

# HISTORIC AND DESIGN REVIEW COMMISSION

October 02, 2019

**HDRC CASE NO:** 2019-563  
**ADDRESS:** 335 W GRAMERCY PLACE  
**LEGAL DESCRIPTION:** NCB 3967 BLK 2 LOT E 25 FT OF 13 & W 37.5 FT OF 14  
**ZONING:** R-5,H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Robert Codner  
**OWNER:** Robert Codner  
**TYPE OF WORK:** Historic Tax Certification  
**APPLICATION RECEIVED:** September 13, 2019  
**60-DAY REVIEW:** November 12, 2019  
**CASE MANAGER:** Stephanie Phillips  
**REQUEST:**

The applicant is requesting Historic Tax Certification for the property at 335 W Gramercy Place.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d)Certification.

(1)Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

## FINDINGS:

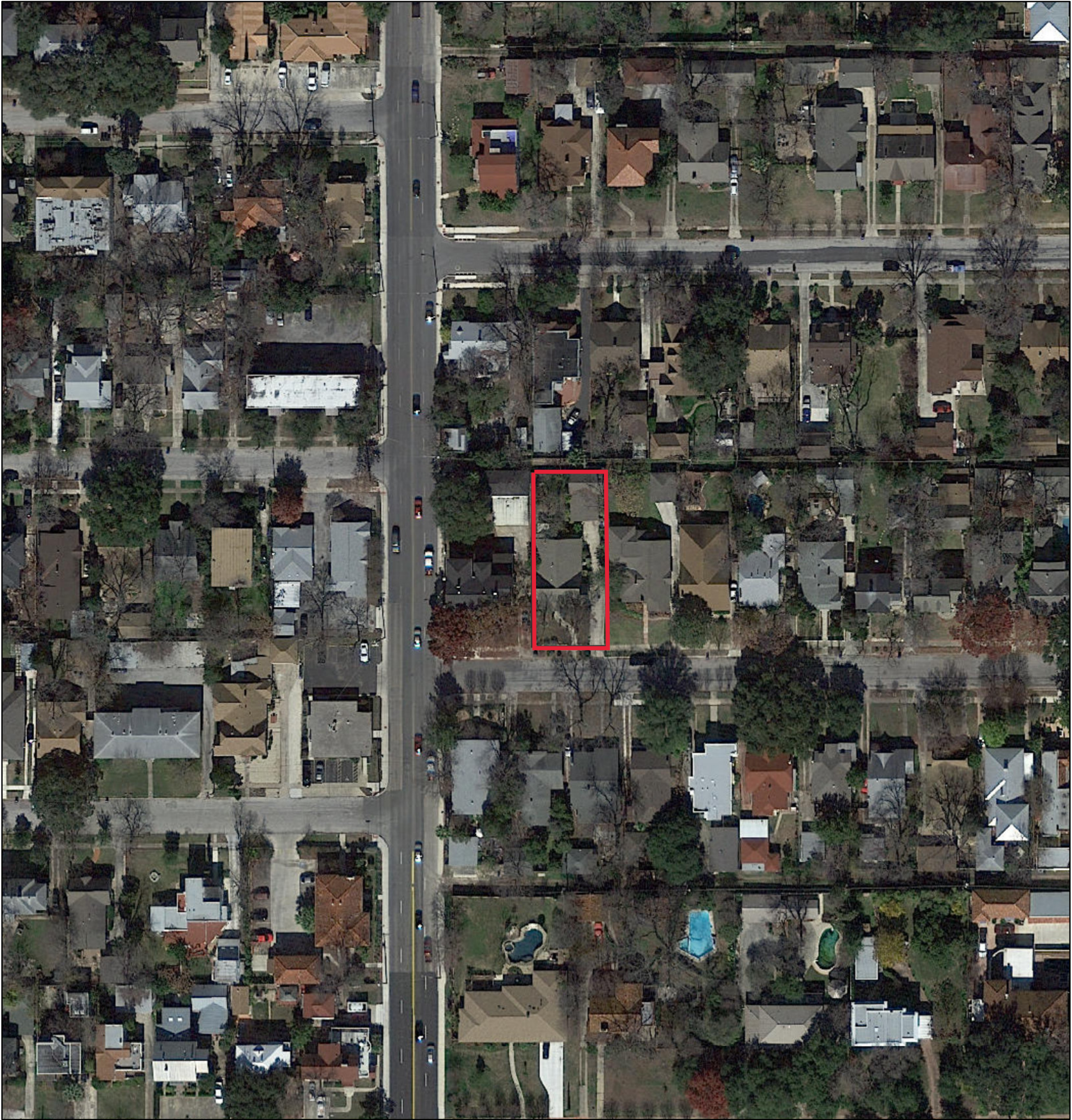
- a. The primary structure located at 335 W Gramercy Place is a 1-story single family structure constructed circa 1925 in the Tudor Revival style. The home features a stucco façade, double front gable with steeply pitched roofs, a front shed dormer window, ganged one over one wood windows, and a low-sloping front porch. The structure is contributing to the Monte Vista Historic District.
- b. The scope of work includes a comprehensive interior remodel, exterior repairs, wood window repair, and painting.
- c. Staff conducted a windshield survey of the site on September 19, 2019, to examine the exterior conditions of the property. Staff commends the applicant for reinvesting in this property.
- d. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

## RECOMMENDATION:

Staff recommends approval based on findings a through d.

