

HISTORIC AND DESIGN REVIEW COMMISSION

October 02, 2019

HDRC CASE NO: 2019-526
ADDRESS: 1012 DAWSON ST
LEGAL DESCRIPTION: NCB 1371 BLK 3 LOT 11
ZONING: RM-4, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Troy Withers/7one Property Group LLC
OWNER: Troy Withers/7one Property Group LLC
TYPE OF WORK: Construction of a rear addition, modifications to a rear accessory structure, installation of porch railings
APPLICATION RECEIVED: August 24, 2019
60-DAY REVIEW: October 23, 2019
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a rear addition in the location of the existing, rear addition.
2. Install porch railings.
3. Perform exterior modifications to the rear accessory structures.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

A. MAINTENANCE (PRESERVATION)

- i. Existing outbuildings*—Preserve existing historic outbuildings where they remain.
- ii. Materials*—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Garage doors*—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.
- ii. Replacement*—Replace historic outbuildings only if they are beyond repair. In-kind replacement is preferred; however, when it is not possible, ensure that they are reconstructed in the same location using similar scale, proportion, color, and materials as the original historic structure.
- iii. Reconstruction*—Reconstruct outbuildings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the primary building and historic patterns in the district. Add permanent foundations to existing outbuildings where foundations did not historically exist only as a last resort.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For

example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.

- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

4. Architectural Details

A. GENERAL

- i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. The historic structure at 1012 Dawson was constructed circa 1910 and is found on the 1912 Sanborn Map. The structure features a side window bay, exposed rafter tails and modifications to the original structure including the replacement of the original porch and the installation of vinyl siding.
- b. PREVIOUS APPROVALS – The applicant has received Administrative Certificates of Appropriateness for various scopes of work including the removal of the existing vinyl siding and repair to the original siding, replacement of the existing chain link fence with a wood picket fence and privacy fence on the side and rear, foundation and skirting repair, wood window repair, porch repairs, roof repair and front door replacement.
- c. CONSTRUCTION DOCUMENTS – The submitted construction documents note the installation of composite siding where original wood siding exists. The applicant has not requested to replace existing wood siding with composite siding, and has received approval to repair wood siding in place. Additionally, the existing construction documents omit many architectural details, including the existing rafter tails, columns, eave details, and other items. None of these original items are to be modified or altered as a result of the proposed rehabilitation and rear addition.
- d. REAR ADDITION – The applicant has proposed to construct a rear addition to replace the existing, non-contributing rear addition. The existing addition is not found on the 1951 Sanborn Map. The applicant has proposed for the rear addition to feature a footprint of approximately 560 square feet. The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. Generally, staff finds the size of the proposed rear addition to be appropriate; however, staff finds that an element that differentiates the addition from the historic structure should be incorporated, such as an inset or a vertical trim piece, on both the east and west elevations.
- e. ROOF FORM – The Guidelines note that roof forms should be comparable to those found on the historic house. The applicant has proposed hipped roofs, consistent with those of the historic structure. This is consistent with the Guidelines.
- f. HEIGHT – The applicant has proposed a rear addition that features a height that is subordinate to that of the primary historic structure. This is consistent with the Guidelines.
- g. MATERIALS – The applicant has proposed materials that include composite siding, a standing seam metal roof and wood windows. Generally, staff finds the proposed materials to be appropriate; however, the proposed composite siding should feature a four (4) inch exposure, a thickness of $\frac{3}{4}$ of an inch and mitered corners. The proposed standing seam metal roof should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
- h. WINDOW MATERIALS – As noted in finding g, the applicant has proposed wood windows. The proposed windows should feature an inset of two (2) inches within facades. Meeting rails should be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Window specifications should be submitted to staff for review and approval prior to purchase and installation.
- i. ARCHITECTURAL DETAILS – Generally the proposed addition features architectural details that are consistent with those of the historic structure; however, staff finds that an architectural element such as a setback or vertical trim piece should be installed to differentiate the proposed addition from the historic structure.
- j. PORCH RAILINGS – The applicant has proposed to install porch railings on structure's front porch. Staff finds the installation of porch railings to be appropriate; however, the proposed railings should feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet.
- k. ACCESSORY STRUCTURE MODIFICATIONS – The applicant has proposed modifications to the rear accessory structure that include repositioning it on the site and performing fenestration, roofing and architectural modifications. The Guidelines for Exterior Maintenance and Alterations 9.A. notes that existing accessory structures should be preserved where they exist. Staff does not find the proposed modifications to be appropriate.

RECOMMENDATION:

Staff recommends approval of item #1, the construction of a rear addition based on finding d through i with the following stipulations:

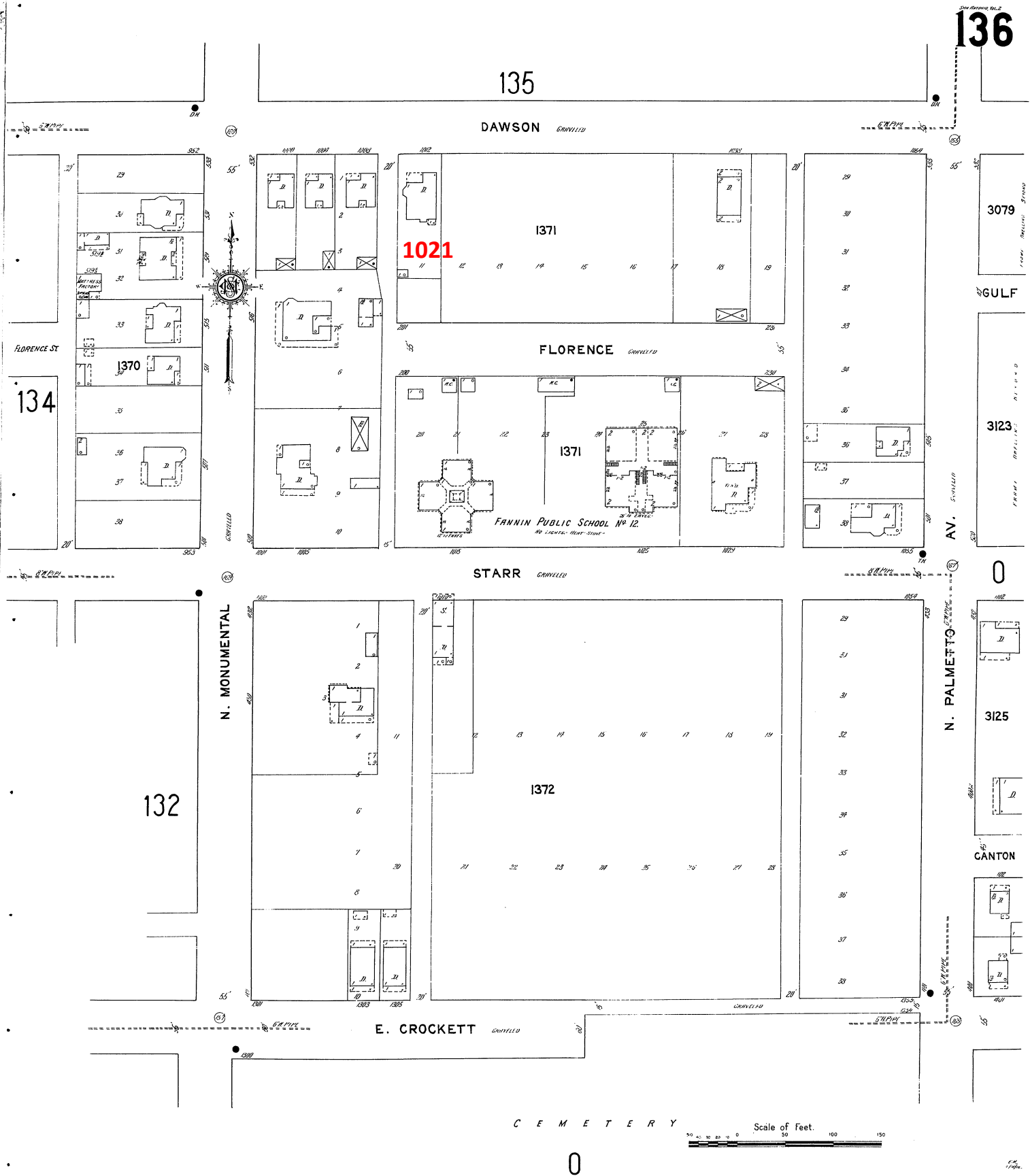
- i. That an element that differentiates the addition from the historic structure be incorporated.
- ii. That The proposed windows feature an inset of two (2) inches within facades. Meeting rails should be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. Window specifications should be submitted to staff for review and approval prior to purchase and installation.

Staff recommends approval of item #2, the installation of porch railings with the following stipulations:

- i. That the proposed railings feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet.
- ii. That the existing columns be repaired in place.

Staff does not recommend approval of item #3, modifications to the existing rear accessory structure.

1912 SANBORN MAP



136

135

DAWSON

640V1110

1021

1371

FANNIN PUBLIC SCHOOL No 12

HEAT: STEAM- LIGHTS: ELECTRIC

E. HOUSTON

224

N. PALMETTO

CANTON ST.

E. CROCKETT ST.

E. CROCKETT

C E M E T E R Y

Scale of Feet.

0



13300 Old Blanco Rd #301
San Antonio, TX 78216
(210)369-9509

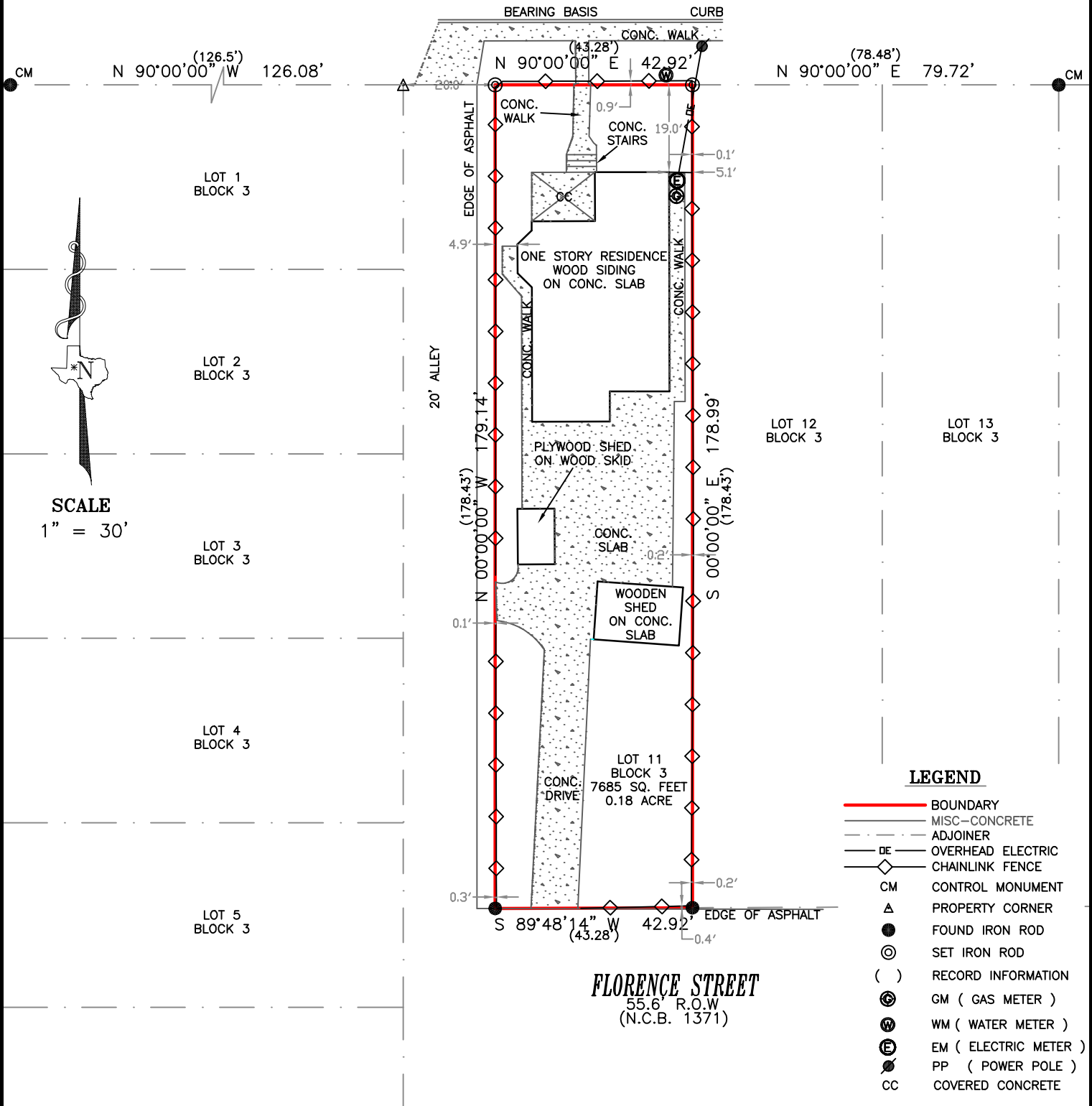
BORROWER/OWNER: 7ONE PROPERTY GROUP LLC.
ADDRESS: 1012 DAWSON STREET
CITY, STATE, ZIP: SAN ANTONIO, TX, 78202
TITLE COMPANY: ALAMO TITLE INSURANCE
GF NUMBER: SAT-03-4000031900248-SA



LEGAL DESCRIPTION

LOT 11, BLOCK 3, NEW CITY BLOCK 1371, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

DAWSON STREET
55.6' R.O.W.
(N.C.B. 1371)



NOTES

1. BEARINGS ASSUMED AND DISTANCES SHOWN HEREON ARE BASED ON THOSE SHOWN ON THE MAP OF NEW CITY BLOCK 1371, ON FILE IN THE CITY ENGINEER'S OFFICE IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

2. PER SCHEDULE B OF THE TITLE COMMITMENT REFERENCED ABOVE, THE FOLLOWING ITEMS MAY AFFECT THIS TRACT:

10G) HISTORICAL DESIGNATION: VERIFIED CERTIFICATE RECORDED IN VOLUME 16817, PAGE 1967, REAL PROPERTY RECORDS, BEXAR COUNTY, TEXAS.

NO PLOTTABLE RESTRICTIONS DESCRIBED IN SCHEDULE B

This survey is hereby accepted with all encroachments, overlaps, conflicts, and discrepancies in improvements, boundary lines, and/or land area.

X

X



ACCORDING TO FEMA MAP NO. 48029C0415G WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2010, AND A REVISION DATE OF AUGUST 6, 2018, THIS PROPERTY LIES WITHIN ZONE X AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. THIS INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE MAP REVISIONS BY FEMA.

I, Caesar A. Garcia, a Registered Professional Land Surveyor do hereby certify that the above plat represents an actual on the ground survey performed under my direct supervision and is true and correct to the best of my knowledge and belief and that there are no visible encroachments, overlapping of improvements and no discrepancies, shortages of area and conflicts in the boundary lines except as shown. I further certify that this survey meets the minimum standards established by the Texas Board of Professional Land Surveying.

