

HISTORIC AND DESIGN REVIEW COMMISSION

October 16, 2019

HDRC CASE NO: 2019-575
ADDRESS: 119 ADAMS ST
LEGAL DESCRIPTION: NCB 931 BLK LOT 17 AND 18
ZONING: RM-4,HS, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
LANDMARK: Koehler House
APPLICANT: Nicole Corwin/Tatanka
OWNER: Jarod and Celeste Oliver
TYPE OF WORK: Historic Tax Verification
APPLICATION RECEIVED: September 24, 2019
60-DAY REVIEW: November 23, 2019
CASE MANAGER: Huy Pham
REQUEST:

The applicant is requesting Historic Tax Verification for the property at 119 Adams.

APPLICABLE CITATIONS:

Sec. 35-618. - Tax Exemption Qualifications.

- (a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:
 - (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
 - (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

- (d) Certification.

- (1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the

historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

- (2) **Tax Assessor-Collector Approval.** Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.
- (e) **Verification of Completion.** Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.
- (f) **Historic Preservation Tax Exemptions.**
 - (1) **Historic Preservation Tax Exemption for Residences in Need of Substantial Repair.** In accordance with the provisions of this chapter, a historically significant residential building, which meets both the definitions of a historically significant site in need of tax relief to encourage preservation and of a residential property in Appendix "A" of this chapter, and is either individually designated or is located within the boundaries of a locally designated historic district which is substantially rehabilitated and is approved by the chief appraiser of the Bexar County Appraisal District, shall have an assessed value for ad valorem taxation as follows:
 - A. A residential property shall have no assessed value for ad valorem taxation for a period of five (5) tax years after verification, as defined in Appendix "A" to this chapter. Thereafter, the exempt property shall be reappraised at current market value and assessed at a fifty (50) percent rate for an additional consecutive five-year period.
 - B. This exemption shall begin on the first day of the first tax year after verification of completion of the substantial rehabilitation by the historic and design review commission, provided compliance with subsection (b) of this section.
- (g) **Eligibility.**
 - (1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

- a. The applicant is requesting Historic Tax Verification for 119 Adams located in the King William Historic District. Historic Tax Certification is also being heard for this property at the October 16, 2019, HDRC hearing.
- b. **SCOPE OF APPROVED WORK** - A number of rehabilitative scopes of work have been approved including: exterior alterations to match historic elements, modification of an addition, and enclosure of a balcony. In addition to the previously noted exterior items, a number of interior scopes of work have been planned or completed including electrical, plumbing, and mechanical improvements, and interior finishes.
- c. **TIMELINE OF COMPLETION** - The project began in July 2017, and was completed by October 2019.
- d. **ITEMIZED LIST OF COST** - The applicant submitted an itemized list of costs that meets the threshold to be eligible for Historic Tax Certification.
- e. **CERTIFICATION REQUIREMENT** - The requirements for Historic Tax Certification outlined in UDC Section 35-618 have been met and the applicant has provided evidence to that effect to the Historic

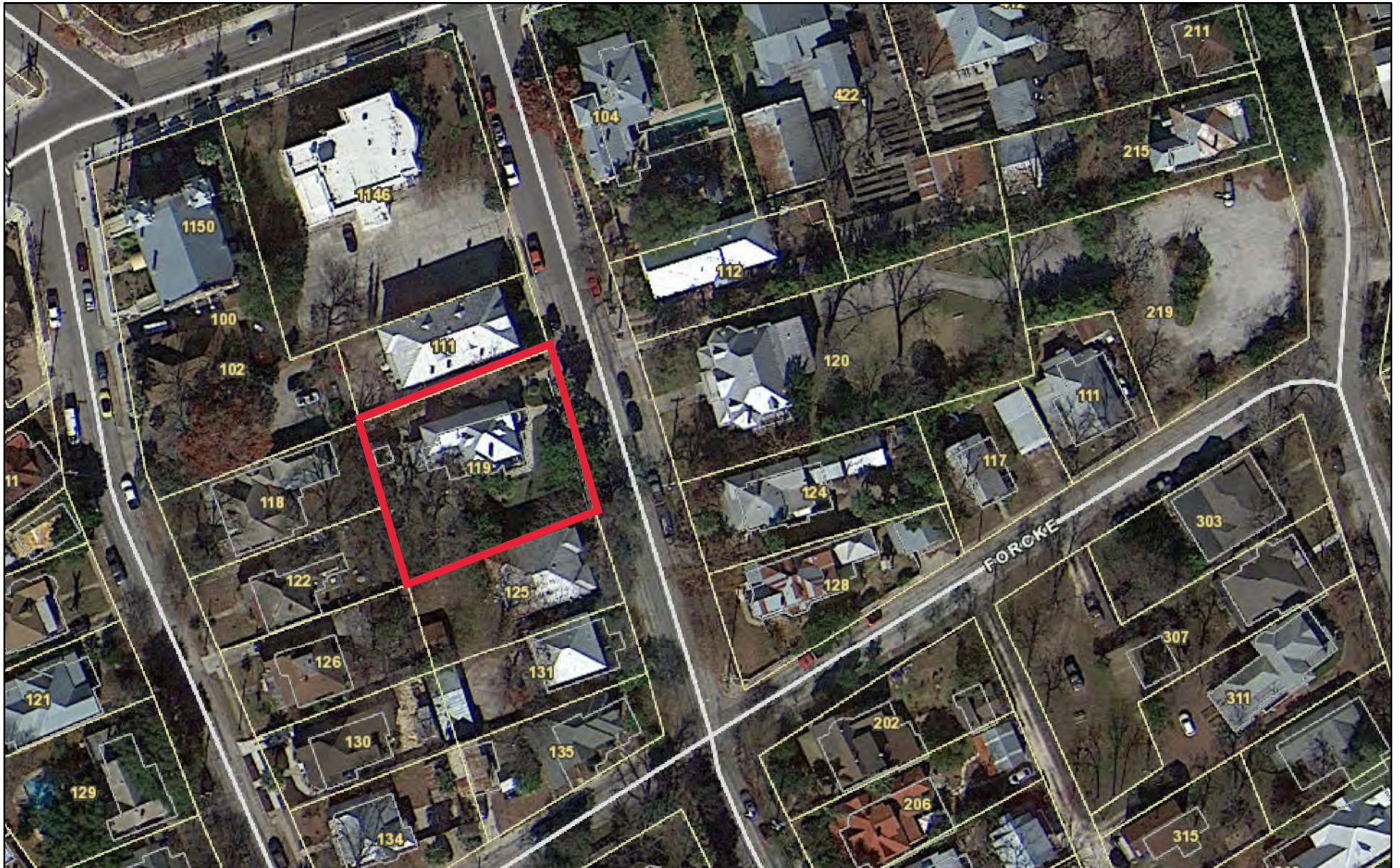
Preservation Officer including photographs, an itemized list of costs, and a timeline for completion.

- f. TAX INCENTIVE PERIOD - Approval of Tax Verification by the HDRC in 2019 means that the property owners will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2020.

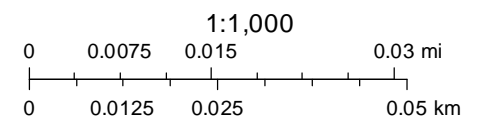
RECOMMENDATION:

Staff recommends approval of Historic Tax Verification based on the findings b through f .

119 Adams



October 3, 2019





Tapatio Vegan Tacos

S Alamo St
Espronceda Law

E Johnson St

Wickers St

Alamo Methodist Church

Shivers & Shivers

119 Adams Street

Adams St

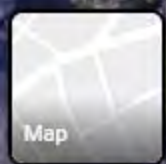
San Antonio
Teachers Council

mth Art Objects

Forcke St

Forcke St

Google





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119 Adams Street

San Antonio
Teachers Council

Map

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119 Adams St
San Antonio, Texas

Google

Street View - Mar 2019

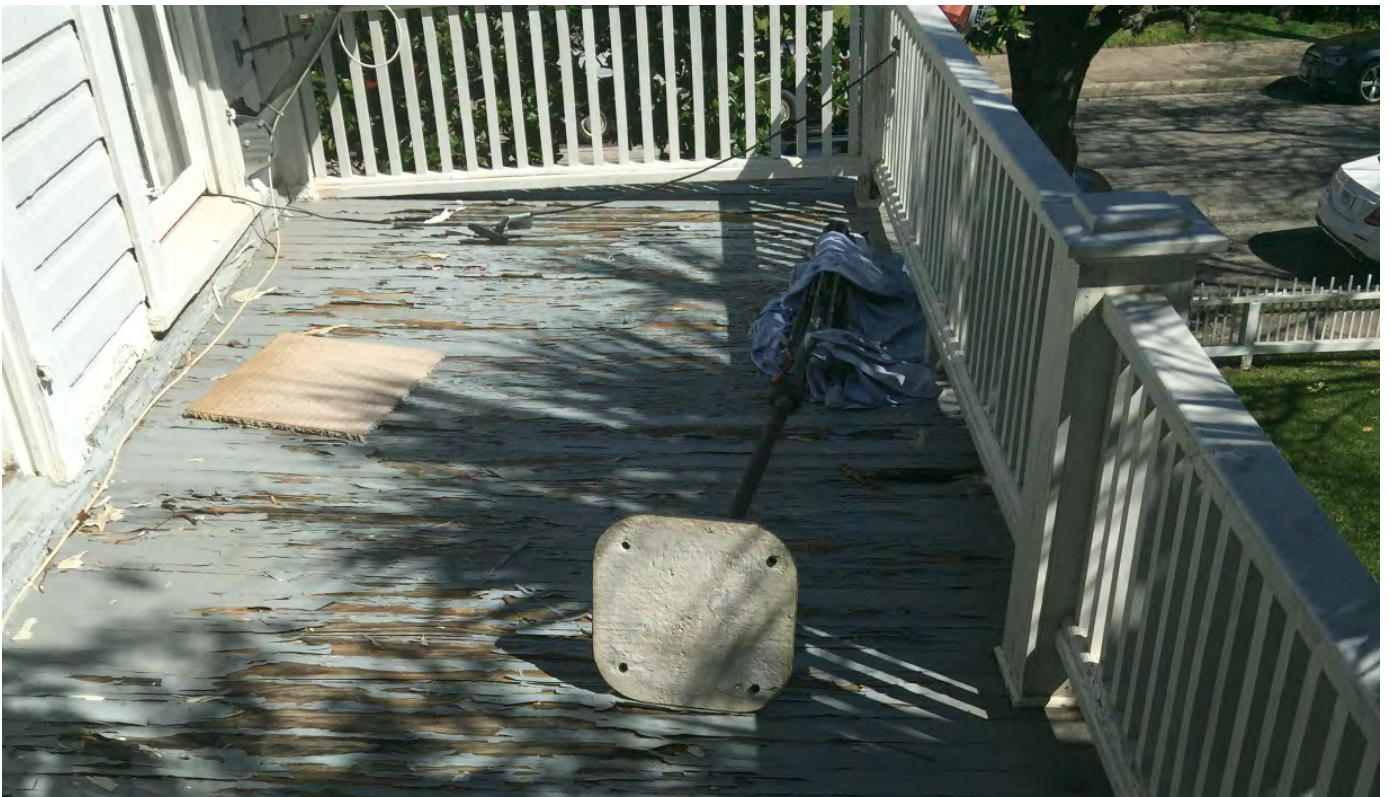
119 Adams St

Blue Star Contemporary



Pre-Remodel Exterior, Front

wood shutters to be repaired and replaces as needed, new paint throughout, wood railing & detailing to be repaired



Pre-Remodel Exterior, Northwest Corner
wood shutters to be repaired and replaces as needed, new paint throughout, wood railing & deck to be repaired



Pre-Remodel Exterior, Southwest Corner

Wood deck and spa to be removed, 2nd floor to be added onto and balcony relocated. Leaded glass windows to be relocated..



Pre-Remodel 1st Kitchen
wall dividing kitchen from living to be removed, all new kitchen finishes, fixtures and cabinets.



Pre-Remodel 1st Mudroom/Laundry & Living

reconfigure mudroom & laundry relocated, door to dining rm relocated & new cased opening to dining, relocated leaded windows.



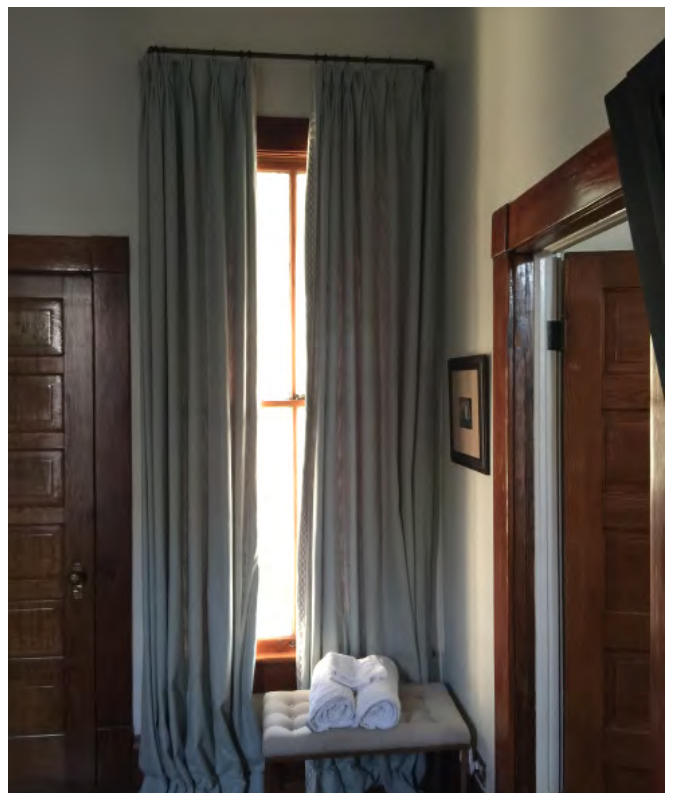
Pre-Remodel 1st Powder Room
to be reconfigured . all new finishes and fixtures



Pre-Remodel 2nd Floor Guest Bathroom A
to be reconfigured into guest bath and laundry room, all new finishes and fixtures.



Pre-Remodel 2nd Floor Guest Bathroom B
to receive new flooring and paint, restored and repair fixtures



Pre-Remodel Master Suite & Balcony
New layout and all new finishes and fixtures, doors to be reused



Exterior Front of House
New paint & maintenance



Exterior Side of House
new paint & maintenance, new back-porch addition, new accessory dwelling, relocated southwest balcony

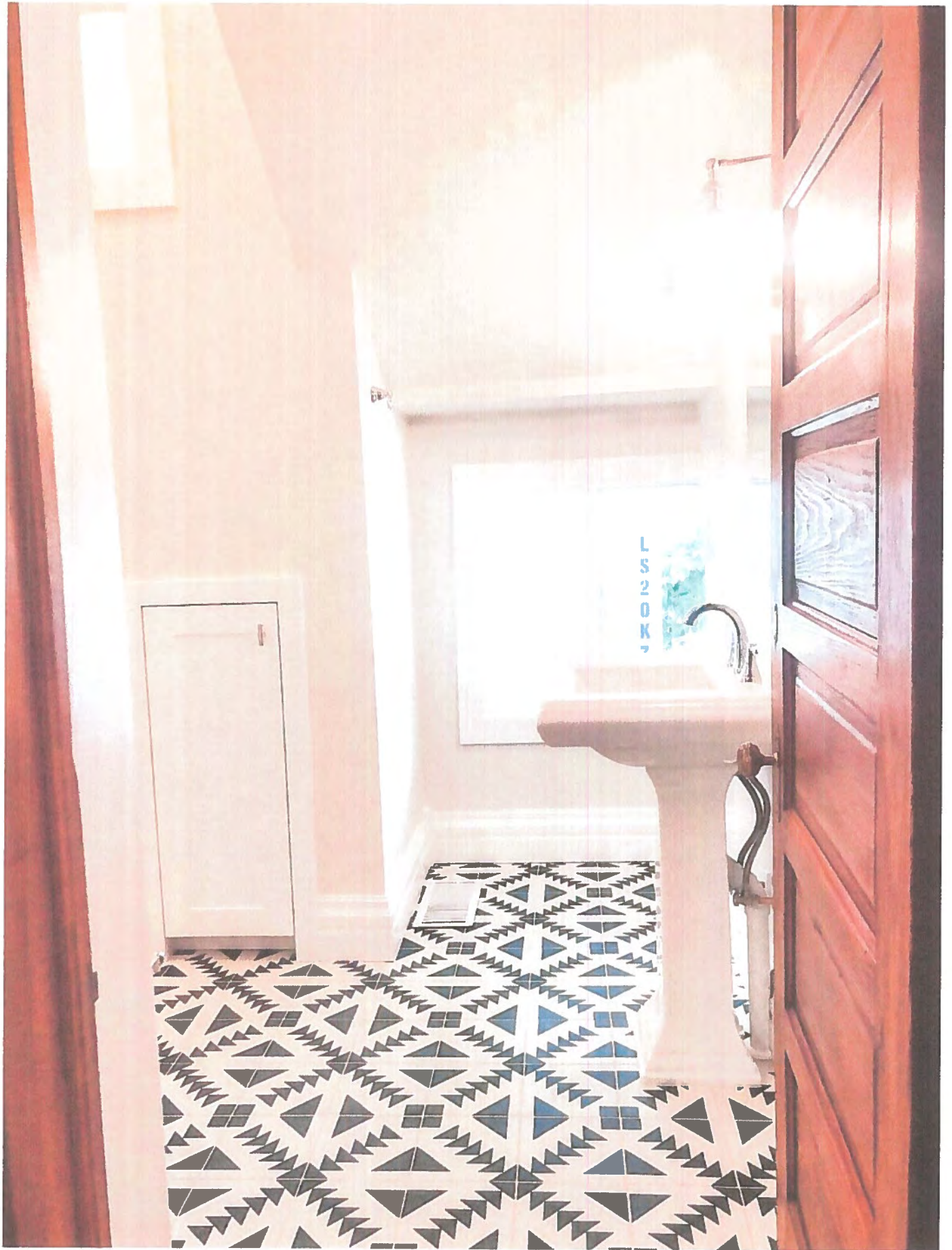


1st Floor Entrance

New paint, hallway wall and door removed, hall transom restored, furr downs removed & HVAC supply relocated to floor.



1st Floor Entrance & Parlor
New paint & furr downs removed & HVAC supply relocated to floor.



1st Powder Room

New Layout, all new fixtures and finishes, relocated door and restored existing window.



1st Kitchen & Living Room

New layout removed wall separating living and kitchen, added an opening to the dining rm and enlarged stair access opening..



1st Kitchen & Living Room

New windows and French doors in the living rm. New mud rm, finishes and fixtures. Relocated historic leaded window to kitchen.



2nd Floor Guest Bedroom
New Paint, Window and Balcony Repair



2nd Floor Laundry Room

New, previous laundry was in a closet on the 1st floor. All new fixtures and finishes. Original wood floor.



2nd Floor Guest Bathroom B
New flooring and paint, restored and repaired fixtures.



2nd Floor Master Bathroom & Closet
New layout and all new finishes and fixtures. Relocated historic leaded window above tub. Original flooring in closet.



2nd Floor Master Bedroom & Balcony
New layout, French doors fixtures and finishes. Partial original flooring.



Accessory Dwelling Bathroom
New, Relocated Original Window



Accessory Dwelling Kitchen
New, Relocated Original Window



Project Historic Rehabilitation Application
Location 119 Adams St. San Antonio, Tx 7821
Owner Jarod & Celeste Oliver

Representative Nicole Corwin
tatankanicole@gmail.com
Date 09/19/19

Rehabilitation Narrative & List of work performed

1 REMODEL & ADDITION

Approximately 3,000 SF of the existing home was remodeled. Much of the remodel affected the rear southwest and west of the building, an undocumented addition to the original Koehler House designed by Atlee Ayres in 1902.

a Exterior—The exterior remodel included removal of an existing deck and spa, a new covered deck addition, window & door relocation and additions, southwest balcony layout modifications and new roofing addition.

- i** The new covered deck, located at the rear of the house in between the main house and the new accessory dwelling, is constructed of painted wood, synthetic decking and a multiwall polycarbonate roof. The deck serves as the new back entrance into the home.
- ii** All removed windows and doors were relocated throughout the remodel and new accessory dwelling. All new windows and doors are of wood construction and similar proportions to the originals.
- iii** The southwest balcony location was reoriented over the structure below to increase the 2nd floor master suite interior square footage. The modified balcony included new doors, new painted wood columns, railing, wood siding, wood decking with TPO underlayment and new electrical fixtures.
- iv** The new galvalume standing seam hip roof addition was necessary to cover the modified balcony and master suite. The new standing seam is the same panel width as the original roofing.

b Interior—The interior remodel included the 1st floor kitchen, living room, pantry, mudroom, powder room, and 2nd floor laundry room, guest baths and master suite. Careful attention was paid to respect finishes and character of the original home. Whenever possible materials were reused, newly installed materials were reclaimed, and non-reclaimed materials were selected for their longevity and sensitivity to the original materials. Poorly crafted or failing additions and modifications were removed.

- i** The 1st floor remodel removed all failing undocumented additions. New foundation piers, structural joist, beams, decking, framing and columns were installed.
- ii** The 2nd floor interior remodel reconfigured an undocumented bathroom and closet remodel to become a new laundry room and new guest bathroom. Updated plumbing and flooring in the original bathroom. As well as modify an existing guest bedroom, bathroom and balcony to become the new master suite.
- iii** All non-original tile and soft wood flooring throughout the house was removed and replaced with reclaimed solid long leaf pine flooring, finger jointed into the original existing long leaf. All new long leaf pine door thresholds were made to match existing.

- iv All removed existing 6 panel wood doors were relocated throughout the remodel and accessory dwelling.
- v A combination of closed and open cell spray foam insulation was installed under the newly added and existing roof.
- c MEP— All the MEP systems throughout the house were upgraded.
 - i The HVAC system was upgraded, and the 1st floor supplies were relocated from furr downs in the ceiling to the floor.
 - ii All nob & tube electrical wiring was removed and replaced with Romex. All original electrical fixtures remained, and new electrical fixtures added.
 - iii All existing plumbing lines affected by the remodel were replaced with PEX. There were no original historic plumbing fixtures in the areas of the remodel, so new fixtures were selected throughout.

2 NEW CONSTRUCTION

A 1200 SF, 2 story accessory dwelling and garage located at the rear setback of the property; 600 SF 1st floor with a 2-car garage and storage and 600 SF 2nd floor conditioned living space.

- a Exterior—The exterior materials and proportions are visually subordinate and respectful of the historic homes character. Architectural detailing of the frieze, dormer and skirting are simplified versions of the original home.
 - i Windows and doors salvaged from demolition on the main house were incorporated in the new building. All new windows and doors are of wood construction and similar proportions to the originals.
 - ii The siding is a smooth finish lap siding hardi board.
 - iii The galvalume hipped standing seam roof and hipped dormer materials match the new roofing addition on the main house.
 - iv A simple exterior stair with steel railing accesses the 2nd floor living space.
 - v The two garage doors are similar proportions to those traditionally found in the neighborhood.

3 MAINTENANCE (PRESERVATION, RESTORATION, AND RECONSTRUCTION)

- a Exterior— Careful attention was paid to preserve the longevity and maintain the original character of the historic home.
 - i Windows —Preserved historic windows and reapplied glazing putty as needed.
 - ii Shutters — Preserved historic window shutters when applicable. Replaced missing shutters with new shutters to that match existing.
 - iii Siding — Replaced rotten wood siding with matching profile siding.
 - iv Balconies — Preserved historic architectural detailing around front and side balconies. Replaced rotten wood deck, balusters and railing to match existing.
 - v Gutters — Replaced all existing gutters and downspouts.
 - vi Front fence — Replaced existing front fence with new fence replicated to match.
 - vii Paint — Entire building was repainted with siding and trim colors to match existing.

Edward Diaz Construction, LLC
446 Queen Anne Ct
San Antonio, TX. 78209

**Construction Schedule for 119 Adams St.
4/9/2018**

Note: The official amended start date was 3/2/2018. The contract states the duration of project as 395 days. The most recent change order has added 7 days to the project with extra labor and site meetings/delays due to a re-examination of foundation/framing, etc.

As of this updated schedule, the date of substantial completion would be 4/9/2019 – exactly 365 days from today. It is my sincere hope that we will reach project completion before this date by 60 days or more. However, due to the level of detail and possibility for delays and complications, this current schedule could easily take 4 to 6 weeks longer. This would still be within the time frame.

Completed to Date:

General Site work and protection. Removal of Pecan Tree. Demolition complete. Framing of Master Bedroom/Bath walls, Bath 02 walls, Bath 01. Perimeter frame of Mud Room built. Ceiling above kitchen LVLs and additional 2x12s installed. Window framing in Kitchen North & West walls, M. bath west wall, Utility room.

Change Order for Living Room floor framing & Plumbing at Bath 01 west wall (demoed wall) approved. Foundation footings for 15 piers including some extra to accommodate C.O.#1 excavated. Inspected by Moises Cruz on 4/6.

April 9 – end of month

Complete piers and complete C.O.#1, Continue framing at Main House. Install steel beams and headers, living room walls, floor framing above living room, M. Bed walls and M. porch framing. At Carriage House, form survey by Greaves.

Form for Carriage House foundation. Rough-in plumbing at C.H. Install three AC line sets in C.H. form. Trench and install Electrical service line for C.H.

May

Roof framing at Main House. Complete foundation at C.H. and begin framing. Goal is to be ready for Framing/Sheathing inspections at Main House and C.H. by end of May, early June. Rough-In plumbing and Electrical begin.

June

HVAC rough-ins, complete Plumbing & Electrical Rough-ins. Roofing at Main House and C.H. TPO at M. Bed porch. Tyvek wrap, flash, and install windows/doors. Porch foundation and beams completed. Exterior siding, soffits, etc. at C.H. and Main House. Also in June we should measure for Millwork and try and get this started. Insulation by end of month. Partial electrical inspection for later work at porch.

July

Drywall and continue work on exterior. Begin work at Porch. Painting at exteriors of C.H. and Main House at west wall, mud room, living room & M. porch. Garage Doors installed.

August

Complete Porch and polygal roof. Floor patching and install, interior trim work, install cabinetry. Tile work. Begin Painting at interior.

September

Trim Carpentry continued, Countertops installed, plumbing and lighting fixtures trimmed out. Fence.

October/November/December –

Complete interior detailing, Glass & Mirrors. Hardware install. Sand & finish floors, etc. Exterior work on Main House. Punch-listing, etc.

January 2019

Re grade driveway, general site clean-up, Painting, Punch-listing.

Feb 2019

Complete project.

**Actual Date of Substantial Completion according to Contract, adding for C.O.#1:
April 9, 2019**



2nd Floor Guest Bathroom A
New layout and all new finishes and fixtures. Relocated original window to shower.