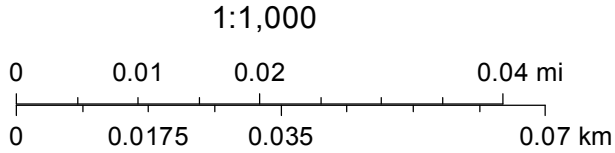


City of San Antonio One Stop



September 26, 2019

—— User drawn lines



CoSA



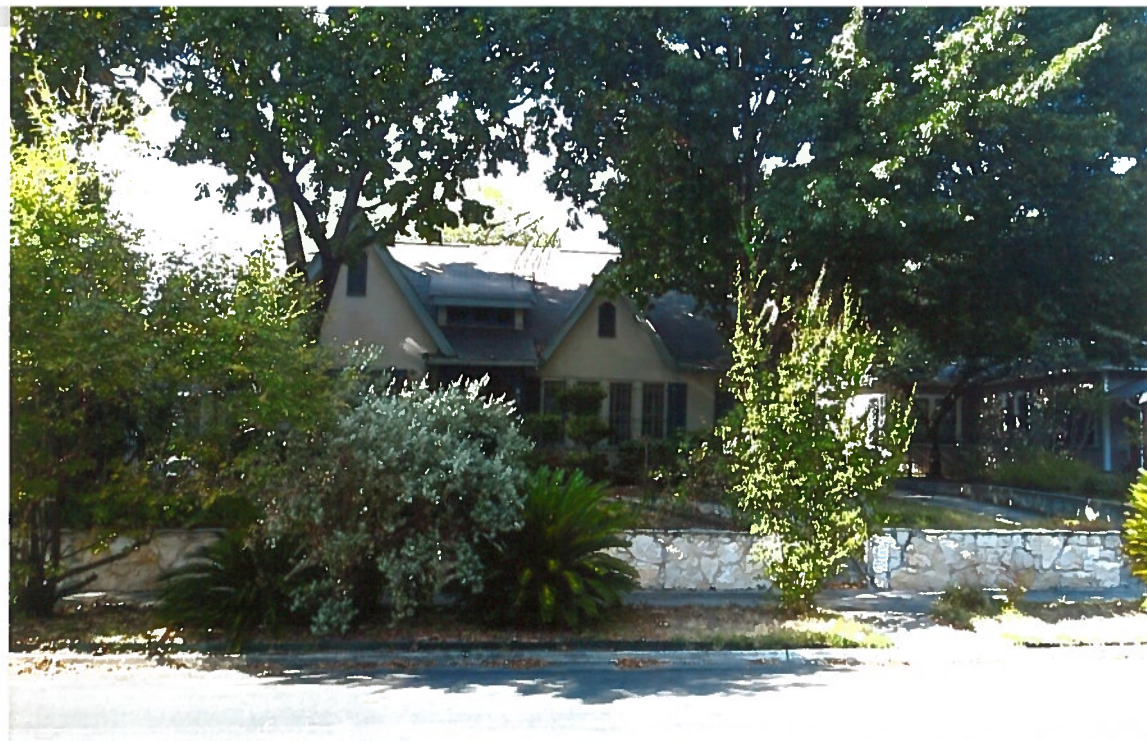


















## GENERAL NOTES:

1. "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", ALL DOCUMENTS A201 2007, SHALL GOVERN ALL WORK PERFORMED UNDER THIS CONTRACT. ALL REQUESTS FOR CLARIFICATION OF THESE DRAWINGS SHALL BE DIRECTED TO OWNER / ARCHITECT AND ALL APPROVALS AND INSTRUCTIONS TO CONTRACTOR SHALL BE ISSUED THROUGH OWNER / ARCHITECT IN THE FORM OF WRITTEN FIELD ORDERS, CLARIFICATIONS, DRAWINGS AND WRITTEN CORRESPONDENCE.
2. **CLAIMS FOR ADDITIONAL COSTS:**  
IF THE CONTRACTOR WISHES TO MAKE A CLAIM FOR AN INCREASE IN THE CONTRACT SUM, HE SHALL GIVE OWNER WRITTEN NOTICE THEREOF WITHIN SEVEN (7) DAYS AFTER THE OCCURRENCE OF THE EVENT GIVING RISE TO SUCH A CLAIM. THIS NOTICE SHALL BE GIVEN BY THE CONTRACTOR BEFORE PROCEEDING TO EXECUTE THE WORK EXCEPT IN EMERGENCIES ENDANGERING LIFE OR PROPERTY. IN WHICH CASE THE CONTRACTOR SHALL PROCEED IN ACCORDANCE WITH GENERAL INSTRUCTION NOTE #3. ANY CHANGE IN THE CONTRACT SUM RESULTING FROM SUCH CLAIM SHALL BE AUTHORIZED BY WRITTEN CHANGE ORDER ONLY.
3. **SUBSTITUTIONS – ORDERING MATERIALS:**  
NO SUBSTITUTIONS WILL BE CONSIDERED UNLESS WRITTEN REQUEST IS SUBMITTED TO OWNER WITHIN TEN (10) DAYS FROM AWARD OF CONTRACT. EACH SUCH REQUEST SHALL INCLUDE A COMPLETE DESCRIPTION OF THE PROPOSED SUBSTITUTE, NAME OF THE MATERIAL OR EQUIPMENT FOR WHICH IT IS TO BE SUBSTITUTED, DRAWINGS, CUT SHEETS, SPECIFICATIONS OR PERTINENT DATA NECESSARY FOR A COMPLETE EVALUATION. ALL APPROVALS SHALL BE GIVEN IN WRITING BY THE OWNER. CONTRACTOR SHALL NOTIFY OWNER WITHIN TEN (10) DAYS FROM AWARD OF CONTRACT, IN WRITING THE NAMES OF ALL SUBCONTRACTORS AND CERTIFY THAT ALL MATERIAL AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE PROJECT DATES HAVE BEEN ORDERED WITH THE CONFIRMED DELIVERY DATES COORDINATE WITH THE PROGRESS SCHEDULE. SUCH NOTIFICATION SHALL LIST EXPECTATIONS, INCLUDING THE CAUSE, I.E. REQUEST FOR SUBSTITUTE.
4. **PROGRESS SCHEDULES:**  
THE CONTRACTOR SHALL INCLUDE IN THEIR BID AN ESTIMATED PROGRESS SCHEDULE OF WORK.
5. **PROTECTION – PERSONS & PROPERTY:**  
THE CONTRACTOR SHALL TAKE THE REASONABLE PRECAUTIONS FOR THE SAFETY OF AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO EMPLOYEES ON THE JOB AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREIN. ALL COMPLETED WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN WHICH IS IN THE CUSTODY OR CONTROL OF THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES AND REGULATIONS OF ANY PUBLIC AUTHORITY HAVING JURISDICTION IN ANY EMERGENCY AFFECTING THE SAFETY OF PERSONS OR PROPERTY. THE CONTRACTOR SHALL ACT TO PREVENT THREATENED DAMAGE, INJURY OR LOSS.
6. **COMPLETION:**  
WHEN CONTRACTOR'S WORK IS NEARING COMPLETION, CONTRACTOR SHALL NOTIFY OWNER ACCORDINGLY IN WRITING, UPON INSPECTION, TENANT AND CONTRACTOR WILL PREPARE A FINAL "PUNCH LIST" OUTLINING INCOMPLETE OR UNACCEPTABLE WORK. THE PROJECT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL ITEMS ON THE PUNCH LIST HAVE BEEN COMPLETE OR RESOLVED TO THE OWNERS' / TENANTS' SATISFACTION.
7. BY EXECUTING THE CONTRACT THE CONTRACTOR REPRESENTS THAT HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER.
8. **MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND SEPTIC SYSTEMS** SHALL BE ENGINEERED BY BUILDING CONSULTING ENGINEERS OR GENERAL CONTRACTOR'S SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
9. THE CONTRACTOR SHALL PERFORM ALL WORK AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS OF LOCAL GOVERNING BODY AND AS REQUIRED FOR FULL AND COMPLETE CONSTRUCTION AS SPECIFIED IN THE CONTRACT DOCUMENTS.
10. ALL WORKS WILL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT BASED ON CONFORMANCE WITH CONTRACT DOCUMENTS, INCLUDING FIELD ORDERS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL CODES, RESTRICTIONS, AND ORDINANCES, AND SHALL PAY ALL FEES, PERMITS, LICENSES, WARRANTIES, AND GUARANTEES FOR THIS PROJECT. DESIGN WILL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL CODE SERIES. SERIES INCLUDES 2015 IRC, 2015 IBC, 2015 IECC, IPC, ICC AND IMC.
12. INSTALL ALL PRODUCTS AND APPLIANCES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

