

HISTORIC AND DESIGN REVIEW COMMISSION

October 02, 2019

HDRC CASE NO: 2019-480
COMMON NAME: 105, 107, 109, 111 and 113 BROWN STREET
ADDRESS: 415 N MESQUITE ST
LEGAL DESCRIPTION: NCB 568 BLK 17 LOT E 70 FT OF N 27.5 FT OF 10
ZONING: IDZ
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: MICHAEL PEREZ/MP2 URBAN DEVELOPMENT LLC
OWNER: MICHAEL PEREZ/MP2 URBAN DEVELOPMENT LLC
TYPE OF WORK: Construction of a multi-structure, multi-family residential development
APPLICATION RECEIVED: August 16, 2019
60-DAY REVIEW: October 15, 2019
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct five, multi-story residential structures on the vacant lots addressed as 105, 107, 109, 111 and 113 Brown Street and 415 N Mesquite Street, located within the Dignowity Hill Historic District. The lots are bounded by Brown Street to the south, N Mesquite to the east, and Brown Alley to the north. Each of the proposed structures will feature between approximately twenty-nine (29) and thirty-two (32) feet in height. The applicant has also proposed the construction of an open air carport to the north of Brown Alley.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

- i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential

building types are more typically flat and screened by an ornamental parapet wall.

ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. Building to lot ratio—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

- i. Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
- ii. Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING

- i. Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
 - ii. Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
 - iii. Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.
- Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

B. NEW FENCES AND WALLS

- i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS

- i. Historic Gardens*—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to

cause damage.

B. ROCKS OR HARDSCAPE

- i. Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES

- i. Preservation*—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. New Trees* – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

7. Off-Street Parking

A. LOCATION

- i. Preferred location*—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.
- ii. Front*—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.
- iii. Access*—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

B. DESIGN

- i. Screening*—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.
- ii. Materials*—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.
- iii. Parking structures*—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct five, multi-story residential structures on the vacant lots addressed as 105, 107, 109, 111 and 113 Brown Street and 415 N Mesquite Street, located within the Dignowity Hill Historic District. The lots are bounded by Brown Street to the south, N Mesquite to the east, and Brown Alley to the north. Each of the proposed structures will feature between approximately twenty-nine (29) and thirty-two (32) feet in height. The applicant has also proposed the construction of an open air carport to the north of Brown Alley. The request was heard for final approval at the September 4, 2019, Historic and Design Review Commission hearing, where it was reset the September 18, 2019, hearing. The applicant then postponed the request for final approval to the October 2, 2019, HDRC hearing.
- b. **CONCEPTUAL APPROVAL** – This request received conceptual approval at the April 17, 2019, Historic and Design Review Commission with the following stipulations:
 - i. That the applicant continue to reduce the height of the proposed structure on N Mesquite to reduce its height adjacent to the historic, one story residential structure located at 413 N Mesquite.
 - ii. That the applicant ensure that foundation heights that are consistent with the Guidelines.
 - iii. That the applicant incorporate additional windows that feature traditional profiles in place of square, fixed windows and that the applicant add fenestration to all outward facing facades.
 - iv. That all composite siding feature a four (4) inch exposure and a smooth finish. All board and batten siding should feature boards that are twelve inches in width and battens that are 1 – ½” in width. The proposed standing seam metal roofs should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, crimped ridge seams and a low profile ridge cap. An industrial ridge cap is not to be used.
 - v. That a double-hung, one-over-one wood windows or aluminum-clad wood windows be used. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
 - vi. That all mechanical equipment be screened from view at the public right of way.
 - vii. That the applicant propose either gravel or decomposed granite in place of the proposed black rock in the emergency fire lane, that a front walkway be installed in front of the proposed structure on N Mesquite and that the proposed carport feature wood construction.
 - viii. That the applicant explore elements to reduce the perceived width of the middle structure, the “farm house”.
- c. **DESIGN REVIEW COMMITTEE** – This request was reviewed by the Design Review Committee on June 11, 2019. At that meeting, Committee members commented on the improved massing of structure that fronts N Mesquite; however, also noted that the applicant should confirm that the massing does not overwhelm the existing historic structure. The Committee also discussed the proposed parking, noted concern with the proposed attached garages and recommended the installation of additional landscaping elements.
- d. **DESIGN REVIEW COMMITTEE** – This request was reviewed at by the Design Review Committee on August 27, 2019. At that meeting, Committee members noted concern regarding the height and massing of the house on N Mesquite (Nola House) and recommended a reduction in perceived massing and noted that window proportions for all structures should be adjusted for small, square windows.

- e. **SETBACKS & ORIENTATION (N Mesquite, east)** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. The applicant has proposed a setback that matches that of the adjacent historic structure at 413 N Mesquite. The applicant has provided application documents that note that the proposed new construction’s roof form exceeds that of the historic structure. Staff finds that all elements of the proposed new construction, including porch and roof elements should feature a setback greater than that of the historic structure to the immediate south (413 N Mesquite).
- f. **SETBACKS & ORIENTATION (Brown Street, south)** – The applicant has proposed southern facing setbacks for four (4) of the proposed structures to be behind that of the adjacent historic structure’s side façade. Staff finds this to be appropriate.
- g. **ENTRANCES (N Mesquite, east)** – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has oriented the primary entrance of the structure proposed to front N Mesquite to N Mesquite. This is appropriate and consistent with the Guidelines.
- h. **ENTRANCES (Brown Street, south)** – The applicant has proposed to orient entrances of the rear four structures to Brown Street, to the south. Generally, staff finds the proposed entrance orientation to be appropriate.
- i. **SCALE & MASS** – The applicant has proposed massing for each structure that features between twenty-nine (29) and approximately thirty-two (32) feet in height. The applicant has proposed for each structure to feature either two full stories with occupiable attic space, or three full stories. This block features both single story commercial structures and single story residential structures. On the blocks to the immediate south and west, there are multi-story commercial and industrial structures. The applicant has provided various perspectives as well as a section view through the site noting the proposed massing in relationship to the existing, historic structures on the block. The heights of these structures have remained generally consistent with that which was reviewed at conceptual approval. Given their location away from primary streets and existing, historic structures, staff finds the proposed height of the rear four structures to be appropriate. Staff finds that due to their distance away from primary streets, their perceived height will not negatively impact the existing, historic structures.
- j. **SCALE & MASS** – The applicant has proposed one of the structures to feature a mirrored floor plan with two separate masses, joined by a common wall. This structure is to feature gabled roofs with a contemporary rooftop structure. At the time of conceptual review, staff recommended that this structure be separated, or that additional architectural elements be incorporated into the design to reduce its perceived width. The Commission included the stipulation that the applicant explore elements to reduce the perceived width of this structure. Staff finds that at this time, no additional steps have been taken to address staff’s previous concerns and the Commission’s stipulation.
- k. **SCALE & MASS** – In regards to the house that is to address N Mesquite, the applicant has proposed a reduced massing at the front to relate to the historic structure to the immediate south. At the time of conceptual review, staff noted that the reduced massing near the street was appropriate; however, additional measures should be taken to further reduce the proposed new construction’s massing in relationship to the adjacent, single story historic structure. Staff finds that the proposed front facing gabled roof has reduced the overall scale and massing. Additionally, the applicant has reduced the structure’s proposed height to two (2) stories, and a total height of 25’ – 10”. Staff finds the reduction in massing to be an appropriate step in developing a mass that is appropriate for this block of N Mesquite.
- l. **FOUNDATION & FLOOR HEIGHTS** – The applicant has noted foundation heights of eight (8) inches for each structure. According to the Guidelines for New Construction 2.A.iii., foundation and floor height should be aligned within one (1) foot of neighboring structure’s foundation and floor heights. Historic structures in the vicinity and throughout the district feature foundation heights of two to three feet. The applicant has proposed of eight (8) inches for each structure. Staff finds that taller foundation heights would be more appropriate.
- m. **ROOF FORM** – The applicant has proposed roof forms that include contemporary gabled roofs and flat roofs. Gabled roofs are found historically throughout the Dignowity Hill Historic District. Generally, staff finds the contemporary take on these traditional roof forms to be appropriate. For the easternmost structure, the applicant has proposed to construct a structure with a flat roof. The applicant has noted the non-residential structure to the immediate south, which features a flat roof. Staff finds that flat roofs are not typically found historically within the district in relationship to residential structures; however, the proposed form may be appropriate given the immediate context.
- n. **WINDOW & DOOR OPENINGS** – Per the Guidelines for New Construction 2.C.i., window and door openings

with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. At the time of conceptual approval, staff's stipulation that the applicant incorporate additional windows that feature traditional profiles in place of square, fixed windows and that the applicant add fenestration to all outward facing facades was included in the Commission's approval. The applicant has modified outward facing windows openings to features one over one sash windows. Staff finds this to be an appropriate step toward incorporating window openings that are consistent with the Guidelines.

- o. **LOT COVERAGE** – Per the Guidelines, the building footprint for new construction should be no more than fifty (50) percent of the size of the total lot area. Each footprint that the applicant has proposed exceeds the recommended footprint, noted in the Guidelines. While the applicant's proposed footprints are not consistent with the Guidelines, the atypical lot configuration and size of the proposed lots may deem the proposed footprints to be appropriate.
- p. **MATERIALS** – The applicant has proposed primary materials that consist of fiber cement siding, wood siding, standing seam metal roofs, D'Hanis brick, and stucco. The applicant has proposed secondary materials consisting of metal columns, wood columns, and metal railings. Generally, staff finds the proposed materials to be appropriate. While D'Hanis brick is not found historically on single-family residential structures within the Dignowity Hill Historic District, it is found in both a commercial and industrial context within the district. Staff finds that all fiber cement siding should feature four (4) inch exposure, a thickness of $\frac{3}{4}$ " , mitered corners and a smooth finish. All board and batten siding should feature boards that are twelve inches in width and battens that are $1 - \frac{1}{2}$ " in width. The proposed standing seam metal roofs should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, crimped ridge seams and a low profile ridge cap. An industrial ridge cap is not to be used. Staff finds that the applicant should submit specifications for all materials that are proposed prior to retuning for final approval.
- q. **WINDOW MATERIALS** – The applicant has proposed to install aluminum windows; however, the current window schedule noted vinyl. Staff does not find the installation of aluminum or vinyl windows to be appropriate. Staff finds that a double-hung, one-over-one wood windows or aluminum-clad wood windows be used. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- r. **ARCHITECTURAL DETAILS** – Generally, staff finds the proposed architectural details to be appropriate; however, there are elements that staff finds to be atypical and inconsistent with the character of the Dignowity Hill Historic District, including the inclusion of attached garages, the use of flat roofs, column proportions and the width of the middle structure. Staff finds that the applicant should consider design elements to reduce the width of the middle structure and should propose column proportions that are appropriate for the proposed heights. Additionally, staff finds that the applicant should incorporate additional traditionally sized window openings and additional fenestration on outward facing facades.
- s. **ARCHITECTURAL DETAILS (Attached Garages)** – Staff does not find the attached garages to be appropriate and finds that the applicant should propose alternative design elements to allow for their removal. This could include the reduction of residential structures to provide for detached parking on site. Attached garages are not found historically within the district and are not consistent with the Guidelines. Additionally, the removal of attached garages and reduction of residential structures would contribute to the overall reduction of massing on the site.
- t. **MECHANICAL EQUIPMENT** – Per the Guidelines for New Construction 6., all mechanical equipment should be screened from view at the public right of way. The applicant is responsible for screening all mechanical equipment where it cannot be viewed from the public right of way.
- u. **DRIVEWAY & VEHICULAR ACCESS** – The applicant has noted improvements and the widening of Brown Alley by six (6) feet to accommodate emergency vehicles. The alley surface will be asphalt, and the additional six (6) feet in width will be gray gravel. Generally, staff finds this to be appropriate. Staff finds that additional ornamental landscaping elements should be incorporated into the drive design.
- v. **DETACHED PARKING** – The applicant has noted a detached parking location to the north of the proposed new construction to accommodate parking for two (2) vehicles. Access will be facilitated by two sets of concrete

ribbon strips. The applicant has noted that this parking location will be an open air carport. Generally, staff finds the location of the proposed carport to be appropriate. The applicant has proposed materials that consist of a standing seam metal roof and wood framing. Staff finds that the applicant should install columns that are six inches square, rather than a simple 4x4 wood member.

- w. LANDSCAPING PLAN – The applicant has provided a site plan noting various site materials and the locations of proposed trees. Generally, staff finds the proposed landscaping plan to be appropriate; however, staff finds that a front walkway should be added to connect the proposed structure that is to address N Mesquite to the location of a public sidewalk, parallel to the street (a public sidewalk does not currently exist here). Staff finds the paver sidewalks on the alley facing structures to be appropriate.

RECOMMENDATION:

Staff does not recommend approval based on findings a through w. Staff finds that the applicant has not yet addressed all stipulations of conceptual approval, and that the proposed scale and character are inconsistent with the Guidelines. Staff recommends that the applicant address the following items prior to receiving a recommendation for approval:

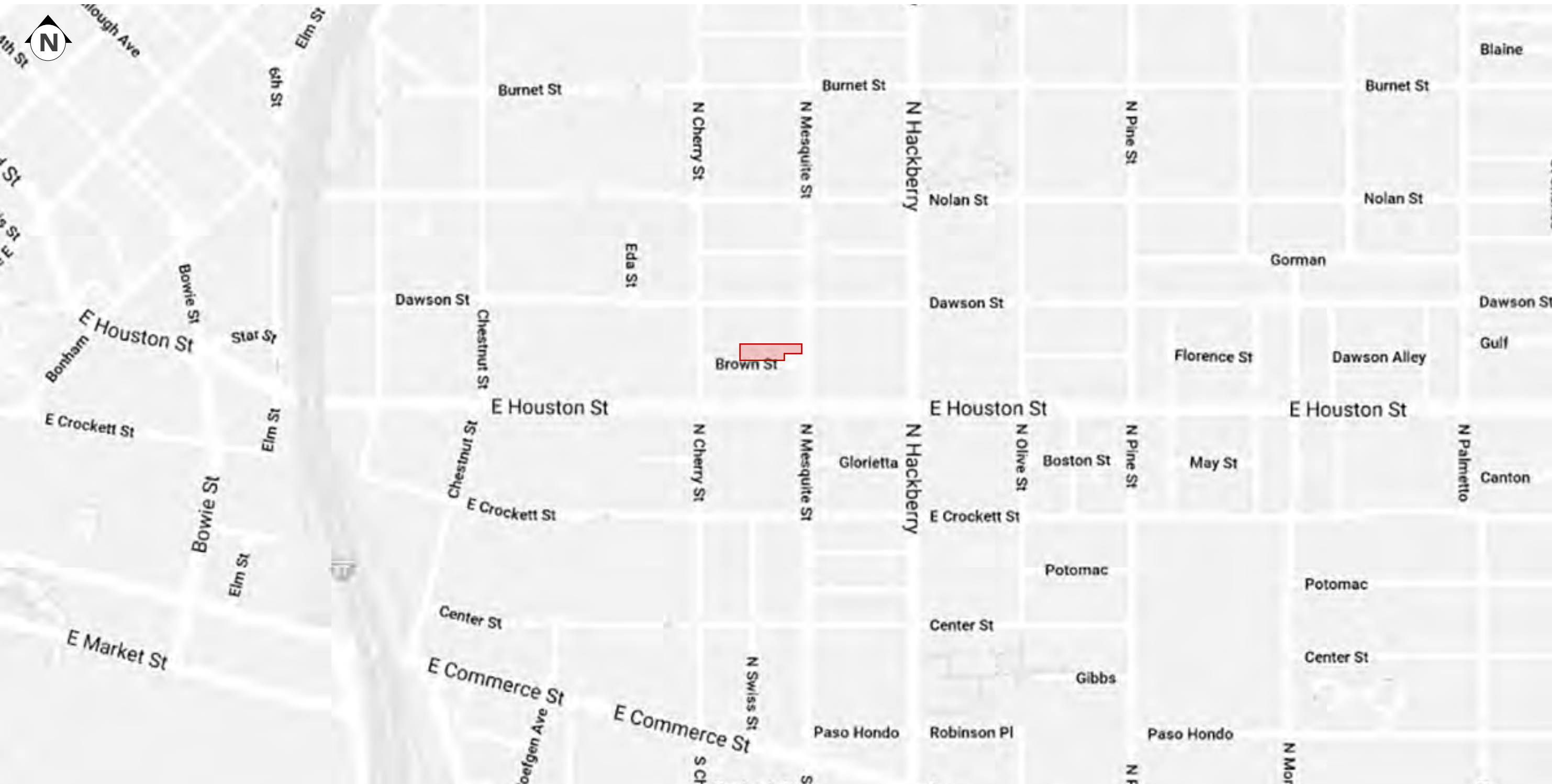
- i. That the applicant propose alternatives to the attached garages to allow for their removal, such as the reduction of a residential structure. Attached garages are not found historically within the district and are not consistent with the Guidelines.
- ii. That the applicant either separate the middle structure, or proposed additional architectural elements that will reduce its perceived width as noted in finding j.
- iii. That the applicant continue to explore ways that additional fenestration can be added to outward facing elevations.
- iv. That all fiber cement siding feature four (4) inch exposure, a thickness of $\frac{3}{4}$ ", mitered corners and a smooth finish. All board and batten siding should feature boards that are twelve inches in width and battens that are 1 – $\frac{1}{2}$ " in width. The proposed standing seam metal roofs shall feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, crimped ridge seams and a low profile ridge cap. An industrial ridge cap is not to be used. The applicant shall submit specifications for all materials that are proposed prior to returning for final approval.
- v. That a double-hung, one-over-one wood windows or aluminum-clad wood windows be used. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- vi. That the applicant modify various architectural details, including column proportions on both the residential structures and detached carport as noted in finding r.
- vii. That the applicant incorporate additional landscaping elements into the proposed site as noted in finding w.



1 PERSPECTIVE
G0.00



2 PERSPECTIVE
G0.00



3 LOCATION
G0.00

General Notes

A - General Requirements

- If there are any questions regarding these plans, contact Peggy Brimhall at 646-726-3173.
- No work shall be performed or materials furnished other than as shown on these plans or authorized as an addendum to these documents by the owner.
- No changes to or variations from these plans may be made except upon written instruction from owner.
- An operation and maintenance manual shall be provided to the occupant or owner.
- Contractor will provide temporary sanitary facilities on the job site before the start of work.
- Contractor shall protect and keep clean all areas not affected by scope of project.
- Contractor shall verify all dimensions on the job site.
- Contractor shall be responsible for ensuring that all workmanship and/or materials furnished meet with all applicable city, county, and other jurisdictional agency requirements.
- Contractor shall be responsible for being familiar with and complying with manufacturer's instructions for correct installation and use of all material used.
- All materials furnished shall be new and of first quality, no used materials or seconds will be permitted except upon written instruction from owner.
- Adhesives, sealants, caulks, paints, stains, carpets, and other components shall be compliant with VOC limits and other toxic compound limits.
- Provide for removal of existing landscaping as necessary for construction of the proposed improvements, verify with owner prior to removal.
- Storm water drainage management plan shall be implemented during construction.
- Upon completion of work, clear the area of all construction debris and provide positive drainage away from new foundations and new flatwork, dress disturbed areas around building with topsoil remove clods, mortar, brick and stone, and other debris from soil and rake smooth, prepare for landscaping.
- Escape/rescue window from sleeping areas shall have a minimum of 5.7 sq. ft. clear net opening and a minimum clear opening height of 24" and a minimum clear opening width of 20". Finished sill height shall be a maximum of 44" above the floor and per IRC sec 310.
- Smoke alarms shall be hard wired in series with battery backup power as per IRC sec R312.
- Handrails shall be installed along all steps/stairs with 4 or more risers and conform to IRC sec R311.
- All horizontal guard rails will be a minimum of 36" in height and comply to IRC sec R312.
- Walls shall be braced in accordance of IRC sec R602.10.
- Glazing shall comply with IRC sec R308.
- All details are general and illustrative in nature. Builder shall be responsible for overseeing and insuring all water-proofing, structural, and other construction is built properly, per codes, industry standards, and manufacturer's specifications.

S-Structural

- Engineer specifications shall override architectural specifications.
- The bottom of all footing trenches shall be level and clean.
- Subcontractor shall verify locations with the job superintendent to avoid needless cutting of misplaced bolts.
- Moisture content of building materials used in wall and floor framing is checked before enclosure.
- Vapor retarders and capillary break is installed at slab-on-grade foundations.
- Install fire blocking to cut off concealed draft openings (both vertical and horizontal).
- Plumbing walls shall be 2x6 wood studs at 16" on center, unless otherwise noted.
- Install 2x6 backing at bath accessories.
- All fascia, barge boards, trim, siding, etc. shall be free of splinters, where it can be touched under normal living conditions shall have a texture not so rough as to be injurious or irritating to the skin.
- MEP - Mechanical, Electrical, Plumbing
- Engineer and specialist specifications shall override architectural specifications.
- Duct openings and other air distribution component openings shall be covered during construction.
- Install fire blocking to cut off concealed draft openings (both vertical and horizontal).
- HVAC system installers are trained and certified in the installation of HVAC equipment.
- HVAC supplier to specify air ventilation pump required for SIP panel system in accordance with IRC, IMC, and IECC standards.
- Unless functioning as a whole house ventilation system, bathroom fans shall be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Maximum plumbing fixture flow requirements shall be as follows, (a) shower heads 2gpm, (b) lavatory faucets 1.5 gpm, (c) kitchen faucets 1.8 gpm, (c) water closets 1.28 gallons per flush.
- When a shower is served by more than one shower head, the combined flow rate of all shower heads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi.
- Water softeners are not a part of this scope.
- Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
- All outside electrical outlets to be WP/GFCI outlets.
- Recessed lighting fixtures to be IC rated as required by code.
- Access doors separating conditioned from unconditioned spaces to be weather stripped and insulated to at least the level of insulation on the surrounding surfaces. Where loose fill insulation exists, a baffle or retainer is to be installed to maintain insulation application.
- Recessed lights in the building thermal envelope to be:
 - Type IC rated and ASTM E283 labeled and
 - Sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

Footprint : Lot Ratio		
House	Footprint Area SF	Lot Area SF
Wagon House	1178.8	2271.25
Carriage House	955	1840
Farm House 1	1198.75	2012.5
Farm House 2	1198.75	2012.5
Court House	843.8	2217.75
Nola House (1), Carport	770.8, 370.5	1692, 1257.5
	Average	50.25%

(1) Does not include ratio of carport lot across straight to North.

Construction Notes

Construction Type: II-A
Occupancy Group: R-3

Property Address: 113 Brown Street, San Antonio, Texas 78202

Legal Lot Descriptions:

NCB 568 BLK 17 LOT E 39.7 FT OF 9
NCB 568 BLK 17 LOT W 26.82 FT OF 10
NCB 568 BLK 17 LOT E 39 FT OF W 65.82 FT OF 10 ARB 10A AT 109
BROWN ST HS
NCB 568 BLK 17 LOT E 42.5 FT OF W 108.32 FT OF 10
NCB 568 BLK 17 LOT W 30 FT OF E 100 FT OF 10
NCB 568 BLK 17 LOT E 70 FT OF N 27.5 FT OF 10
NCB 568 BLK 17 LOT W 25.16 FT OF S 53 FT OF 7

Zoning: IDZ

NO CHANGE TO PLAT

Applicable Codes

International Residential Code 2018
International Fire Code 2018
International Mechanical Code 2018
International Plumbing Code 2018
National Electric Code 2017

International energy conservation code 2018

Total Lot Areas

Area: 12,090 sq. ft.
Wagon House Lot: 2,271 sq. ft.
Carriage House Lot: 1,840 sq. ft.
Farm House 1 Lot: 2,012.5 sq. ft.
Farm House 2 Lot: 2,012.5 sq. ft.
Court House Lot: 2,017.75 sq. ft.
Nola House Lot: 1,692 sq. ft.

Total Conditioned Areas

Wagon House: 2,244 sq. ft.
Carriage House: 1,855 sq. ft.
Farm House 1: 1,921 sq. ft.
Farm House 2: 1,921 sq. ft.
Court House: 1,887 sq. ft.
Nola House: 1,464.58 sq. ft.

Total Unconditioned Areas

Wagon House: 861 sq. ft.
Garage: 460 sq. ft.; Covered: 401 sq. ft.
Carriage House: 772 sq. ft.
Garage: 515 sq. ft.; Covered: 257 sq. ft.
Farm House 1: 723 sq. ft.
Garage: 386 sq. ft.; Covered: 337 sq. ft.
Farm House 2: 723 sq. ft.
Garage: 386 sq. ft.; Covered: 337 sq. ft.
Court House: 718 sq. ft.
Garage: 232 sq. ft.; Covered: 266 sq. ft.; Storage: 220 sq. ft.
Nola House: 77 sq. ft.
Covered: 77 sq. ft.
Covered Parking: 200 sq. ft.
Covered: 200 sq. ft.

Sheet Index

G0.00 Project Data	A1.03 Floor Plans Farm House 2
G0.01 Site Plan	A2.03 Elevations Farm House 2
G0.02 Context Page	A3.03 Building Sections Farm House 2
G0.03 Street Elevations	A4.03 Wall Sections Farm House 1 and 2
G0.04 Perspective Views	A6.03 Schedules Farm House 1 and 2
G0.05 Perspective Views	A1.04 Floor Plans Court House
A1.00 Floor Plans Wagon House	A2.04 Elevations Court House
A2.00 Elevations Wagon House	A3.04 Building Sections Court House
A3.00 Building Sections Wagon House	A4.04 Wall Sections Court House
A4.00 Wall Sections Wagon House	A6.04 Schedules Court House
A6.00 Schedules Wagon House	A1.05 Floor Plans Nola House
A1.01 Floor Plans Carriage House	A2.05 Elevations Nola House
A2.01 Elevations Carriage House	A3.05 Building Sections Nola House
A3.01 Building Sections Carriage House	A4.05 Wall Sections Nola House
A4.01 Wall Sections Carriage House	A6.05 Schedules Nola House
A6.01 Schedules Carriage House	A2.06 Covered Parking Elevations
A1.02 Floor Plans Farm House 1	A7.00 Details
A2.02 Elevations Farm House 1	
A3.02 Building Sections Farm House 1	

Symbols Index

Drawing Note	Revision Item
Sheet Reference Marker	Directional Indicator
Sheet Reference Marker	Elevation Marker
Schedule Reference Number	True North

UON Unless Otherwise Noted

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Designer will not be responsible for construction means, methods, techniques, or procedure, or for the safety precautions and program in connection with the project.

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The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

Issue title:
For HDRC COA

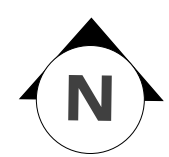
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Revisions:

Sheet Contents:
Project Data

Sheet Number:

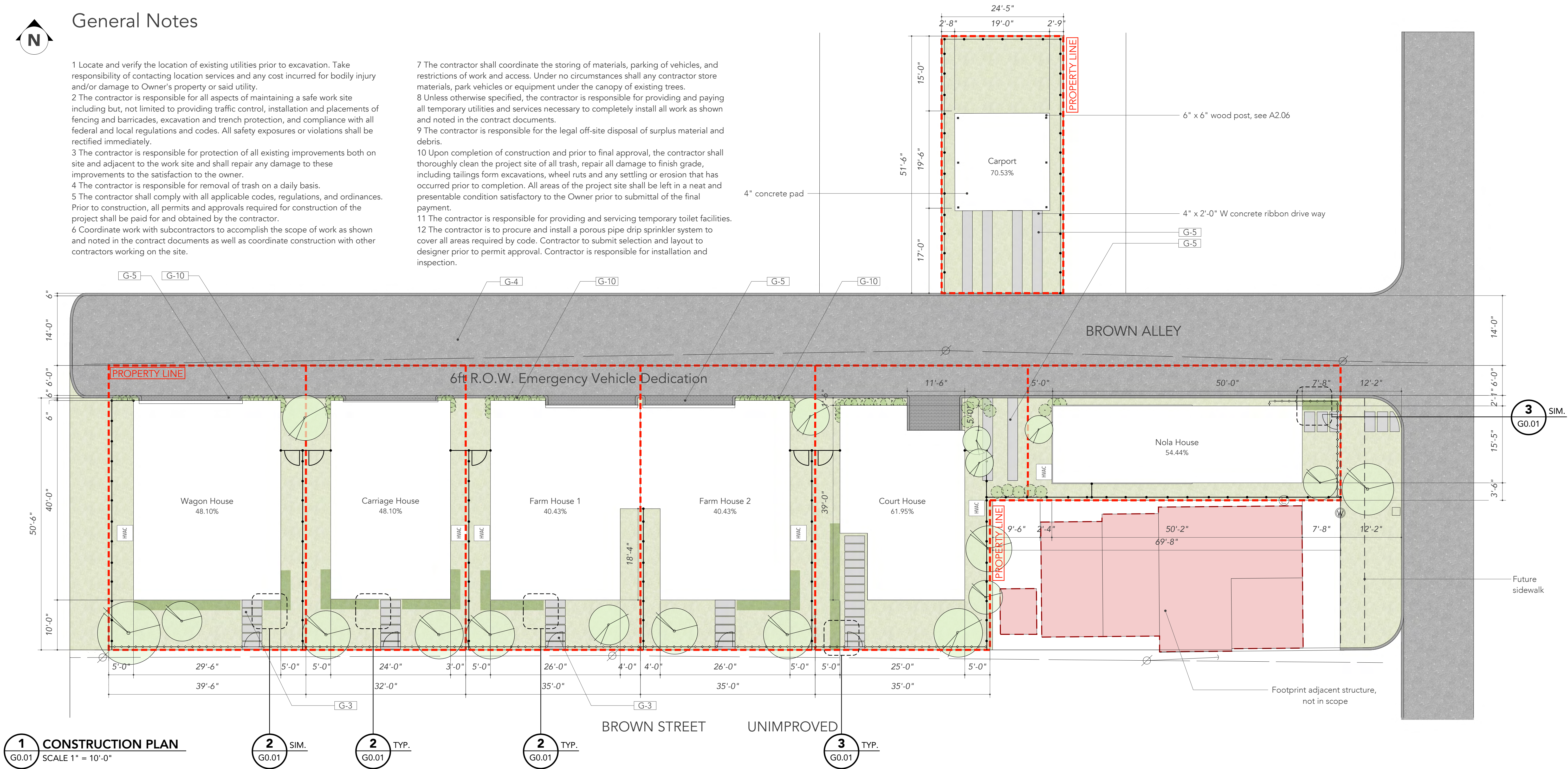
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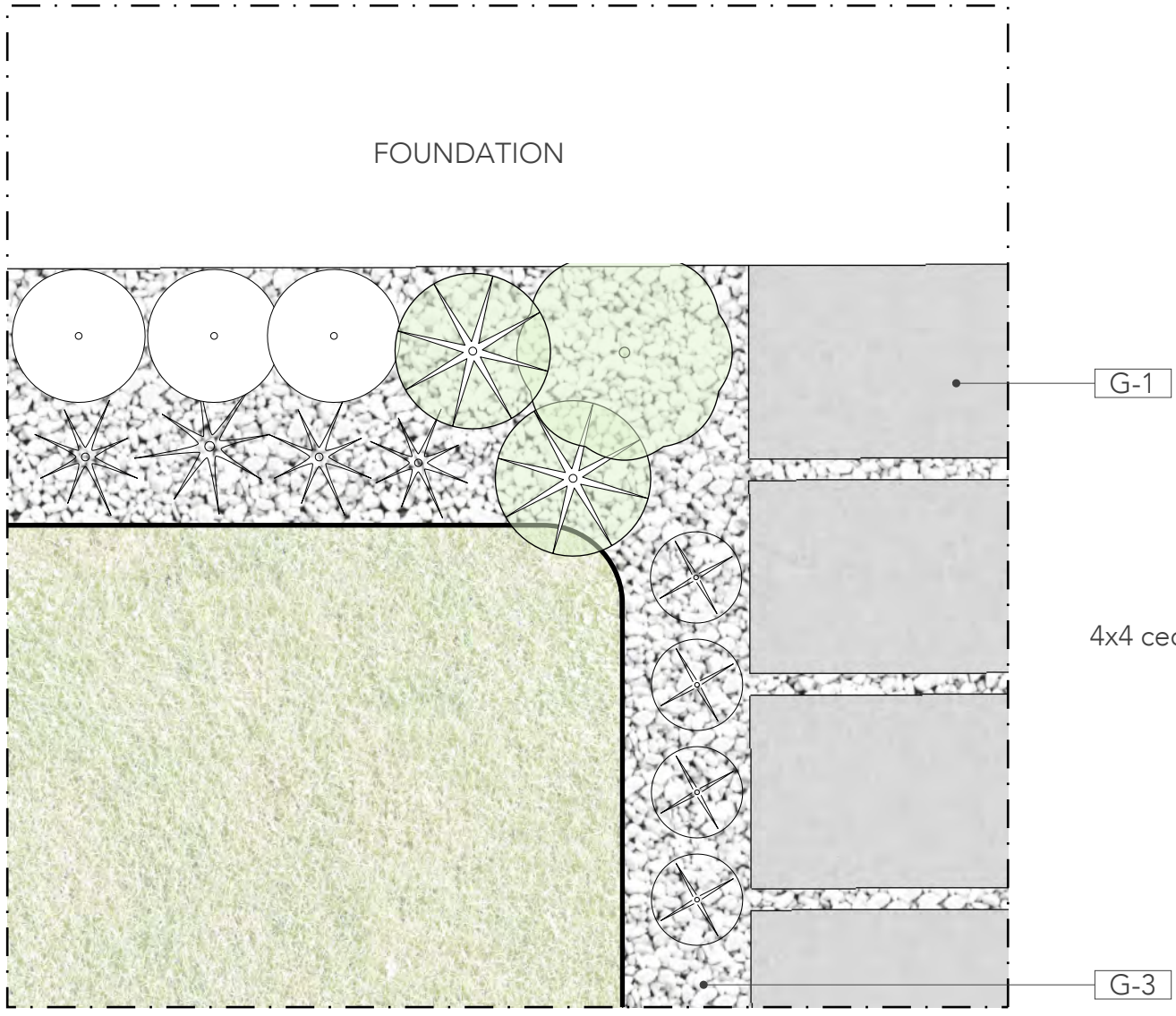
General Notes

- 1 Locate and verify the location of existing utilities prior to excavation. Take responsibility of contacting location services and any cost incurred for bodily injury and/or damage to Owner's property or said utility.
- 2 The contractor is responsible for all aspects of maintaining a safe work site including but, not limited to providing traffic control, installation and placements of fencing and barricades, excavation and trench protection, and compliance with all federal and local regulations and codes. All safety exposures or violations shall be rectified immediately.
- 3 The contractor is responsible for protection of all existing improvements both on site and adjacent to the work site and shall repair any damage to these improvements to the satisfaction to the owner.
- 4 The contractor is responsible for removal of trash on a daily basis.
- 5 The contractor shall comply with all applicable codes, regulations, and ordinances. Prior to construction, all permits and approvals required for construction of the project shall be paid for and obtained by the contractor.
- 6 Coordinate work with subcontractors to accomplish the scope of work as shown and noted in the contract documents as well as coordinate construction with other contractors working on the site.

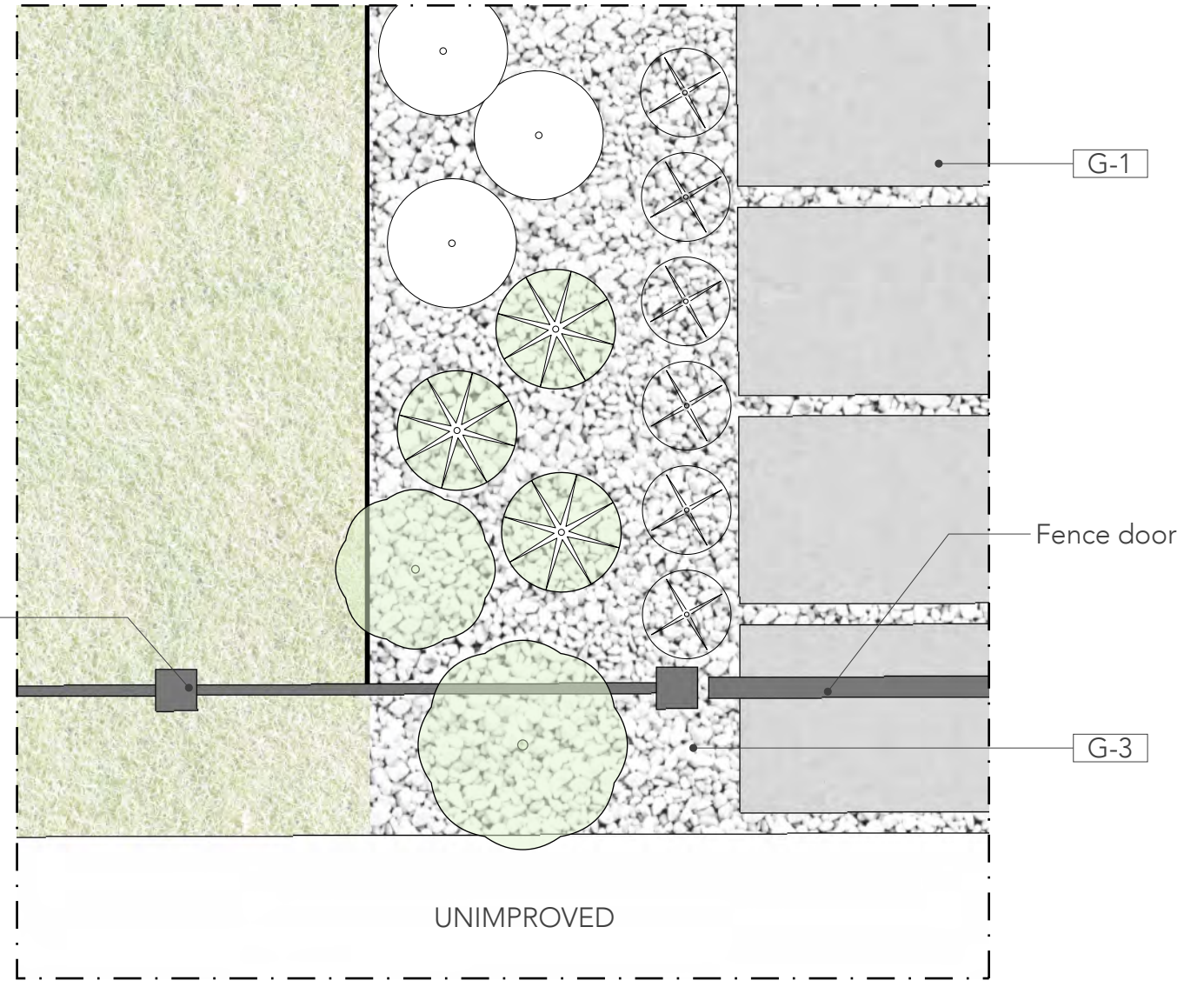
- 7 The contractor shall coordinate the storing of materials, parking of vehicles, and restrictions of work and access. Under no circumstances shall any contractor store materials, park vehicles or equipment under the canopy of existing trees.
- 8 Unless otherwise specified, the contractor is responsible for providing and paying all temporary utilities and services necessary to completely install all work as shown and noted in the contract documents.
- 9 The contractor is responsible for the legal off-site disposal of surplus material and debris.
- 10 Upon completion of construction and prior to final approval, the contractor shall thoroughly clean the project site of all trash, repair all damage to finish grade, including tailings from excavations, wheel ruts and any settling or erosion that has occurred prior to completion. All areas of the project site shall be left in a neat and presentable condition satisfactory to the Owner prior to submittal of the final payment.
- 11 The contractor is responsible for providing and servicing temporary toilet facilities.
- 12 The contractor is to procure and install a porous pipe drip sprinkler system to cover all areas required by code. Contractor to submit selection and layout to designer prior to permit approval. Contractor is responsible for installation and inspection.



LANDSCAPE LEGEND					
Code		Material	Description	Color	Size
G-1		Rock	-	Light gray	1" - 2"
G-2		Concrete	Slab	Gray	See site plan
G-3		Concrete	Pavers	-	18" x 48"
G-4		Asphalt	-	Gray	See site plan
G-5		Ground Stabilizer	Geotextile Grid	-	65" x 5" x 2"
-		Grass	Zoysia	-	-
-		Tree	Varies	-	-
G-6		Plant	Bi-color Iris	-	5 gal
G-7		Plant	Firecracker Fern	-	5 gal
G-8		Plant	Variegated Flax Lily	-	5 gal
G-9		Plant	Turks Cap	-	5 gal
G-10		Plant	Viburnum Suspensum	-	5 gal
-		Fence	Cedar	Stain	6' tall
-		Fence	Hogwire	-	4' tall
-		Metal	Edging	-	4" - 6"



2 ENLARGED LANDSCAPE PLAN A
G0.01 SCALE 3/4" = 1'-0"



3 ENLARGED LANDSCAPE PLAN B
G0.01 SCALE 3/4" = 1'-0"

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The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

Issue title:
For HDRC COA

Date: 10/02/2019

Revisions:

Sheet Contents:
Site Plan

Sheet Number:

G0.01



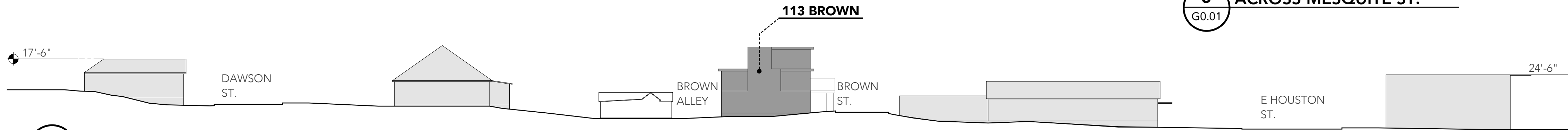
1 3D VIEW
G0.01 NTS



2 3D VIEW
G0.01 NTS



3 3D VIEW
G0.01 NTS



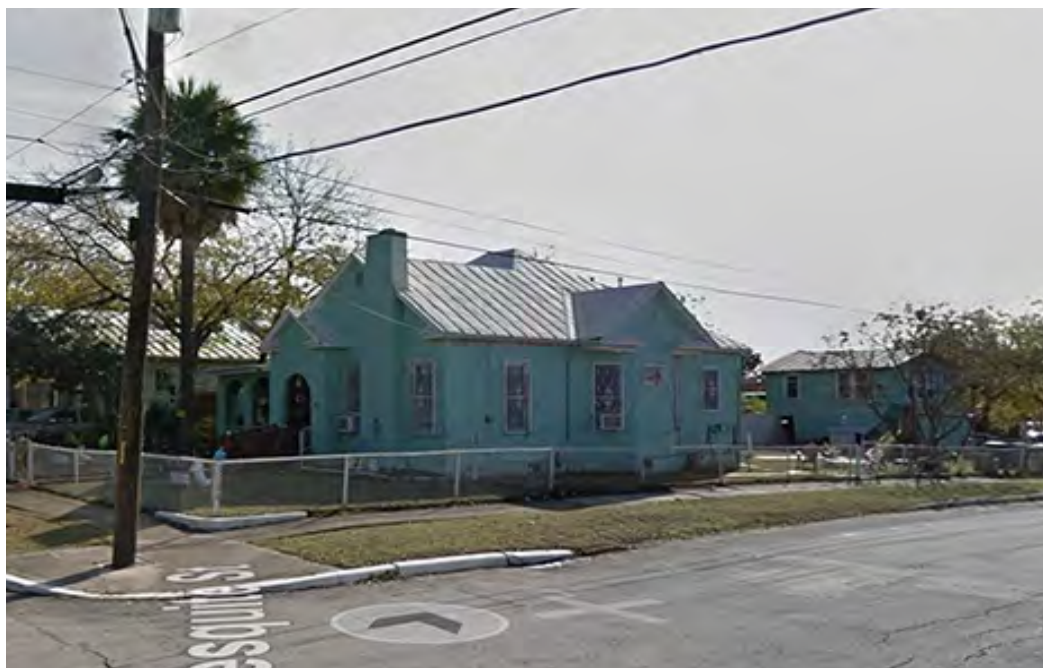
7 SITE OF LINE PERSPECTIVE
G0.01 SCALE 1" = 30'-0"



A. WAGON SHED, EARLY 1900S



B. BUILDING ON E HOUSTON ST.



C. BUILDING ON DAWSON ST.



D. BUILDING ON CHERRY ST.



E. RENOVATION B ON E HOUSTON ST.

8 CONTEXT IMAGES
G0.01



4 BLOCK HEIGHTS ANALYSIS
G0.01 SCALE 1" = 100'-0"



FRONT HOUSE



ACCESSORY STRUCTURE

The Dignowity Neighborhood Plan showing that the Future Land Use for Brown Street is designated Low Density Mixed Use. The plan encourages that we show compatibility between commercial and residential uses. Our site, which was a wagon storage zone in the early 1900s has always had a mixed-use function. We propose to continue this by showing a mix of styles, taking heed from architectural elements and materials from the 1950s light industrial buildings and 1900s commercial buildings to the south as well as from the 1920s craftsman cottages to the north. Our footprint and volumes respect the past and the long past while also accomodating the needs of the inhabitant today.

5 ACROSS MESQUITE ST.
G0.01

6 NARRATIVE
G0.01

The Brown St.

Brown Street,
San Antonio, Texas 78202

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Revisions:

Sheet Contents:
Context Page

Sheet Number:

Owner:
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1 NORTH ELEVATION
G0.03 SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION
G0.03 SCALE 1/8" = 1'-0"

The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

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Date: 10/02/2019

Revisions:

Sheet Contents:
Street Elevations

Sheet Number:

G0.03

Owner:
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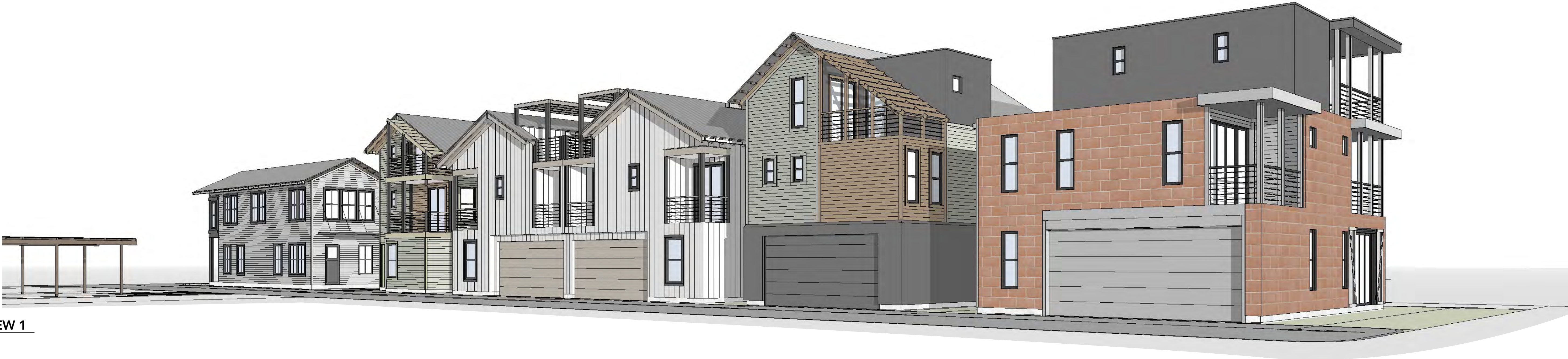
Date: 10/02/2019

Revisions:

Sheet Contents:
Perspective Views

Sheet Number:

G0.04



1 VIEW 1
G0.04



2 VIEW 2
G0.04

Owner:
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The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

Issue title:
For HDRC COA

Date: 10/02/2019

Revisions:

Sheet Contents:
Perspective Views

Sheet Number:

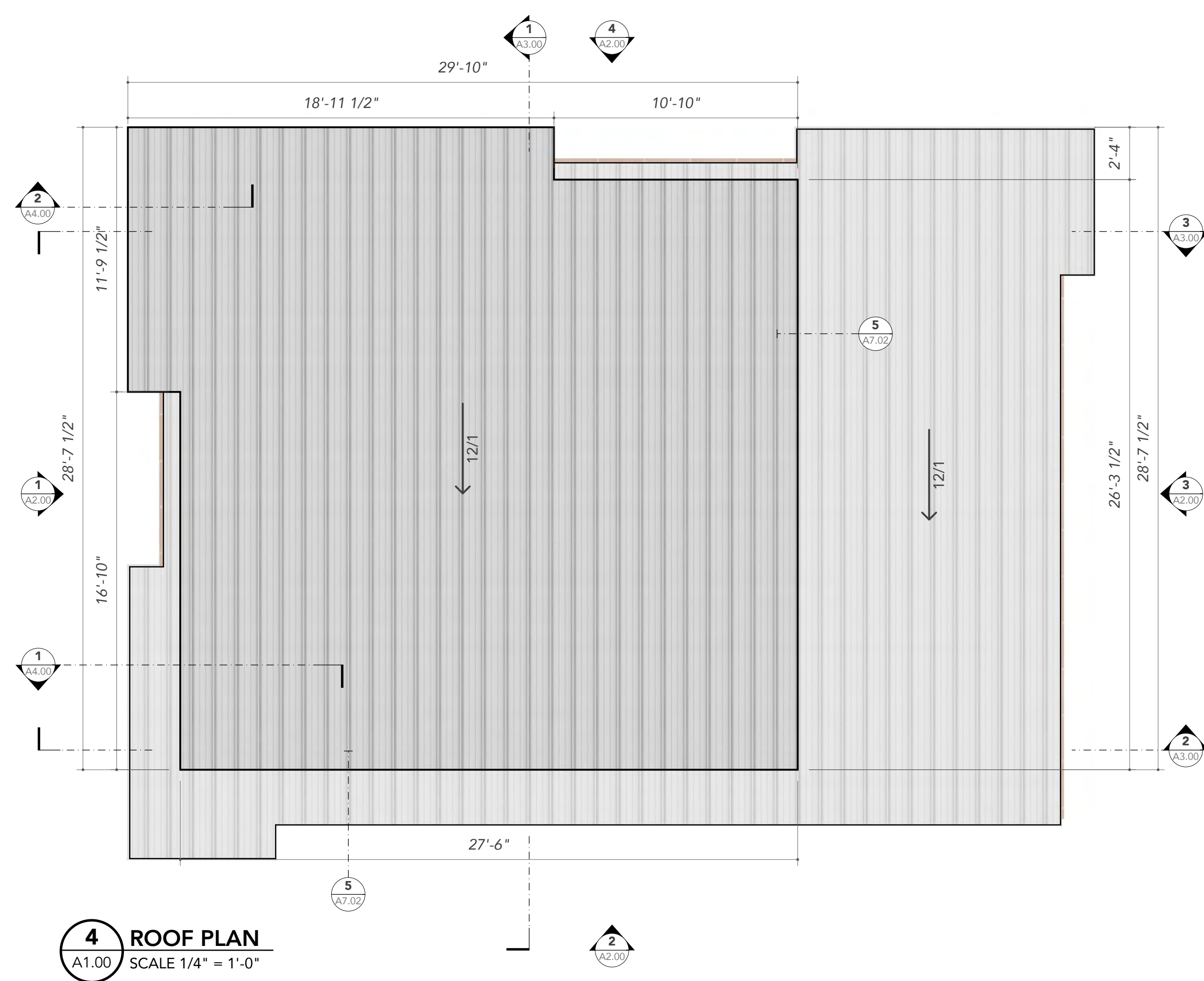
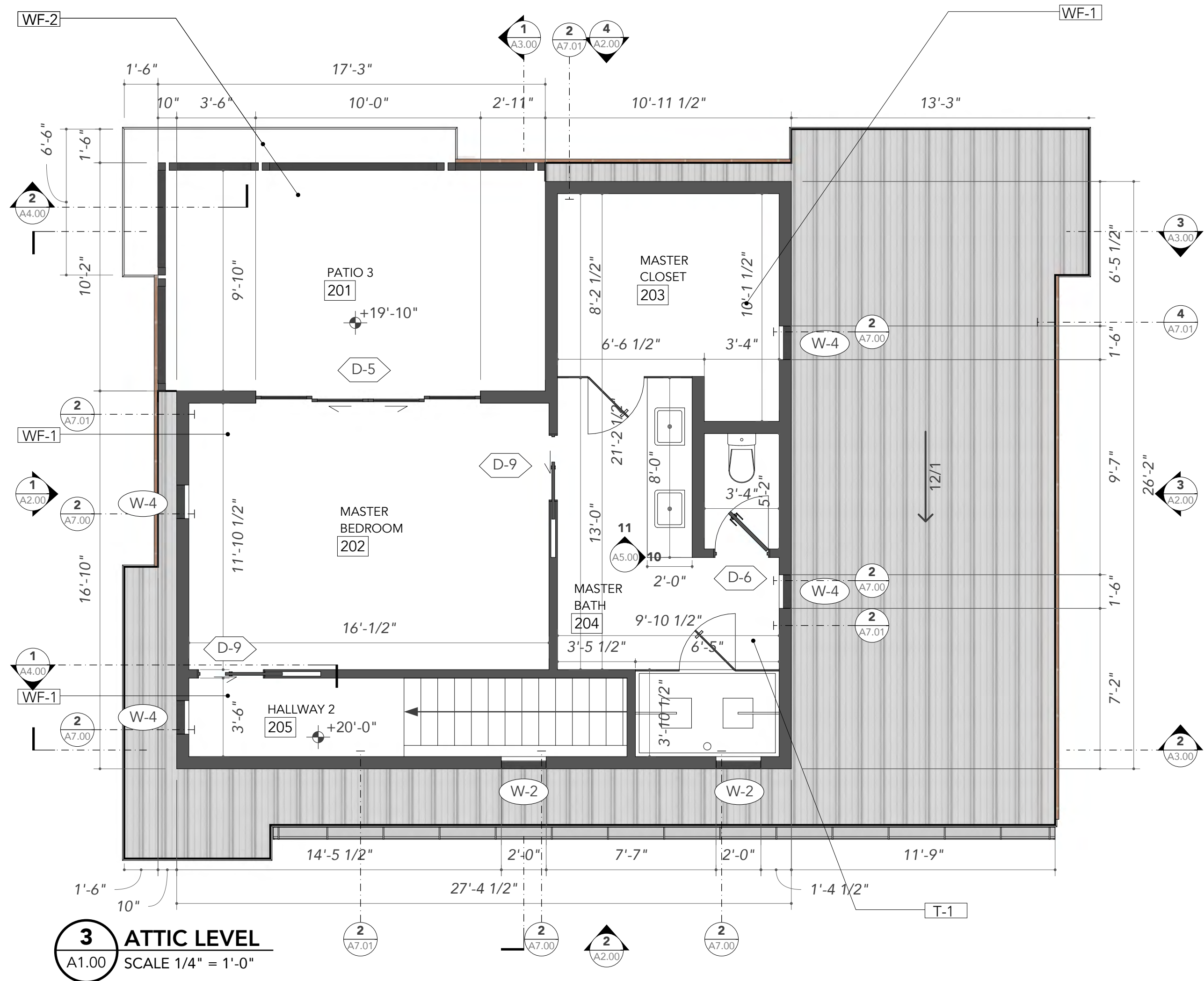
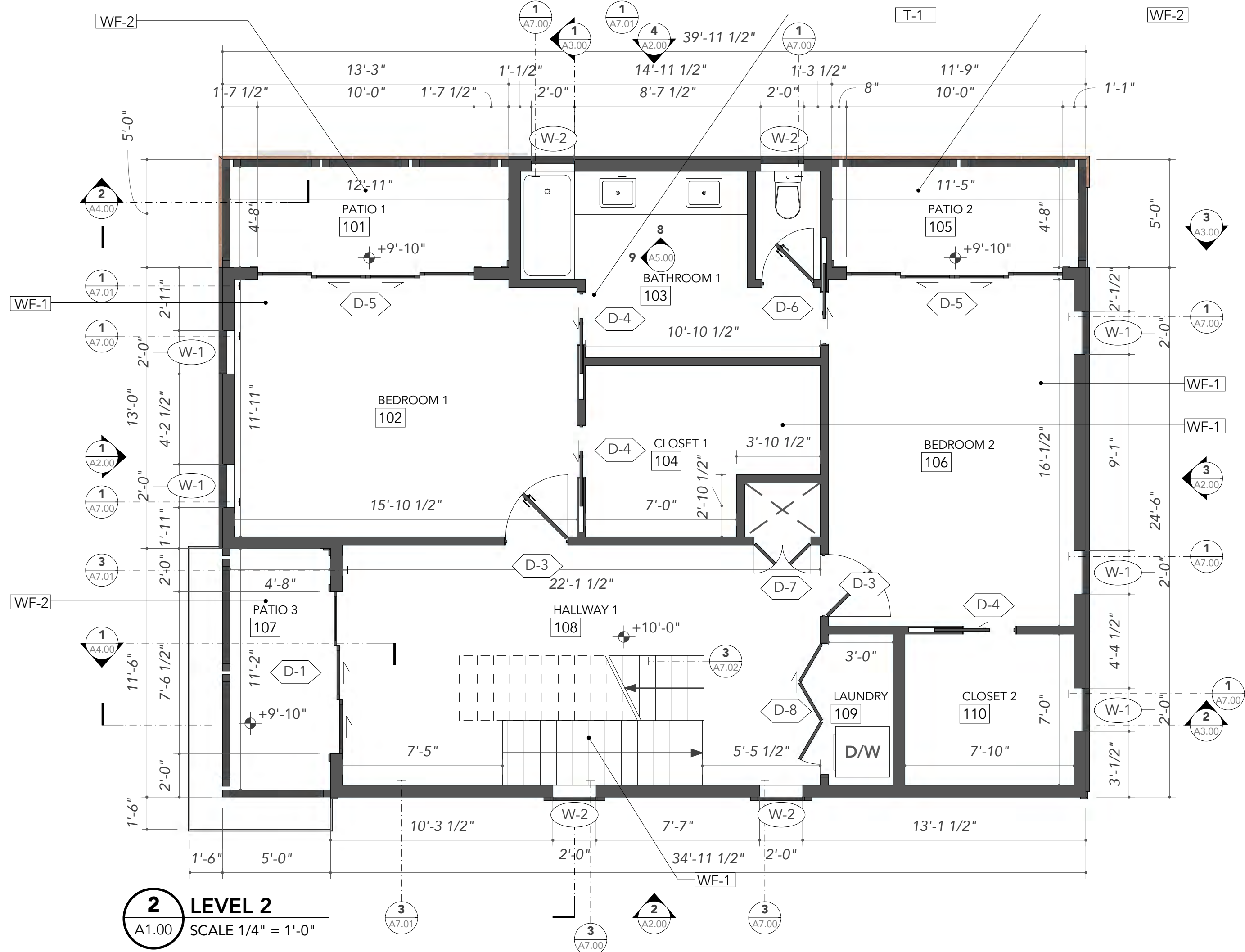
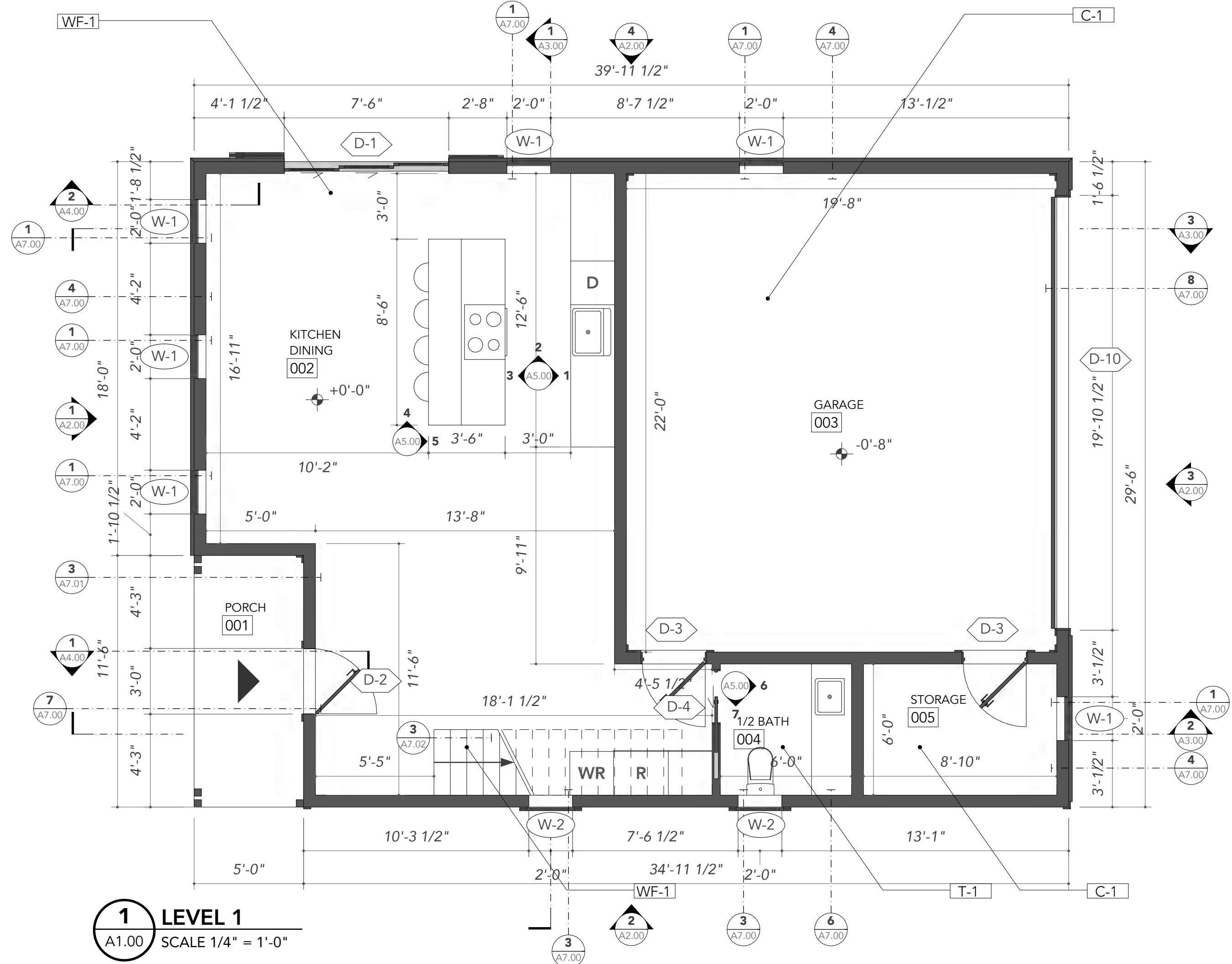
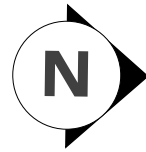
G0.05