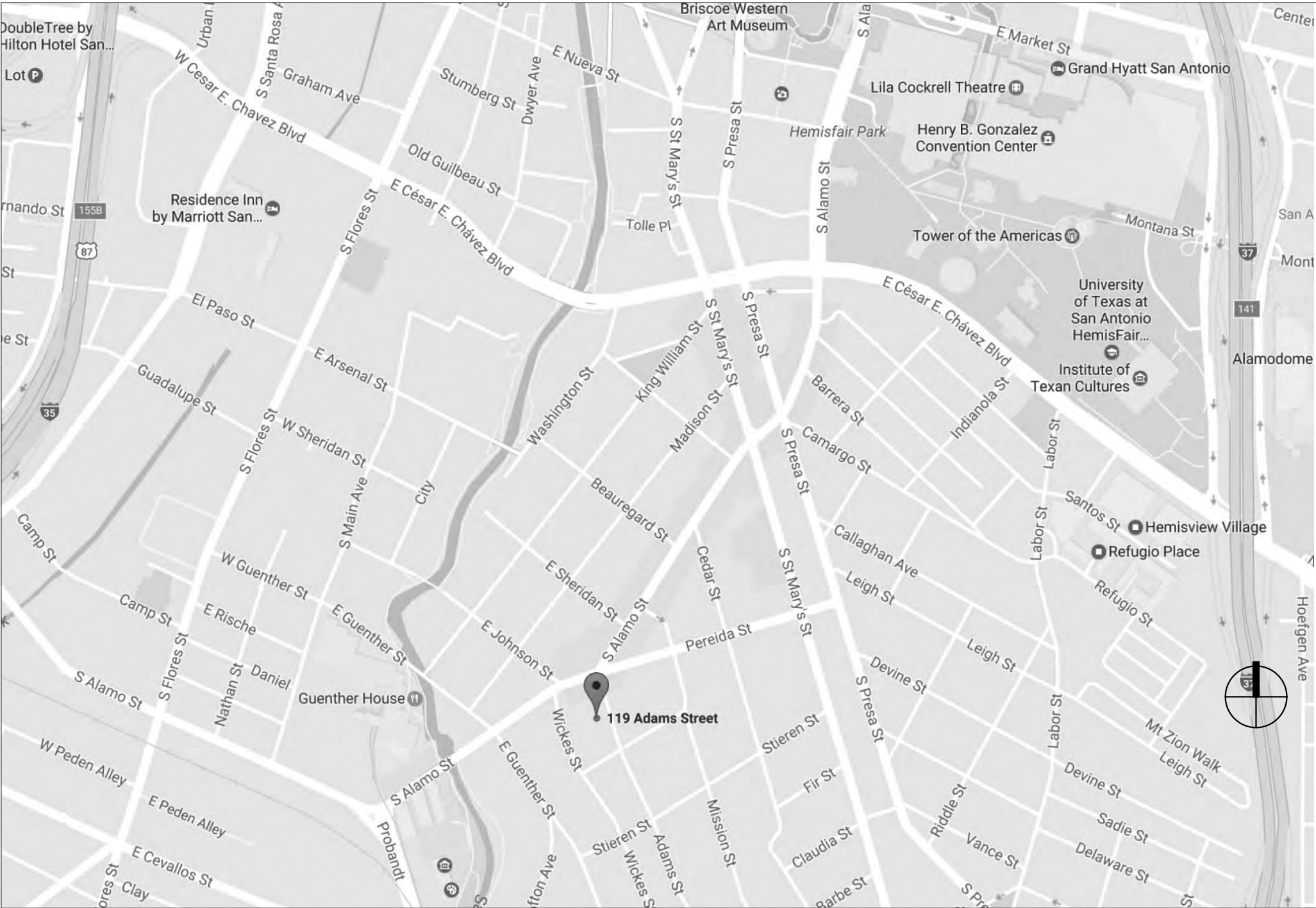
OLIVER RESIDENCE

119 ADAMS ST.
SAN ANTONIO, TX 78210

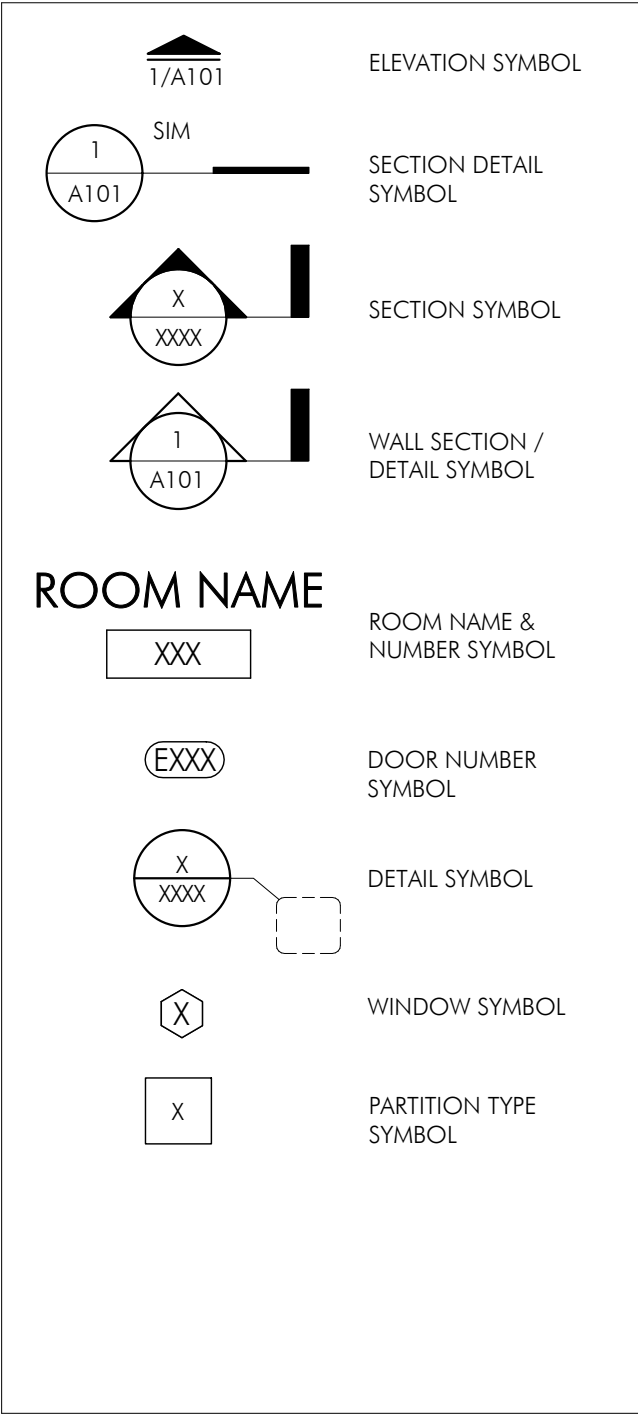
CONCEPT RENDERING



VICINITY MAP



SYMBOL LEGEND



APPLICABLE CODES & REGULATIONS

BUILDING CODE: 2015 INTERNATIONAL RESIDENTIAL CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE SAN ANTONIO UNIFIED DEVELOPMENT CODE	BUILDING DESCRIPTION: 2-STORY WOOD FRAME RESIDENCE RENOVATION WITH ADDITION AND NEW DETACHED GARAGE APARTMENT LEGAL JURISDICTION: SAN ANTONIO, TEXAS, BEXAR COUNTY
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AREA CALCULATIONS:

LOT SIZE - 12,500 SF	EXISTING	NEW/ADDED	TOTAL
1ST FLOOR CONDITIONED	1635 S.F.	40 S.F.	1595 S.F.
2ND FLOOR CONDITIONED	1212 S.F.	158 S.F.	1370 S.F.
1ST FLOOR DETACHED DWELLING UNCONDITIONED	0 S.F.	600 S.F.	600 S.F.
2ND FLOOR DETACHED DWELLING UNCONDITIONED	0 S.F.	600 S.F.	600 S.F.
COVERED PATIO	0 S.F.	543 S.F.	543 S.F.
BALCONY	428 S.F.	-72 S.F.	356 S.F.
TOTAL	3,275 S.F.	1,789 S.F.	5,064 S.F.

PROJECT TEAM

OWNER:	CELE & JAROD OLIVER 119 ADAMS ST. SAN ANTONIO, TX 78210
ARCHITECT:	CLAYTON & LITTLE ARCHITECTS 429 N. SAINT MARY'S ST. SAN ANTONIO, TEXAS 78205
CONTACT:	MARC TOPPEL, AIA PHONE: (210) 446-7556 EXT. 302 EMAIL: MARC@CLAYTONANDLITTLE.COM
STRUCTURAL ENGINEER:	A-1 ENGINEERING 1006 VANCE JACKSON SAN ANTONIO, TEXAS 78201
CONTACT:	KIRK HALL, P.E. PHONE: (210) 591-8829 EMAIL: KIRK@A-1ENGINEERING.COM
CONTRACTOR:	EDWARD DIAZ CONSTRUCTION, LLC 23230 WINTER OAKS SAN ANTONIO, TEXAS 78260
CONTACT:	ED DIAZ PHONE: (512) 627-9767 EMAIL: EDIAZCONSTRUCTION@YAHOO.COM

PROJECT ZONING DATA

ZONING:	RM-4 HS
FUTURE LAND USE:	RM-4 HS
PROPERTY ID:	110419
GEOGRAPHIC ID:	00931-001-0170
LEGAL DESCRIPTION:	NCB 931 BLK LOT 17 AND 18
DATE BUILT:	1903
HISTORIC:	KING WILLIAM HISTORIC DISTRICT
NEIGHBORHOOD:	ACEQUIA MADRE NAT/LOC HIST (SA)
OVERLAY DISTRICT:	H HS
FLOODPLAIN:	N/A
WATERSHED:	UPPER SAR
EASEMENTS:	N/A
EXPIRED PERMITS:	YES
TREES:	FRONT: 10', SIDE: 5', REAR: 10'
MINIMUM SETBACKS:	35'
MAX BLDG HEIGHT:	12,500 SF / 2870 ACRES
LOT SIZE:	
TAKEN RON SURVEY PERFORMED BY GE REAVES ENGINEERING, INC. ON JANUARY 19, 2017.	

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D1.2 DEMOLITION PLAN - ROOF	S2.2 SAW CUT PLAN AND DECK FLOOR FRAMING PLAN
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GENERAL NOTES

1. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES, AND TO INCLUDE ALL REQUIREMENTS OF OTHER AGENCIES HAVING JURISDICTION.
3. EXAMINATION OF THE SITE AND PORTIONS THEREOF THAT AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS AND SATISFY HIM/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. CONTRACTOR SHALL AT SUCH TIME ASCERTAIN AND VERIFY THE LOCATIONS OF EXISTING STRUCTURES.
4. THE CONTRACT DOCUMENTS DESCRIBE DESIGN INTENT, AND ARE NOT INTENDED TO BE ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS TO PROVIDE COMPLETE OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH COORDINATION OF TRADES. ALL CLAIMS FOR ADDITIONAL WORK WILL NOT BE AWARDED FOR ANY AND ALL WORK RELATED TO SUCH COORDINATION.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS AT THE SITE, CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY AND ALL WORK IN QUESTION.
7. ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUD OR CASEWORK UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS 'CLR' MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECTS APPROVAL UNLESS NOTED AS '+/-'. VERIFY DIMENSIONS MARKED 'V.I.F.' PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
8. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
9. 'ALIGN' SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
10. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
11. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT A LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
12. CONTRACTOR SHALL VERIFY LAYOUT OF PARTITIONS, DOORS, ELECTRICAL OUTLETS, DATA AND TELEPHONE OUTLETS, LIGHT FIXTURES, AND SWITCHES WITH ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY MECHANICAL, TELEPHONE, DATA, ELECTRICAL LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE BUT NOT LIMITED TO ALL PIPING, DUCTWORK AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.
13. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
14. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE.
15. IN CASE OF CONFLICTS BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT PRIOR TO INSTALLATION.
16. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE INSTALLED, CONNECTED, ERECTED CLEANED, AND CONDITIONED PER THE MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17. ALL WORK NOTED AS 'BY OTHERS' OR 'N.I.C.' SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT. SUBMIT TO THE ARCHITECT AND OWNER SCHEDULE REQUIREMENTS FOR THIS 'OTHER' WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
18. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING ANY FINISHED AREAS IN OR OUTSIDE THE JOB SITE. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
19. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION FROM THE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

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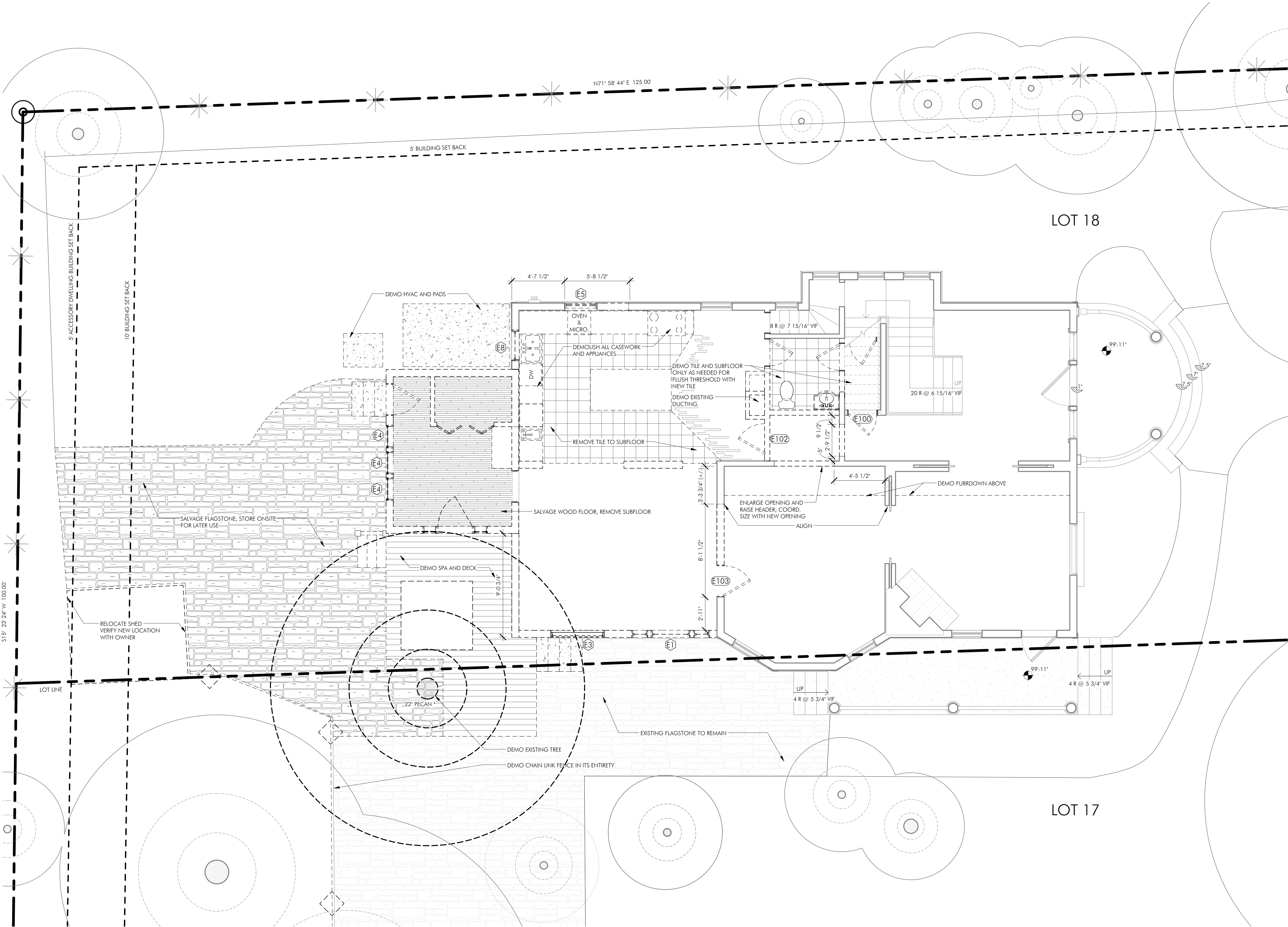
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COVER SHEET

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- DEMO GENERAL NOTES
1. ALL DOORS, WINDOWS AND HARDWARE TO BE SALVAGED, ARE TO BE STORED ON SITE AND PROTECTED FOR USE DURING REMODEL.
 2. SALVAGE ALL EXTERIOR FLAGSTONE; TO BE STORED AND REUSED ONSITE.
 3. SALVAGE ALL EXTERIOR SIDING TO BE USED TO PATCH/REPAIR EXISTING STRUCTURE AS NEEDED.
 4. HVAC/DUCTING TO BE RELOCATED FROM CURRENT LOCATION IN CEILING TO FLOOR ON LEVEL 1. AIR LEVEL 2 HVAC/DUCTING TO BE SUPPLIED FROM CEILING. SPACE WILL NEED TO BE PREPARED UNDER HOUSE AND IN ATTIC.
 5. WINDOWS AND DOORS TAGGED 'E' ARE EXISTING TO BE REUSED.
 6. ALL SALVAGED ITEMS NOT REUSED DURING REMODEL ARE TO BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO DISPOSAL.
 7. ALL EXISTING COMPONENTS TO REMAIN ARE TO BE PROTECTED DURING DEMOLITION & CONSTRUCTION BY G.C. ANY DAMAGED MATERIAL IS TO BE REPAIRED, REPLACED OR REBUILT IN A MANNER ACCEPTABLE TO THE OWNER & ARCHITECT.
 8. THE G.C. IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION OF THE BUILDING SYSTEMS AND PATCHING OR REPAIR OF EXISTING BUILDING FINISHES/SITE FEATURES AFFECTED BY NEW CONSTRUCTION.
 9. PATCH, REPAIR & PREPARE ALL SURFACES AS REQ'D TO ACCOMMODATE FINISHES.

- DEMO LEGEND
- EXISTING WALLS TO REMAIN
 - WALLS TO BE DEMOLISHED UNLESS OTHERWISE NOTED
 - CONCRETE
 - FLAGSTONE
 - WOOD FLOOR
 - WOOD DECK
 - TILE
 - CARPET

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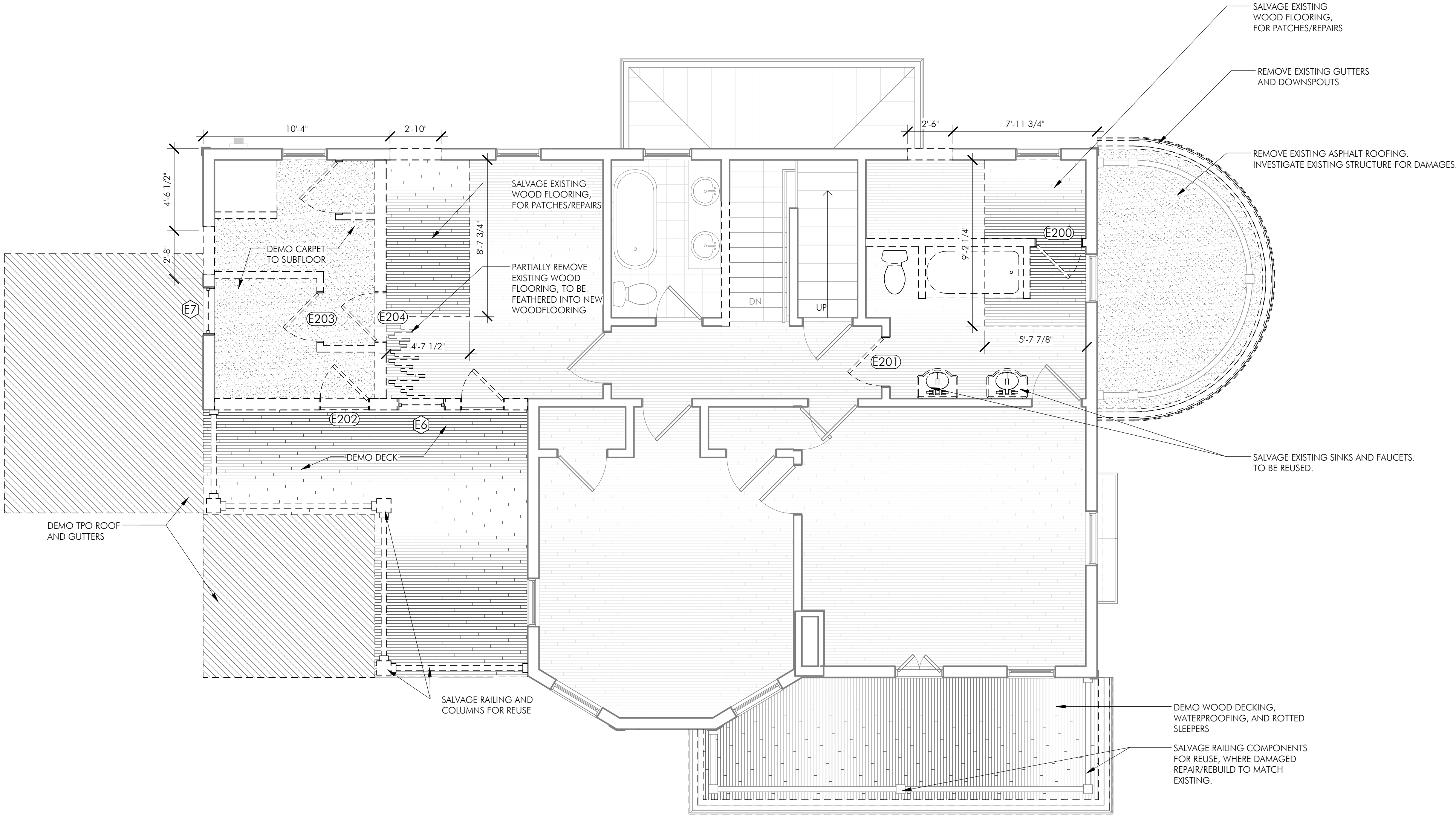
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DEMOLITION PLAN - FIRST FLOOR

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DEMO GENERAL NOTES

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DEMO LEGEND

	EXISTING WALLS TO REMAIN
	WALLS TO BE DEMOLISHED UNLESS OTHERWISE NOTED
	CONCRETE
	FLAGSTONE
	WOOD FLOOR
	WOOD DECK
	TILE
	CARPET

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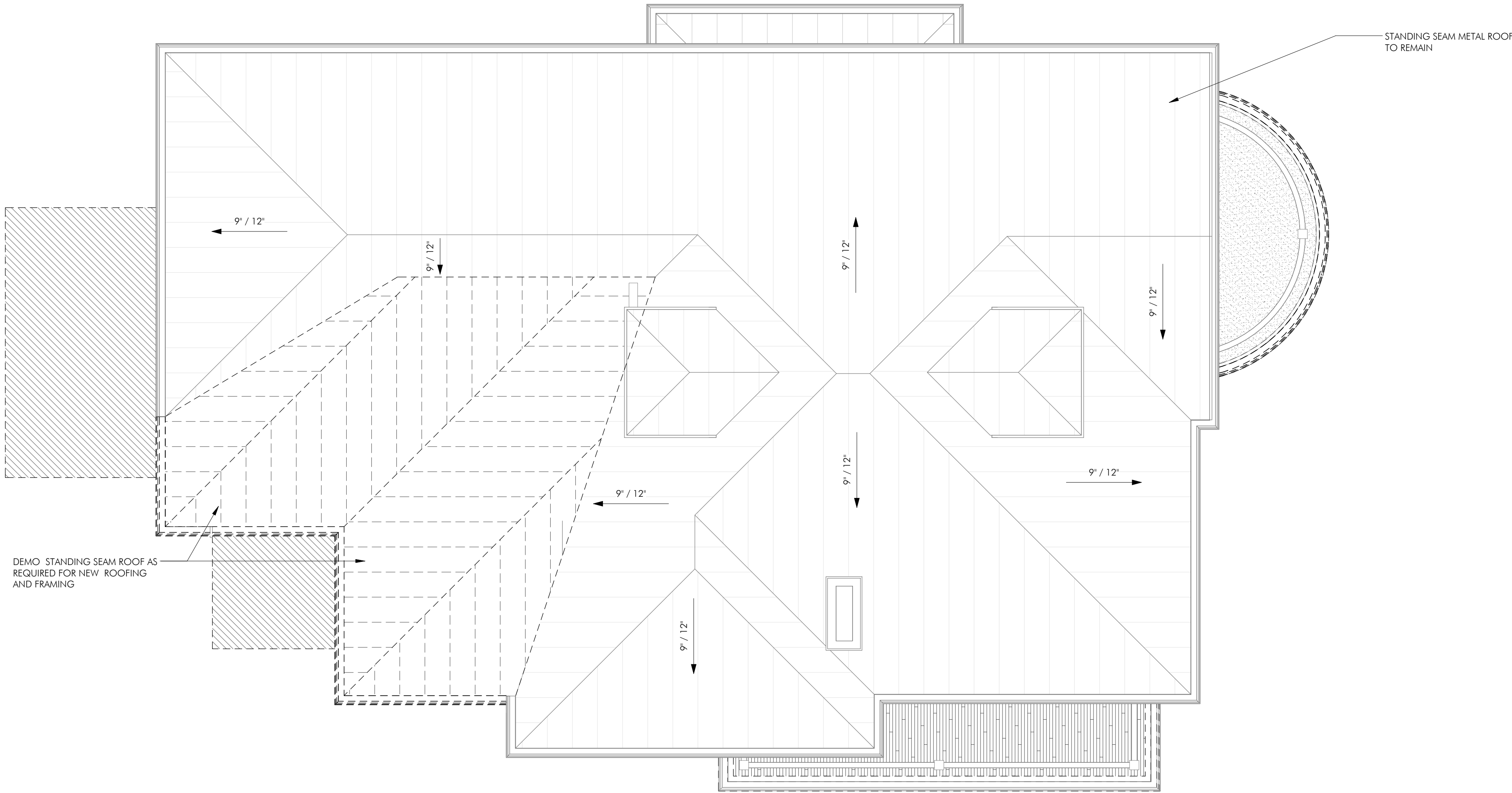
DEMOLITION PLAN - SECOND FLOOR

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1 DEMOLITION PLAN - SECOND FLOOR
1/4" = 1'-0"

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TRUE
NORTH



PROJECT
NORTH

1 DEMOLITION PLAN - ROOF

1/4" = 1'-0"

DEMO GENERAL NOTES

1. ALL DOORS, WINDOWS AND HARDWARE TO BE SALVAGED, ARE TO BE STORED ON SITE AND PROTECTED FOR USE DURING REMODEL.
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DEMO LEGEND

- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED UNLESS OTHERWISE NOTED
- CONCRETE
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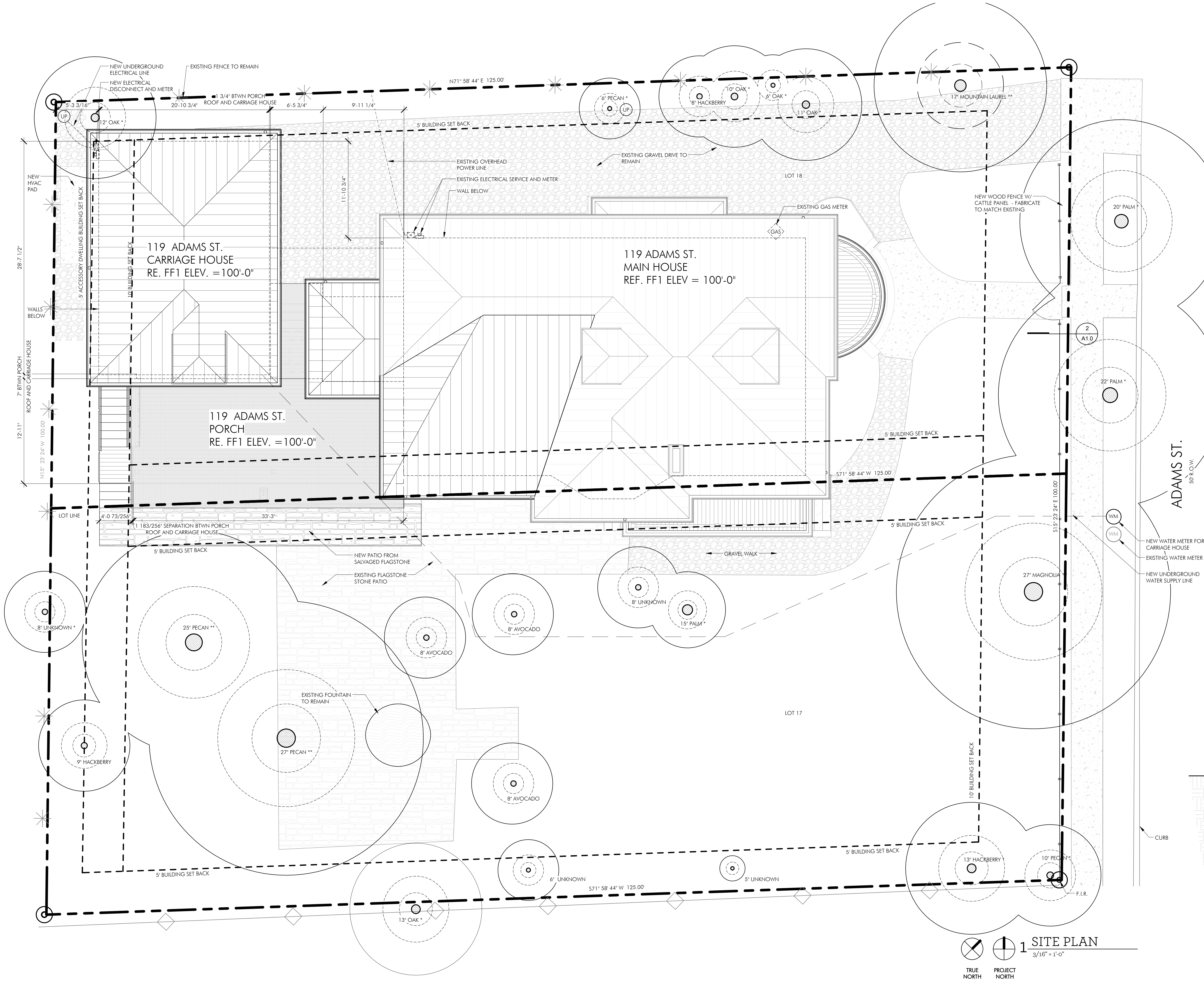
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DEMOLITION PLAN - ROOF

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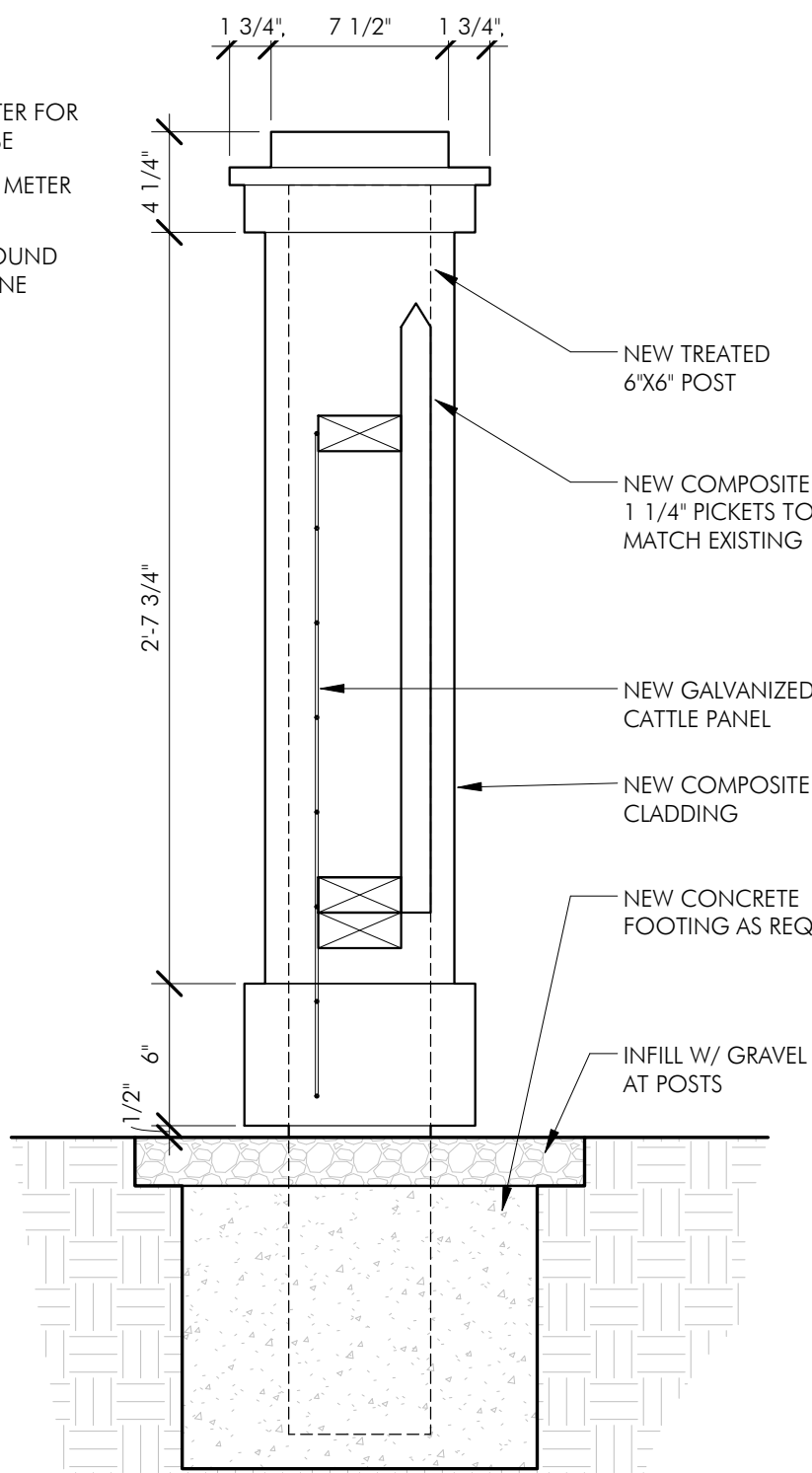


SITE GENERAL NOTES

1. FOR TREE PROTECTION REQUIREMENTS; RE: SPECS.
2. PROVIDE A MINIMUM OF THREE HOSE BIBS; VERIFY LOCATIONS WITH OWNER AND ARCHITECT.