Caesar A. Garcia

CAESAR A. GARCIA
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5904

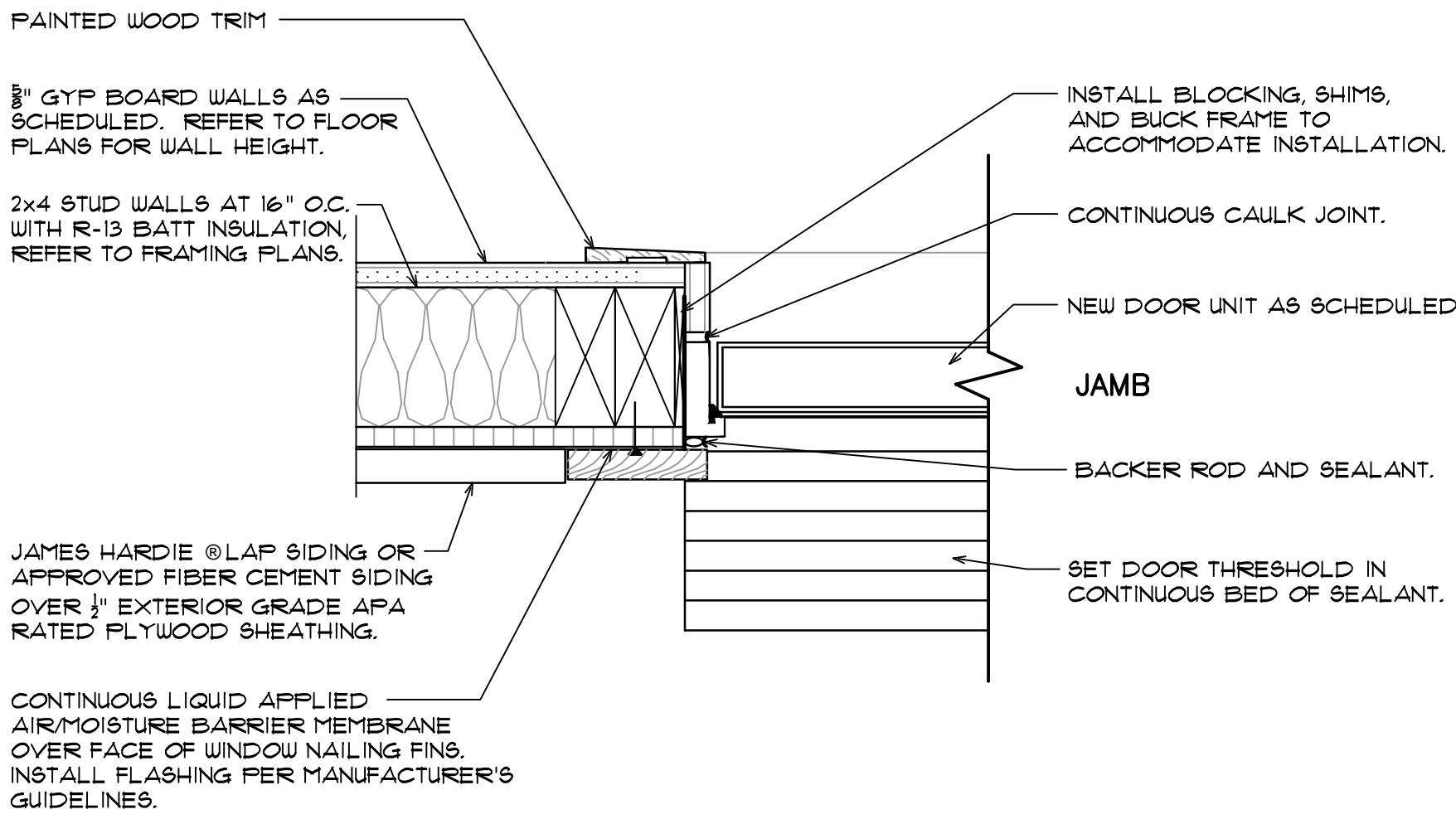
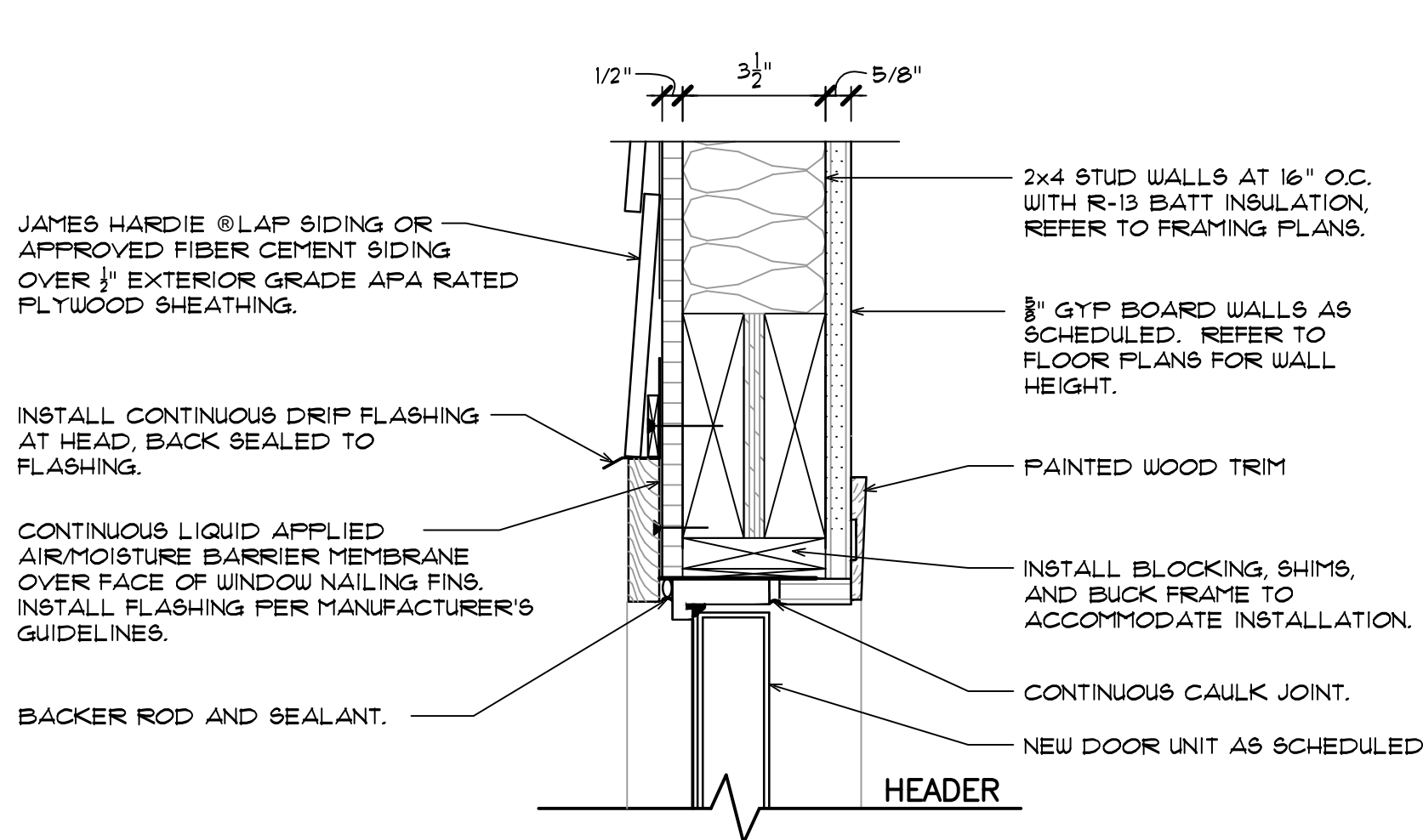
COPYRIGHT © 2019 ALLIANCE LAND SURVEYORS LLC. All rights reserved. Improvements shown on this survey may not portray exact shape and size and are for general illustration purposes.

ROOM FINISH SCHEDULE - SPECIFIC PRODUCT SELECTIONS BY OWNER w/ CONTRACTOR						
ROOM NO.	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	MAIN HOUSE	PORCELAIN TILE	4" COVE BASE TILE	TILE WALL / GYP BOARD, FTD.	8'-0" PAINTED GYP. BOARD	WALL TILE LAID WITH TILE ACCENT
101	BATHROOM 1	RESTORED WOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	10'-6" PAINTED GYP. BOARD	
102	BEDROOM 3	RESTORED WOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	10'-6" PAINTED GYP. BOARD	
103	BATHROOM 2	RESTORED WOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	10'-6" PAINTED GYP. BOARD	
104	KITCHEN	RESTORED WOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	10'-6" PAINTED GYP. BOARD	
104	UTILITY CASITA	RESTORED WOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	10'-6" PAINTED GYP. BOARD	
200	BEDROOM / KITCHEN	RESTORED WOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-0" PAINTED GYP. BOARD	TILE BACKSPLASH
201	BATHROOM	PORCELAIN TILE	4" COVE BASE TILE	TILE WALL / GYP BOARD, FTD.	8'-0" PAINTED GYP. BOARD	WALL TILE LAID WITH TILE ACCENT

- GENERAL NOTE:
- SEE INTERIOR ELEVATIONS FOR FURTHER INFORMATION ON SPECIFIC ROOMS.
 - ALL GYP BOARD TO BE 1/2" THICK UNLESS NOTED OTHERWISE AND TO A LEVEL 3 FINISH.
 - GARAGE WALLS AND UNDER STAIRCASE CEILING TO BE 5/8" TYPE "X" FIRE-RATED GYP BOARD.
 - TEXTURE AND FINISH ALL WALLS ACCORDING TO ROOM FINISH SCHEDULE.
 - USE HARDI-BACKER BOARD ON TILED AND PLUMBING WALLS.
 - SEE ELECTRICAL PLAN FOR CEILING DESIGN AND DETAILS.

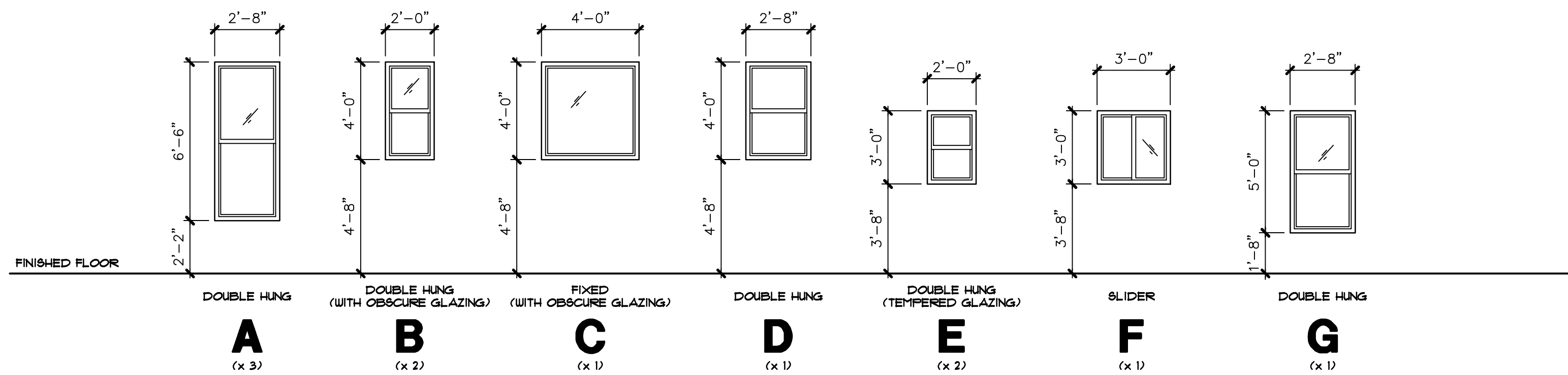
1 ROOM FINISH SCHEDULE

SCALE: N.T.S.



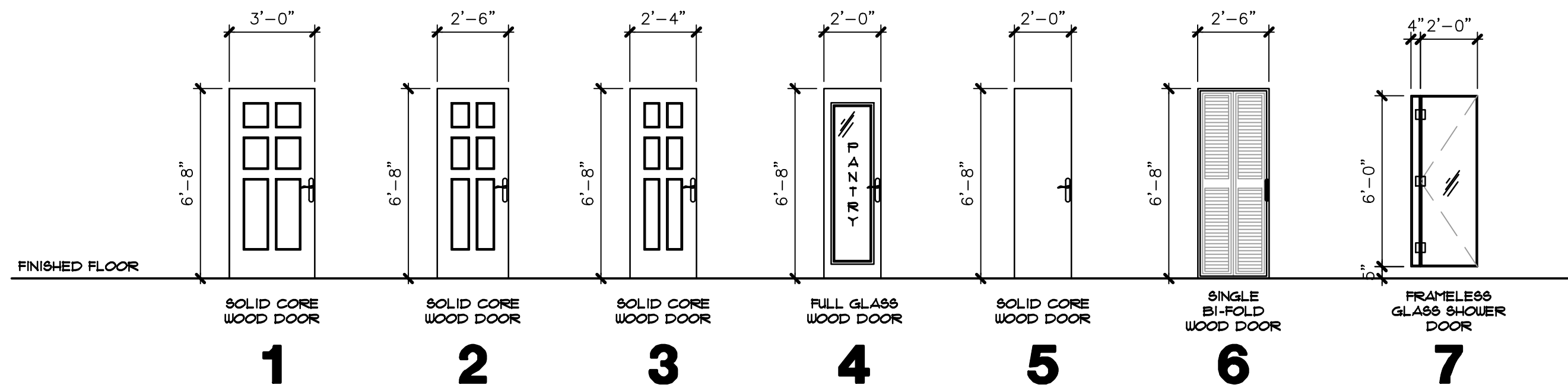
3 TYPICAL DOOR SECTIONS

SCALE: 3" = 1'-0"



6 WINDOW TYPES

SCALE: 1/4" = 1'-0"



7 DOOR TYPES

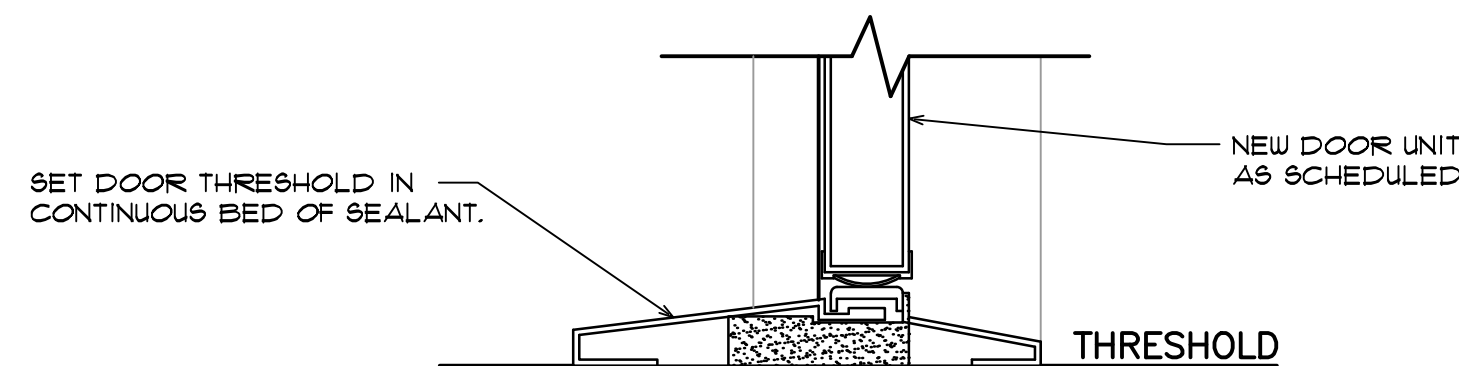
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE									
DOOR NO.	DOOR NO. DESCRIPTION	SIZE			DESCRIPTION	EXTERIOR (E) OR INTERIOR (I)	MATERIAL		REMARKS
		WIDTH	HEIGHT	THICKNESS			DOOR	FRAME	
100	2	2'-6"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
101	6	2'-6"	6'-8"	1 3/4"	SINGLE BI-FOLD DOOR	I	WD	WD	
102	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
103	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
104	2	2'-6"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
105	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
106	3	2'-4"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
107	1	2'-0"	6'-8"	3/8"	FRAMELESS SHOWER DOOR	I	GLASS	ALUM.	GLASS FINISH SELECTED BY OWNER
108	5	2'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
109	5	2'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
110	5	2'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
111	4	2'-0"	6'-8"	1 3/4"	PANTRY FULL-GLASS DOOR	I	GLASS	WD	GLASS FINISH SELECTED BY OWNER
112	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
113	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
200	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	E	WD	WD	
201	5	2'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	
202	5	2'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	I	WD	WD	

- GENERAL NOTE:
- ALL HARDWARE, DOOR STYLES & DOOR FINISHES TO BE SELECTED BY OWNER.