## SEVERAL PROJECT NOTES

1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REGULATIONS.
2. THIS BUILDERS SET OF DRAWINGS ARE NOT INTENDED OR SUITABLE FOR CONSTRUCTION AND THAT A LICENSED PROFESSIONAL NEEDS TO ADAPT THE DRAWINGS IF THEY ARE TO BE USED FOR CONSTRUCTION.
3. DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NONCOMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.
4. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES AND 2015 IECC.
5. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING OR WATERPROOFING.
6. THESE DOCUMENTS DO NOT SPECIFY ALL ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.
7. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING CODES.
8. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DAMP PROOFING LOAD CONNECTIONS AND MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
9. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRUCIAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
10. ALL DIMENSIONS ON THE PLAN ARE TO THE STRUCTURAL FACE OF WALL AND NOT INCLUDE WALL FINISHES OR FURRING.
11. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS ARE PER APPLICABLE CODES.
12. WINDOW MANUFACTURER AND BUILDER TO VERIFY EXCESS WINDOWS INSTALLED WHERE REQUIRED BY CODE.
13. PROVIDE BLOCCING FOR CEILING FANS, TELEVISIONS, TOWEL BARS WHERE SPECIFIED.
14. WEATHER STRIP ATTIC ACCESS DOOR(S).
15. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 2'-0" OF ACCESS. PROVIDE 1 1/2" NET FREE AREA OF ATTIC VENTILATION PER 100 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE (IF APPLICABLE – VERIFY FINAL INSULATION SELECTION).
16. THE DROP FROM ANY INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR TO BE A MINIMUM OF 1-1/2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.
17. THE STANDARD MOUNTING HEIGHT FOR SHOWER HEADS IS 6'-4" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED, VERIFY WITH OWNER.
18. PROVIDE BLOCCING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.
19. ALL PREPACES TO HAVE A 20" DEEP HEARTH AND 12" NON-COMBUSTIBLE SURROUND. (IF REQUIRED)
20. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEERS SPECIFICATIONS.
21. THE DESIGN AND SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER, ETC) CHOSEN BY THE BUILDER/OWNER TO DO SAD DESIGN.
22. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONS. HEIGHT REQUIREMENTS PER CODE BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAIN FOR PRELAPSE ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS.
23. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL OF THE WORK IN CONFORMANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
25. SUPPLY PROPER POWER(S) TO HVAC UNITS IN ATTIC. PROVIDE POWER AT HVAC COMPRESSOR UNITS). VERIFY LOCATION(S) OF RETURN AIR VENTS.
26. PROVIDE ELECTRIC AND SWITCHES FOR LANDSCAPE LIGHTING, ETC. VERIFY WITH BUILDER/OWNER. PROVIDE FOR LIGHT NEW HAV IN ATTIC.
27. SMOKE/CO2 DETECTORS SHALL BE LOCATED INSIDE EACH BEDROOM AND IMMEDIATELY ADJACENT TO ONE OUTSIDE PER CODE. ALL SMOKE DETECTORS SHALL BE HARDWIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUPS TO BE LOCATED IN THE ATTIC.
28. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
29. CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY DISCREPANCIES OR ERRORS OF DIMENSIONS, CLEARANCES OR OTHER ITEMS AS SHOWN OR NOTED ON THESE DRAWINGS.
30. COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
31. HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY GENERAL CONTRACTOR. VERIFY AIR HANDLING UNITS). VERIFY FINISH ATTIC STRUCTURAL DESIGN.
32. ALL BATHROOM/ETC VENTS TO VENT TO OUTSIDE PER CODE.

## SPECIFICATIONS

### 01100 GENERAL REQUIREMENTS

- A. These Specifications and Drawings shall be known as the Contract Documents and shall be incorporated in any Contract for the construction of the addition for which these documents were prepared. Contract form to be AIA A193 - 2007 Agreement Between Owner and Contractor.
- B. INSURANCE: The following insurance shall be maintained as described and all such policies shall be open to inspection by the Owner. If contractor fails to show policies on request, the Owner may insure his own interest and charge to the contractor.

Assume risk of loss of the improvements to be constructed under this contract until final completion and acceptance, and liability for persons and damage to property arising by reason of, or as an incident to the construction and further, defend, indemnify and save Owner harmless from all claims and liabilities arising in the connection.

Contractor shall carry and pay costs of General and Auto Liability and property damage insurance with liability limits of not less than \$1,000,000/\$2,000,000, respectively.

Contractor shall carry and pay costs of fire and extended insurance for the full value of work installed and materials.

Such policies of insurance shall be written in companies approved by Owner. Furnish Owner with said policies or certificates thereof upon request, prior to signing contract.

Insuring agencies shall furnish owner certificates of insurance evidencing insurance coverage of Contractor and all Sub-Contractors.

Contractor and all Subcontractors shall carry Workmen's Compensation Insurance as required by law.

Contractor shall provide, keep in force and at his cost, maintain at all times during the contract and progress of work sufficient policies of insurance to amply indemnify himself and Owner as their interest may appear, in both terms and amount against all risk or loss of damage by fire, windstorm, tornado, cyclone, hail, extended tempest, vandalism, and any other cause that occur to work and acceptance of same as a whole. Such policies shall be open to inspection by Owner. If contractor fails to show them on request, Owner may insure his own interest and charge the cost to the contractor.

1. Owner to have waiver of subrogation from Contractors' insurance company, shown on certificate of insurance sent to owner by Contractors' insurance agent.

2. Owner to be named as additional-insured under Contractors' General Liability policy. This policy is to include products and completed operations. Certificate of insurance is to be sent to Owner by Contractors' insurance agent.

3. Contractor to provide a Builders' Risk policy with Owner and Contractor named together as insured.

A. Contractor shall include in his bid a proposed date of completion. The completion date will be subject to extra time or extension of time, due to work stoppage over which the Contractor has no control, such as inclement weather.

B. Contractor and his Sub-Contractor will cooperate with mechanics of various trades related by the Owner to carry out work not included in these Documents.

C. Contractor shall be responsible for compliance with all codes, restrictions, and ordinances, and shall pay all fees, permits, licenses, warranties, and guarantees for this project.

D. Contractor shall warrant and/or guarantee for one (1) year from date of acceptance by the Owner in writing all work included in this contract. This shall include all hardware, cabinets, paint, electrical, A/C, plumbing, etc., but shall not apply to work abused or neglected by the Owner.

E. Before construction commences, the Contractor shall provide a Schedule of Values, by trade, which is the basis for the Contractors' Applications for Payment.

F. At each Application for Payment, the Contractor shall deliver to the Owner:

1. A waiver of lien against the project by all separate subcontractors for previous payment.
2. A 10% retainage on each payment shall be paid to contractor at final acceptance.

G. At completion of project, but before acceptance of work, the Contractor shall deliver to the Owner:

1. A waiver of lien against the project by all separate subcontractors and suppliers for previous payment.
2. An affidavit that all bills chargeable against the project are paid.
3. All guarantees or bonds as required on specific parts of the work.
4. Written and oral instructions on the operation and maintenance of all operating equipment in the building.

H. Labor shall be performed in best, most workmanlike manner by mechanics skilled in their respective trades. Standards of work required throughout such grade as will bring results of first-class only.

I. Mechanics whose work is unsatisfactory to the Owner, or who are considered by the Architect, or Owner, to be careless, incompetent, unskilled, or otherwise objectionable are to be dismissed from work upon notice from the Architect or Owner.

J. At completion, a general clean up, including glass cleaning, is required.

K. These Drawings are a general indication of work to be performed and are not intended to mention or indicate every item of construction or equipment. It shall be the responsibility of the General Contractor to include all such items in his bid price and to notify the Owner immediately upon the discovery of any major unforeseen item of construction or demolition not indicated on the Drawings or not included in the Construction Contract.

L. Contractor shall comply with the standard form of the American Institute of Architects, titled "The General Conditions of the Contract for Construction", A.I.A. Document No. A-201, 2007 Edition, Articles 1 through 15, inclusive. A copy of these General Conditions and the Contract set on file at the office of the Architect and/or Owner and may be examined upon request. The General Conditions apply to each and every contract, contractor and subcontractor or other persons supplying materials or labor for the construction and completion of this building.