SITE LEGEND

- WM WATER METER
- UP UTILITY POLE
- GAS GAS METER
- CO CLEANOUT
- S SIGN
- EXISTING TREE
- ** SIGNIFICANT TREES
- 1/4 CRZ
- 1/2 CRZ
- FULL CRZ
- GRAVEL
- CHAIN LINK FENCE
- HOG PANEL FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC
- LOT LINE
- SETBACK
- SILT FENCE

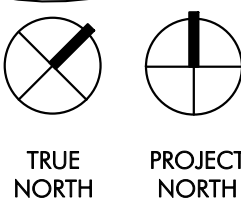


2 FENCE DETAIL

1 1/2" = 1'-0"

1 SITE PLAN

3/16" = 1'-0"



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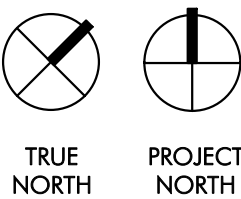
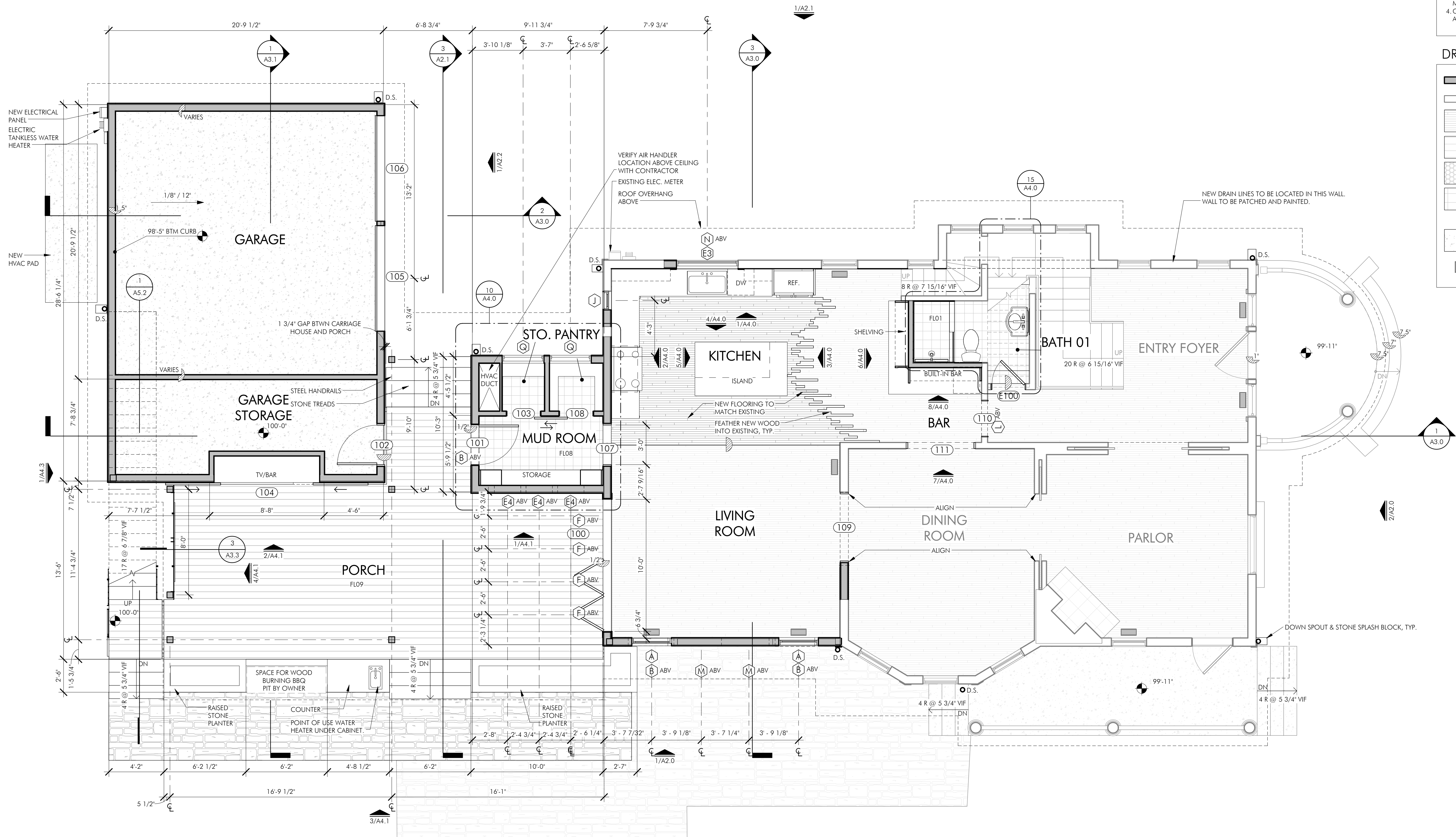
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SITE PLAN

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1 FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF STUD, UNLESS NOTED OTHERWISE, U.N.O.
2. ALL NEW INTERIOR FRAMING IS TO MATCH EXISTING, U.N.O.
3. ALL NEW EXTERIOR WALL FRAMING AT MAIN HOUSE IS TO MATCH EXISTING, U.N.O.
4. CONTRACTOR TO VERIFY DESIGN DIMENSIONS WITH THE AS-BUILT DIMENSIONS.

DRAWING LEGEND

	NEW WALLS
	EXISTING WALLS
	FL 06 WOOD FLOORING TO MATCH (INDICATED ON PLAN)
	FL 05 ENGINEERED WOOD FLOORING (INDICATED ON PLAN)
	FL 04 TILE
	FL 07 TILE
	FL 01 TILE
	FL 02 TILE
	FL 03 TILE
	FL 08 TILE (INDICATED ON PLAN)
	CONCRETE
	FLOOR REGISTER

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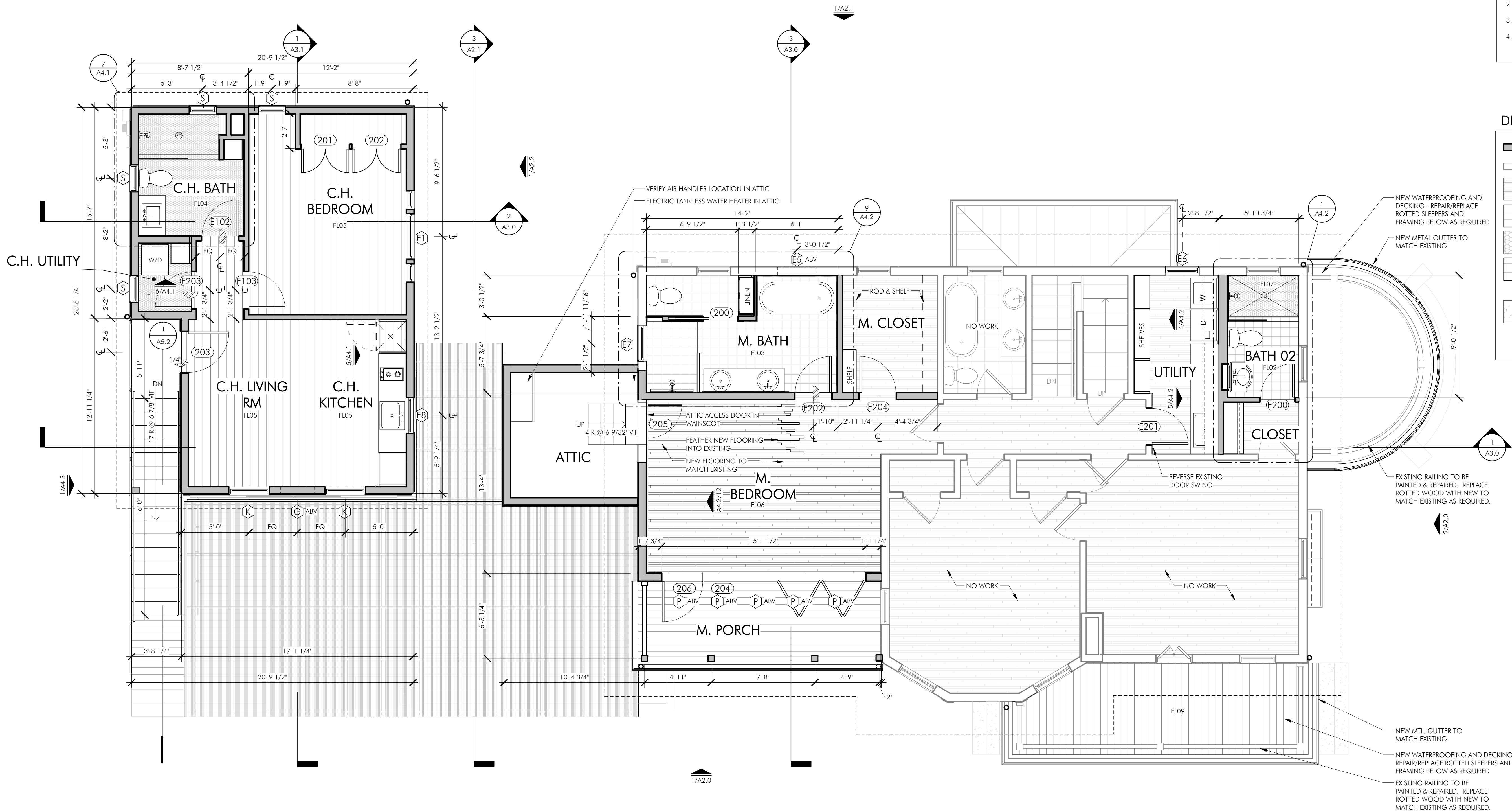
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FIRST FLOOR PLAN

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1 SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TO THE FACE OF STUD, UNLESS NOTED OTHERWISE, U.N.O.
2. ALL NEW INTERIOR FRAMING IS TO MATCH EXISTING, U.N.O.
3. ALL NEW EXTERIOR WALL FRAMING AT MAIN HOUSE IS TO MATCH EXISTING, U.N.O.
4. CONTRACTOR TO VERIFY DESIGN DIMENSIONS WITH THE AS-BUILT DIMENSIONS.

DRAWING LEGEND

[Symbol]	NEW WALLS
[Symbol]	EXISTING WALLS
[Symbol]	FL 06 WOOD FLOORING TO MATCH (INDICATED ON PLAN)
[Symbol]	FL 05 ENGINEERED WOOD FLOORING (INDICATED ON PLAN)
[Symbol]	FL 04 TILE (INDICATED ON PLAN)
[Symbol]	FL 03 TILE (INDICATED ON PLAN)
[Symbol]	FL 02 TILE (INDICATED ON PLAN)
[Symbol]	FL 01 TILE (INDICATED ON PLAN)
[Symbol]	CONCRETE
[Symbol]	FLOOR REGISTER

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REGISTERED ARCHITECT
PAUL CLAYTON
9160
STATE OF TEXAS
11.10.2017

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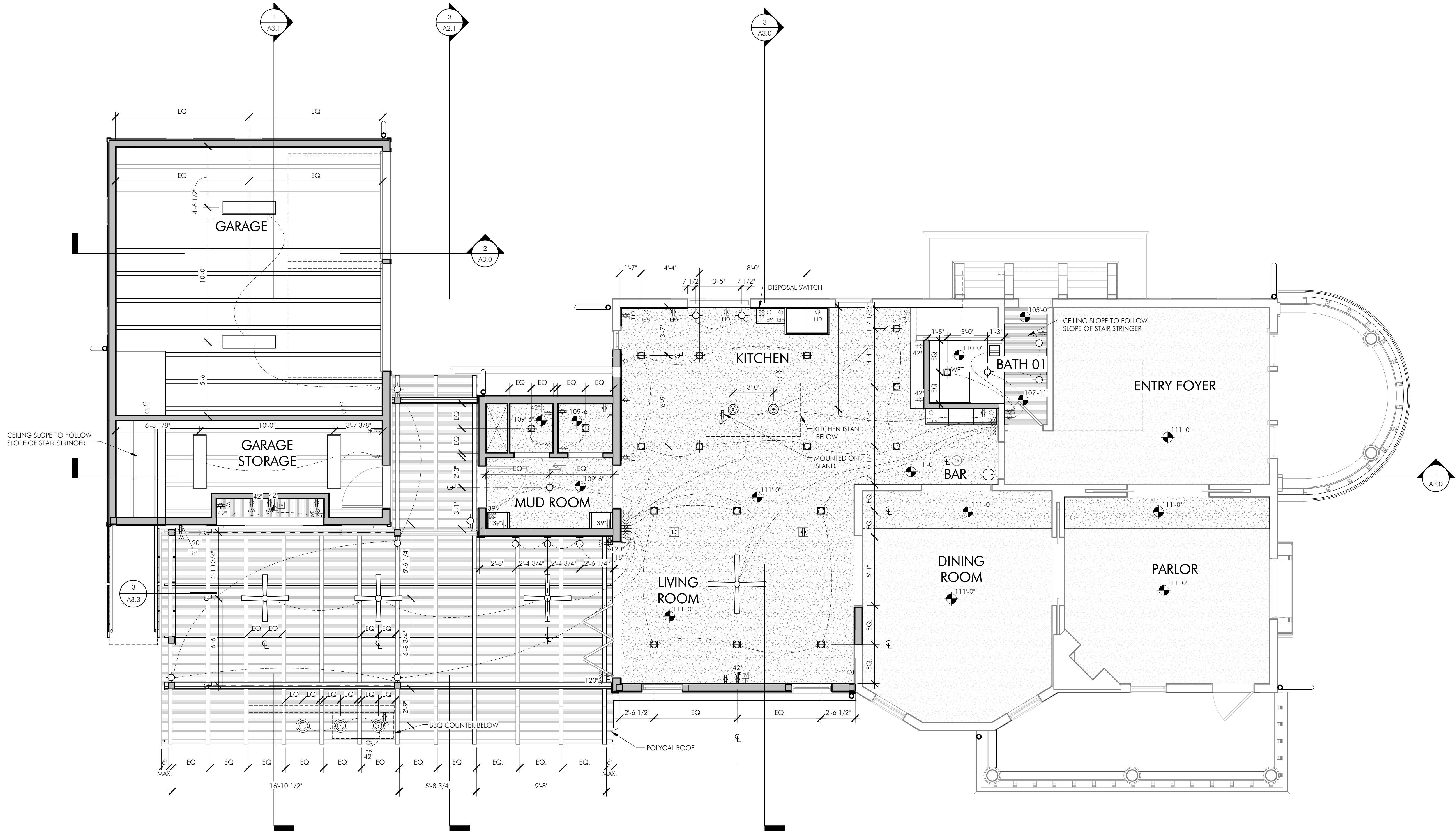
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SECOND FLOOR PLAN

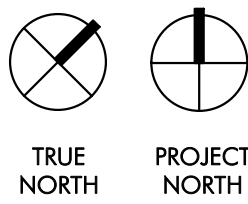
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SWITCH LEGEND

<div>BAR</div> <div><div>1</div><div>2</div><div>3</div><div>4</div><div>5</div><div>6</div></div>	<div>1. KITCHEN PENDANTS</div> <div>2. KITCHEN RECESSED LIGHTS</div> <div>3. BAR UNDER CABINET LIGHT</div> <div>4. BAR CHANDELIER</div> <div>5. LIVING ROOM RECESSED LIGHTS</div> <div>6. LIVING ROOM CEILING FAN</div>	<div>KITCHEN @ STAIR</div> <div><div>1</div><div>2</div></div>	<div>1. KITCHEN PENDANTS</div> <div>2. KITCHEN RECESSED LIGHTS</div>
<div>MUD ROOM</div> <div><div>1</div><div>2</div></div>	<div>1. CEILING LIGHT</div> <div>2. OUTDOOR SCONCE</div>	<div>KITCHEN @ SINK</div> <div><div>1</div><div>2</div></div>	<div>1. KITCHEN WALL SCONCES</div> <div>2. KITCHEN DISPOSAL</div>
<div>LIVING ROOM</div> <div><div>1</div><div>2</div><div>3</div><div>4</div><div>5</div><div>6</div><div>7</div><div>8</div><div>9</div></div>	<div>1. PORCH WALL SCONCES</div> <div>2. PORCH FANS</div> <div>3. PORCH 120" POWER OUTLET</div> <div>4. LIVING ROOM RECESSED LIGHTS</div> <div>5. LIVING ROOM FAN</div> <div>6. PORCH COLUMN SCONCES</div> <div>7. KITCHEN RECESSED LIGHTS</div> <div>8. KITCHEN PENDANTS</div> <div>9. MUDROOM CEILING LIGHT</div>	<div>BATH 01</div> <div><div>1</div><div>2</div><div>3</div></div>	<div>1. RECESSED LIGHT & SCONCES</div> <div>2. SHOWER LIGHT</div> <div>3. VENT</div>



1 FIRST FLOOR CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL SWITCHES TO BE 42" A.F.F. (EXCEPT AT COUNTERTOPS) U.N.O. HEIGHTS INDICATED ARE TO CENTER OF J-BOX.
2. ALL OUTLETS TO BE CENTERED ON BASEBOARD (EXCEPT AT COUNTERTOPS) U.N.O. HEIGHTS INDICATED ARE TO CENTER OF J-BOX.
3. VERIFY DECORATIVE FIXTURE LOCATIONS WITH OWNER, ARCHITECT AND INTERIOR DESIGNER IN THE FIELD.
4. EXHAUST FANS TO BE ON A TIMER, VERIFY WITH OWNER.
5. INSTALL BACKLIT SWITCHES AT THE ATTIC AND GARAGE STORAGE.
6. AT LOCATIONS MARKED "WET" PROVIDE WET LISTED/APPROVED LIGHT FIXTURE W/SHIELDED LENS.

DRAWING LEGEND

	RECESSED CAN FIXTURE
	RECESSED CAN DIRECTIONAL FIXTURE
	SURFACE MOUNTED FIXTURE
	CEILING MOUNTED FLUORESCENT LIGHT
	PENDANT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	STEP LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	UNDER CABINET LIGHTING
	EXHAUST FAN
	"H" INDICATES HEATING ELEMENT
	CEILING FAN
	SMOKE DETECTOR - INSTALL PER CODE
	SWITCH - SINGLE POLE
	SWITCH - DIMMER
	SWITCH - 3 WAY
	SWITCH - 4 WAY
	INDICATES SWITCHED OUTLET FOR TYPES LISTED BELOW
	120V DUPLEX OUTLET
	NUMBER INDICATES HEIGHT
	120V DUPLEX OUTLET - GROUND FAULT INTERRUPTER
	120V DUPLEX OUTLET - WEATHER PROOF
	120V QUAD OUTLET
	120V SWITCHED OUTLET RECESSED IN FLOOR W/ METAL COVER PLATE
	220V OUTLET, VERIFY PLUG TYPE
	TELEPHONE/DATA JACK
	CABLE TV JACK
	THERMOSTAT
	ALARM
	DOOR BELL CHIME
	DOOR BELL
	GAS VALVE
	HOSE BIB

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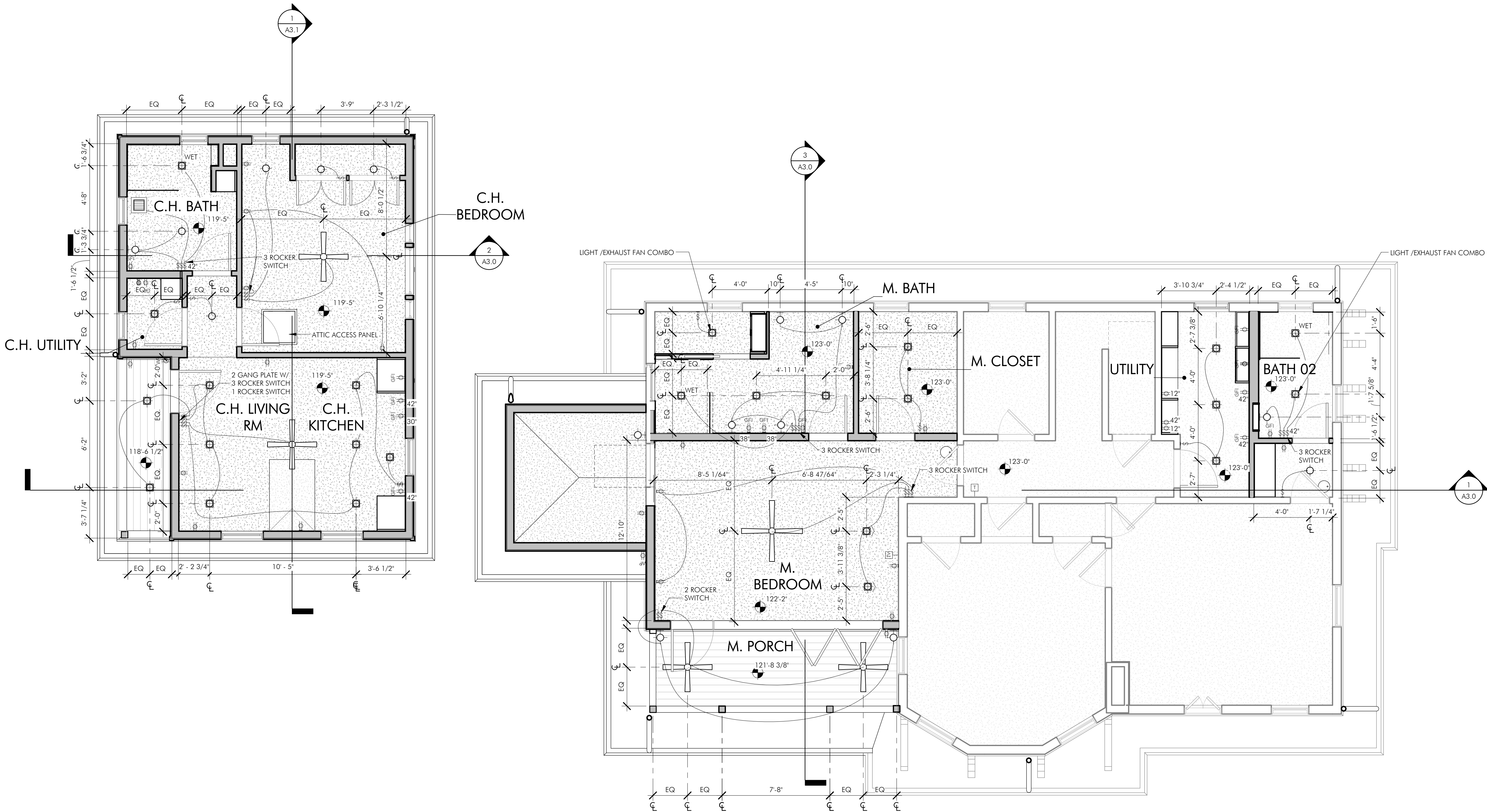
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FIRST FLOOR REFLECTED
CEILING PLAN

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SWITCH LEGEND

BATH 02 1. SCONCES 2. VENT/LIGHT 3. SHOWER LIGHT	BATH 03 1. BATH WALL SCONCES 2. RECESSED LIGHTS & VANITY SCONCES 3. SHOWER LIGHT	C.H. BEDROOM 1. POWER OUTLETS 2. CEILING FAN 3. CEILING LIGHT
M. BEDROOM 1. WALL OUTLETS 2. FAN 3. RECESSED LIGHTS	C.H. LIVING ROOM 1. LIVING ROOM RECESSED LIGHTS 2. LIVING ROOM CEILING FAN 3. KITCHEN RECESSED LIGHTS 4. OUTDOOR LIGHTS	C.H. BATH 1. VANITY SCONCE & CEILING LIGHT 2. VENT 3. SHOWER LIGHT
M. BEDROOM PORCH 1. WALL SCONCES 2. FANS	C.H. KITCHEN @ SINK 1. ABOVE SINK LIGHT 2. KITCHEN RECESSED LIGHTS	

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DRAWING LEGEND

	RECESSED CAN FIXTURE
	RECESSED CAN DIRECTIONAL FIXTURE
	SURFACE MOUNTED FIXTURE
	CEILING MOUNTED FLUORESCENT LIGHT
	PENDANT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	STEP LIGHT FIXTURE
	FLOOD LIGHT FIXTURE
	UNDER CABINET LIGHTING
	EXHAUST FAN
	"H" INDICATES HEATING ELEMENT
	CEILING FAN
	SMOKE DETECTOR - INSTALL PER CODE
	SWITCH - SINGLE POLE
	SWITCH - DIMMER
	SWITCH - 3 WAY
	SWITCH - 4 WAY
	INDICATES SWITCHED OUTLET FOR TYPES LISTED BELOW
	120V DUPLEX OUTLET
	120V DUPLEX OUTLET - GROUND FAULT INTERRUPTER
	120V DUPLEX OUTLET - WEATHER PROOF
	120V QUAD OUTLET
	120V SWITCHED OUTLET RECESSED IN FLOOR W/ METAL COVER PLATE
	220V OUTLET, VERIFY PLUG TYPE
	TELEPHONE/DATA JACK
	CABLE TV JACK
	THERMOSTAT
	ALARM
	DOOR BELL CHIME
	DOOR BELL
	GAS VALVE
	HOSE BIB

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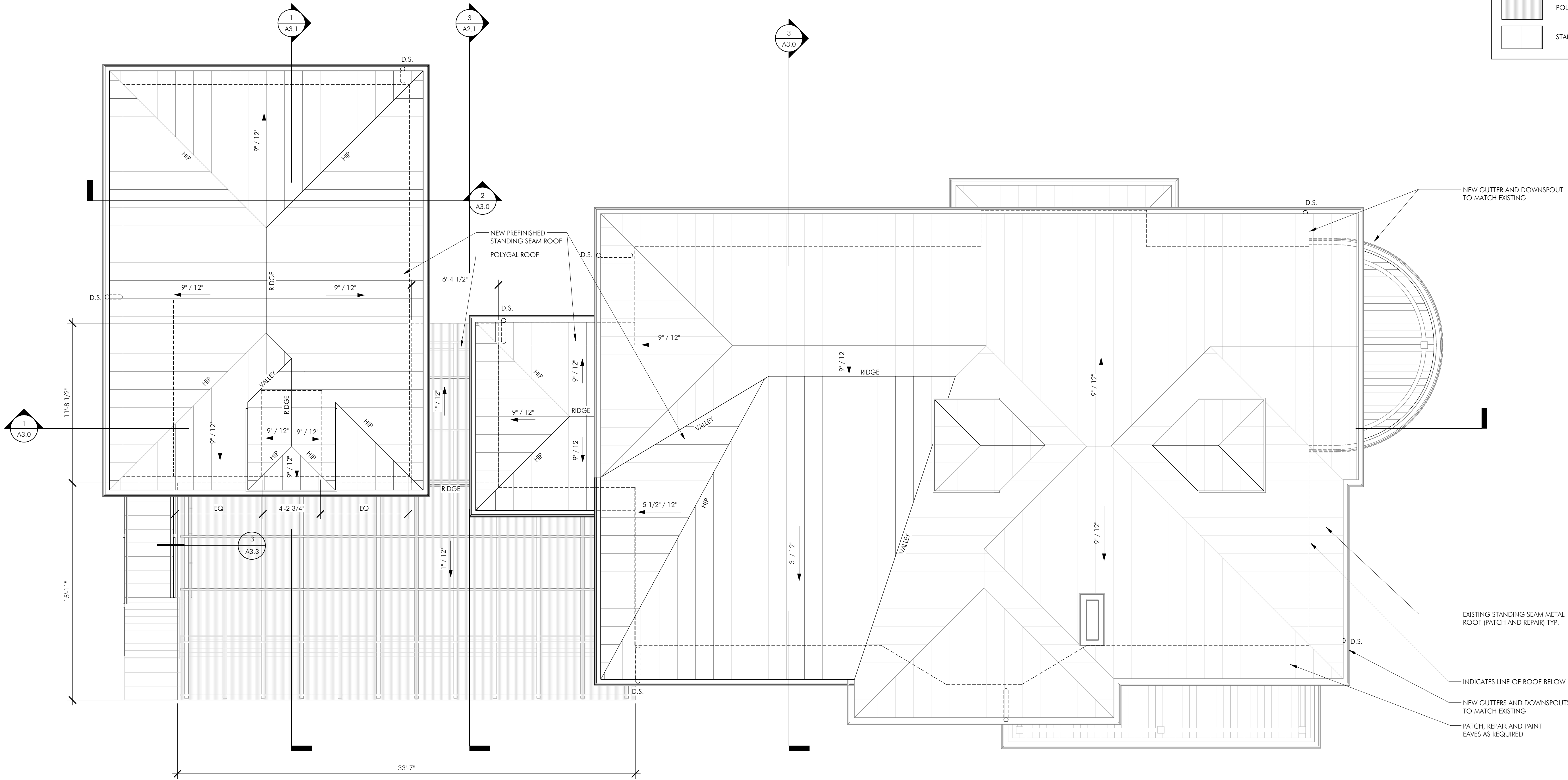
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SECOND FLOOR REFLECTED
CEILING PLAN

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1 ROOF PLAN
1/4" = 1'-0"