2 DOOR SCHEDULE

SCALE: N.T.S.



5 TYPICAL DOOR SECTIONS

SCALE: 3" = 1'-0"


ANTONIO MARTEL
DESIGNS
8314 SHOAL CREEK DR
SAN ANTONIO,
TEXAS 78251
TEL. 210 885-9658
EMAIL TMARTEL@HOTMAIL.COM

REVISED ISSUE DATES:

_____ 1
_____ 2
_____ 3
_____ 4

HOUSE RENOVATION AND ADDITION FOR
ZONE PROPERTY GROUP, LLC.
1012 DAWSON ST.
SAN ANTONIO, TX 78202

DOOR & WINDOW
SCHEDULES

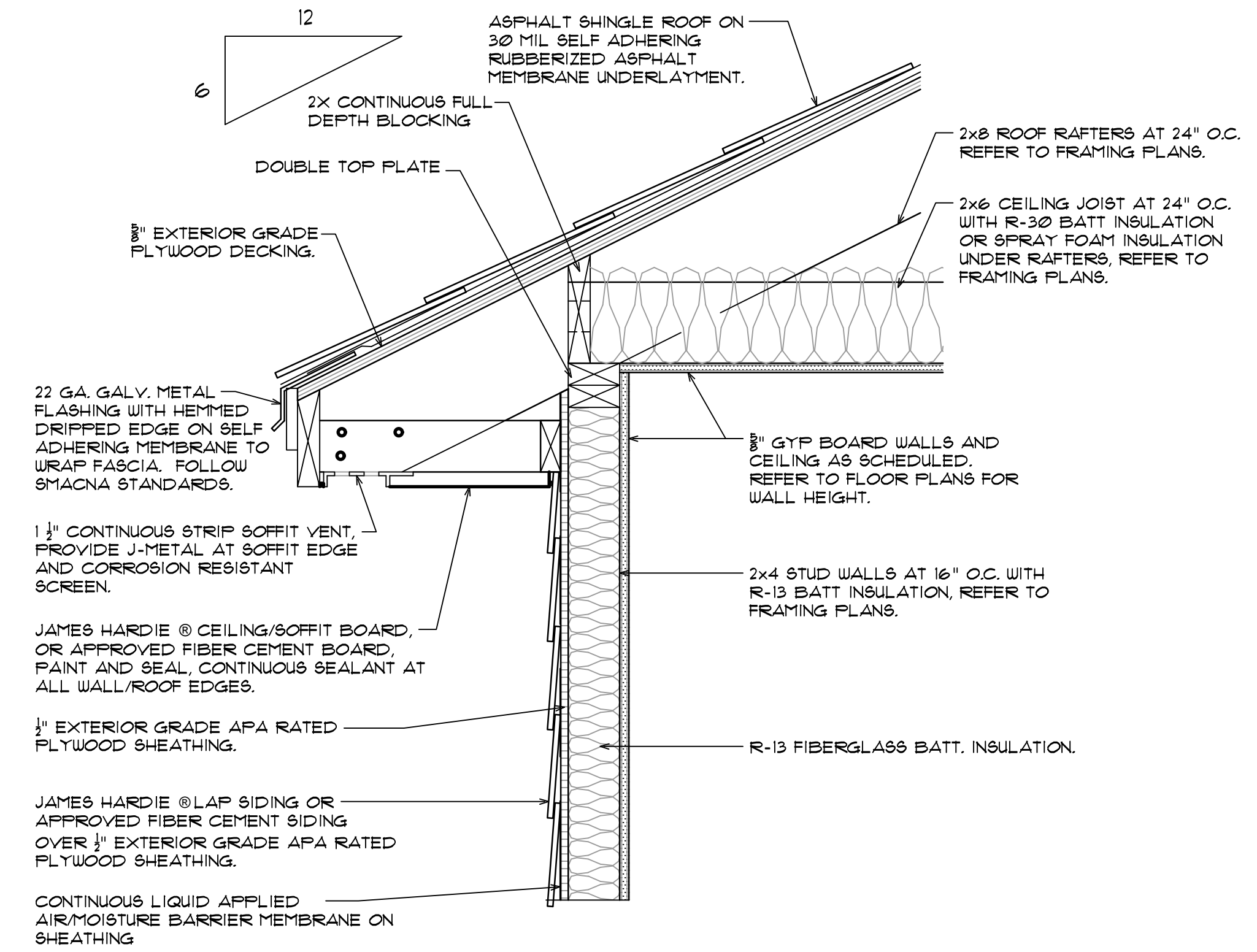
BUILDERS
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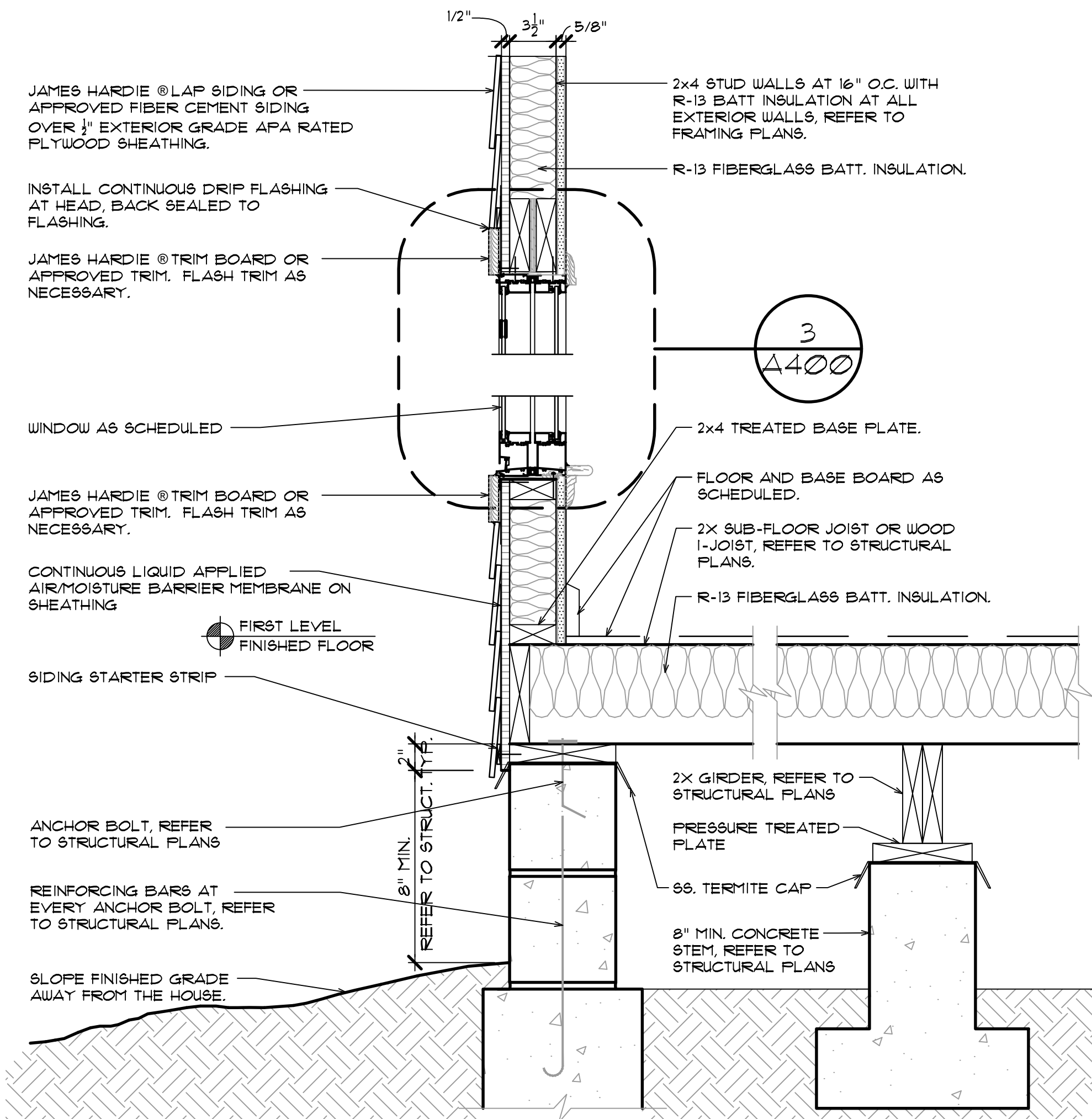
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ISSUE DATE: 09/13/19
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REVIEWED BY: AM

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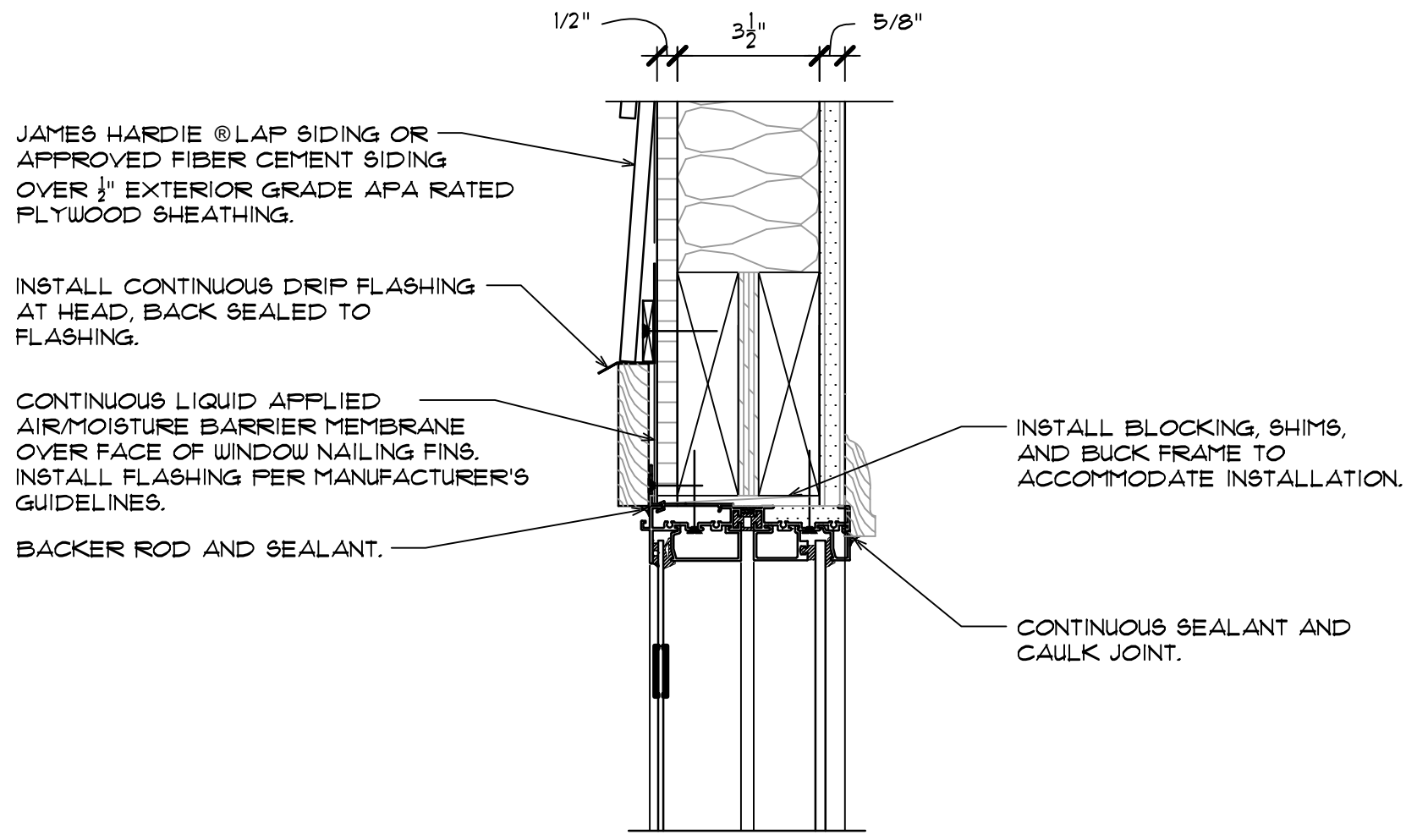
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TYPICAL WALL SECTION
AT SIDING