M. Temporary Support Facilities

1. Maintain copy of blueprints and specifications on location.
2. Toilets: Provide single occupant, self-contained unit.
3. Power distribution: Provide weatherproof, grounded circuits with ground-fault interruption features, with proper power characteristics and either permanently wired or plug-in connections as appropriate for intended use. Provide over-voltage-protected disconnect switch for each circuit at distribution panel. (Electrical power to be provided at Contractors expense or use Owner's electrical service with any resulting damage covered by Contractor.)
- P. Weekly jobsite clean up to occur throughout course of construction.

Q. Required Submittals and Shop Drawings: Provide shop drawings or product samples for Owner or Architect approval for the following items:

1. Metal Roof details and layouts
2. HVAC equipment and grille submittal
3. Door and Window Submittal
4. Outdoor Ceiling Fans submittal
5. Light Fixture submittal
6. Switch Plates and Cover Plates submittal
7. Plumbing Fixture and fittings submittal
8. Paints and Stains submittal
9. Appliance submittal
10. Cabinetry shop drawings
11. Countertop Material submittal
12. Door and Window Hardware submittal
13. Exterior deck and railing system submittal

Required Mock-ups and Samples:

1. Stucco mock-up
2. Stone veneer samples 3'-0" high x 4'-0" long mock-up with mortar color and application technique with Cast Stone
3. Paints and Stains 24"x24" sample on gyp. walls and wood walls
4. Finish on cabinetry
5. 24"x24" sample for all finish floor materials
6. Trim shop drawings
7. Exterior deck and railing system submittal

R. Scope of Work:

See Architectural Drawings

S. Install all products according to manufacturer's specifications.

T. Contractor to Provide Allowances where required.

### 02000 SITEWORK

#### A. GENERAL SITEWORK

At completion, remove all debris from the site and leave site in clean, natural condition.

### 03000 CONCRETE

1. See Architectural & Structural for Concrete work and specifications.

### 06100 ROUGH CARPENTRY

A. Framing: To be designed by engineer or contractor.

1. Wall and roof framing for addition.

#### B. GENERAL

1. All sole plates as noted on drawings, shall be "Wolmanized" or treated lumber.
2. All nails to be galvanized.
3. Wood species as noted in Drawings. 1x6 roof rafters to Douglas Fir (F.O.H.C.).
4. Modified bitumen waterproofing to seal and threshold conditions to framing.
5. Provide all seal under sole plate & sealant at inside & outside
6. Prior to any framing application, the Contractor shall convene a pre-installation conference with the Architect, Owner and Framer.

### 07210 INSULATION

1. Acoustic batt insulation at all interior bathroom walls. Bonded Logo "Ultratouch" or equal.
2. Open cell spray foam insulation at walls & roof deck.

### 07620 FLEXIBLE FLASHINGS

Self-adhering 30 mil. butyl flexible flashing installed at heads, jams, and sills of all openings.

### 07815 SEALANTS AND CAULKING

- A. Scope of Work: Provide and install caulking for miscellaneous use and locations.
- B. Installation: Install per manufacturer's instructions.

### DIVISION 9 - FINISHES

#### 09260 Gypsum Board Assemblies:

1. Typical gypsum panels. All panels to be fastened with drywall screws as recommended by manufacturer.
- 1.1. Walls - 1/2"
- 1.2. Ceilings - 5/8"
- 1.3. Bathrooms to receive moisture resistant panels throughout.
- 1.4. Smooth Level 5 finish, painted, all areas. Vary with owner
2. Cementitious Backer Bd., 1/2" thickness at showers and walls to receive ceramic or stone tile.

#### 09300 Tile:

1. Floors/Walls of showers: ceramic tiles, thrust mortar, epoxy grout.

### 09900 PAINTING AND STAINING

A. Paint Priming: All work shall be primed or sealed for both exterior and interior work.

- A. Paint Priming: (All paint Benjamin Moore, Sherwin Williams or approved equal) First line grade. Submit samples of each color and finish to owner for approval prior to any finishing.
1. Paint touch as needed.
- C. Stain Finishes: All exposed 1x6 roof rafters and 2x roof rafters should have clear sealer, not painted.

### 16000 ELECTRICAL

#### A. GENERAL

All work done under this section of Specifications shall comply with the latest approved standards, rules and regulations of the National Electric Code, National Electric Safety Code, National Electric Manufacturer's Association, American Institute of Electrical Engineers, American Standard Association and the Local Electric Code, and all the other normal local code regulations. The Contractor shall perform all work in conformity with these requirements whether or not such work is specifically shown on the drawings or hereinafter described.

Scope:

Work specified under this Division of the Specification shall include the furnishing of all labor, materials, tools, and apparatus necessary for the complete installation of all conduit, wiring and fixtures for lighting and power.



Franklin Architect  
7800 H-10 West, Suite 135  
San Antonio, Texas 78230  
210-589-9167

These drawings are to be used in accordance with the seal and signature of the Professional Engineer. The Engineer is not responsible for the use of these drawings for any purpose other than that for which they were prepared. The Engineer is not responsible for the use of these drawings for any purpose other than that for which they were prepared.

This building set of drawings is a building permit but lack details that need to be prepared by a licensed professional, contractor or material supplier if they are to be used for construction.

Residence Interior Renovation  
335 W. Gramercy Place  
San Antonio, Texas 78212

## GENERAL NOTES & SPECIFICATIONS

26 AUG 2019

A1.1

## INDEX OF DRAWINGS

	DWG. DATE	LATEST REV. NO./DATE
ARCHITECTURAL		
A1.1 GENERAL NOTES & SPECIFICATIONS	8/26/19	
A2.1 DEMOLITION FLOOR PLAN & NEW FLOOR PLAN WITH DOOR SCHEDULE	8/26/19	
A2.2 FURNITURE FLOOR PLAN & DEMOLITION FLOOR PLAN WITH DIMENSIONS	8/26/19	
A2.3 INTERIOR ELEVATIONS - KITCHEN, DINING & BATHROOMS	8/26/19	
E2.1 DEMOLITION ELECTRICAL PLAN, NEW ELECTRICAL PLANS	8/26/19	

## PROJECT & LEGAL DESCRIPTION

PROJECT DESCRIPTION:  
INTERIOR RENOVATION TO SINGLE FAMILY AND SINGLE STORY STRUCTURE

LEGAL DESCRIPTION:  
SURVEY OF THE EAST 1/2 OF LOT 13 AND THE WEST 37.5 FEET OF LOT 14,  
BLOCK 2, NEW CITY BLOCK 581,  
SUMMIT TERRACE SUBDIVISION  
IN CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS  
ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 105, PAGE 345,  
DEED AND PLAT RECORDS OF BEAR COUNTY, TEXAS

DOOR SCHEDULE				
Designation	Type	Size	Material	Description
D101A		3'-0"x6'-8"x1'-3/4"	Wood/Glass	Existing
D101B		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Pocket Door, Existing to Remain
D103A		PR 3'-0"x8'-0"x1'-3/8"	Solid Core Wood	Pocket Door, Salvage From Dining
D103B		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Pocket Door, Salvage From Dining
D104A		3'-0"x6'-8"x1'-3/4"	Fiberglass/Glass	Exterior, Replace Existing, Half Lite, Frosted
D104B		2'-0"x6'-8"x1'-3/4"	Solid Core Wood	Exterior, Existing
D105		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Re-Use Same Door, Remove Mirror & Repair Door
D106A		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Re-Use From Entry, Bedroom At Living Room
D106B		PR 2'-4"x8'-0"x1'-3/8"	Solid Core Wood	Bi-Pass Closet Doors
D107A		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Re-Use From Bedroom
D107B		PR 2'-4"x8'-0"x1'-3/8"	Solid Core Wood	Bi-Pass Closet Doors
D108		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Re-Use From Master Bedroom
D109A		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	
D109B		2'-4"x6'-8"x1'-3/8"	Solid Core Wood	
D110		2'-0"x6'-8"x1'-3/8"	Solid Core Wood	Pocket Door
D111		2'-6"x6'-8"x1'-3/8"	Solid Core Wood	Re-Use From Bathroom Modify For Lock
D112		2'-0"x6'-8"x1'-3/8"	Solid Core Wood	