DRAWING LEGEND

	FL 07 COMPOSITE DECKING
	POLYGAL
	STANDING SEAM METAL

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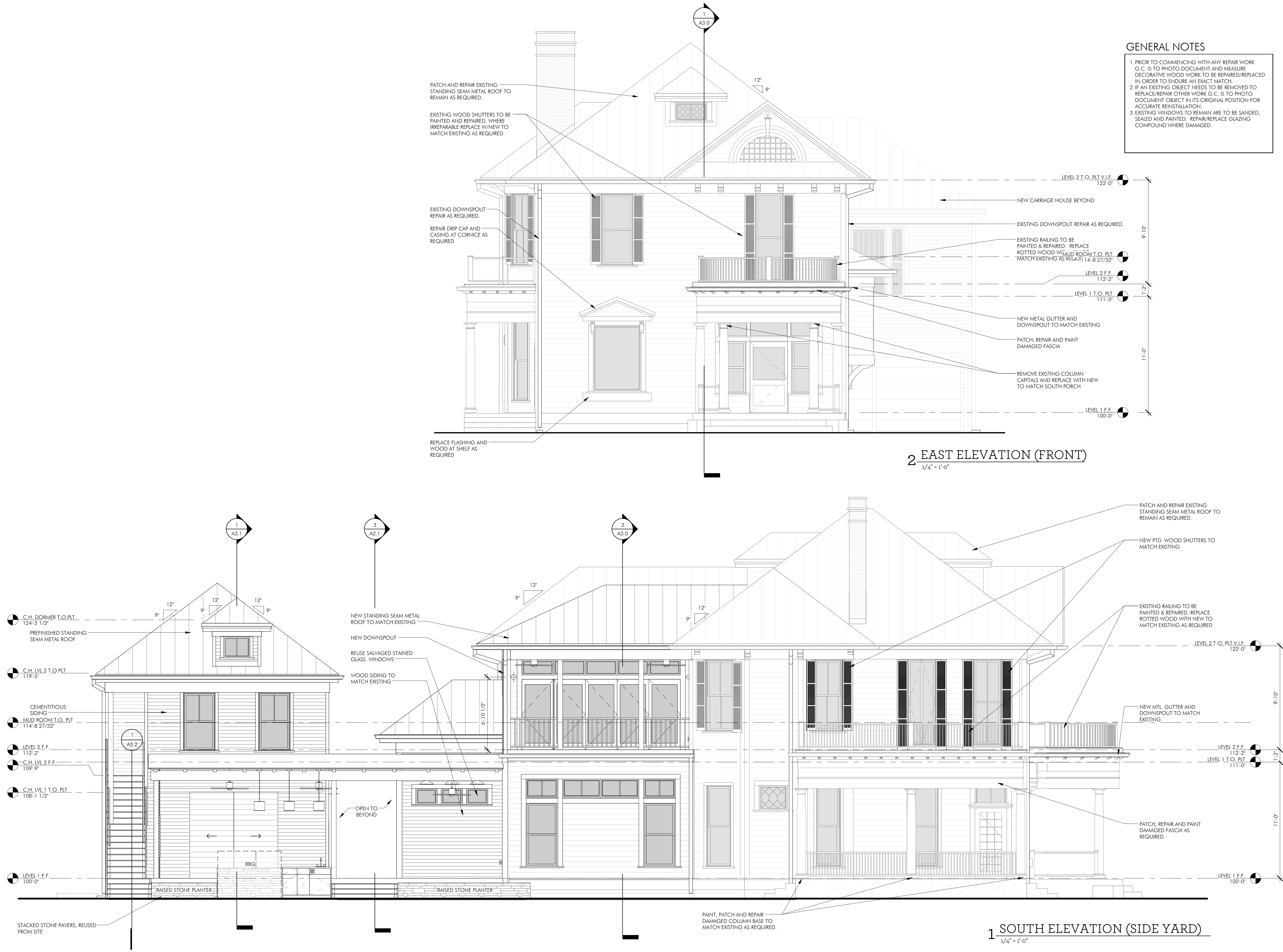
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ROOF PLAN

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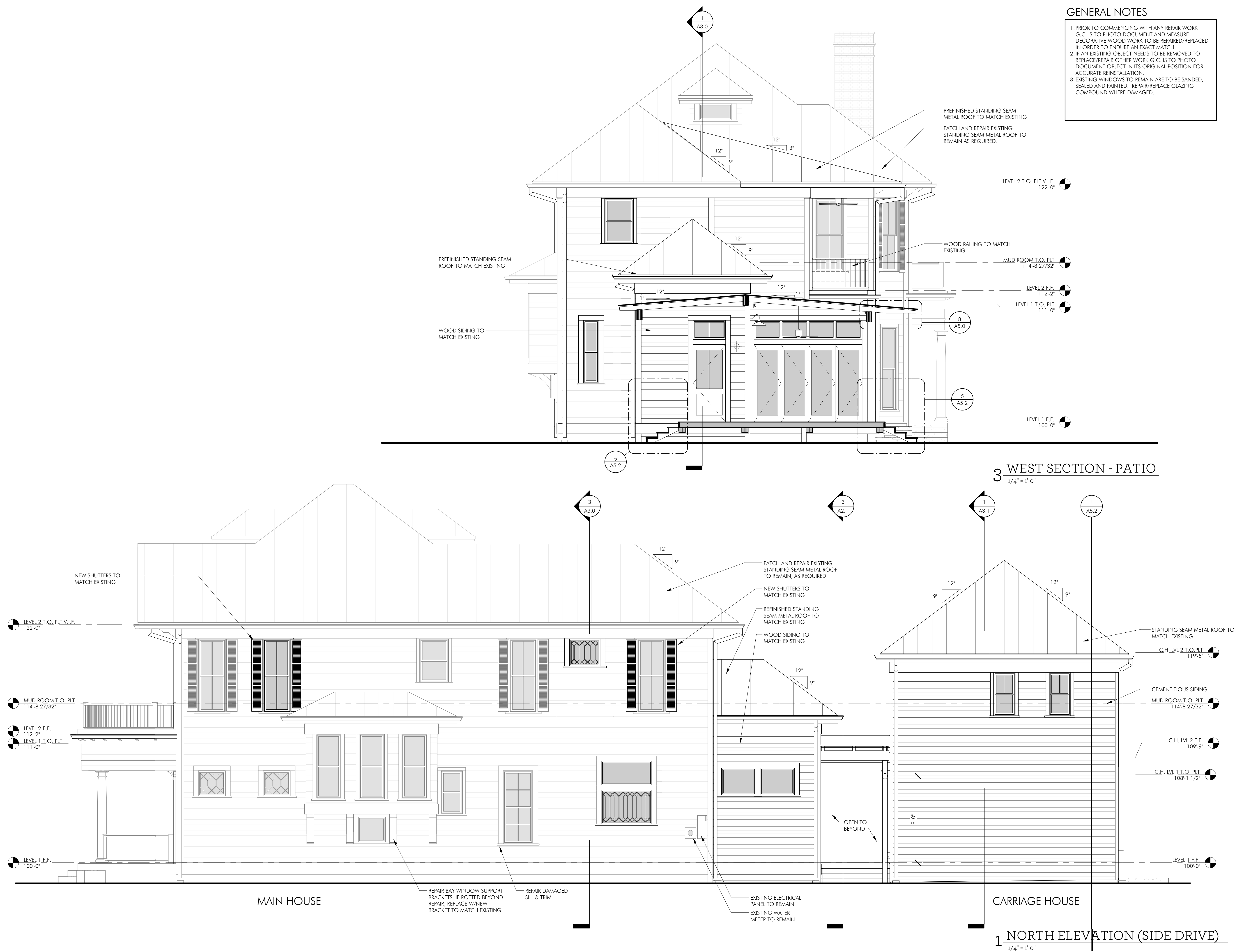
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EXTERIOR ELEVATIONS

A2.0

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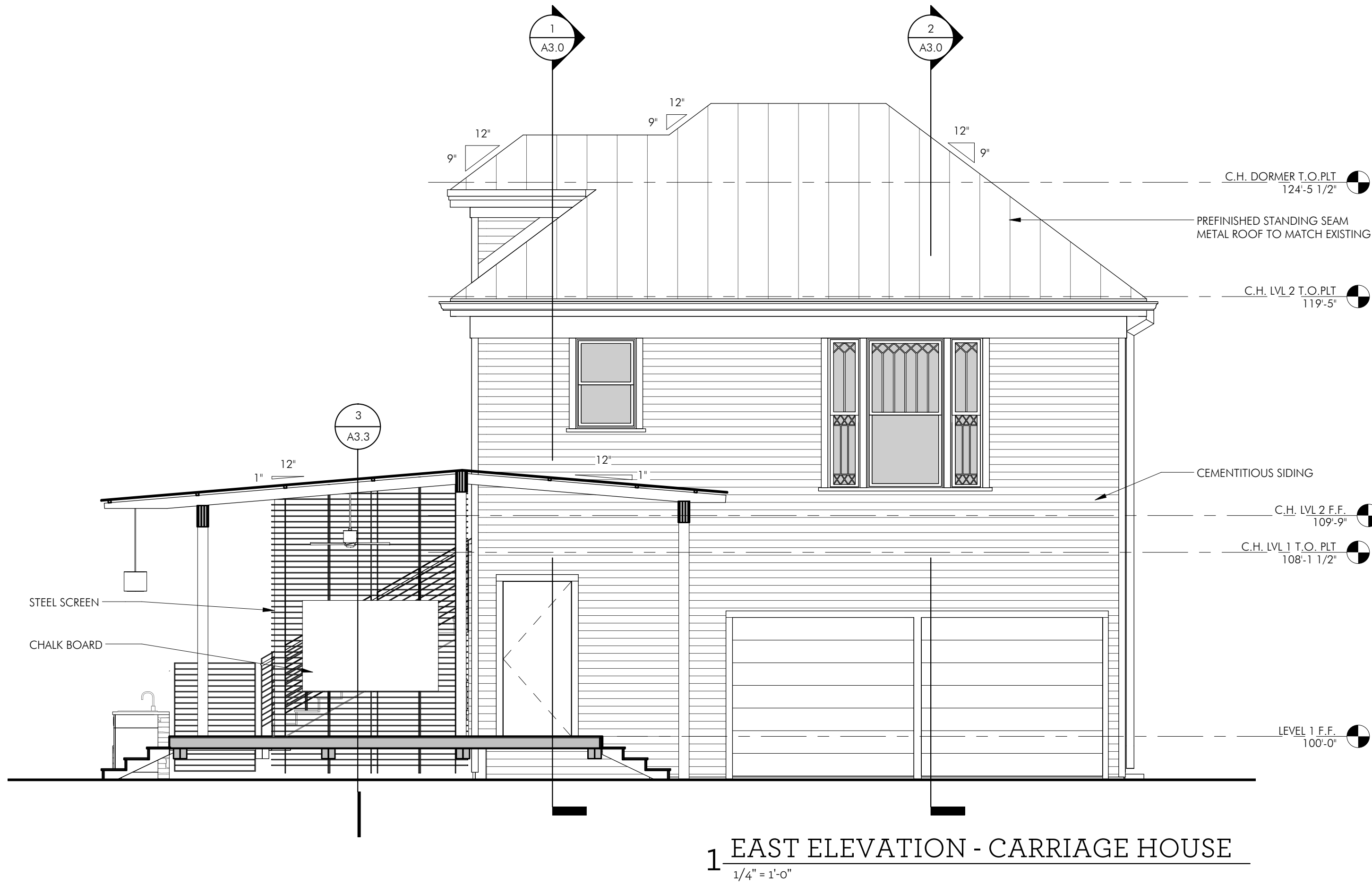
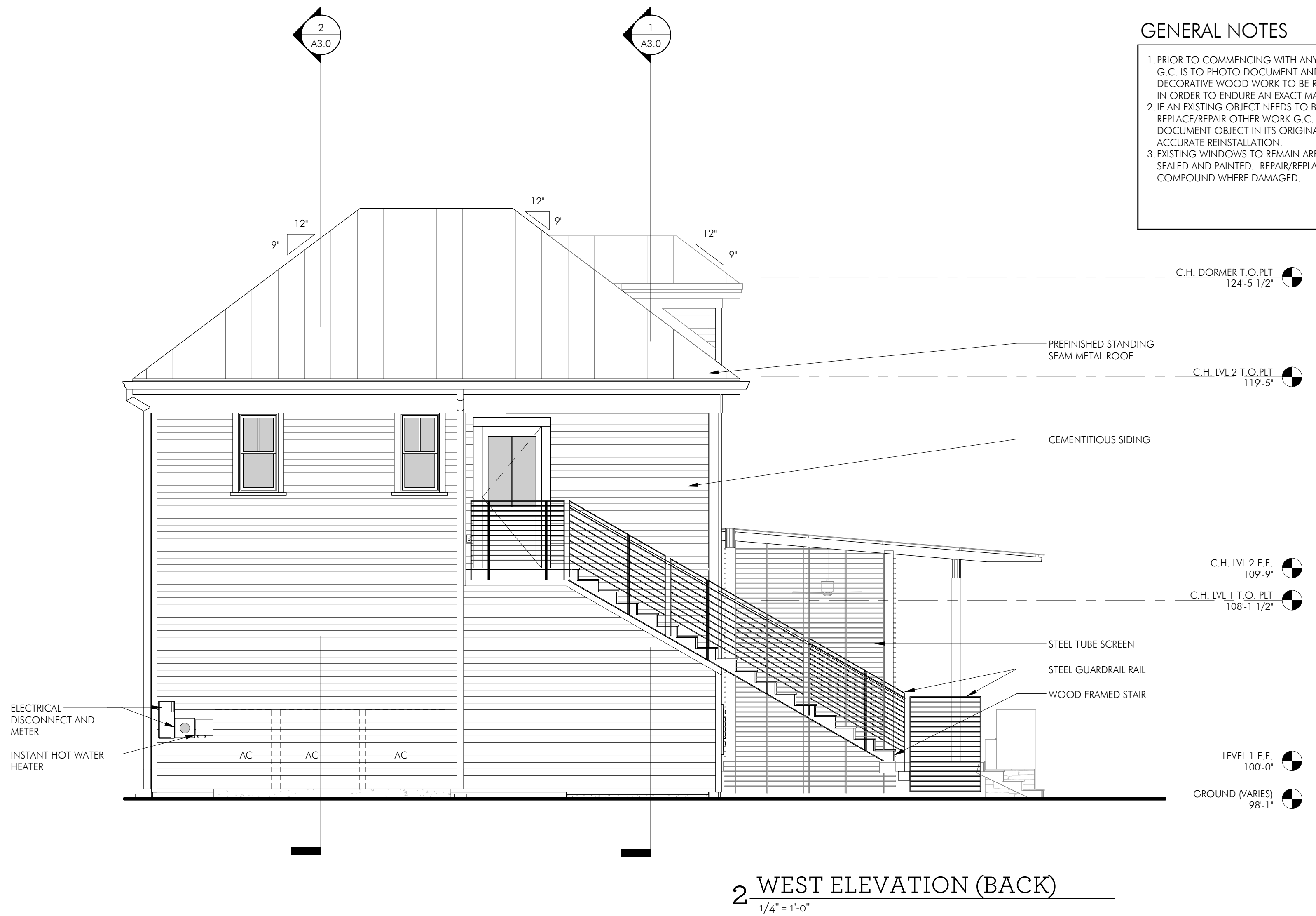
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EXTERIOR ELEVATIONS

A2.1

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GENERAL NOTES

1. PRIOR TO COMMENCING WITH ANY REPAIR WORK G.C. IS TO PHOTO DOCUMENT AND MEASURE DECORATIVE WOOD WORK TO BE REPAIRED/REPLACED IN ORDER TO ENDURE AN EXACT MATCH.
2. IF AN EXISTING OBJECT NEEDS TO BE REMOVED TO REPLACE/REPAIR OTHER WORK G.C. IS TO PHOTO DOCUMENT OBJECT IN ITS ORIGINAL POSITION FOR ACCURATE REINSTALLATION.
3. EXISTING WINDOWS TO REMAIN ARE TO BE SANDED, SEALED AND PAINTED. REPAIR/REPLACE GLAZING COMPOUND WHERE DAMAGED.

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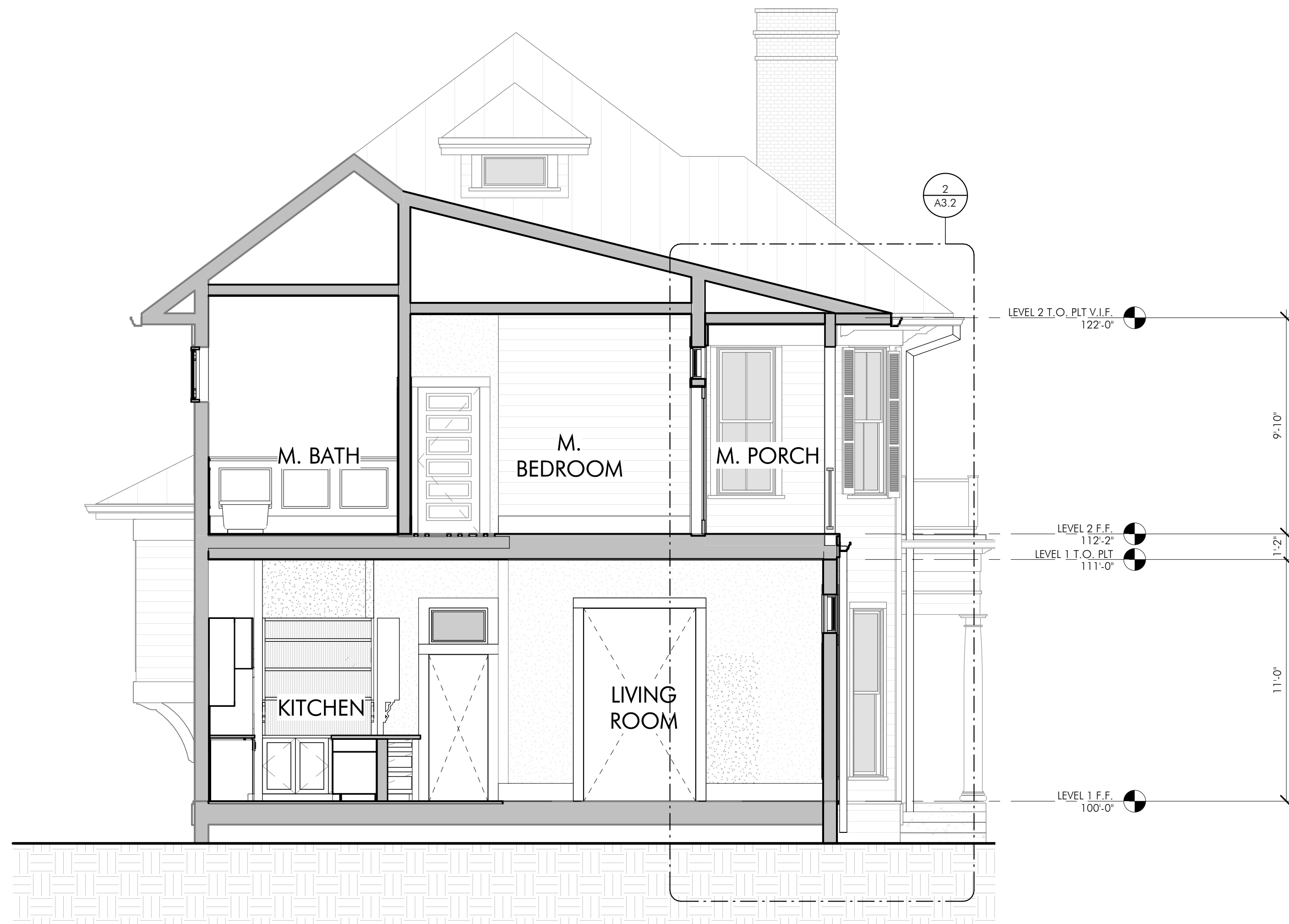
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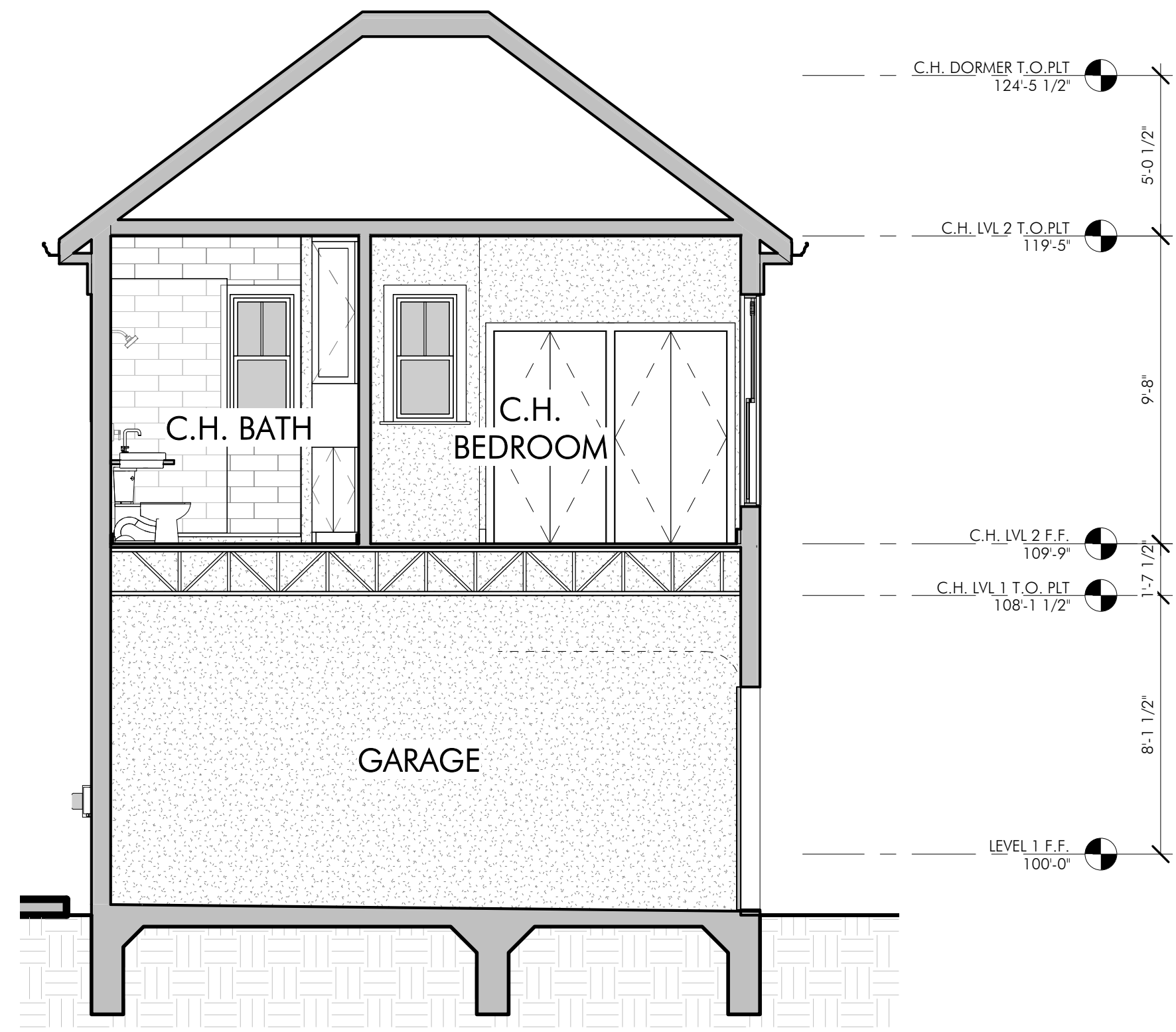
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BUILDING SECTIONS

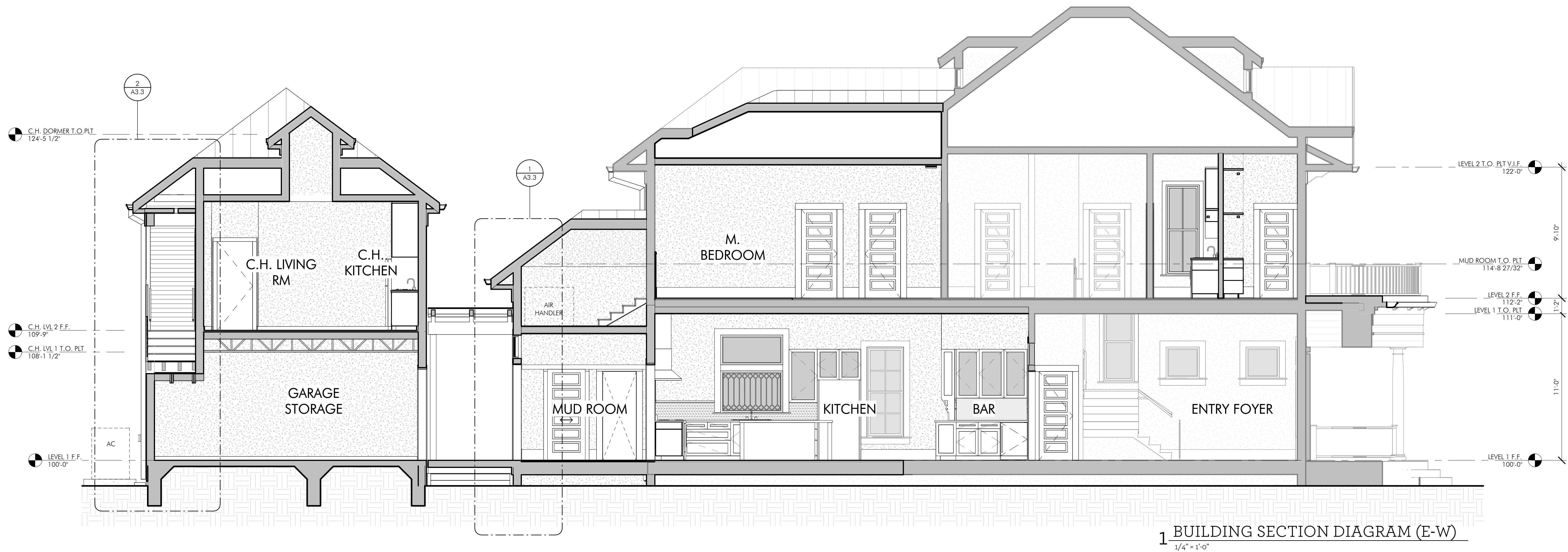
A3.0



3 BUILDING SECTION DIAGRAM (N-S)
1/4" = 1'-0"



2 BUILDING SECTION DIAGRAM CARRIAGE HOUSE (E-W)
1/4" = 1'-0"



1 BUILDING SECTION DIAGRAM (E-W)
1/4" = 1'-0"

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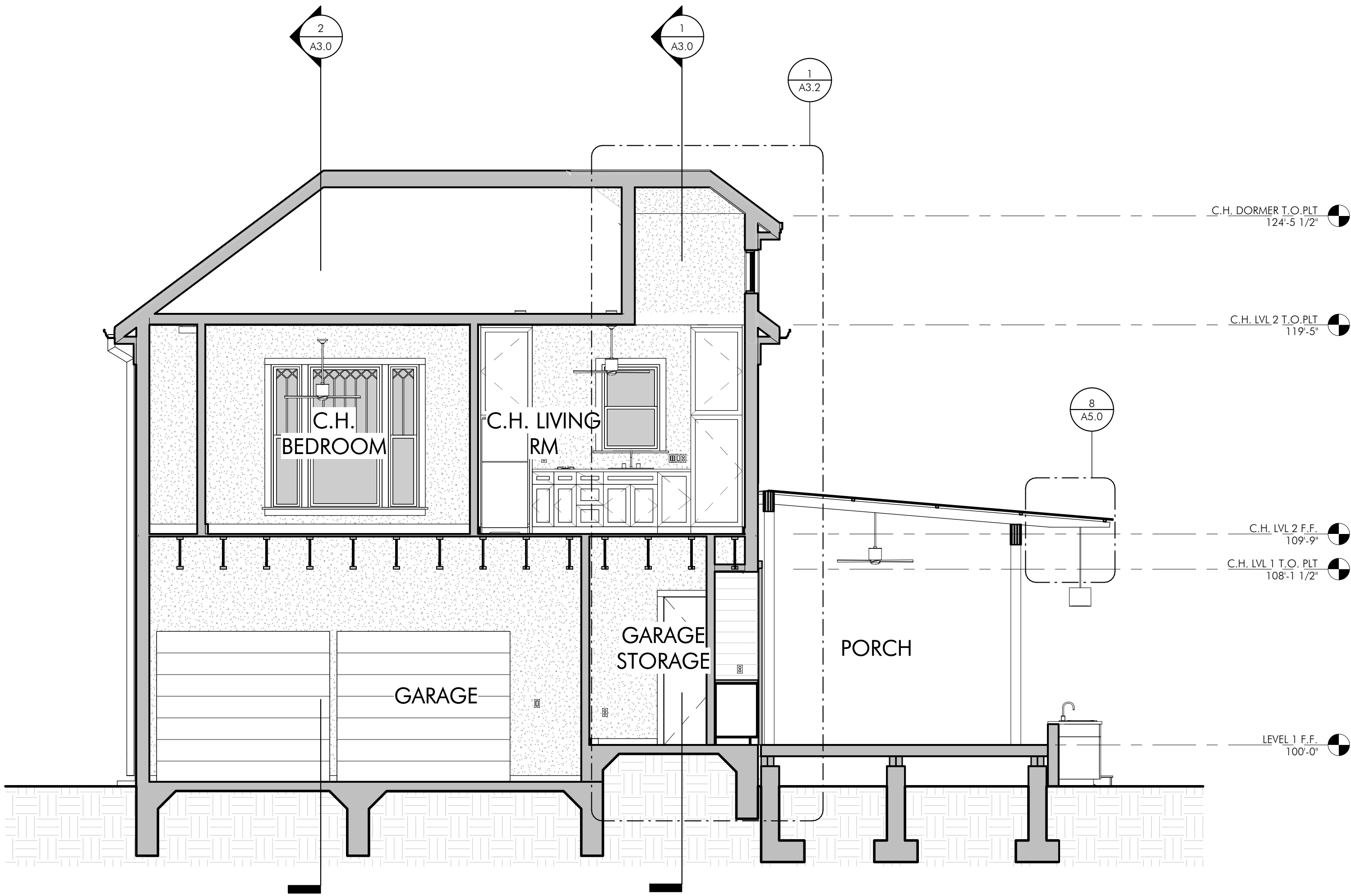
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1 BUILDING SECTION DIAGRAM CARRIAGE HOUSE (N-S)
1/4" = 1'-0"