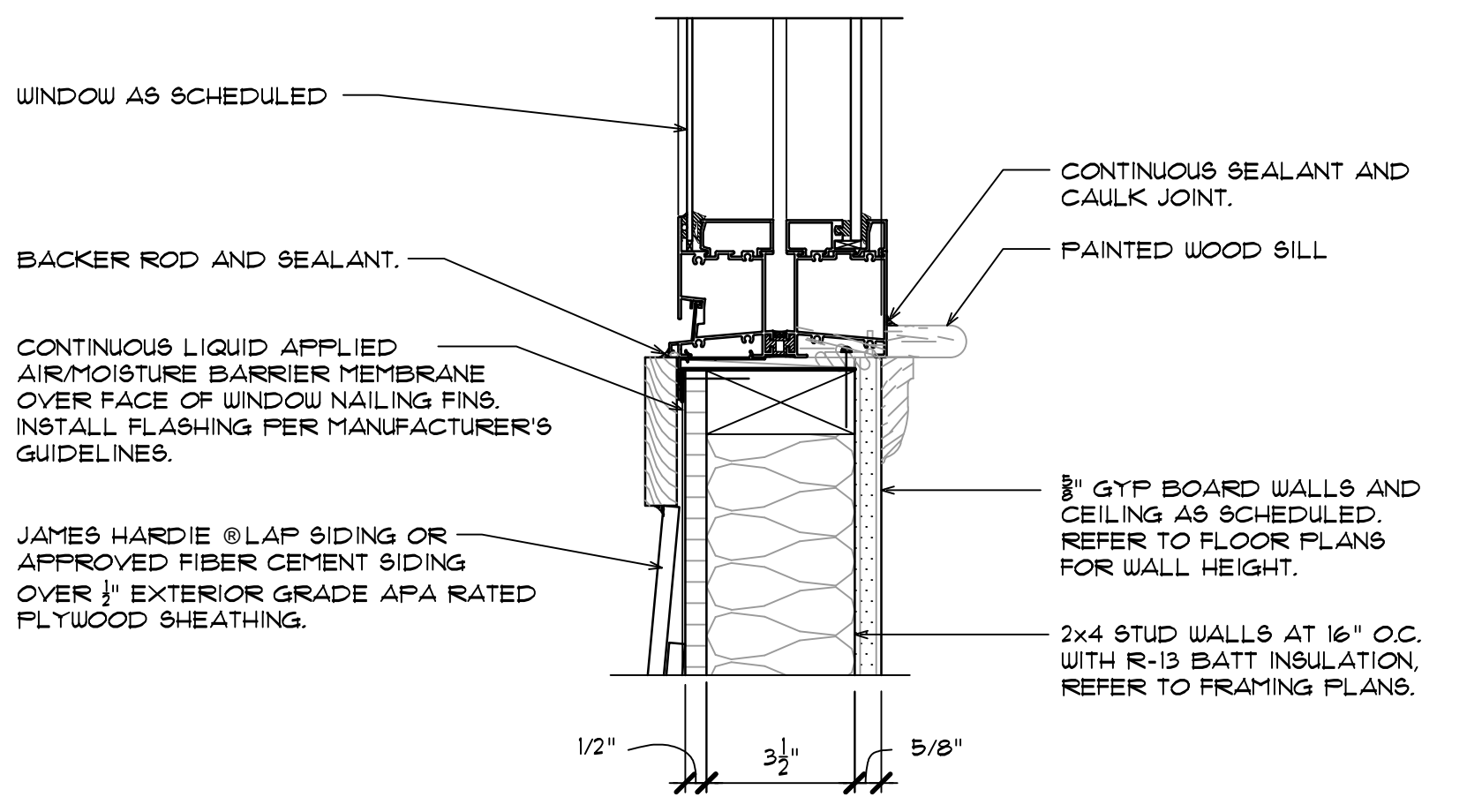
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TYPICAL WALL SECTION
AT SIDING



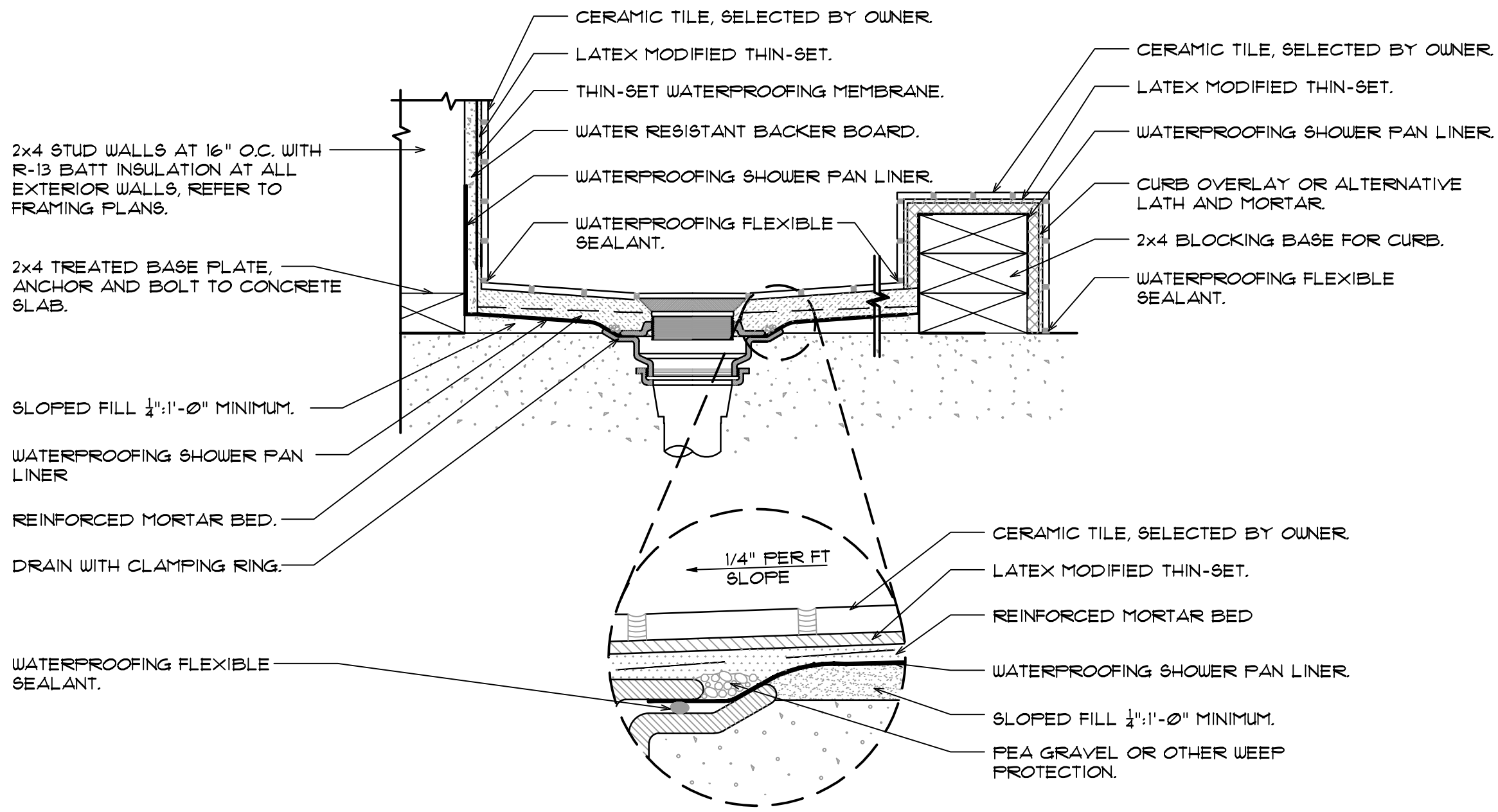
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SCALE: 3" = 1'-0"

TYPICAL WINDOW SECTION
AT HEADER



4
SCALE: 3" = 1'-0"

TYPICAL WINDOW SECTION
AT SILL



5
SCALE: 3" = 1'-0"

TYPICAL SHOWER SECTION

GENERAL NOTES

1. THE OVERALL PLANS, EXTERIOR DIMENSIONS, WINDOW TAGS AND DOOR TAGS CAN BE FOUND ON A100.
2. REFERENCE FINISH SCHEDULE FOR SPECIFIC FINISH SELECTIONS.
3. DUE TO LIMITED SPACE, SOME EXTERIORS AND INTERIORS MAY BE FURTHER DETAILED ON OTHER DRAWING SHEETS.
4. ALL WOOD TO BE SOUTHERN YELLOW PINE #2, OR BETTER. REFER TO STRUCTURAL DRAWINGS.

ANTONIO MARTEL DESIGNS

8314 SHOAL CREEK DR
SAN ANTONIO,
TEXAS 78251

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EMAIL TMARTEL@HOTMAIL.COM

REVISED ISSUE DATES:

_____ 1
_____ 2
_____ 3

**HOUSE RENOVATION AND ADDITION FOR
ZONE PROPERTY GROUP, LLC.**

1012 DAWSON ST.
SAN ANTONIO, TX 78202

**TYPICAL WALL
SECTIONS**

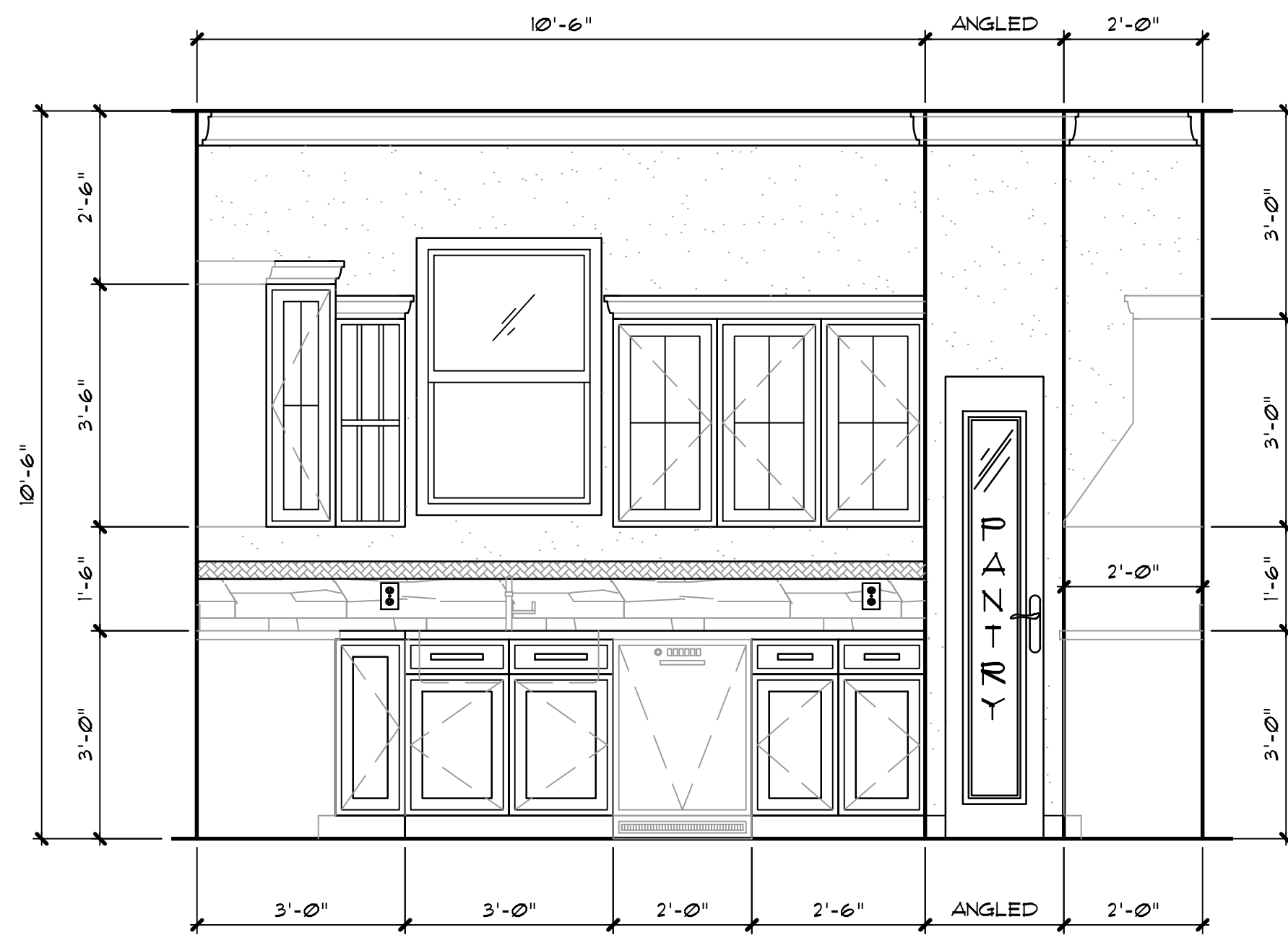
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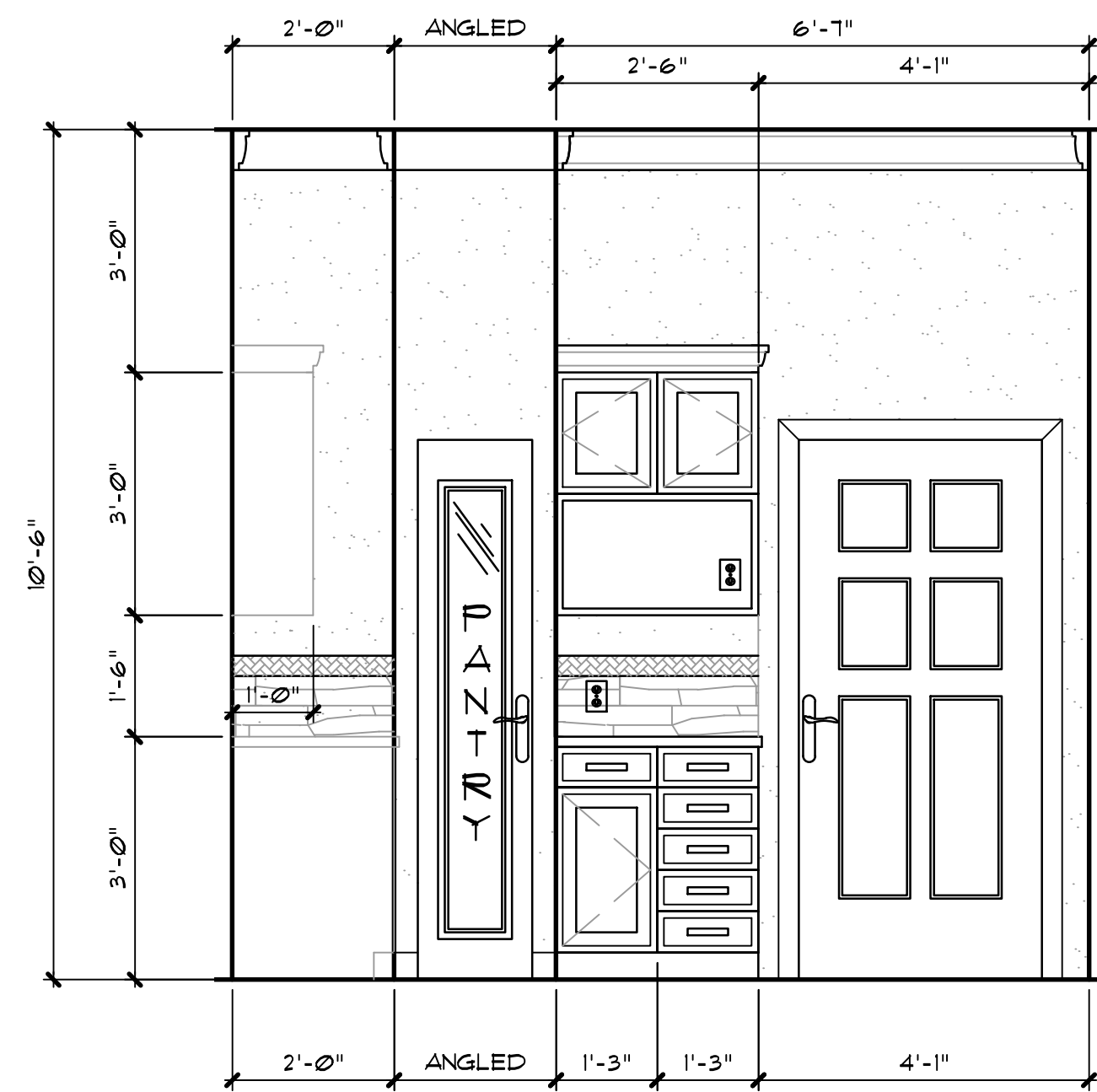
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REVIEWED BY: AM