WINDOW SCHEDULE			
Designation	Type	Window Size	Header Height
		width x height	
W102A		2'-0"x3'-0"	6'-6"

Designation	Type	Window Size	Header Height	Description
W102A		2'-0"x3'-0"	6'-6"	Single Hung

NEW PVC DRAIN PIPES TO REPLACE EXISTING CAST IRON UNDER HOUSE THROUGHOUT

NEW 2CM COUNTERTOP 36"x48"x33"D W/ 2 END PANELS

HEAD BOARD W/ WOOD CAP AROUND ENTIRE ROOM, 48"x4, ABUT WINDOW SILL

ELECT. PANEL TO REMAIN—

REPAIR PLASTER AND ADD EXPANSION JOINT

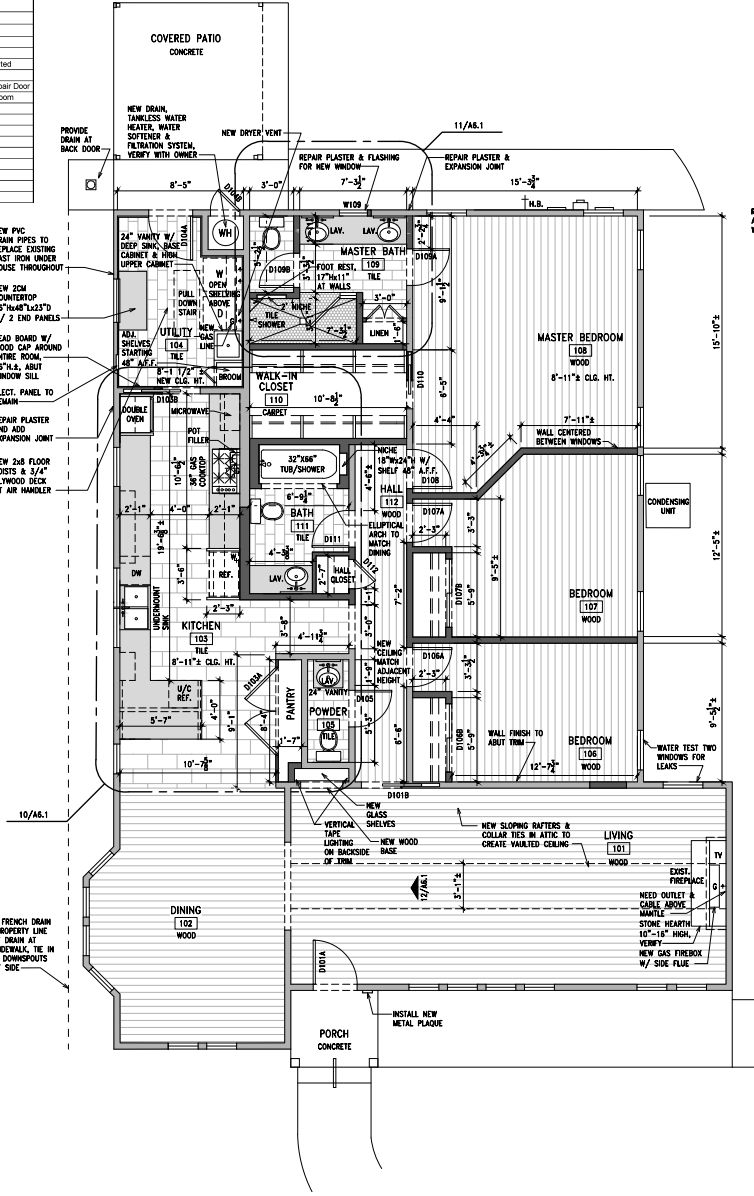
NEW 2nd FLOOR JOISTS & 3/4" PLYWOOD DECK AT AIR HANDLER

PROVIDE FRENCH DRAIN ALONG PROPERTY LINE DAYLIGHT DRAIN AT FRONT SIDEWALK, TIE IN EXISTING DOWNSPOUTS ON WEST SIDE

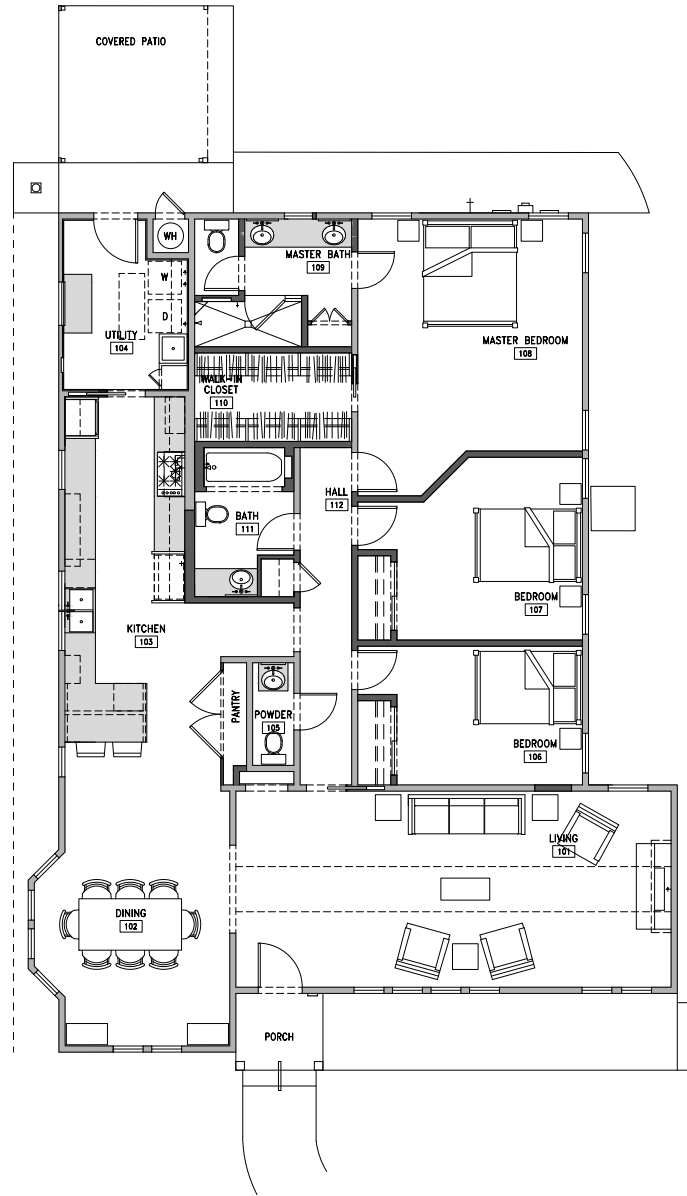
#### CONSTRUCTION NOTES:

1. PAINT ENTIRE EXTERIOR PLASTER & TRIM & METAL RAILS & SHUTTERS, ETC.
2. R-38 BLOWN-IN INSULATION AT ATTIC, OPEN CELL SPRAY FOAM AT SOUTH SIDE OF LIVING ROOM, R-38 BATT INSULATION AT LIVING ROOM NORTH SIDE & FLAT SIDE.
3. ADD ALTERNATE ATTIC: OPEN CELL SPRAY FOAM AT ROOF DECK, R-30, WITH R-13 BATT INSULATION AT GABLE WALLS.
4. NEW LANDSCAPE SPRINKLER SYSTEM AT FRONT YARD & BACK YARD
5. ADD ALTERNATE BID: RERIRE ELECTRICAL ENTIRE GARAGE
6. PROVIDE BLOCKING AT ALL TV LOCATIONS
7. NEW QUARTER ROUND TO MATCH EXISTING THROUGHOUT HOME
8. REPAIR PLASTER CRACKS AT ALL AREAS OF HOUSE, TYPICAL
9. PAINT METAL HANDRAILS BLACK IN FRONT YARD

1 NEW FLOOR PLAN

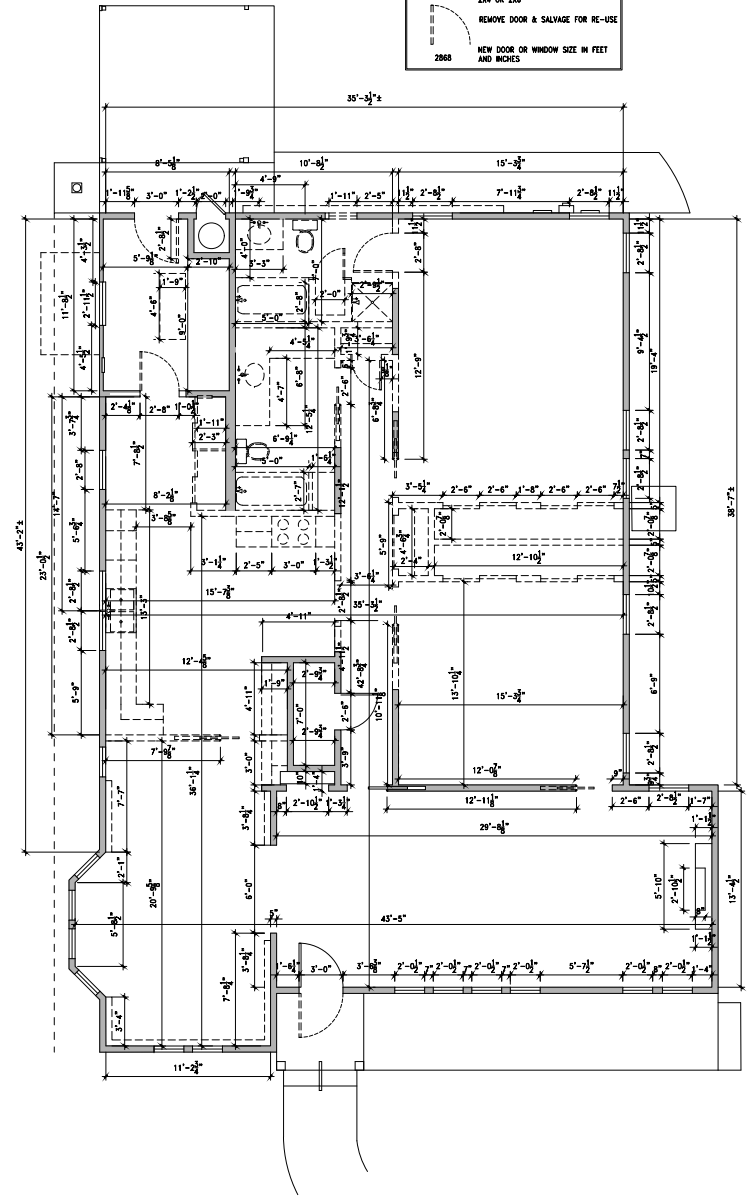






1 FURNITURE FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 DEMOLITION FLOOR PLAN WITH DIMENSIONS

SCALE: 1/4" = 1'-0"



Franklin Architect  
7800 IH-10 West, Suite 135  
San Antonio, Texas 78230  
210-589-6167

These drawings are to be an integral part of the contract documents and shall remain the property of Franklin Architect. No part of these drawings shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Franklin Architect. Contractor is responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities. Contractor is responsible for obtaining all necessary approvals from the appropriate authorities. Contractor is responsible for obtaining all necessary approvals from the appropriate authorities.

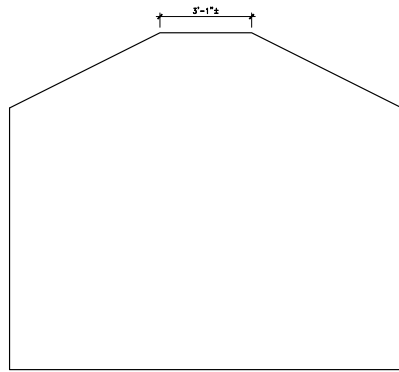
This building and its drawings are a building prepared by a licensed professional, contractor or material supplier if they are to be used for construction.

Residence Interior Renovation  
335 W. Gramercy Place  
San Antonio, Texas 78212

FURNITURE FLOOR PLAN  
DEMOLITION FLOOR PLAN  
WITH DIMENSIONS

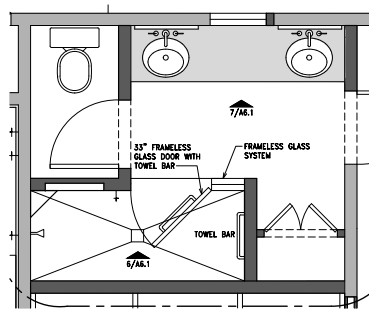
26 AUG 2019

A2.2



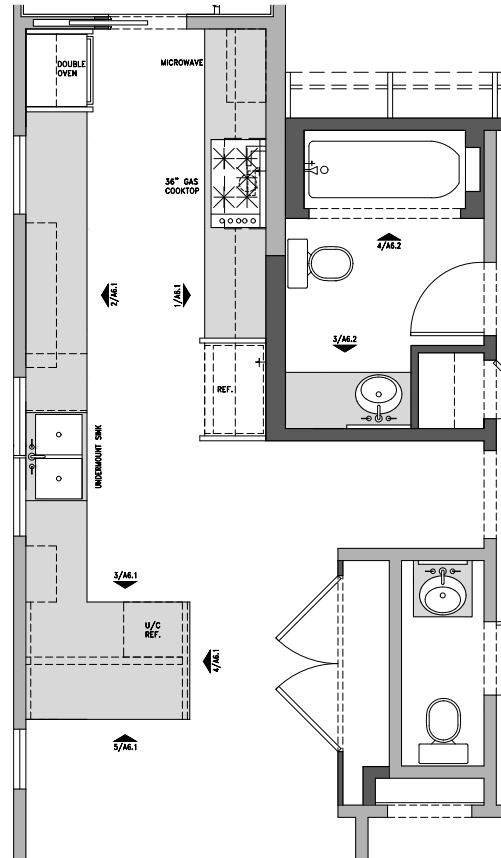
12 LIVING ROOM OUTLINE

SCALE: 1/2" = 1'-0"



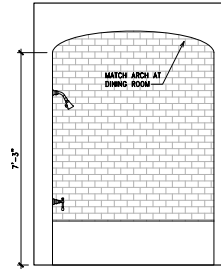
11 ENLARGED MASTER BATHROOM FLOOR PLAN

SCALE: 1/2" = 1'-0"