1 VIEW 1
G0.05



2 VIEW 2
G0.05



The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

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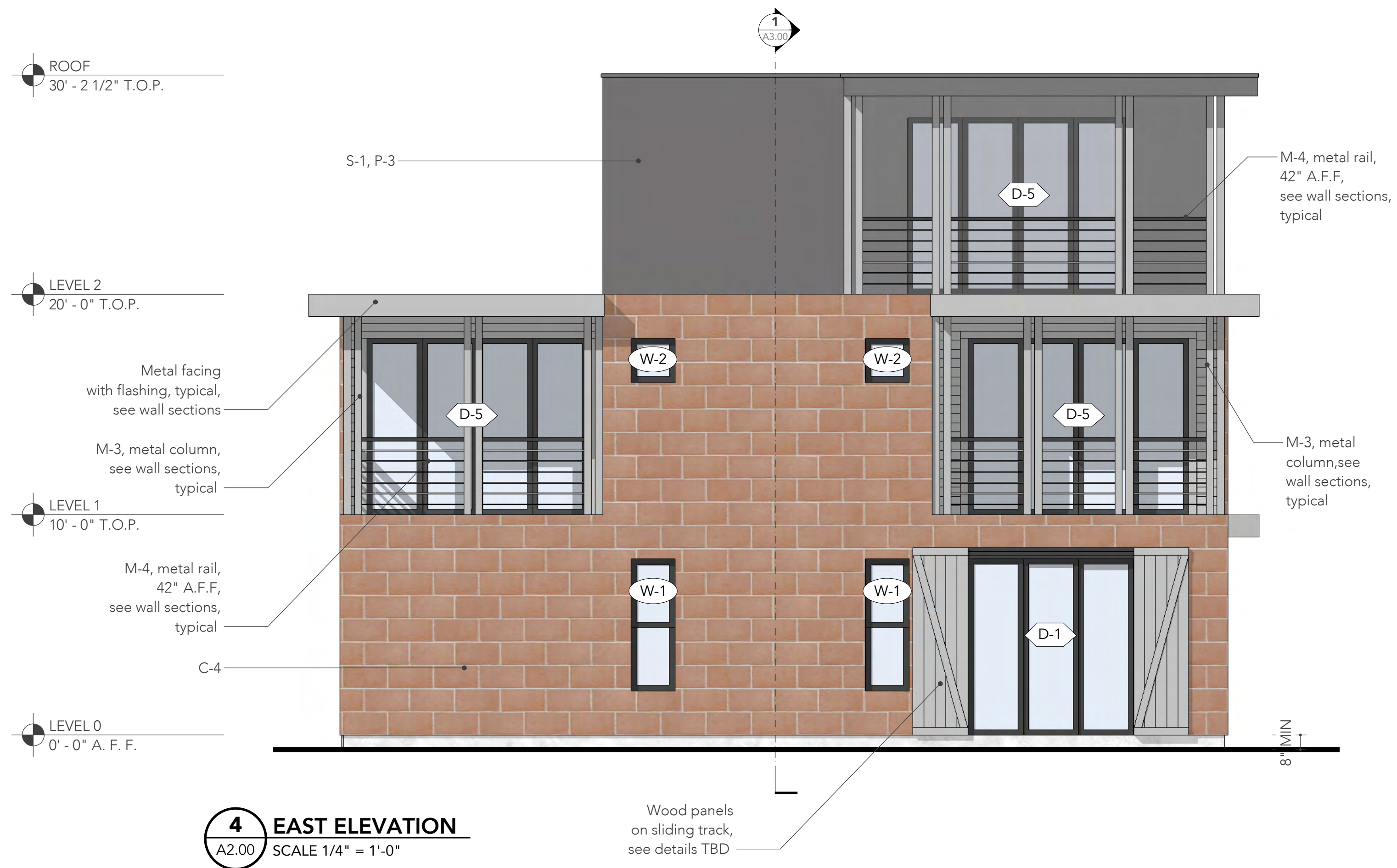
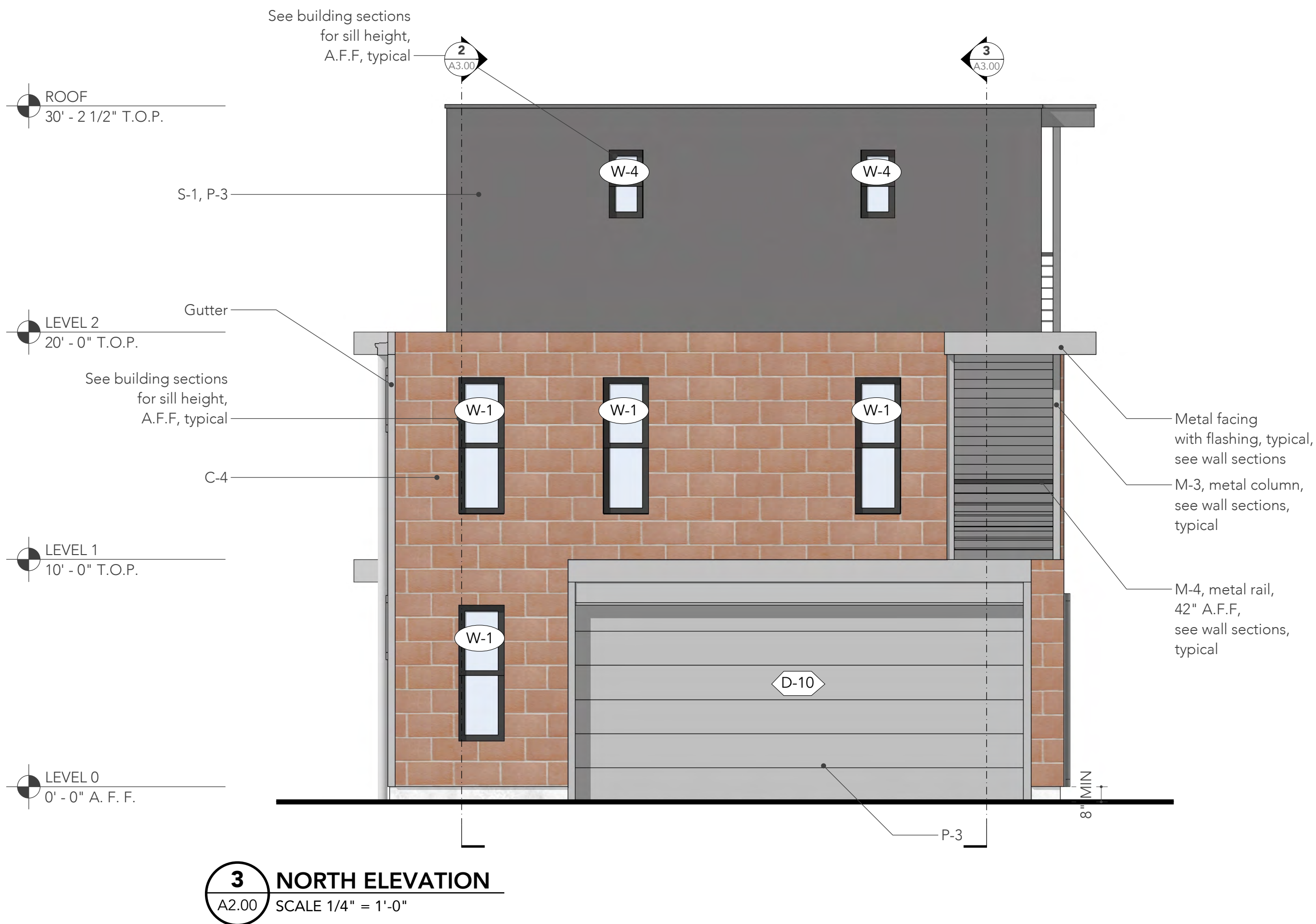
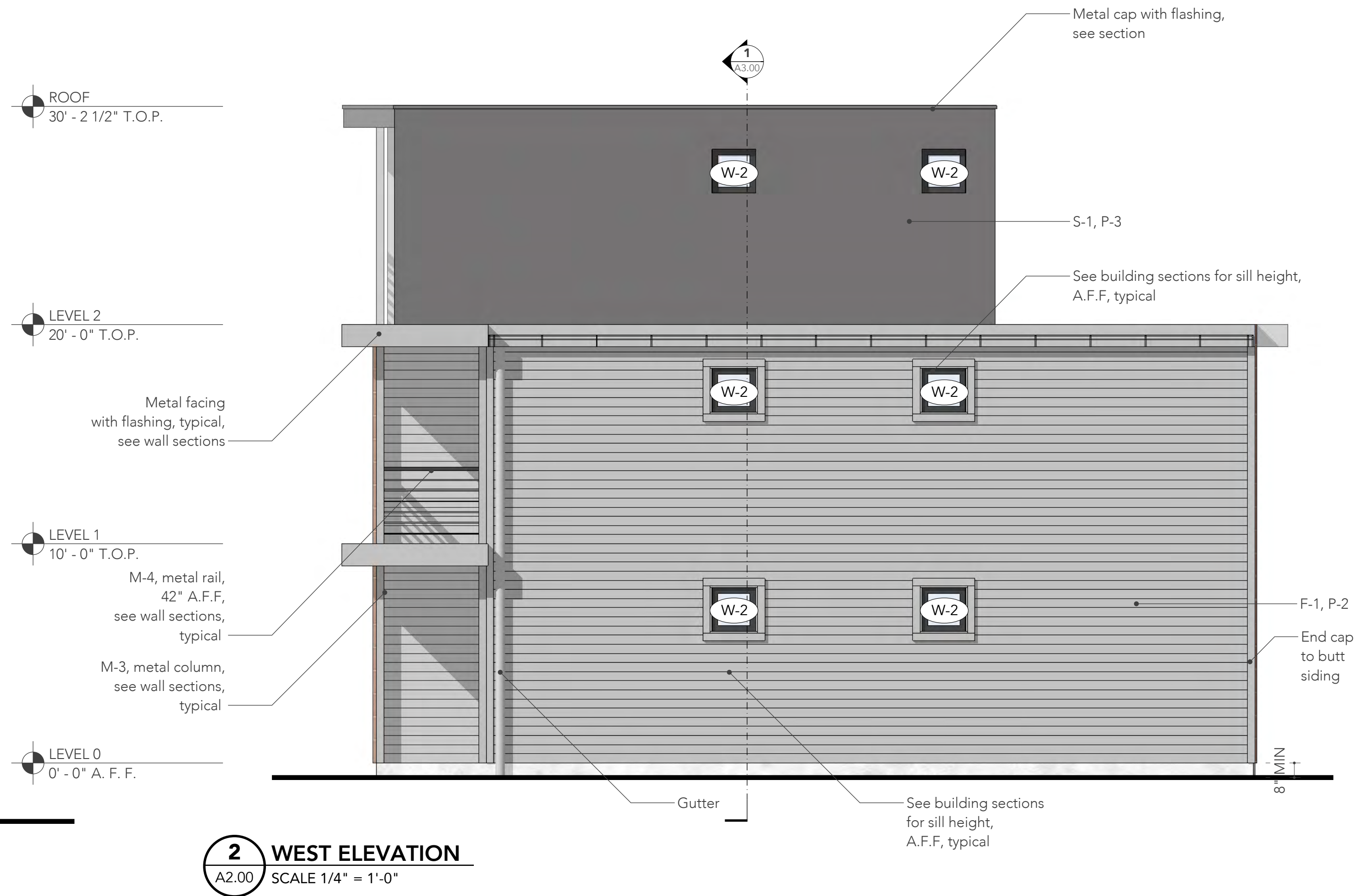
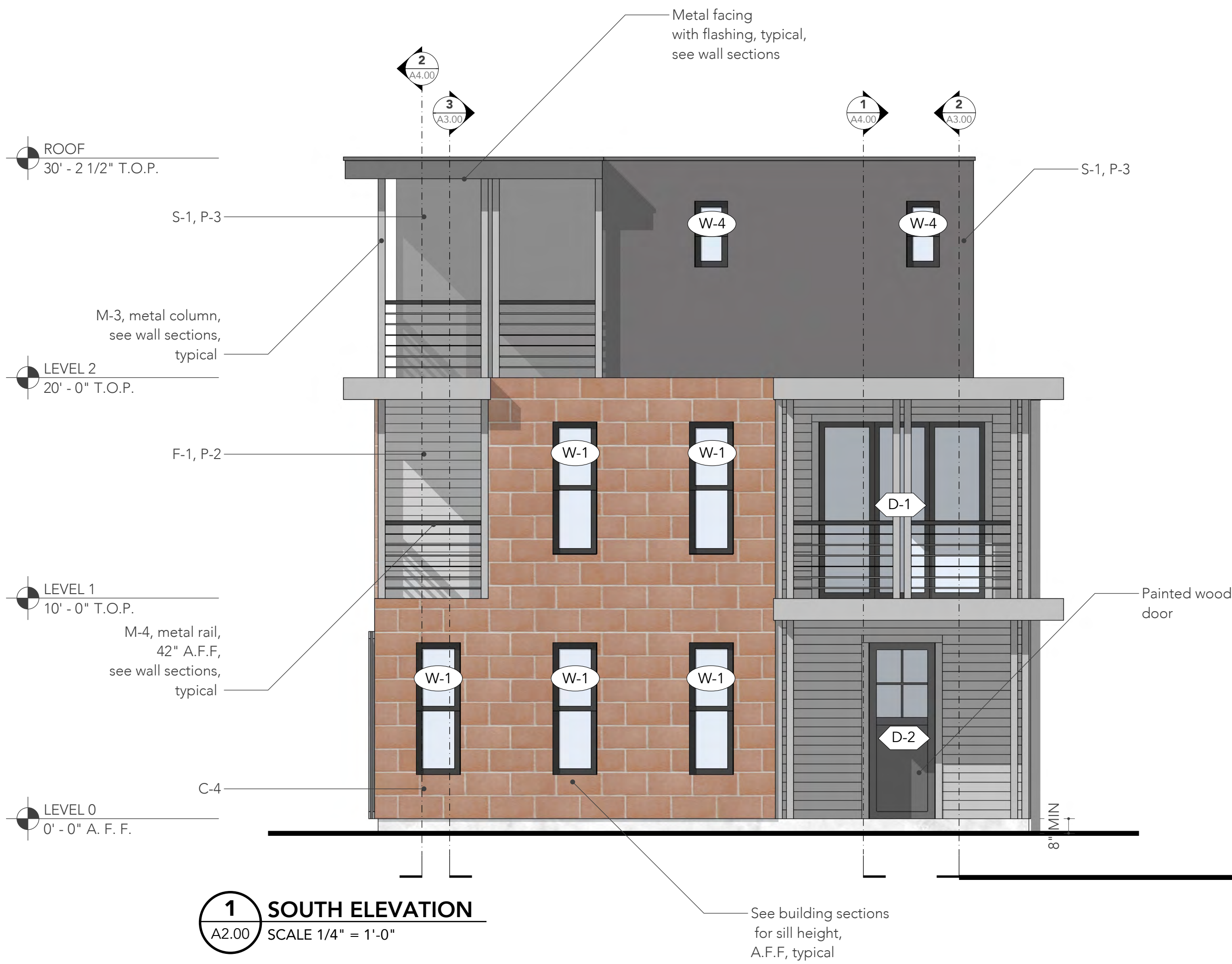
Date: 10/02/2019

Revisions:

Sheet Contents:
Floor Plans,
Wagon House

Sheet Number:

A1.00



The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

Issue title:
For HDRC COA

Date: 10/02/2019

Revisions:

Sheet Contents:
Elevations,
Wagon House

Sheet Number:

A2.00

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The Brown St.

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Project No. 201811

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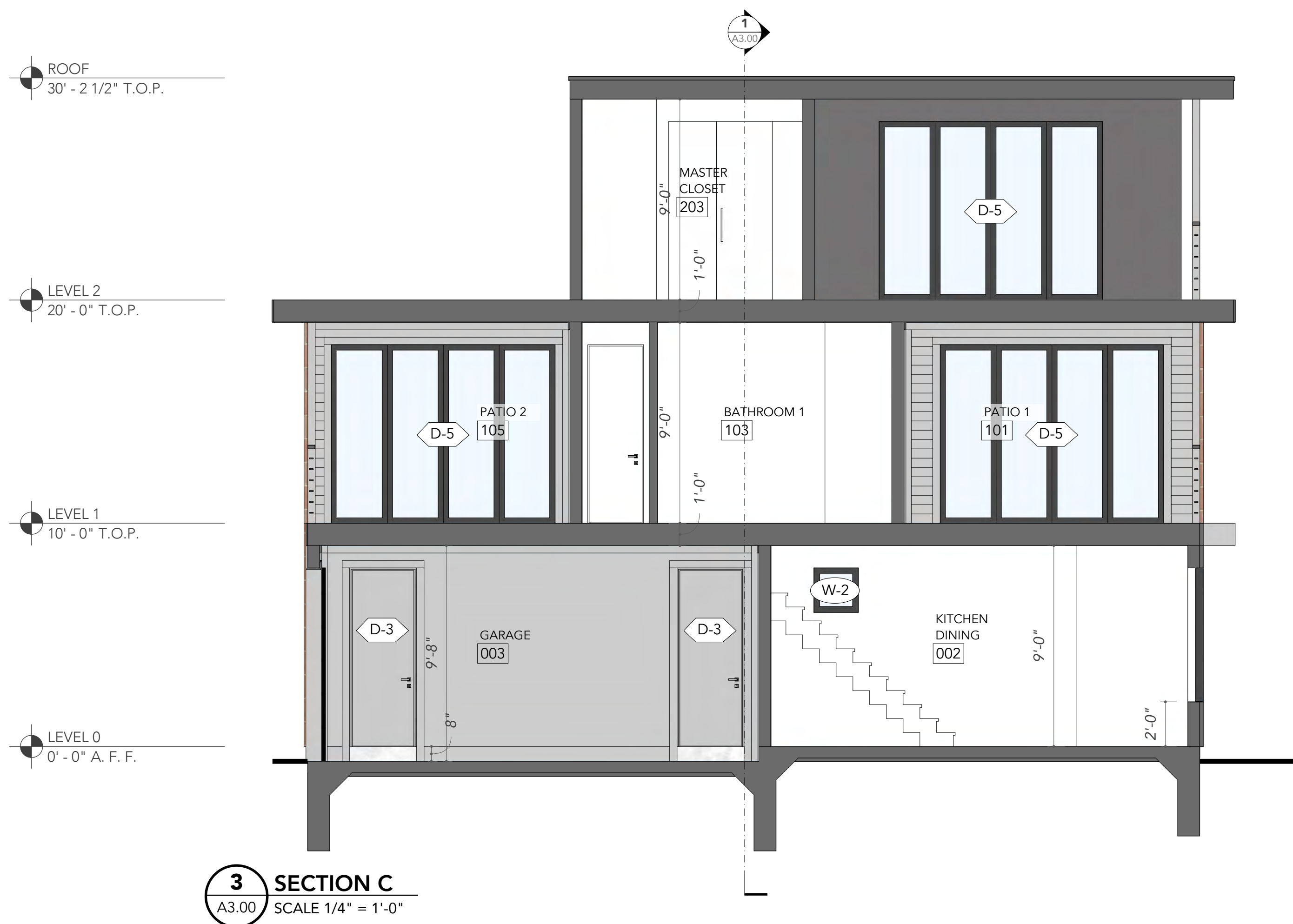
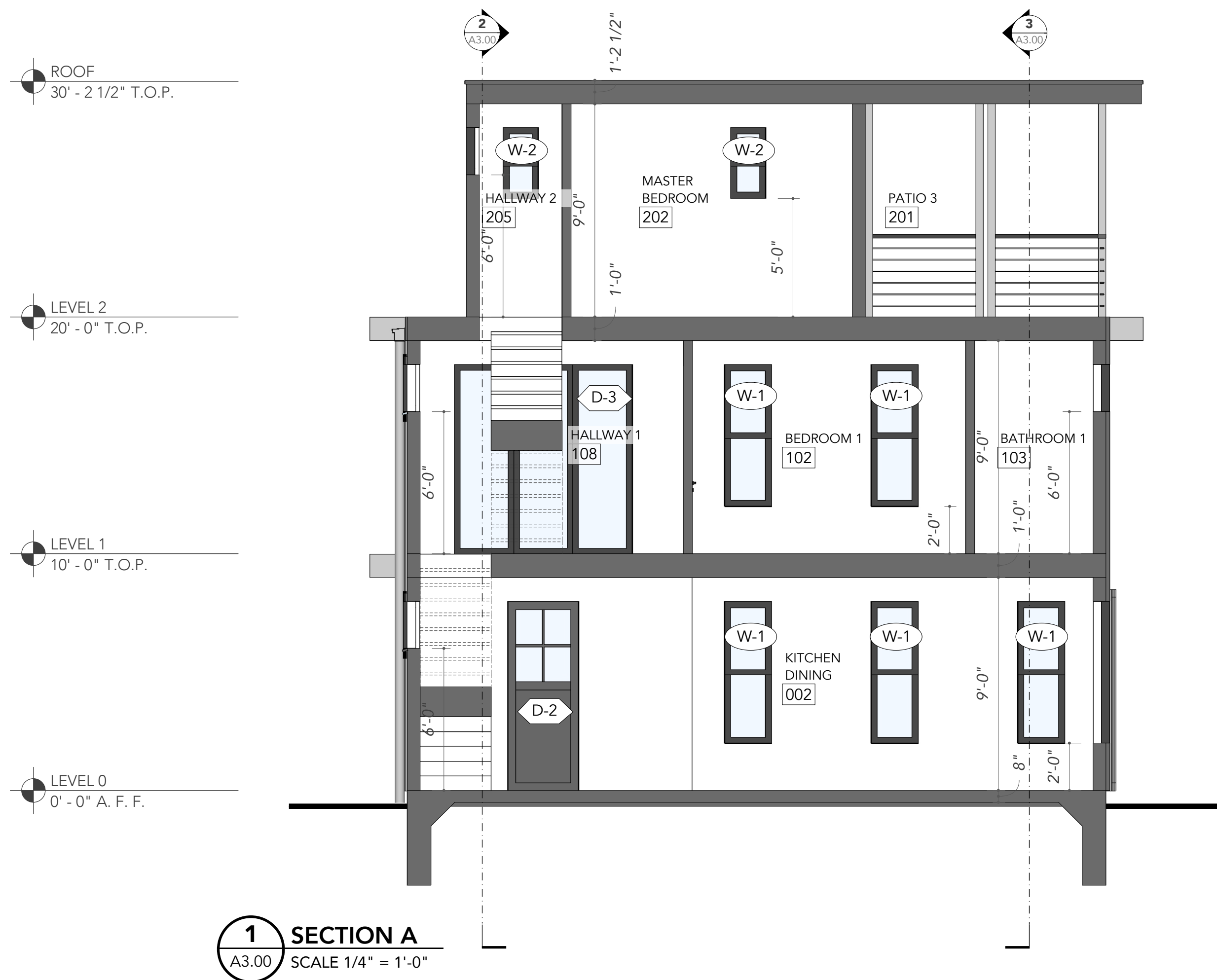
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Revisions:

Sheet Contents:
Building Sections,
Wagon House

Sheet Number:

A3.00

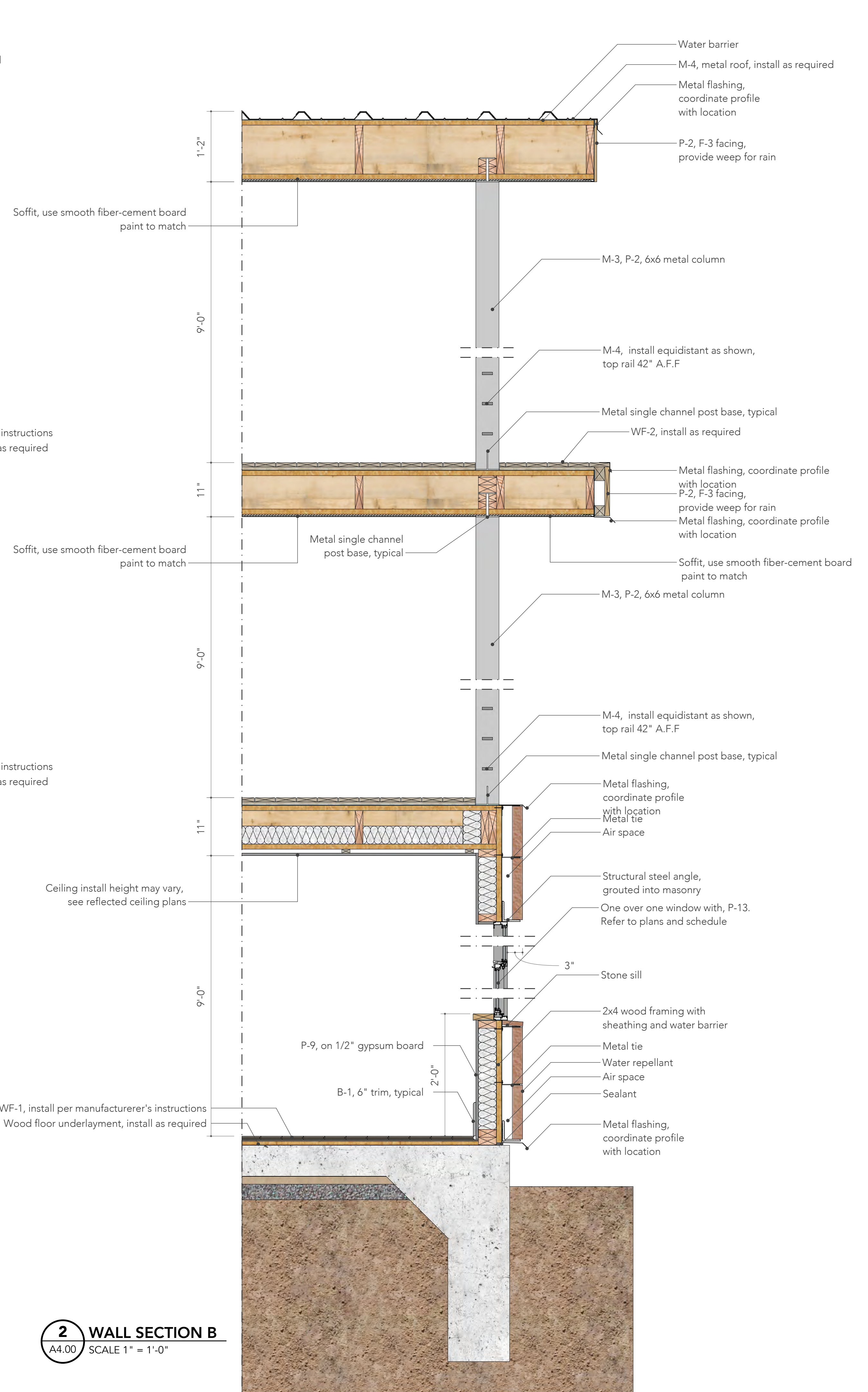


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PN: XXXXXXXX

Revisions:

Sheet Number:



Materials and Finish Schedule						
Code	Material	Manufacturer	Description		Dimensions	Additional Information
			Series	Color		
B-1	Trim at Base	-	-	-	6" x 1/2"	Painted P-10, see interior elevations
B-2	Trim at Door	-	-	-	3 1/2" x 1/2"	Painted P-10, see interior elevations
C-1	Concrete	Custom	-	-	-	Poured floor, protect at garage, see plans
C-2	Concrete	Custom	-	-	4" deep	Pavers, see site plan
C-3	Concrete	Custom	-	-	2'-6" x 5'-0" UON	Pavers, see site plan
C-4	Clay	-	Brick	D'Hanis	4" x 8" x 12"	Or equivalent
G-1	Glass	-	-	Green	-	Seamless silicon joints, verify with owner
F-1	Fibercement Siding	Hardie Board	-	-	3/4" thick	4" exposed, smooth finish, mitered corners
F-2	Fibercement Siding	Hardie Board	-	-	-	12" wide board with 1 1/2" wide batten
F-3	Fibercement Board	Hardie Board	-	-	1/2" thick	Solid board, eave underside
M-1	Metal Roof Panel	-	Standing Seam	Light Grey	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-2	Metal Roof Panel	-	Standing Seam	Charcoal	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-3	Metal Column	-	-	-	4" x 4" square	Painted to match adjacent
M-4	Metal Rail	-	-	-	1" x 3" square	Painted to match adjacent
M-5	Metal Roof Panel	-	PBU	-	36" wide panel	3/4" rib height, 26 gauge
P-1	Paint	Custom	-	Farm White	-	Walls, see exterior elevations
P-2	Paint	Custom	-	Light Grey	-	Walls, see exterior elevations
P-3	Paint	Custom	-	Charcoal	-	Walls, see exterior elevations
P-4	Paint	Custom	-	Dark Grey	-	Walls, see exterior elevations
P-5	Paint	Custom	Stain	Darker, rich	-	For siding, see exterior elevations
P-6	Paint	Custom	-	Off White	-	Matte, for ceiling
P-7	Paint	Custom	-	Dark Walnut	-	Stain
P-8	Paint	Custom	-	Aged Oak	-	Stain
P-9	Paint	Custom	Matte Finish	Eggshell	-	Walls, see interior elevations
P-10	Paint	Custom	High Gloss	Extra White	-	Baseboards
P-11	Paint	Custom	-	Rustic Sage	-	Stain
P-12	Paint	Custom	-	Grey	-	Walls, see exterior elevations
P-13	Paint	Custom	-	Dark Grey	-	To match window frame
P-14	Paint	Custom	-	Blue	-	High gloss finish
Q-1	Quartz Countertop	Casahoma	-	Torquay	3" deep thick	Bullnose edge, for transitional style
Q-2	Quartz Countertop	Casahoma	-	Torquay	1.25" thick	Bullnose edge, for modern style
T-1	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor
T-2	Tile	-	-	-	8" x 8"	Stacked, for mudroom
T-3	Tile	-	-	-	8" x 8"	Stacked, for bathroom wall
T-4	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor, dark
T-5	Tile	Travertine	-	-	4"x12"	Staggered, for kitchen backsplash, transitional
WF-1	Wood Floor	Daltile	Willow Bend	WB03	-	Dark Brown
WF-2	Wood Decking	Tigerwood	-	-	20" x 20"	For exterior patio, smooth
WF-3	Wood Trellis	-	-	-	-	-
WF-4	Wood Siding	-	No. 1 Grade	Cedar	1/2" x 4-1/2"	Underside of eave, smooth and stained
WF-5	Wood Siding	Custom	Tongue and Groove	Darker, rich	1/2" thick	4.5" exposed trim similar to F-1 or F-2 siding
S-1	Stone - Stucco	Custom	Flat Finish	-	-	Walls, painted P-3 see exterior elevations
S-2	Steel Tubing	-	-	-	Varies	See elevations and details

Windows and Doors Schedule							
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Windows							
W-1	Single hung window	Vynil / glass	2'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-2	Picture window	Vynil / glass	2'-0" x 2'-0"	6'-0"	Ply Gem	1500 Series Windows	-
W-3	Single hung window	Vynil / glass	3'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-4	Single hung window	Vynil / glass	1'-6" x 3'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-5	Awning window	Vynil / glass	3'-0" x 2'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-6	Pitcture window	Vynil / glass	1'-11" x 2'-0"	3'-0"	Ply Gem	1500 Series Windows	-
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Doors							
D-1	3-panel sliding door	Aluminum / glass	7'-6" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-2	Single swing ext. door	Steel / glass	3'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-3	Single swing int. door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-4	Pocket door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-5	4-panel sliding door	Aluminum / glass	10'-0" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-6	Single swing int. door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-7	Double swing int. door	Wood	2'-9" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-8	Bi-fold door	Wood	6'-3" x 8'-0"	-	Masonite	Heritage Primed White	Solid core door, painted P-10
D-9	Pocket door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-10	Garage door	Aluminum	18'-0" x 8'-0"	-	Custom	-	Builder to provide options to Owner
D-11	Garage door	Aluminum	17'-5" x 8'-8"	-	Custom	-	Not used
D-12	Garage door	Aluminum	10'-0" x 8'-0"	-	Custom	-	Not used
D-13	Single swing int. door	Wood	2'-0" x 8'-0"	-	Masonite	Heritage Primed White	Not used
D-14	Double swing ext. door	Steel / glass	5'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-15	2-panel sliding door	Aluminum / glass	5'-4" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-16	2-panel int. sliding door	Wood	6'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10

Interior Room Finish Schedule											
No.	Room Name	Floor	Base	NW	SW	SE	NE	Ceiling	Counters	Millwork	Remarks
001	Porch	-	-	-	-	-	-	-	-	-	-
002	Kitchen/Dining	-	-	-	-	-	-	-	-	-	-
003	Garage	-	-	-	-	-	-	-	-	-	-
004	1/2 Bathroom	-	-	-	-	-	-	-	-	-	-
005	Storage	-	-	-	-	-	-	-	-	-	-
101	Patio 1	-	-	-	-	-	-	-	-	-	-
102	Bedroom 1	-	-	-	-	-	-	-	-	-	-
103	Bathroom 1	-	-	-	-	-	-	-	-	-	-
104	Closet 1	-	-	-	-	-	-	-	-	-	-
105	Patio 2	-	-	-	-	-	-	-	-	-	-
106	Bedroom 2	-	-	-	-	-	-	-	-	-	-
107	Patio 3	-	-	-	-	-	-	-	-	-	-
108	Hallway 1	-	-	-	-	-	-	-	-	-	-
109	Laundry	-	-	-	-	-	-	-	-	-	-
110	Closet 2	-	-	-	-	-	-	-	-	-	-
201	Patio 3	-	-	-	-	-	-	-	-	-	-
202	Master Bedroom	-	-	-	-	-	-	-	-	-	-
203	M. Closet	-	-	-	-	-	-	-	-	-	-
204	M. Bathroom	-	-	-	-	-	-	-	-	-	-
205	Hallway 2	-	-	-	-	-	-	-	-	-	-

Code	Item	Description	Manufacturer	Model	Finish	Notes
L-1	Recessed can	-	-	-	-	-
L-2	Recessed can	-	-	-	-	-
L-3	Pendant	-	-	-	-	-
L-4	Sconce	Adjacent to mirror	-	-	-	-
L-5	Sconce	Interior / above mirror	-	-	-	-
L-6	Mirror	Big horizontal	-	-	-	-
L-7	Mirror	Square shaped	-	-	-	-
L-8	Mirror	Small vertical	-	-	-	-
L-9	Sconce	Exterior	-	-	-	-
L-10	Sconce	Exterior	-	-	-	-
L-11	LED Mirror	Big horizontal	-	-	-	-
L-12	LED Mirror	Square shaped	-	-	-	-
L-13	LED Mirror	Small vertical	-	-	-	-
L-14	Hanging fixture	-	-	-	-	-
L-15	Hanging fixture	-	-	-	-	-
L-16	Exhaust fan	-	-	-	-	-
L-17	Smoke detector	-	-	-	-	-
L-18	Ceiling fan with light	-	-	-	-	-
L-19	Ceiling fan with light	-	-	-	-	-
L-20	Flush mounted fixture	-	-	-	-	-
L-21	HVAC register Supply	-	-	-	-	-
L-22	HVAC register Return	-	-	-	-	-

Fixtures and Equipment Schedule						
Code	Item	Description	Manufacturer	Model	Finish / Material	Notes
Bathrooms/Kitchen						
F-1	Sink	For kitchens	Kohler	Vault™ K-3996-4-NA	Stainless Steel	-
F-2	Sink	For Wagon 1/2 Bath	Kohler	Vox® Round K-14800-0	Biscuit	-
F-3	Sink	For other bathrooms	Kohler	Caxton® Rectangle K-20000-0	White	-
F-4	Tub	Wall mounted, 60" x 30"	Kohler	Villager® K-716-0	White	-
F-5	Tub	Wall mounted, 60" x 36"	Kohler	Archer® K-1125-LA-0	White	-
F-6	Tub	Wall mounted, 72" x 36"	Kohler	Mariposa® K-1242-RA-0	White	-
F-7	Toilet	-	Kohler	Santa Rosa™ K-3810-0	White ceramics	-
F-8	Faucet	For kitchens	Kohler	Sensate™ K-72218-CP	Polished Chrome	-
F-9	Faucet	For Wagon 1/2 Bath	Kohler	Purist® Tall K-14404-4A-SN	Vibrant Polished Nickel	-
F-10	Faucet with handles	For master bathroom	Kohler	Composed® K-73060-3-CP	Polished Chrome	-
F-11	Faucet	For other bathrooms	Kohler	Components™ K-77967-CP	Polished Chrome	-
F-12	Faucet Handles	For other bathrooms	Kohler	Components™ K-77974-9-CP	Polished Chrome	-
F-13	Tub faucet	Wall mounted	Kohler	Purist® K-T14415-5	Chrome	-
F-14	Shower Head	-	Kohler	Pinstripe® K-13137-AK-CP	Polished chrome	-
F-15	Shower Handle	-	Kohler	Components™ K-T78016-4-CP	Polished chrome	-
F-16	Tissue Holder	-	Kohler	Components™ K-78382-CP	Polished chrome	-
F-17	Towel bar - single	-	Kohler	Components™ K-78377-CP	Polished chrome	-
F-18	Towel bar - double	-	Kohler	Components™ K-78379-CP	Polished chrome	-
Code	Item	Description	Manufacturer	Model	Finish / Material	-
Kitchen						
E-1	Refrigerator	-	Bosch	Benchmark® B36BT830NS	-	-
E-2	Stove & Oven	-	Bosch	Benchmark™ HIIP054U	Stainless steel	-
E-3	Stove hood	Island hood	Bosch	800 Series HIB82651UC	Stainless steel	-
E-4	Dishwasher	Fully-integrated dishwasher	Bosch	Serie 6 MV68TD06G	-	-
E-5	Microwave	Drawer Microwave	Bosch	800 Series 24" HMD8451UC	Stainless steel	-
E-6	Wine Refrigerator	-	JennAir	JUB24FLERS	Black / metallic	-
E-7	Washer	-	Bosch	800 Series WAW285H2UC	White	-
E-8	Dryer	-	Bosch	800 Series WTG86402UC	White	-
E-9	Stove hood	Wall hood	Bosch	800 Series DPH36652UC	Stainless steel	-



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The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

Issue title:
For HDRC COA

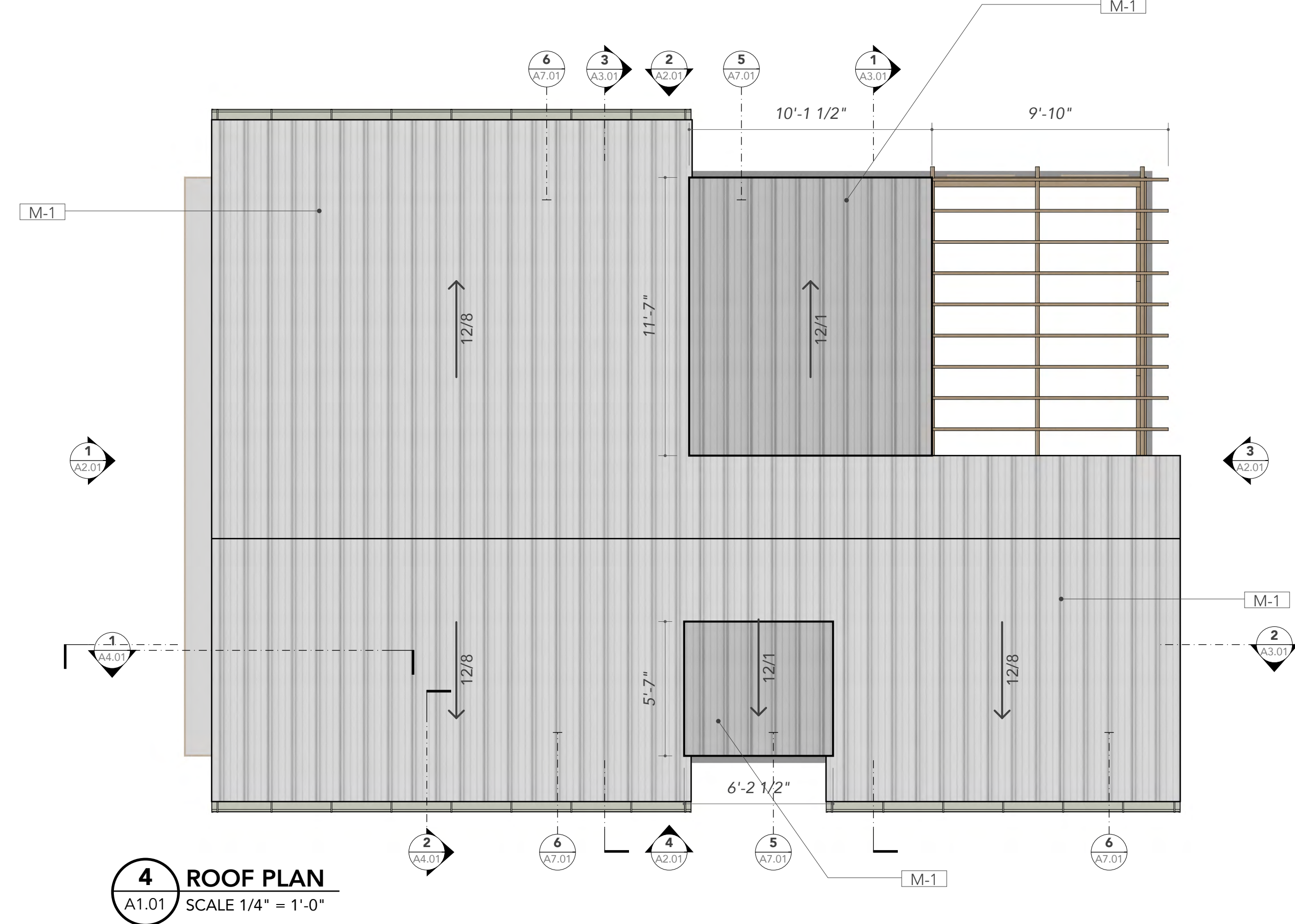
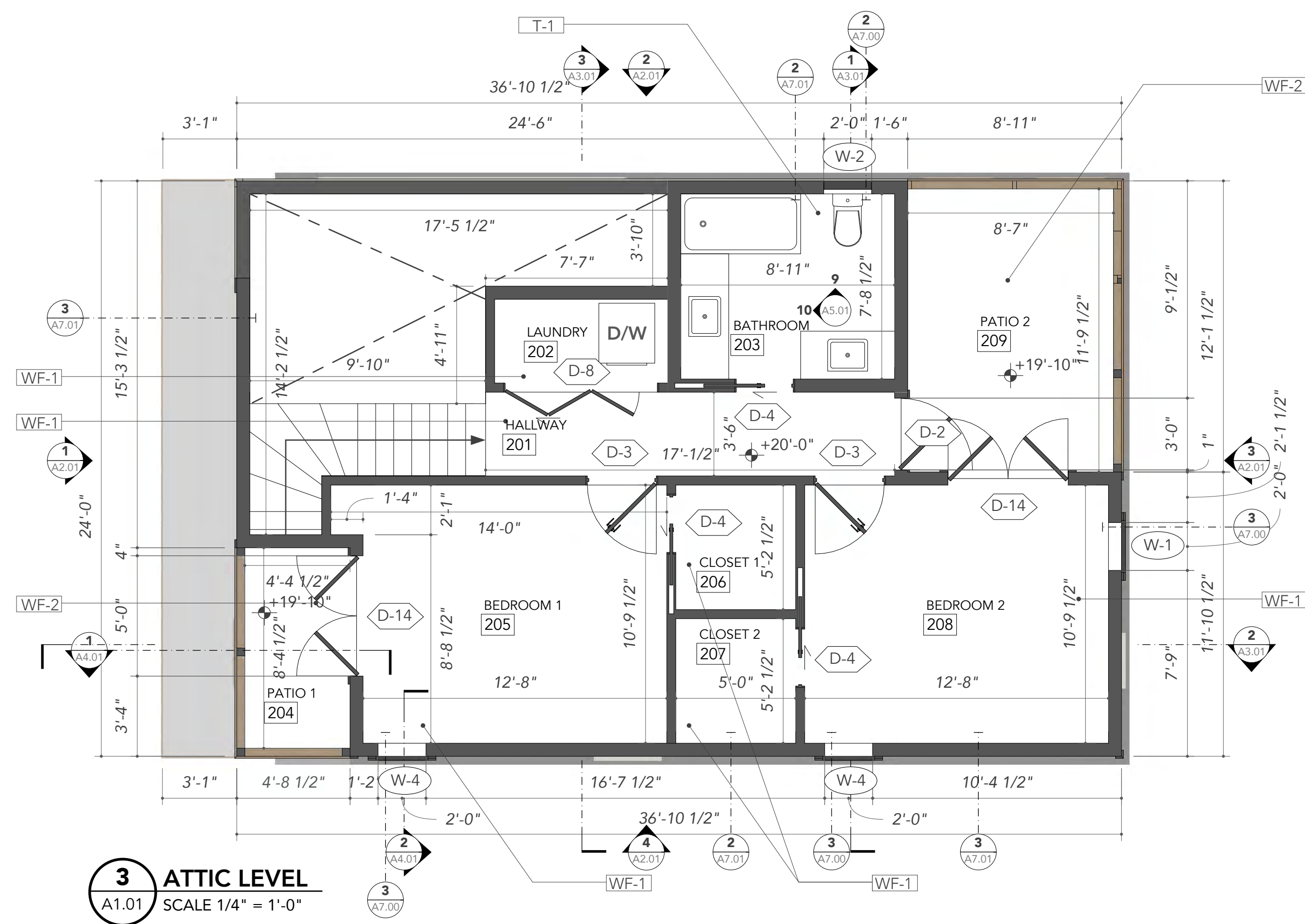
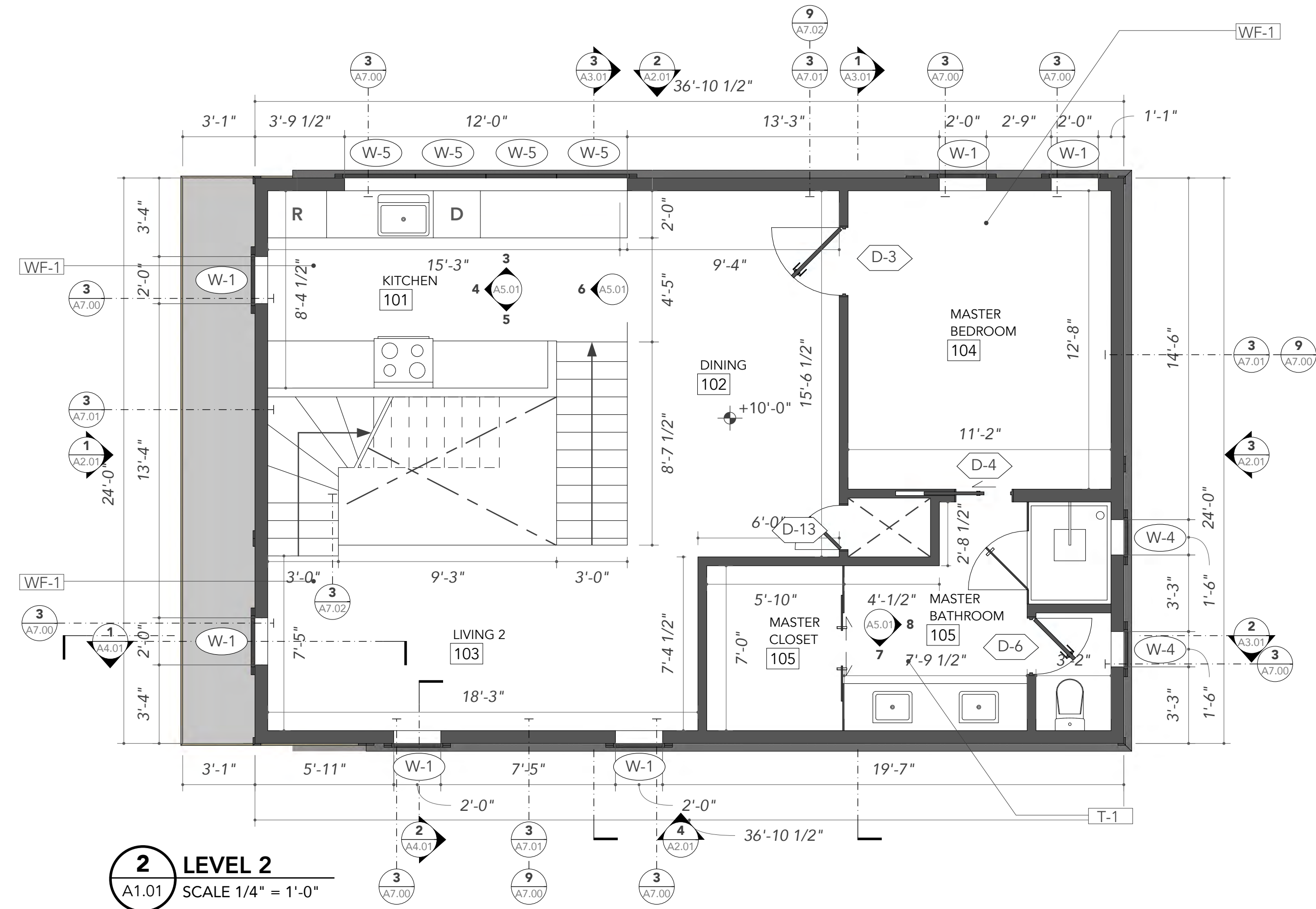
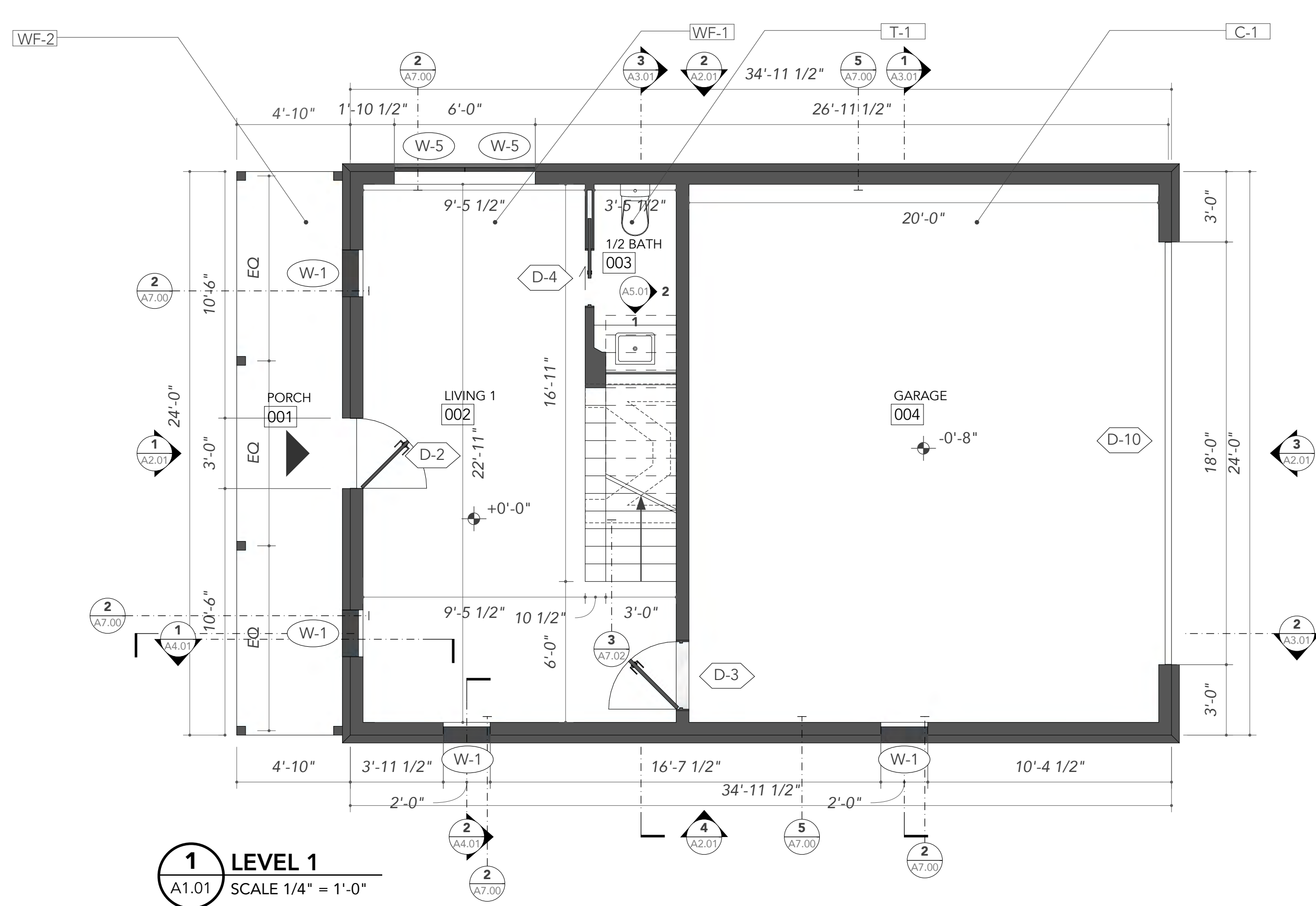
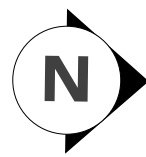
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Revisions:

Sheet Contents:
Schedules,
Wagon House

Sheet Number:

A6.00



The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

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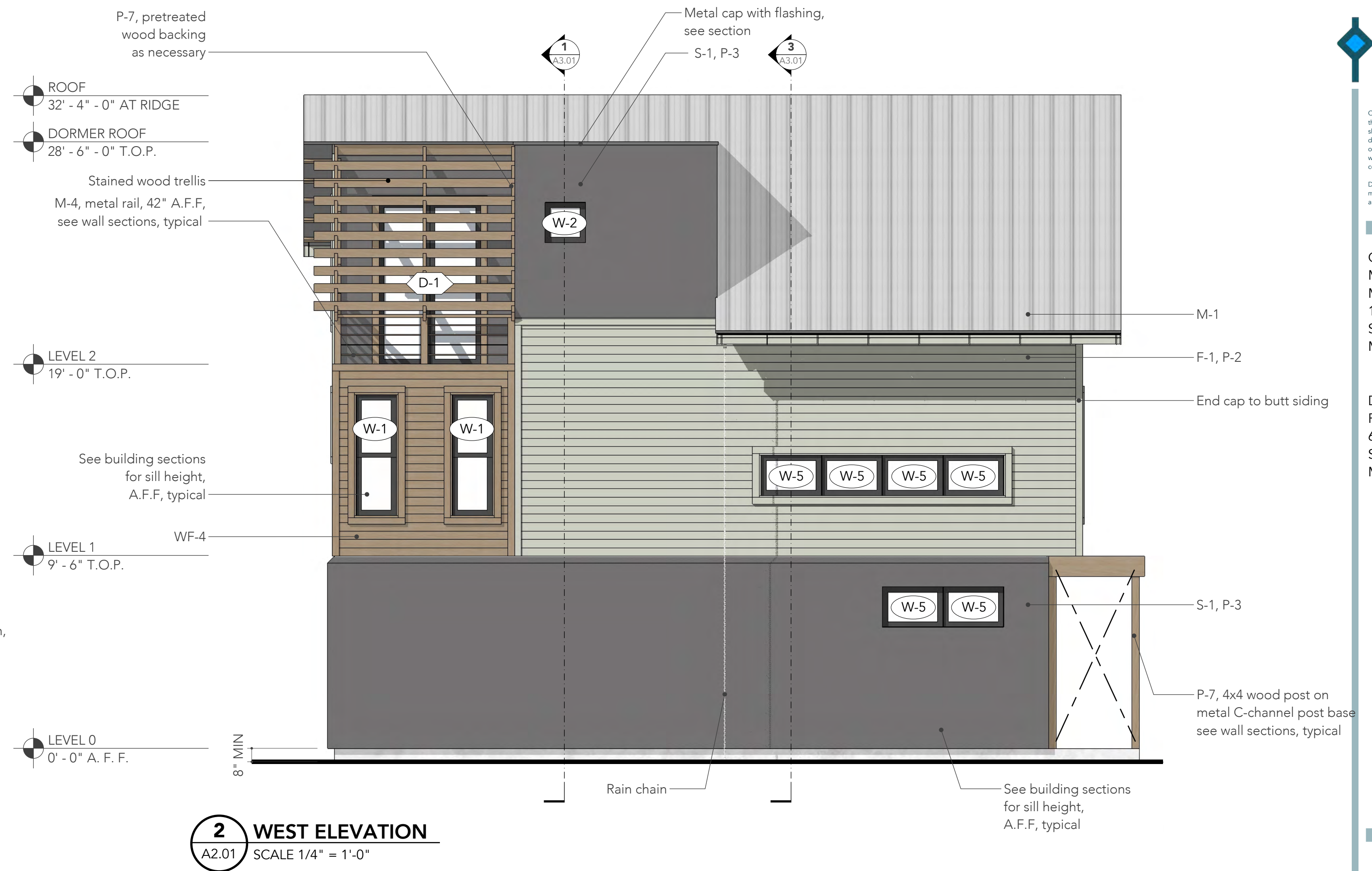
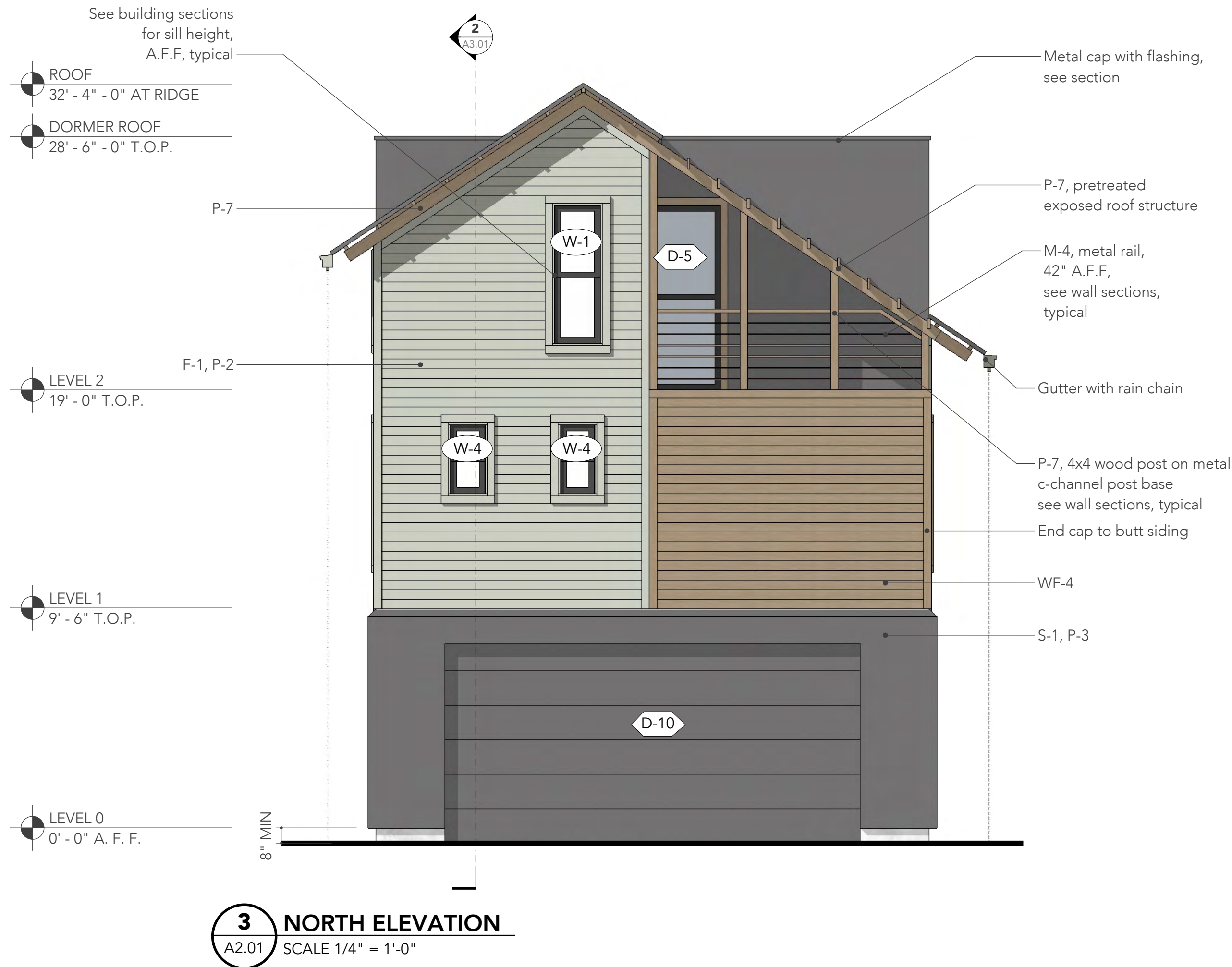
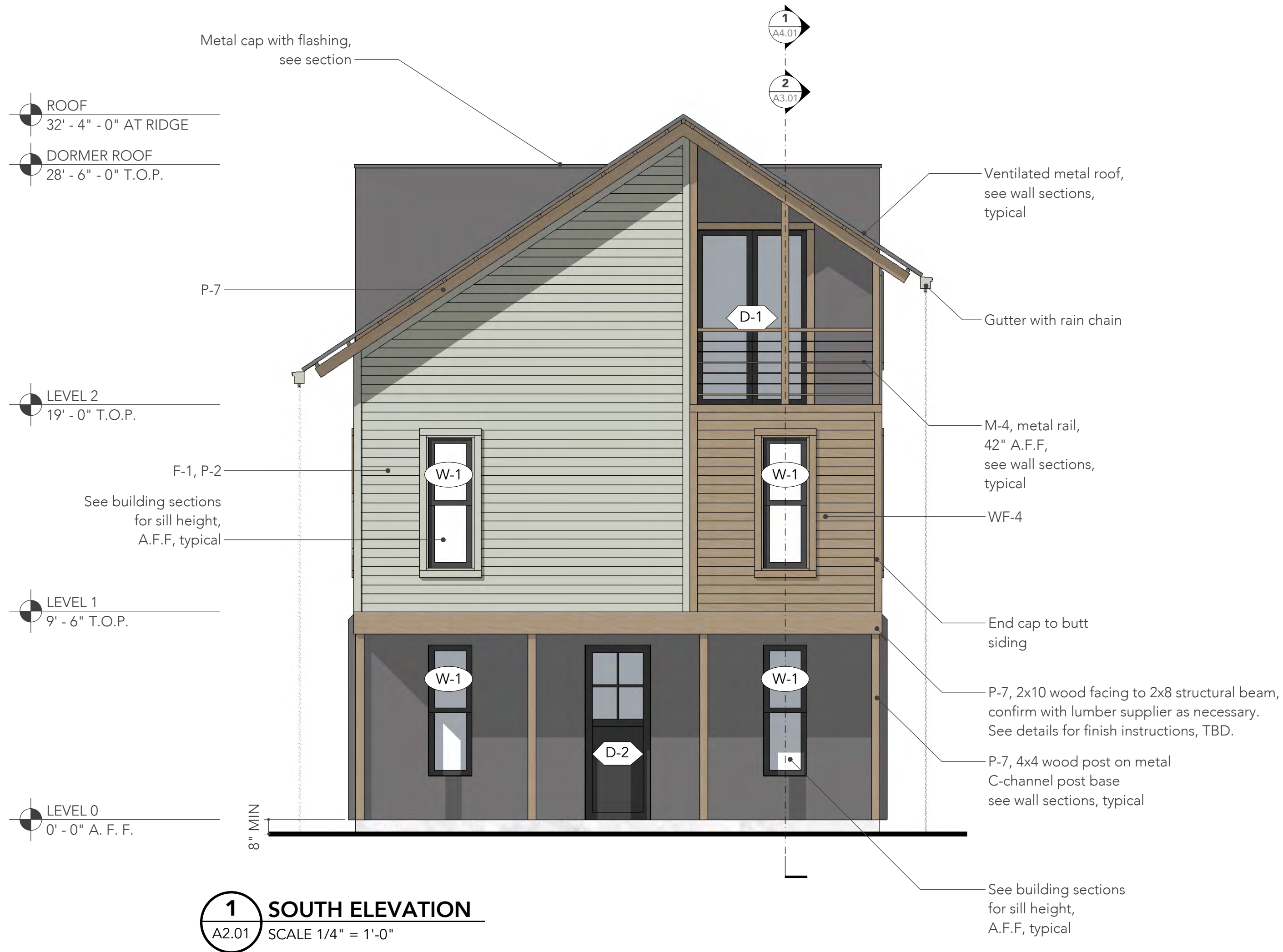
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Sheet Contents:
Floor Plans,
Carriage House

Sheet Number:

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San Antonio, Texas 78202

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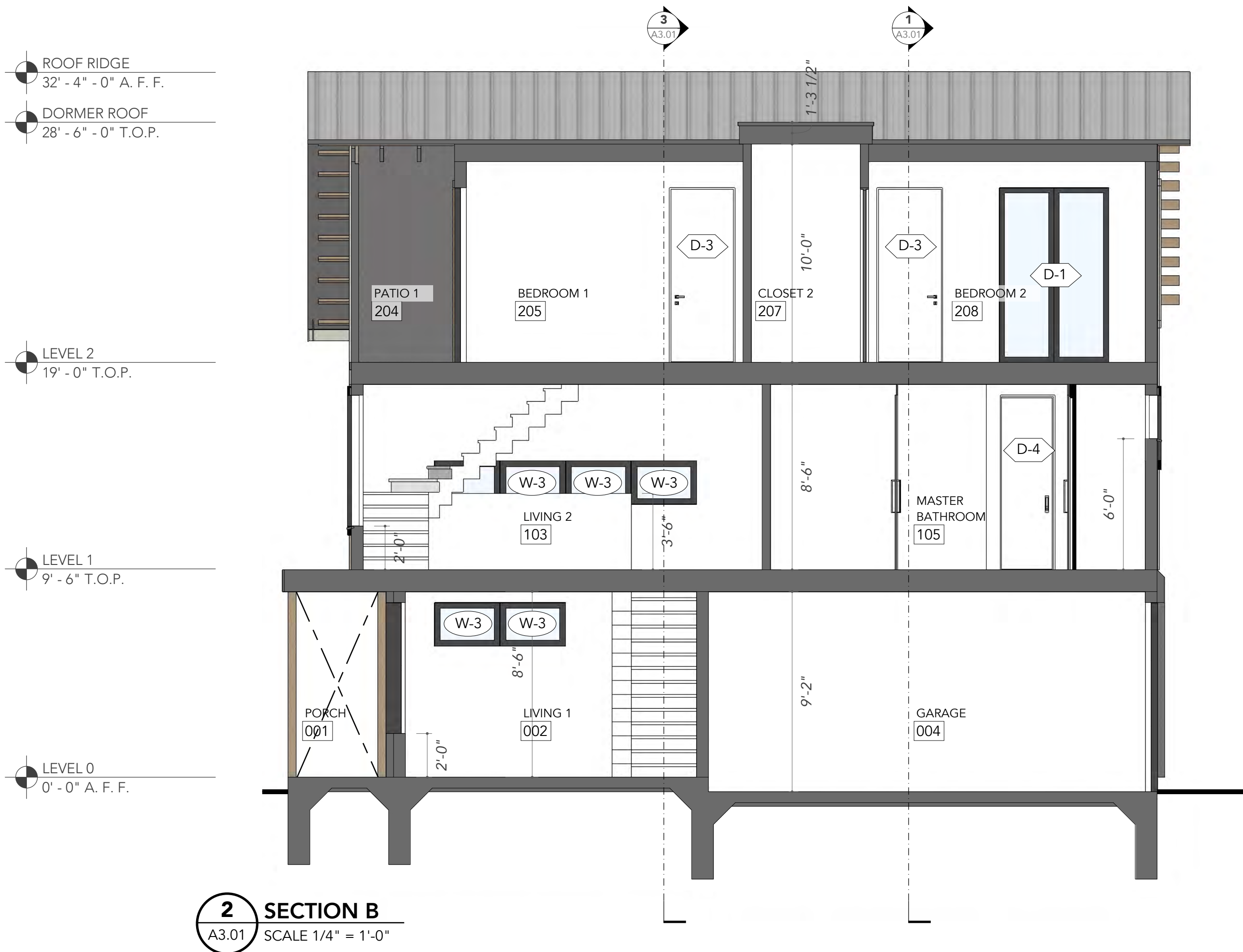
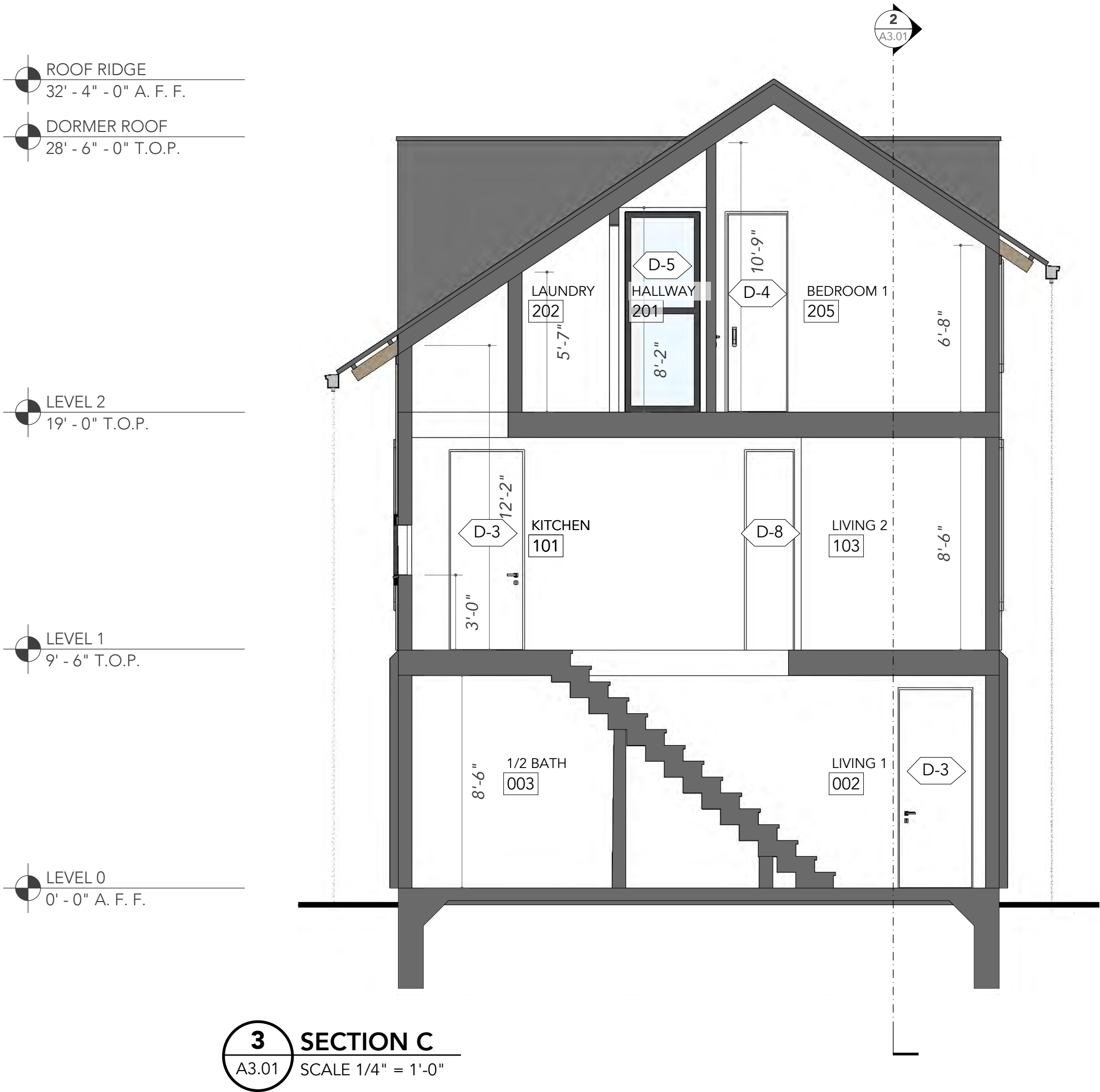
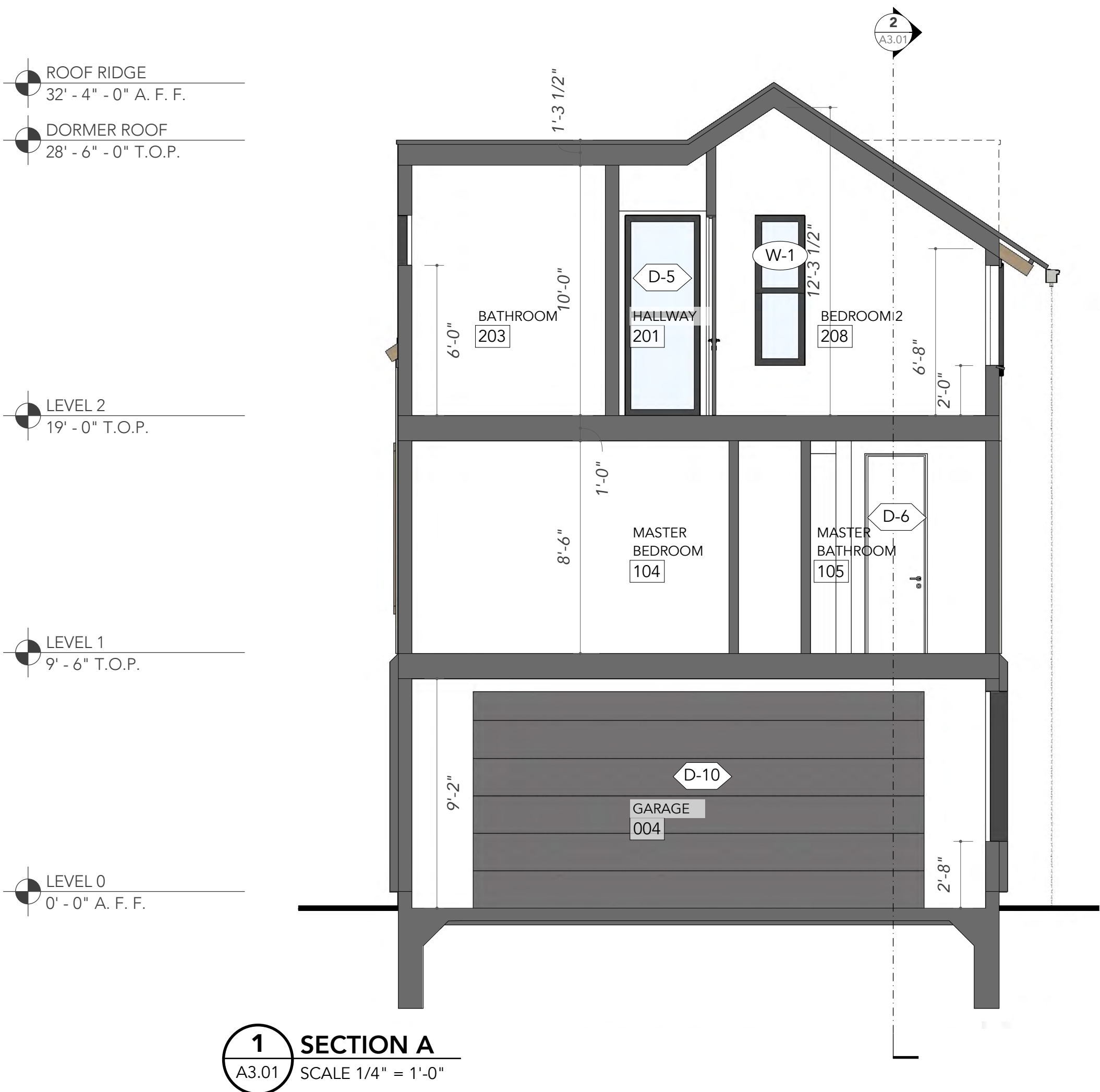
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Elevations,
Carriage House

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A2.01



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Brown Street,
San Antonio, Texas 78202

Project No. 201811

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Building Sections,
Carriage House

Sheet Number:

A3.01

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Brown Street,
San Antonio, Texas 78202

Project No. 201811

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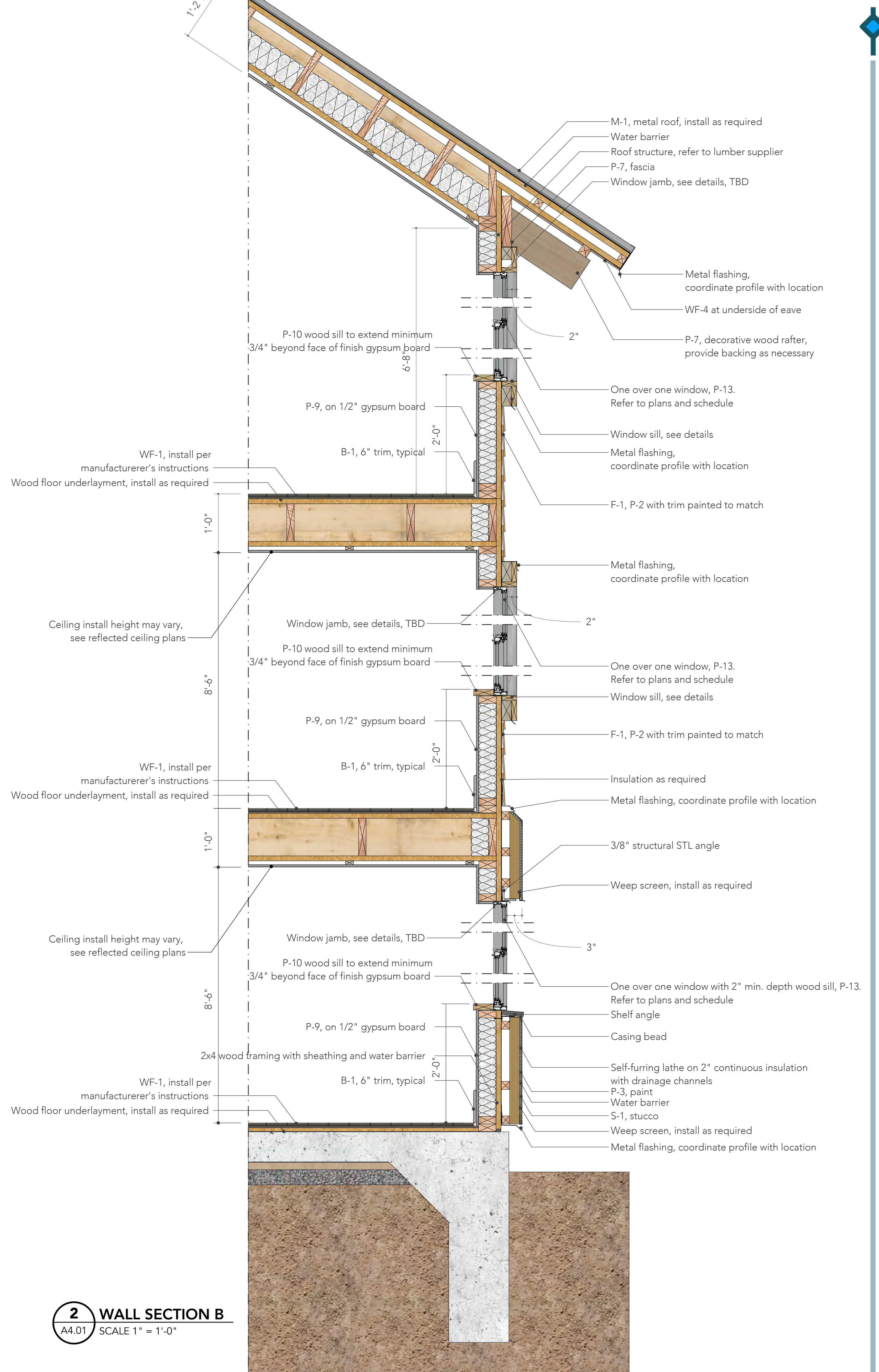
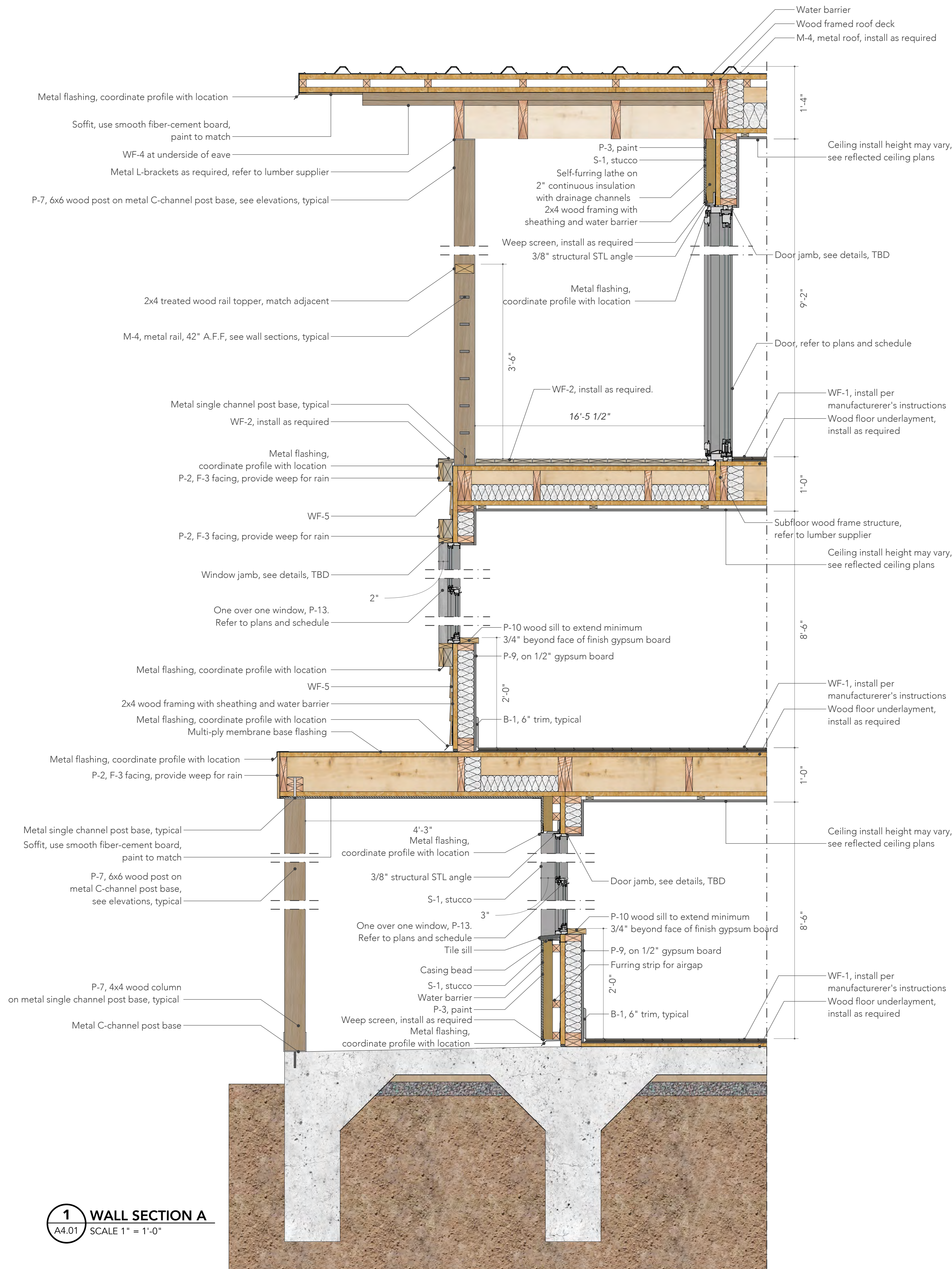
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Sheet Contents:
Wall Sections,
Carriage House

Sheet Number:

A4.01



Materials and Finish Schedule						
Code	Material	Manufacturer	Description			Additional Information
			Series	Color	Dimensions	
B-1	Trim at Base	-	-	-	6" x 1/2"	Painted P-10, see interior elevations
B-2	Trim at Door	-	-	-	3 1/2" x 1/2"	Painted P-10, see interior elevations
C-1	Concrete	Custom	-	-	-	Poured floor, protect at garage, see plans
C-2	Concrete	Custom	-	-	4" deep	Pavers, see site plan
C-3	Concrete	Custom	-	-	2'-6" x 5'-0" UON	Pavers, see site plan
C-4	Clay	-	Brick	D'Hanis	4" x 8" x 12"	Or equivalent
G-1	Glass	-	-	Green	-	Seamless silicon joints, verify with owner
F-1	Fibercement Siding	Hardie Board	-	-	3/4" thick	4" exposed, smooth finish, mitered corners
F-2	Fibercement Siding	Hardie Board	-	-	-	12" wide board with 1 1/2" wide batten
F-3	Fibercement Board	Hardie Board	-	-	1/2" thick	Solid board, eave underside
M-1	Metal Roof Panel	-	Standing Seam	Light Grey	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-2	Metal Roof Panel	-	Standing Seam	Charcoal	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-3	Metal Column	-	-	-	4" x 4" square	Painted to match adjacent
M-4	Metal Rail	-	-	-	1" x 3" square	Painted to match adjacent
M-5	Metal Roof Panel	-	PBU	-	36" wide panel	3/4" rib height, 26 gauge
P-1	Paint	Custom	-	Farm White	-	Walls, see exterior elevations
P-2	Paint	Custom	-	Light Grey	-	Walls, see exterior elevations
P-3	Paint	Custom	-	Charcoal	-	Walls, see exterior elevations
P-4	Paint	Custom	-	Dark Grey	-	Walls, see exterior elevations
P-5	Paint	Custom	Stain	Darker, rich	-	For siding, see exterior elevations
P-6	Paint	Custom	-	Off White	-	Matte, for ceiling
P-7	Paint	Custom	-	Dark Walnut	-	Stain
P-8	Paint	Custom	-	Aged Oak	-	Stain
P-9	Paint	Custom	Matte Finish	Eggshell	-	Walls, see interior elevations
P-10	Paint	Custom	High Gloss	Extra White	-	Baseboards
P-11	Paint	Custom	-	Rustic Sage	-	Stain
P-12	Paint	Custom	-	Grey	-	Walls, see exterior elevations
P-13	Paint	Custom	-	Dark Grey	-	To match window frame
P-14	Paint	Custom	-	Blue	-	High gloss finish
Q-1	Quartz Countertop	Casahoma	-	Torquay	3" deep thick	Bullnose edge, for transitional style
Q-2	Quartz Countertop	Casahoma	-	Torquay	1.25" thick	Bullnose edge, for modern style
T-1	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor
T-2	Tile	-	-	-	8" x 8"	Stacked, for mudroom
T-3	Tile	-	-	-	8" x 8"	Stacked, for bathroom wall
T-4	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor, dark
T-5	Tile	Travertine	-	-	4"x12"	Staggered, for kitchen backsplash, transitional
WF-1	Wood Floor	Daltile	Willow Bend	WB03	-	Dark Brown
WF-2	Wood Decking	Tigerwood	-	-	20" x 20"	For exterior patio, smooth
WF-3	Wood Trellis	-	-	-	-	-
WF-4	Wood Siding	-	No. 1 Grade	Cedar	1/2" x 4-1/2"	Underside of eave, smooth and stained
WF-5	Wood Siding	Custom	Tongue and Groove	Darker, rich	1/2" thick	4.5" exposed trim similar to F-1 or F-2 siding
S-1	Stone - Stucco	Custom	Flat Finish	-	-	Walls, painted P-3 see exterior elevations
S-2	Steel Tubing	-	-	-	Varies	See elevations and details

Windows and Doors Schedule							
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Windows							
W-1	Single hung window	Vynil / glass	2'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-2	Picture window	Vynil / glass	2'-0" x 2'-0"	6'-0"	Ply Gem	1500 Series Windows	-
W-3	Single hung window	Vynil / glass	3'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-4	Single hung window	Vynil / glass	1'-6" x 3'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-5	Awning window	Vynil / glass	3'-0" x 2'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-6	Pitcture window	Vynil / glass	1'-11" x 2'-0"	3'-0"	Ply Gem	1500 Series Windows	-
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Doors							
D-1	3-panel sliding door	Aluminum / glass	7'-6" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-2	Single swing ext. door	Steel / glass	3'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-3	Single swing int. door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-4	Pocket door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-5	4-panel sliding door	Aluminum / glass	10'-0" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-6	Single swing int. door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-7	Double swing int. door	Wood	2'-9" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-8	Bi-fold door	Wood	6'-3" x 8'-0"	-	Masonite	Heritage Primed White	Solid core door, painted P-10
D-9	Pocket door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-10	Garage door	Aluminum	18'-0" x 8'-0"	-	Custom	-	Builder to provide options to Owner
D-11	Garage door	Aluminum	17'-5" x 8'-8"	-	Custom	-	Not used
D-12	Garage door	Aluminum	10'-0" x 8'-0"	-	Custom	-	Not used
D-13	Single swing int. door	Wood	2'-0" x 8'-0"	-	Masonite	Heritage Primed White	Not used
D-14	Double swing ext. door	Steel / glass	5'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-15	2-panel sliding door	Aluminum / glass	5'-4" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-16	2-panel int. sliding door	Wood	6'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10

Interior Room Finish Schedule											
No.	Room Name	Floor	Base	NW	SW	SE	NE	Ceiling	Counters	Millwork	Remarks
001	Porch	-	-	-	-	-	-	-	-	-	-
002	Living 1	-	-	-	-	-	-	-	-	-	-
003	1/2 Bathroom	-	-	-	-	-	-	-	-	-	-
004	Garage	-	-	-	-	-	-	-	-	-	-
101	Kitchen	-	-	-	-	-	-	-	-	-	-
102	Dining	-	-	-	-	-	-	-	-	-	-
103	Living 2	-	-	-	-	-	-	-	-	-	-
104	Master Bedroom	-	-	-	-	-	-	-	-	-	-
105	M. Bathroom	-	-	-	-	-	-	-	-	-	-
106	M. Closet	-	-	-	-	-	-	-	-	-	-
201	Hallway	-	-	-	-	-	-	-	-	-	-
202	Laundry	-	-	-	-	-	-	-	-	-	-
203	Bathroom	-	-	-	-	-	-	-	-	-	-
204	Patio 1	-	-	-	-	-	-	-	-	-	-
205	Bedroom 1	-	-	-	-	-	-	-	-	-	-
206	Closet 1	-	-	-	-	-	-	-	-	-	-
207	Closet 2	-	-	-	-	-	-	-	-	-	-
208	Bedroom 2	-	-	-	-	-	-	-	-	-	-
209	Patio 2	-	-	-	-	-	-	-	-	-	-

Electrical Fixtures Schedule						
Code	Item	Description	Manufacturer	Model	Finish	Notes
L-1	Recessed can	-	-	-	-	-
L-2	Recessed can	-	-	-	-	-
L-3	Pendant	-	-	-	-	-
L-4	Sconce	Adjacent to mirror	-	-	-	-
L-5	Sconce	Interior / above mirror	-	-	-	-
L-6	Mirror	Big horizontal	-	-	-	-
L-7	Mirror	Square shaped	-	-	-	-
L-8	Mirror	Small vertical	-	-	-	-
L-9	Sconce	Exterior	-	-	-	-
L-10	Sconce	Exterior	-	-	-	-
L-11	LED Mirror	Big horizontal	-	-	-	-
L-12	LED Mirror	Square shaped	-	-	-	-
L-13	LED Mirror	Small vertcal	-	-	-	-
L-14	Hanging fixture	-	-	-	-	-
L-15	Hanging fixture	-	-	-	-	-
L-16	Exhaust fan	-	-	-	-	-
L-17	Smoke detector	-	-	-	-	-
L-18	Ceiling fan with light	-	-	-	-	-
L-19	Ceiling fan with light	-	-	-	-	-
L-20	Flush mounted fixture	-	-	-	-	-
L-21	HVAC register Supply	-	-	-	-	-
L-22	HVAC register Return	-	-	-	-	-

Fixtures and Equipment Schedule						
Code	Item	Description	Manufacturer	Model	Finish / Material	Notes
Bathrooms/Kitchen						
F-1	Kitchen Sink	-	Kohler	Vault™ K-3996-4-NA	Stainless Steel	-
F-2	Kitchen Faucet	-	Kohler	Sensate™ K-72218-CP	Polished Chrome	-
F-3	Faucet with handles	For master bathroom	Kohler	Composed® K-73060-3-CP	Polished Chrome	-
F-4	Faucet	For other bathrooms	Kohler	Components™ K-77967-CP	Polished Chrome	-
F-5	Faucet	For Wagon 1/2 Bath	Kohler	Purist® Tall K-14404-4A-SN	Vibrant Polished Nickel	-
F-6	Faucet Handles	For other bathrooms	Kohler	Components™ K-77974-9-CP	Polished Chrome	-
F-7	Sink	For Wagon 1/2 Bath	Kohler	Vox® Round K-14800-0	Biscuit	-
F-8	Sink	For other bathrooms	Kohler	Caxton® Rectangle K-20000-0	White	-
F-9	Toilet	-	Kohler	Santa Rosa™ K-3810-0	White ceramics	-
F-10	Shower Head	-	Kohler	Pinstripe® K-13137-AK-CP	Polished chrome	-
F-11	Shower Handle	-	Kohler	Components™ K-T78016-4-CP	Polished chrome	-
F-12	Tub	Wall mounted	Kohler	Villager® K-716-0	White	-
F-13	Tub faucet	Wall mounted	Kohler	Purist® K-T14415-5	Chrome	-
F-14	Tissue Holder	-	Kohler	Components™ K-78382-CP	Polished chrome	-
F-15	Towel bar - single	-	Kohler	Components™ K-78377-CP	Polished chrome	-
F-16	Towel bar - double	-	Kohler	Components™ K-78379-CP	Polished chrome	-
F-17	Tub	-	Kohler	Archer® K-1125-LA-0	White	-
F-18	Tub	-	Kohler	Mariposa® K-1242-RA-0	White	-
Code	Item	Description	Manufacturer	Model	Finish / Material	-
Kitchen						
E-1	Refrigerator	-	Bosch	Benchmark® B36BT830NS	-	-
E-2	Stove & Oven	-	Bosch	Benchmark™ HIIP054U	Stainless steel	-
E-3	Stove hood	Island hood	Bosch	800 Series HIB82651UC	Stainless steel	-
E-4	Dishwasher	Fully-integrated dishwasher	Bosch	Serie 6 MV68TD06G	-	-
E-5	Microwave	Drawer Microwave	Bosch	800 Series 24" HMD8451UC	Stainless steel	-
E-6	Wine Refrigerator	-	JennAir	JUB24FLERS	Black / metallic	-
E-7	Washer	-	Bosch	800 Series WAW285H2UC	White	-
E-8	Dryer	-	Bosch	800 Series WTG86402UC	White	-
E-9	Stove hood	Wall hood	Bosch	800 Series DPH36652UC	Stainless steel	-

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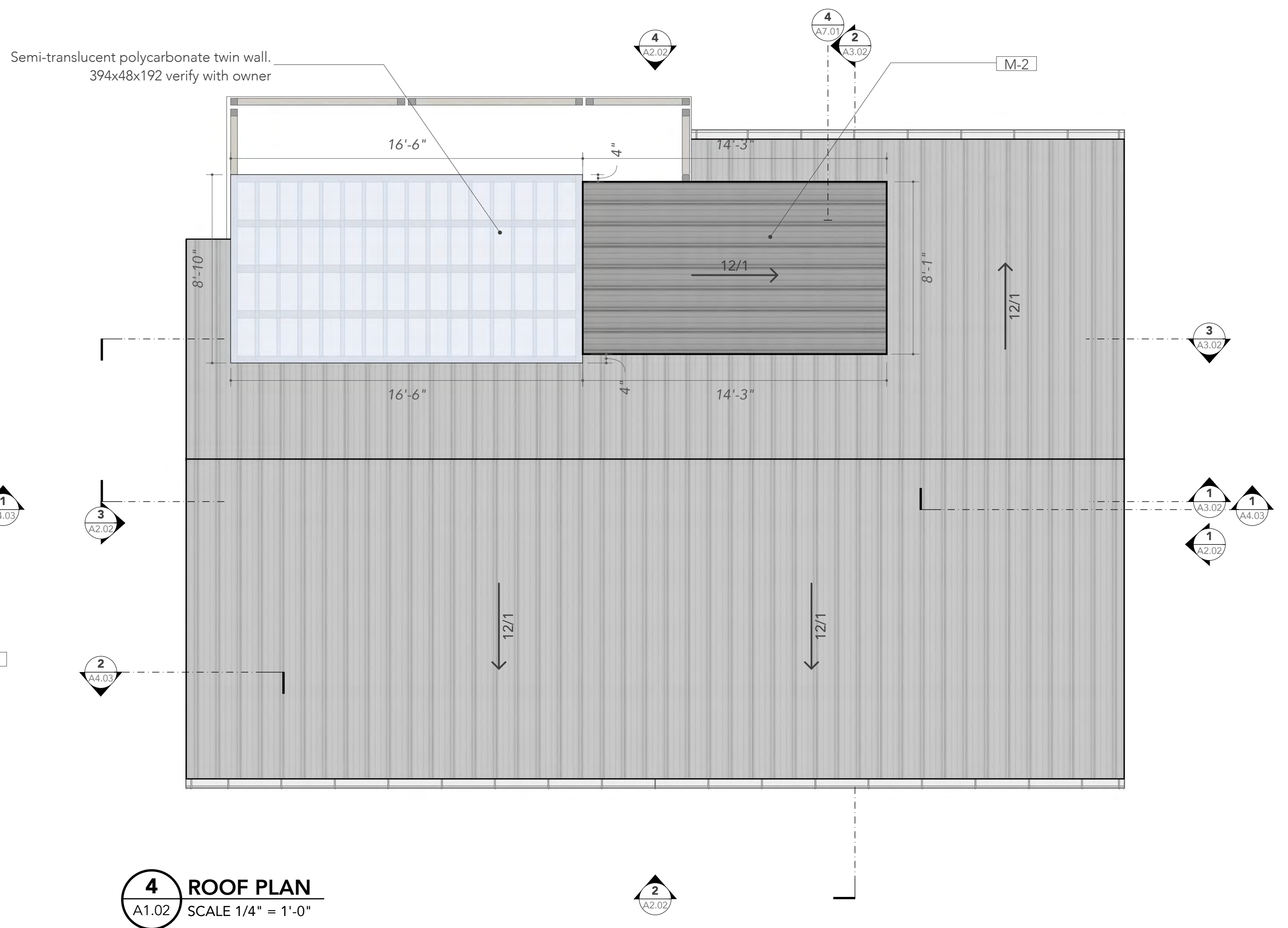
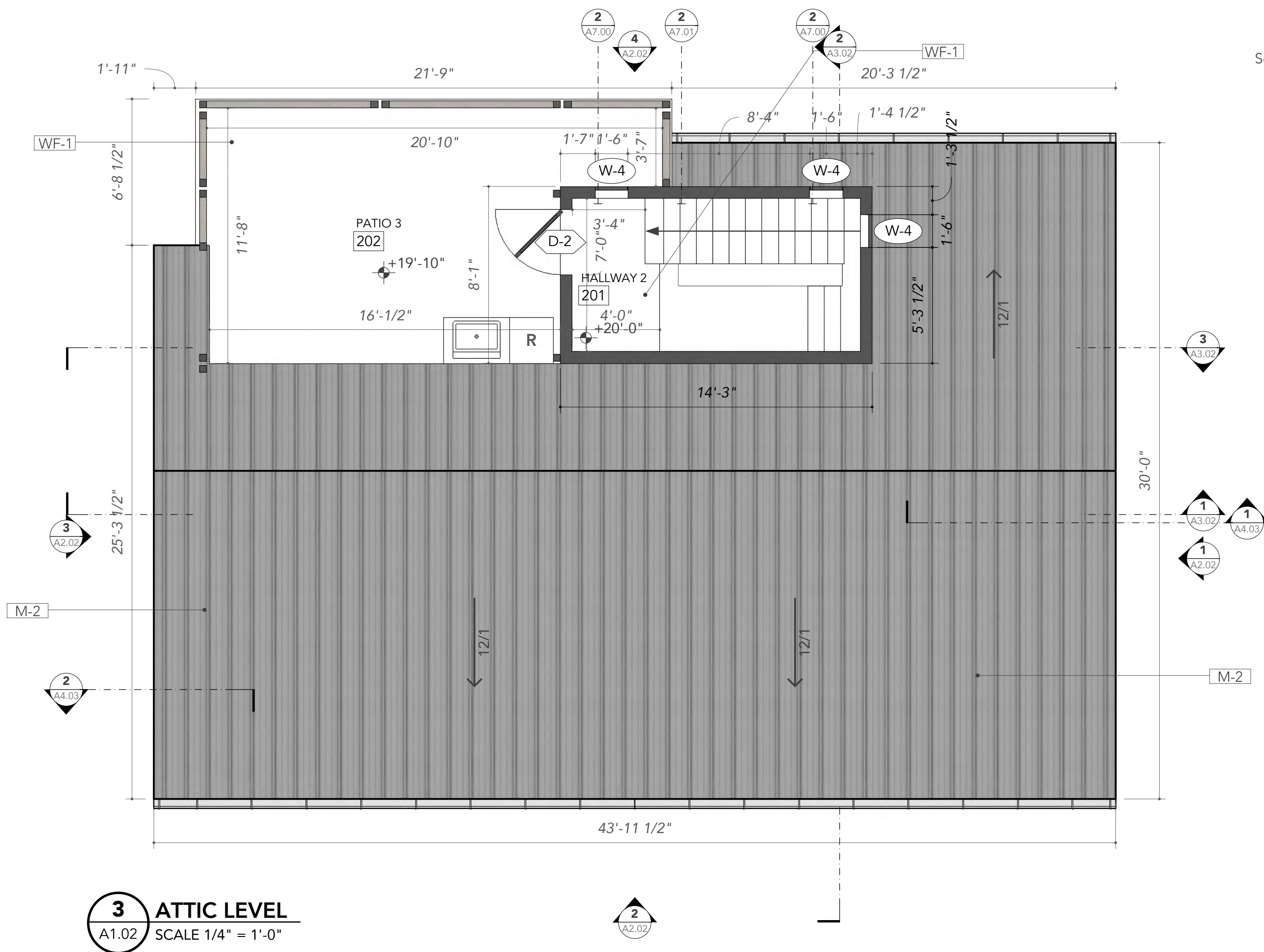
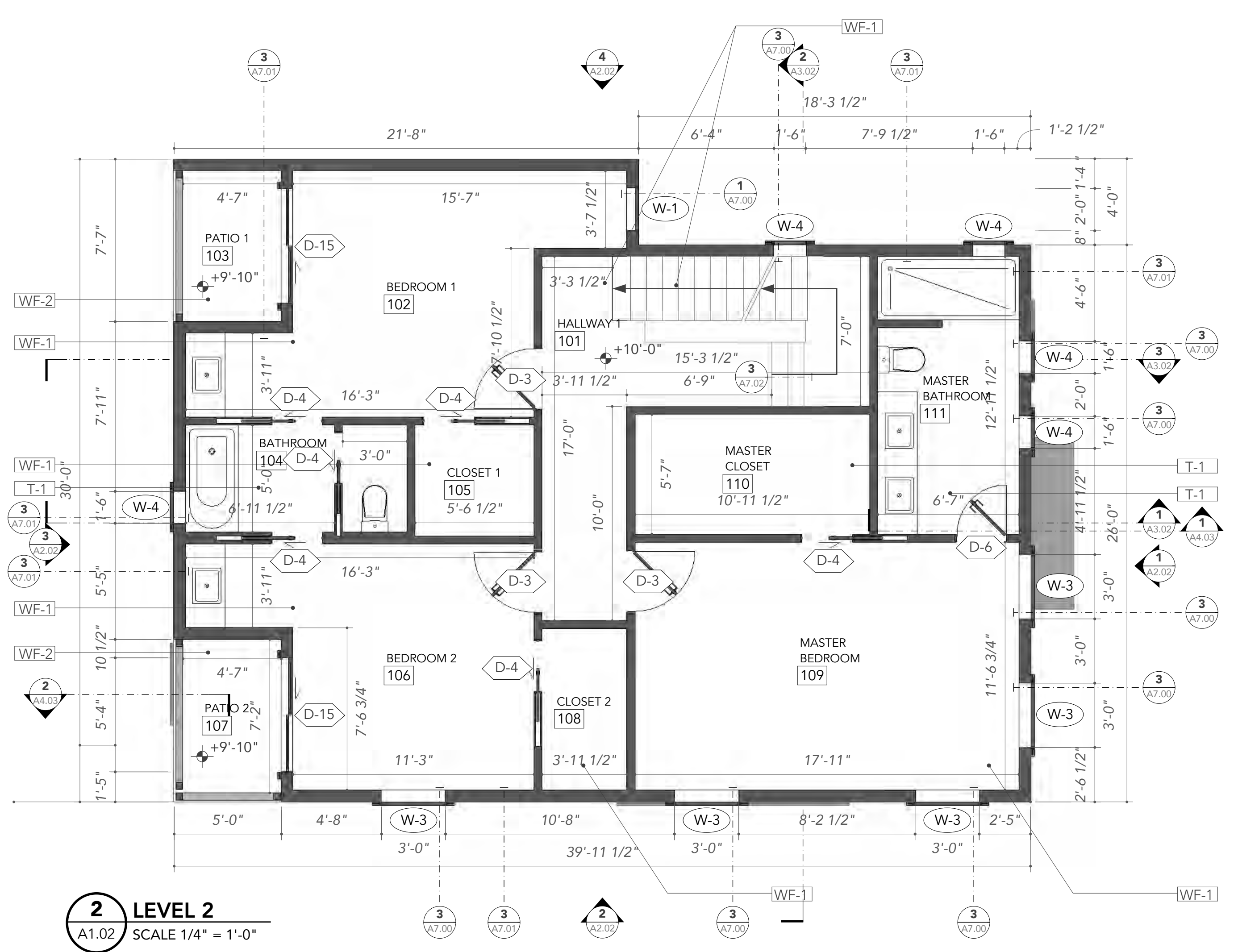
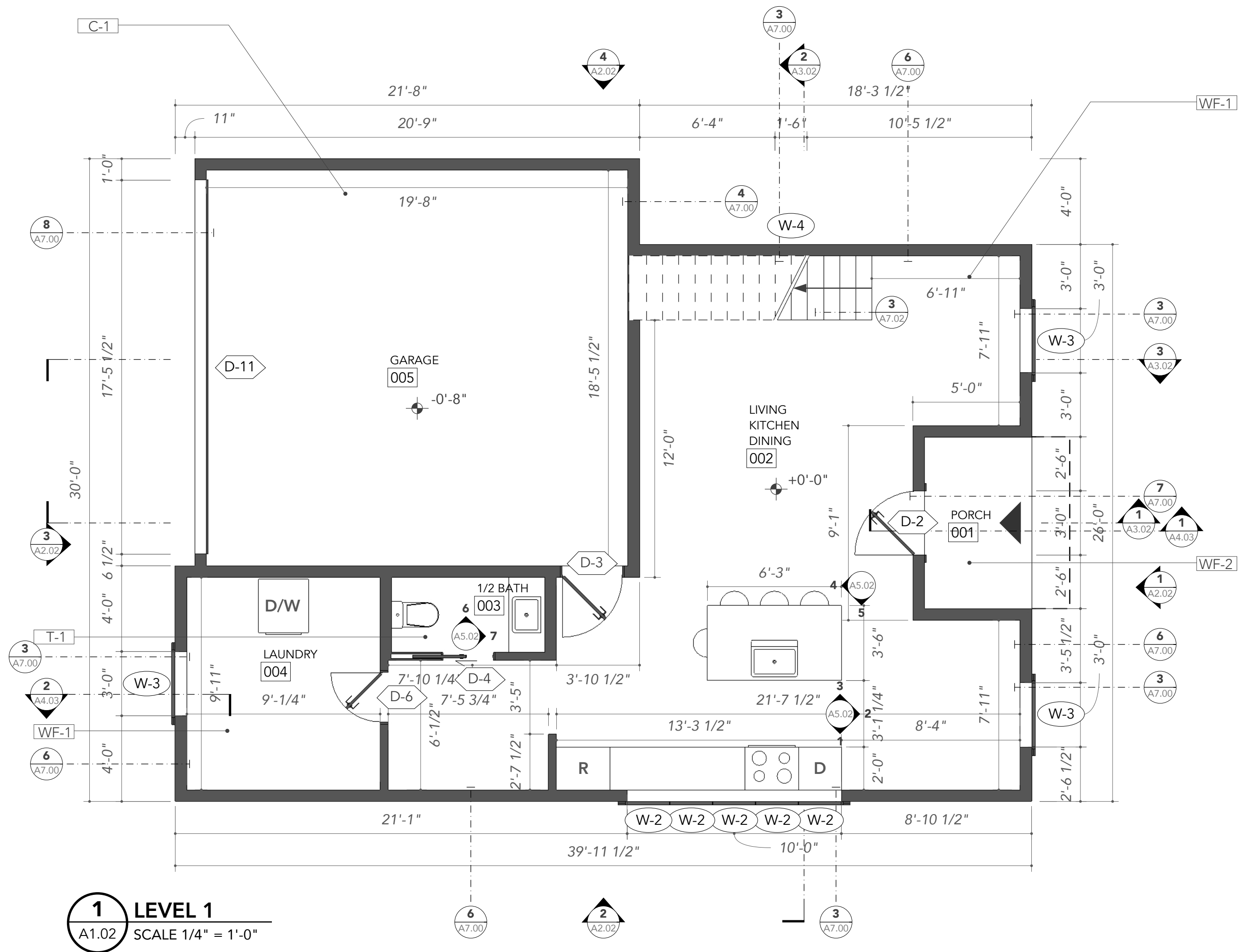
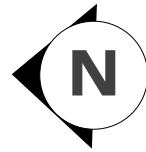
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Schedules,
Carriage House