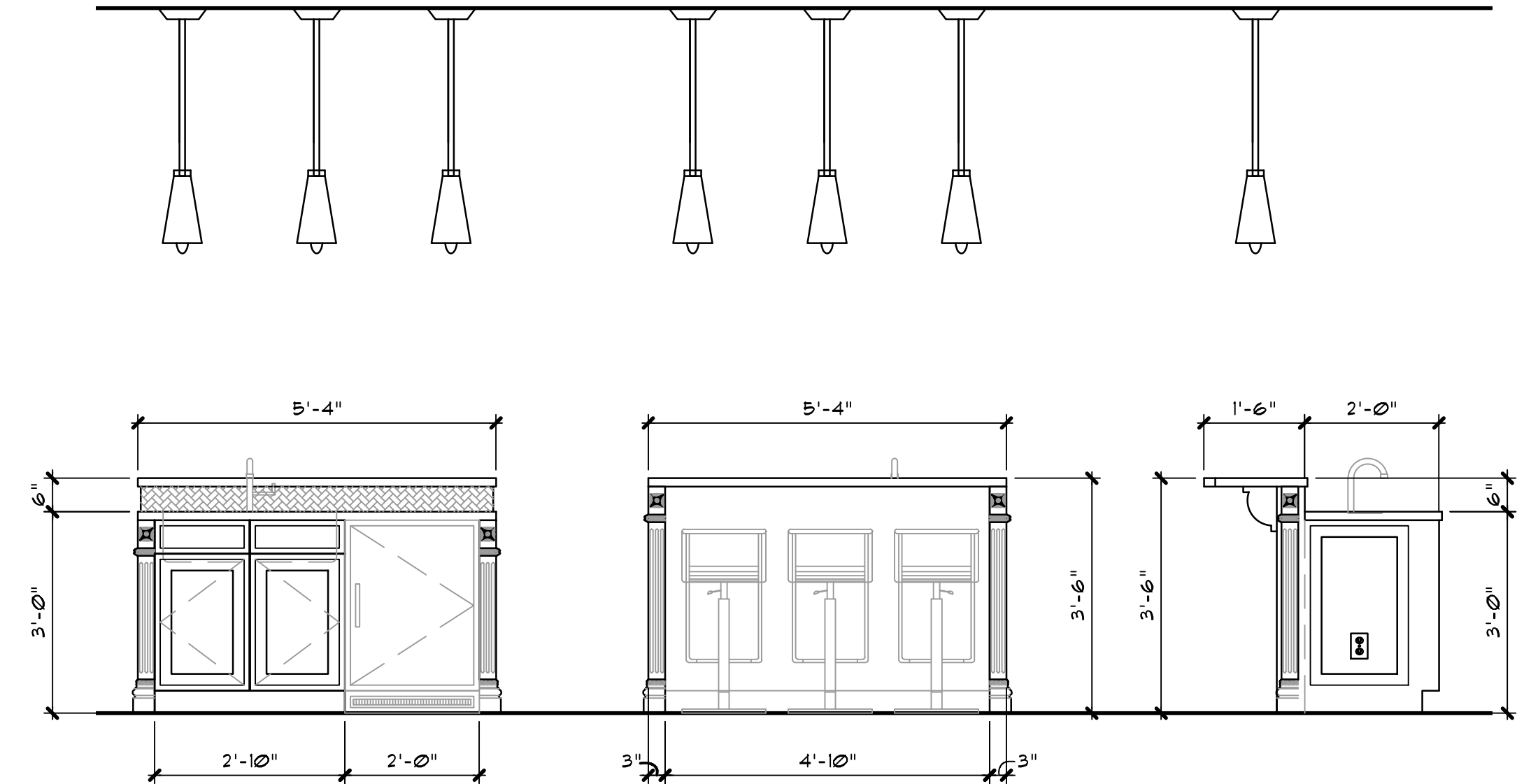
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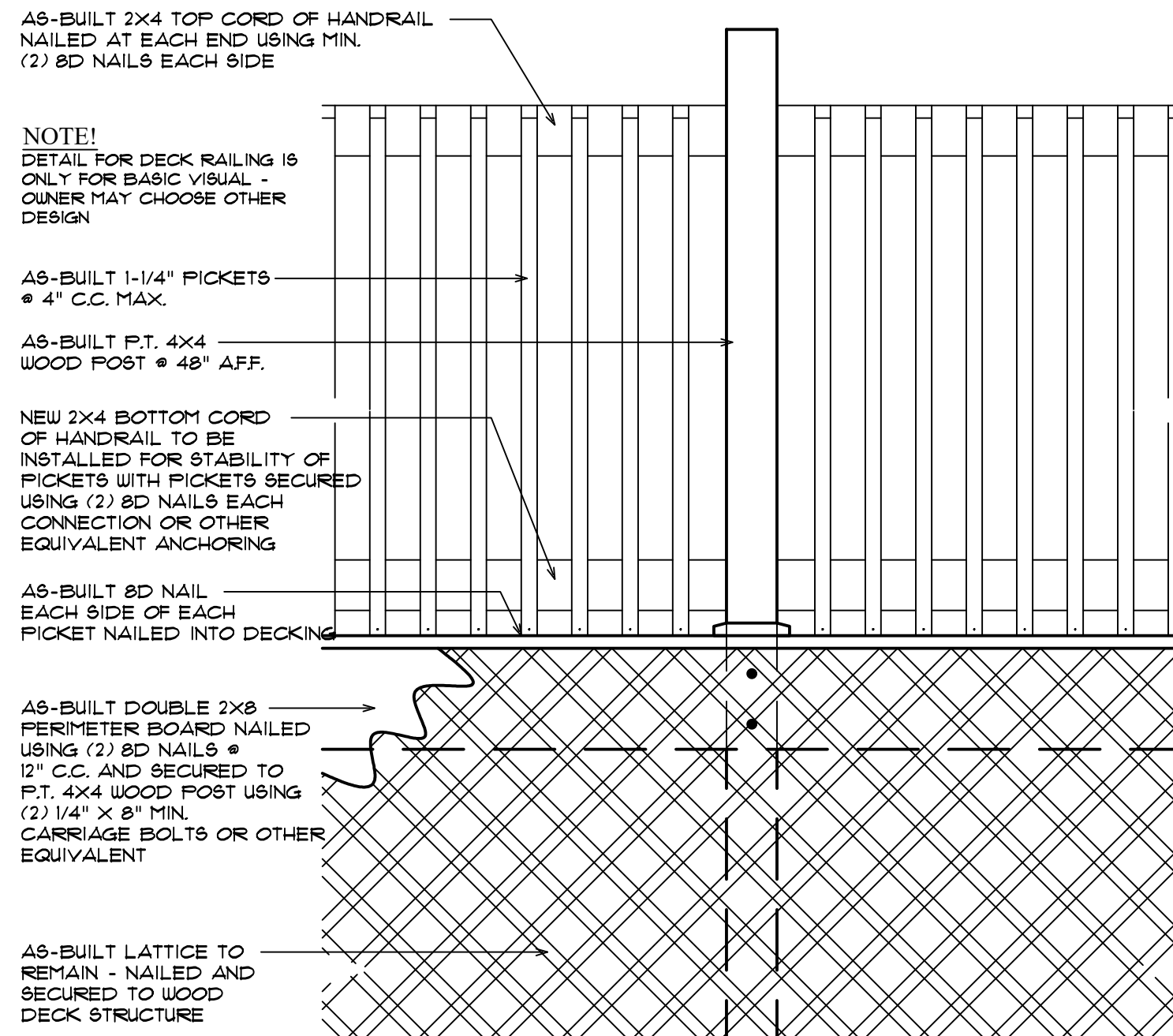
1 KITCHEN
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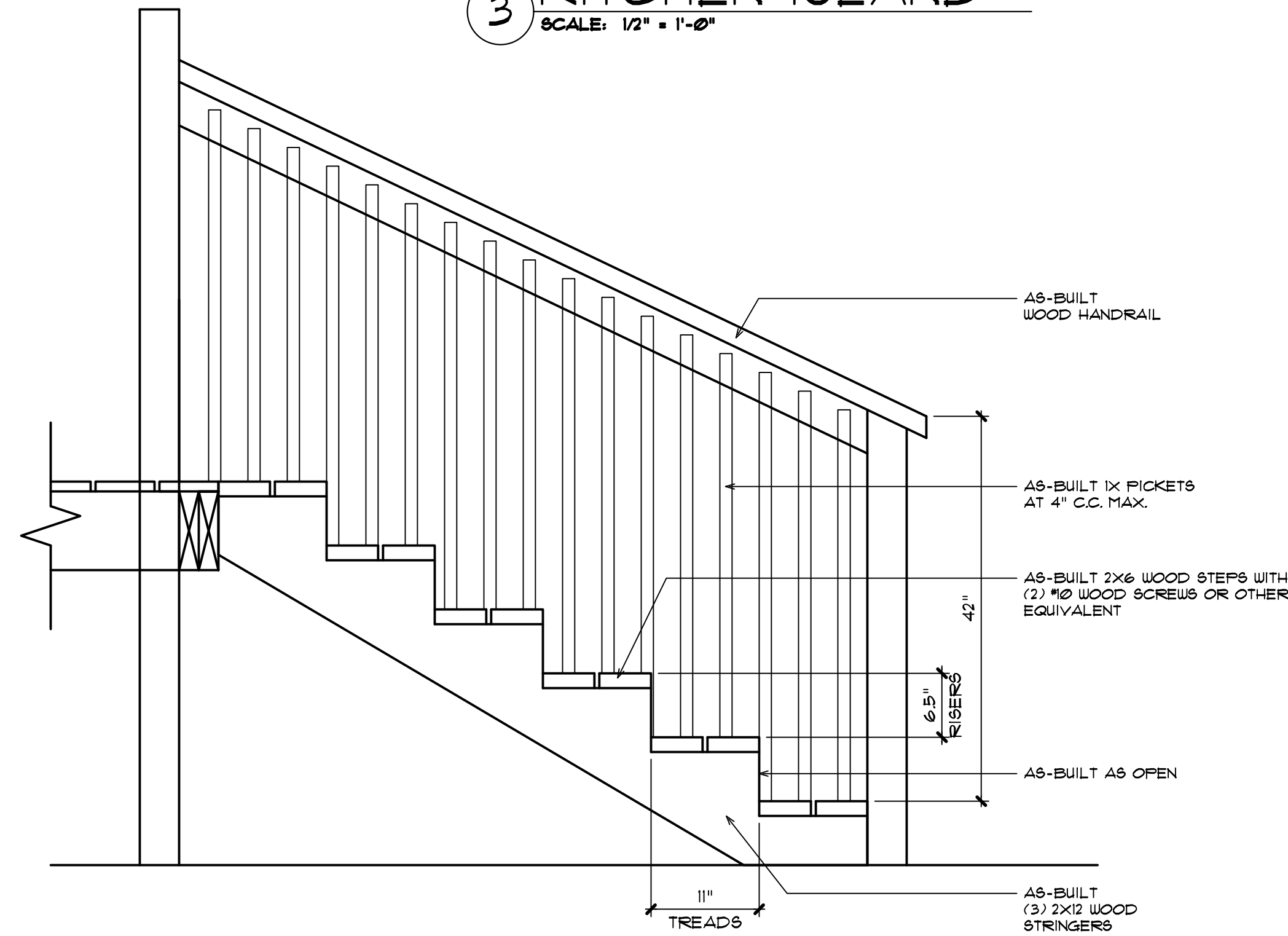
2 KITCHEN
SCALE: 1/2" = 1'-0"



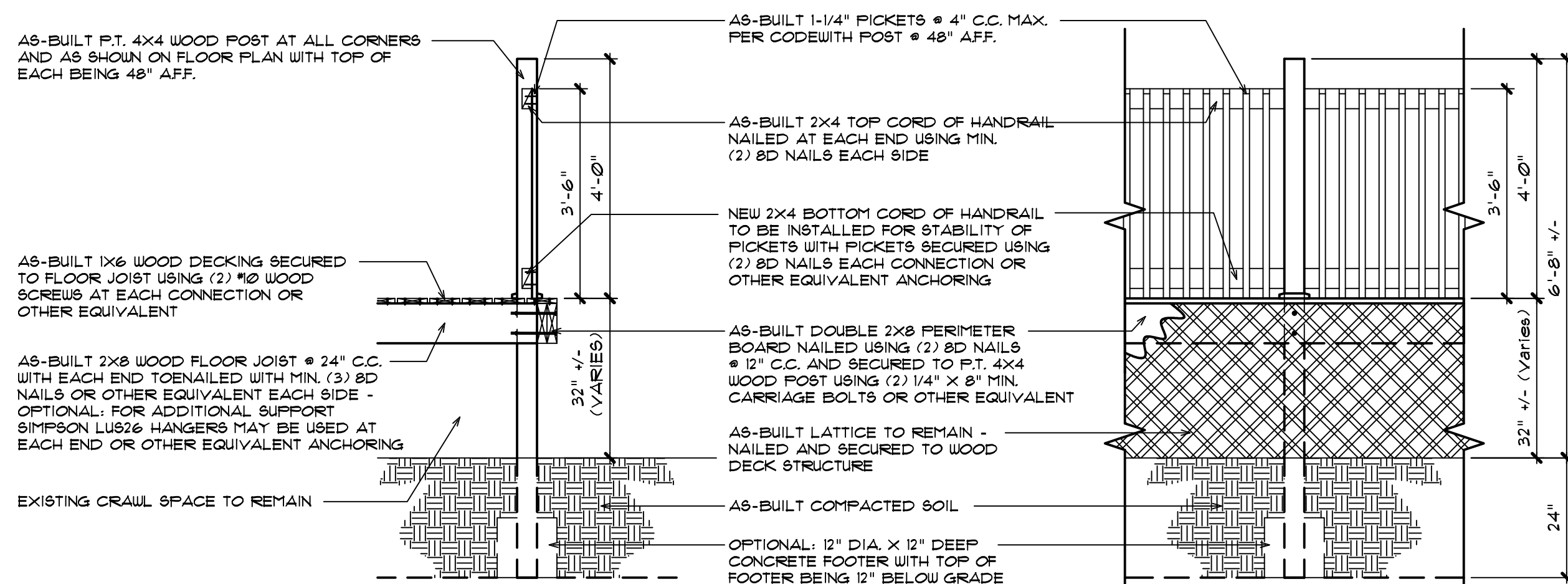
3 KITCHEN ISLAND
SCALE: 1/2" = 1'-0"