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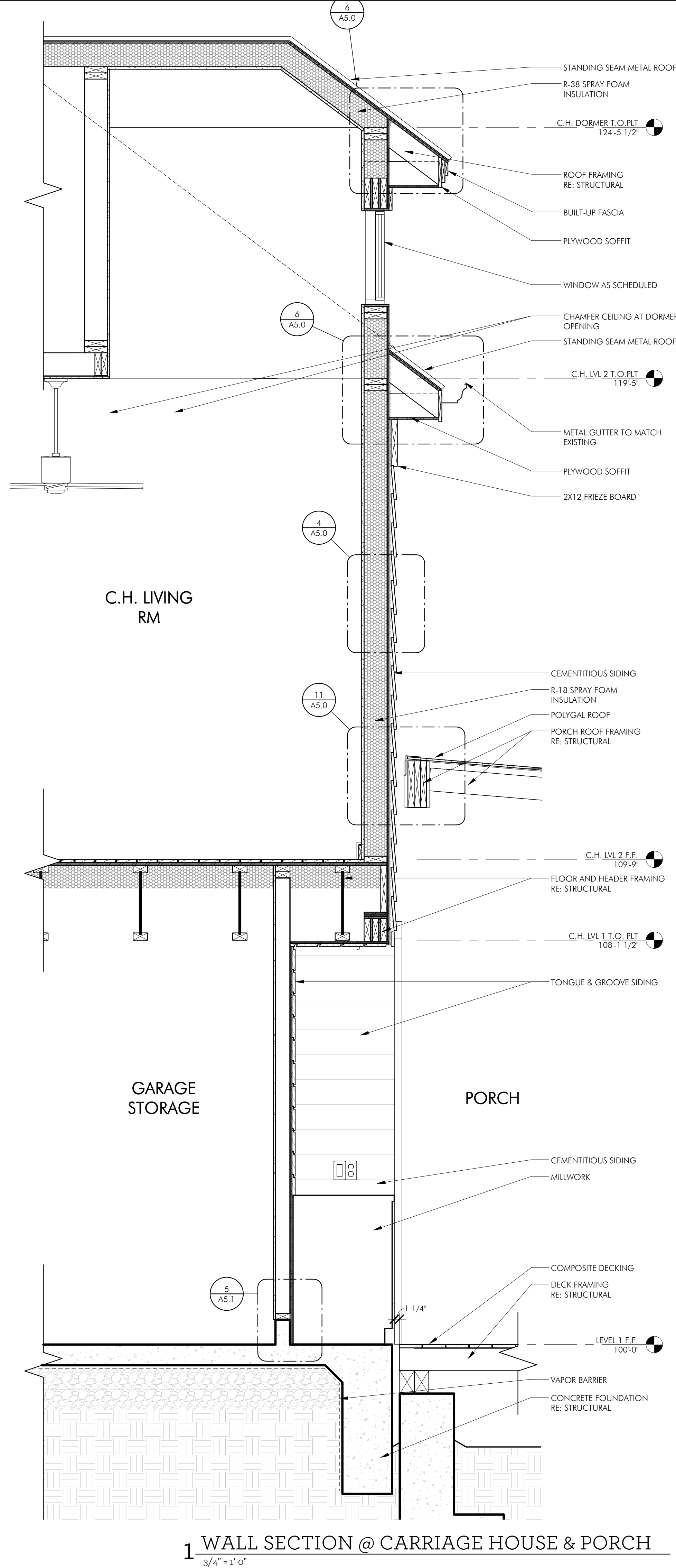
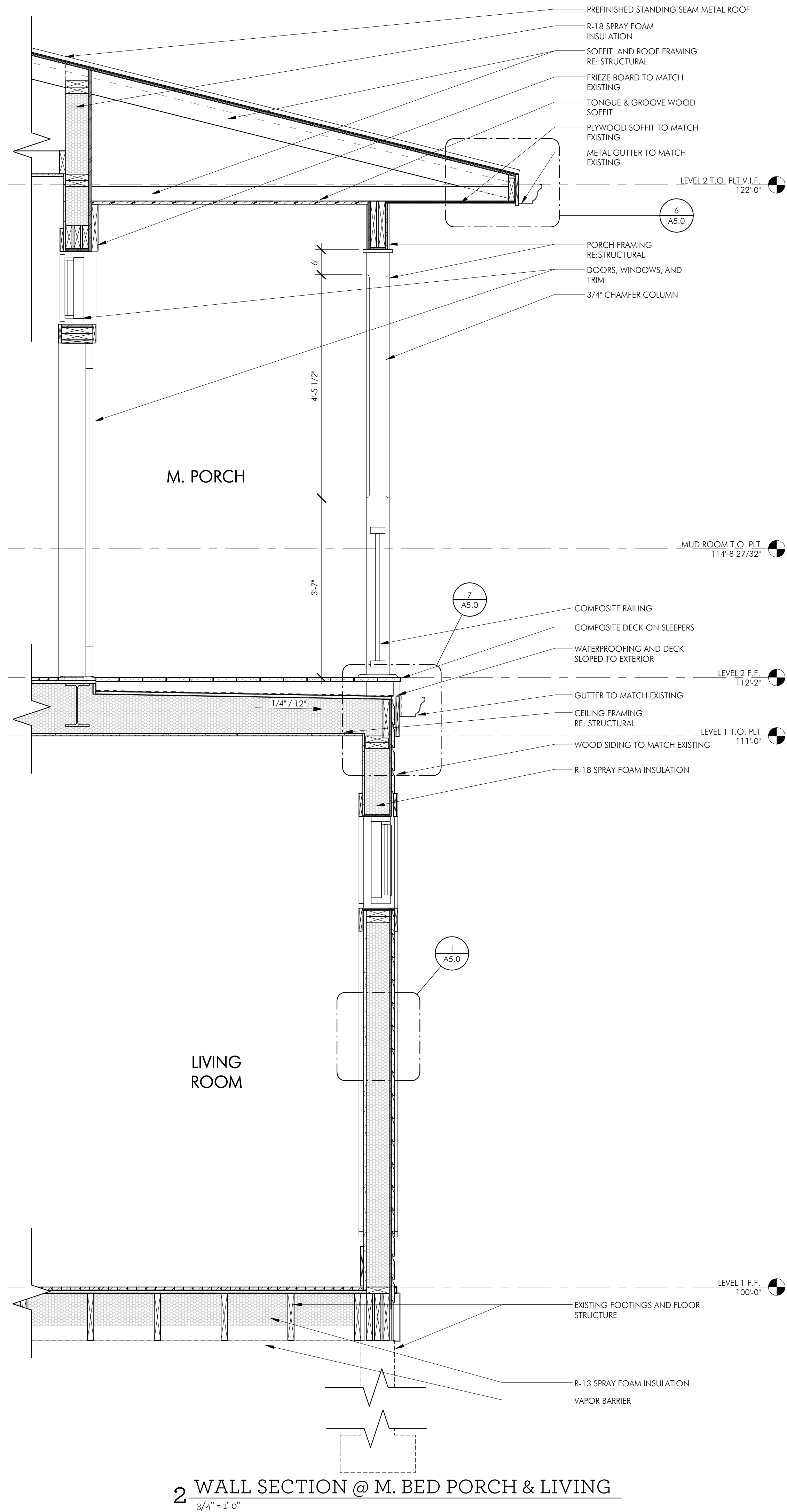
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BUILDING SECTIONS

A3.1

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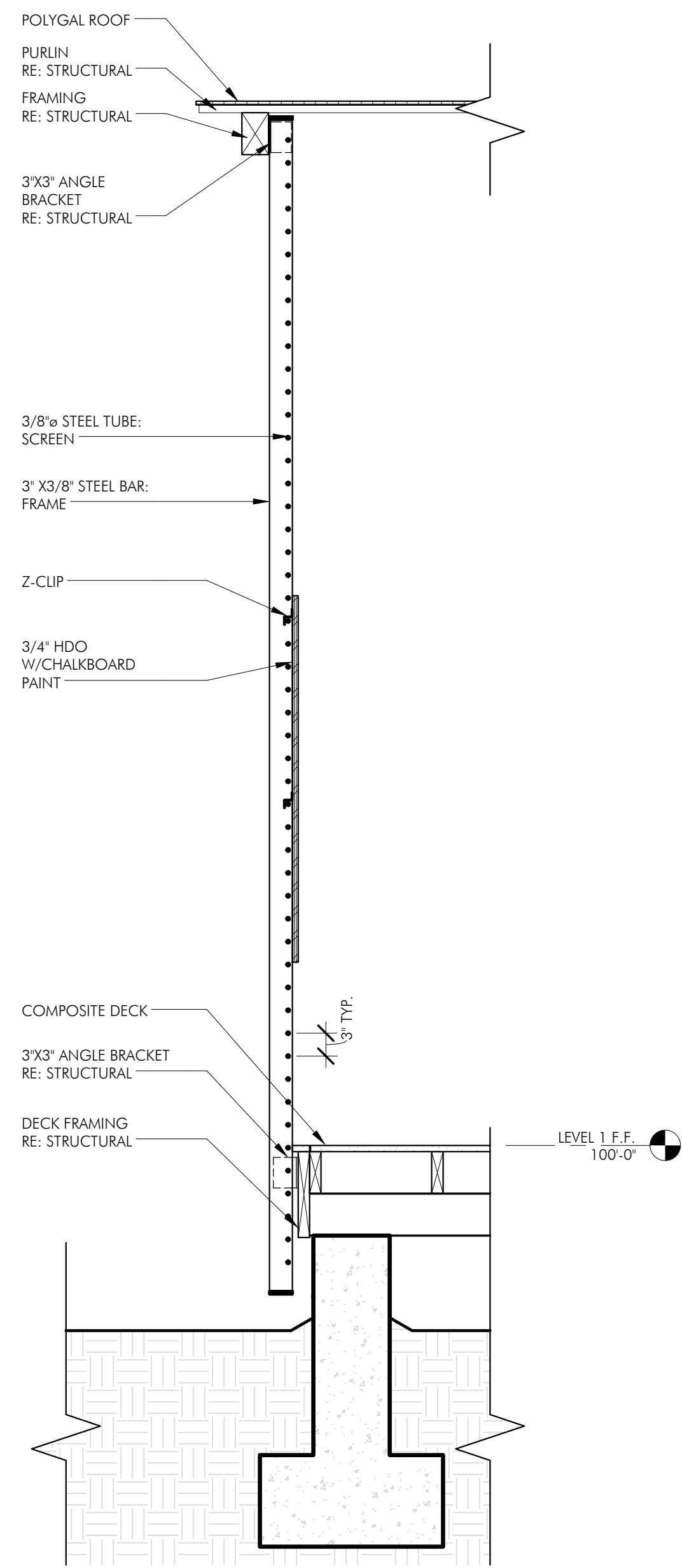
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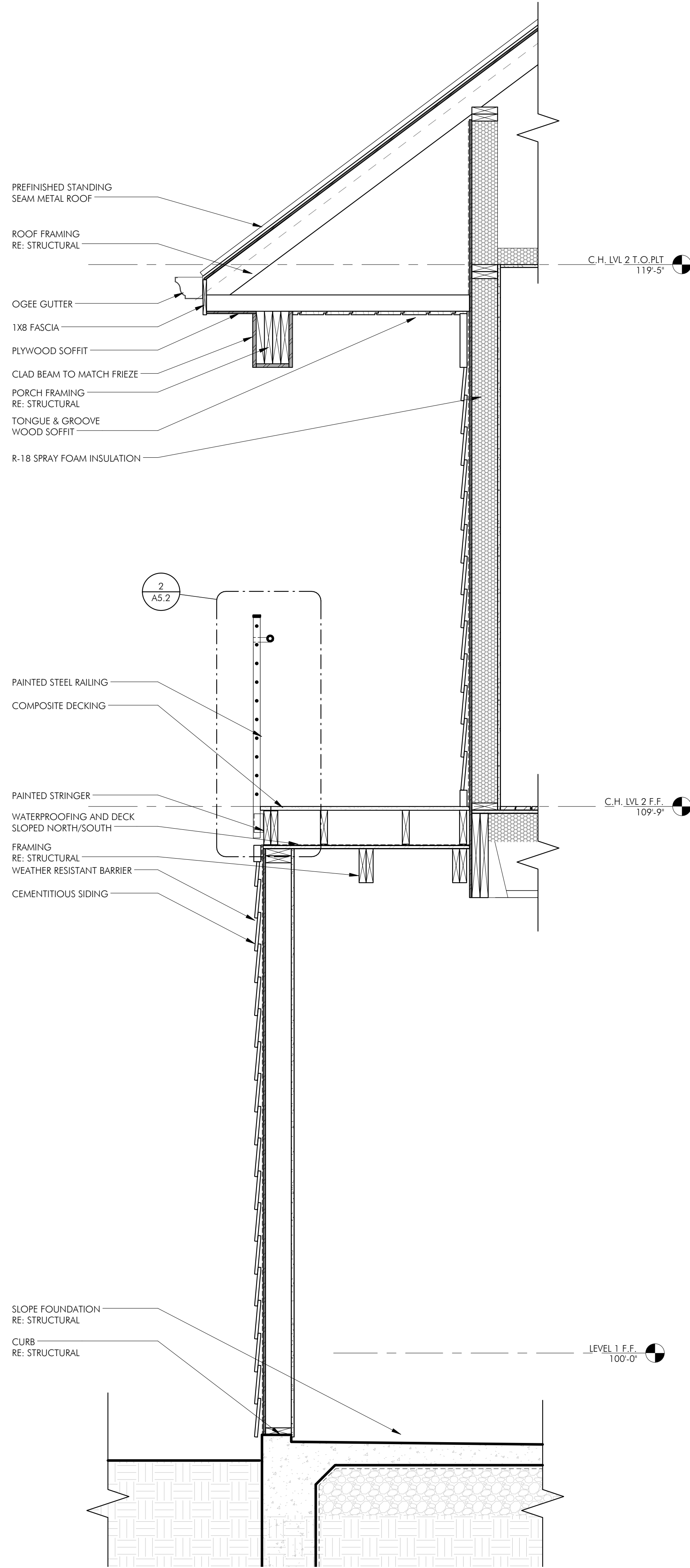
WALL SECTIONS

A3.2

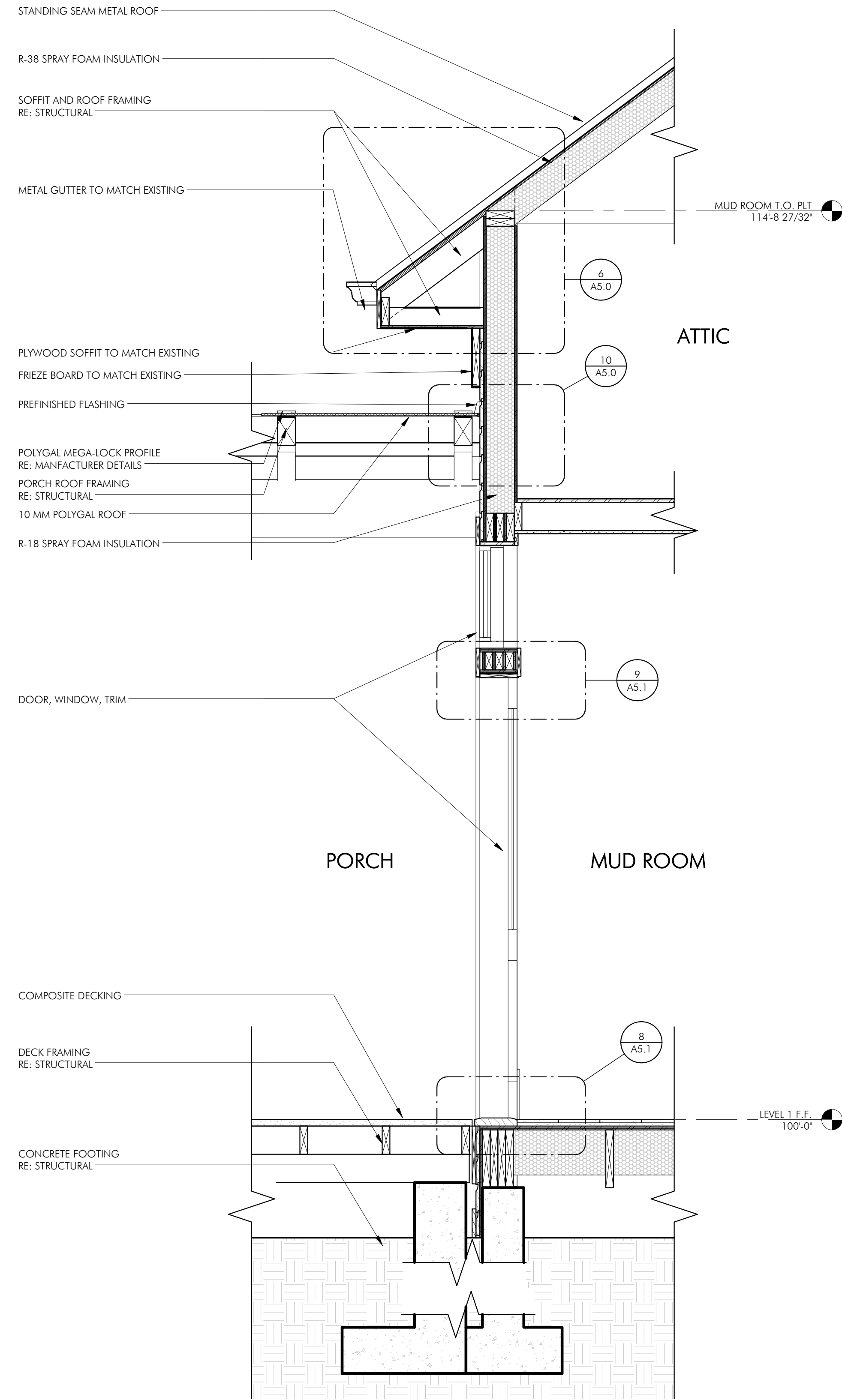
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3 WALL SECTION @ PORCH SCREEN
3/4" = 1'-0"



2 WALL SECTION @ CARRIAGE HOUSE LANDING
3/4" = 1'-0"



1 WALL SECTION @ MUD ROOM & PORCH
3/4" = 1'-0"

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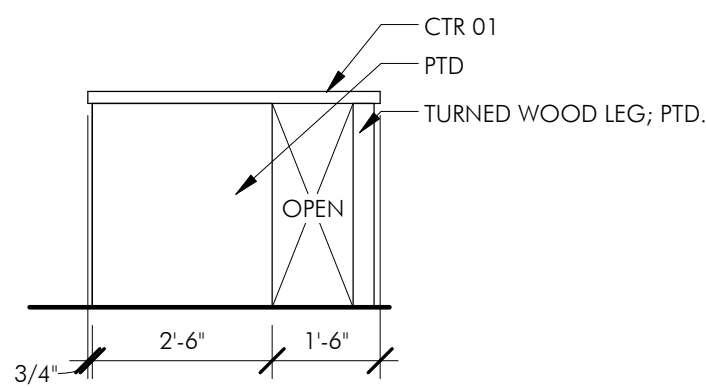
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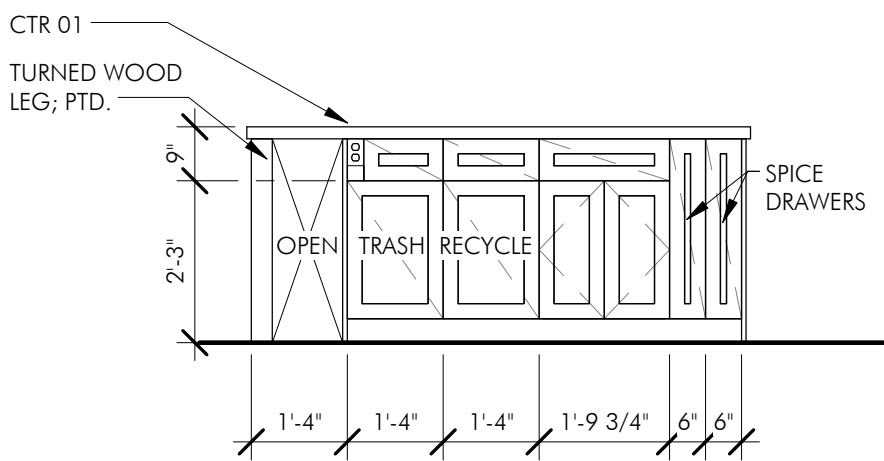
WALL SECTIONS

A3.3

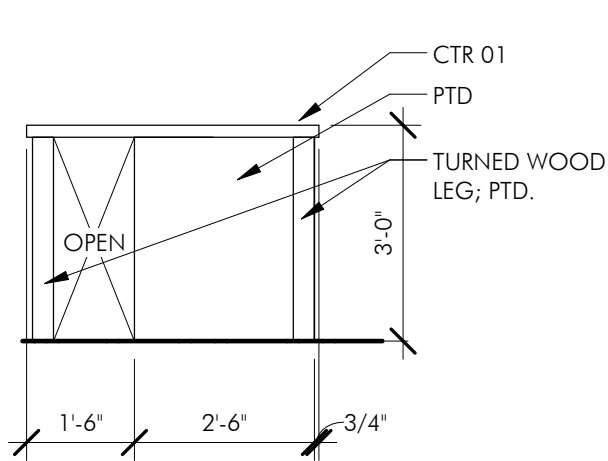
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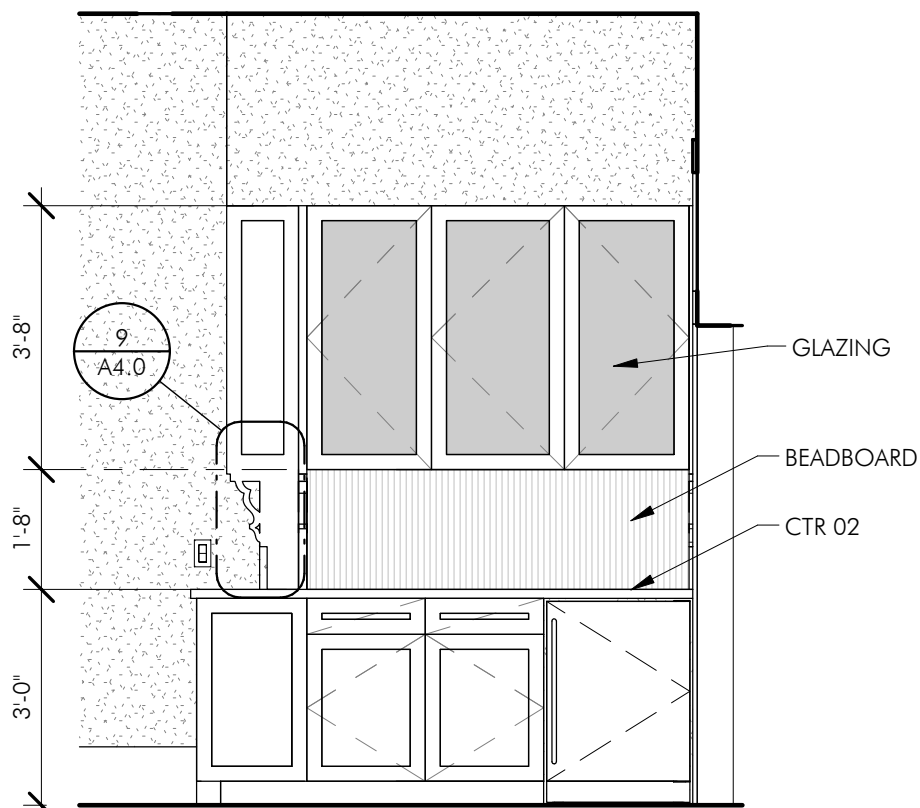
5 ISLAND EAST
3/8" = 1'-0"



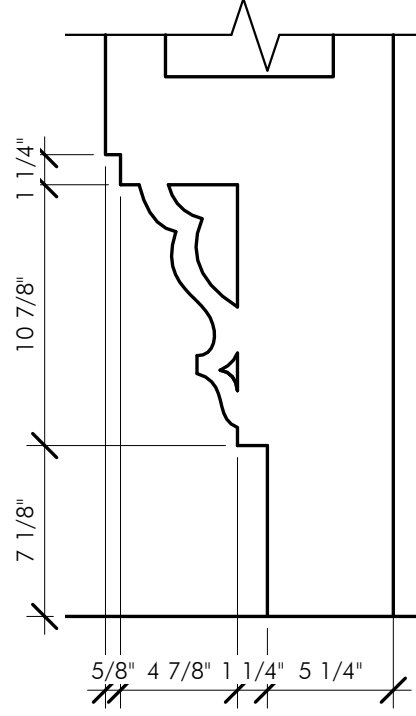
4 ISLAND SOUTH
3/8" = 1'-0"



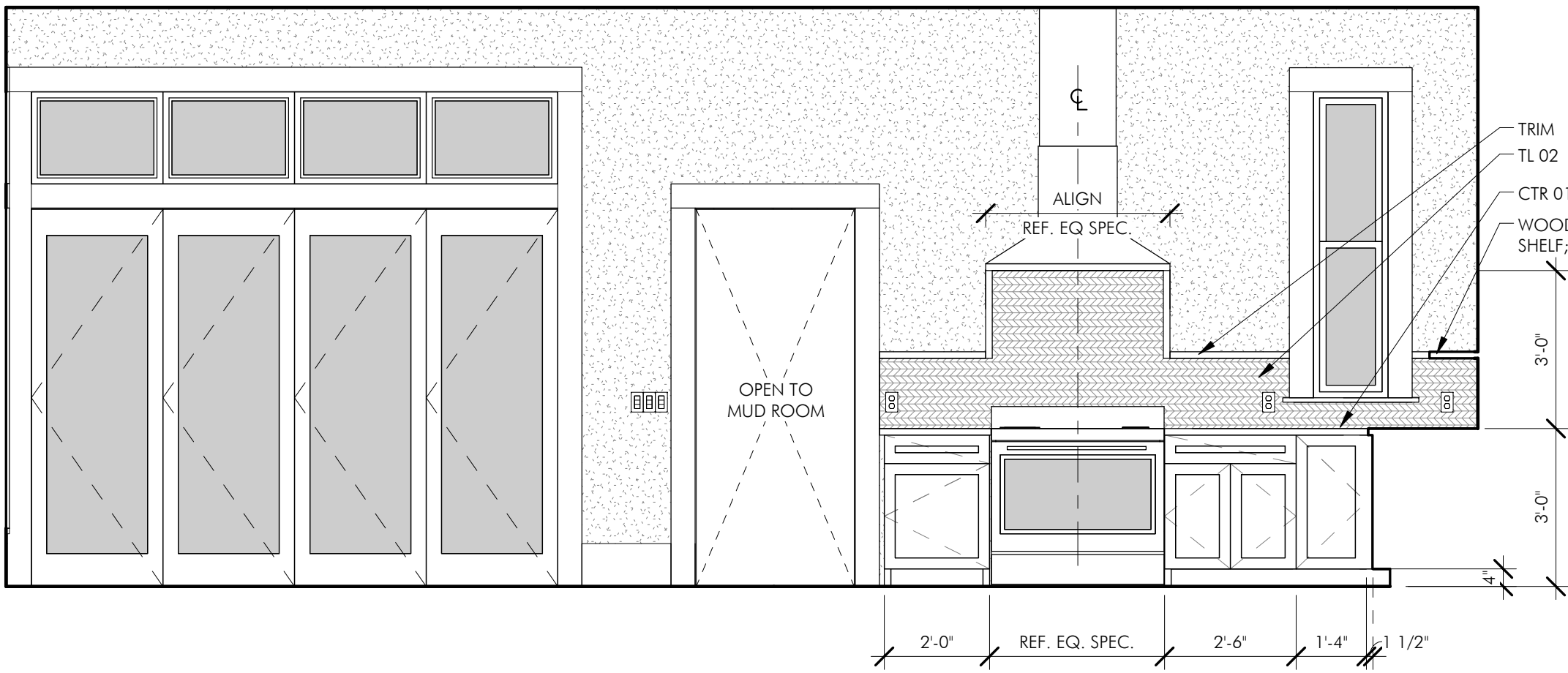
3 ISLAND WEST
3/8" = 1'-0"



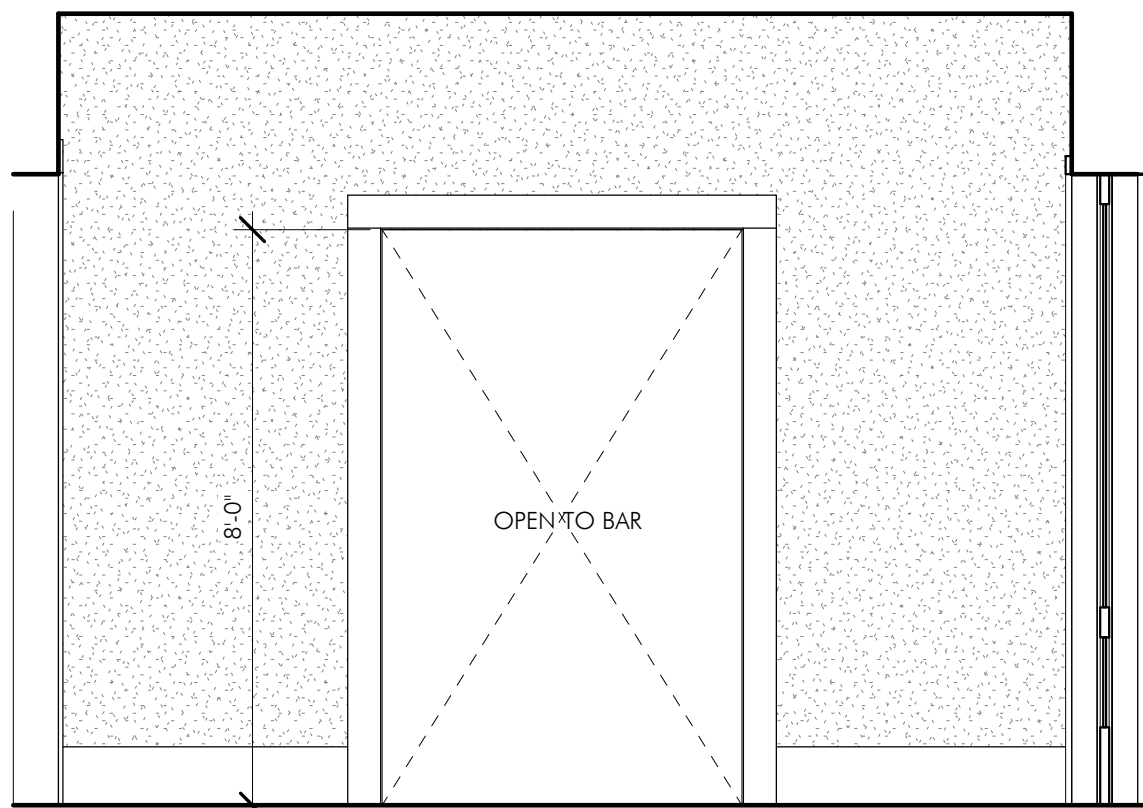
8 BAR NORTH
3/8" = 1'-0"