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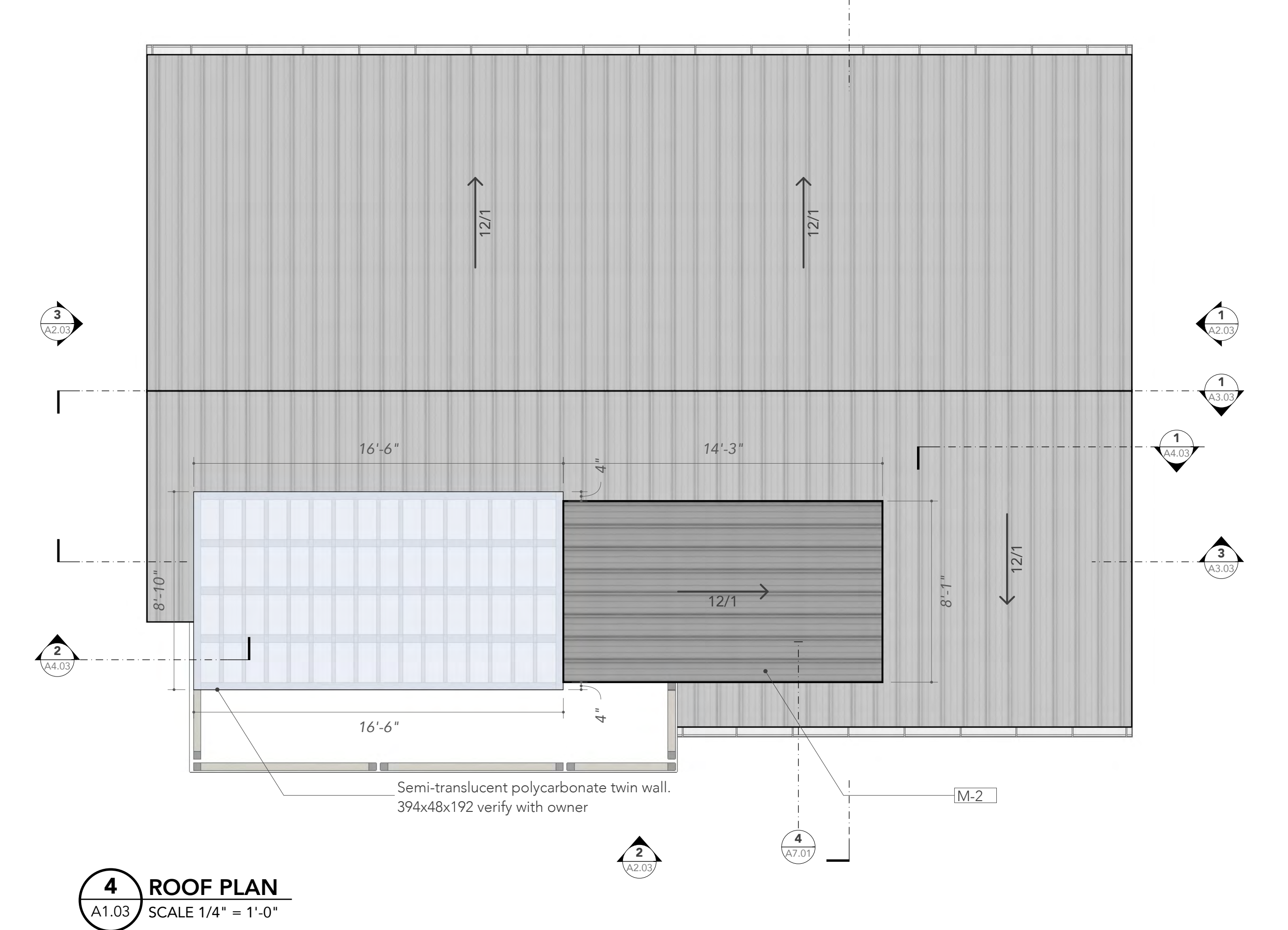
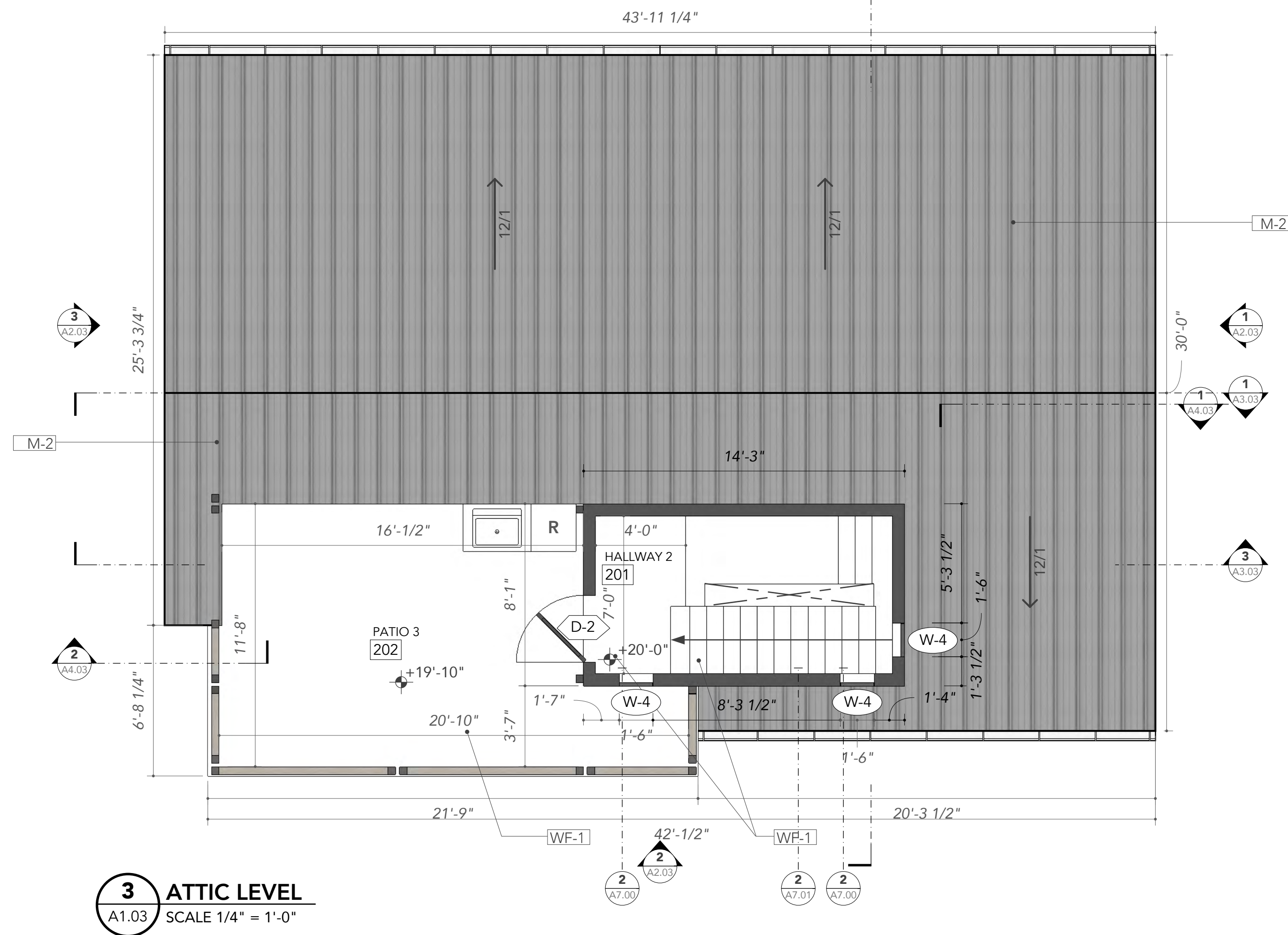
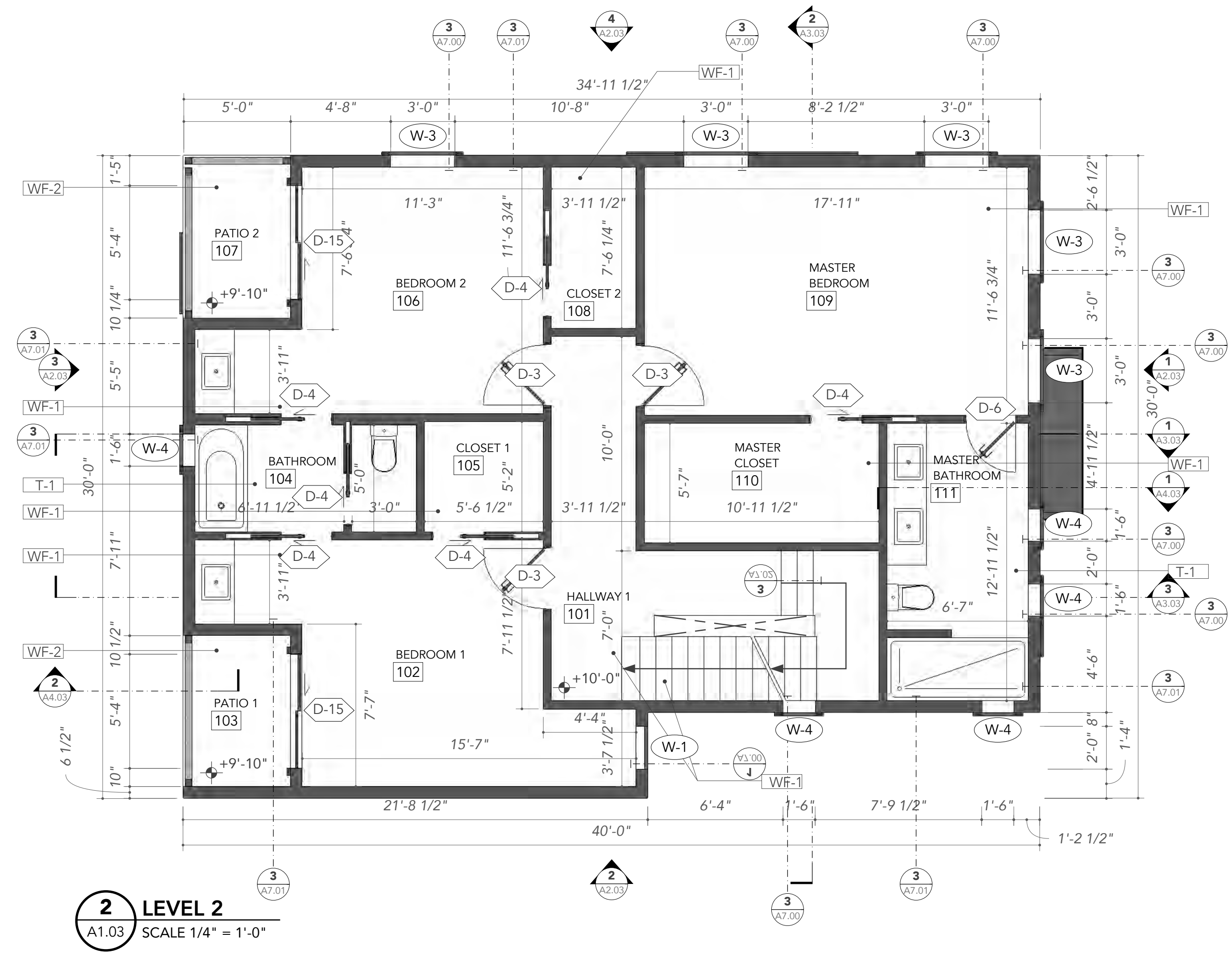
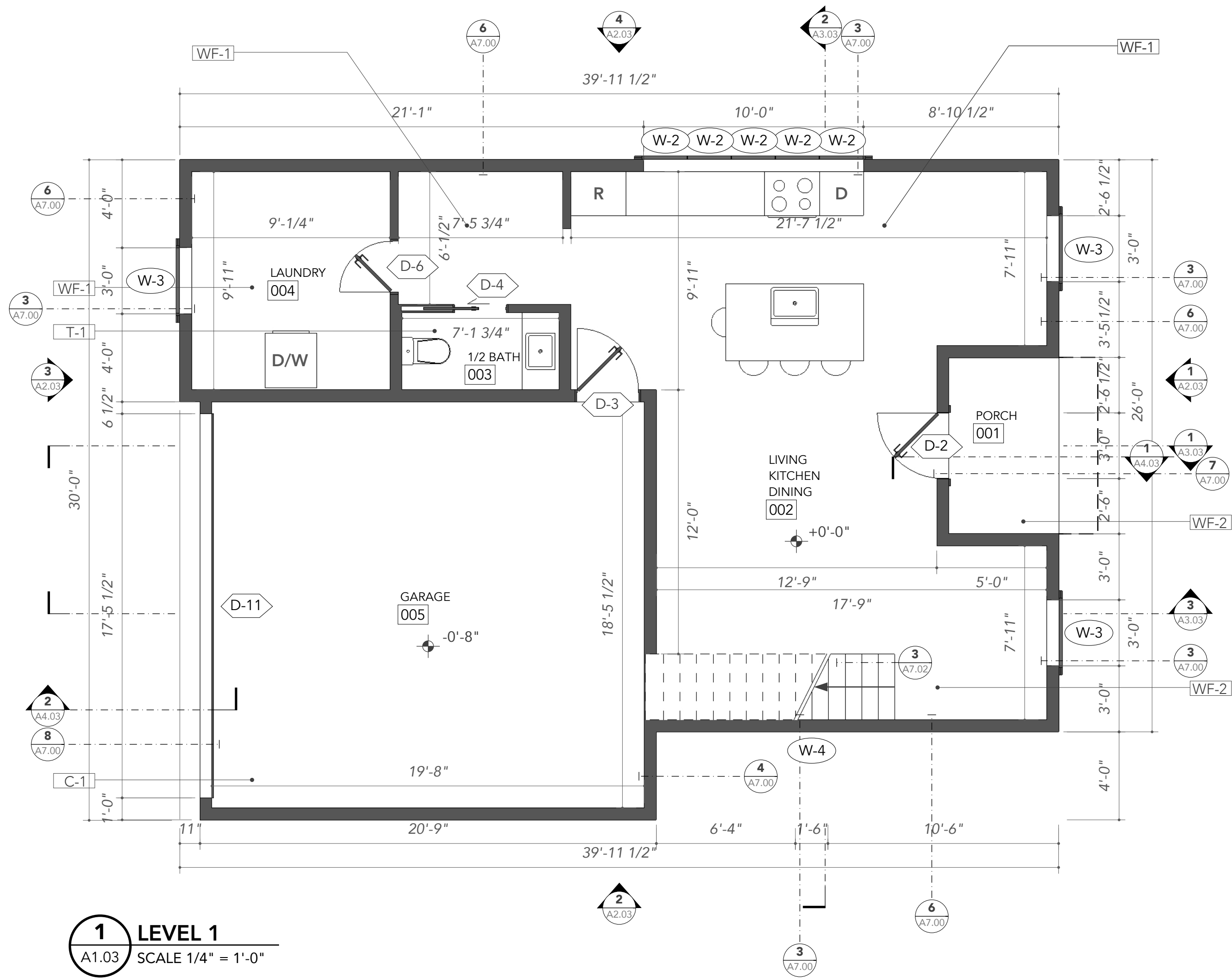
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A1.03

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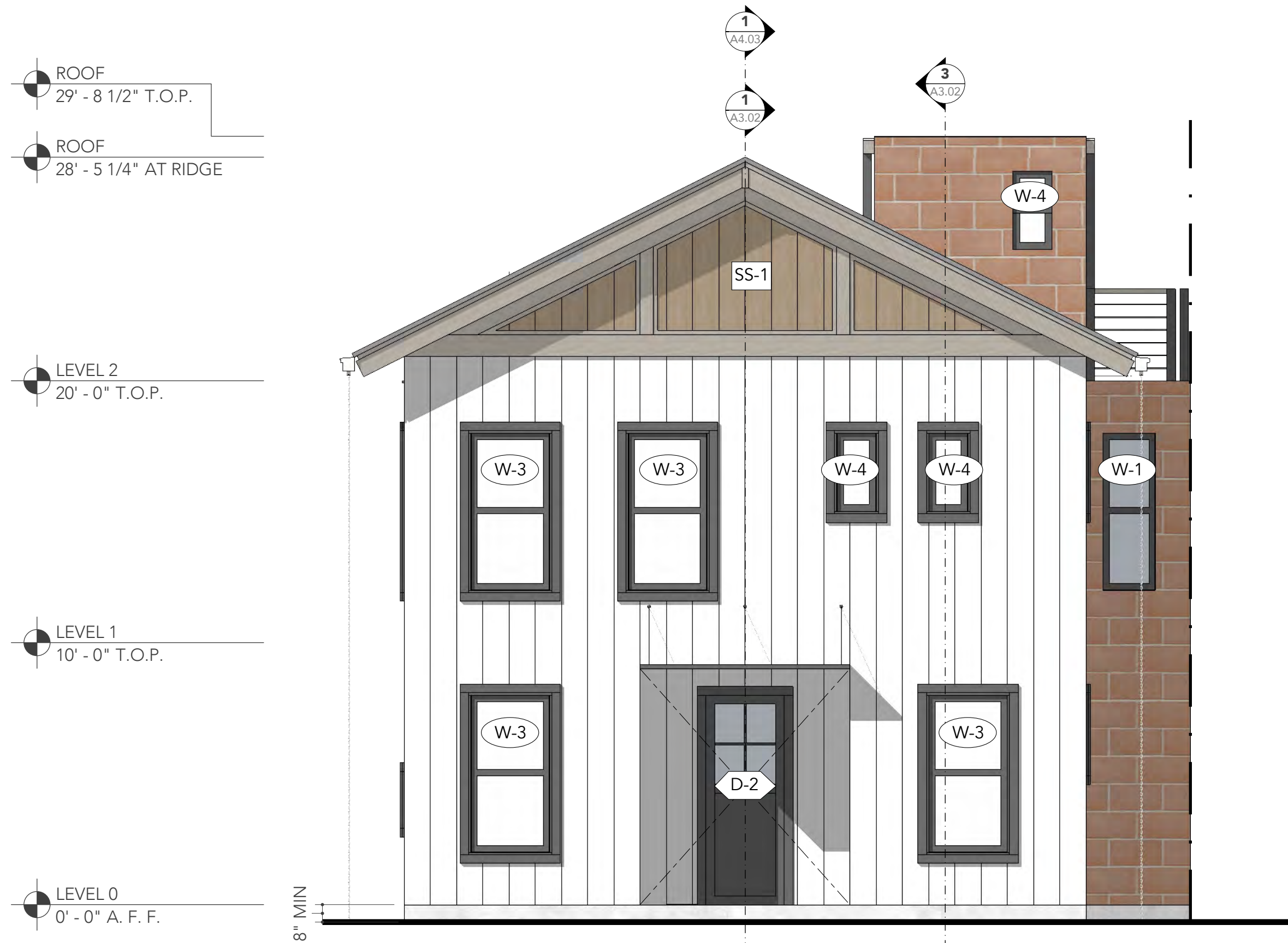
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Elevations,
Farm House 1

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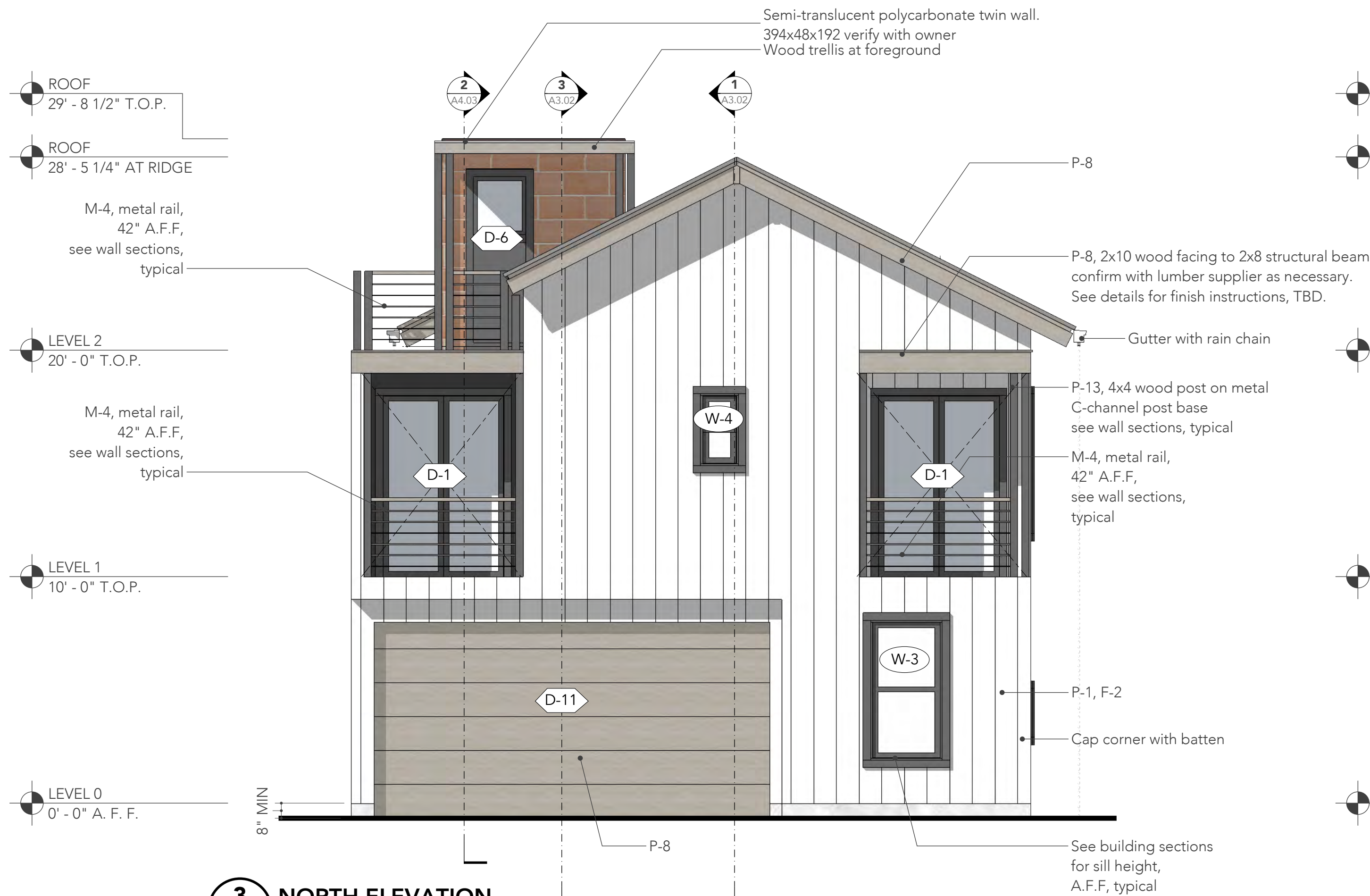
A2.02



1 SOUTH ELEVATION
A2.02 SCALE 1/4" = 1'-0"



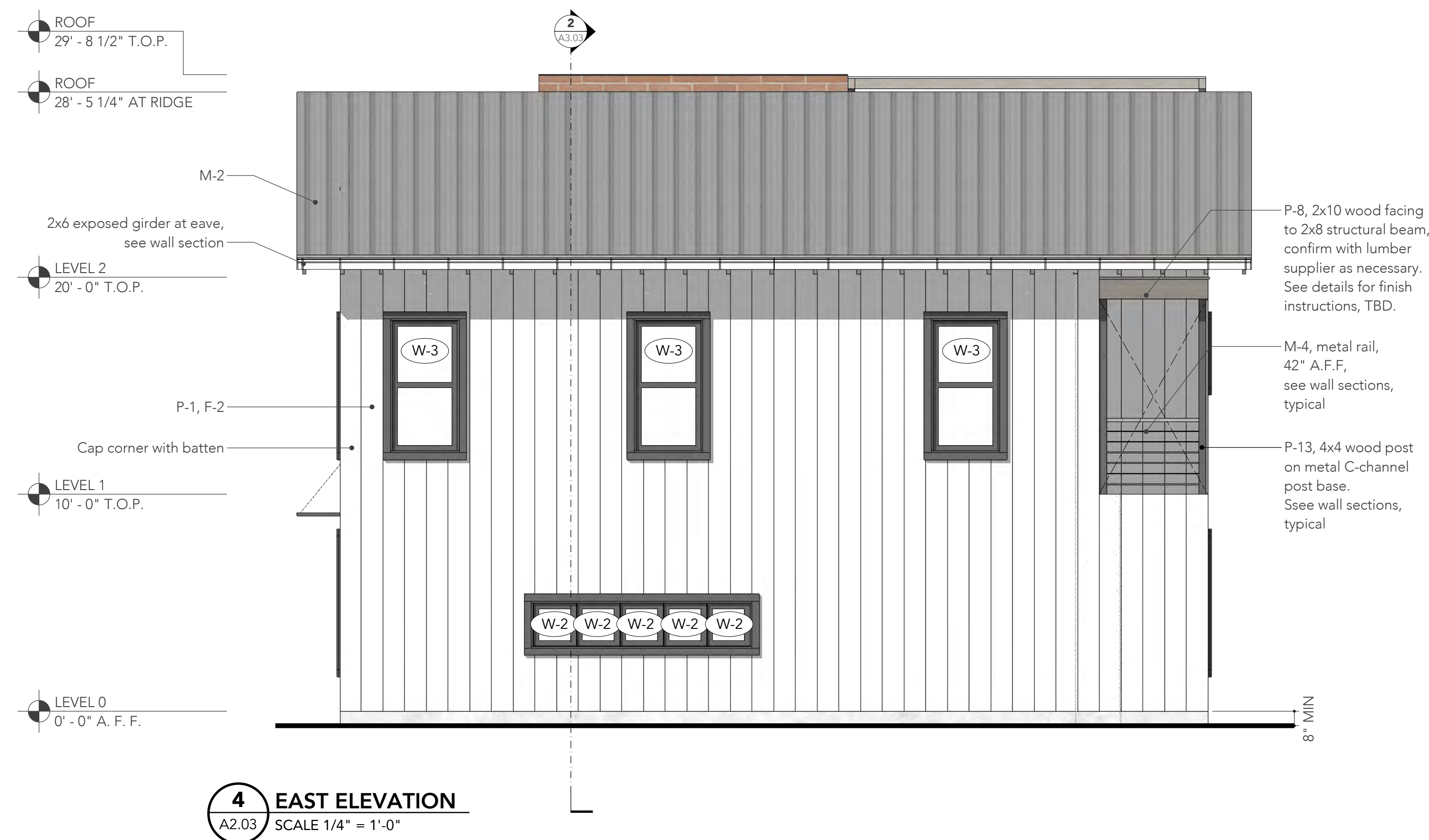
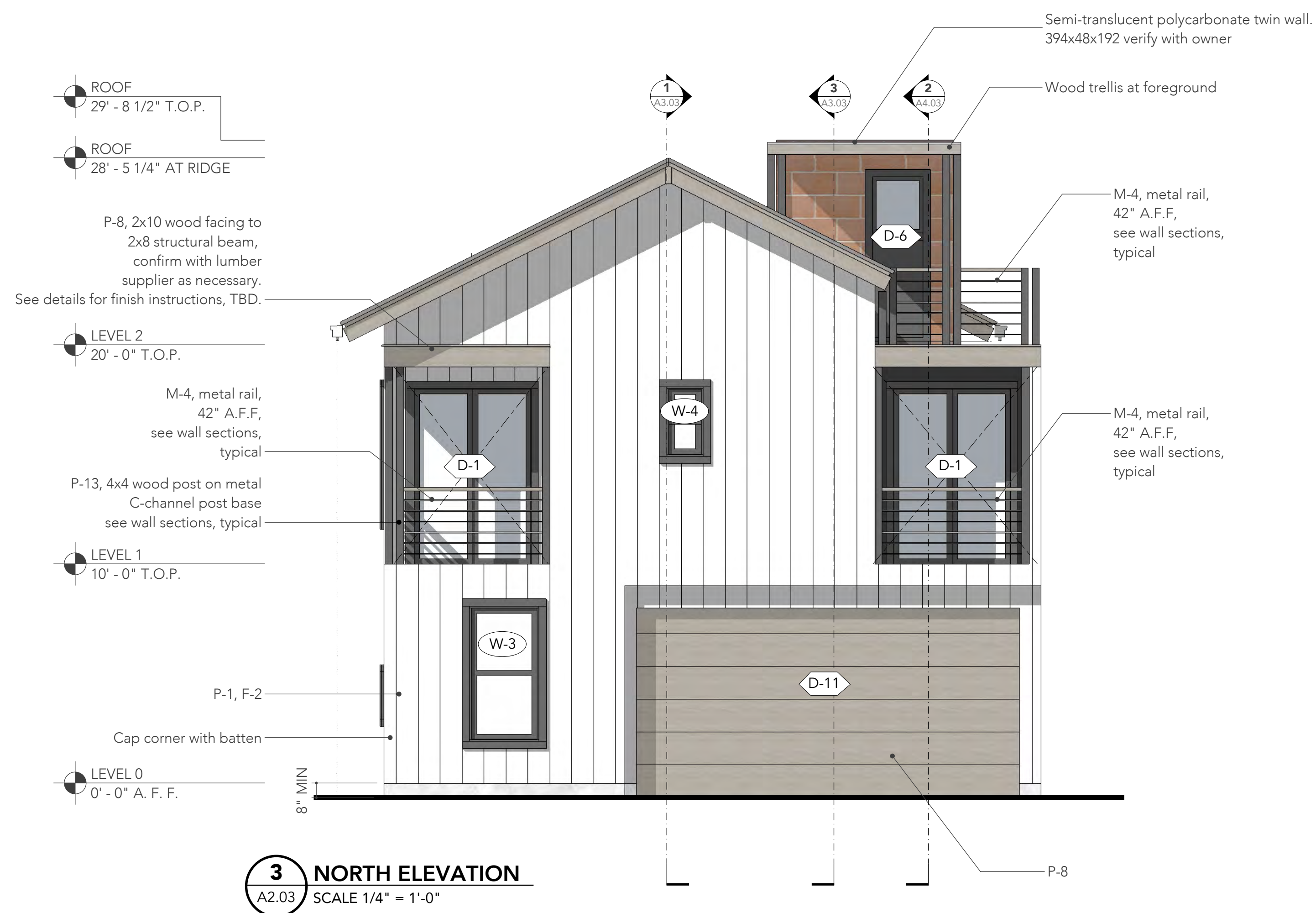
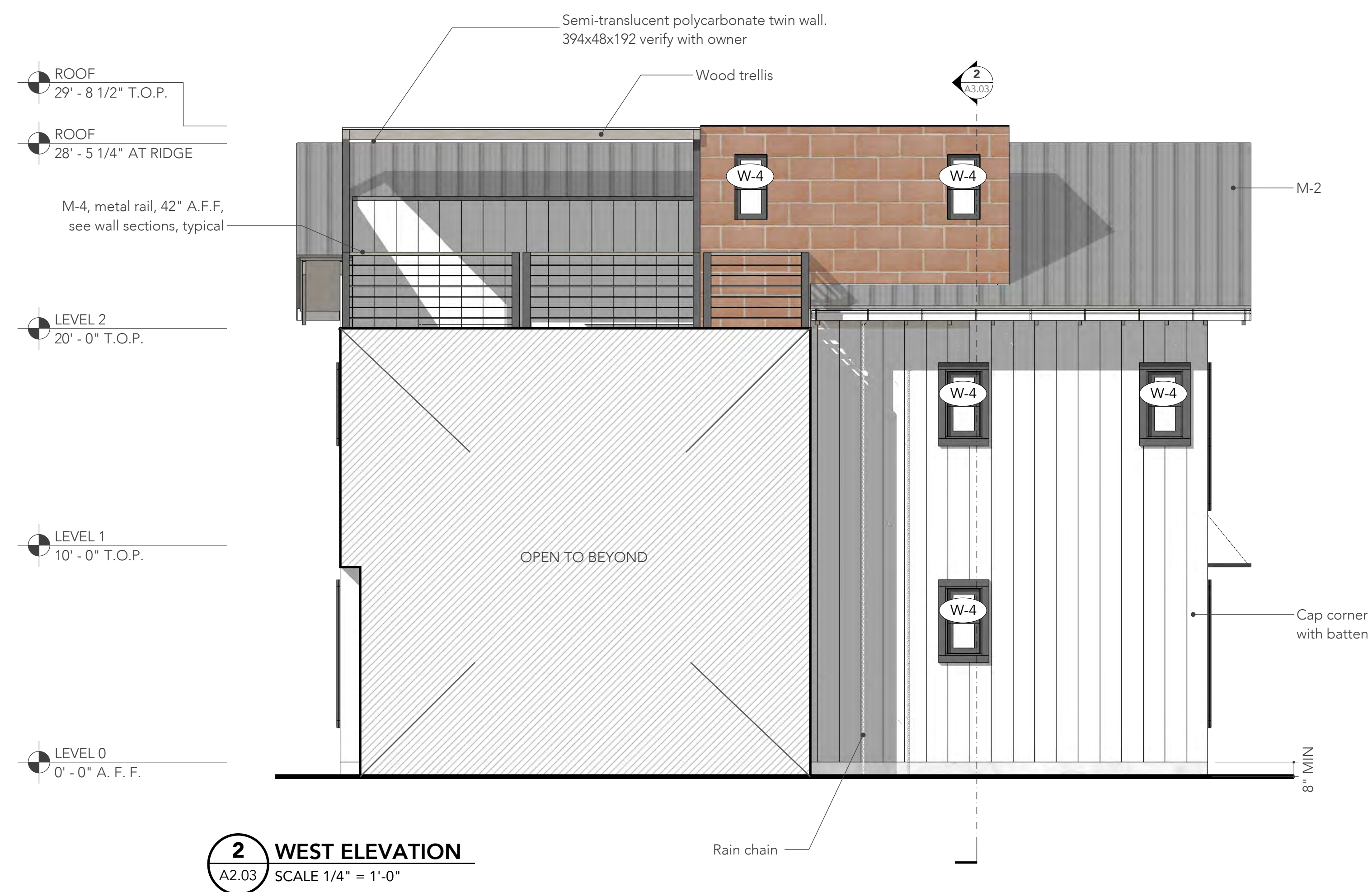
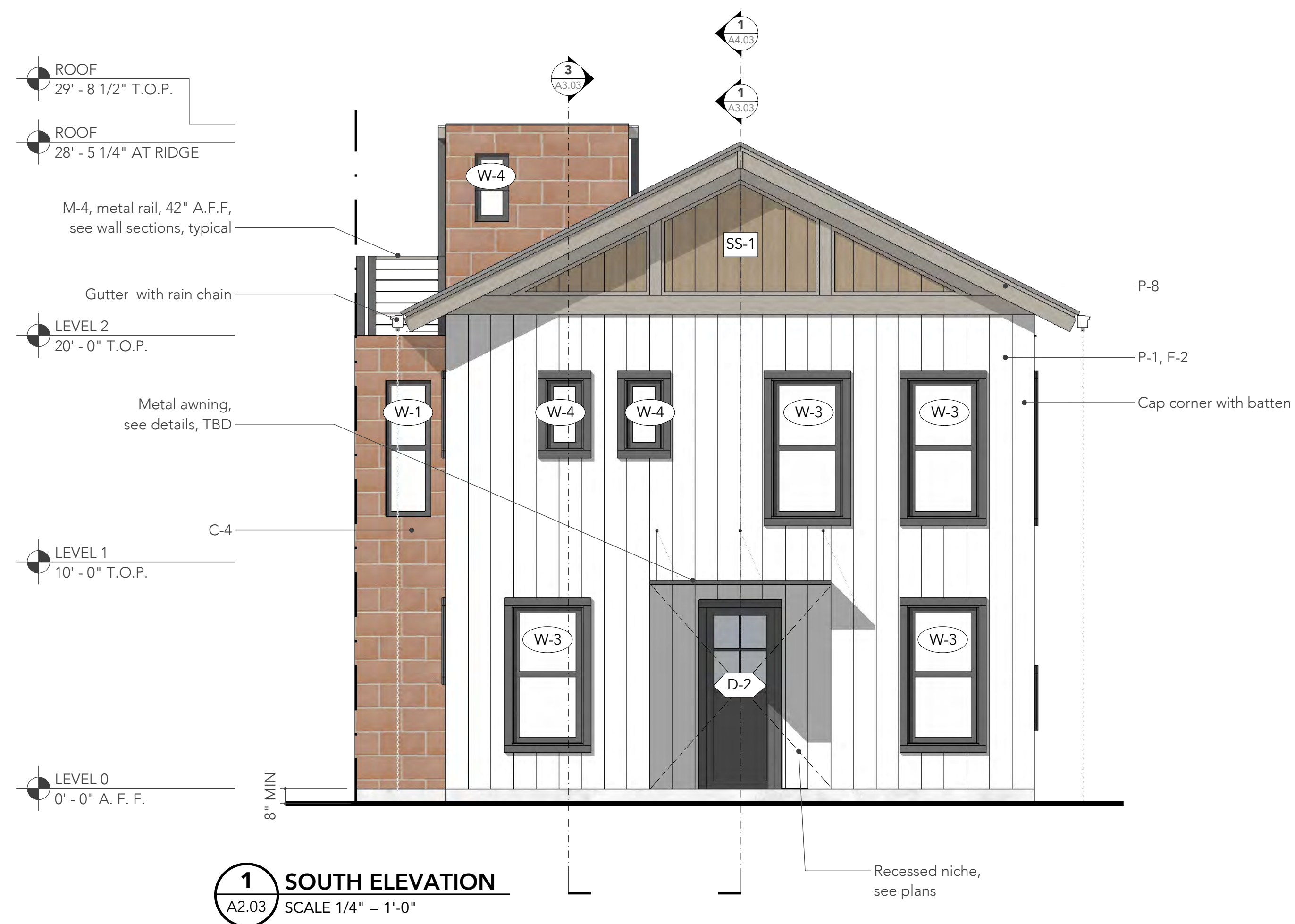
2 WEST ELEVATION
A2.02 SCALE 1/4" = 1'-0"



3 NORTH ELEVATION
A2.02 SCALE 1/4" = 1'-0"



4 EAST ELEVATION
A2.02 SCALE 1/4" = 1'-0"



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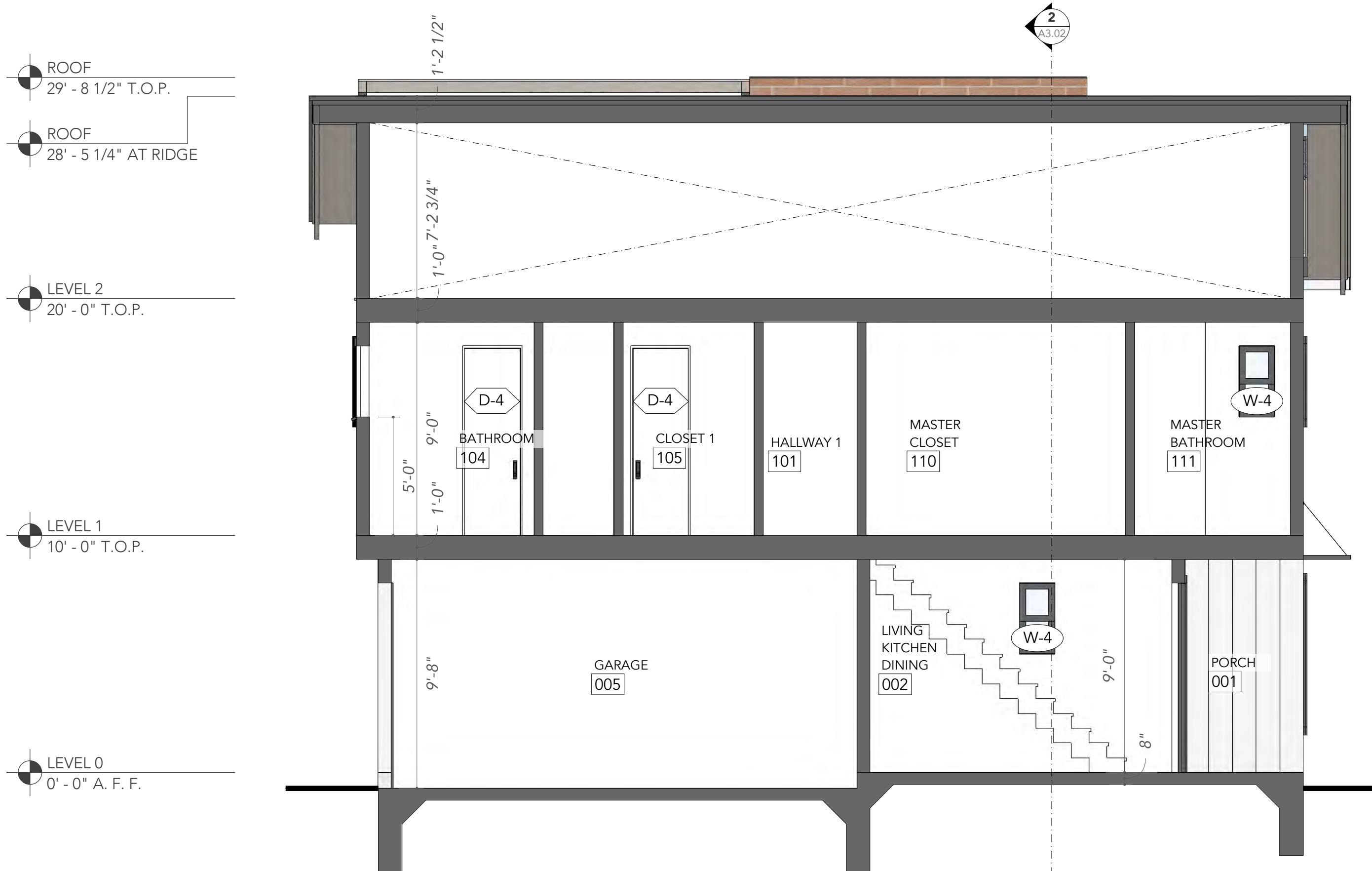
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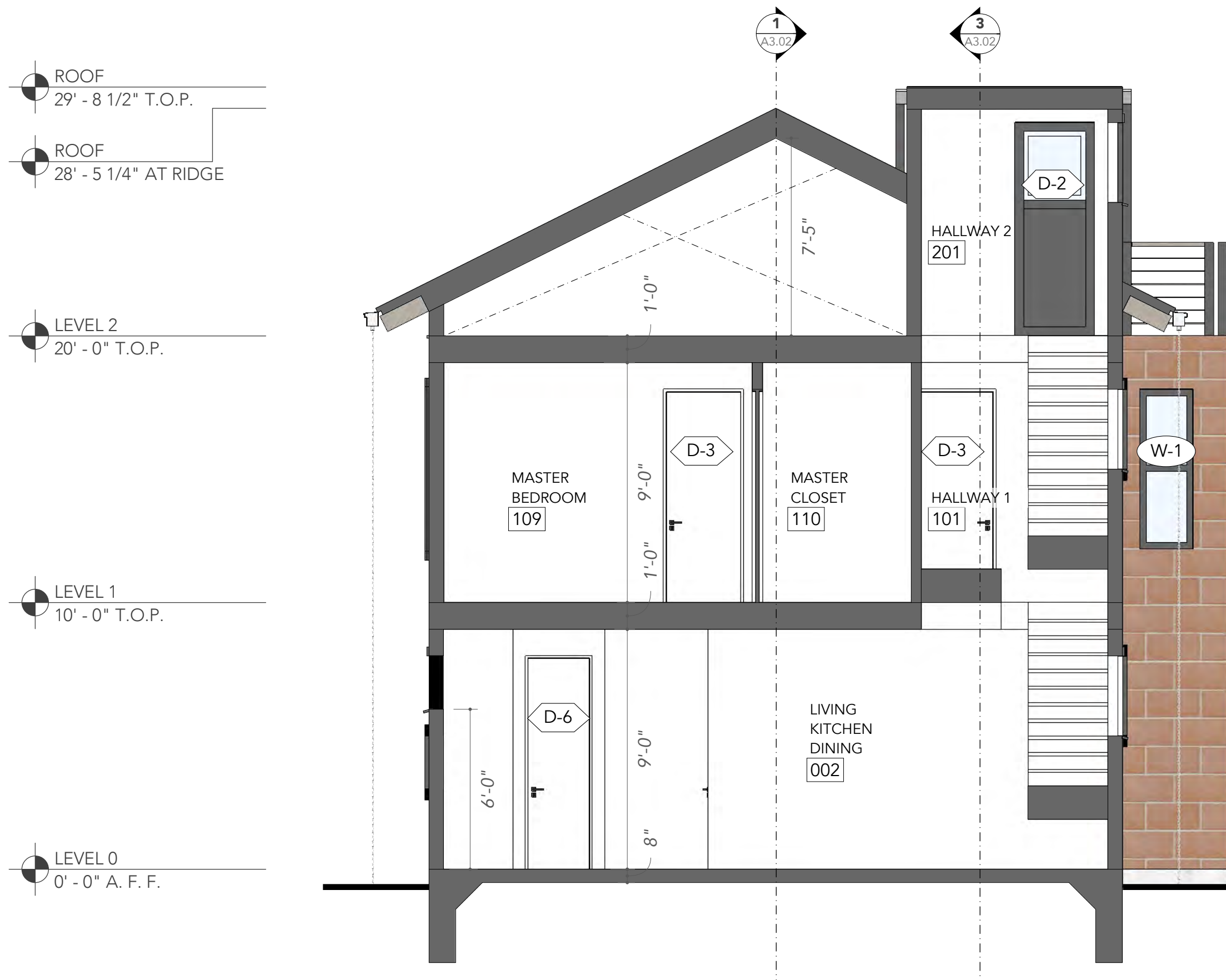
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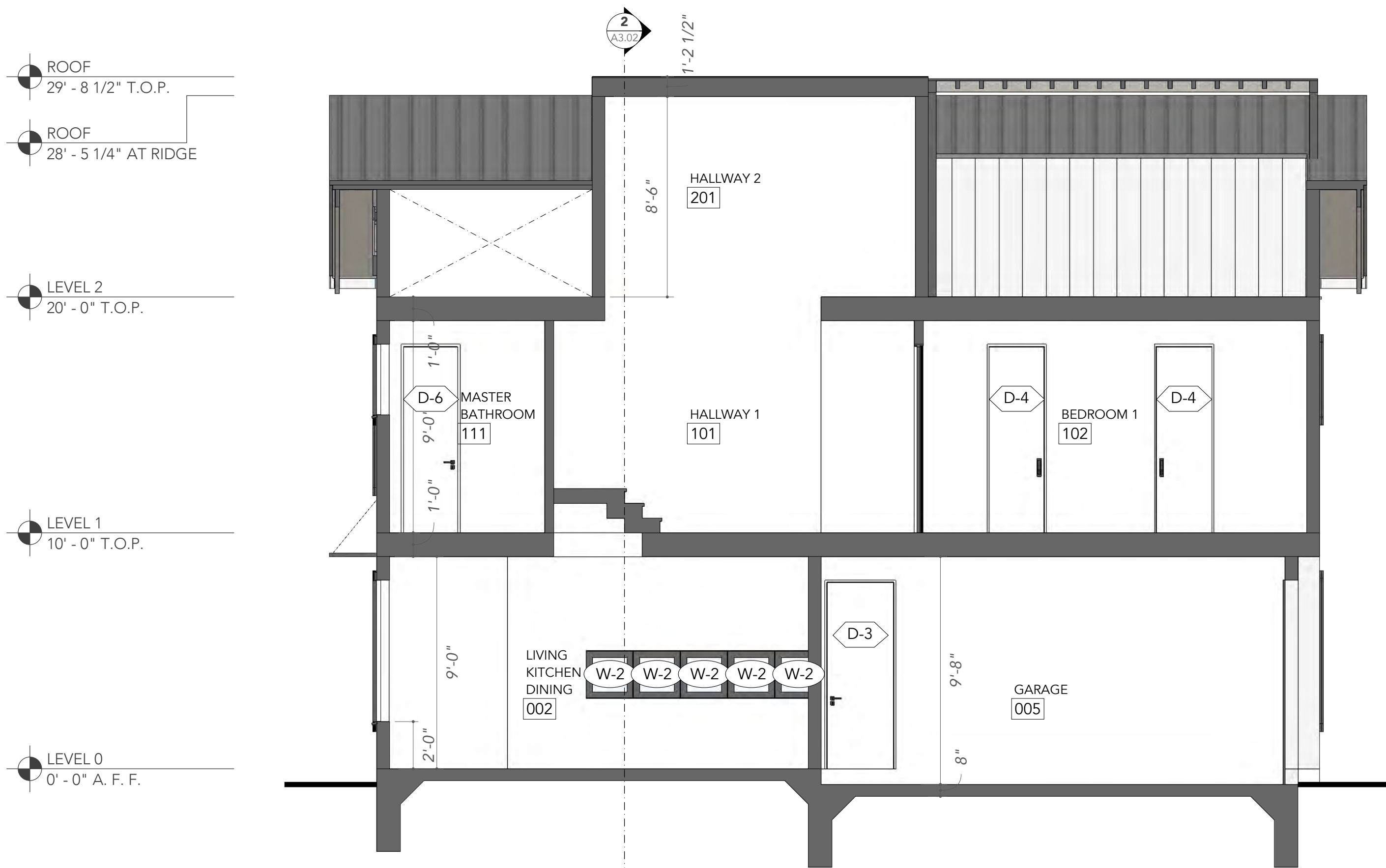
A3.02