4 WOOD HANDRAIL DETAIL
SCALE: 1" = 1'-0"

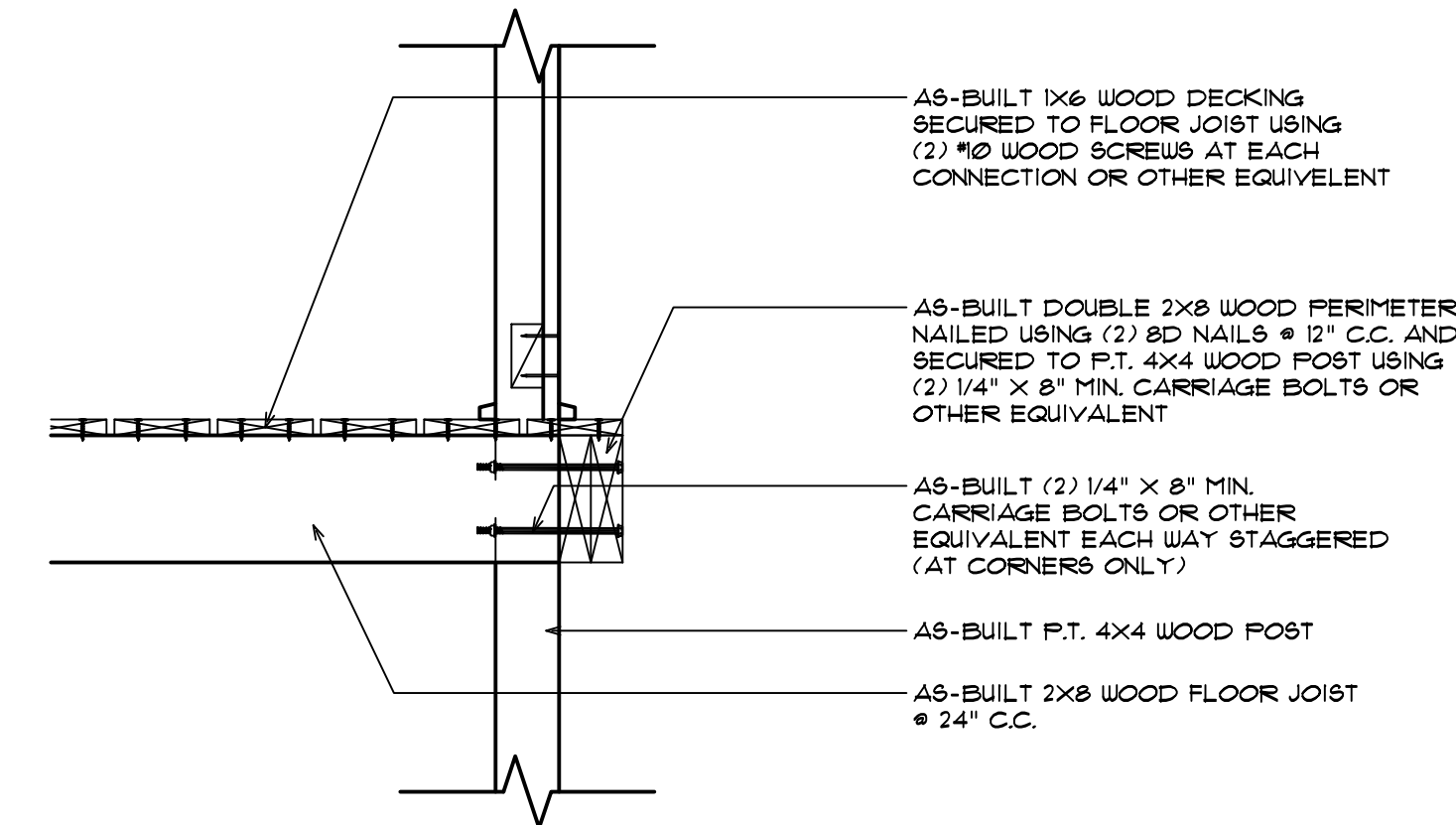


5 TYPICAL STAIR DETAIL
SCALE: 1" = 1'-0"



6 TYPICAL DECK SECTION
SCALE: 1/2" = 1'-0"

7 TYPICAL DECK ELEVATION
SCALE: 1/2" = 1'-0"



8 LEDGER CONNECTION
SCALE: 1" = 1'-0"



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REVISED ISSUE DATES:

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ZONE PROPERTY GROUP, LLC.
1012 DAWSON ST.
SAN ANTONIO, TX 78202

INTERIOR ELEVATIONS

BUILDERS
SET

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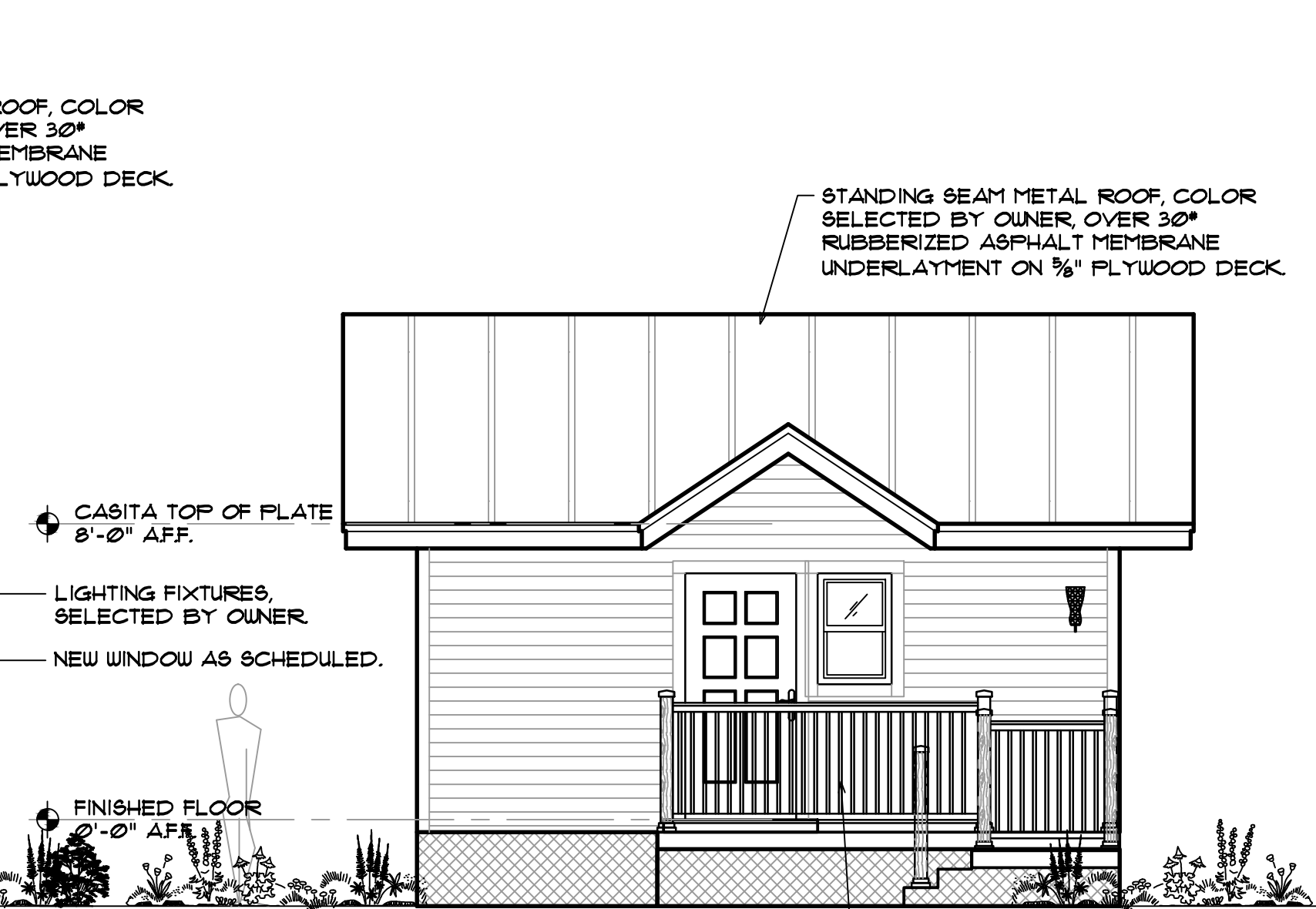
A300



1 MAIN-NORTH ELEVATION
SCALE: 1/4" = 1'-0"



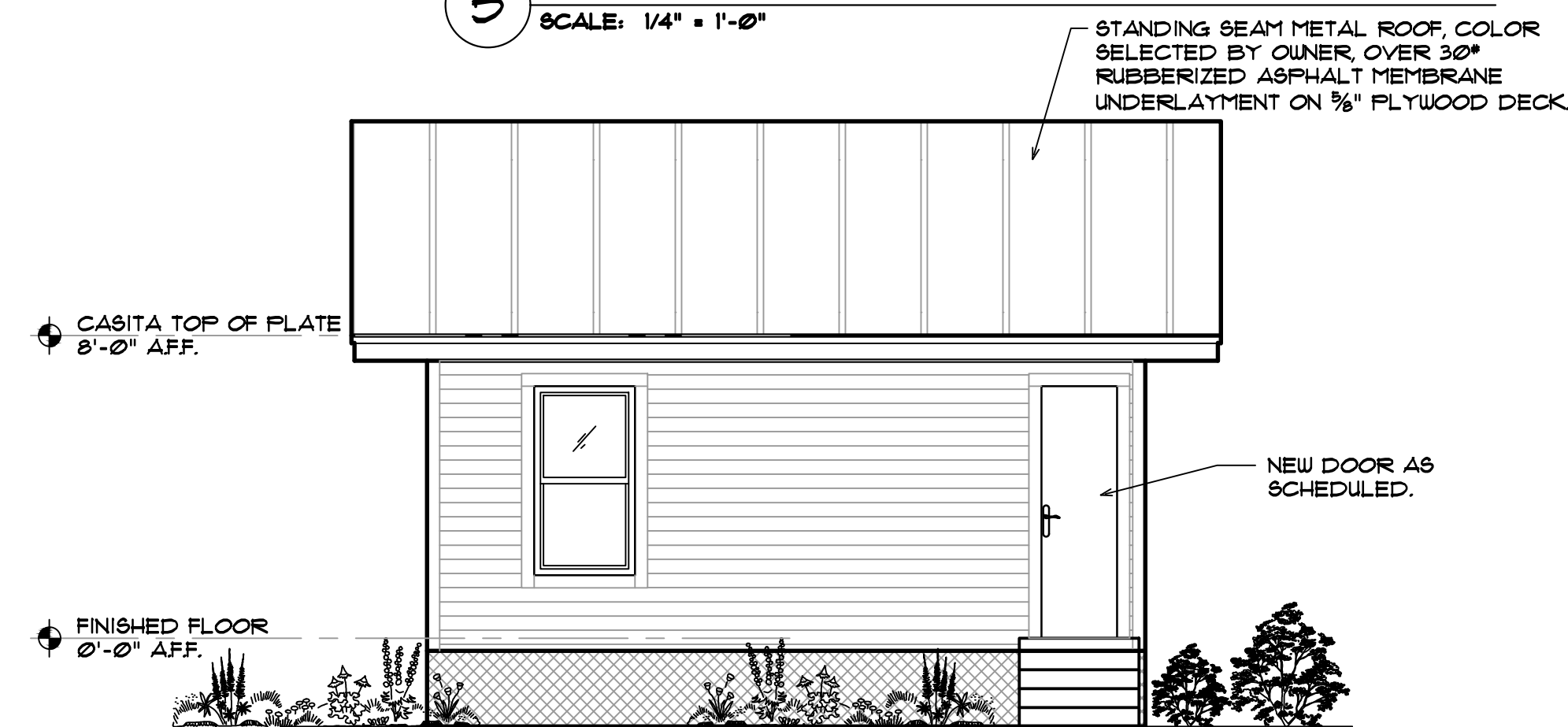
2 MAIN-SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 CASITA-NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 MAIN-WEST ELEVATION
SCALE: 1/4" = 1'-0"



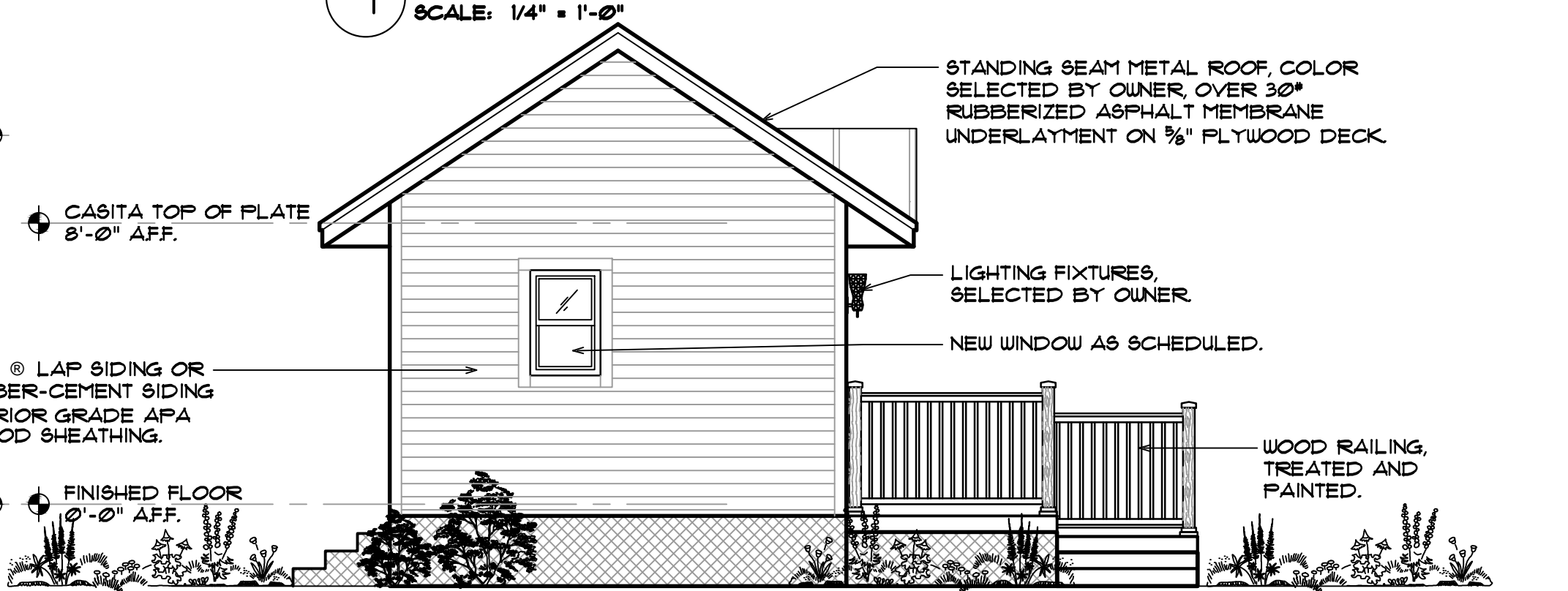
6 CASITA-SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 MAIN-EAST ELEVATION
SCALE: 1/4" = 1'-0"