9 BAR MILLWORK DETAIL
1 1/2" = 1'-0"

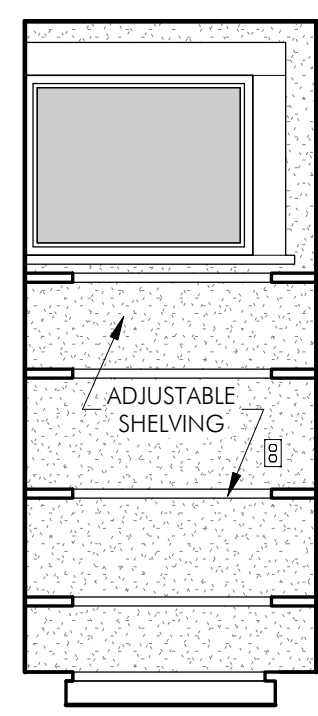
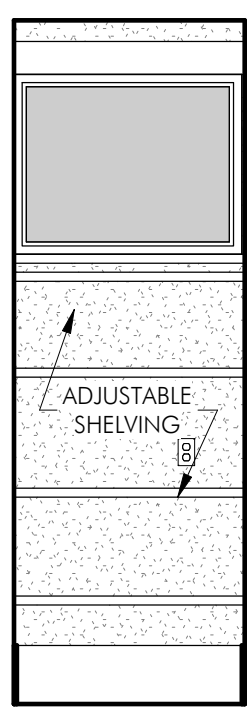


2 KITCHEN/LIVING - WEST
3/8" = 1'-0"

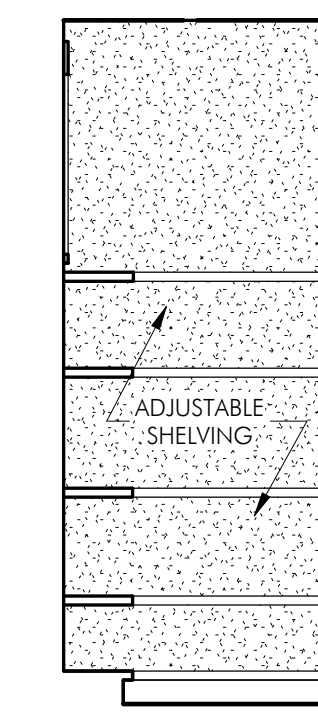


7 DINING ROOM NORTH
3/8" = 1'-0"

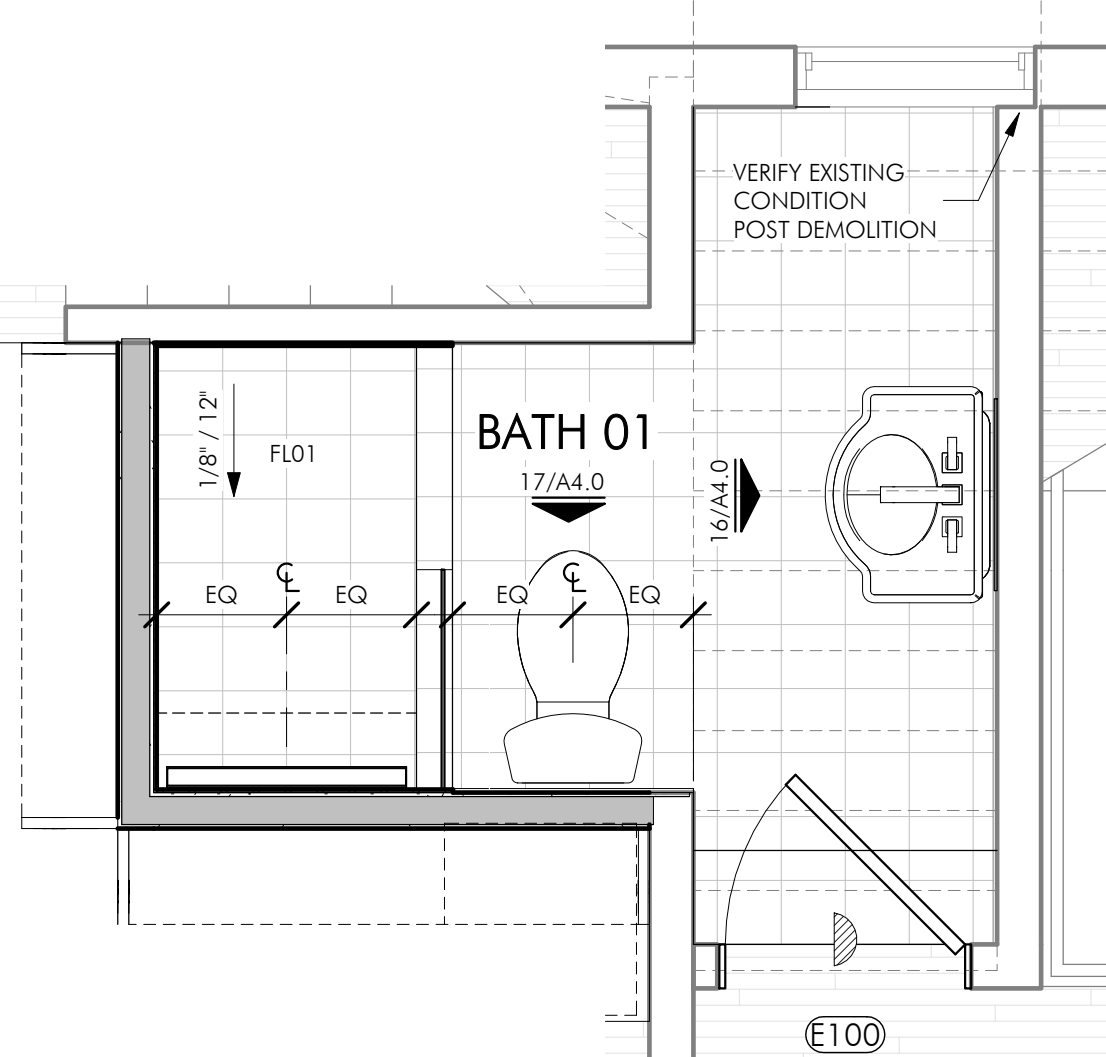
13 STORAGE 01 N
3/8" = 1'-0"



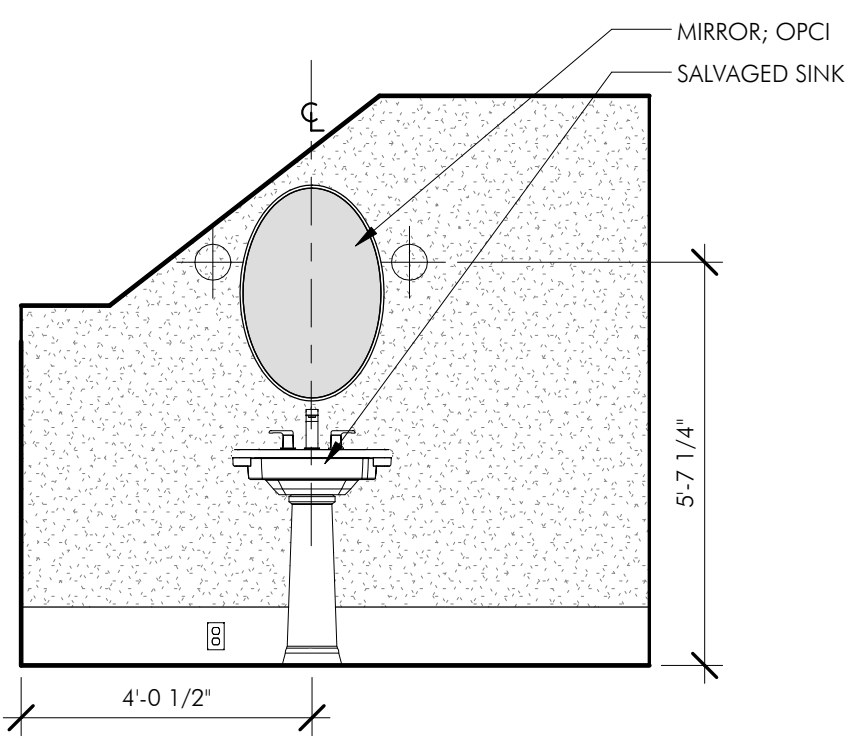
12 PANTRY N
3/8" = 1'-0"



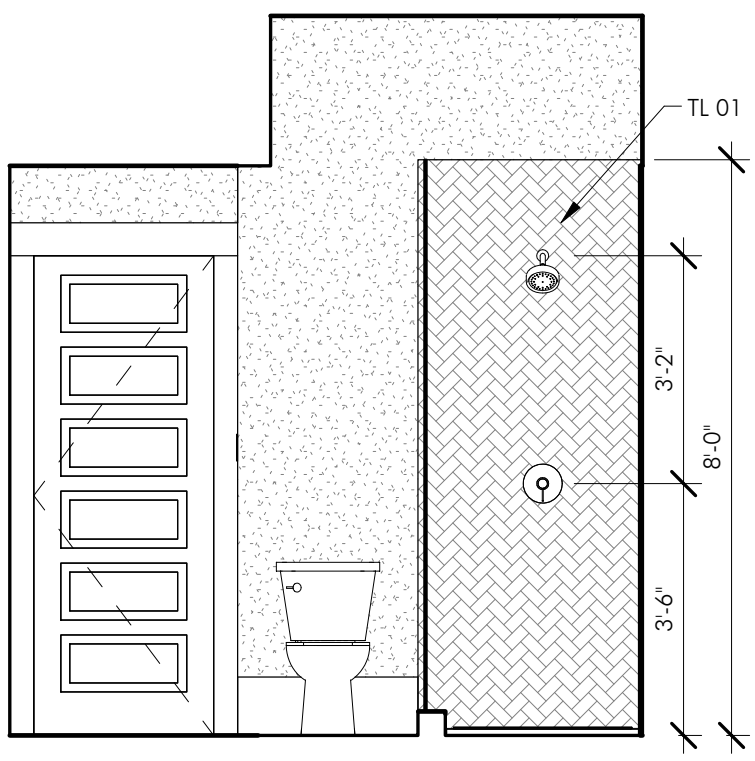
11 PANTRY E
3/8" = 1'-0"



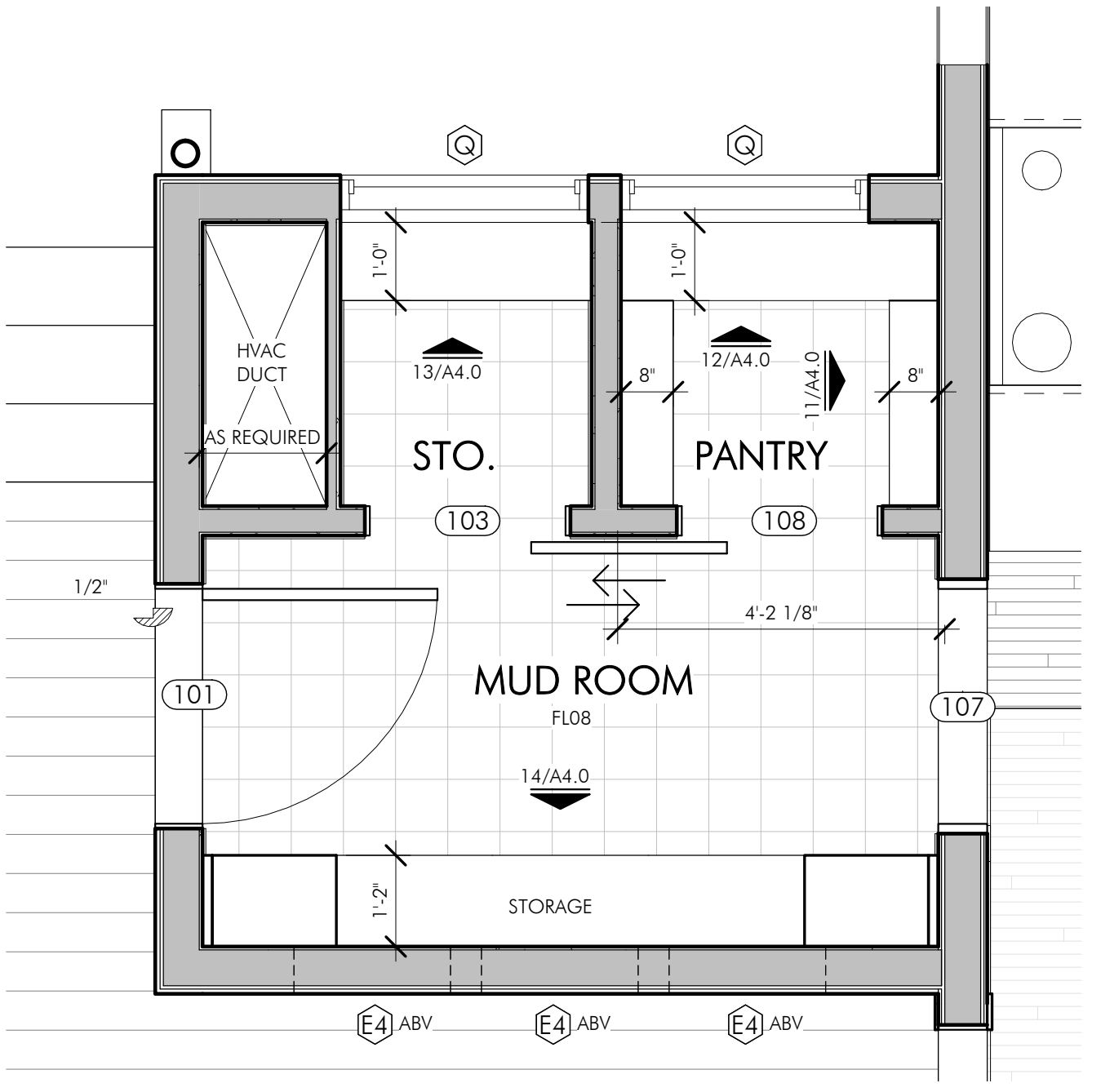
15 ENLARGED BATH 01 PLAN
1/2" = 1'-0"



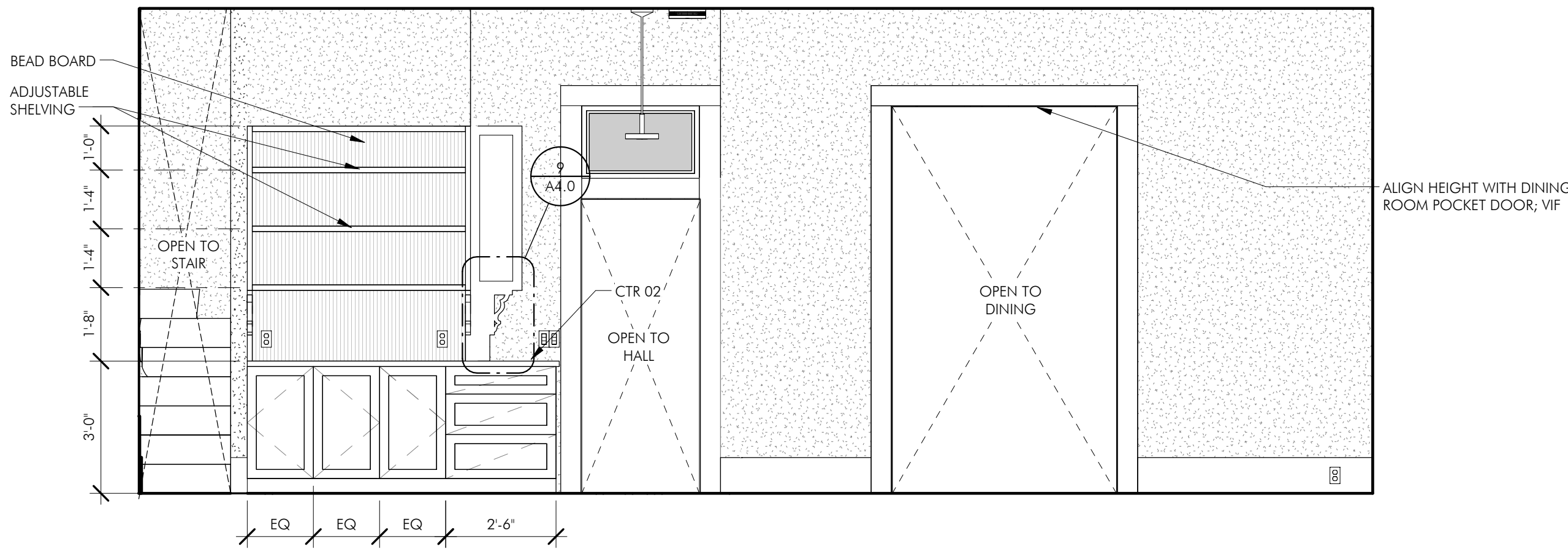
16 BATH 01 EAST
3/8" = 1'-0"



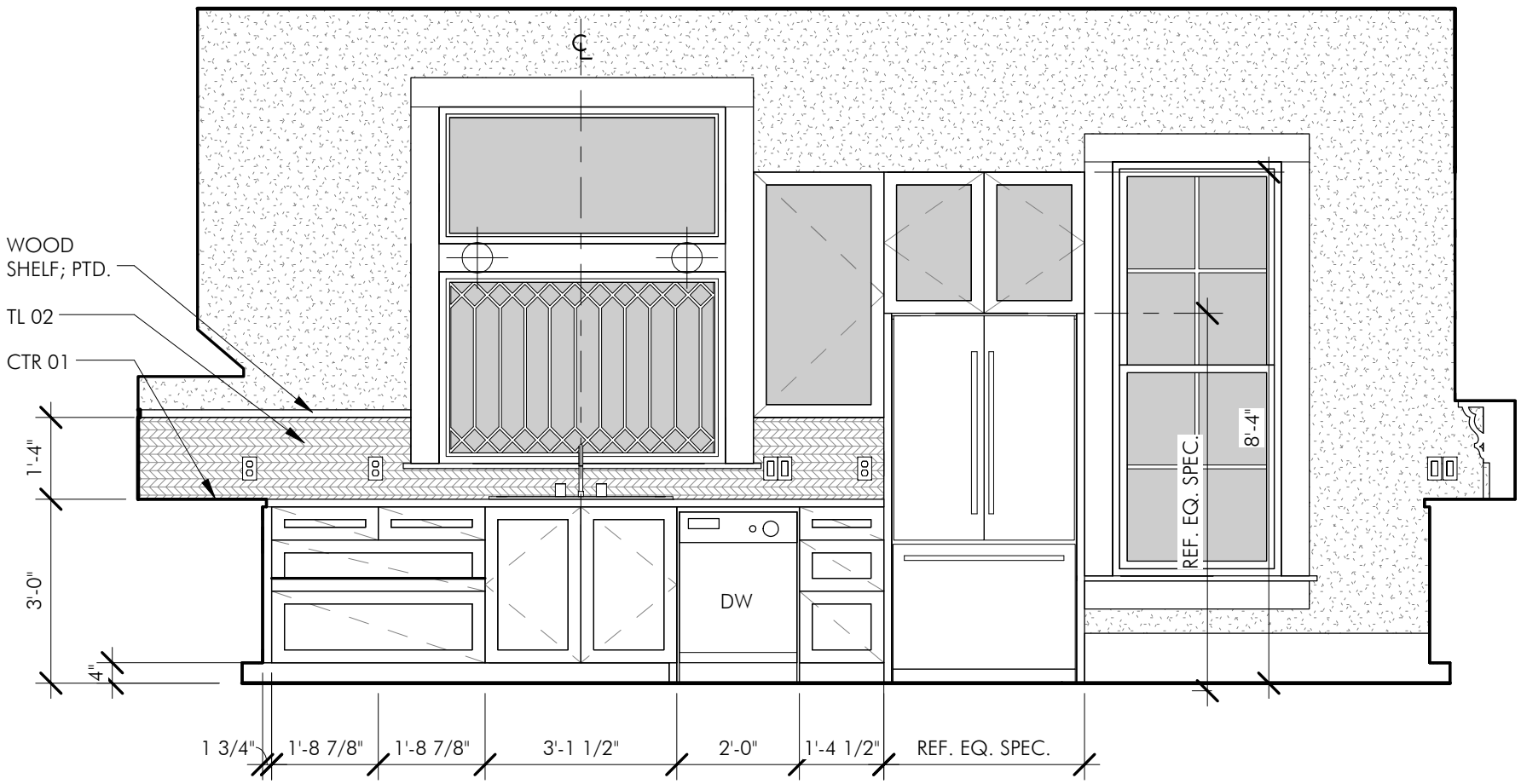
17 BATH 01 SOUTH
3/8" = 1'-0"



10 ENLARGED MUD ROOM PLAN
1/2" = 1'-0"



6 KITCHEN/LIVING EAST
3/8" = 1'-0"



1 KITCHEN - NORTH
3/8" = 1'-0"

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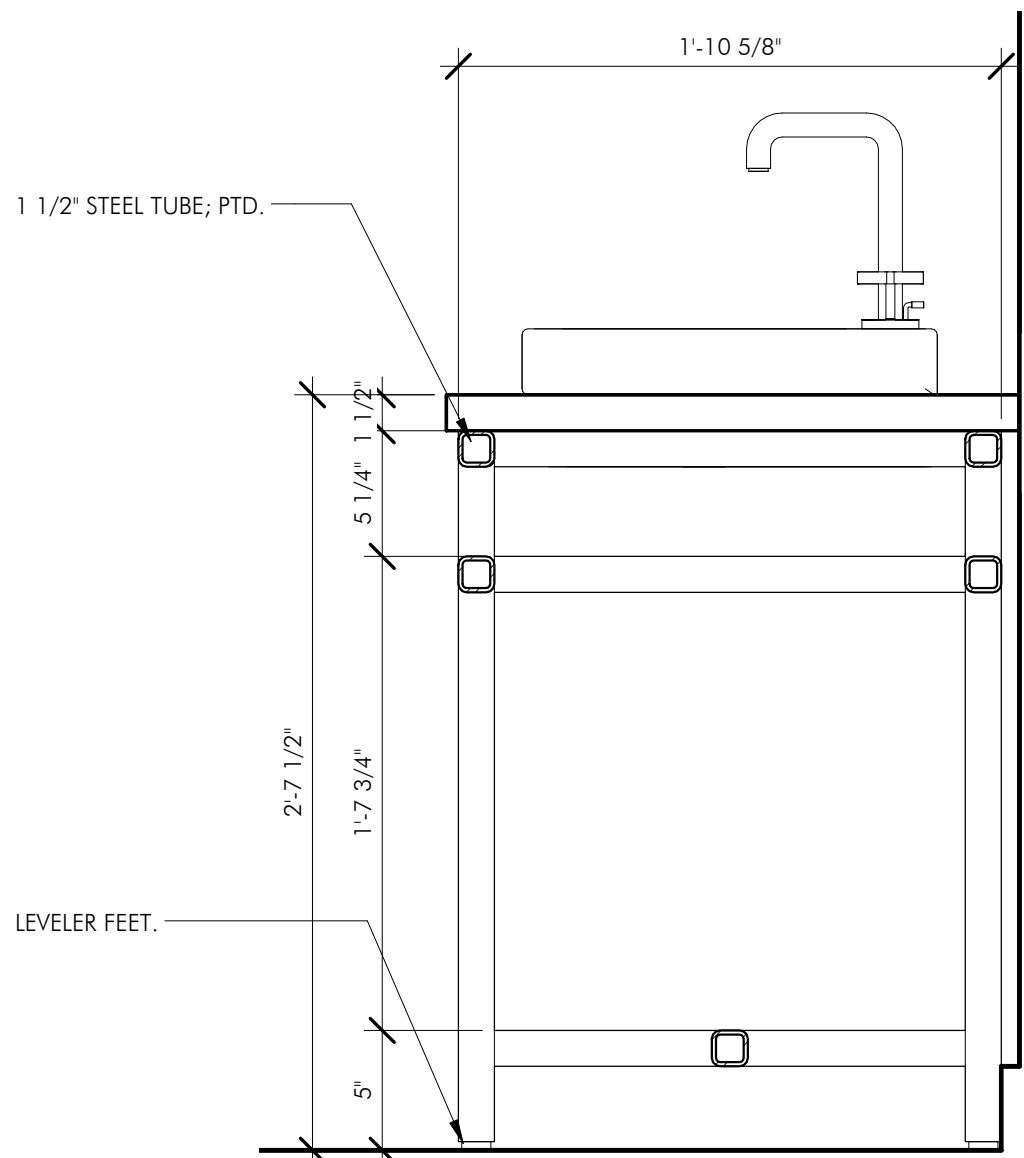
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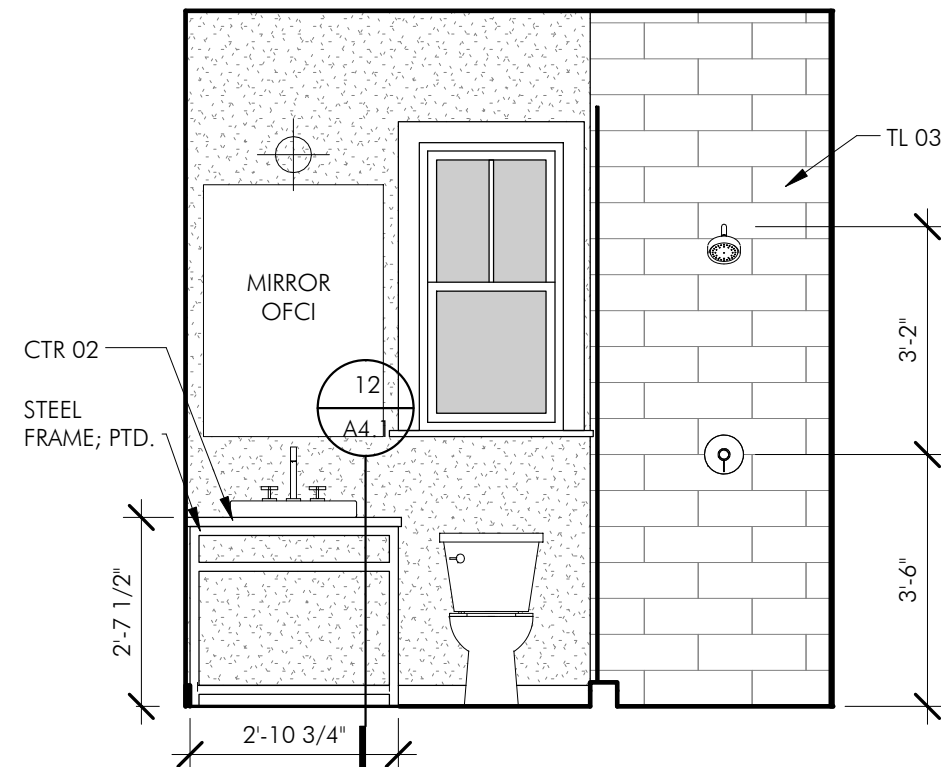
INTERIOR ELEVATIONS

A4.0

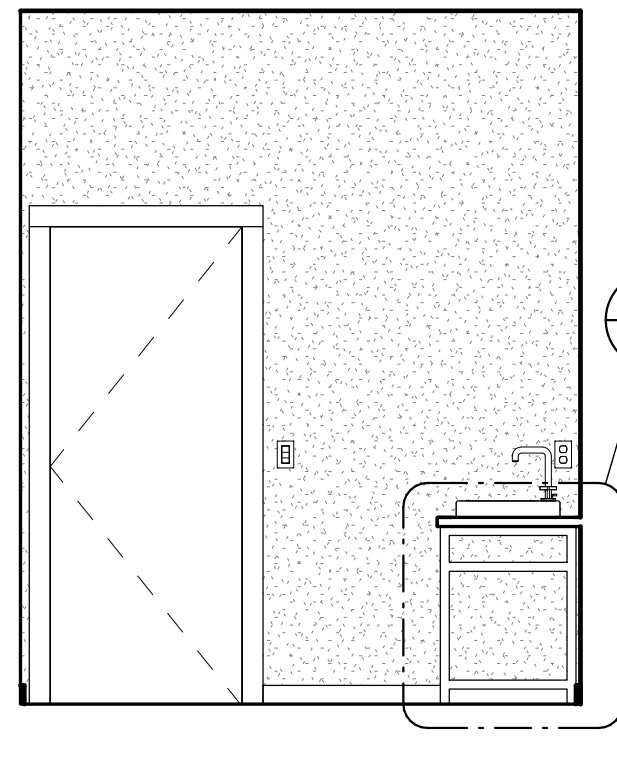
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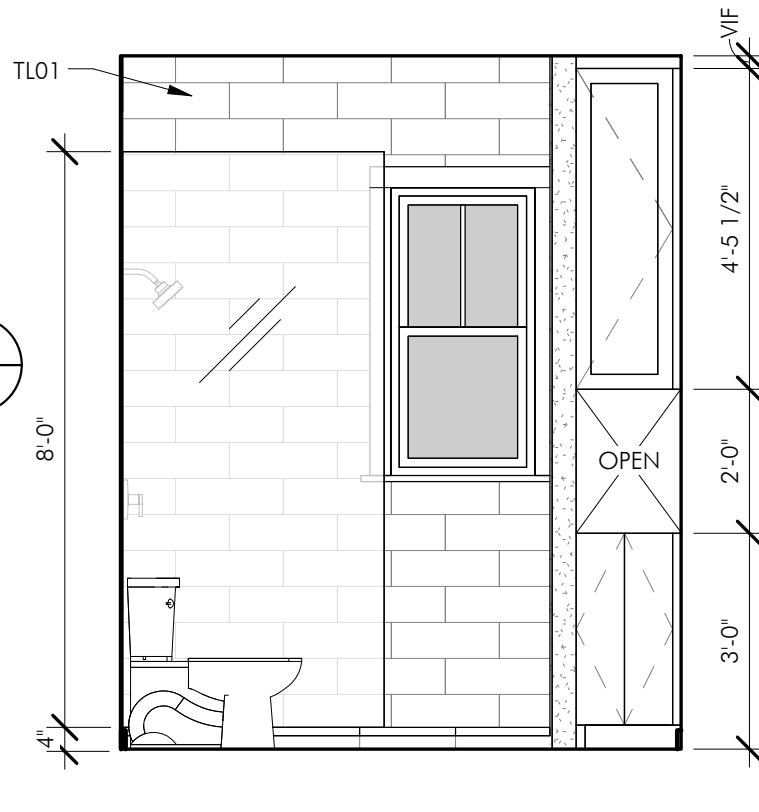
12 STEEL VANITY DETAIL
1 1/2" = 1'-0"