1 SECTION A
A5.02 SCALE 1/4" = 1'-0"



2 SECTION B
A5.02 SCALE 1/4" = 1'-0"



3 SECTION C
A5.02 SCALE 1/4" = 1'-0"

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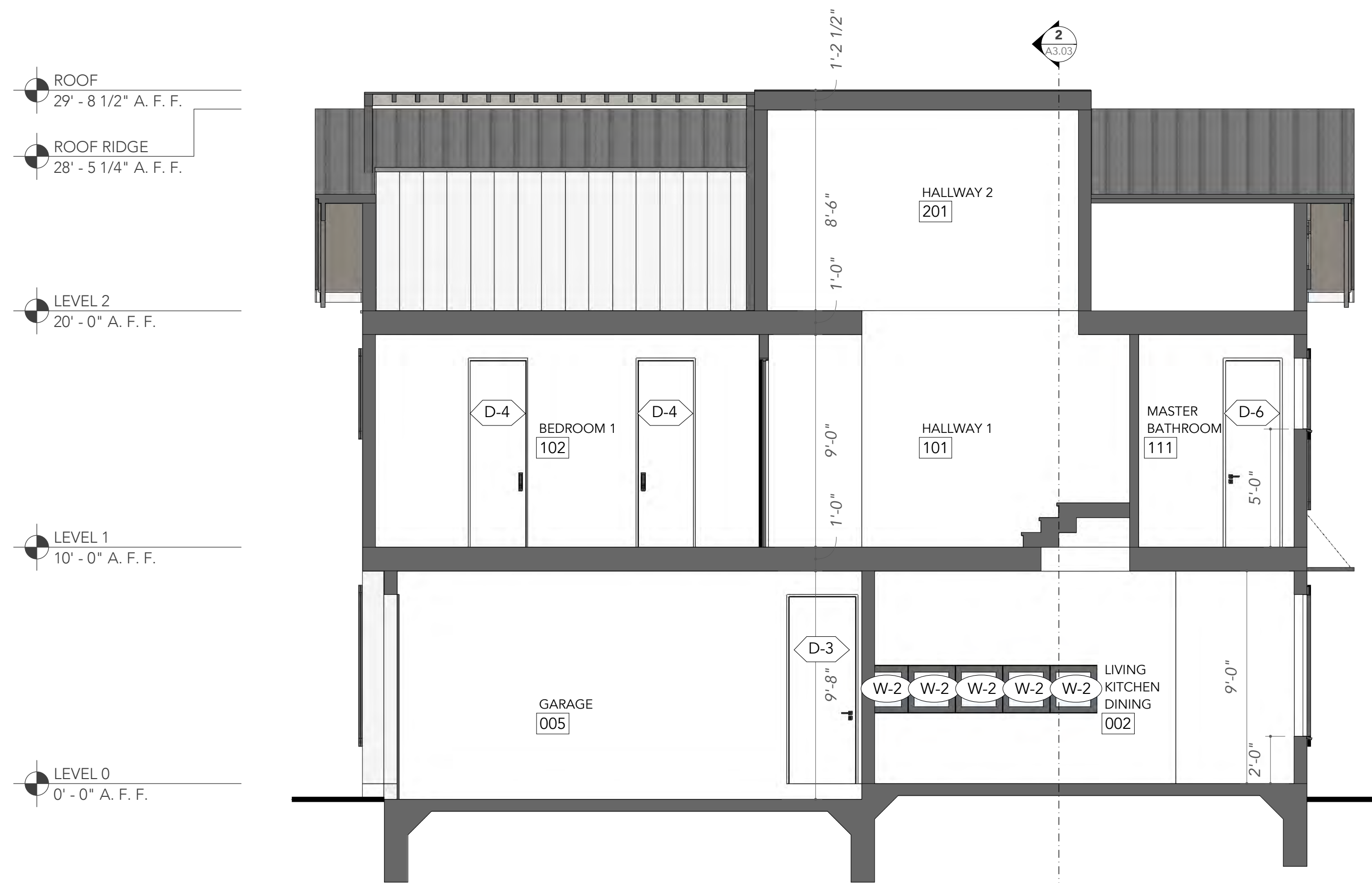
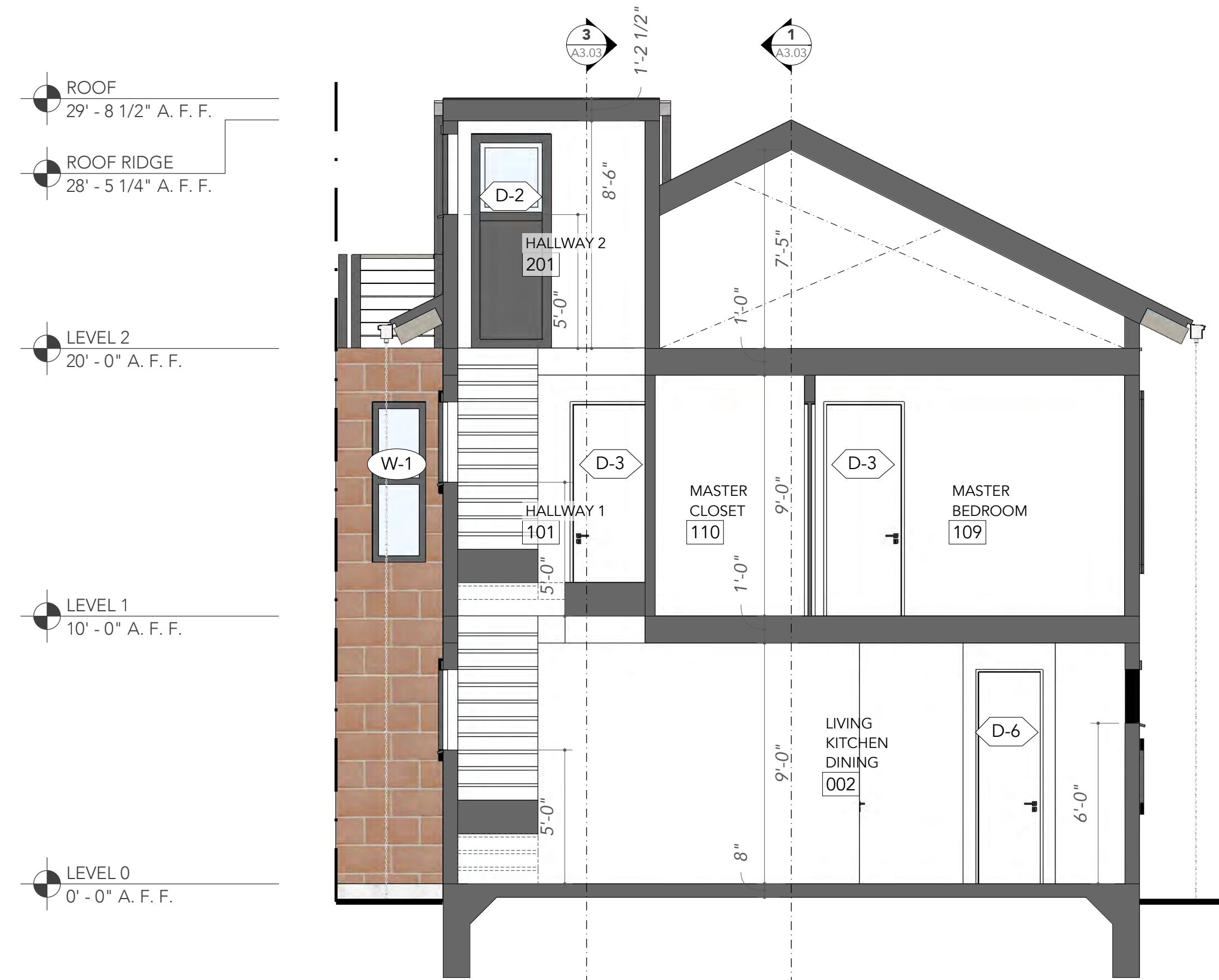
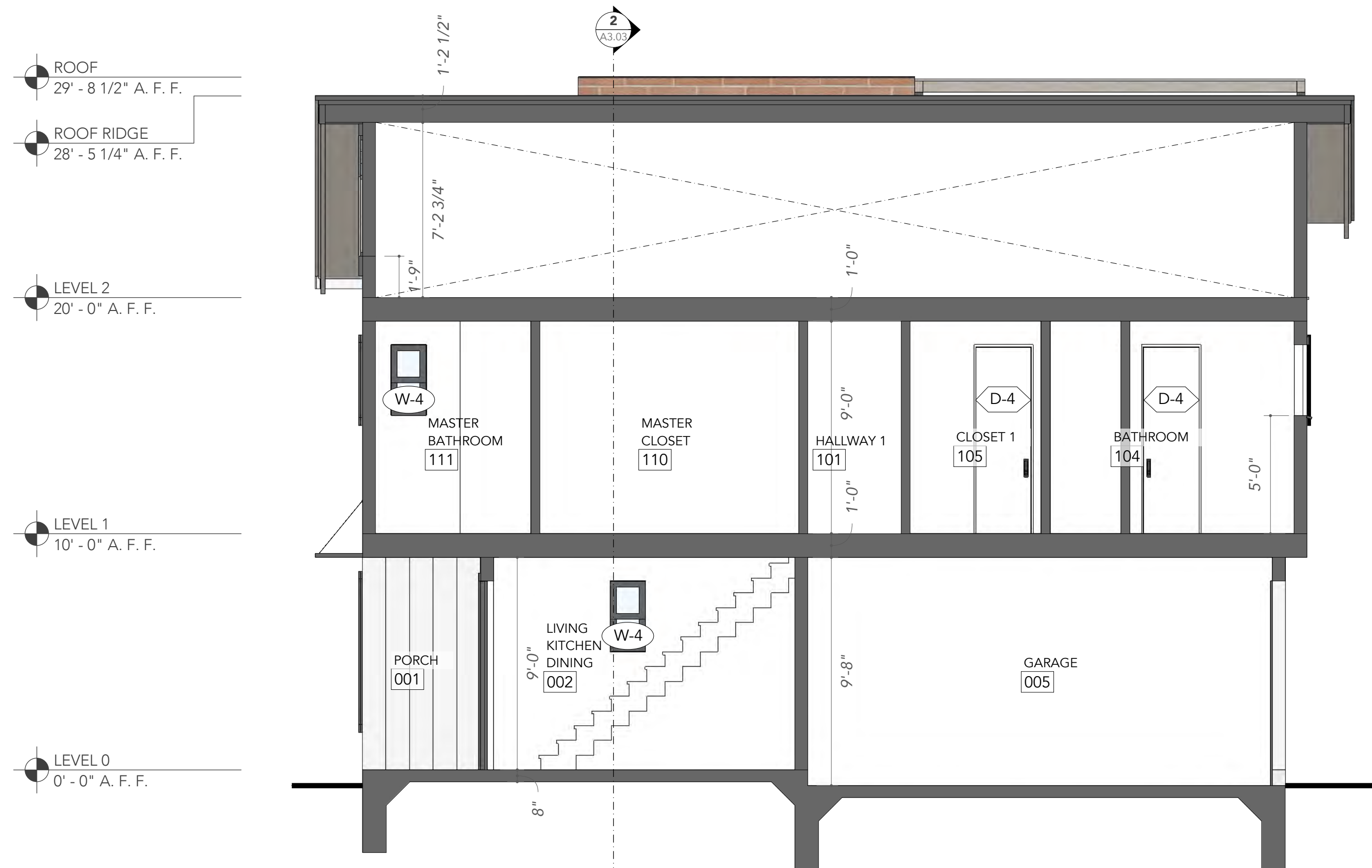
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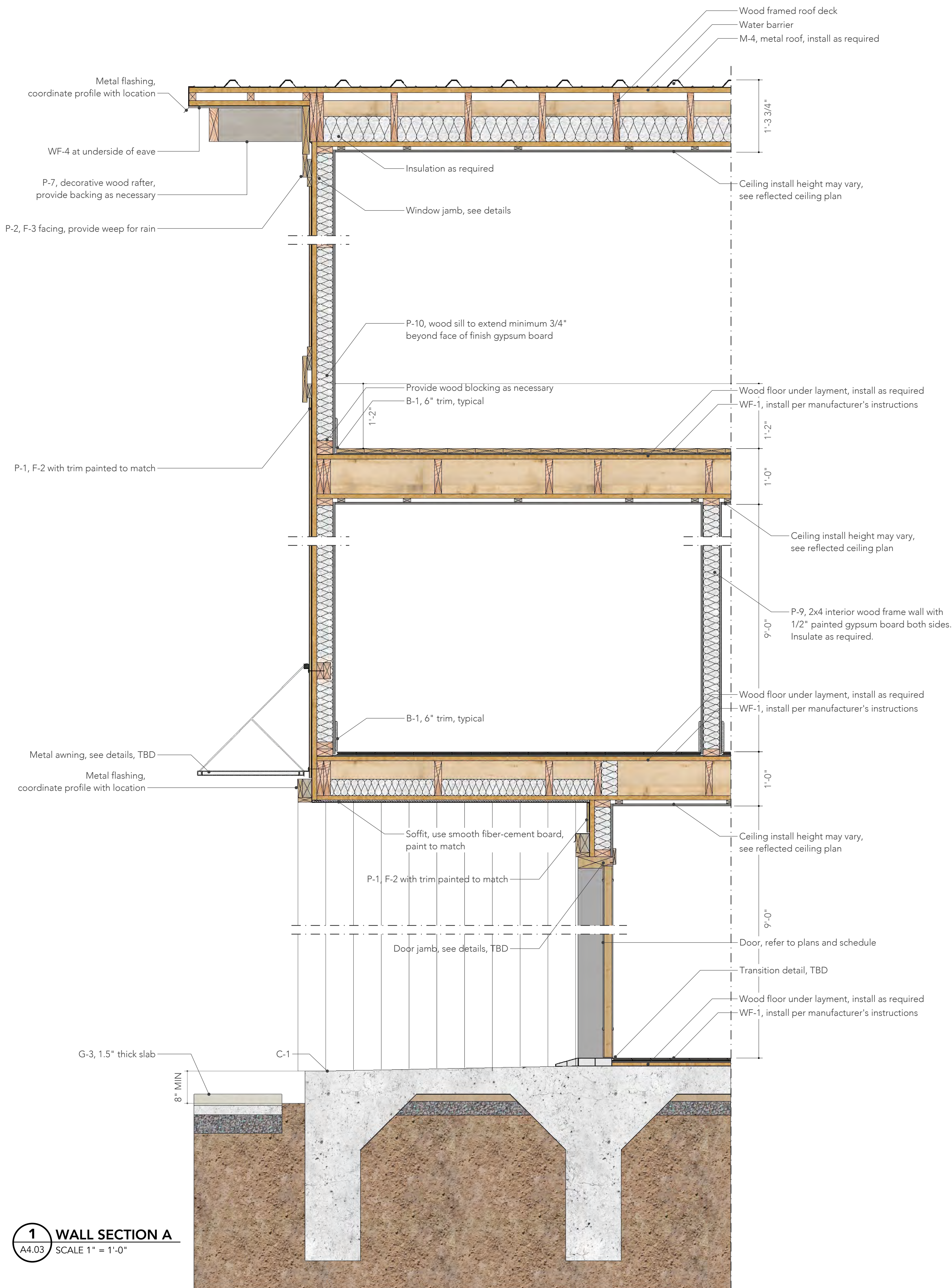
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Farm House 2

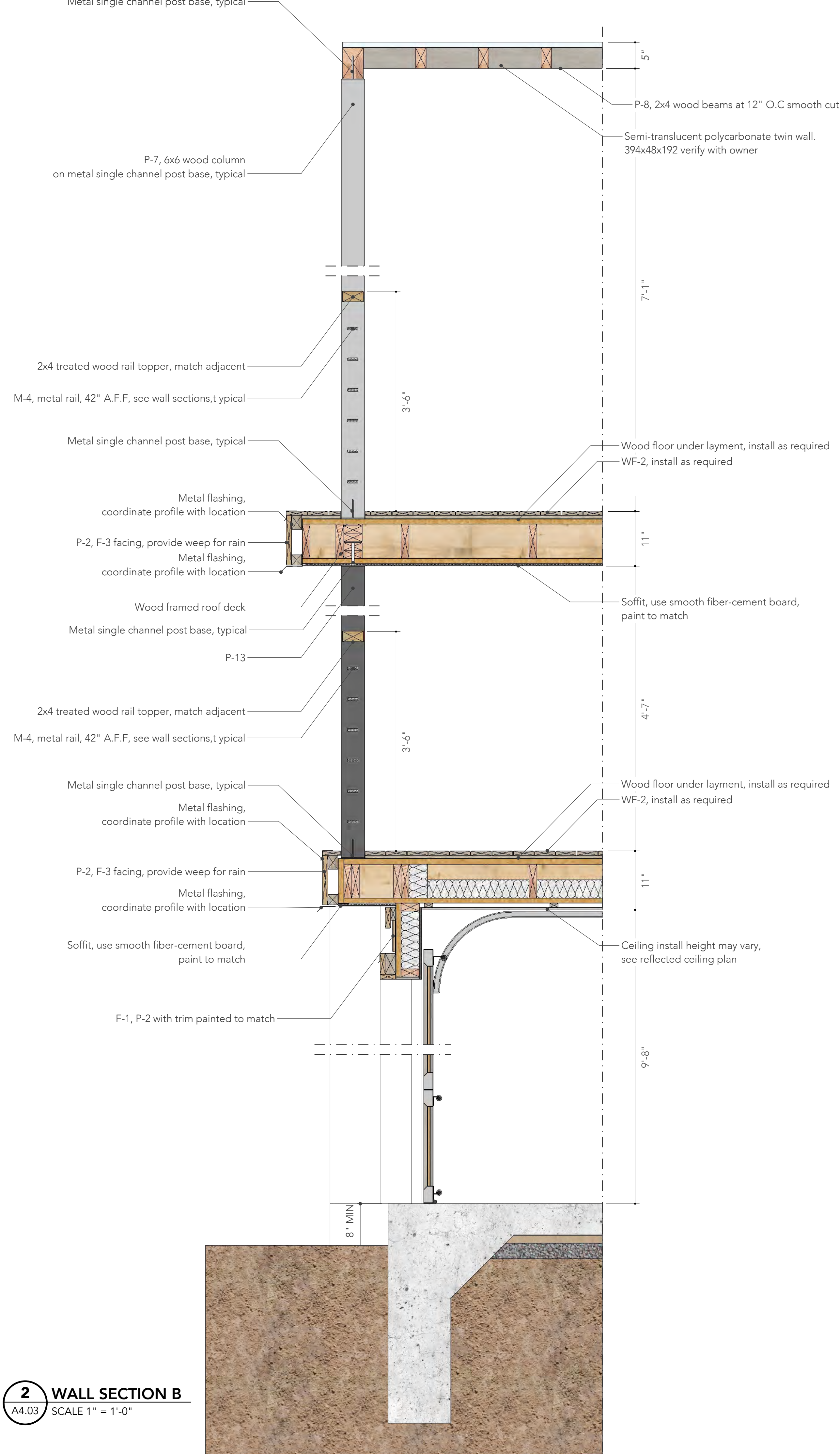
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A3.03





1 WALL SECTION A
A4.03 SCALE 1" = 1'-0"



2 WALL SECTION B
A4.03 SCALE 1" = 1'-0"

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A4.03

Materials and Finish Schedule						
Code	Material	Manufacturer	Description		Dimensions	Additional Information
			Series	Color		
B-1	Trim at Base	-	-	-	6" x 1/2"	Painted P-10, see interior elevations
B-2	Trim at Door	-	-	-	3 1/2" x 1/2"	Painted P-10, see interior elevations
C-1	Concrete	Custom	-	-	-	Poured floor, protect at garage, see plans
C-2	Concrete	Custom	-	-	4" deep	Pavers, see site plan
C-3	Concrete	Custom	-	-	2'-6" x 5'-0" UON	Pavers, see site plan
C-4	Clay	-	Brick	D'Hanis	4" x 8" x 12"	Or equivalent
G-1	Glass	-	-	Green	-	Seamless silicon joints, verify with owner
F-1	Fibercement Siding	Hardie Board	-	-	3/4" thick	4" exposed, smooth finish, mitered corners
F-2	Fibercement Siding	Hardie Board	-	-	-	12" wide board with 1 1/2" wide batten
F-3	Fibercement Board	Hardie Board	-	-	1/2" thick	Solid board, eave underside
M-1	Metal Roof Panel	-	Standing Seam	Light Grey	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-2	Metal Roof Panel	-	Standing Seam	Charcoal	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-3	Metal Column	-	-	-	4" x 4" square	Painted to match adjacent
M-4	Metal Rail	-	-	-	1" x 3" square	Painted to match adjacent
M-5	Metal Roof Panel	-	PBU	-	36" wide panel	3/4" rib height, 26 gauge
P-1	Paint	Custom	-	Farm White	-	Walls, see exterior elevations
P-2	Paint	Custom	-	Light Grey	-	Walls, see exterior elevations
P-3	Paint	Custom	-	Charcoal	-	Walls, see exterior elevations
P-4	Paint	Custom	-	Dark Grey	-	Walls, see exterior elevations
P-5	Paint	Custom	Stain	Darker, rich	-	For siding, see exterior elevations
P-6	Paint	Custom	-	Off White	-	Matte, for ceiling
P-7	Paint	Custom	-	Dark Walnut	-	Stain
P-8	Paint	Custom	-	Aged Oak	-	Stain
P-9	Paint	Custom	Matte Finish	Eggshell	-	Walls, see interior elevations
P-10	Paint	Custom	High Gloss	Extra White	-	Baseboards
P-11	Paint	Custom	-	Rustic Sage	-	Stain
P-12	Paint	Custom	-	Grey	-	Walls, see exterior elevations
P-13	Paint	Custom	-	Dark Grey	-	To match window frame
P-14	Paint	Custom	-	Blue	-	High gloss finish
Q-1	Quartz Countertop	Casahoma	-	Torquay	3" deep thick	Bullnose edge, for transitional style
Q-2	Quartz Countertop	Casahoma	-	Torquay	1.25" thick	Bullnose edge, for modern style
T-1	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor
T-2	Tile	-	-	-	8" x 8"	Stacked, for mudroom
T-3	Tile	-	-	-	8" x 8"	Stacked, for bathroom wall
T-4	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor, dark
T-5	Tile	Travertine	-	-	4"x12"	Staggered, for kitchen backsplash, transitional
WF-1	Wood Floor	Daltile	Willow Bend	WB03	-	Dark Brown
WF-2	Wood Decking	Tigerwood	-	-	20" x 20"	For exterior patio, smooth
WF-3	Wood Trellis	-	-	-	-	-
WF-4	Wood Siding	-	No. 1 Grade	Cedar	1/2" x 4-1/2"	Underside of eave, smooth and stained
WF-5	Wood Siding	Custom	Tongue and Groove	Darker, rich	1/2" thick	4.5" exposed trim similar to F-1 or F-2 siding
S-1	Stone - Stucco	Custom	Flat Finish	-	-	Walls, painted P-3 see exterior elevations
S-2	Steel Tubing	-	-	-	Varies	See elevations and details

Windows and Doors Schedule							
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Windows							
W-1	Single hung window	Vynil / glass	2'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-2	Picture window	Vynil / glass	2'-0" x 2'-0"	6'-0"	Ply Gem	1500 Series Windows	-
W-3	Single hung window	Vynil / glass	3'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-4	Single hung window	Vynil / glass	1'-6" x 3'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-5	Awning window	Vynil / glass	3'-0" x 2'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-6	Pitcture window	Vynil / glass	1'-11" x 2'-0"	3'-0"	Ply Gem	1500 Series Windows	-
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Doors							
D-1	3-panel sliding door	Aluminum / glass	7'-6" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-2	Single swing ext. door	Steel / glass	3'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-3	Single swing int. door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-4	Pocket door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-5	4-panel sliding door	Aluminum / glass	10'-0" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-6	Single swing int. door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-7	Double swing int. door	Wood	2'-9" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-8	Bi-fold door	Wood	6'-3" x 8'-0"	-	Masonite	Heritage Primed White	Solid core door, painted P-10
D-9	Pocket door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-10	Garage door	Aluminum	18'-0" x 8'-0"	-	Custom	-	Builder to provide options to Owner
D-11	Garage door	Aluminum	17'-5" x 8'-8"	-	Custom	-	Not used
D-12	Garage door	Aluminum	10'-0" x 8'-0"	-	Custom	-	Not used
D-13	Single swing int. door	Wood	2'-0" x 8'-0"	-	Masonite	Heritage Primed White	Not used
D-14	Double swing ext. door	Steel / glass	5'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-15	2-panel sliding door	Aluminum / glass	5'-4" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-16	2-panel int. sliding door	Wood	6'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10

Interior Room Finish Schedule												
No.	Room Name	Floor	Base	NW	SW	SE	NE	Ceiling	Counters	Millwork	Remarks	
001	Porch	-	-	-	-	-	-	-	-	-	-	-
002	Living/Kitchen/Dining	-	-	-	-	-	-	-	-	-	-	-
003	1/2 Bathroom	-	-	-	-	-	-	-	-	-	-	-
004	Laundry	-	-	-	-	-	-	-	-	-	-	-
005	Garage	-	-	-	-	-	-	-	-	-	-	-
101	Hallway 1	-	-	-	-	-	-	-	-	-	-	-
102	Bedroom 1	-	-	-	-	-	-	-	-	-	-	-
103	Patio 1	-	-	-	-	-	-	-	-	-	-	-
104	Bathroom	-	-	-	-	-	-	-	-	-	-	-
105	Closet 1	-	-	-	-	-	-	-	-	-	-	-
106	Bedroom 2	-	-	-	-	-	-	-	-	-	-	-
107	Patio 2	-	-	-	-	-	-	-	-	-	-	-
108	Closet 2	-	-	-	-	-	-	-	-	-	-	-
109	Master Bedroom	-	-	-	-	-	-	-	-	-	-	-
110	M. Closet	-	-	-	-	-	-	-	-	-	-	-
111	M. Bathroom	-	-	-	-	-	-	-	-	-	-	-
201	Hallway 2	-	-	-	-	-	-	-	-	-	-	-
202	Patio 3	-	-	-	-	-	-	-	-	-	-	-

Electrical Fixtures Schedule						
Code	Item	Description	Manufacturer	Model	Finish	Notes
L-1	Recessed can	-	-	-	-	-
L-2	Recessed can	-	-	-	-	-
L-3	Pendant	-	-	-	-	-
L-4	Sconce	Adjacent to mirror	-	-	-	-
L-5	Sconce	Interior / above mirror	-	-	-	-
L-6	Mirror	Big horizontal	-	-	-	-
L-7	Mirror	Square shaped	-	-	-	-
L-8	Mirror	Small vertical	-	-	-	-
L-9	Sconce	Exterior	-	-	-	-
L-10	Sconce	Exterior	-	-	-	-
L-11	LED Mirror	Big horizontal	-	-	-	-
L-12	LED Mirror	Square shaped	-	-	-	-
L-13	LED Mirror	Small vertical	-	-	-	-
L-14	Hanging fixture	-	-	-	-	-
L-15	Hanging fixture	-	-	-	-	-
L-16	Exhaust fan	-	-	-	-	-
L-17	Smoke detector	-	-	-	-	-
L-18	Ceiling fan with light	-	-	-	-	-
L-19	Ceiling fan with light	-	-	-	-	-
L-20	Flush mounted fixture	-	-	-	-	-
L-21	HVAC register Supply	-	-	-	-	-
L-22	HVAC register Return	-	-	-	-	-

Fixtures and Equipment Schedule						
Code	Item	Description	Manufacturer	Model	Finish / Material	Notes
Bathrooms/Kitchen						
F-1	Kitchen Sink	-	Kohler	Vault™ K-3996-4-NA	Stainless Steel	-
F-2	Kitchen Faucet	-	Kohler	Sensate™ K-72218-CP	Polished Chrome	-
F-3	Faucet with handles	For master bathroom	Kohler	Composed® K-73060-3-CP	Polished Chrome	-
F-4	Faucet	For other bathrooms	Kohler	Components™ K-77967-CP	Polished Chrome	-
F-5	Faucet	For Wagon 1/2 Bath	Kohler	Purist® Tall K-14404-4A-SN	Vibrant Polished Nickel	-
F-6	Faucet Handles	For other bathrooms	Kohler	Components™ K-77974-9-CP	Polished Chrome	-
F-7	Sink	For Wagon 1/2 Bath	Kohler	Vox® Round K-14800-0	Biscuit	-
F-8	Sink	For other bathrooms	Kohler	Caxton® Rectangle K-20000-0	White	-
F-9	Toilet	-	Kohler	Santa Rosa™ K-3810-0	White ceramics	-
F-10	Shower Head	-	Kohler	Pinstripe® K-13137-AK-CP	Polished chrome	-
F-11	Shower Handle	-	Kohler	Components™ K-T78016-4-CP	Polished chrome	-
F-12	Tub	Wall mounted	Kohler	Villager® K-716-0	White	-
F-13	Tub faucet	Wall mounted	Kohler	Purist® K-T14415-5	Chrome	-
F-14	Tissue Holder	-	Kohler	Components™ K-78382-CP	Polished chrome	-
F-15	Towel bar - single	-	Kohler	Components™ K-78377-CP	Polished chrome	-
F-16	Towel bar - double	-	Kohler	Components™ K-78379-CP	Polished chrome	-
F-17	Tub	-	Kohler	Archer® K-1125-LA-0	White	-
F-18	Tub	-	Kohler	Mariposa® K-1242-RA-0	White	-
Code	Item	Description	Manufacturer	Model	Finish / Material	-
Kitchen						
E-1	Refrigerator	-	Bosch	Benchmark® B36BT830NS	-	-
E-2	Stove & Oven	-	Bosch	Benchmark™ HIIP054U	Stainless steel	-
E-3	Stove hood	Island hood	Bosch	800 Series HIB82651UC	Stainless steel	-
E-4	Dishwasher	Fully-integrated dishwasher	Bosch	Serie 6 MV68TD06G	-	-
E-5	Microwave	Drawer Microwave	Bosch	800 Series 24" HMD8451UC	Stainless steel	-
E-6	Wine Refrigerator	-	JennAir	JUB24FLERS	Black / metallic	-
E-7	Washer	-	Bosch	800 Series WAW285H2UC	White	-
E-8	Dryer	-	Bosch	800 Series WTG86402UC	White	-
E-9	Stove hood	Wall hood	Bosch	800 Series DPH36652UC	Stainless steel	-

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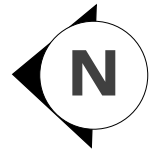
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Sheet Contents:
Schedules,
Farm House

Sheet Number:

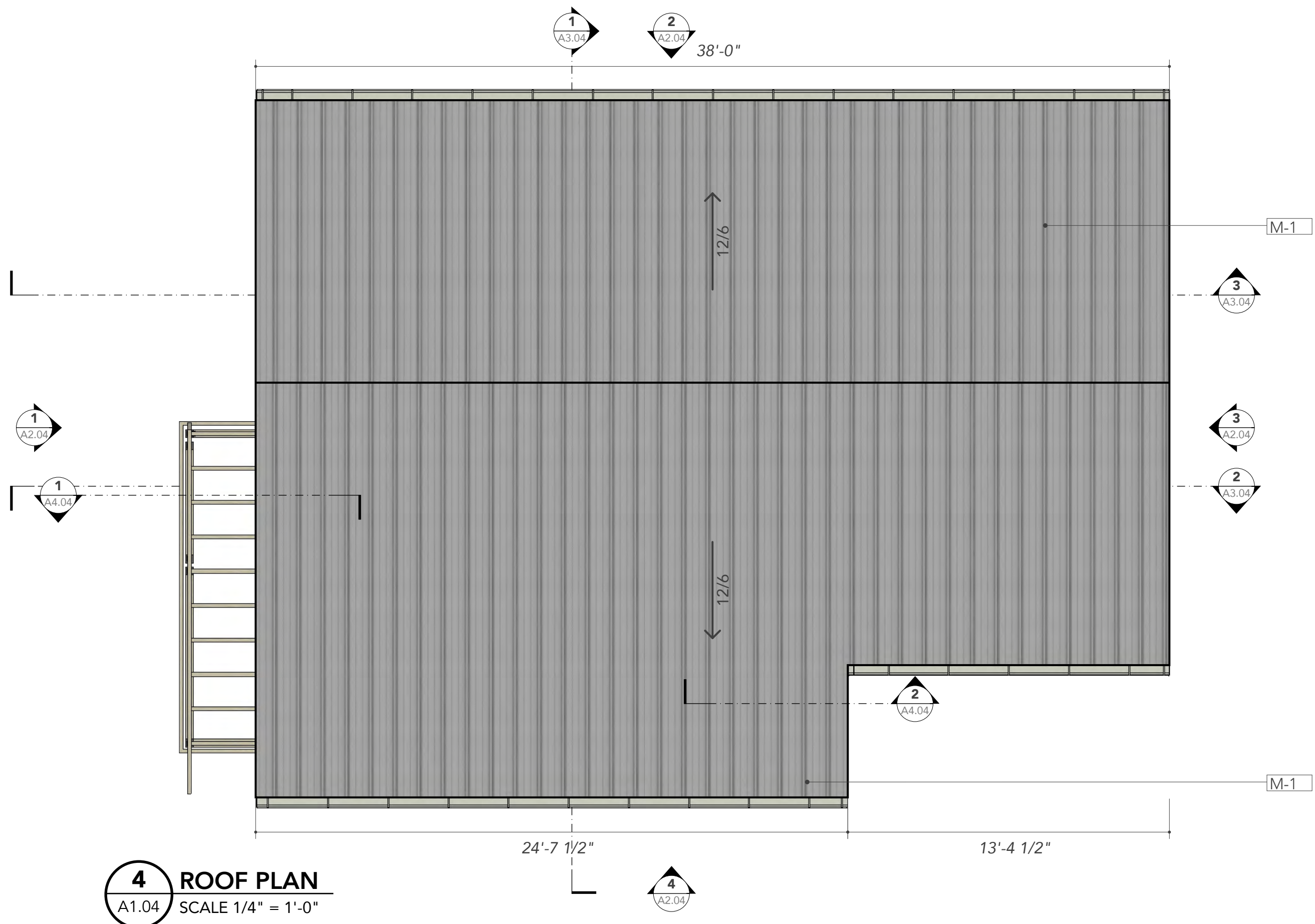
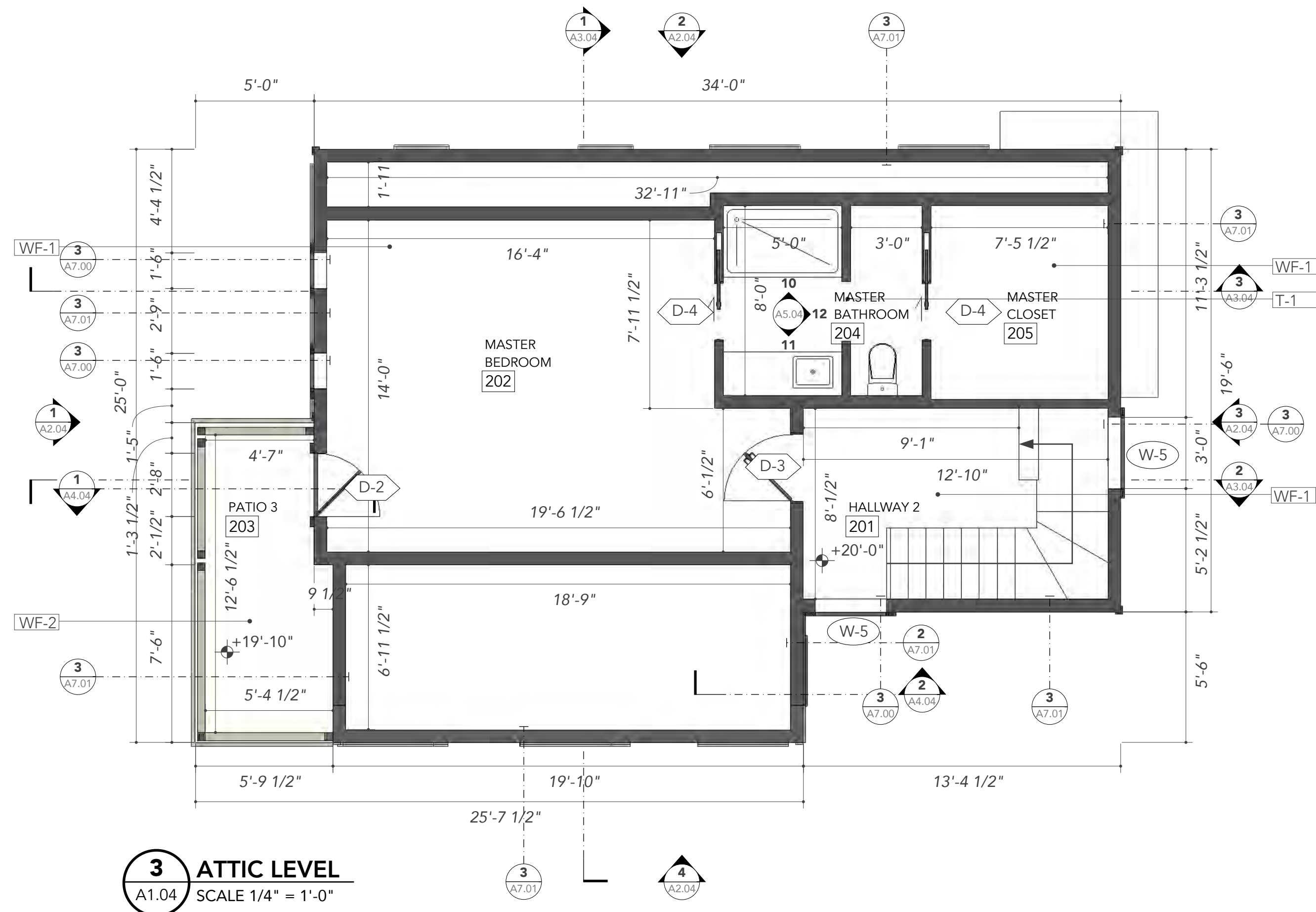
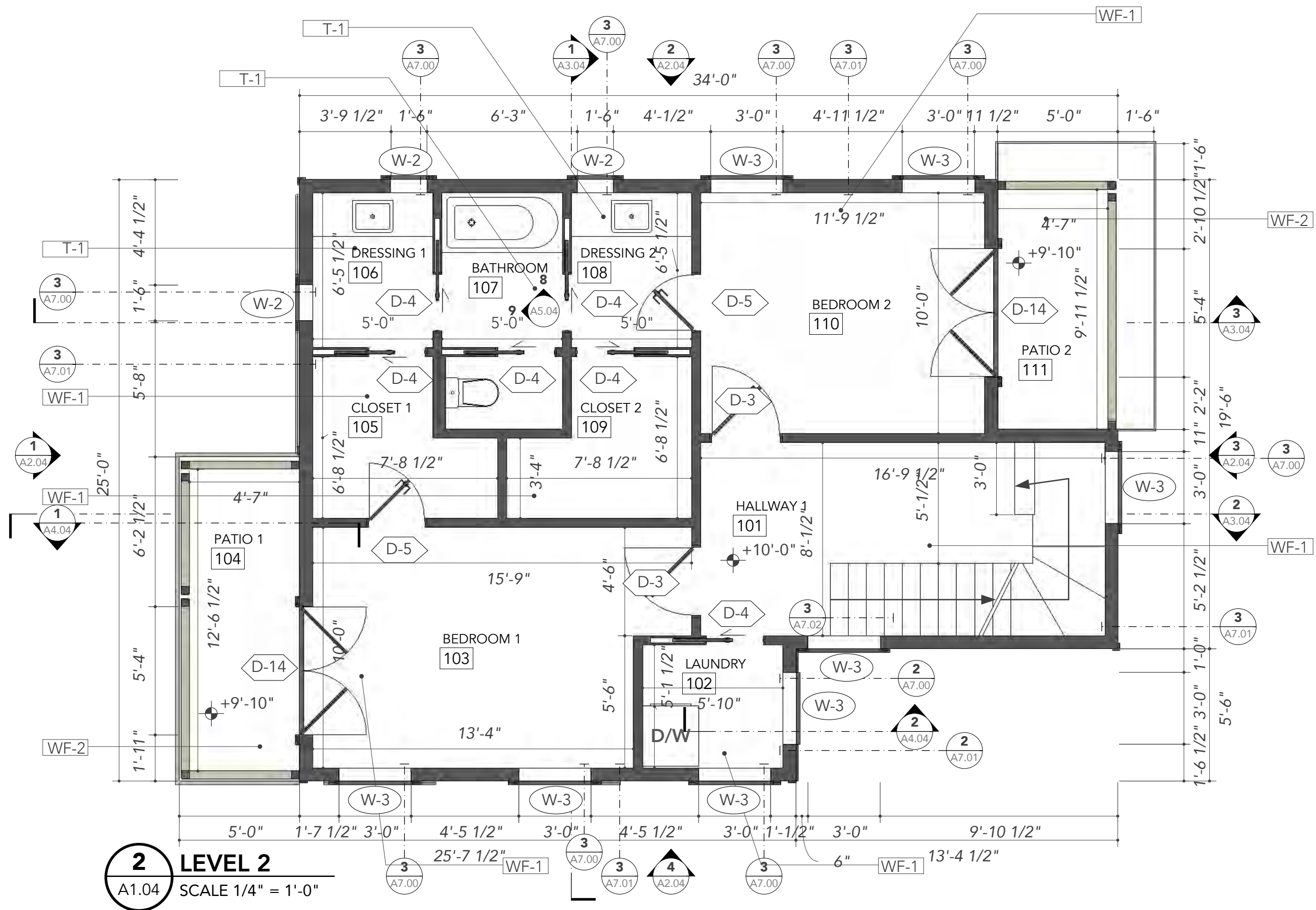
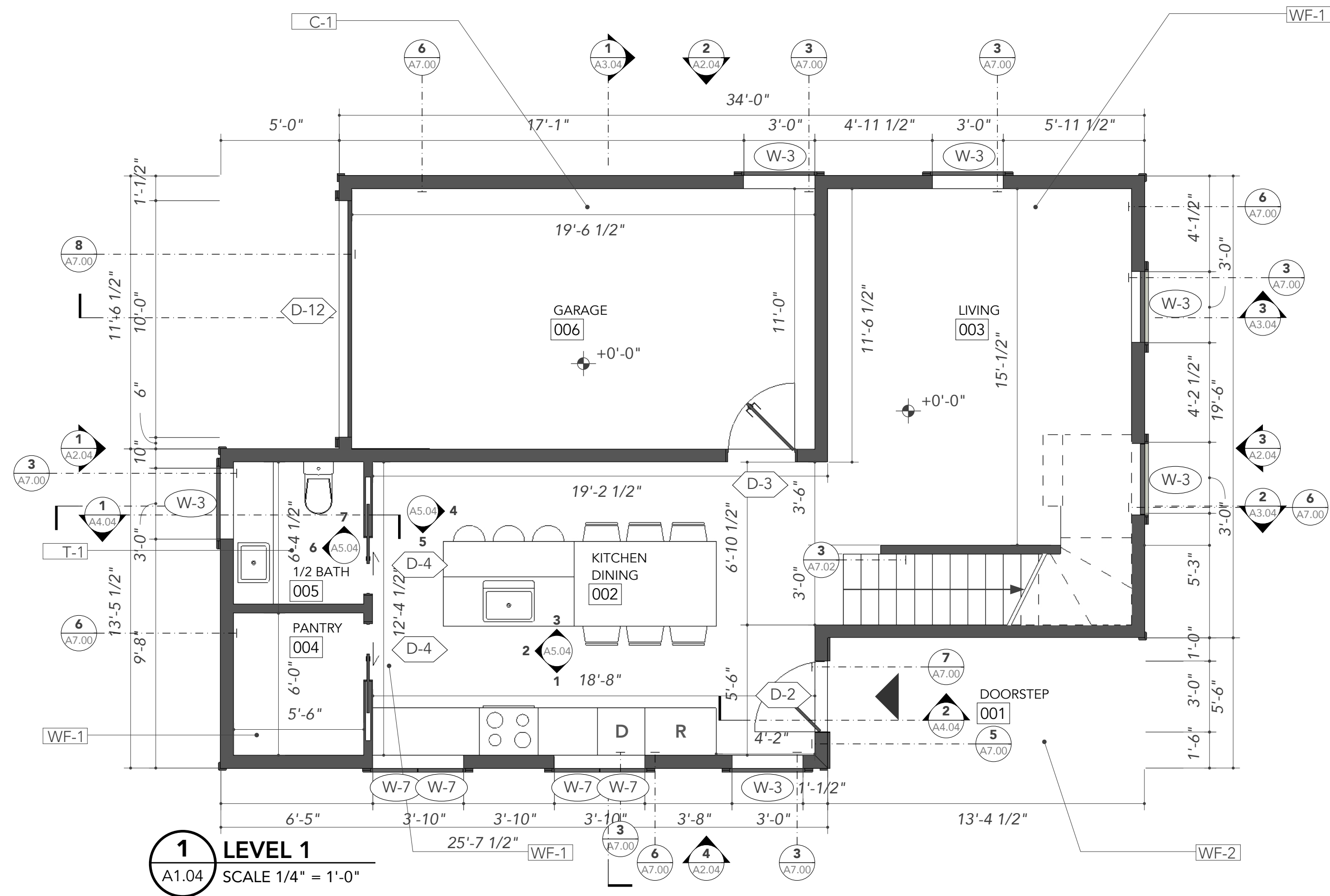


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The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXX

Issue title:
For HDRC COA

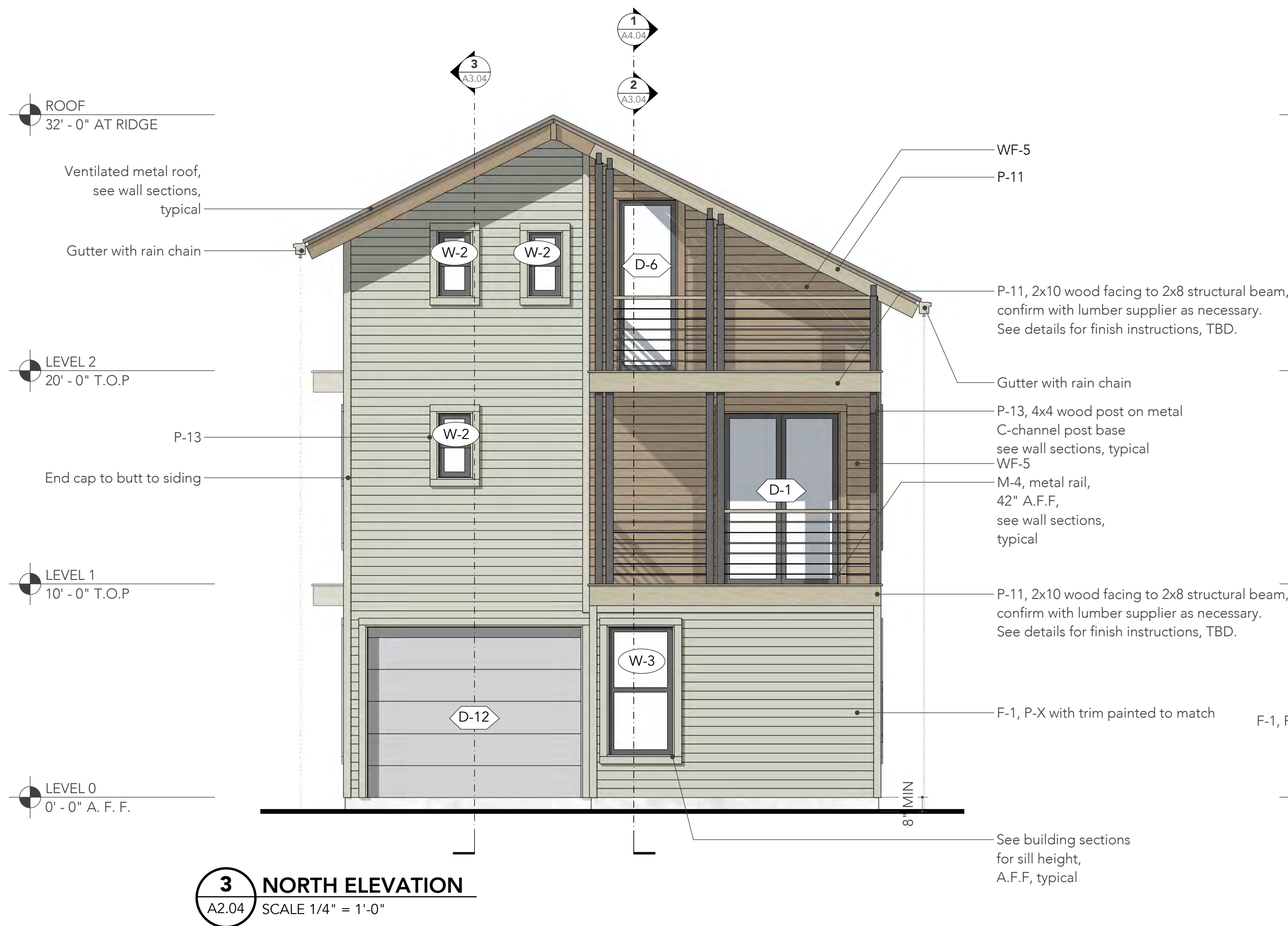
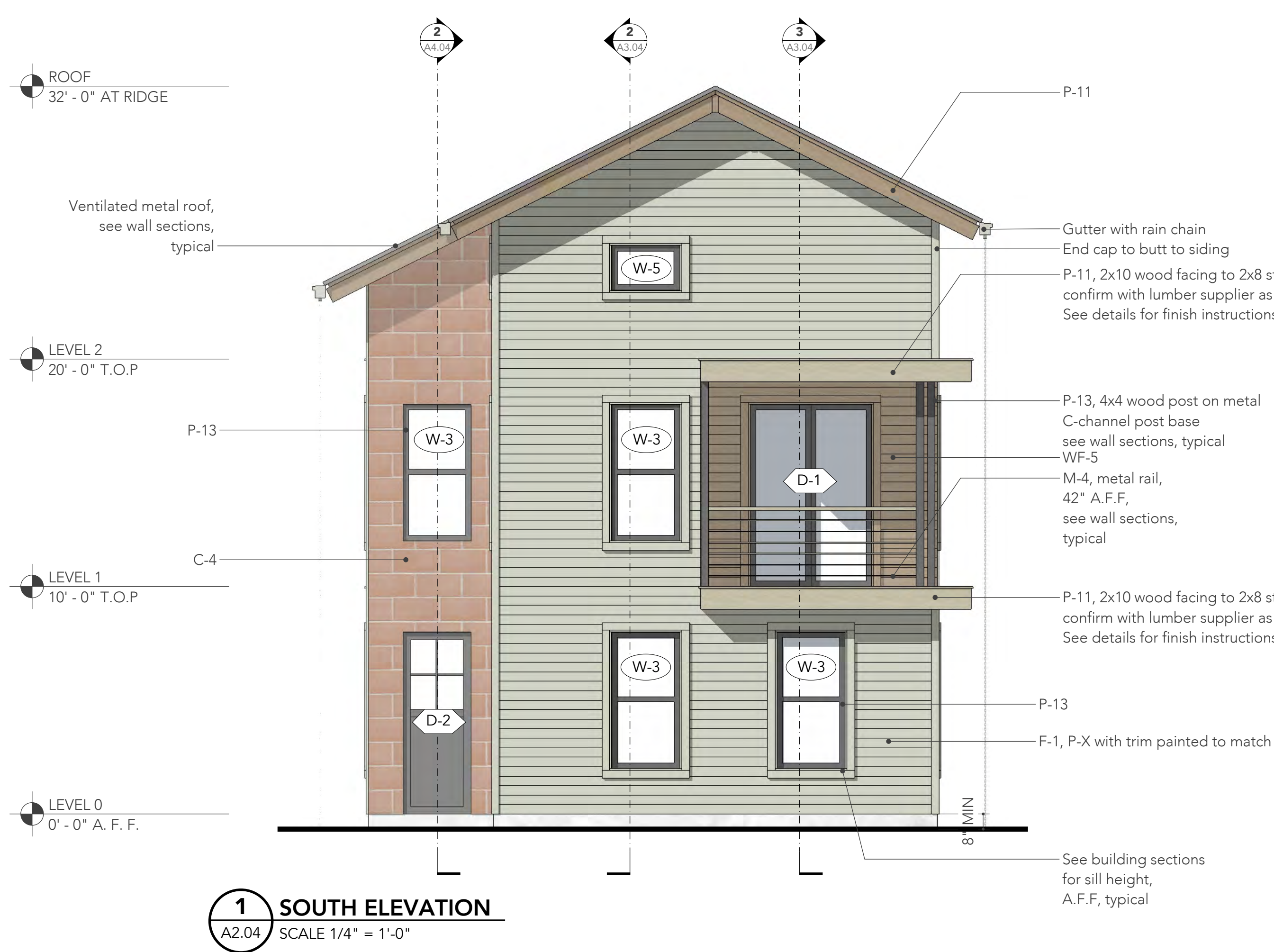
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Sheet Contents:
Floor Plans,
Court House

Sheet Number:

A1.04



The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

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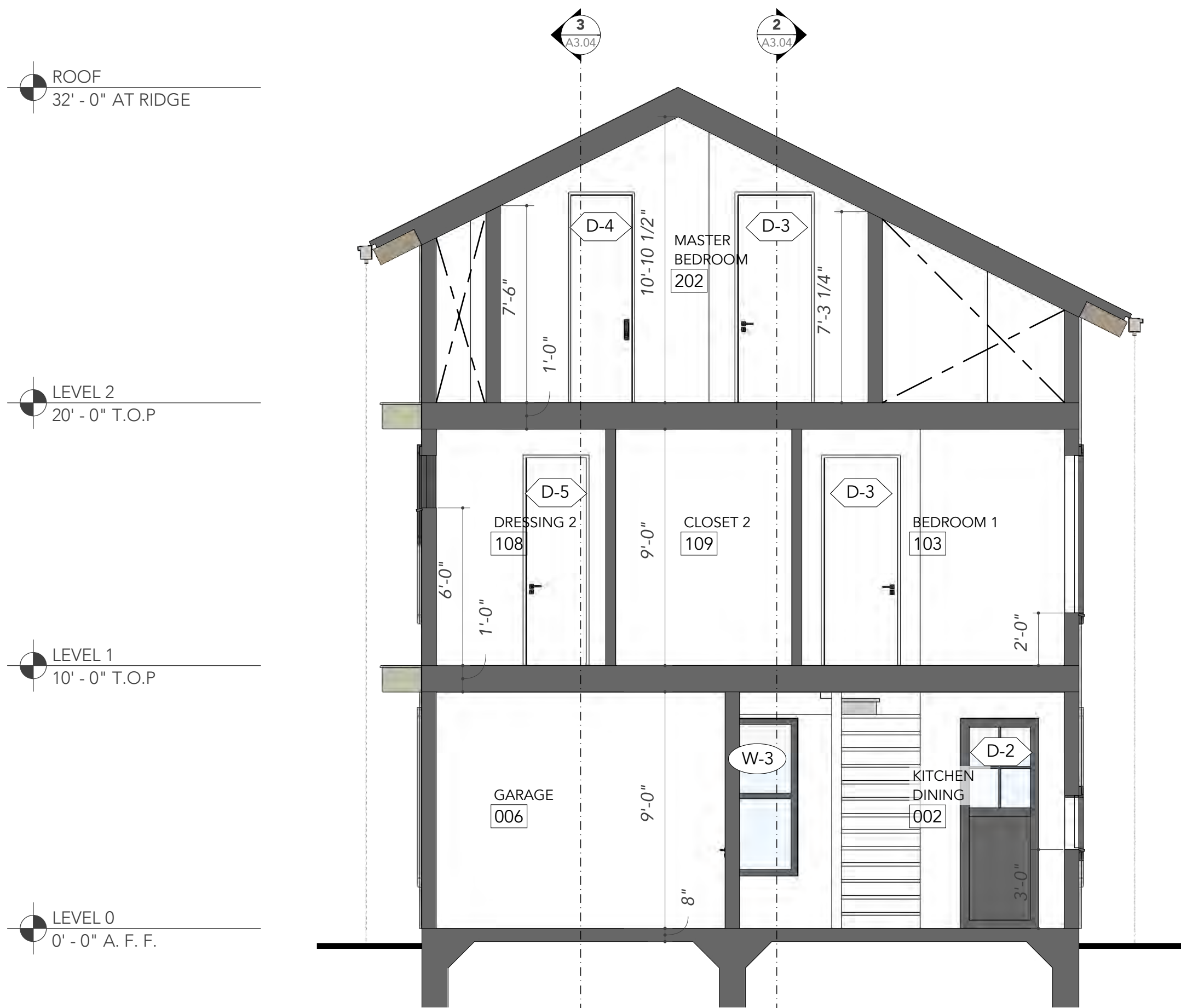
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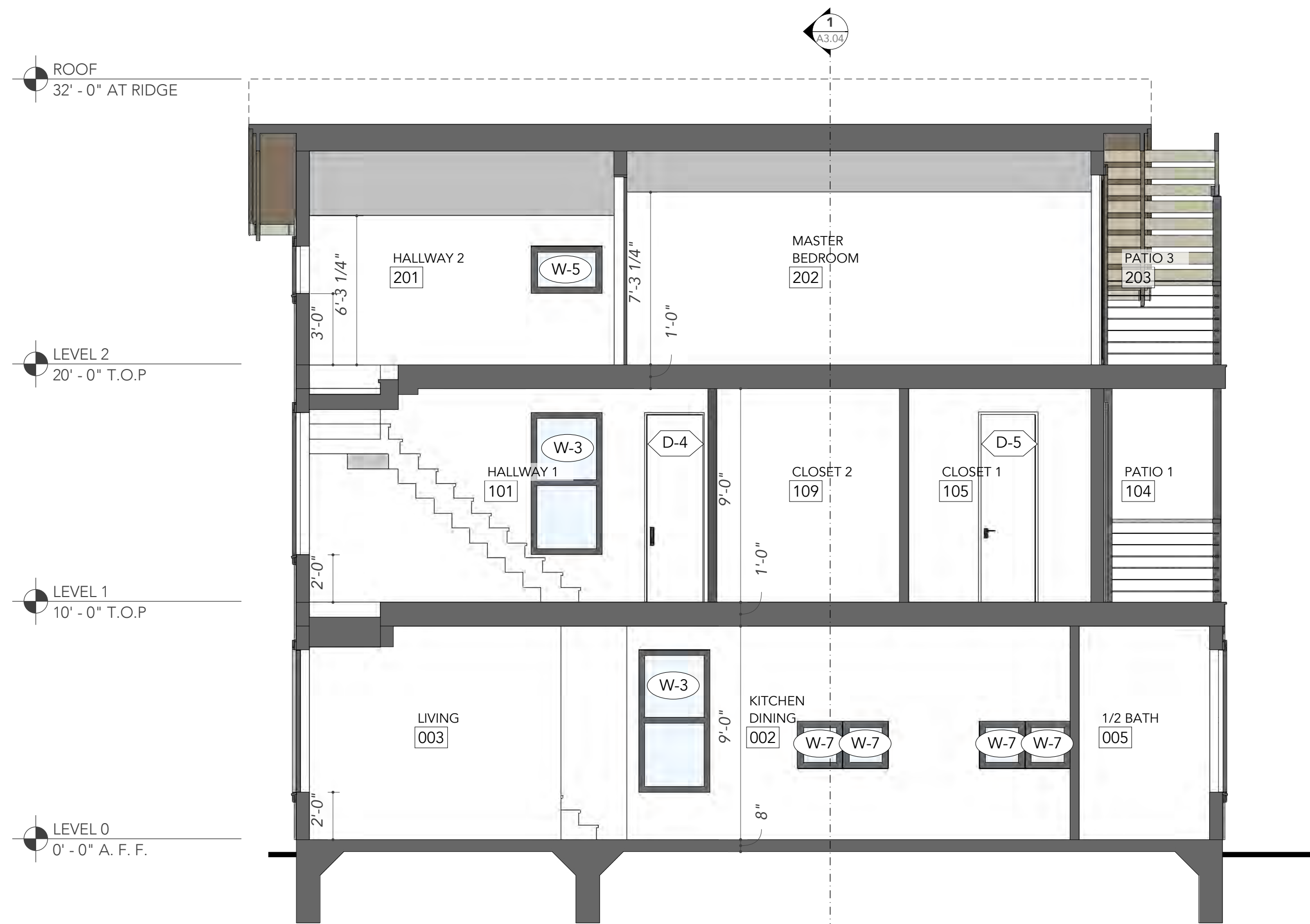
Sheet Contents:
Elevations,
Court House

Sheet Number:

A2.04



1 SECTION A
A3.04 SCALE 1/4" = 1'-0"



2 SECTION B
A3.04 SCALE 1/4" = 1'-0"



3 SECTION C
A3.04 SCALE 1/4" = 1'-0"

The Brown St.