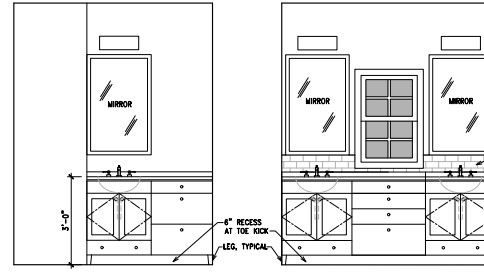
10 ENLARGED KITCHEN FLOOR PLAN

SCALE: 1/2" = 1'-0"



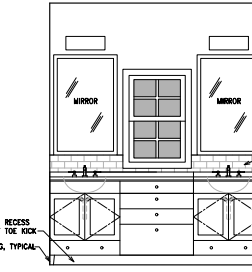
9 BATHROOM - NORTH

SCALE: 1/2" = 1'-0"



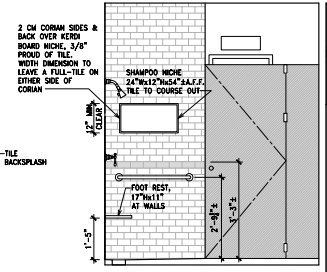
8 BATHROOM - SOUTH

SCALE: 1/2" = 1'-0"



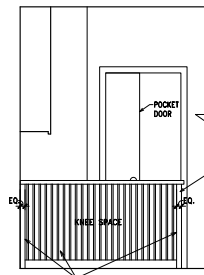
7 MASTER BATHROOM - NORTH

SCALE: 1/2" = 1'-0"



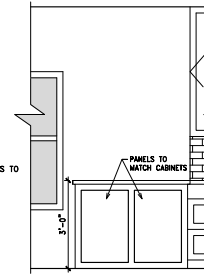
6 MASTER SHOWER - NORTH

SCALE: 1/2" = 1'-0"



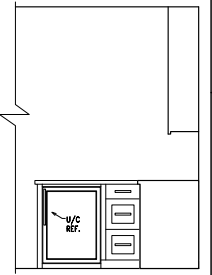
5 PENINSULA - SOUTH

SCALE: 1/2" = 1'-0"



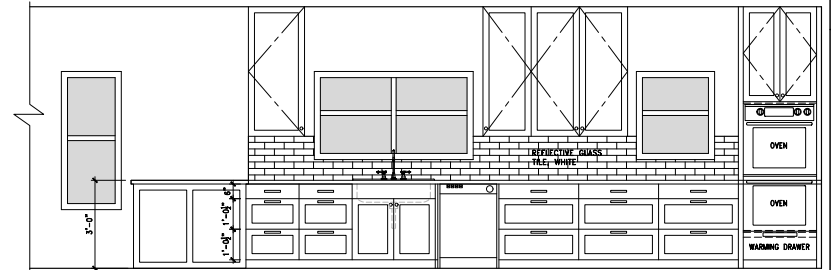
4 PENINSULA - EAST

SCALE: 1/2" = 1'-0"



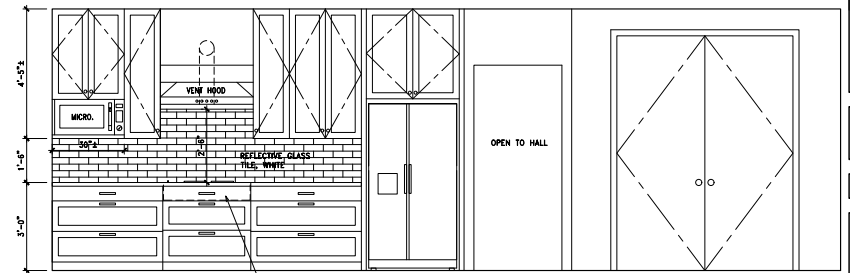
3 PENINSULA - NORTH

SCALE: 1/2" = 1'-0"



2 KITCHEN - WEST

SCALE: 1/2" = 1'-0"



1 KITCHEN - EAST

SCALE: 1/2" = 1'-0"



FA

Franklin Architect  
7800 IH-10 West, Suite 135  
San Antonio, Texas 78230  
210-589-5167

These drawings are to be used in accordance with the terms and conditions of the contract. The architect shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project. The architect shall not be responsible for the construction of the project. The contractor shall be responsible for the construction of the project.

This building set of drawings is a building set of drawings. It shall be prepared by a licensed professional contractor or material supplier if they are to be used for construction.

Residence Interior Renovation  
335 W. Gramercy Place  
San Antonio, Texas 78212

INTERIOR ELEVATIONS - KITCHEN, PENINSULA & BATHROOMS

26 AUG 2019

A6.1

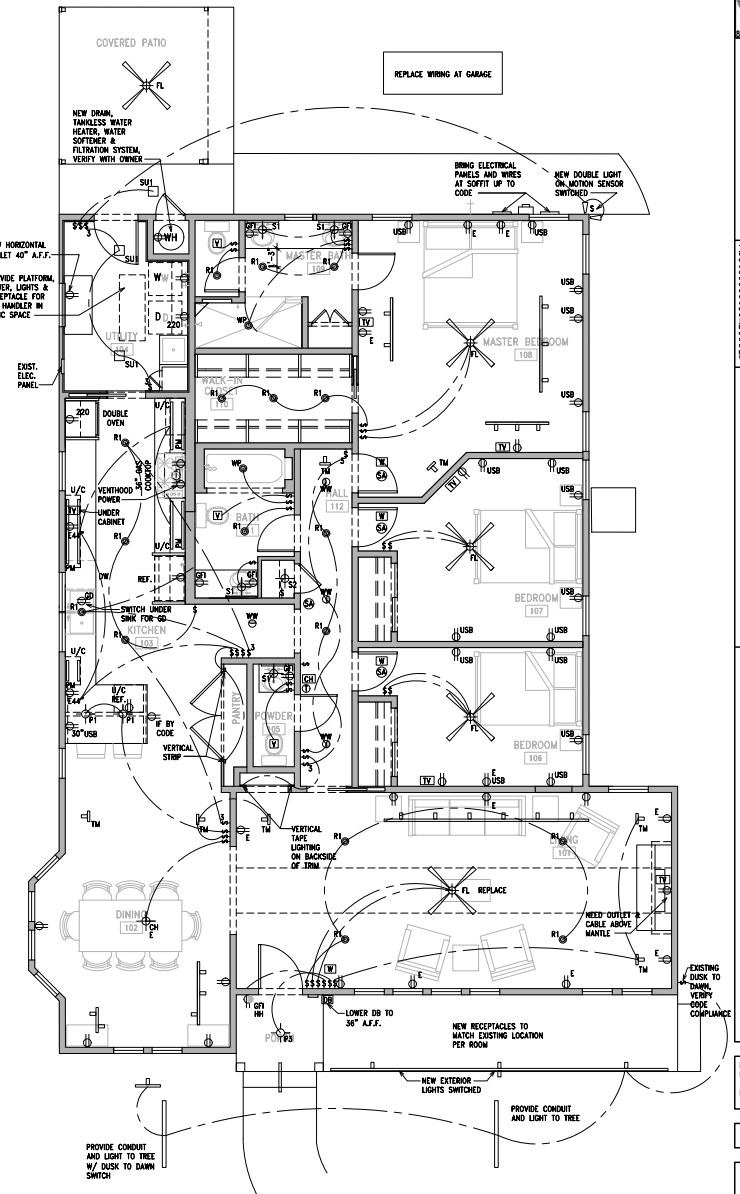
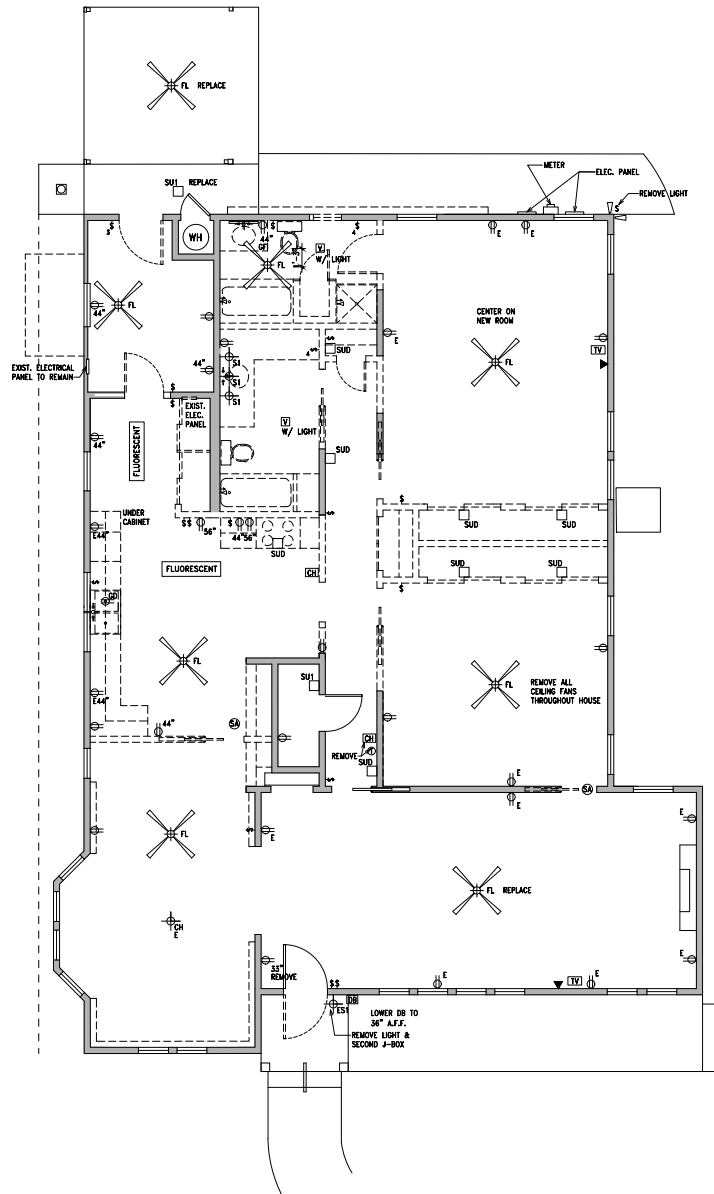