7 CASITA-WEST ELEVATION
SCALE: 1/4" = 1'-0"



8 CASITA-EAST ELEVATION
SCALE: 1/4" = 1'-0"



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REVISED ISSUE DATES:

HOUSE RENOVATION AND ADDITION FOR
ZONE PROPERTY GROUP, LLC.
1012 DAWSON ST.
SAN ANTONIO, TX 78202

EXTERIOR
ELEVATIONS

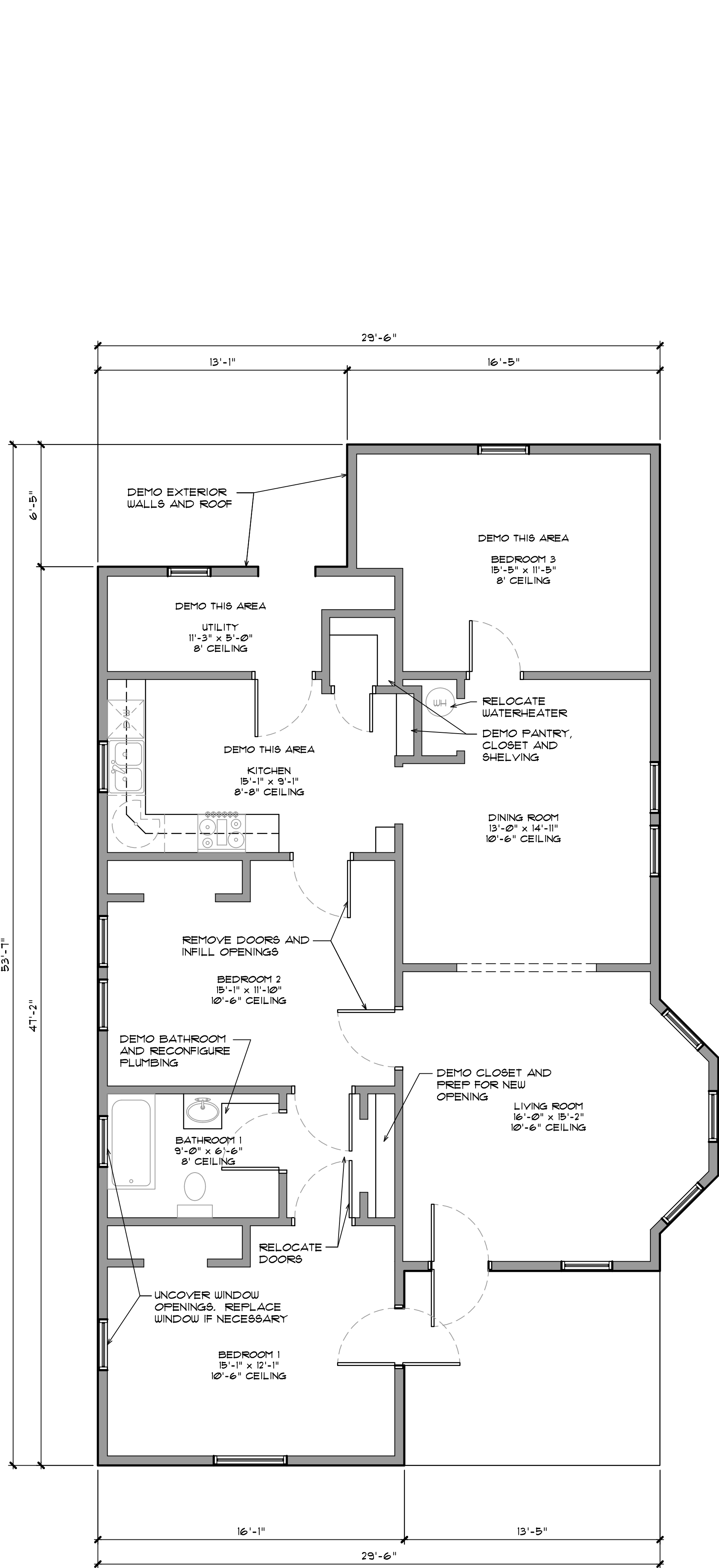
**BUILDERS
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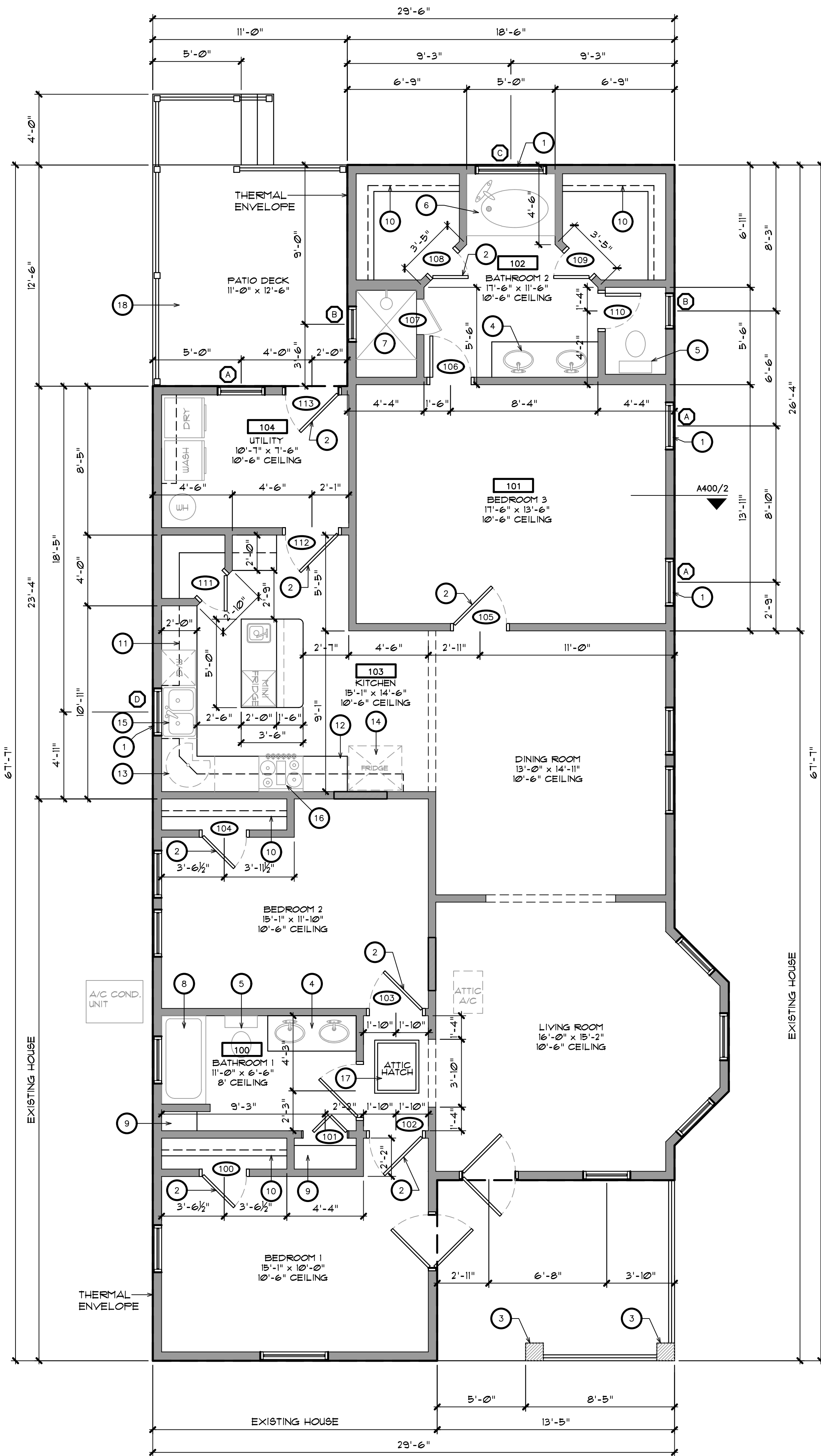
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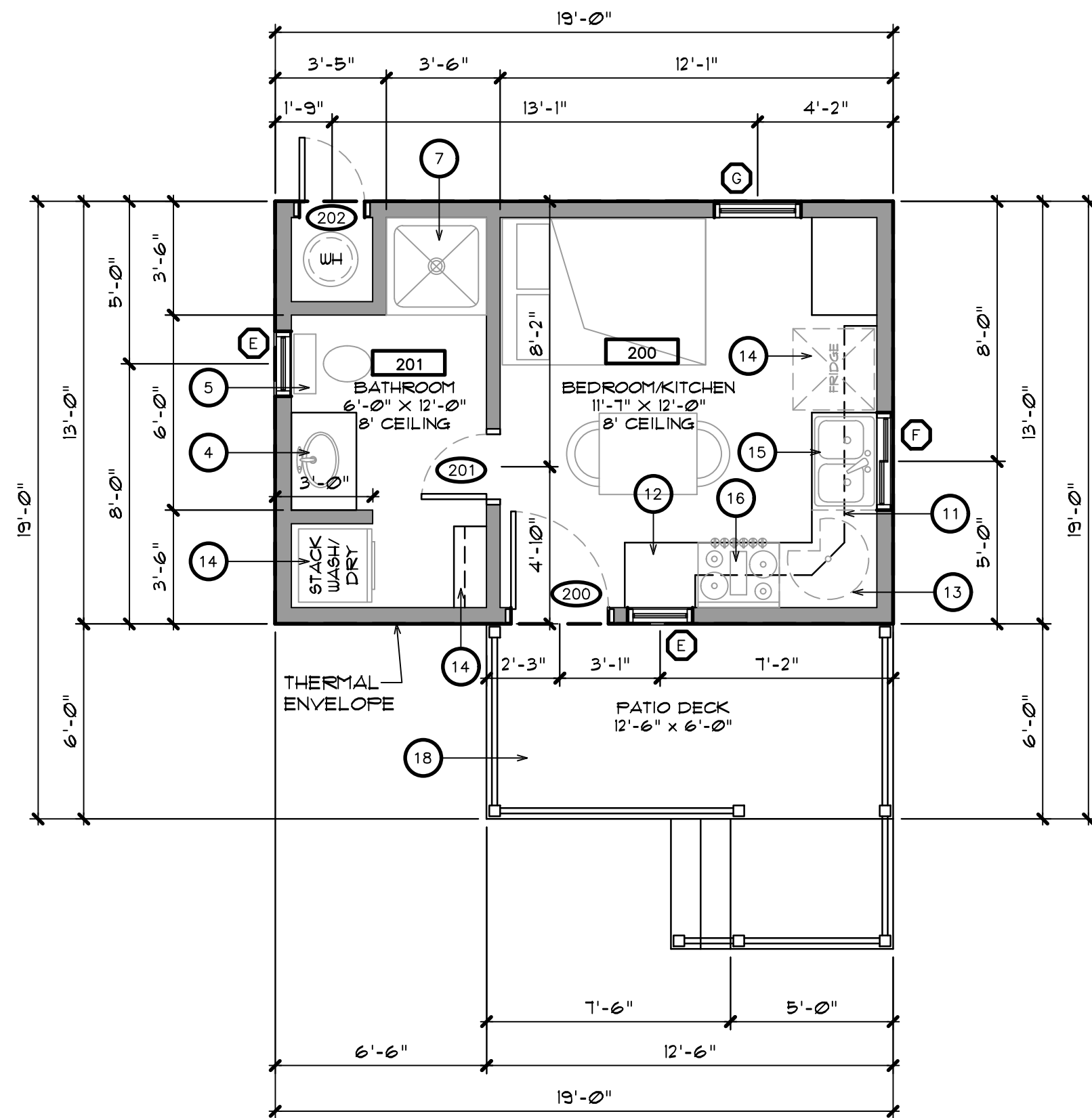
A200



1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 CASITA FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES

1. CONTRACTOR TO PROVIDE WOOD BLOCKING FOR ALL ANCHORING PURPOSES.
2. DIMENSIONS ON FLOOR PLAN ARE TO OUTSIDE OF WOOD STUDS.

KEYED NOTES

1. NEW WINDOW AS SCHEDULED.
2. NEW DOOR AS SCHEDULED.
3. 4x4 WOOD COLUMN, RESTORED OR REPLACE AS NECESSARY, PAINTED TO MATCH HOUSE TRIM.
4. VANITY AND PLUMBING FIXTURES, SELECTED BY OWNER.
5. NEW 1.6 GPF OR LESS TOILET, SELECTED BY OWNER.
6. 60" ALCOVE WHIRLPOOL BATHTUB, SELECTED BY OWNER.
7. RECTANGULAR SHOWER TRAY, PREPPED FOR TILE AND TRIM, TILE COLOR SELECTED BY OWNER.
8. NEW 60"x30"x72" 1-PIECE DIRECT-TO-STUD TUB/SHOWER WALL KIT, SELECTED BY OWNER.
9. 12" DEEP WOOD 5-ROW ADJUSTABLE SHELVES, PAINTED.
10. 12" DEEP SHELF AND CLOSET ROD, PAINTED.
11. UPPER CABINETS, SELECTED BY OWNER.
12. BASE CABINETS/DRAWERS, COUNTER FINISH SELECTED BY OWNER.
13. 36" LAZY-SUSAN CORNER CABINET.
14. APPLIANCES, SELECTED BY OWNER.
15. DOUBLE KITCHEN SINK, SELECTED BY OWNER.
16. 30" RANGE STOVE, SELECTED BY OWNER.
17. 30"x36" ATTIC ACCESS HATCH. INSULATE THE TOP OF HATCH AND WEATHER-STRIP OPENING.
18. NEW TREATED WOOD PATIO DECK.