Brown Street,
San Antonio, Texas 78202

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Building Sections,
Court House

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A3.04

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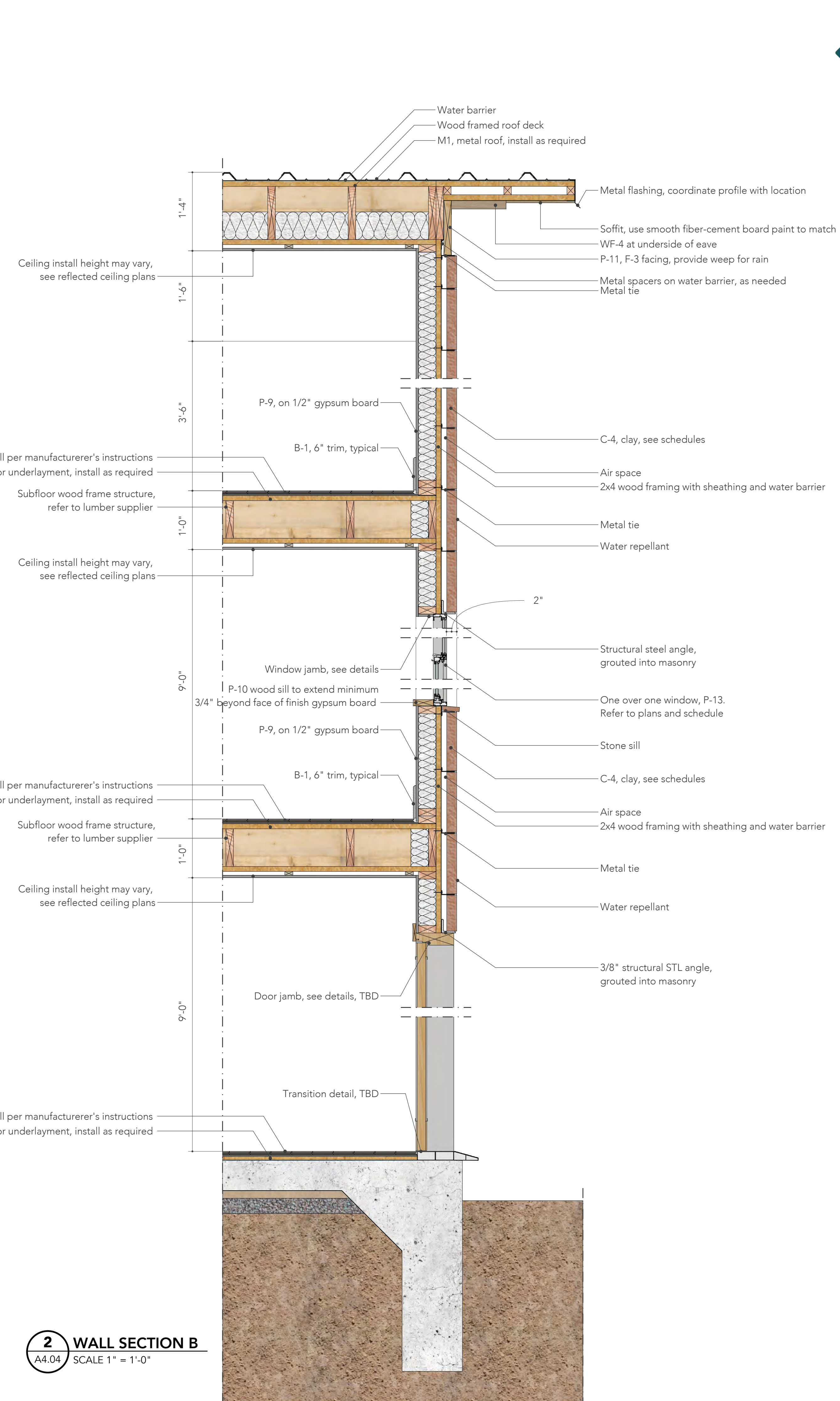
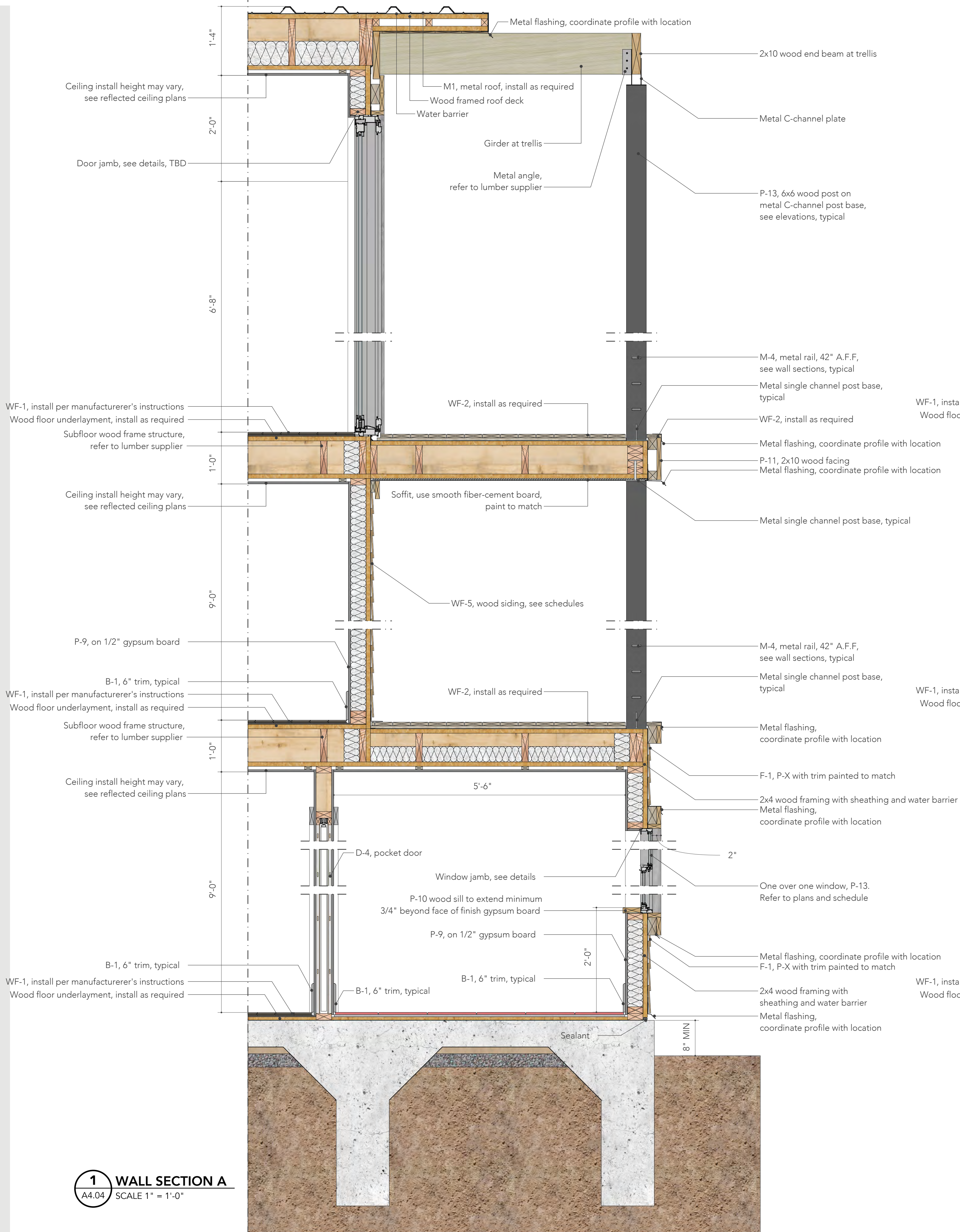
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Revisions:

Sheet Contents:
Wall Sections,
Court House

Sheet Number:

A4.04



Materials and Finish Schedule						
Code	Material	Manufacturer	Description			Additional Information
			Series	Color	Dimensions	
B-1	Trim at Base	-	-	-	6" x 1/2"	Painted P-10, see interior elevations
B-2	Trim at Door	-	-	-	3 1/2" x 1/2"	Painted P-10, see interior elevations
C-1	Concrete	Custom	-	-	-	Poured floor, protect at garage, see plans
C-2	Concrete	Custom	-	-	4" deep	Pavers, see site plan
C-3	Concrete	Custom	-	-	2'-6" x 5'-0" UON	Pavers, see site plan
C-4	Clay	-	Brick	D'Hanis	4" x 8" x 12"	Or equivalent
G-1	Glass	-	-	Green	-	Seamless silicon joints, verify with owner
F-1	Fibercement Siding	Hardie Board	-	-	3/4" thick	4" exposed, smooth finish, mitered corners
F-2	Fibercement Siding	Hardie Board	-	-	-	12" wide board with 1 1/2" wide batten
F-3	Fibercement Board	Hardie Board	-	-	1/2" thick	Solid board, eave underside
M-1	Metal Roof Panel	-	Standing Seam	Light Grey	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-2	Metal Roof Panel	-	Standing Seam	Charcoal	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-3	Metal Column	-	-	-	4" x 4" square	Painted to match adjacent
M-4	Metal Rail	-	-	-	1" x 3" square	Painted to match adjacent
M-5	Metal Roof Panel	-	PBU	-	36" wide panel	3/4" rib height, 26 gauge
P-1	Paint	Custom	-	Farm White	-	Walls, see exterior elevations
P-2	Paint	Custom	-	Light Grey	-	Walls, see exterior elevations
P-3	Paint	Custom	-	Charcoal	-	Walls, see exterior elevations
P-4	Paint	Custom	-	Dark Grey	-	Walls, see exterior elevations
P-5	Paint	Custom	Stain	Darker, rich	-	For siding, see exterior elevations
P-6	Paint	Custom	-	Off White	-	Matte, for ceiling
P-7	Paint	Custom	-	Dark Walnut	-	Stain
P-8	Paint	Custom	-	Aged Oak	-	Stain
P-9	Paint	Custom	Matte Finish	Eggshell	-	Walls, see interior elevations
P-10	Paint	Custom	High Gloss	Extra White	-	Baseboards
P-11	Paint	Custom	-	Rustic Sage	-	Stain
P-12	Paint	Custom	-	Grey	-	Walls, see exterior elevations
P-13	Paint	Custom	-	Dark Grey	-	To match window frame
P-14	Paint	Custom	-	Blue	-	High gloss finish
Q-1	Quartz Countertop	Casahoma	-	Torquay	3" deep thick	Bullnose edge, for transitional style
Q-2	Quartz Countertop	Casahoma	-	Torquay	1.25" thick	Bullnose edge, for modern style
T-1	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor
T-2	Tile	-	-	-	8" x 8"	Stacked, for mudroom
T-3	Tile	-	-	-	8" x 8"	Stacked, for bathroom wall
T-4	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor, dark
T-5	Tile	Travertine	-	-	4"x12"	Staggered, for kitchen backsplash, transitional
WF-1	Wood Floor	Daltile	Willow Bend	WB03	-	Dark Brown
WF-2	Wood Decking	Tigerwood	-	-	20" x 20"	For exterior patio, smooth
WF-3	Wood Trellis	-	-	-	-	-
WF-4	Wood Siding	-	No. 1 Grade	Cedar	1/2" x 4-1/2"	Underside of eave, smooth and stained
WF-5	Wood Siding	Custom	Tongue and Groove	Darker, rich	1/2" thick	4.5" exposed trim similar to F-1 or F-2 siding
S-1	Stone - Stucco	Custom	Flat Finish	-	-	Walls, painted P-3 see exterior elevations
S-2	Steel Tubing	-	-	-	Varies	See elevations and details

Windows and Doors Schedule							
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Windows							
W-1	Single hung window	Vynil / glass	2'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-2	Picture window	Vynil / glass	2'-0" x 2'-0"	6'-0"	Ply Gem	1500 Series Windows	-
W-3	Single hung window	Vynil / glass	3'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-4	Single hung window	Vynil / glass	1'-6" x 3'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-5	Awning window	Vynil / glass	3'-0" x 2'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-6	Pitcture window	Vynil / glass	1'-11" x 2'-0"	3'-0"	Ply Gem	1500 Series Windows	-
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Doors							
D-1	3-panel sliding door	Aluminum / glass	7'-6" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-2	Single swing ext. door	Steel / glass	3'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-3	Single swing int. door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-4	Pocket door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-5	4-panel sliding door	Aluminum / glass	10'-0" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-6	Single swing int. door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-7	Double swing int. door	Wood	2'-9" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-8	Bi-fold door	Wood	6'-3" x 8'-0"	-	Masonite	Heritage Primed White	Solid core door, painted P-10
D-9	Pocket door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-10	Garage door	Aluminum	18'-0" x 8'-0"	-	Custom	-	Builder to provide options to Owner
D-11	Garage door	Aluminum	17'-5" x 8'-8"	-	Custom	-	Not used
D-12	Garage door	Aluminum	10'-0" x 8'-0"	-	Custom	-	Not used
D-13	Single swing int. door	Wood	2'-0" x 8'-0"	-	Masonite	Heritage Primed White	Not used
D-14	Double swing ext. door	Steel / glass	5'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-15	2-panel sliding door	Aluminum / glass	5'-4" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-16	2-panel int. sliding door	Wood	6'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10

Interior Room Finish Schedule												
No.	Room Name	Floor	Base	NW	SW	SE	NE	Ceiling	Counters	Millwork	Remarks	
001	Doorstep	-	-	-	-	-	-	-	-	-	-	-
002	Kitchen/Dining	-	-	-	-	-	-	-	-	-	-	-
003	Living	-	-	-	-	-	-	-	-	-	-	-
004	Pantry	-	-	-	-	-	-	-	-	-	-	-
005	1/2 Bathroom	-	-	-	-	-	-	-	-	-	-	-
006	Garage	-	-	-	-	-	-	-	-	-	-	-
101	Hallway 1	-	-	-	-	-	-	-	-	-	-	-
102	Laundry	-	-	-	-	-	-	-	-	-	-	-
103	Bedroom 1	-	-	-	-	-	-	-	-	-	-	-
104	Patio 1	-	-	-	-	-	-	-	-	-	-	-
105	Closet 1	-	-	-	-	-	-	-	-	-	-	-
106	Dressing 1	-	-	-	-	-	-	-	-	-	-	-
107	Bathroom	-	-	-	-	-	-	-	-	-	-	-
108	Dressing 2	-	-	-	-	-	-	-	-	-	-	-
109	Closet 2	-	-	-	-	-	-	-	-	-	-	-
110	Bedroom 2	-	-	-	-	-	-	-	-	-	-	-
111	Patio 2	-	-	-	-	-	-	-	-	-	-	-
201	Hallway 2	-	-	-	-	-	-	-	-	-	-	-
202	Master Bedroom	-	-	-	-	-	-	-	-	-	-	-
203	Patio 3	-	-	-	-	-	-	-	-	-	-	-
204	Master Bathroom	-	-	-	-	-	-	-	-	-	-	-
205	Master Closet	-	-	-	-	-	-	-	-	-	-	-

Electrical Fixtures Schedule						
Code	Item	Description	Manufacturer	Model	Finish	Notes
L-1	Recessed can	-	-	-	-	-
L-2	Recessed can	-	-	-	-	-
L-3	Pendant	-	-	-	-	-
L-4	Sconce	Adjacent to mirror	-	-	-	-
L-5	Sconce	Interior / above mirror	-	-	-	-
L-6	Mirror	Big horizontal	-	-	-	-
L-7	Mirror	Square shaped	-	-	-	-
L-8	Mirror	Small vertical	-	-	-	-
L-9	Sconce	Exterior	-	-	-	-
L-10	Sconce	Exterior	-	-	-	-
L-11	LED Mirror	Big horizontal	-	-	-	-
L-12	LED Mirror	Square shaped	-	-	-	-
L-13	LED Mirror	Small vertical	-	-	-	-
L-14	Hanging fixture	-	-	-	-	-
L-15	Hanging fixture	-	-	-	-	-
L-16	Exhaust fan	-	-	-	-	-
L-17	Smoke detector	-	-	-	-	-
L-18	Ceiling fan with light	-	-	-	-	-
L-19	Ceiling fan with light	-	-	-	-	-
L-20	Flush mounted fixture	-	-	-	-	-
L-21	HVAC register Supply	-	-	-	-	-
L-22	HVAC register Return	-	-	-	-	-

Fixtures and Equipment Schedule						
Code	Item	Description	Manufacturer	Model	Finish / Material	Notes
Bathrooms/Kitchen						
F-1	Kitchen Sink	-	Kohler	Vault™ K-3996-4-NA	Stainless Steel	-
F-2	Kitchen Faucet	-	Kohler	Sensate™ K-72218-CP	Polished Chrome	-
F-3	Faucet with handles	For master bathroom	Kohler	Composed® K-73060-3-CP	Polished Chrome	-
F-4	Faucet	For other bathrooms	Kohler	Components™ K-77967-CP	Polished Chrome	-
F-5	Faucet	For Wagon 1/2 Bath	Kohler	Purist® Tall K-14404-4A-SN	Vibrant Polished Nickel	-
F-6	Faucet Handles	For other bathrooms	Kohler	Components™ K-77974-9-CP	Polished Chrome	-
F-7	Sink	For Wagon 1/2 Bath	Kohler	Vox® Round K-14800-0	Biscuit	-
F-8	Sink	For other bathrooms	Kohler	Caxton® Rectangle K-20000-0	White	-
F-9	Toilet	-	Kohler	Santa Rosa™ K-3810-0	White ceramics	-
F-10	Shower Head	-	Kohler	Pinstripe® K-13137-AK-CP	Polished chrome	-
F-11	Shower Handle	-	Kohler	Components™ K-T78016-4-CP	Polished chrome	-
F-12	Tub	Wall mounted	Kohler	Villager® K-716-0	White	-
F-13	Tub faucet	Wall mounted	Kohler	Purist® K-T14415-5	Chrome	-
F-14	Tissue Holder	-	Kohler	Components™ K-78382-CP	Polished chrome	-
F-15	Towel bar - single	-	Kohler	Components™ K-78377-CP	Polished chrome	-
F-16	Towel bar - double	-	Kohler	Components™ K-78379-CP	Polished chrome	-
F-17	Tub	-	Kohler	Archer® K-1125-LA-0	White	-
F-18	Tub	-	Kohler	Mariposa® K-1242-RA-0	White	-
Code	Item	Description	Manufacturer	Model	Finish / Material	-
Kitchen						
E-1	Refrigerator	-	Bosch	Benchmark® B36BT830NS	-	-
E-2	Stove & Oven	-	Bosch	Benchmark™ HIIP054U	Stainless steel	-
E-3	Stove hood	Island hood	Bosch	800 Series HIB82651UC	Stainless steel	-
E-4	Dishwasher	Fully-integrated dishwasher	Bosch	Serie 6 MV68TD06G	-	-
E-5	Microwave	Drawer Microwave	Bosch	800 Series 24" HMD8451UC	Stainless steel	-
E-6	Wine Refrigerator	-	JennAir	JUB24FLERS	Black / metallic	-
E-7	Washer	-	Bosch	800 Series WAW285H2UC	White	-
E-8	Dryer	-	Bosch	800 Series WTG86402UC	White	-
E-9	Stove hood	Wall hood	Bosch	800 Series DPH36652UC	Stainless steel	-



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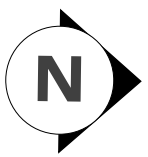
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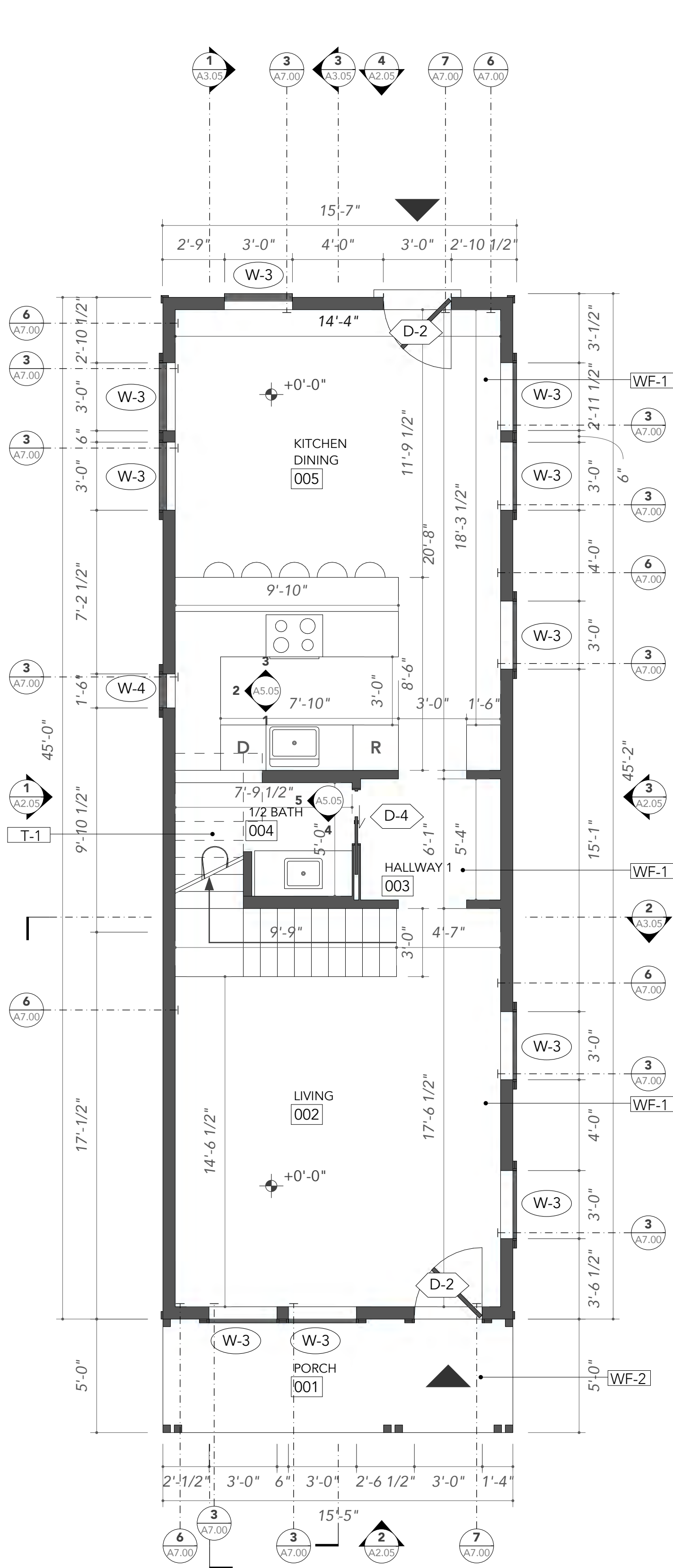
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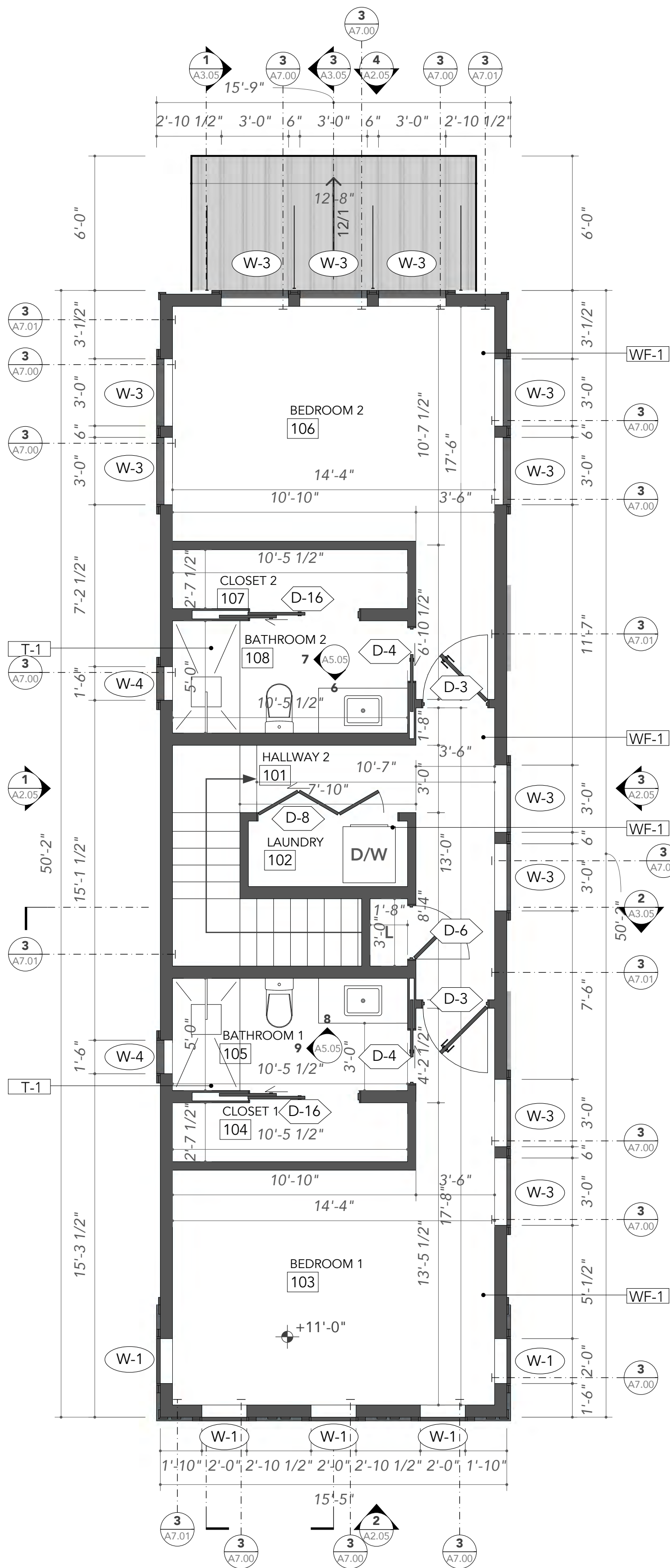
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Nola House

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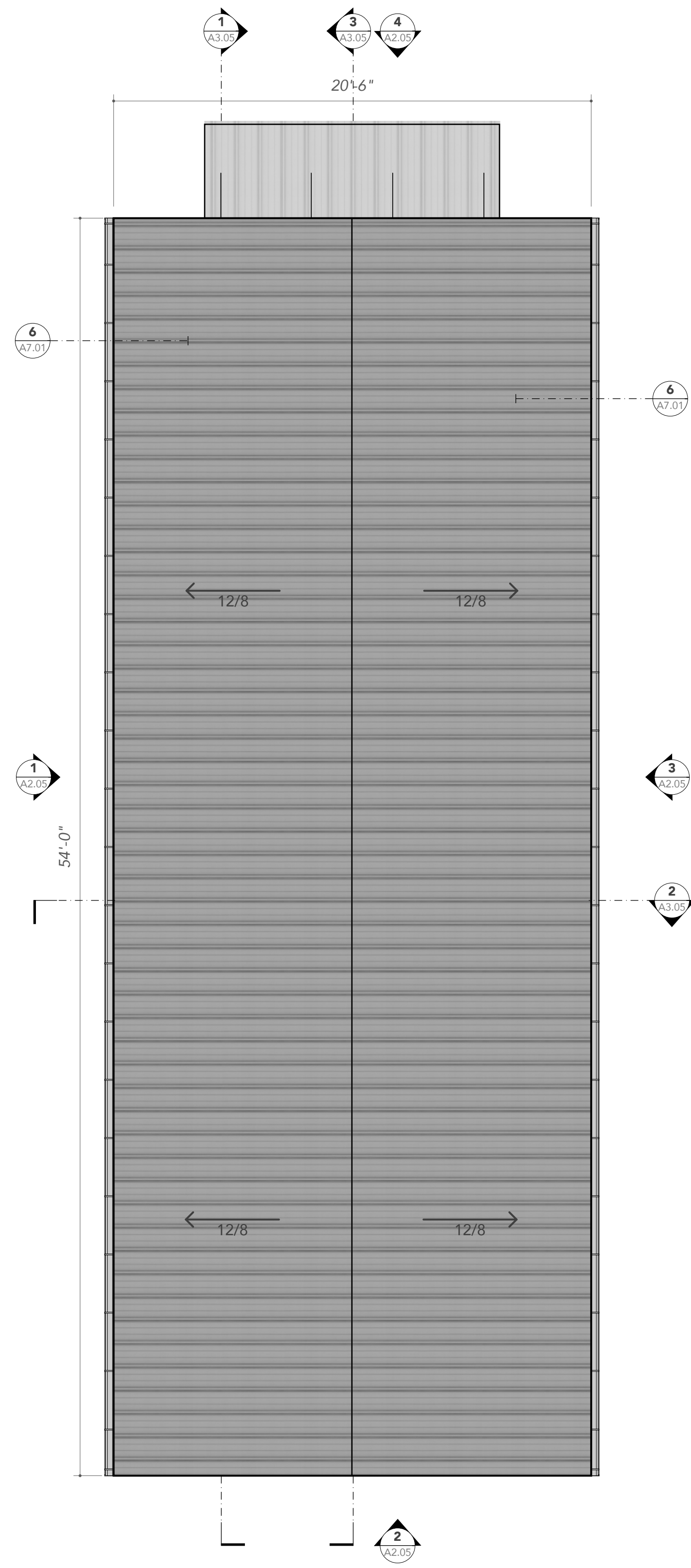
A1.05



1 LEVEL 1
A1.05 SCALE 1/4" = 1'-0"



2 LEVEL 2
A1.05 SCALE 1/4" = 1'-0"



4 ROOF PLAN
A1.05 SCALE 1/4" = 1'-0"

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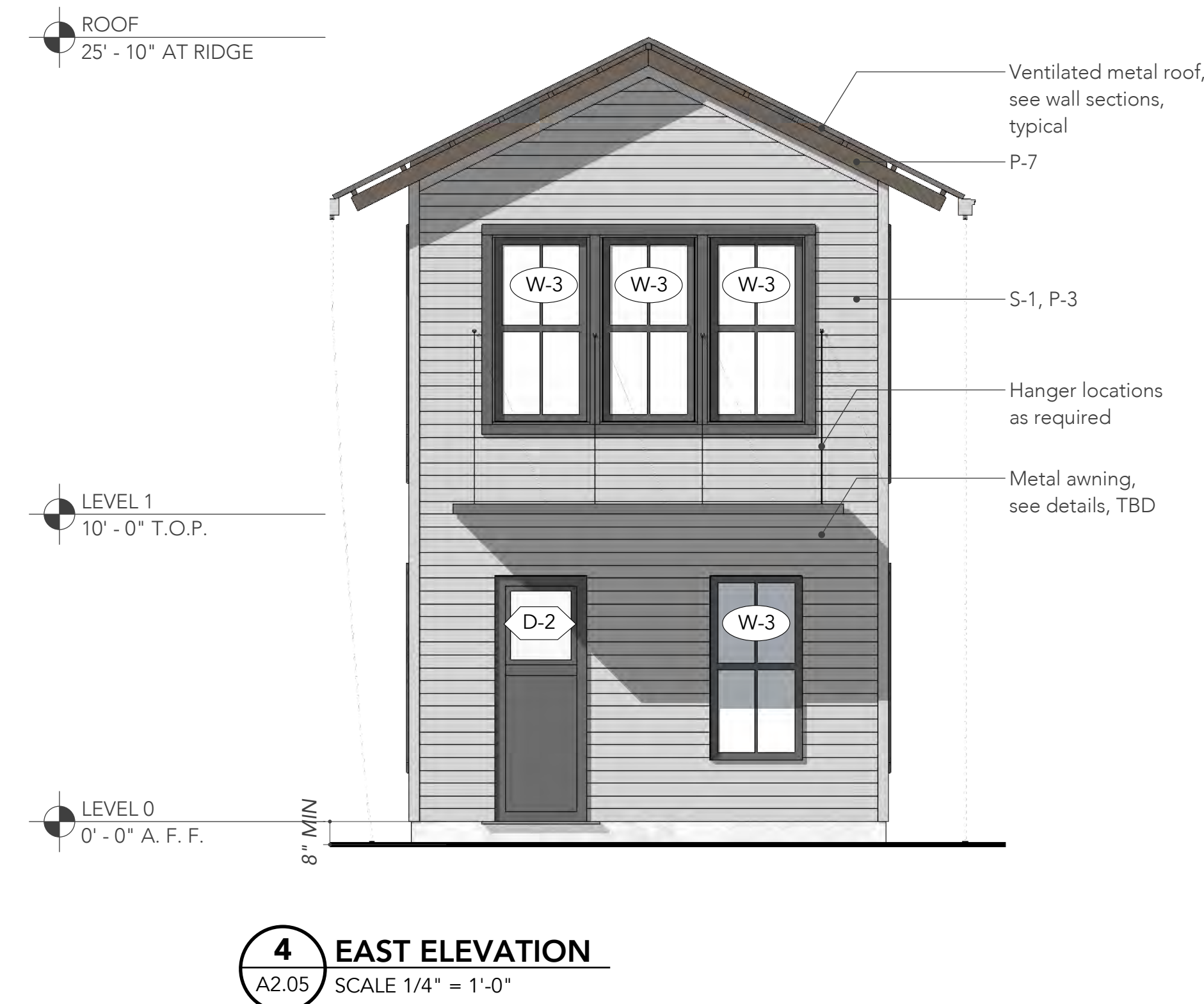
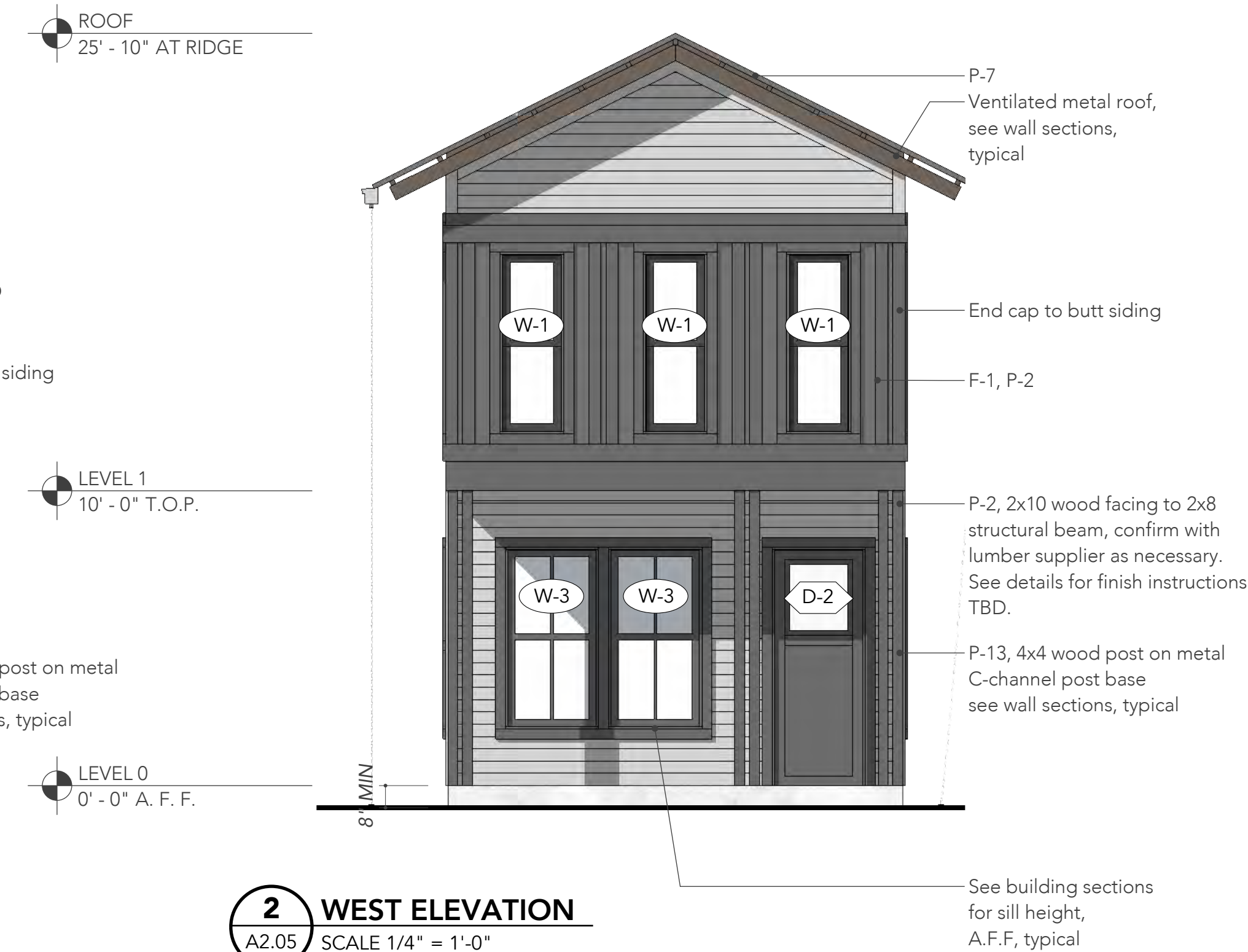
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A2.05



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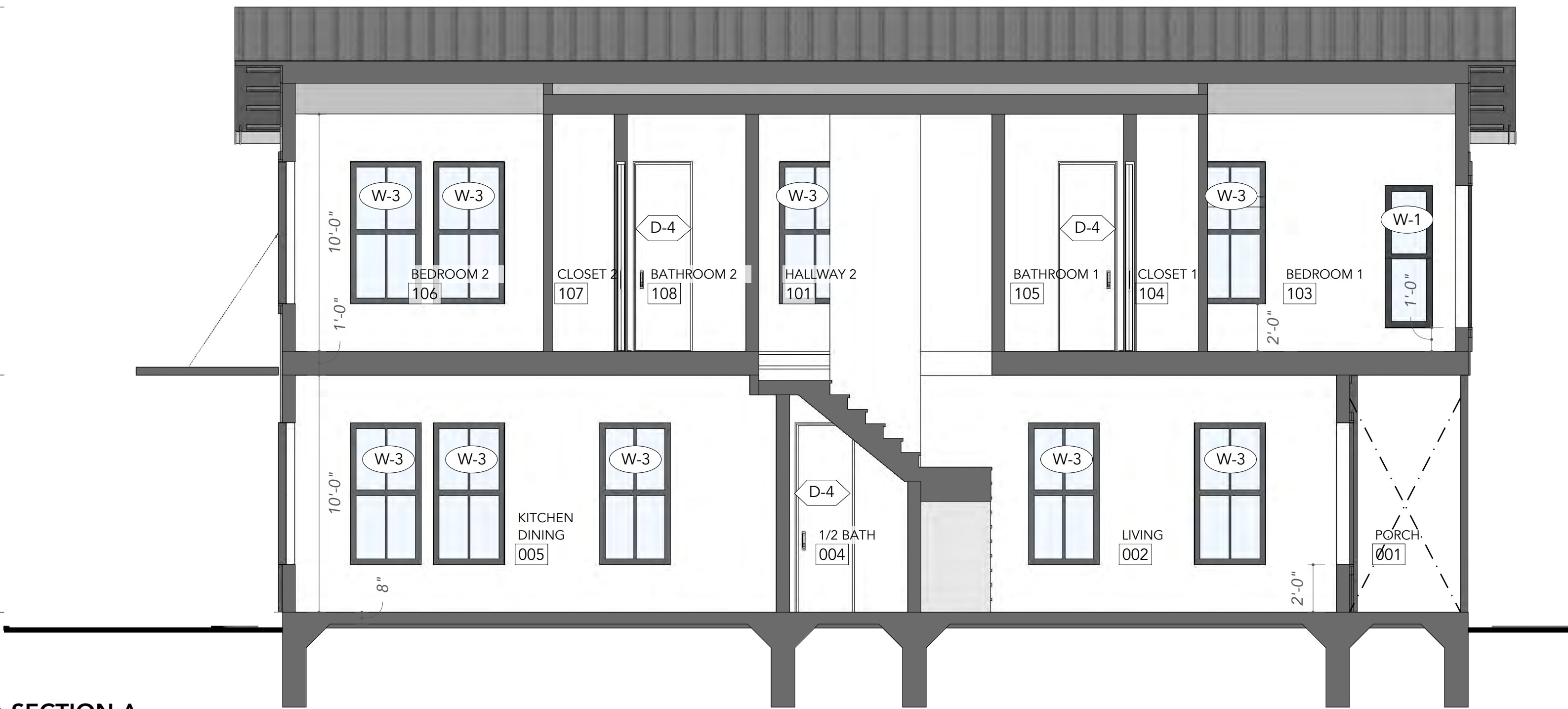
A3.05

ROOF
25' - 10" AT RIDGE

LEVEL 1
10' - 0" T.O.P.

LEVEL 0
0' - 0" A.F.F.

1 SECTION A
A3.05 SCALE 1/4" = 1'-0"

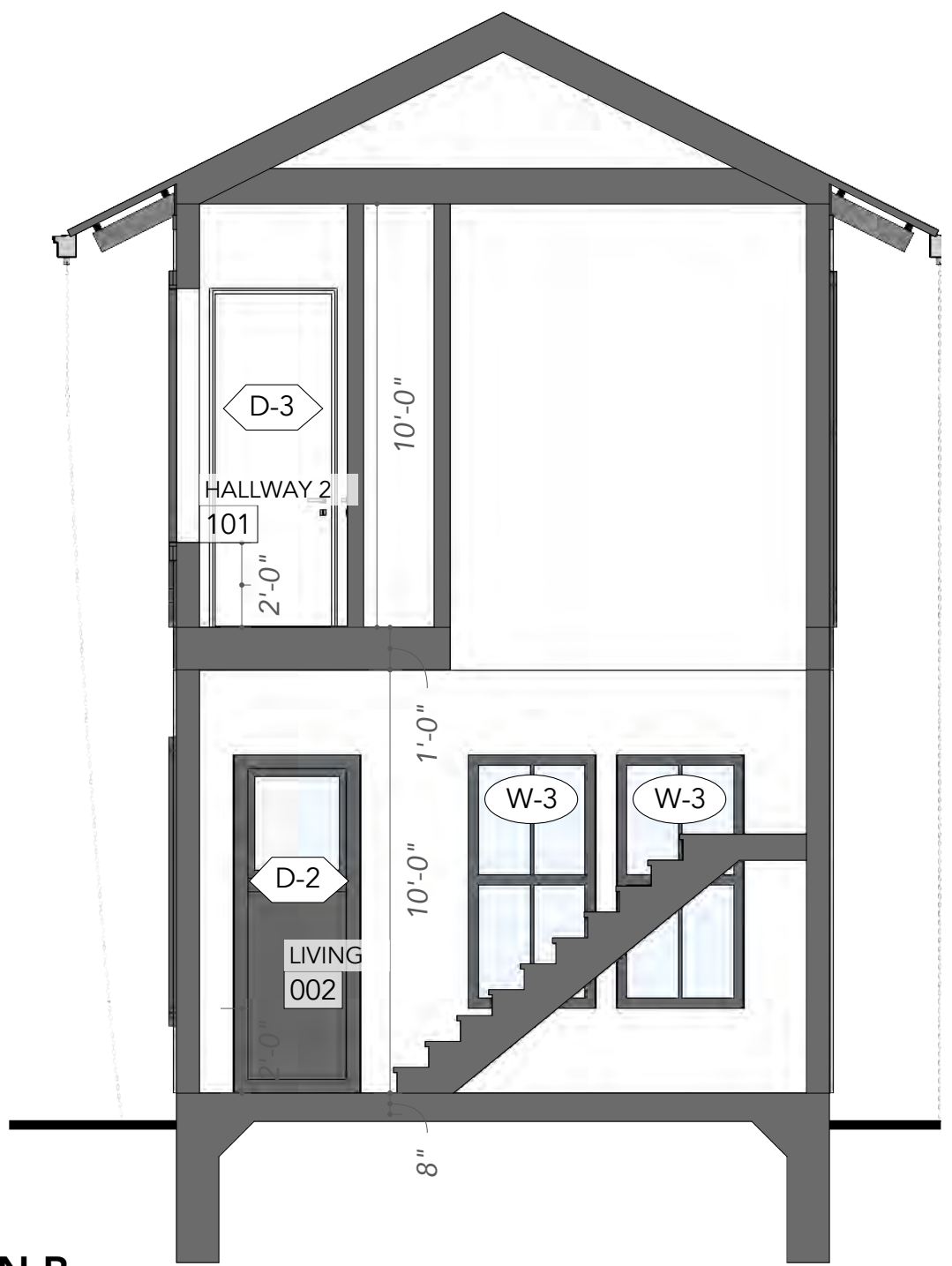


ROOF
25' - 10" AT RIDGE

LEVEL 1
10' - 0" T.O.P.

LEVEL 0
0' - 0" A.F.F.

2 SECTION B
A3.05 SCALE 1/4" = 1'-0"

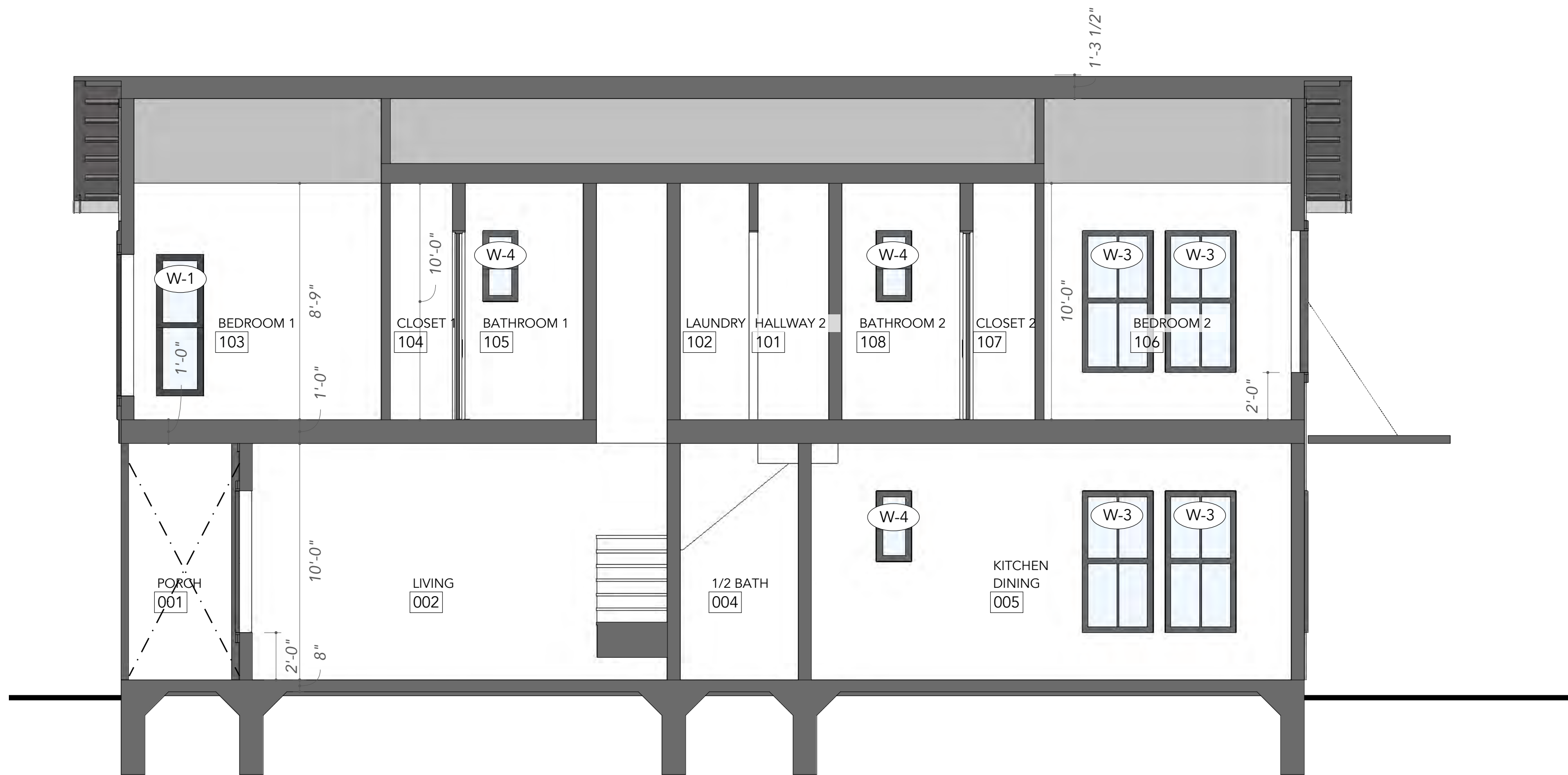


ROOF
25' - 10" AT RIDGE

LEVEL 1
10' - 0" T.O.P.

LEVEL 0
0' - 0" A.F.F.