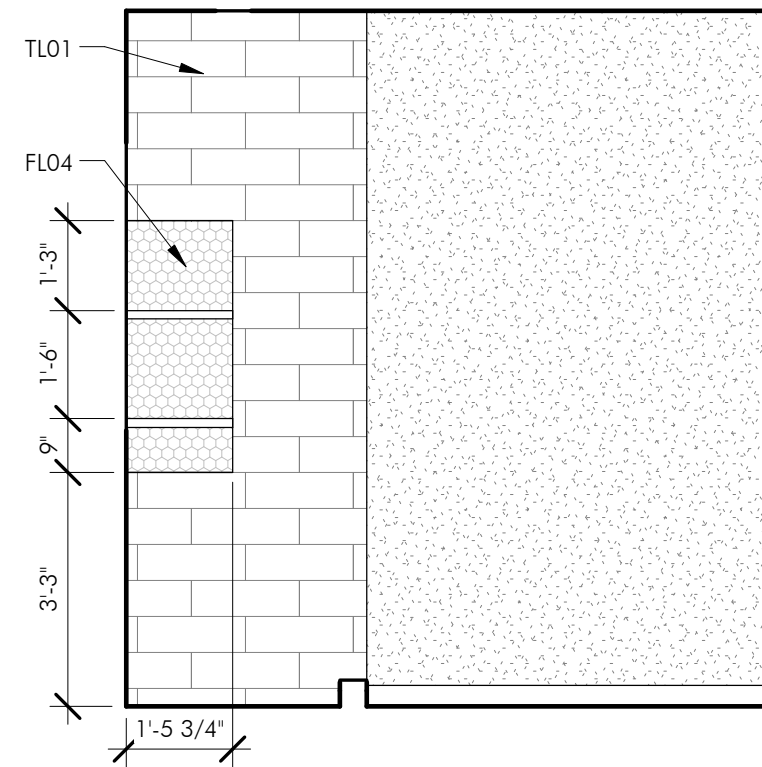
11 C.H. BATH - WEST
3/8" = 1'-0"



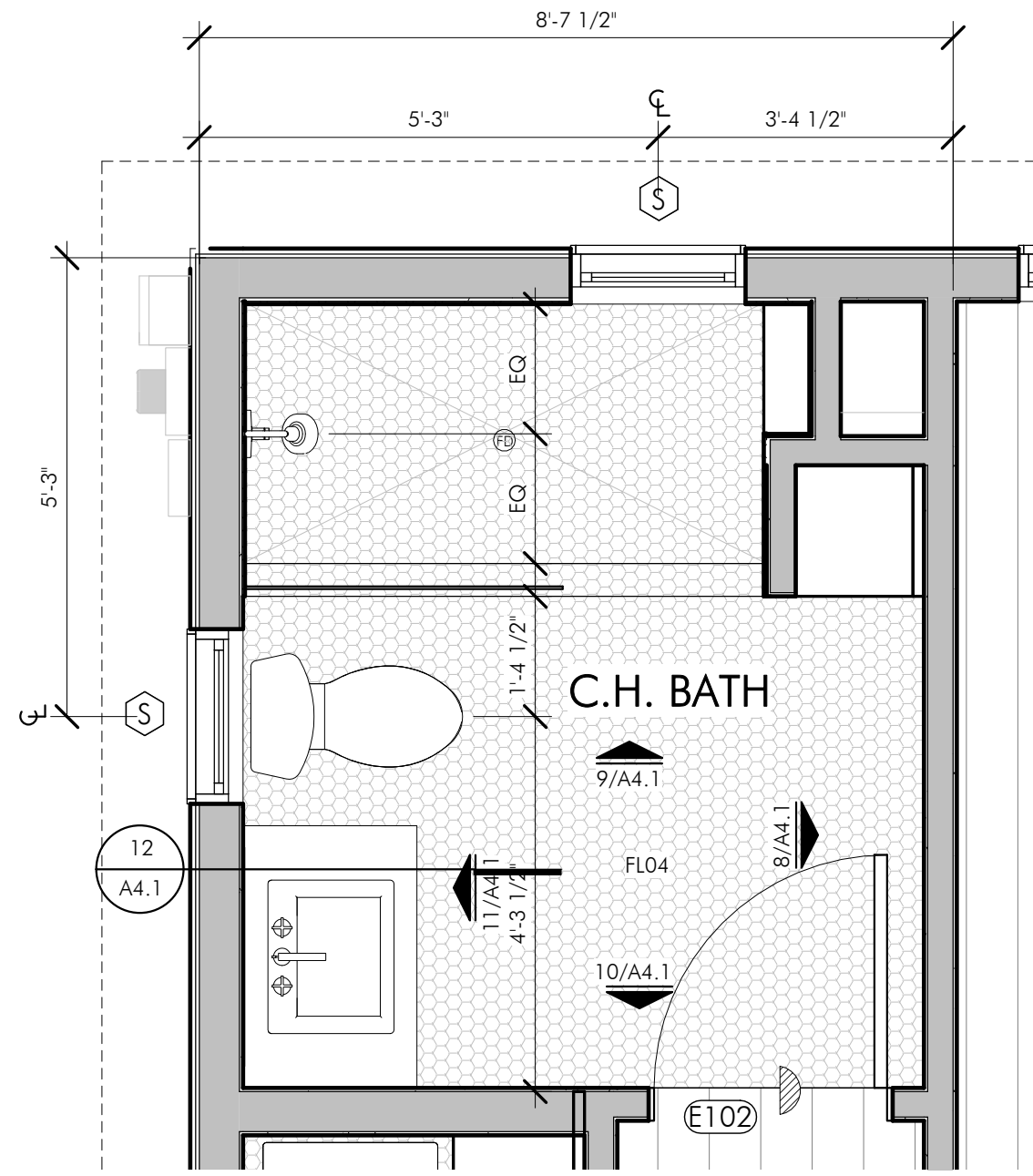
10 C.H. BATH - SOUTH
3/8" = 1'-0"



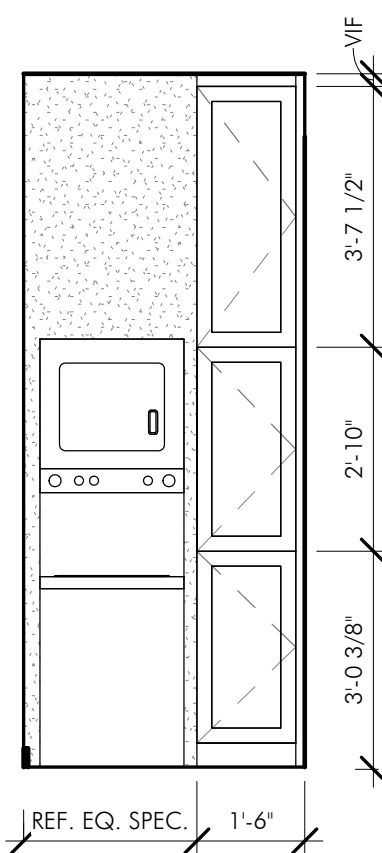
9 C.H. BATH - NORTH
3/8" = 1'-0"



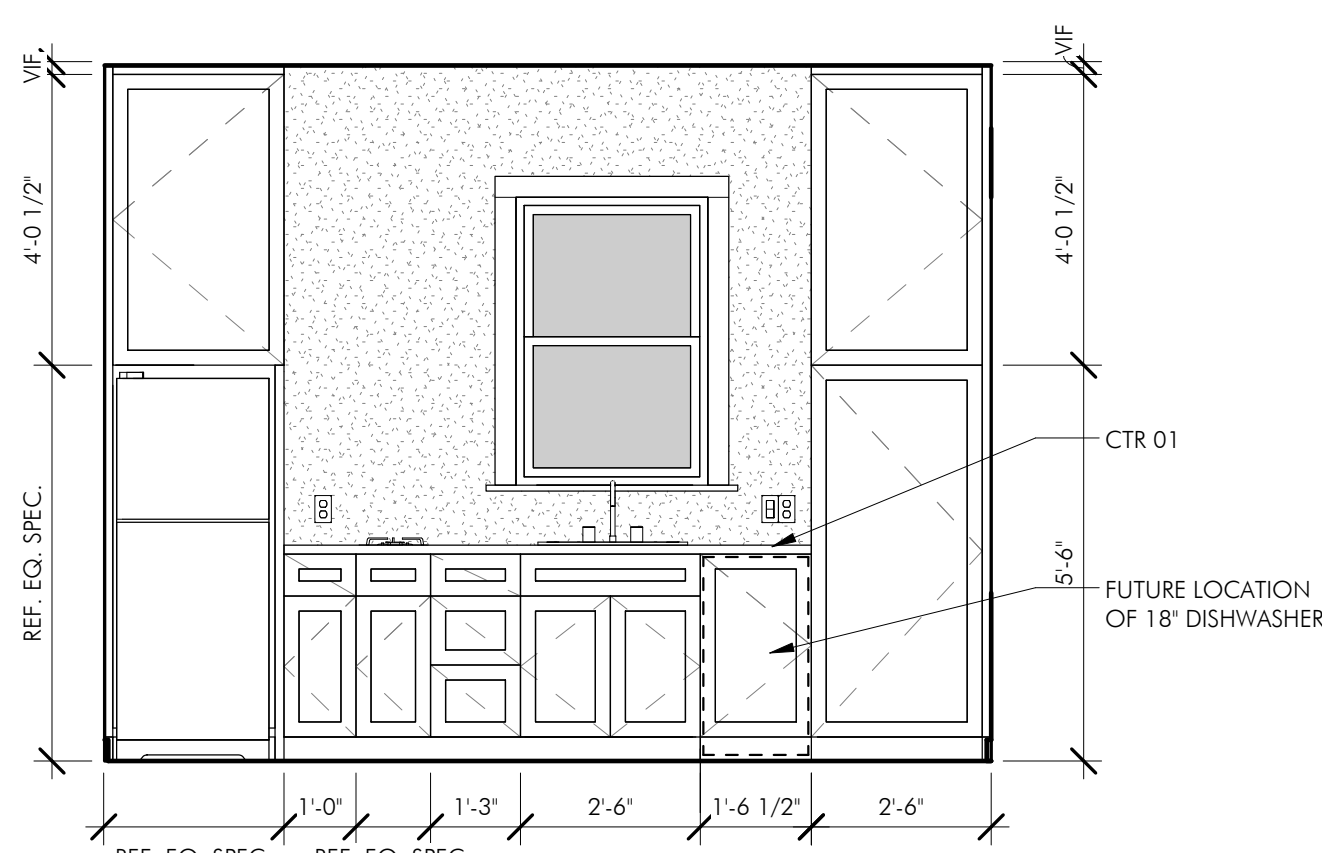
8 C.H. BATH - EAST
3/8" = 1'-0"



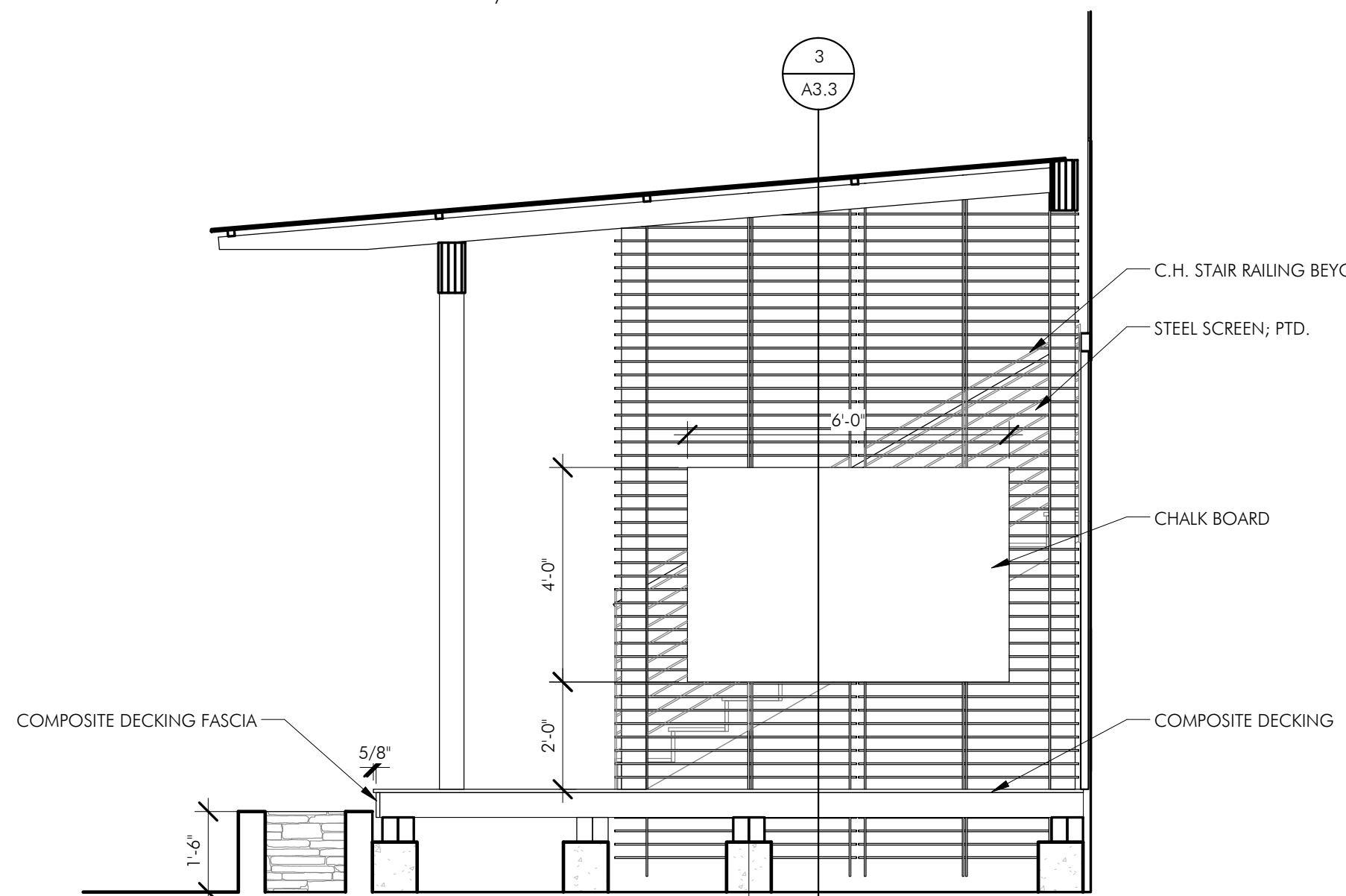
7 ENLARGED C.H. BATH PLAN
1/2" = 1'-0"



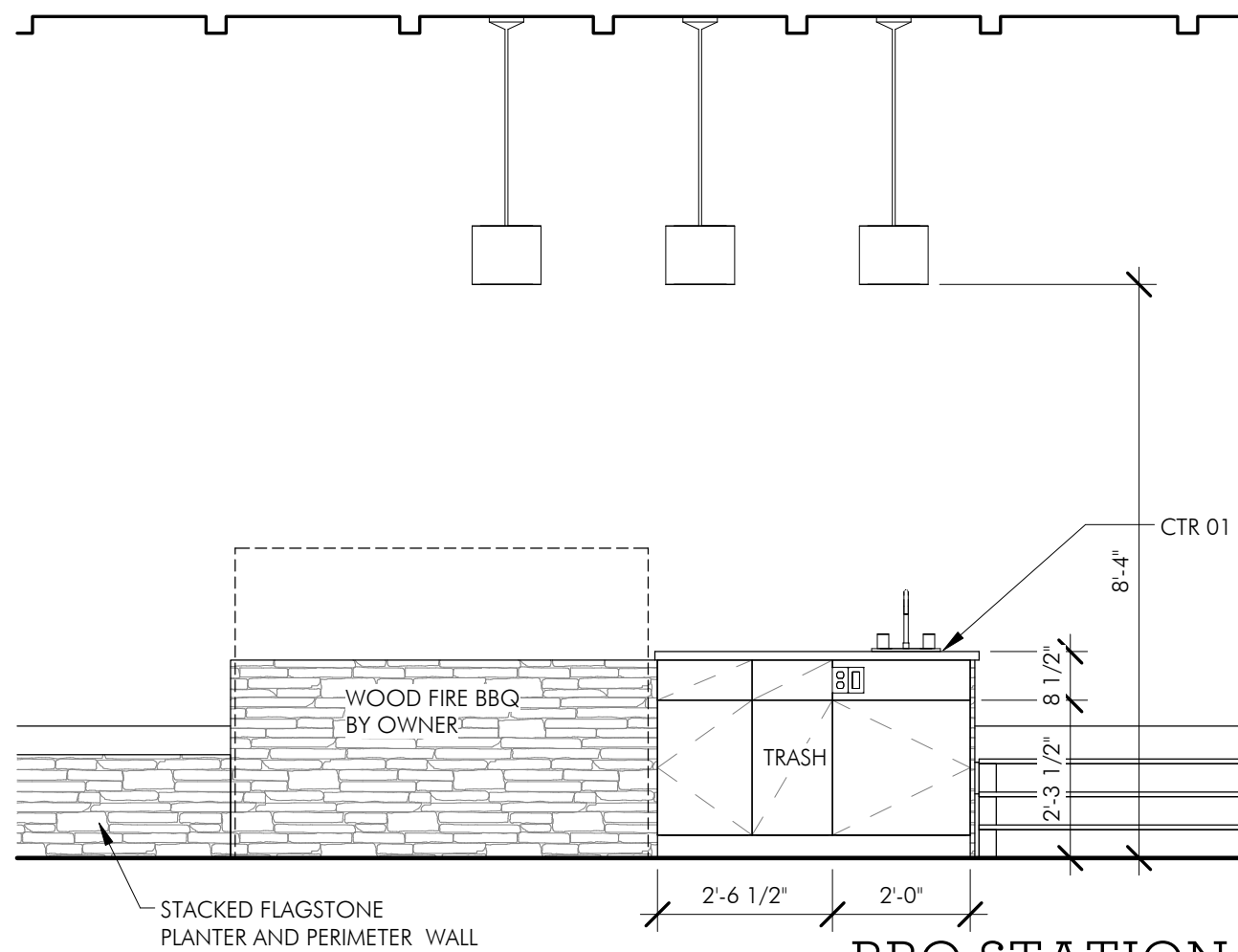
6 C.H. UTILITY
3/8" = 1'-0"



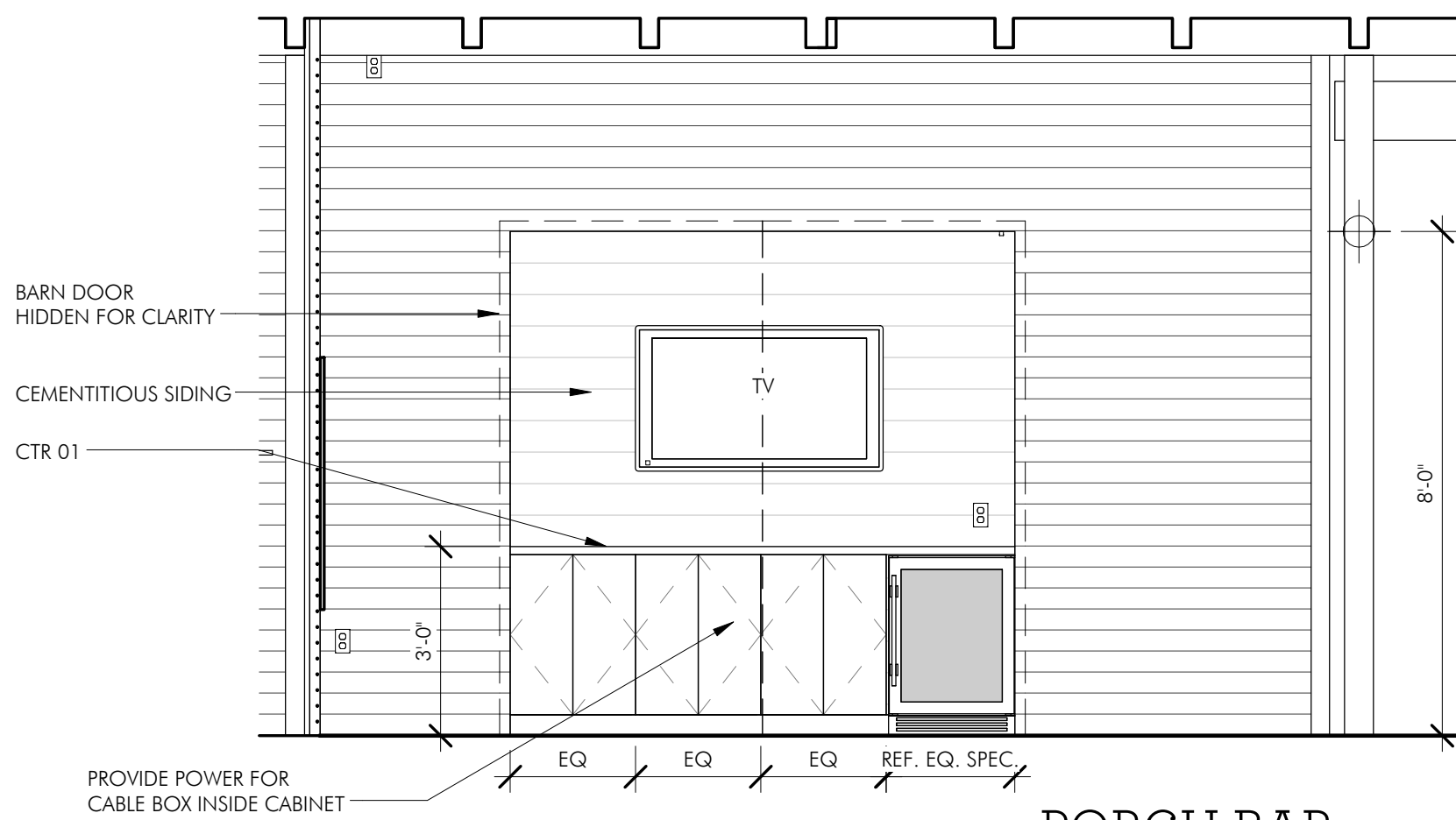
5 C.H. KITCHEN - EAST
3/8" = 1'-0"



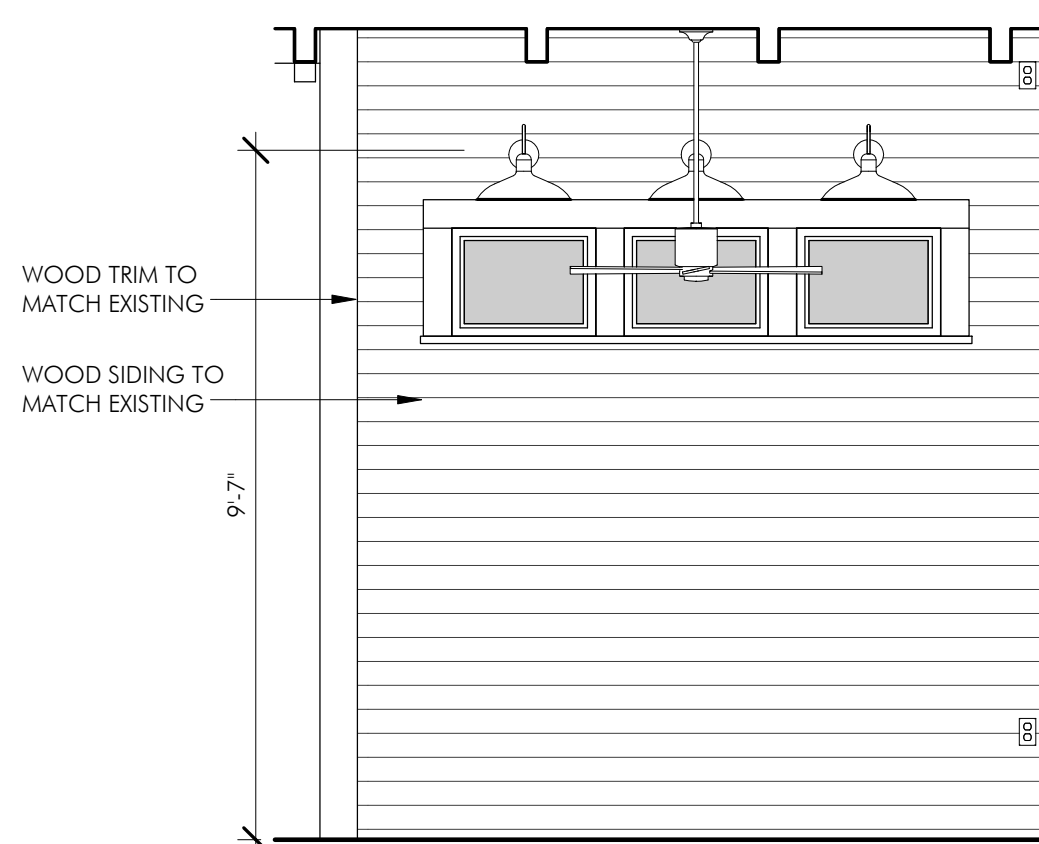
4 PORCH - WEST
3/8" = 1'-0"