WALL LEGEND

- NEW INTERIOR WALLS
- NEW PLUMBING WALL
- NEW EXTERIOR WALLS



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FLOOR PLAN

BUILDERS SET

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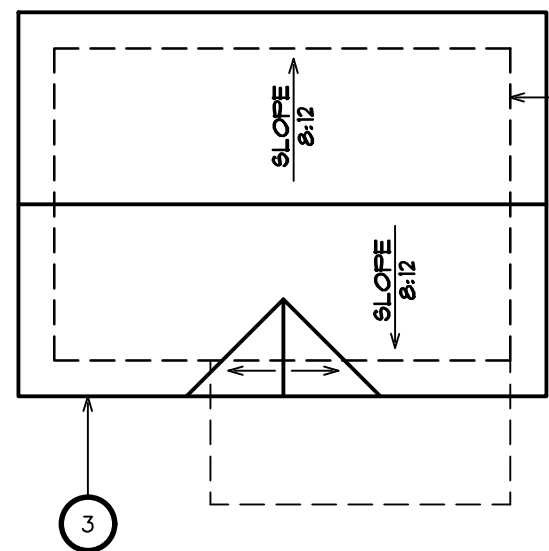
A100



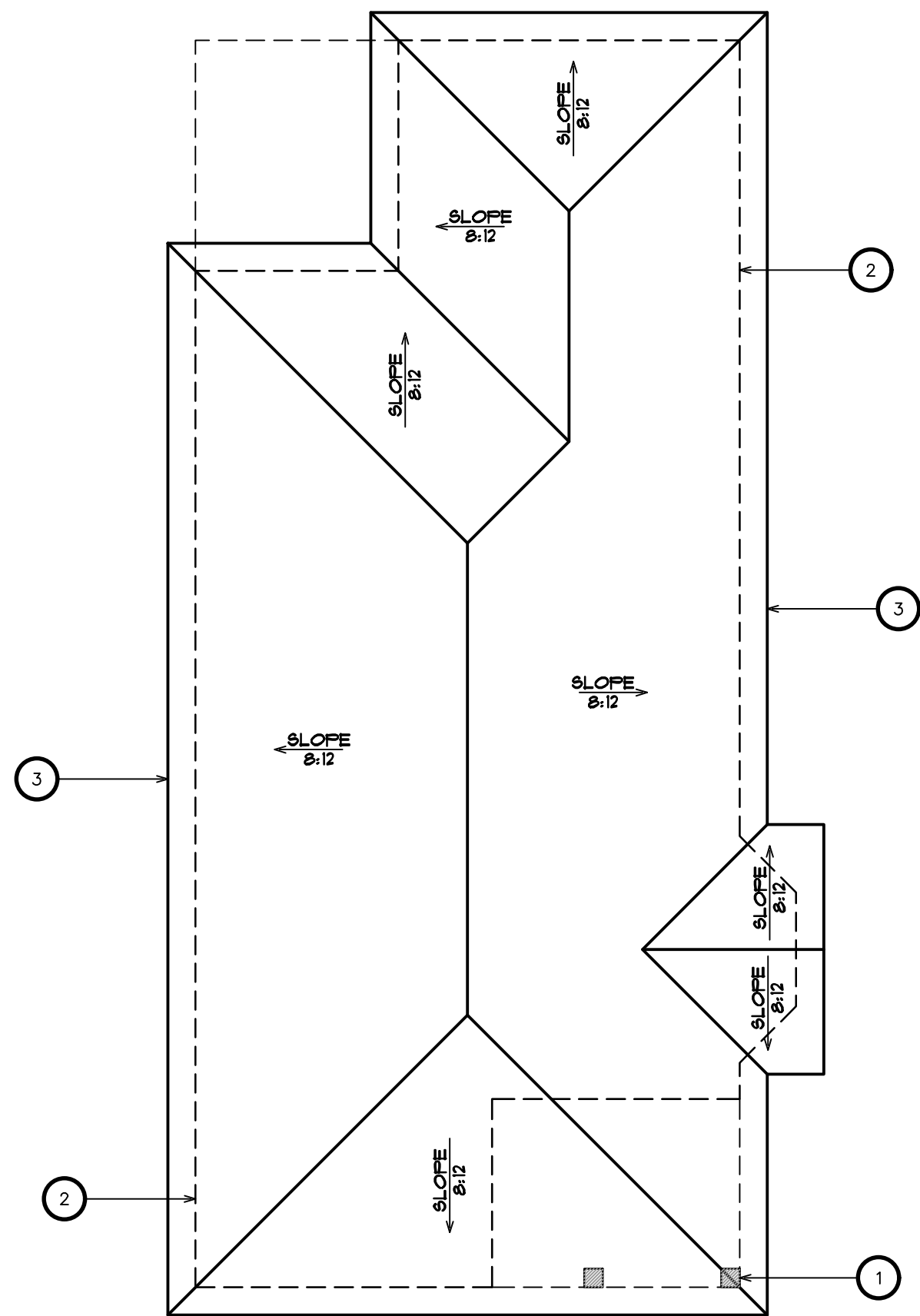
1 AERIAL PLAN
SCALE: N.T.S.



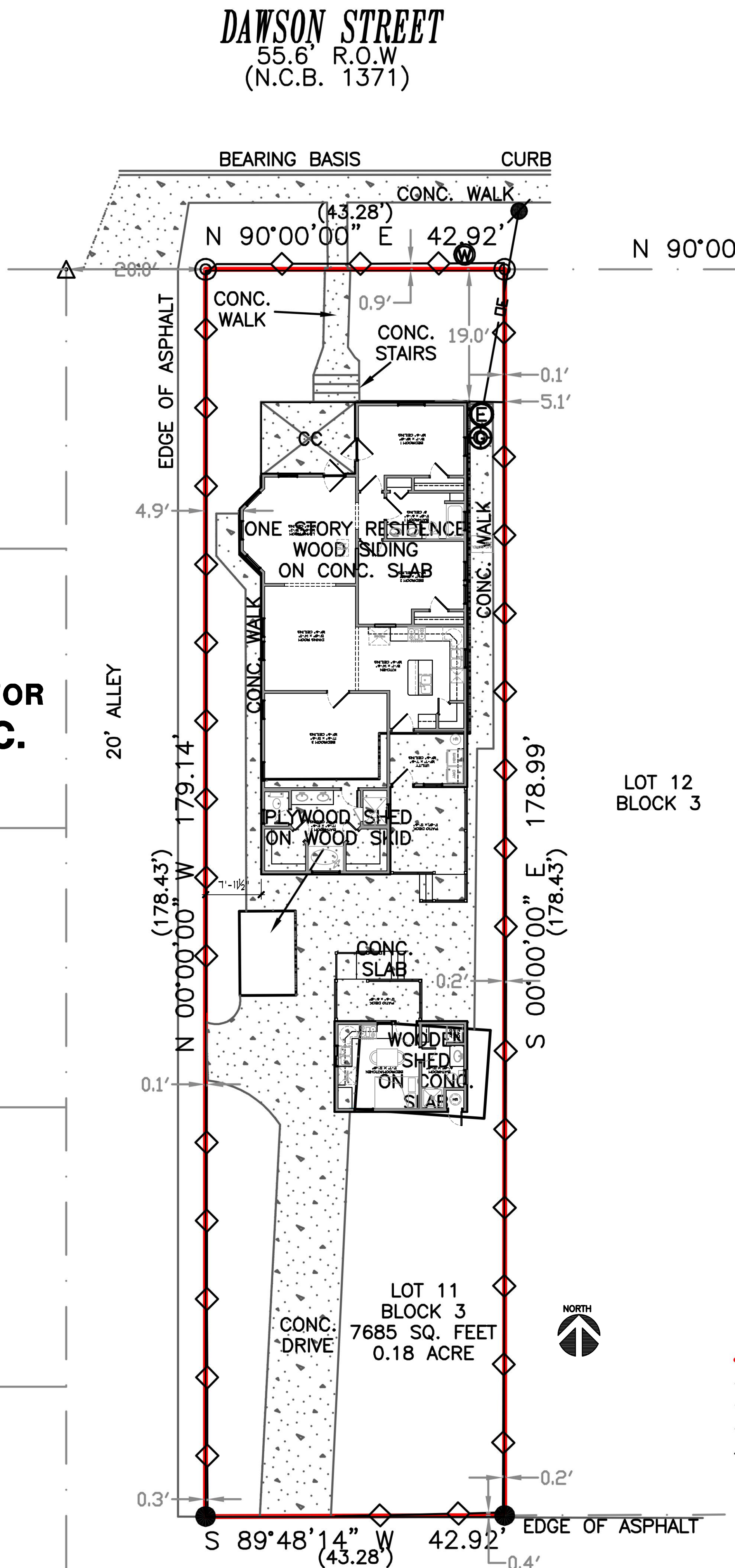
PROJECT LOCATION



HOUSE RENOVATION AND ADDITION FOR
7ONE PROPERTY GROUP, LLC.
1012 DAWSON ST.
SAN ANTONIO, TX 78202



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



3 SITE PLAN
SCALE: 3/16" = 1'-0"

FLORENCE STREET
55.6' R.O.W
(N.C.B. 1371)

SYMBOLS

KEY	DESCRIPTION
ROOM 103	ROOM NAME AND NUMBER
▲ At.1	ELEVATION KEY
← 55	KEYS
▲ At.1	SECTION KEY
SBO	SELECTED BY OWNER
NORTH ↑	TRUE NORTH ARROW

KEYED NOTES

- 4X4 WOOD COLUMN, RESTORED OR REPLACED AS NECESSARY, PAINTED TO MATCH THE HOUSE TRIM.
- RESIDENCE BUILDING OUTLINE. SHOWING THE FOUNDATION AND PORCH/PATIO OUTLINE.
- STANDING SEAM METAL ROOF EDGE. ALL SLOPES ARE 8:12, UNLESS NOTED OTHERWISE.

DESIGNER



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ENGINEER

Villarreal
Design
Group

9921 MICHELLE HILL
GARDEN RIDGE, TX 78266

TEL. 210 834-0089
EMAIL jose@villarrealdesign.com

GENERAL PLAN NOTES

- DEMOLISH EXISTING TREES, IF NECESSARY, TO MAKE ROOM FOR SLAB WORK. CLEAN & DISINFECT SLAB FOR TERMITES AND OTHER INSECTS PRIOR TO APPLYING THE NEW FLOOR FINISH.
- ALL FINISH GRADES SHALL BE DONE IN A MANNER TO PROVIDE POSITIVE SLOPE AWAY FROM THE BUILDING. IN NO CASE SHALL THE SLOPE BE TOWARD THE BUILDING.
- CONTRACTOR TO CLEAN SITE OF ALL DEBRIS, PLACE TOPSOIL THROUGHOUT AND INSTALL SOD AS NEEDED. BREAKDOWN LANDSCAPE BID FOR REVIEW AS AN ALTERNATE.
- CONTRACTOR WILL TAKE ALL PRECAUTIONS NOT TO DAMAGE ANY TREES NOT IN THE CONSTRUCTION "ZONE". SHOULD DAMAGE OCCUR, TREES WILL BE REQUIRED TO BE REPLACED IN SIZE AND SPECIES.
- DO NOT ALTER ANY CONTOURS TO ADJACENT PROPERTY.

DRAWING LIST

DESIGN DRAWINGS

- COVER
- A100 FLOOR PLAN
- A200 EXTERIOR ELEVATIONS
- A300 INTERIOR ELEVATIONS AND DECK DETAILS
- A400 TYPICAL WALL SECTIONS
- A500 DOOR AND WINDOW SCHEDULES
- A600 ELECTRICAL PLANS

STRUCTURAL

- S2.0 FRAMING PLAN AND DETAILS
- S2.1 WALL BRACING DESIGN
- S2.2 WALL BRACING DETAILS

CODE INFORMATION

CODES: IRC-2018

OCCUPANCY CLASSIFICATION: R-1

CONSTRUCTION TYPE: TYPE V B

BUILDING USE: SINGLE FAMILY RESIDENTIAL

PROJECT SUMMARY: RENOVATE EXISTING STRUCTURE AND ADD MASTER BEDROOM ADDITION IN THE REAR OF THE RESIDENCE. CONSTRUCT A 1 BEDROOM, 1 BATH CASITA.

PROJECT INFORMATION

LEGAL DESCRIPTION: NCB 1371, BLOCK 3, LOT 11, DIGNOWITY HILL HISTORIC DISTRICT, AN ADDITION TO THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 16811, PAGE 1967, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS.

MAIN HOUSE
A/C SQUARE FOOTAGE: 1,748 SQFT.
PORCH/PATIO AREA: 274 SQFT.
FOUNDATION SQ FOOTAGE: 2,022 SQFT.

CASITA
A/C SQUARE FOOTAGE: 241 SQFT.
PORCH/PATIO AREA: 75 SQFT.
FOUNDATION SQ FOOTAGE: 322 SQFT.

GENERAL PROJECT NOTES

- THIS BUILDERS SET (PART OF THE CONTRACT DOCUMENTS) IS PRESENTED TO INCLUDE DRAWINGS OF 24" x 36" SHEETS.
- ELECTRICAL AND PLUMBING LINES SHALL BE RUN CONCEALED AND FRAMING SHALL BE OF ADEQUATE DIMENSION TO ACCOMPLISH THIS RESULT WITHOUT CHANGES IN THE WALL PLANE OR CEILING PLANE.
- WHEN REFERENCE IS MADE TO A MATERIAL SYSTEM, ALL PARTS AND MATERIALS PERTINENT TO THE MANUFACTURER'S SYSTEM SPECIFIED SHALL BE FURNISHED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE DESIGNER BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY, ON-SITE, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGNER. CONTRACTOR SHALL FAMILIARIZE HIM (HER) SELF WITH EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- FINISHES & FIXTURES TO BE SELECTED BY OWNER.
- REPAIR ANY DAMAGED AREAS PRIOR TO APPLYING FINISHES.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS - ARCHITECTURAL AND ENGINEERING - ARE TO BE USED TOGETHER. GENERAL CONTRACTOR SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW COMPLETE SETS OF DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO THE START OF CONSTRUCTION.
- FOR ANY ITEM IDENTIFIED IN THE CONTRACT DOCUMENTS THAT IS REASONABLY INFERRABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE GENERAL CONTRACTOR SHALL INCLUDE ALL OTHER COMPONENTS IN THE WORK WHICH ARE NECESSARY FOR THE COMPLETION AND FULL OPERATIONAL PERFORMANCE OF THAT SYSTEM.
- THE CONTRACT DOCUMENTS INDICATE THE GENERAL DESIGN INTENT, BUT DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD AND COORDINATE BETWEEN THE TRADES. ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING, BUT NOT LIMITED TO, PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING AND NEW, EXISTENCE AND LOCATIONS OF ASBESTOS OR OTHER UNKNOWN TOXIC MATERIAL, DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES, AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF ASBESTOS AND OTHER REGULATED TOXIC MATERIALS AND SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR CONFORMANCE TO FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSITION OF HAZARDOUS MATERIALS. SHOULD ANY QUESTIONS ARISE OR DISCREPANCIES ON THE DRAWINGS BE NOTED PRIOR TO BEGINNING CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
- CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO: BUILDING PERMIT FEES, MEP FEES, WATER FEES, SEWER FEES, DRIVEWAY FEES, AND SIDEWALK FEES. THE LOCATION OF UTILITIES SHOWN ON THE SITE PLANS ARE BASED ON THE INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
- ALL BATT INSULATION TO BE FORMALDEHYDE-FREE.
- DESIGN AND CONSTRUCTION PROCESSES TO COMPLY WITH LOCAL HOA, AND LOCAL AND STATE RESIDENTIAL BUILDING CODE REQUIREMENTS.
- ALL WOOD FRAMING TO BE TREATED.
- CONTRACTOR SHALL REPORT IMMEDIATELY, TO THE DESIGNER, (IN WRITING) ANY EXISTING CONDITIONS (EG: ROT, TERMITES, ETC.) THAT MAY AFFECT PERFORMANCE OF THE EXISTING AND NEW STRUCTURES.
- ALL NEW GYPSUM WALL BOARD SHALL BE TAPED, FLOATED, TEXTURED, AND PAINTED (COLOR SELECTED BY OWNER).



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COVER SHEET

BUILDERS
SET

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COVER



