3 SECTION C
A3.05 SCALE 1/4" = 1'-0"



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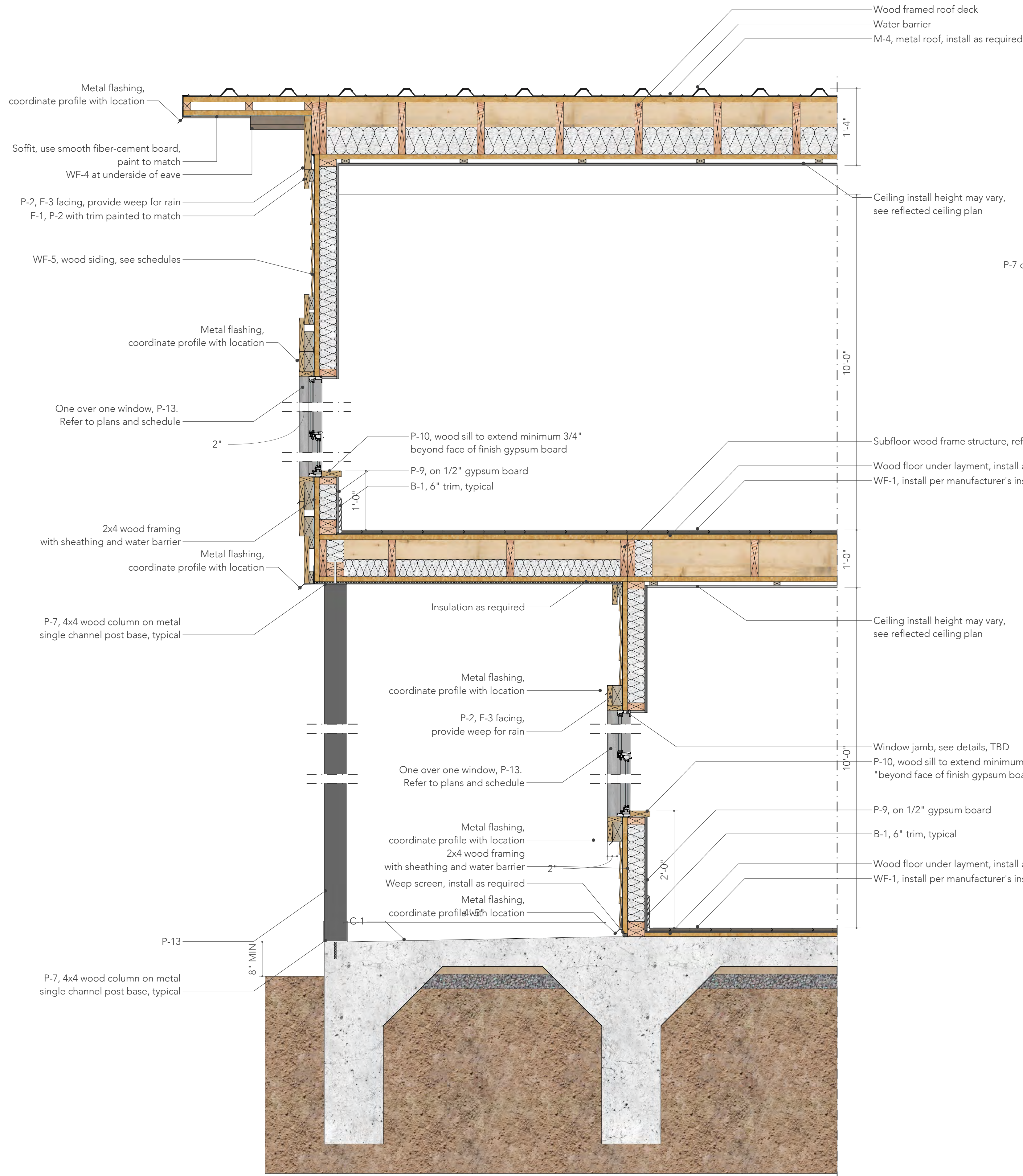
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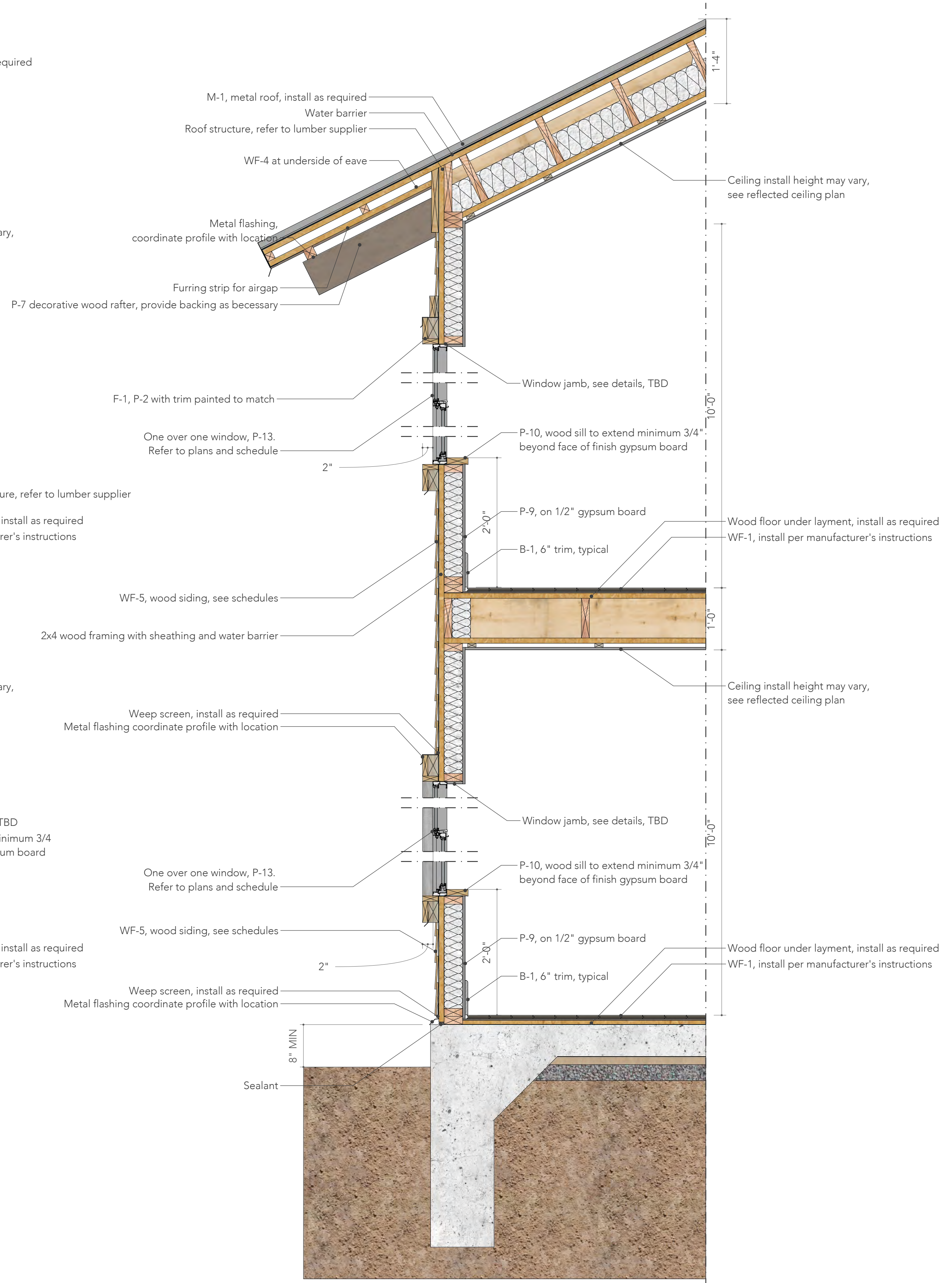
Sheet Contents:
Wall Sections,
Nola House

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A4.05



1 WALL SECTION A
A4.05 SCALE 1" = 1'-0"



2 WALL SECTION B
A4.05 SCALE 1" = 1'-0"

Materials and Finish Schedule						
Code	Material	Manufacturer	Description			Additional Information
			Series	Color	Dimensions	
B-1	Trim at Base	-	-	-	6" x 1/2"	Painted P-10, see interior elevations
B-2	Trim at Door	-	-	-	3 1/2" x 1/2"	Painted P-10, see interior elevations
C-1	Concrete	Custom	-	-	-	Poured floor, protect at garage, see plans
C-2	Concrete	Custom	-	-	4" deep	Pavers, see site plan
C-3	Concrete	Custom	-	-	2'-6" x 5'-0" UON	Pavers, see site plan
C-4	Clay	-	Brick	D'Hanis	4" x 8" x 12"	Or equivalent
G-1	Glass	-	-	Green	-	Seamless silicon joints, verify with owner
F-1	Fibercement Siding	Hardie Board	-	-	3/4" thick	4" exposed, smooth finish, mitered corners
F-2	Fibercement Siding	Hardie Board	-	-	-	12" wide board with 1 1/2" wide batten
F-3	Fibercement Board	Hardie Board	-	-	1/2" thick	Solid board, eave underside
M-1	Metal Roof Panel	-	Standing Seam	Light Grey	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-2	Metal Roof Panel	-	Standing Seam	Charcoal	18"-21" wide panel	1"-2" tall seam, crimped ridge, low profile cap, 26 gauge
M-3	Metal Column	-	-	-	4" x 4" square	Painted to match adjacent
M-4	Metal Rail	-	-	-	1" x 3" square	Painted to match adjacent
M-5	Metal Roof Panel	-	PBU	-	36" wide panel	3/4" rib height, 26 gauge
P-1	Paint	Custom	-	Farm White	-	Walls, see exterior elevations
P-2	Paint	Custom	-	Light Grey	-	Walls, see exterior elevations
P-3	Paint	Custom	-	Charcoal	-	Walls, see exterior elevations
P-4	Paint	Custom	-	Dark Grey	-	Walls, see exterior elevations
P-5	Paint	Custom	Stain	Darker, rich	-	For siding, see exterior elevations
P-6	Paint	Custom	-	Off White	-	Matte, for ceiling
P-7	Paint	Custom	-	Dark Walnut	-	Stain
P-8	Paint	Custom	-	Aged Oak	-	Stain
P-9	Paint	Custom	Matte Finish	Eggshell	-	Walls, see interior elevations
P-10	Paint	Custom	High Gloss	Extra White	-	Baseboards
P-11	Paint	Custom	-	Rustic Sage	-	Stain
P-12	Paint	Custom	-	Grey	-	Walls, see exterior elevations
P-13	Paint	Custom	-	Dark Grey	-	To match window frame
P-14	Paint	Custom	-	Blue	-	High gloss finish
Q-1	Quartz Countertop	Casahoma	-	Torquay	3" deep thick	Bullnose edge, for transitional style
Q-2	Quartz Countertop	Casahoma	-	Torquay	1.25" thick	Bullnose edge, for modern style
T-1	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor
T-2	Tile	-	-	-	8" x 8"	Stacked, for mudroom
T-3	Tile	-	-	-	8" x 8"	Stacked, for bathroom wall
T-4	Tile	-	-	-	8" x 8"	Stacked, for bathroom floor, dark
T-5	Tile	Travertine	-	-	4"x12"	Staggered, for kitchen backsplash, transitional
WF-1	Wood Floor	Daltile	Willow Bend	WB03	-	Dark Brown
WF-2	Wood Decking	Tigerwood	-	-	20" x 20"	For exterior patio, smooth
WF-3	Wood Trellis	-	-	-	-	-
WF-4	Wood Siding	-	No. 1 Grade	Cedar	1/2" x 4-1/2"	Underside of eave, smooth and stained
WF-5	Wood Siding	Custom	Tongue and Groove	Darker, rich	1/2" thick	4.5" exposed trim similar to F-1 or F-2 siding
S-1	Stone - Stucco	Custom	Flat Finish	-	-	Walls, painted P-3 see exterior elevations
S-2	Steel Tubing	-	-	-	Varies	See elevations and details

Windows and Doors Schedule							
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Windows							
W-1	Single hung window	Vynil / glass	2'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-2	Picture window	Vynil / glass	2'-0" x 2'-0"	6'-0"	Ply Gem	1500 Series Windows	-
W-3	Single hung window	Vynil / glass	3'-0" x 6'-0"	2'-0"	Ply Gem	1500 Series Windows	-
W-4	Single hung window	Vynil / glass	1'-6" x 3'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-5	Awning window	Vynil / glass	3'-0" x 2'-0"	5'-0"	Ply Gem	1500 Series Windows	-
W-6	Pitcture window	Vynil / glass	1'-11" x 2'-0"	3'-0"	Ply Gem	1500 Series Windows	-
Code	Type	Description			Manufacturer	Model	Notes
		Material	Dimensions	Sill height			
Doors							
D-1	3-panel sliding door	Aluminum / glass	7'-6" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-2	Single swing ext. door	Steel / glass	3'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-3	Single swing int. door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-4	Pocket door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-5	4-panel sliding door	Aluminum / glass	10'-0" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-6	Single swing int. door	Wood	2'-6" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-7	Double swing int. door	Wood	2'-9" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-8	Bi-fold door	Wood	6'-3" x 8'-0"	-	Masonite	Heritage Primed White	Solid core door, painted P-10
D-9	Pocket door	Wood	3'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10
D-10	Garage door	Aluminum	18'-0" x 8'-0"	-	Custom	-	Builder to provide options to Owner
D-11	Garage door	Aluminum	17'-5" x 8'-8"	-	Custom	-	Not used
D-12	Garage door	Aluminum	10'-0" x 8'-0"	-	Custom	-	Not used
D-13	Single swing int. door	Wood	2'-0" x 8'-0"	-	Masonite	Heritage Primed White	Not used
D-14	Double swing ext. door	Steel / glass	5'-0" x 8'-0"	-	Masonite	Sta-Tru HD Steel	-
D-15	2-panel sliding door	Aluminum / glass	5'-4" x 8'-0"	-	Ply Gem	4780 & 4880 Pocket Sliding Patio Doors	-
D-16	2-panel int. sliding door	Wood	6'-0" x 8'-0"	-	Masonite	Logan	Solid core door, painted P-10

Interior Room Finish Schedule											
No.	Room Name	Floor	Base	NW	SW	SE	NE	Ceiling	Counters	Millwork	Remarks
001	Porch	-	-	-	-	-	-	-	-	-	-
002	Living	-	-	-	-	-	-	-	-	-	-
003	Hallway 1	-	-	-	-	-	-	-	-	-	-
004	1/2 Bathroom	-	-	-	-	-	-	-	-	-	-
005	Kitchen/Dining	-	-	-	-	-	-	-	-	-	-
101	Hallway 2	-	-	-	-	-	-	-	-	-	-
102	Laundry	-	-	-	-	-	-	-	-	-	-
103	Bedroom 1	-	-	-	-	-	-	-	-	-	-
104	Closet 1	-	-	-	-	-	-	-	-	-	-
105	Bathroom 1	-	-	-	-	-	-	-	-	-	-
106	Bedroom 2	-	-	-	-	-	-	-	-	-	-
107	Closet 2	-	-	-	-	-	-	-	-	-	-
108	Bathroom 2	-	-	-	-	-	-	-	-	-	-

Electrical Fixtures Schedule						
Code	Item	Description	Manufacturer	Model	Finish	Notes
L-1	Recessed can	-	-	-	-	-
L-2	Recessed can	-	-	-	-	-
L-3	Pendant					
L-4	Sconce	Adjacent to mirror	-	-	-	-
L-5	Sconce	Interior / above mirror	-	-	-	-
L-6	Mirror	Big horizontal	-	-	-	-
L-7	Mirror	Square shaped	-	-	-	-
L-8	Mirror	Small vertical	-	-	-	-
L-9	Sconce	Exterior	-	-	-	-
L-10	Sconce	Exterior	-	-	-	-
L-11	LED Mirror	Big horizontal	-	-	-	-
L-12	LED Mirror	Square shaped	-	-	-	-
L-13	LED Mirror	Small vertical	-	-	-	-
L-14	Hanging fixture	-	-	-	-	-
L-15	Hanging fixture	-	-	-	-	-
L-16	Exhaust fan	-	-	-	-	-
L-17	Smoke detector	-	-	-	-	-
L-18	Ceiling fan with light	-	-	-	-	-
L-19	Ceiling fan with light	-	-	-	-	-
L-20	Flush mounted fixture	-	-	-	-	-
L-21	HVAC register Supply	-	-	-	-	-
L-22	HVAC register Return	-	-	-	-	-

Fixtures and Equipment Schedule						
Code	Item	Description	Manufacturer	Model	Finish / Material	Notes
Bathrooms/Kitchen						
F-1	Kitchen Sink	-	Kohler	Vault™ K-3996-4-NA	Stainless Steel	-
F-2	Kitchen Faucet	-	Kohler	Sensate™ K-72218-CP	Polished Chrome	-
F-3	Faucet with handles	For master bathroom	Kohler	Composed® K-73060-3-CP	Polished Chrome	-
F-4	Faucet	For other bathrooms	Kohler	Components™ K-77967-CP	Polished Chrome	-
F-5	Faucet	For Wagon 1/2 Bath	Kohler	Purist® Tall K-14404-4A-SN	Vibrant Polished Nickel	-
F-6	Faucet Handles	For other bathrooms	Kohler	Components™ K-77974-9-CP	Polished Chrome	-
F-7	Sink	For Wagon 1/2 Bath	Kohler	Vox® Round K-14800-0	Biscuit	-
F-8	Sink	For other bathrooms	Kohler	Caxton® Rectangle K-20000-0	White	-
F-9	Toilet	-	Kohler	Santa Rosa™ K-3810-0	White ceramics	-
F-10	Shower Head	-	Kohler	Pinstripe® K-13137-AK-CP	Polished chrome	-
F-11	Shower Handle	-	Kohler	Components™ K-T78016-4-CP	Polished chrome	-
F-12	Tub	Wall mounted	Kohler	Villager® K-716-0	White	-
F-13	Tub faucet	Wall mounted	Kohler	Purist® K-T14415-5	Chrome	-
F-14	Tissue Holder	-	Kohler	Components™ K-78382-CP	Polished chrome	-
F-15	Towel bar - single	-	Kohler	Components™ K-78377-CP	Polished chrome	-
F-16	Towel bar - double	-	Kohler	Components™ K-78379-CP	Polished chrome	-
F-17	Tub	-	Kohler	Archer® K-1125-LA-0	White	-
F-18	Tub	-	Kohler	Mariposa® K-1242-RA-0	White	-
Code	Item	Description	Manufacturer	Model	Finish / Material	-
Kitchen						
E-1	Refrigerator	-	Bosch	Benchmark® B36BT830NS	-	-
E-2	Stove & Oven	-	Bosch	Benchmark™ HIIP054U	Stainless steel	-
E-3	Stove hood	Island hood	Bosch	800 Series HIB82651UC	Stainless steel	-
E-4	Dishwasher	Fully-integrated dishwasher	Bosch	Serie 6 MV68TD06G	-	-
E-5	Microwave	Drawer Microwave	Bosch	800 Series 24" HMD8451UC	Stainless steel	-
E-6	Wine Refrigerator	-	JennAir	JUB24FLERS	Black / metallic	-
E-7	Washer	-	Bosch	800 Series WAW285H2UC	White	-
E-8	Dryer	-	Bosch	800 Series WTG86402UC	White	-
E-9	Stove hood	Wall hood	Bosch	800 Series DPH36652UC	Stainless steel	-

Owner:
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The Brown St.

Brown Street,
San Antonio, Texas 78202

Project No. 201811

APN: XXXXXXXX

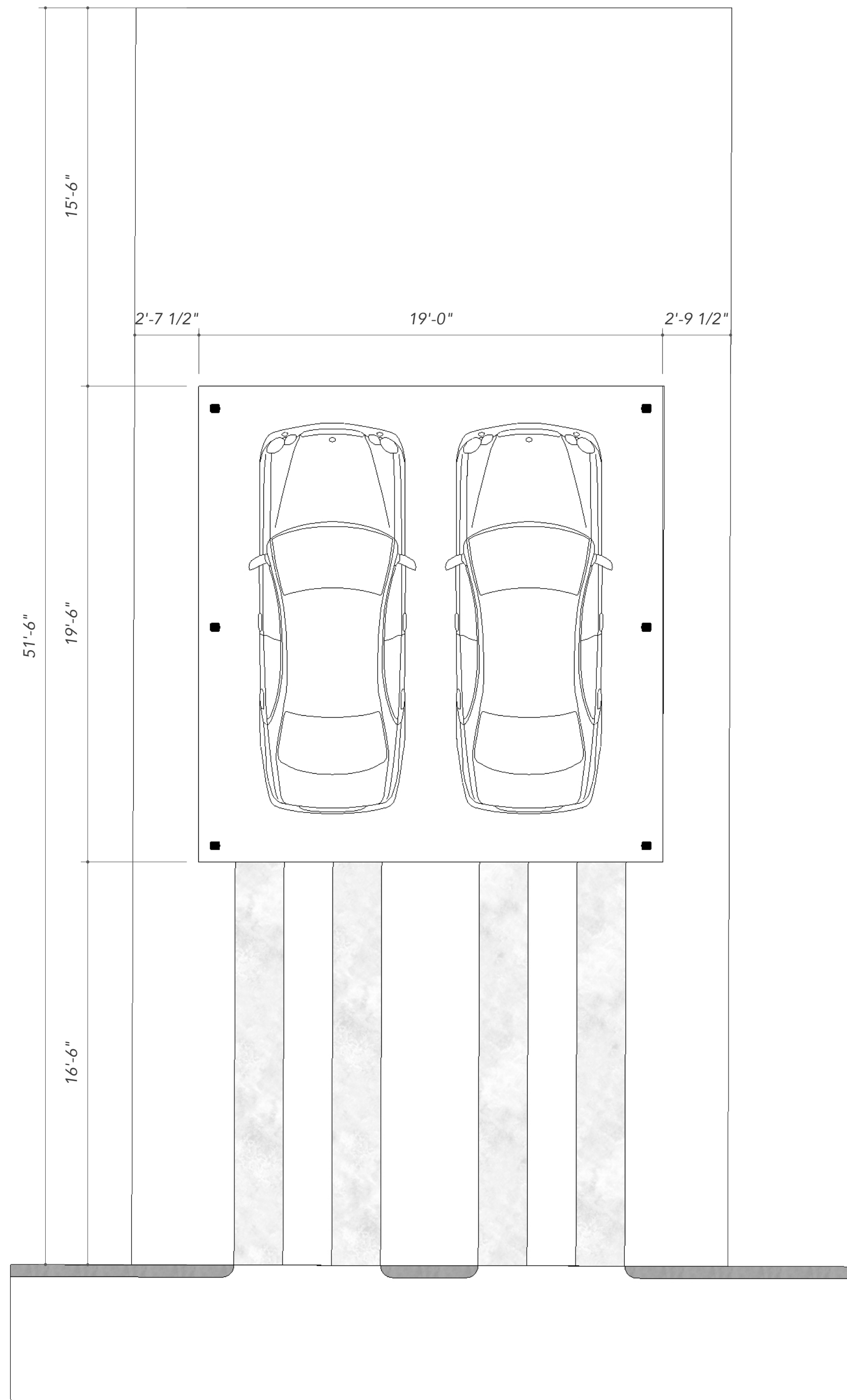
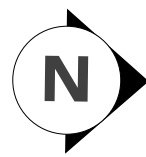
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Date: 10/02/2019

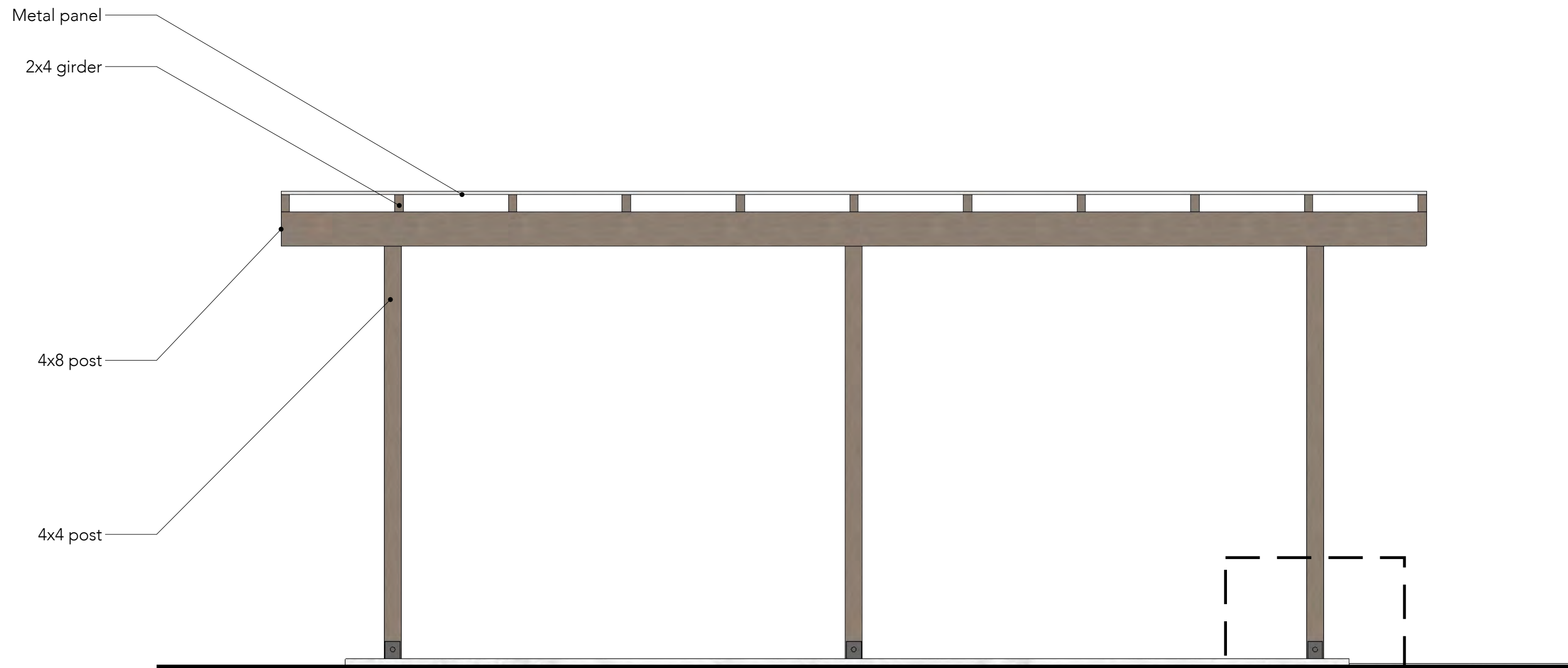
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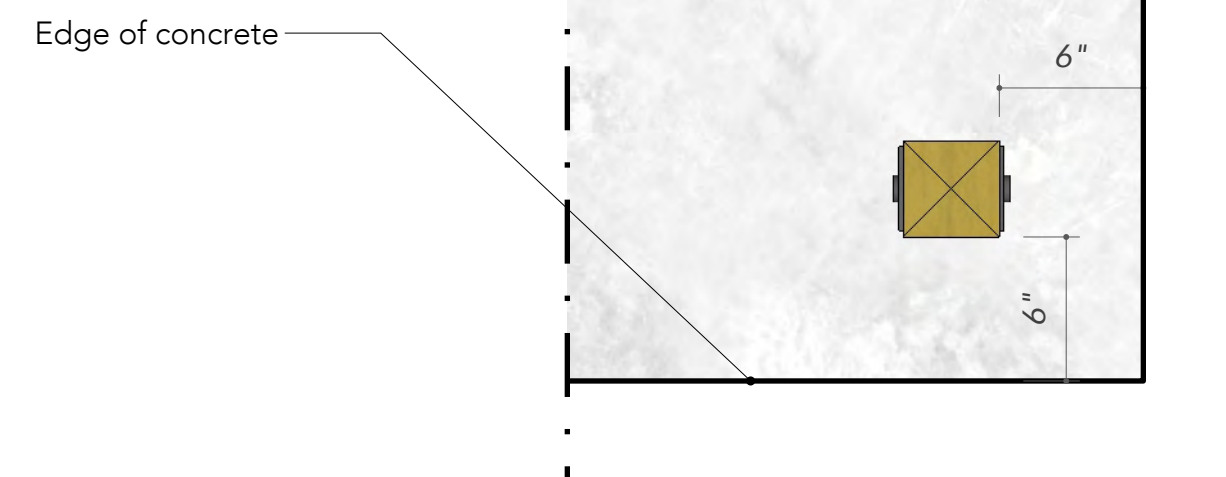
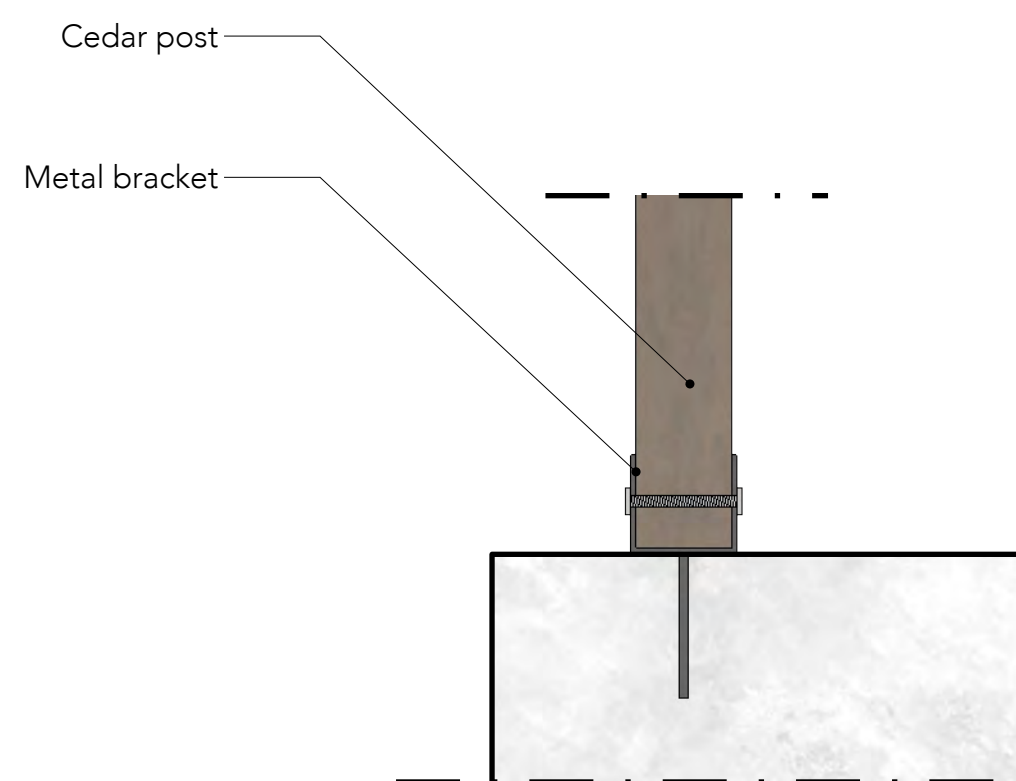
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1 LEVEL 1
A2.06 SCALE 1/4" = 1'-0"



2 ELEVATION
A2.06 SCALE 1/2" = 1'-0"



The Brown St.

Brown Street,
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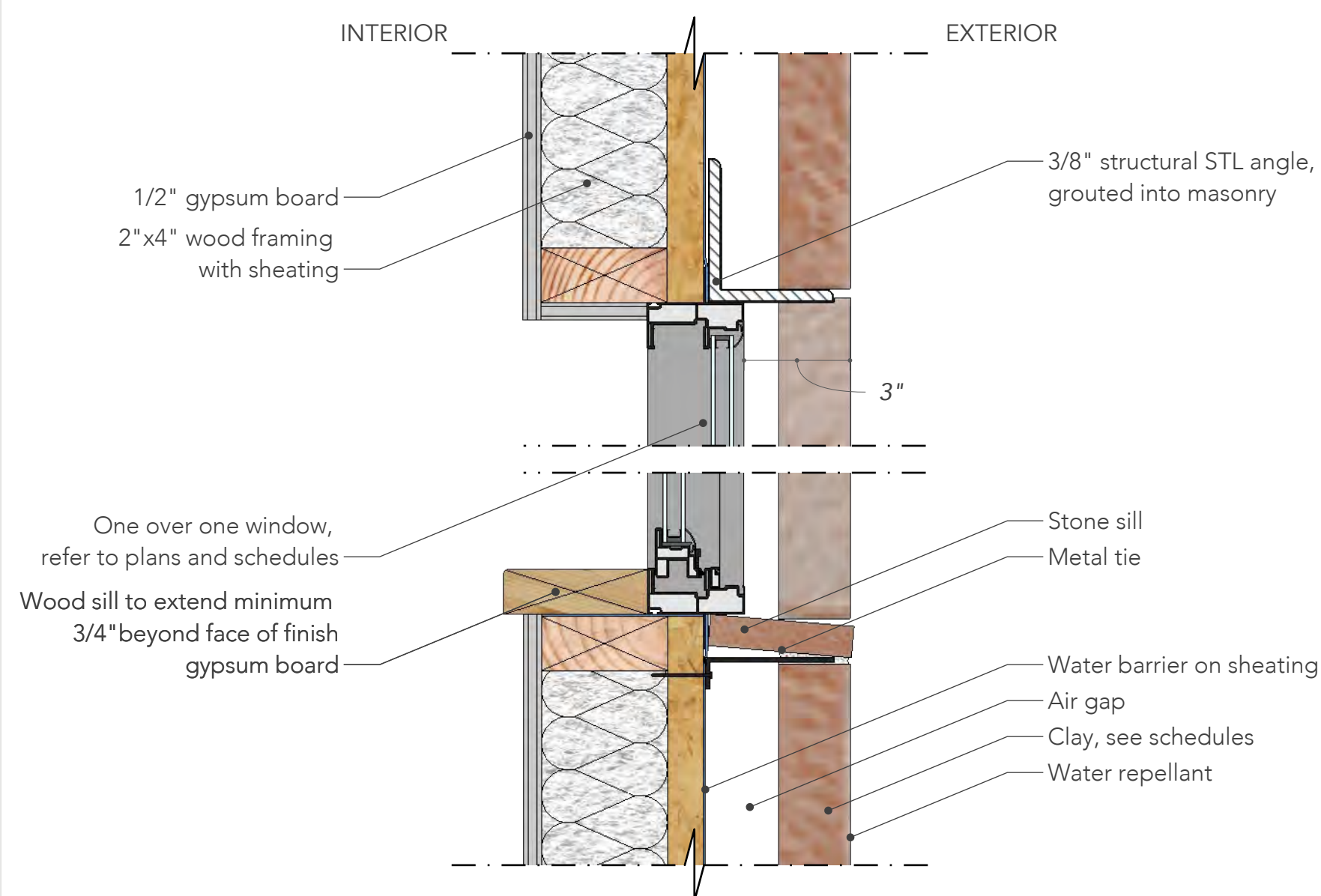
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Revisions:

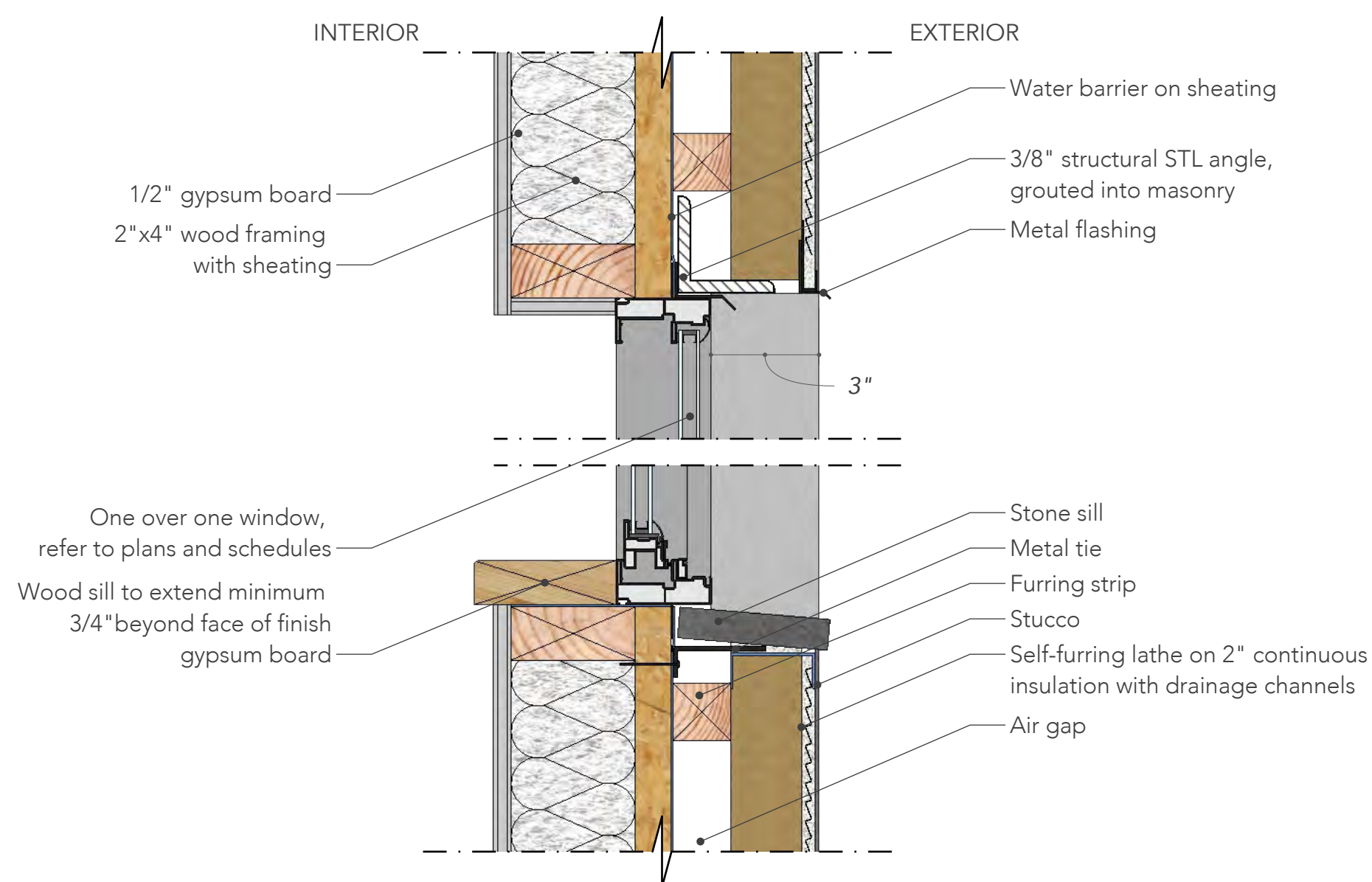
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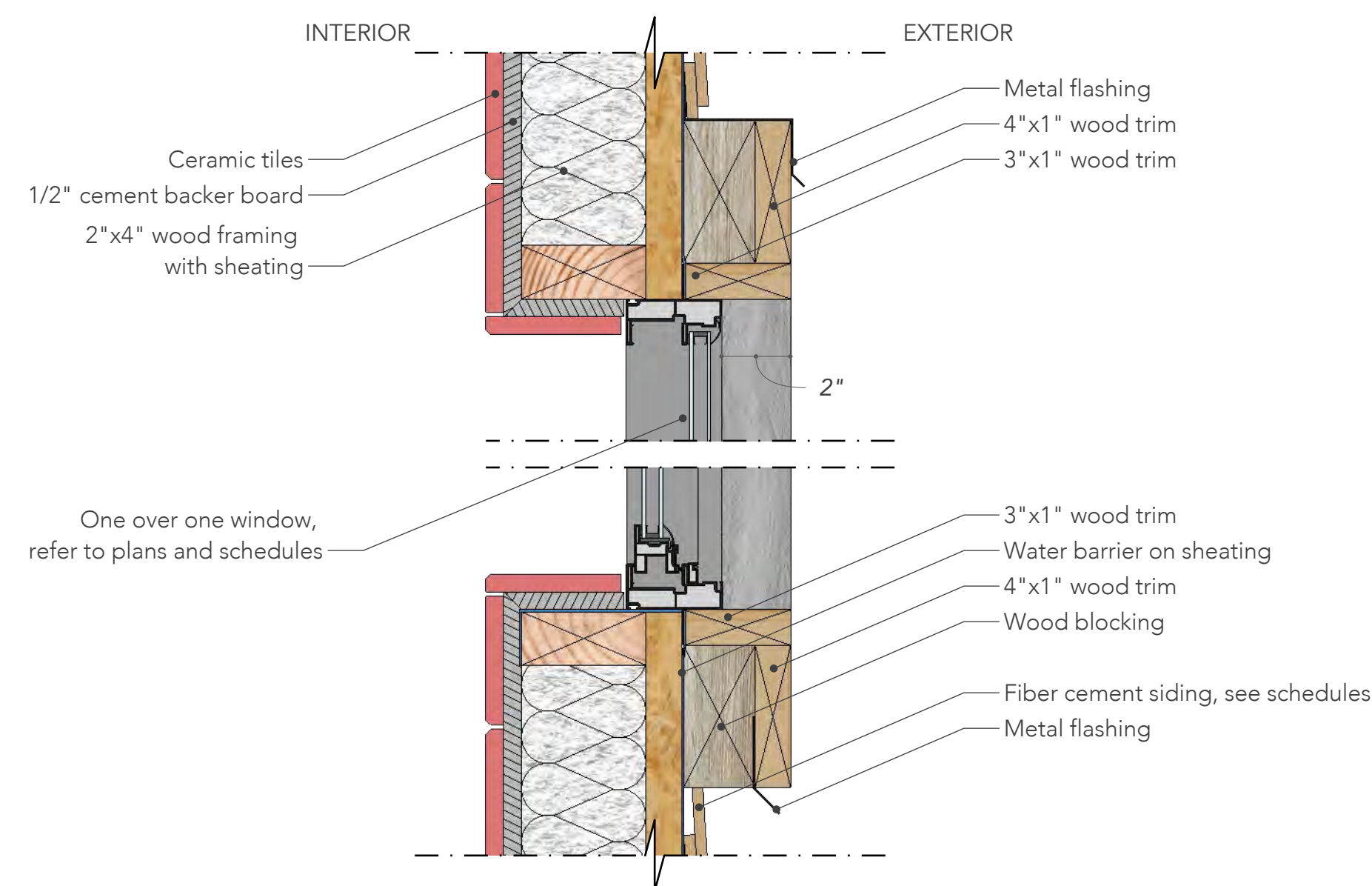
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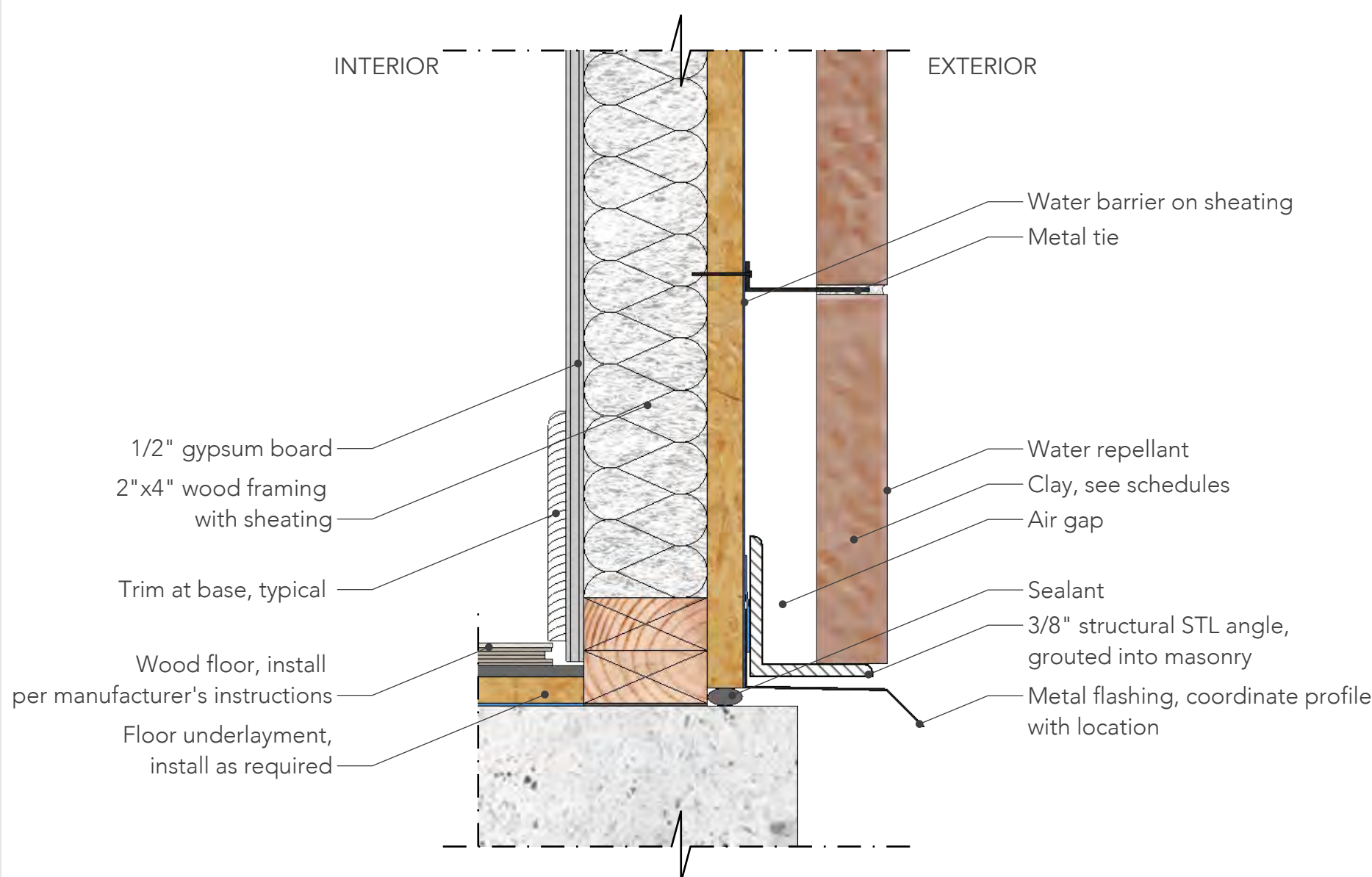
1 TYP HEAD AND SILL, MASONRY FINISH
A7.00 SCALE 3" = 1'-0"



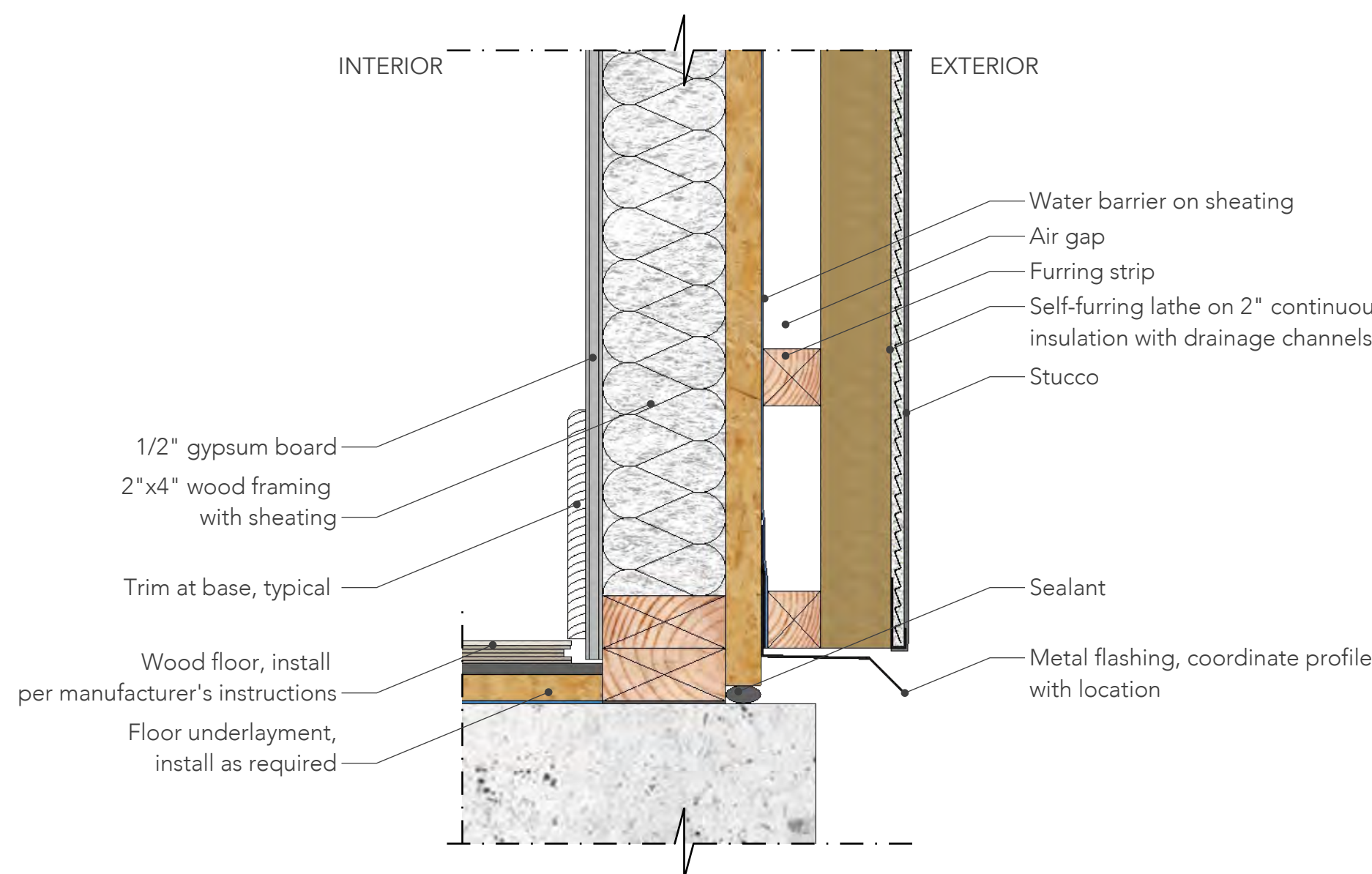
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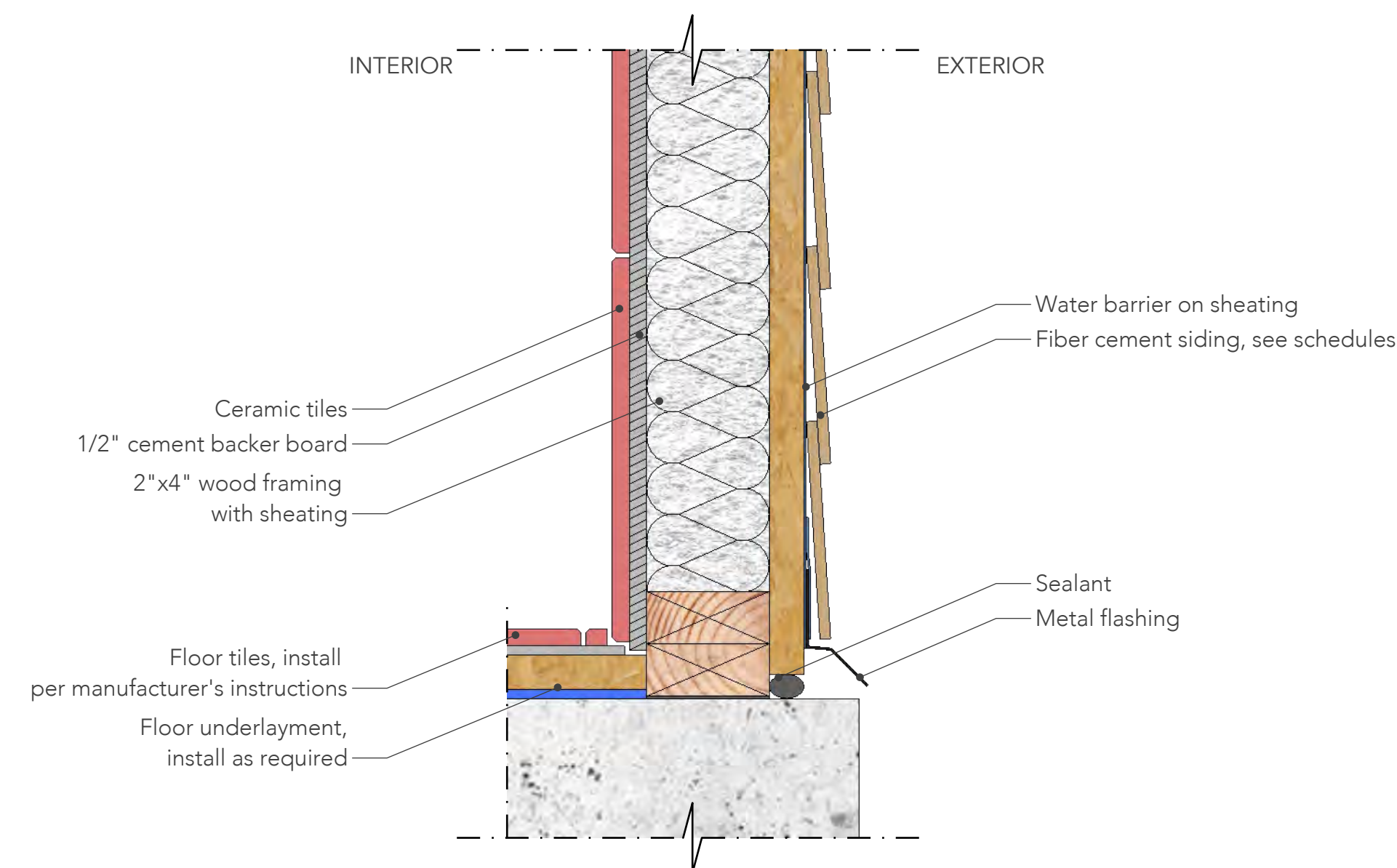
3 TYP HEAD AND SILL, SIDING FINISH
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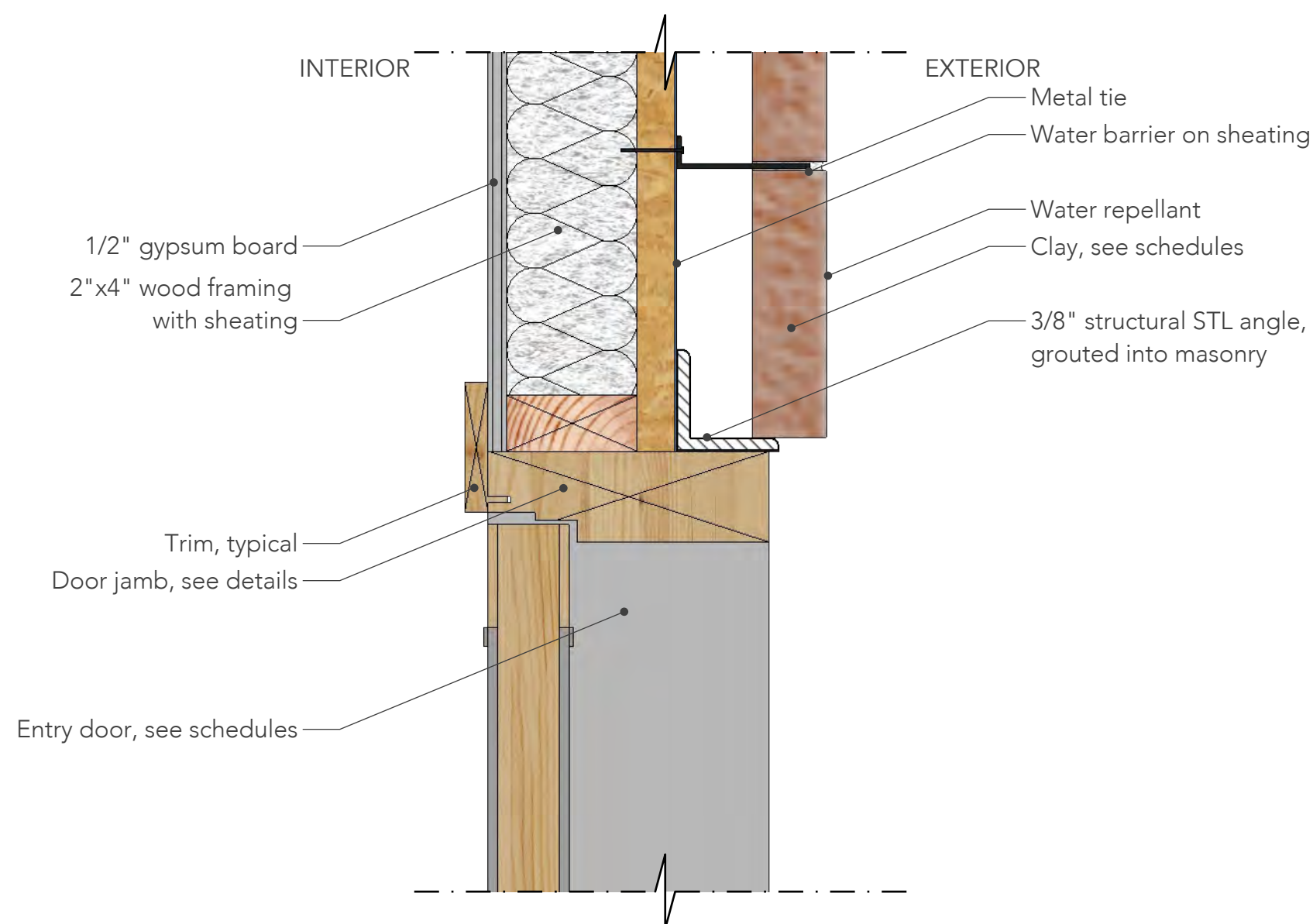
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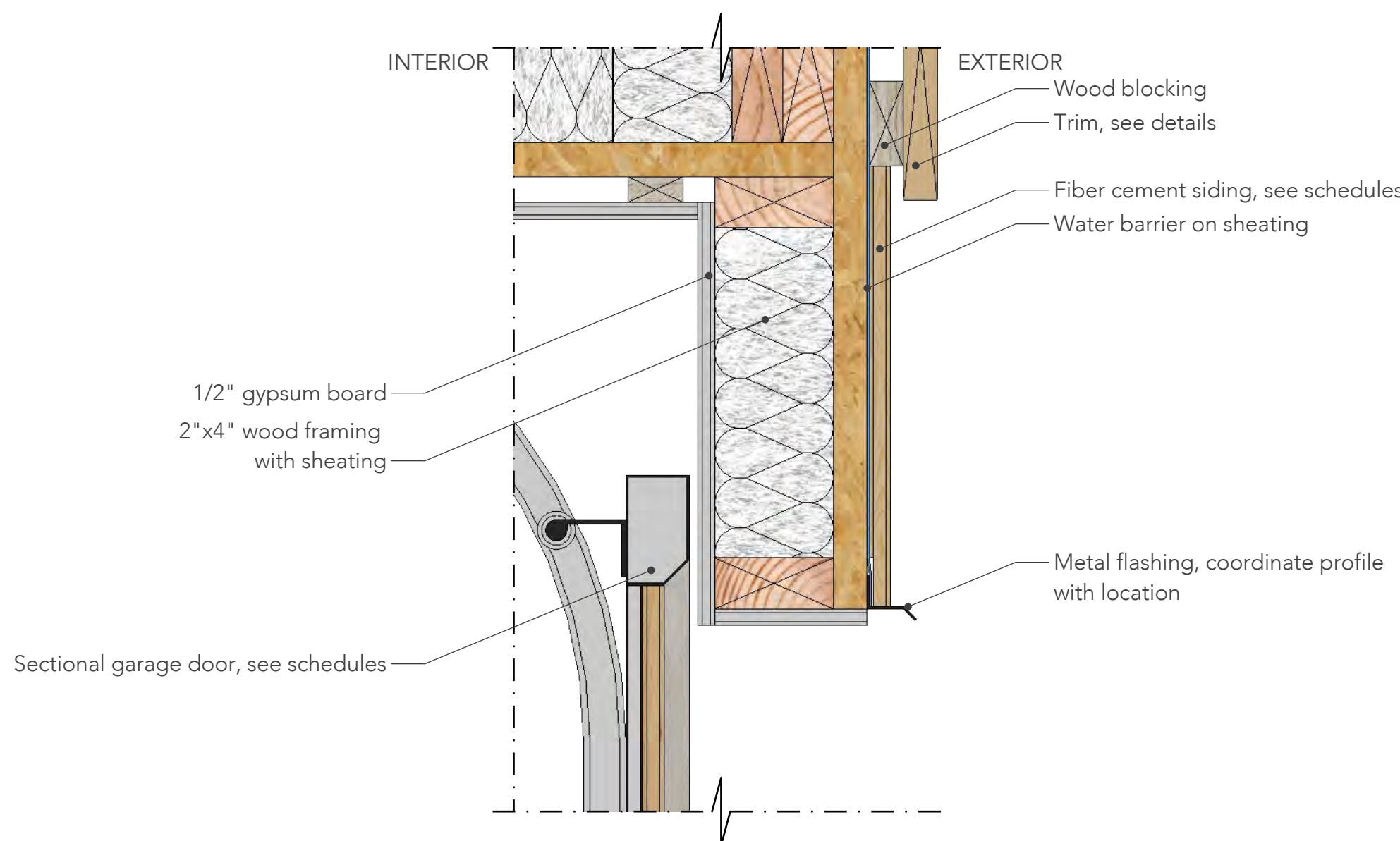
5 TYP FOUNDATION, STUCCO FINISH
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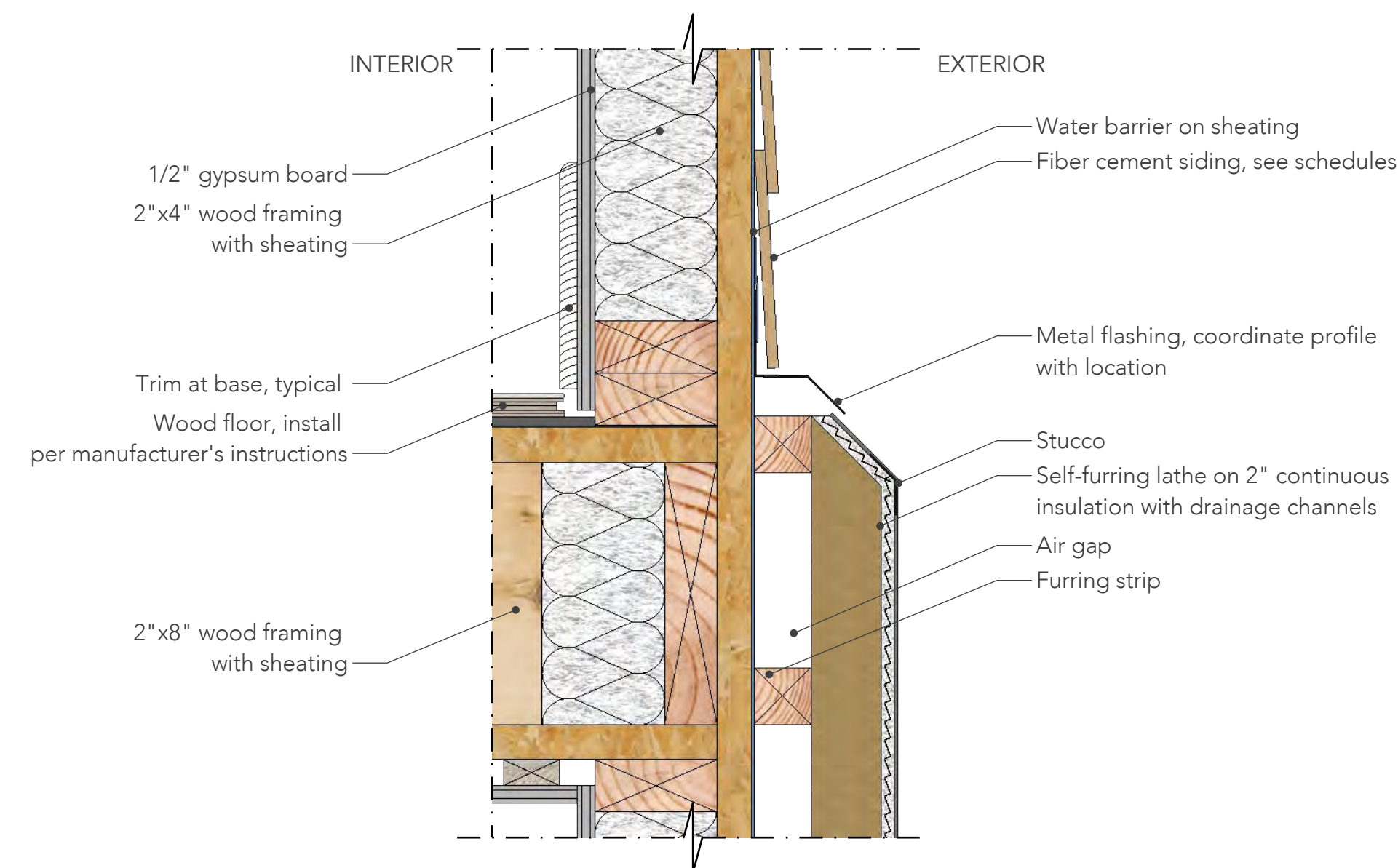
6 TYP FOUNDATION, SIDING FINISH
A7.00 SCALE 3" = 1'-0"



