RAMP LENGTH (1:12)	
	LOW SIDE	HIGH SIDE
1%	5'-6"	7'-2"
2%	5'-0"	8'-4"
3%	4'-6"	10'-0"
4%	4'-2"	12'-6"
5%	3'-10"	16'-8"

MAY 2009			
CITY OF SAN ANTONIO			
CAPITAL IMPROVEMENTS MANAGEMENT SERVICES DEPARTMENT			
WHEELCHAIR RAMP STANDARDS			
% SUBMITTAL	PROJECT NO.:	DATE:	
DRWN. BY: V. VASQUEZ	DSGN. BY:	CHKD. BY: R.S. HOSSEINI, P.E.	SHEET NO.: OF

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07-23-19