# LEGEND

FIXTURE TYPE	LOCATION
S	SWITCH
S <sub>3</sub>	3-WAY SWITCH
44"	RECEPTACLE WITH HEIGHT (44" A.F.F.)
⊘	EXISTING RECEPTACLE - TO BE REMOVED
E	EXISTING RECEPTACLE - TO BE REPLACED & LOCATION TO REMAIN
HH	HALF HOT RECEPTACLE
PM	PLUG MOLD
SA	SMOKE ALARM/CARBON MONOXIDE
USB	DUPLEX RECEPTACLE WITH USB
GFI	GROUND FAULT CIRCUIT INTERRUPT RECEPTACLE
T	THERMOSTAT
GD	RECEPTACLE - GARBAGE DISPOSAL
220	RECEPTACLE WITH 220 VOLT FOR APPLIANCE
Vs	AUTO SENSOR
▼	DATA CONNECTION
W	WIRELESS ROUTER W/ POWER MOUNTED TO SLS, VERIFY LOCATION
TV	TELEVISION CONNECTION
V	RECESSED VENT
DB	DOOR BELL
S1	EXTERIOR SCONCE
S1	INTERIOR SCONCE
S2	INTERIOR SCONCE
FLUORESCENT	2x4 FLUORESCENT
SU1	SURFACE MOUNTED
SU2	SURFACE MOUNTED TO BE REMOVED
CH	OVER THE MIRROR SCONCE
CH	CHANDILLER
P1	PENDANT LIGHT
P2	PENDANT LIGHT
WW	RECESSED WALL WASH FIXTURE
R1	5" RECESSED DOWNLIGHT, SINGLE WALLWASHER (LINE VOLTAGE)
CH	CHIME
WS	RECESSED SHOWER DOWNLIGHT (WATER PROOF)
U/C	UNDER CABINET LIGHT
TM	TRACK MONO POINT - LINE VOLTAGE
TL	TRACK LIGHT - LINE VOLTAGE
FL	CEILING FAN, WITH LIGHT KIT

## ELECTRICAL NOTES:

1. PLACE ALL SWITCHES 50" ABOVE FINISH FLOOR UNLESS COUNTERTOP INTERFERES OR OTHERWISE NOTED.
2. COORDINATE TELEPHONE, TELEVISION, COMPUTER, DATA CONNECTIONS & SPEAKER LOCATIONS WITH OWNER.
3. ALL SWITCHES TO BE ON DIMMERS.
4. VERIFY LOCATIONS OF POWER, SWITCHES & LIGHTS WITH OWNER.
5. CONTRACTOR TO ENSURE ELECTRICAL WORK & DESIGN MEET CODES.



SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



Franklin Architect

7800 IH-10 West, Suite 135  
San Antonio, Texas 78230  
210-589-4167

These drawings are to be an interpretation of service and shall not be used for any other purpose without the express written consent of the Architect. The Contractor is responsible for obtaining all necessary permits, licenses, and approvals for the work shown on these drawings. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals for the work shown on these drawings.

This building and its drawings are a building permit and shall not be used for any other purpose without the express written consent of the Architect. The Contractor is responsible for obtaining all necessary permits, licenses, and approvals for the work shown on these drawings. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals for the work shown on these drawings.

Residence Interior Renovation  
335 W. Gramercy Place  
San Antonio, Texas 78212

DEMOLITION ELECTRICAL PLAN  
NEW ELECTRICAL PLAN

26 AUG 2019

E2.1

Robert L. Codner  
335 West Gramercy Place  
San Antonio, TX 78212  
(512) 476-2700

September 4, 2019

Office of Historic Preservation  
1901 S. Alamo  
San Antonio, TX 78204

RE: Historic Rehabilitation Application  
Tax Incentive: Tax Certification  
City of San Antonio Fee Waiver Program  
335 West Gramercy Place

#### Required Documents

1. One set of complete plans for restoration. Submitted.
2. Detailed written narrative explaining the proposed work. The proposed scope of work for 335 W. Gramercy PL is the remodeling of the interior of the home. Repainting exterior and landscaping.
3. Itemized list of expected work both interior and exterior. Expected work: Demolition plan, reconfiguring wall placement, new interior wiring and remove knob and tube, rewire garage and remove knob and tube, new plumbing, new waste drain, new kitchen cabinets and flooring, new master bathroom shower and cabinets and flooring, new secondary bathroom and cabinets and flooring, new powder room and cabinet and flooring, vault interior living ceiling, add a gas fireplace with venting, refinish existing hard wood floors, re-work and restore original wood windows, remove burglar bars, remove current landscaping and replace in kind, remove retaining wall, add sprinkler system, paint exterior with similar colors, add a 3 ½ foot fence from garage to house with gate, add exterior illumination to house and trees and add an iron gate and opener to driveway.
4. Projected time schedule. The expected completion is 6 months.
5. Estimated associated costs. The cost budgeted for this project is \$131,787.
6. Color photos of the exterior and interior. Submitted.
7. Color photo of the structure from the street. Submitted.