7 TYP HEAD, ENTRY DOOR
A7.00 SCALE 3" = 1'-0"



8 TYP HEAD, GARAGE DOOR
A7.00 SCALE 3" = 1'-0"



9 TYP SIDING-STUCCO JOINT
A7.00 SCALE 3" = 1'-0"

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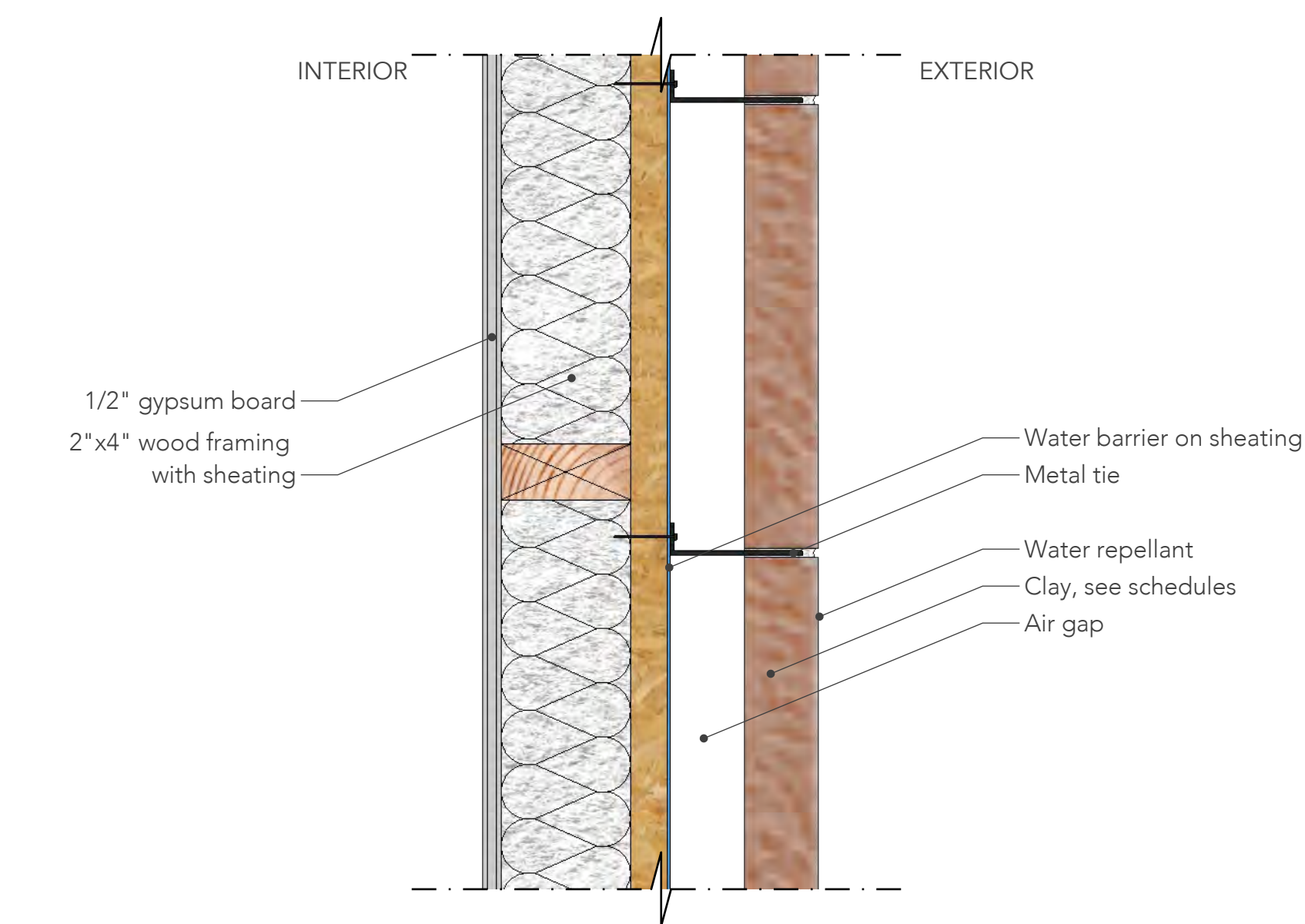
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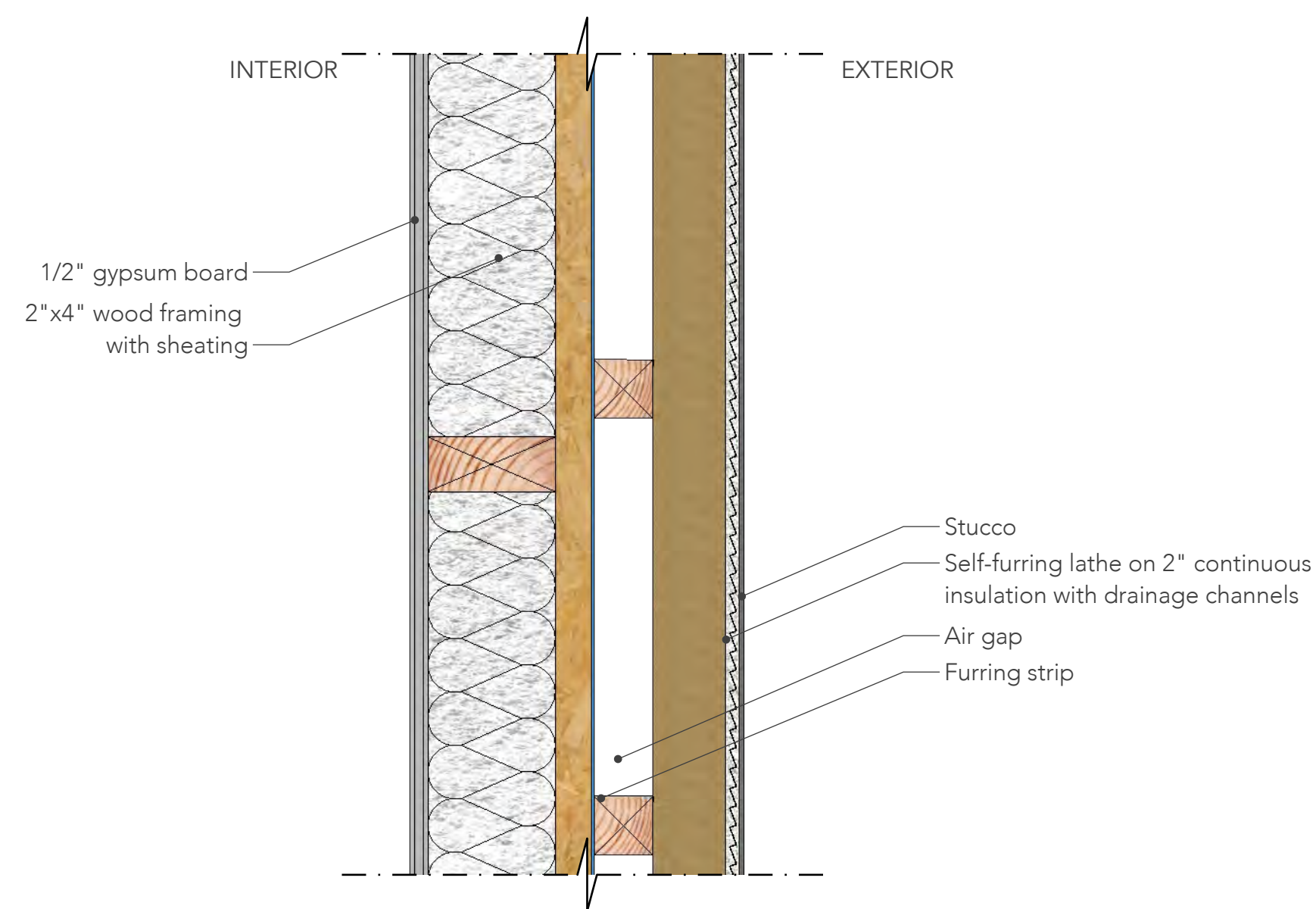
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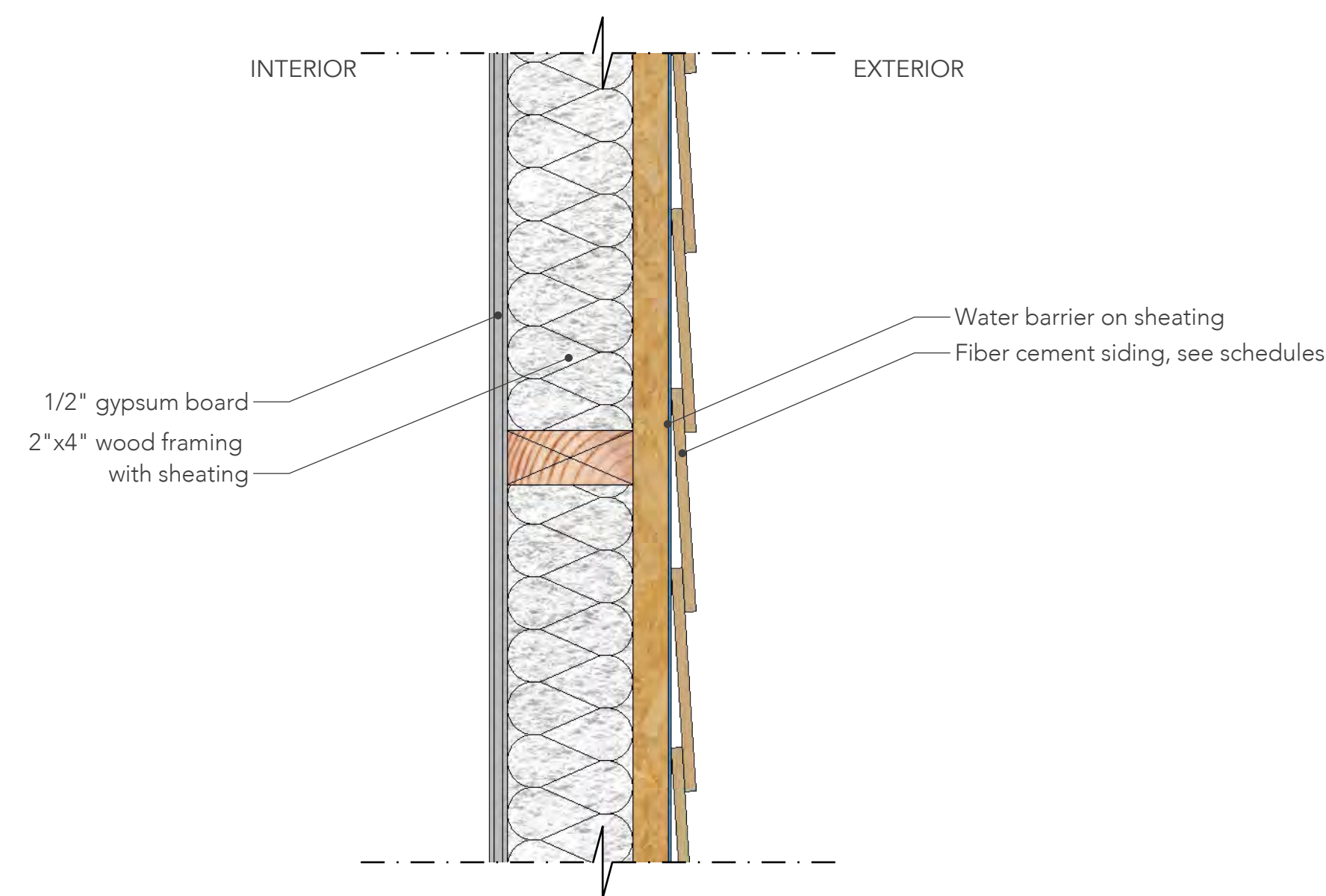
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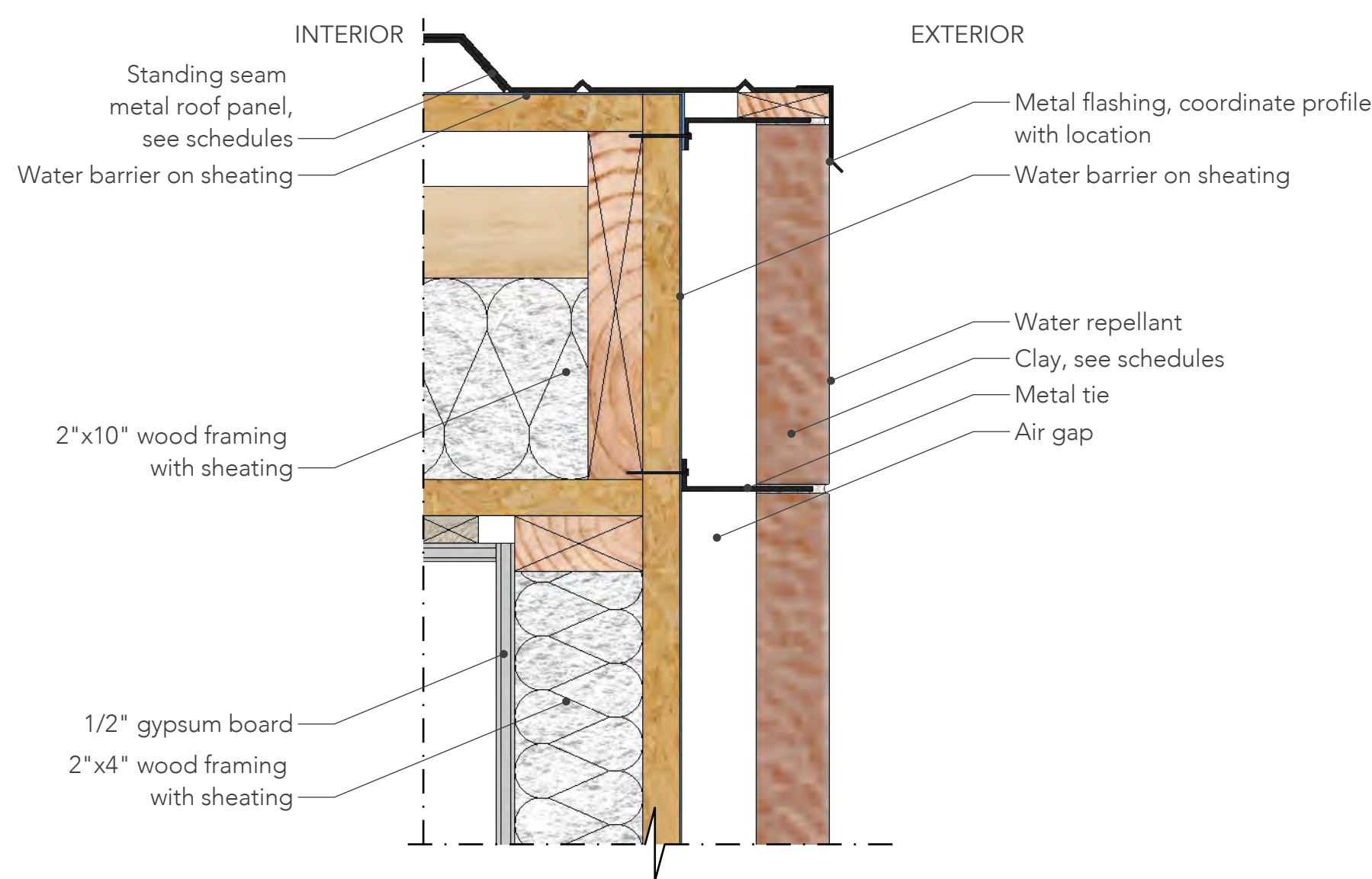
1 WALL TYPE, MASONRY ASSEMBLY
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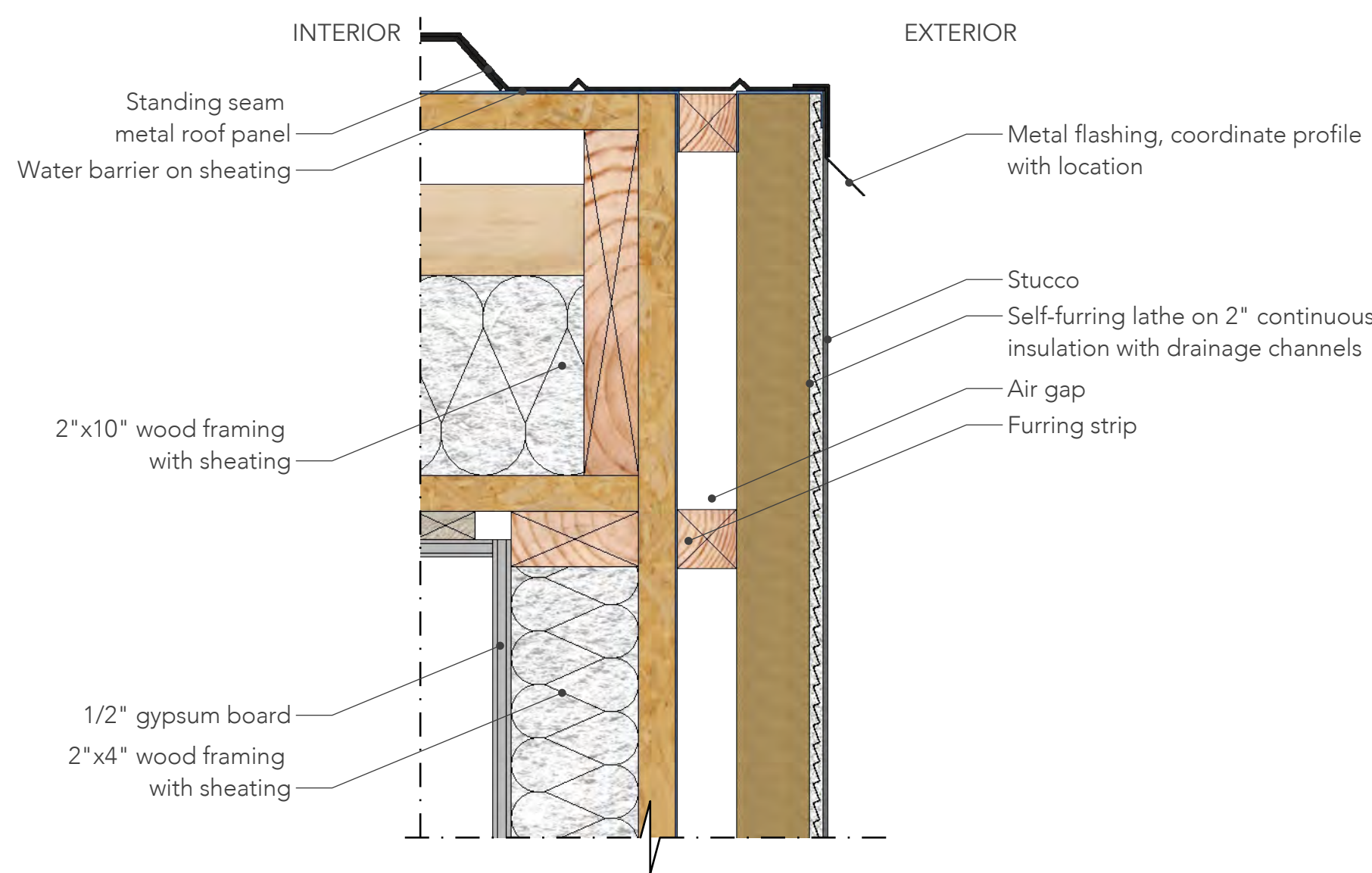
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A7.01 SCALE 3" = 1'-0"



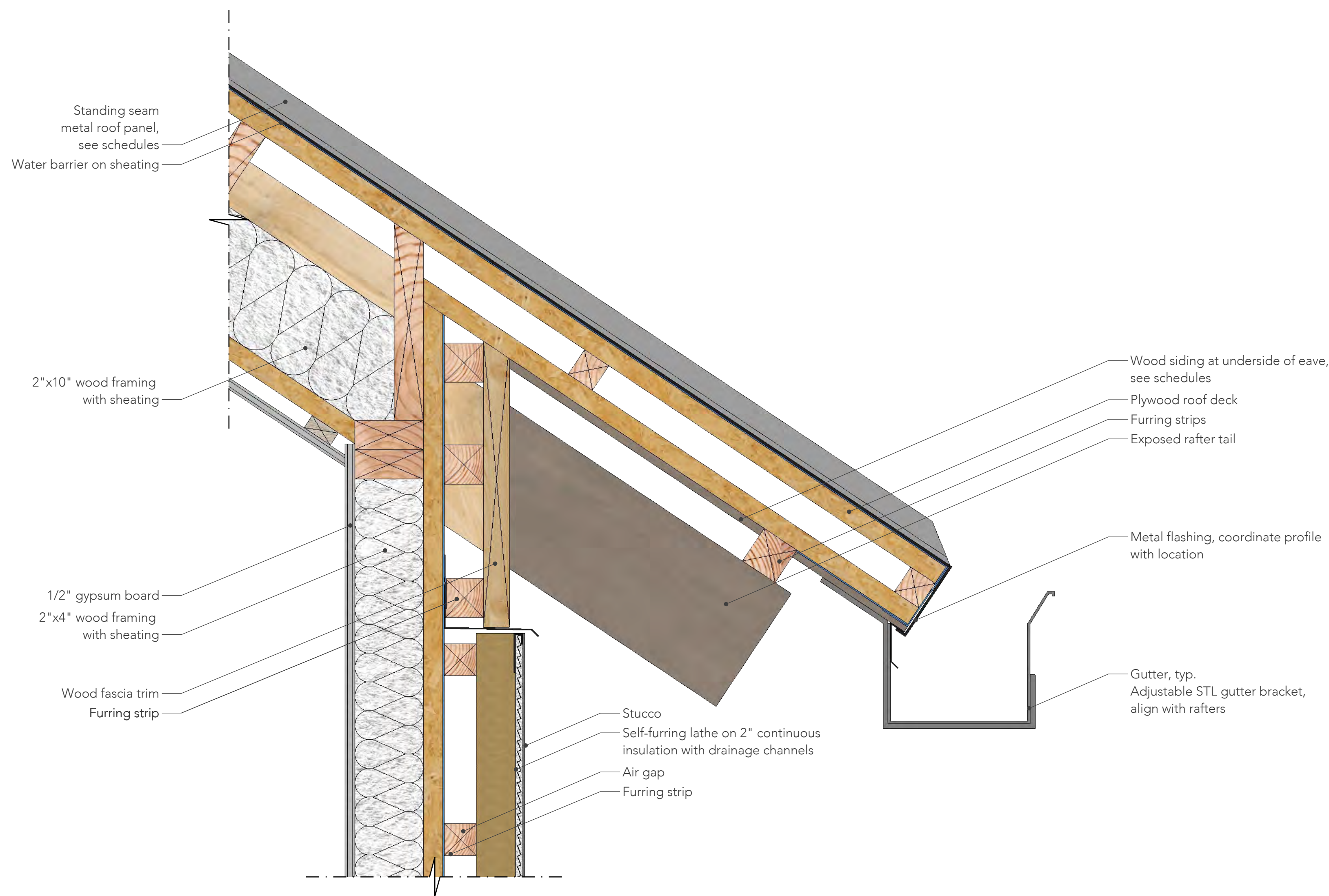
3 WALL TYPE, SIDING ASSEMBLY
A7.01 SCALE 3" = 1'-0"



4 TYP RAKE, MASONRY FINISH
A7.01 SCALE 3" = 1'-0"



5 TYP RAKE, STUCCO FINISH
A7.01 SCALE 3" = 1'-0"



6 TYP EAVE, STUCCO FINISH
A7.01 SCALE 3" = 1'-0"

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Date: 10/02/2019

Revisions:

Sheet Contents:
Details

Sheet Number:

A7.01

Owner:
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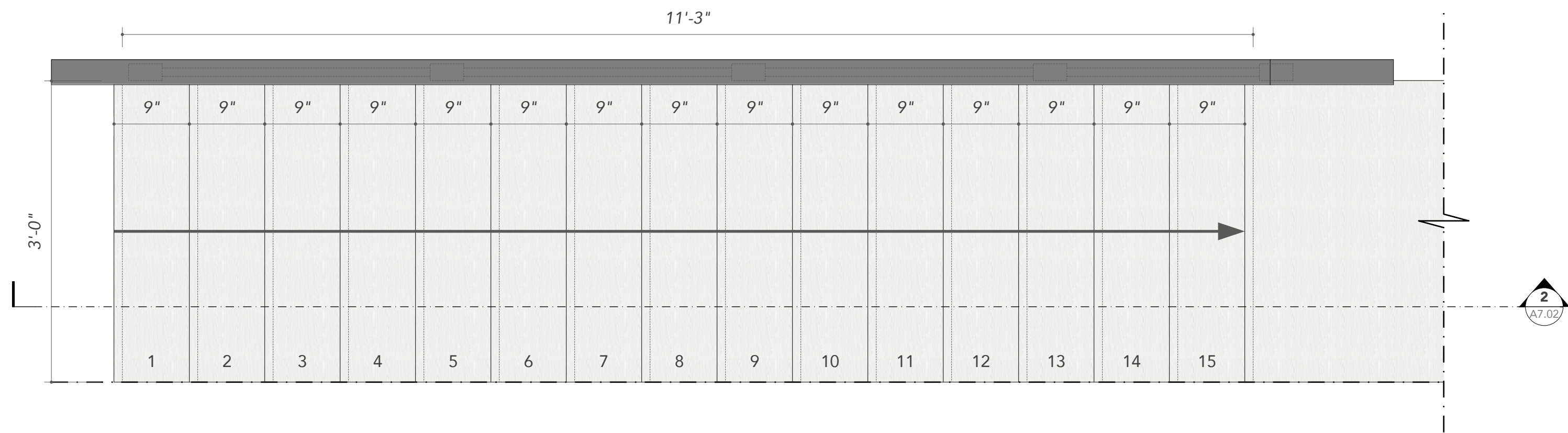
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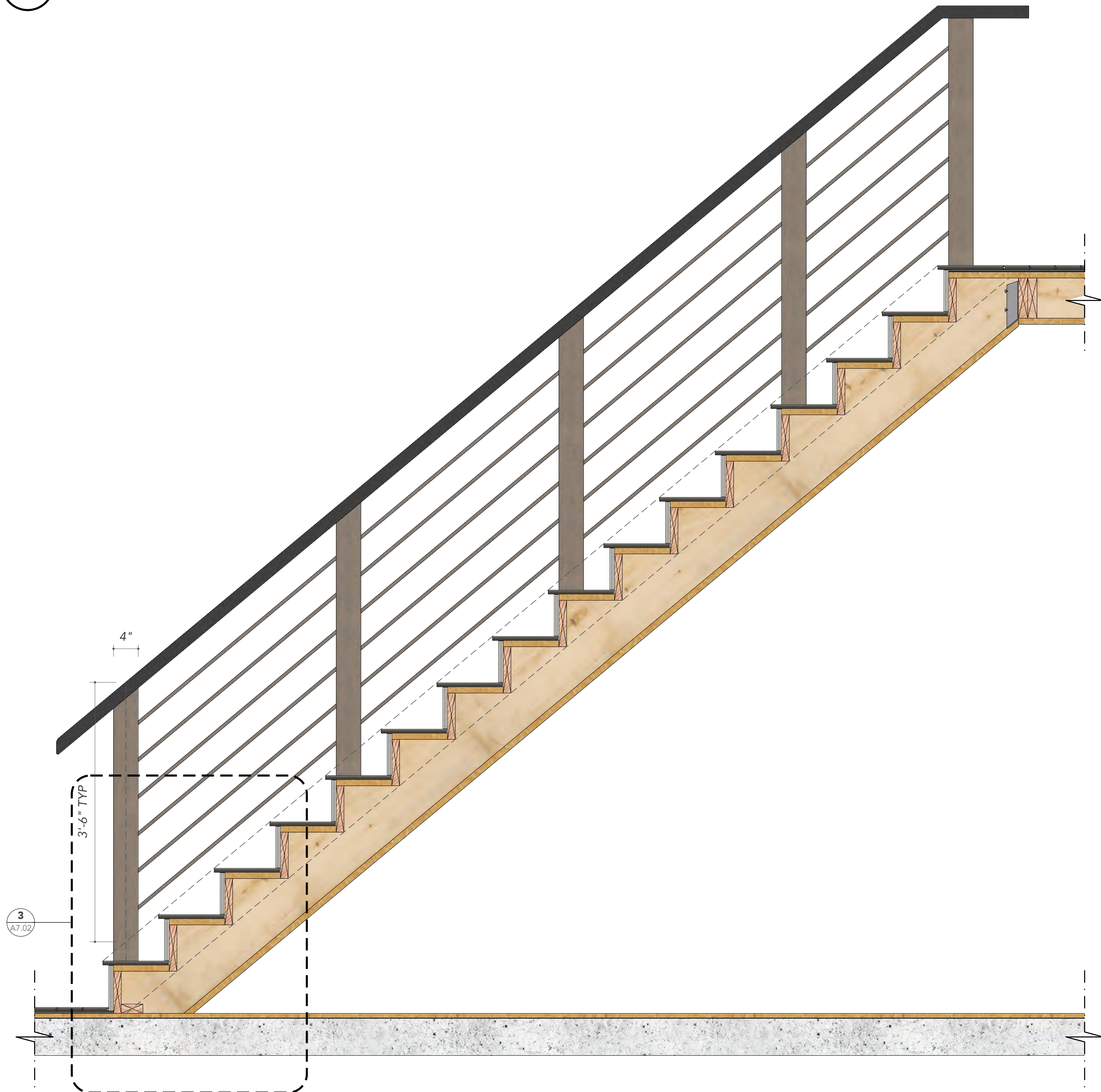
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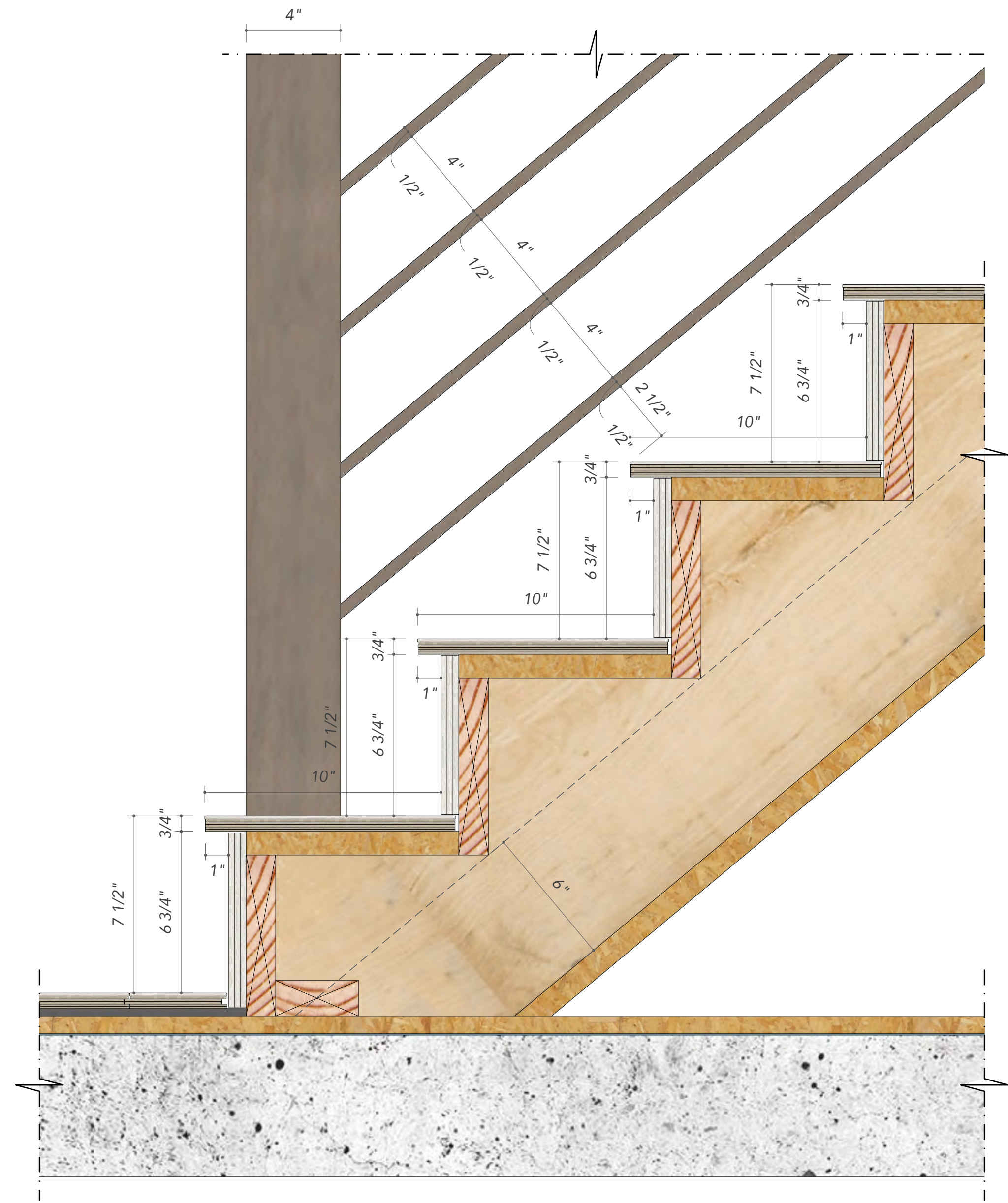
A7.02



1 TYP ENLARGED PLAN
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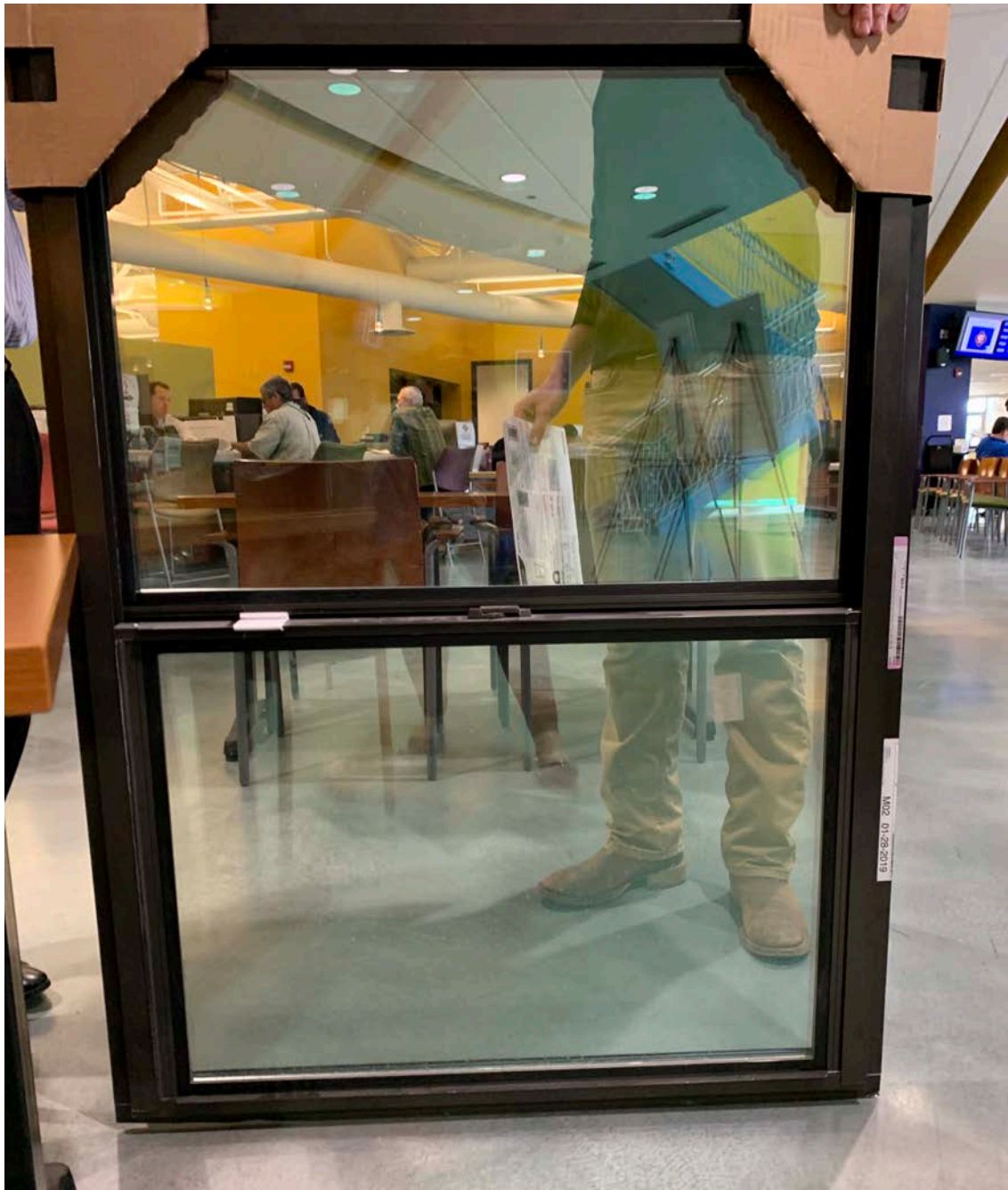


2 TYP STAIRCASE SECTION
A7.02 SCALE 1" = 1'-0"



3 DETAIL
A7.02 SCALE 3" = 1'-0"

Project: 105-113 Brown Street
Window for Consideration — Plygem 3710 Builder Series



Project: 105-113 Brown Street

Window for Consideration — Plygem 3710 Builder Series



Click here for more information:

<https://www.plygem.com/windows-doors/brands/ply-gem/windows/3700-aluminum-series/>



HDRC Requirements	
No use of white manufacturer's color	YES
One-over-One	YES
Meeting rail 1.25" or less	YES
Stiles no wider than 2.25"	YES
2" minimum depth from Front face window trim	YES
2" minimum depth from Front face window sash	YES
Window tracks to be painted to match sill	YES
Aluminum-clad	NO

Project: 105-113 Brown Street

Window for Consideration — Plygem 3710 Builder Series



STANDARD FEATURES

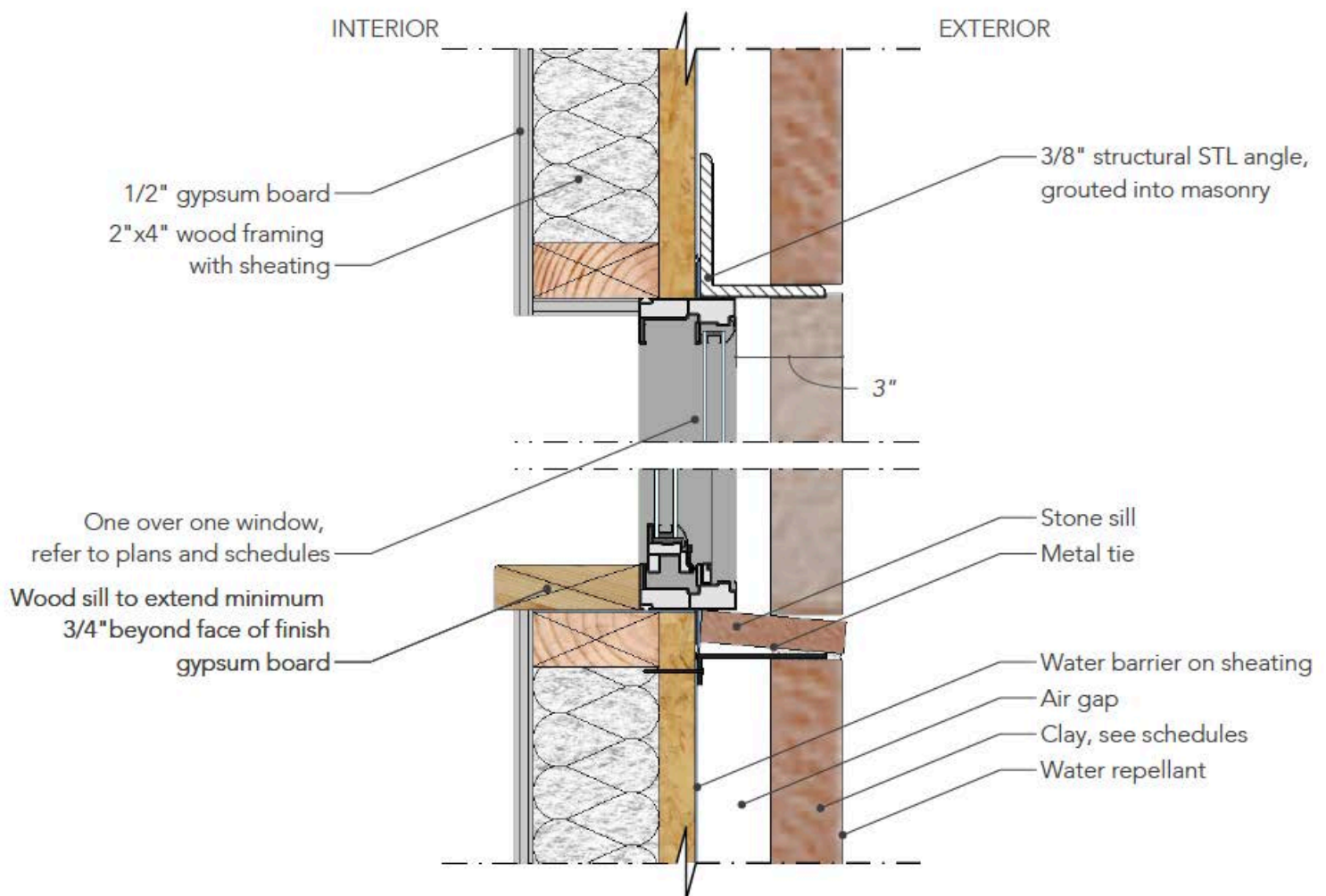
- Virtually maintenance-free extruded aluminum construction with electrostatically applied finish.
- Sloped sill allows for proper water drainage to the exterior
- Sleek profile provides larger viewing area
- Interior glazing allows for easier glass replacement
- Side loading removable bottom sash
- Block and tackle balance for smooth operation
- Energy-efficient warm edge insulating glass for enhanced performance
- 2" or 2 7/16" frame depth (see chart below)
- Structural meeting rail provides rigid stability and allows for a tighter, weather-resistant unit
- Dual lift rails on bottom sash for easy operation
- Integral nailing fin for simple installation

SINGLE HUNG SELECTION GUIDE

SERIES	FRAME DEPTH	NAIL FIN SETBACK	CONSTRUCTION TYPE				
			WOOD SIDING	BRICK	3 COAT STUCCO	BLOCK	EIFS
3710	2"	7/8"	●		●		
3710N	2"	1 3/8"			●		●
3710F	2 7/16"	1 3/8"	●	●	●		●

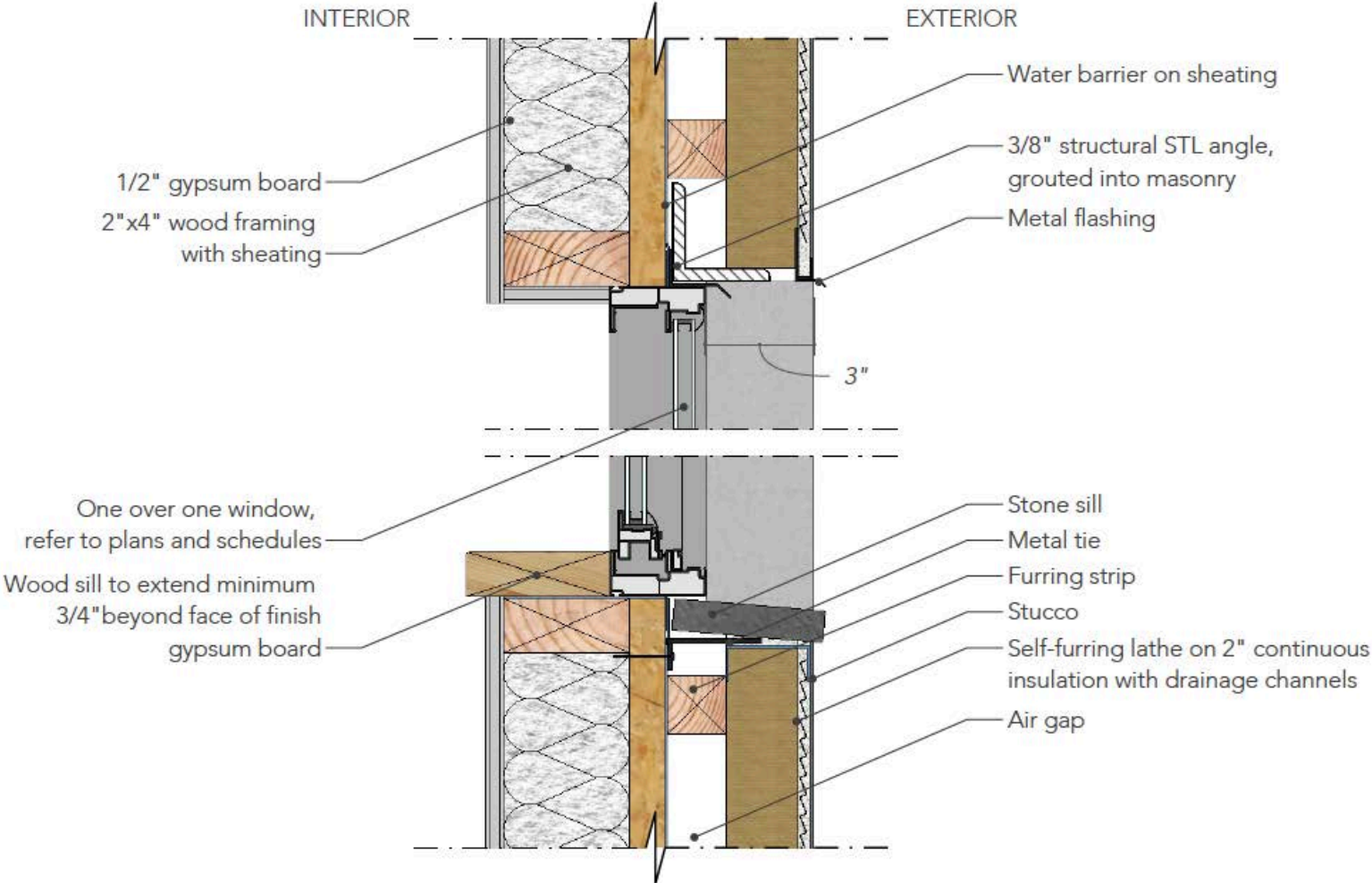
Project: 105-113 Brown Street

Window for Consideration — Plygem 3710 Builder Series



1 TYP HEAD AND SILL, MASONRY FINISH
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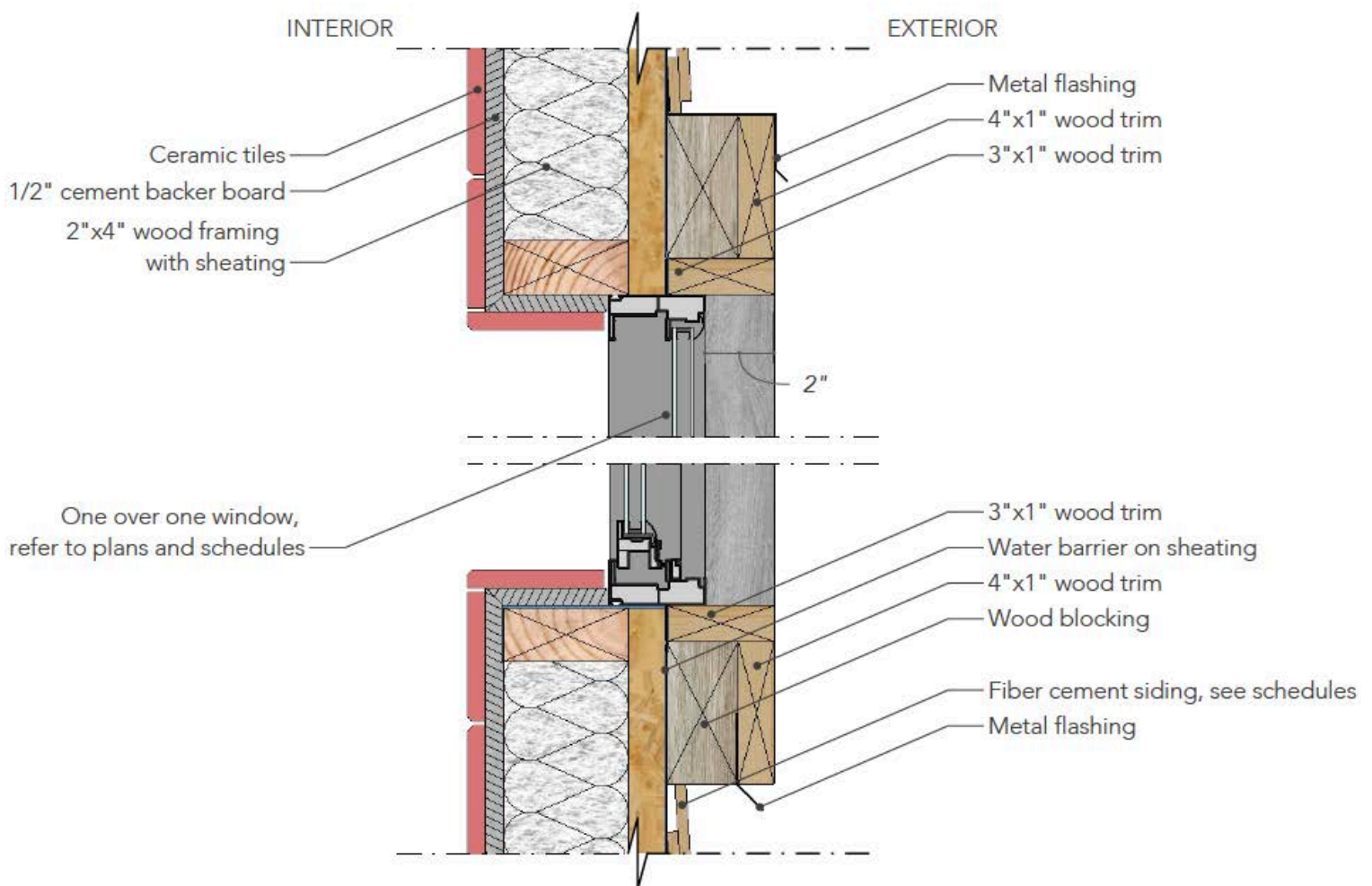
Project: 105-113 Brown Street
Window for Consideration — Plygem 3710 Builder Series



2 TYP HEAD AND SILL, STUCCO FINISH
A7.00 SCALE 3" = 1'-0"

Project: 105-113 Brown Street

Window for Consideration — Plygem 3710 Builder Series



3 TYP HEAD AND SILL, SIDING FINISH
A7.00 SCALE 3" = 1'-0"

Project: 105-113 Brown Street
Window for Consideration — Plygem 3710 Builder Series



King William District 112 Lindell Place, 78212



Dignowity Hill 814 N Pine, 78202