3 BBQ STATION
3/8" = 1'-0"



2 PORCH BAR
3/8" = 1'-0"



1 PORCH BUFFET
3/8" = 1'-0"

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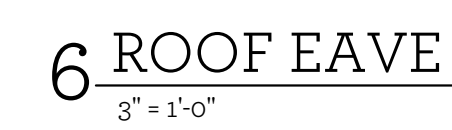
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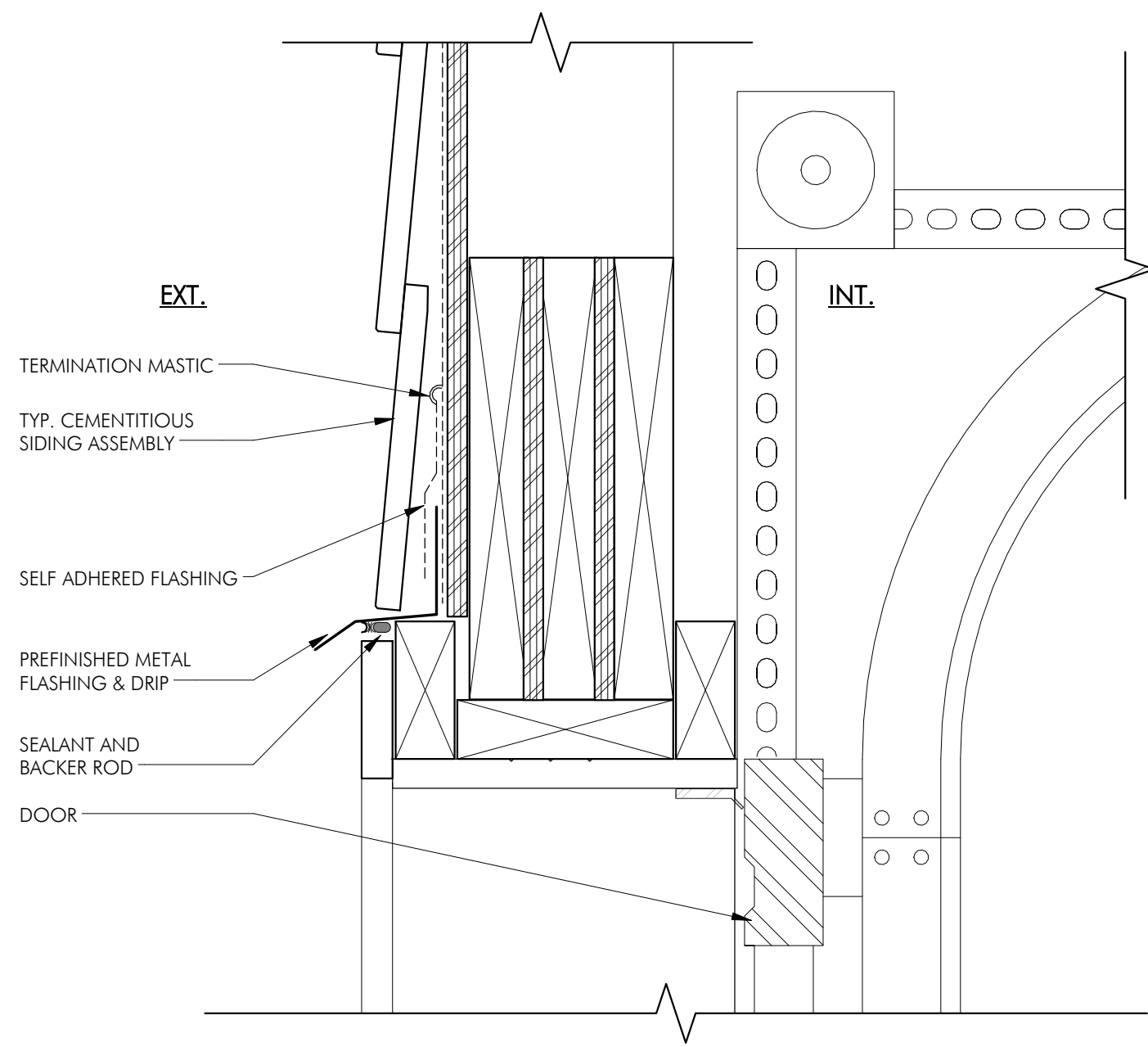
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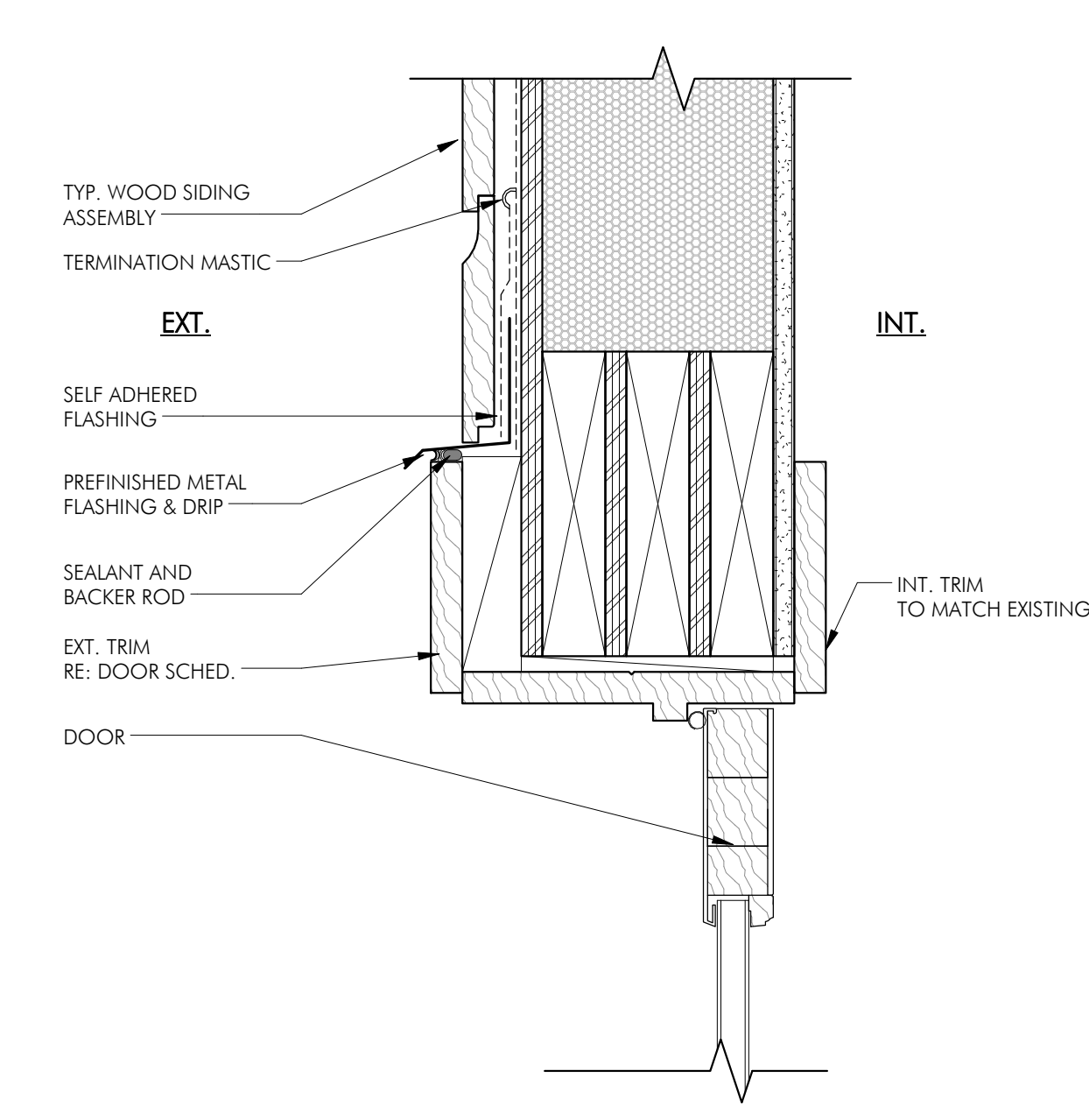
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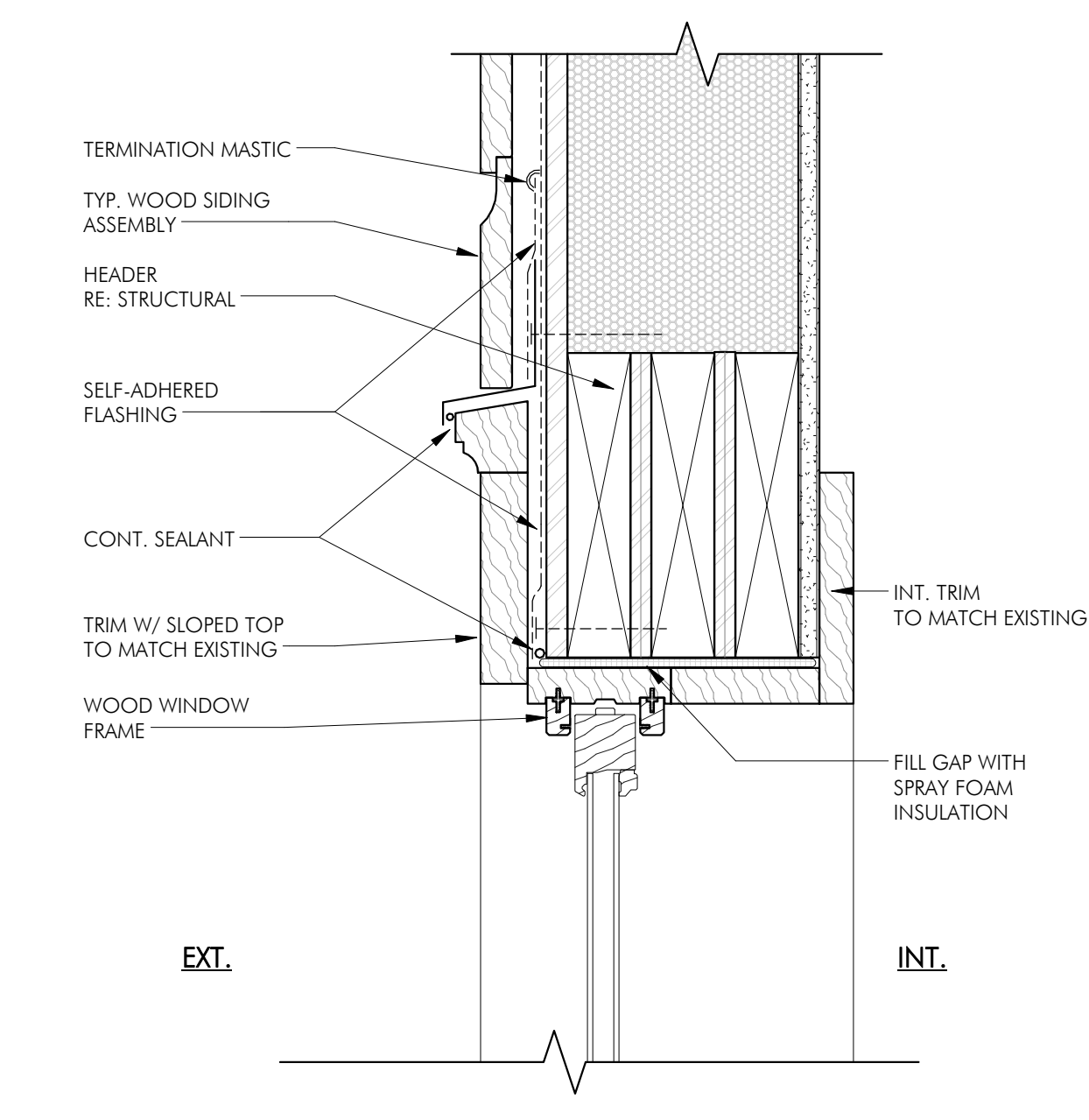
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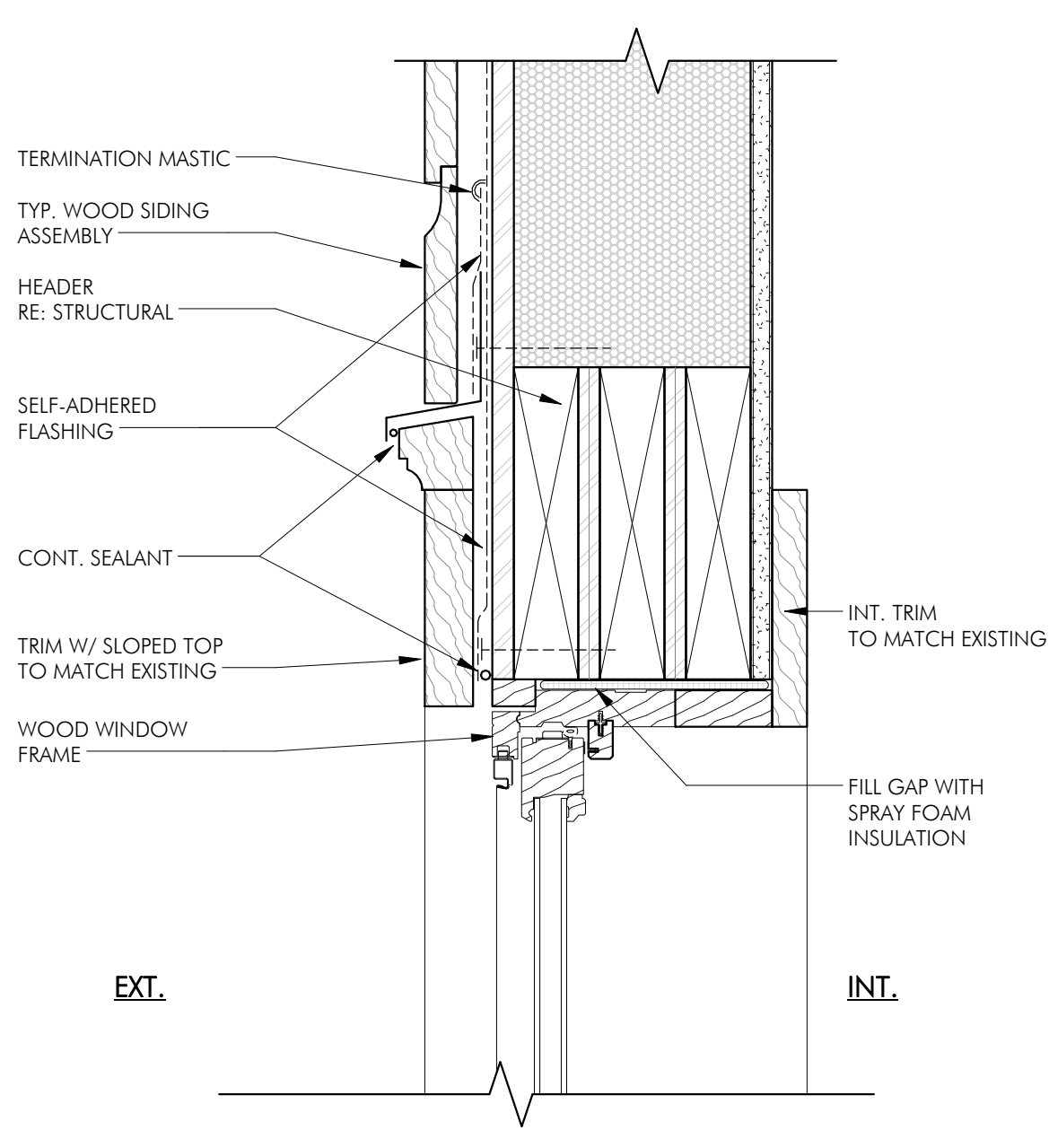
12 GARAGE DOOR HEAD
3" = 1'-0"



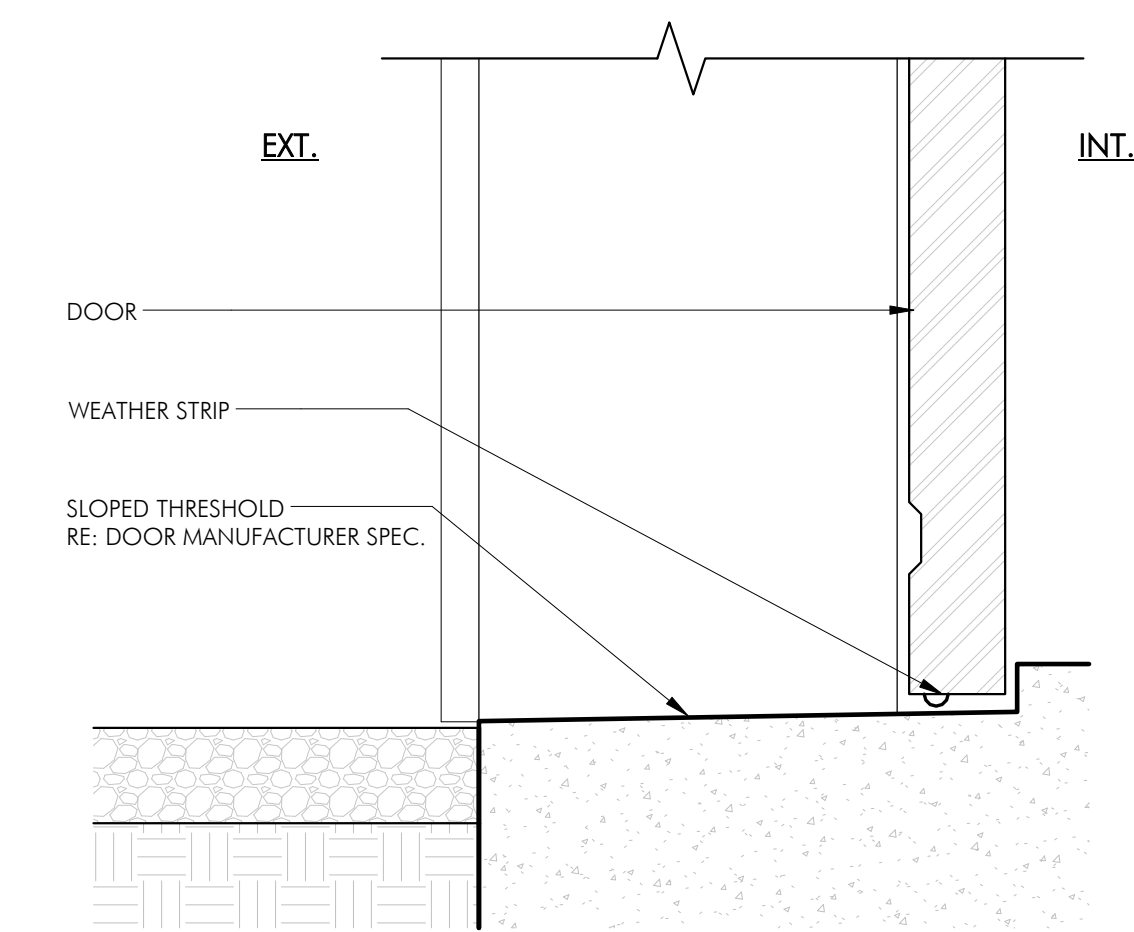
9 EXTERIOR DOOR HEAD
3" = 1'-0"



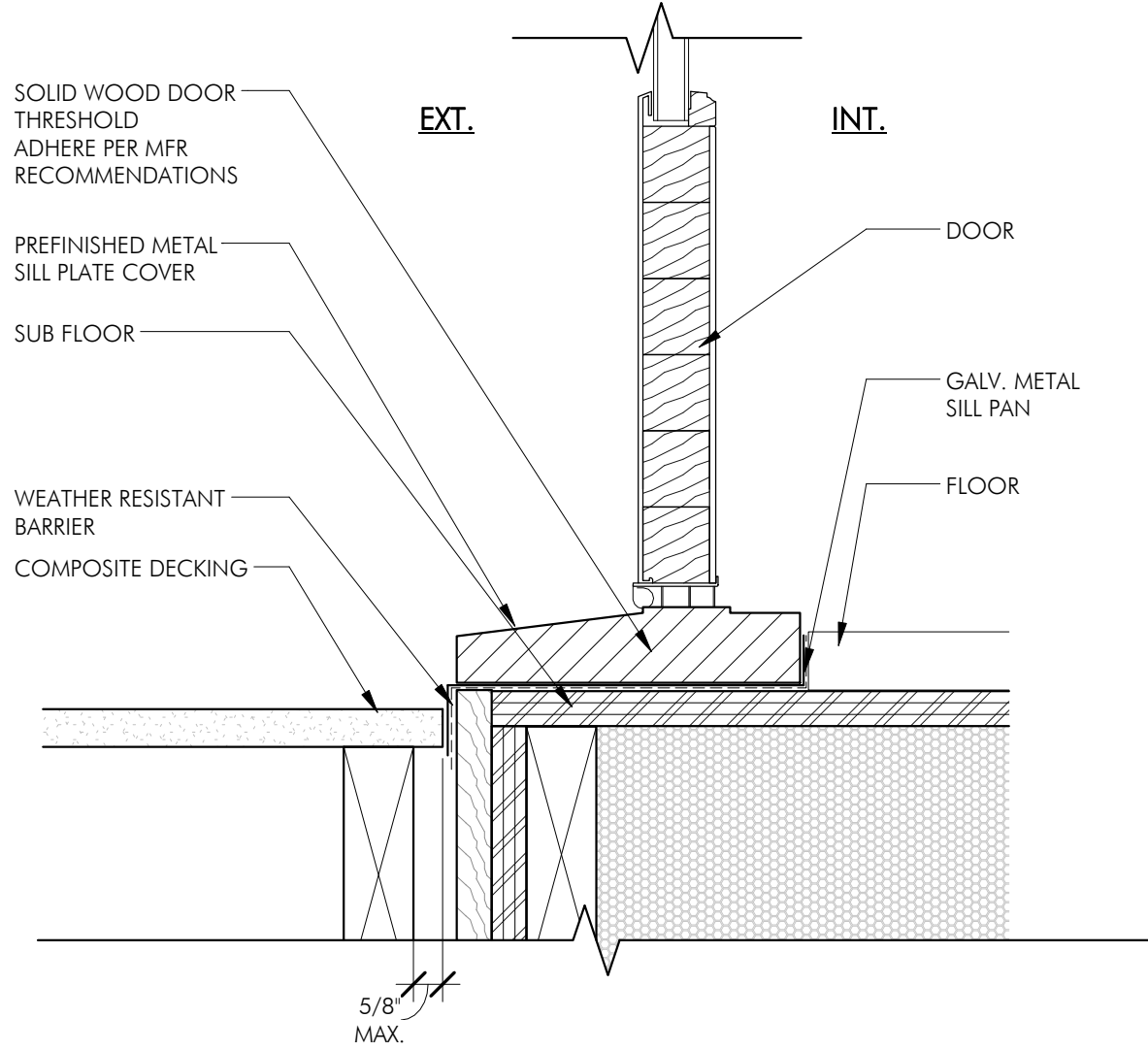
6 TRANSOM WDW HEAD @ WOOD SIDING
3" = 1'-0"



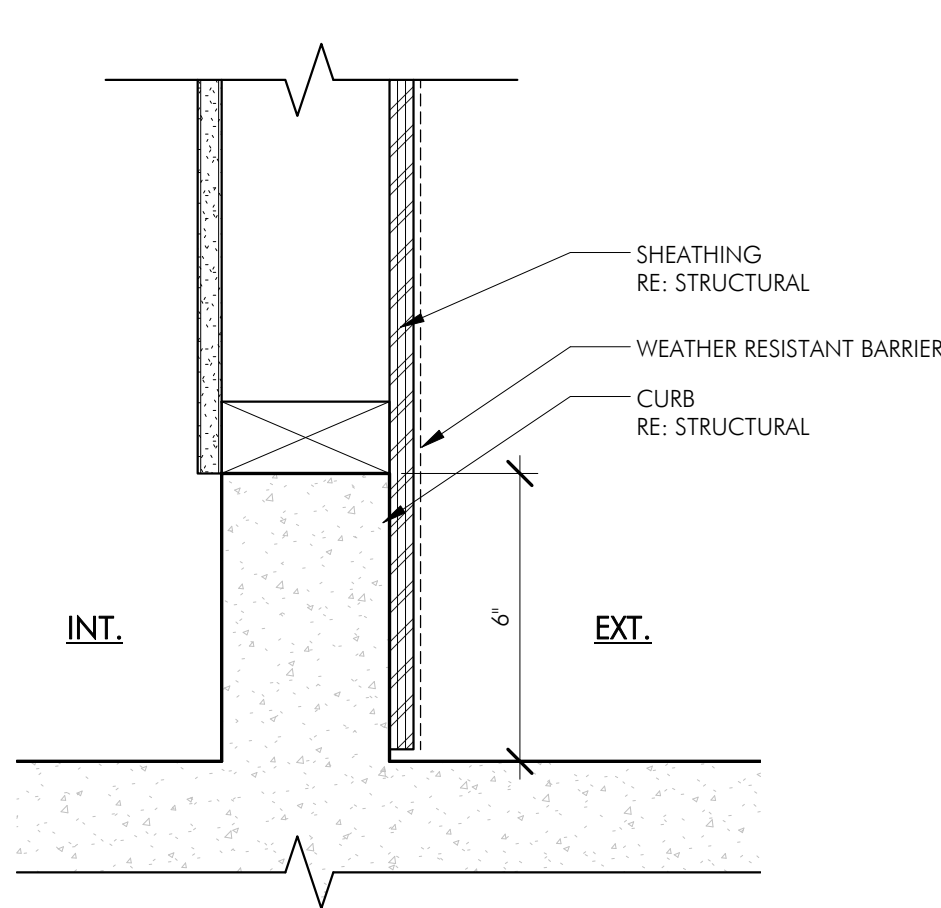
3 WDW HEAD @ WOOD SIDING
3" = 1'-0"



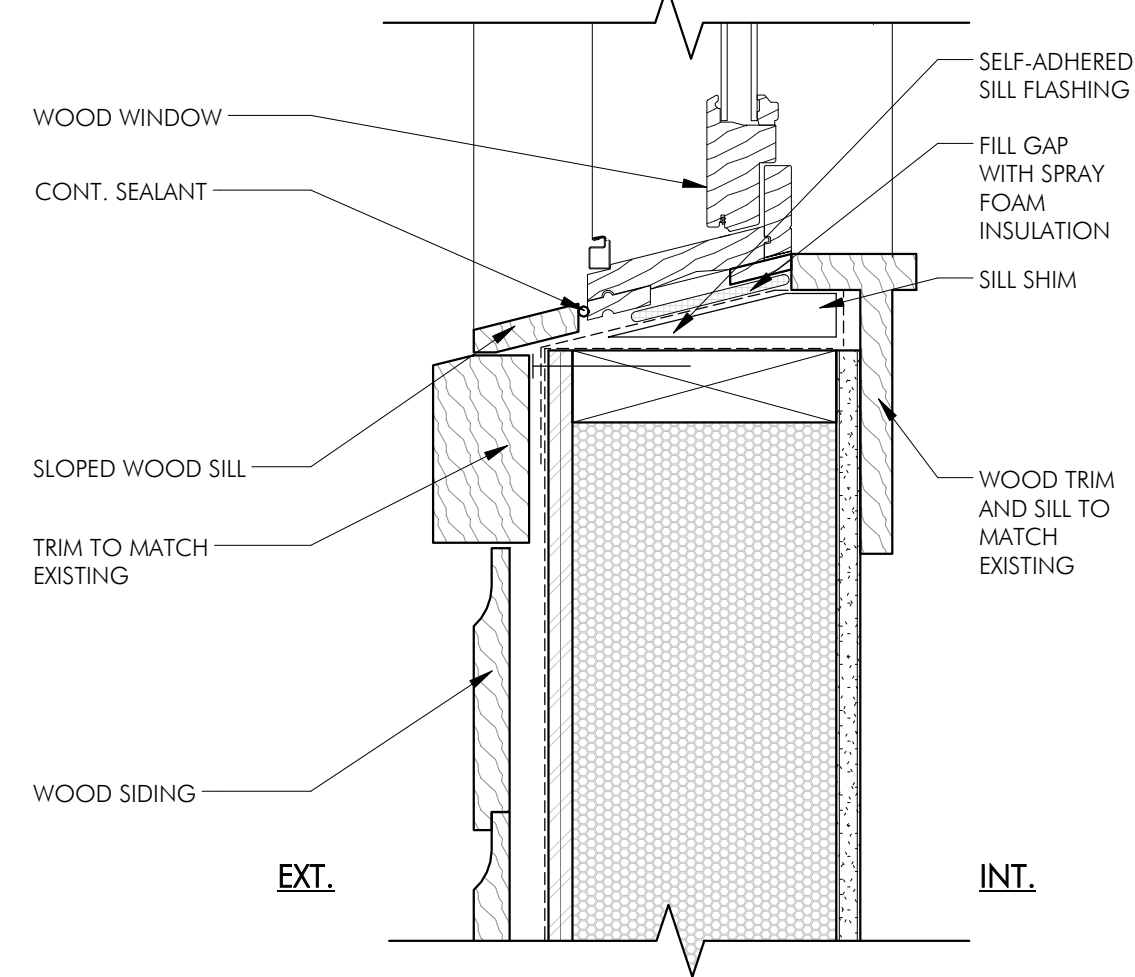
11 GARAGE DOOR THRESHOLD
3" = 1'-0"



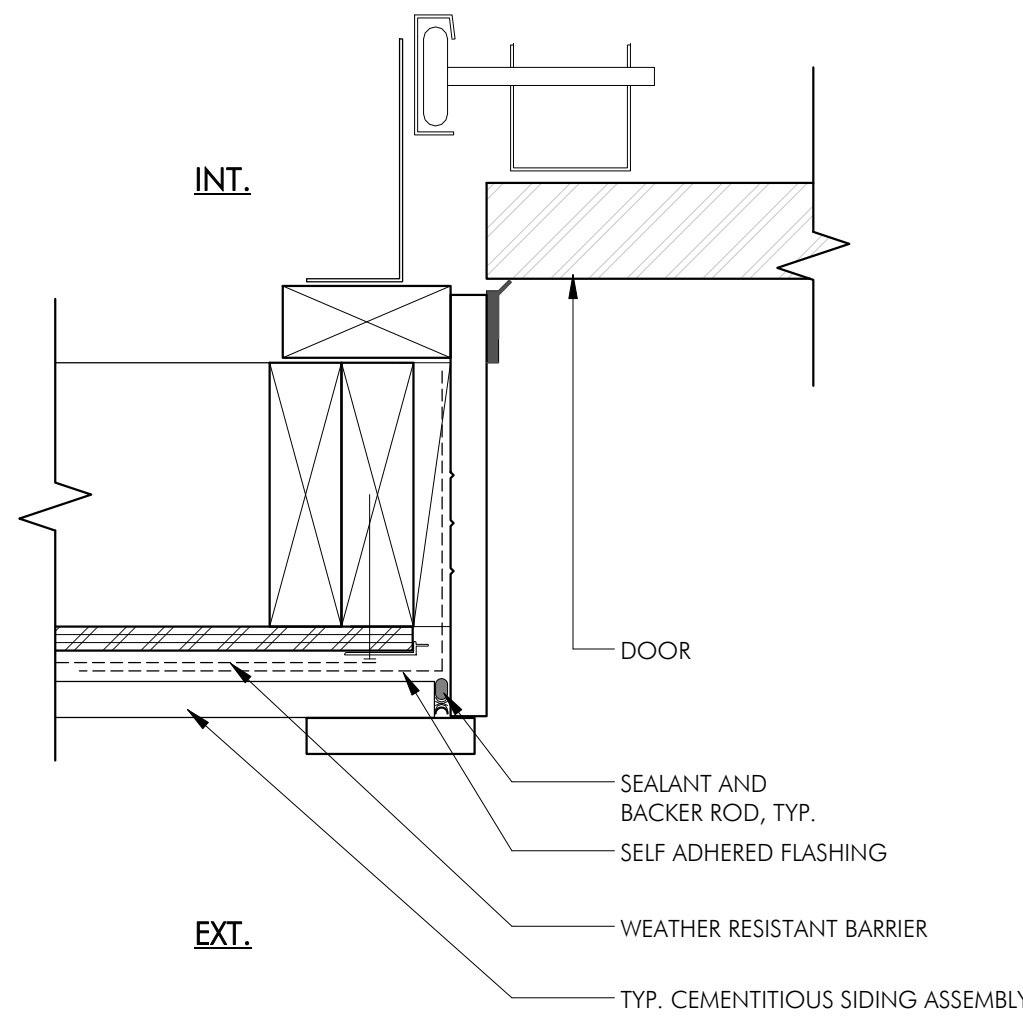
8 EXTERIOR DOOR THRESHOLD
3" = 1'-0"



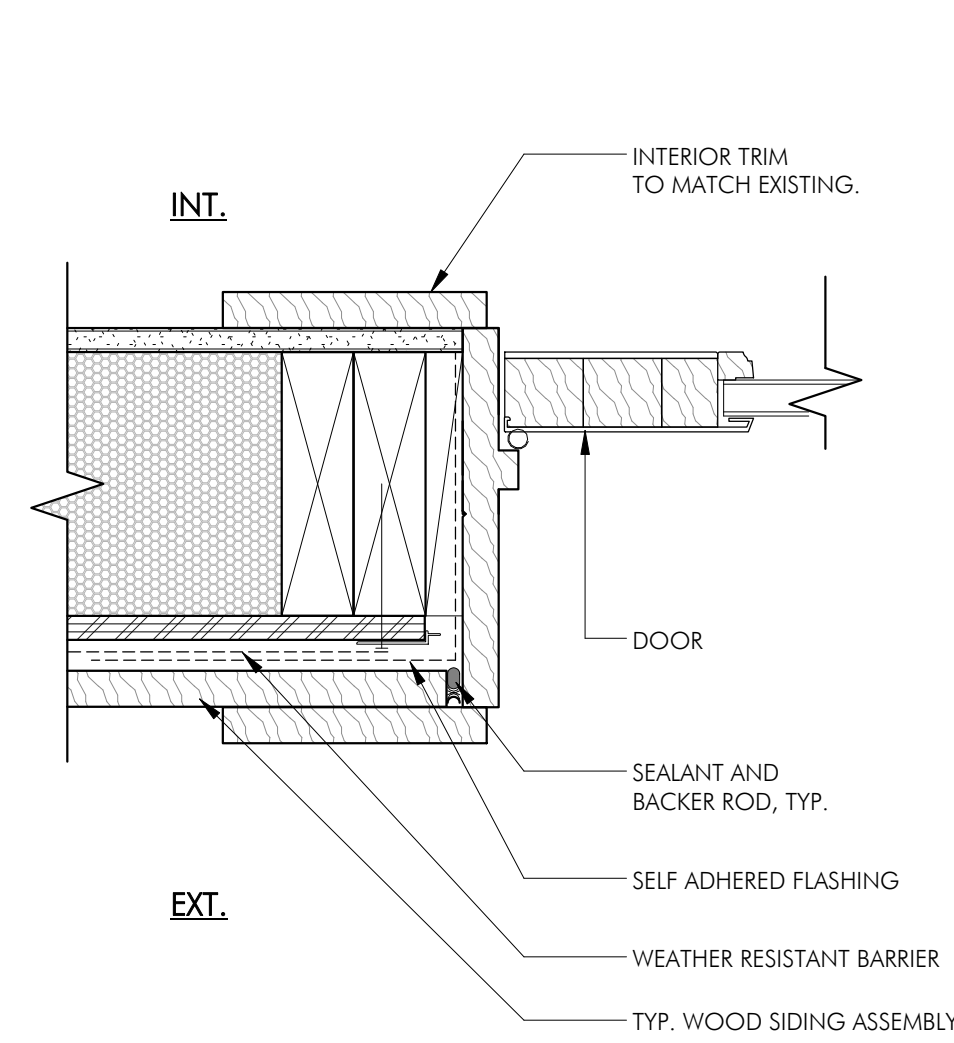
5 CURB @ CARRIAGE HOUSE & PORCH NICHE
3" = 1'-0"



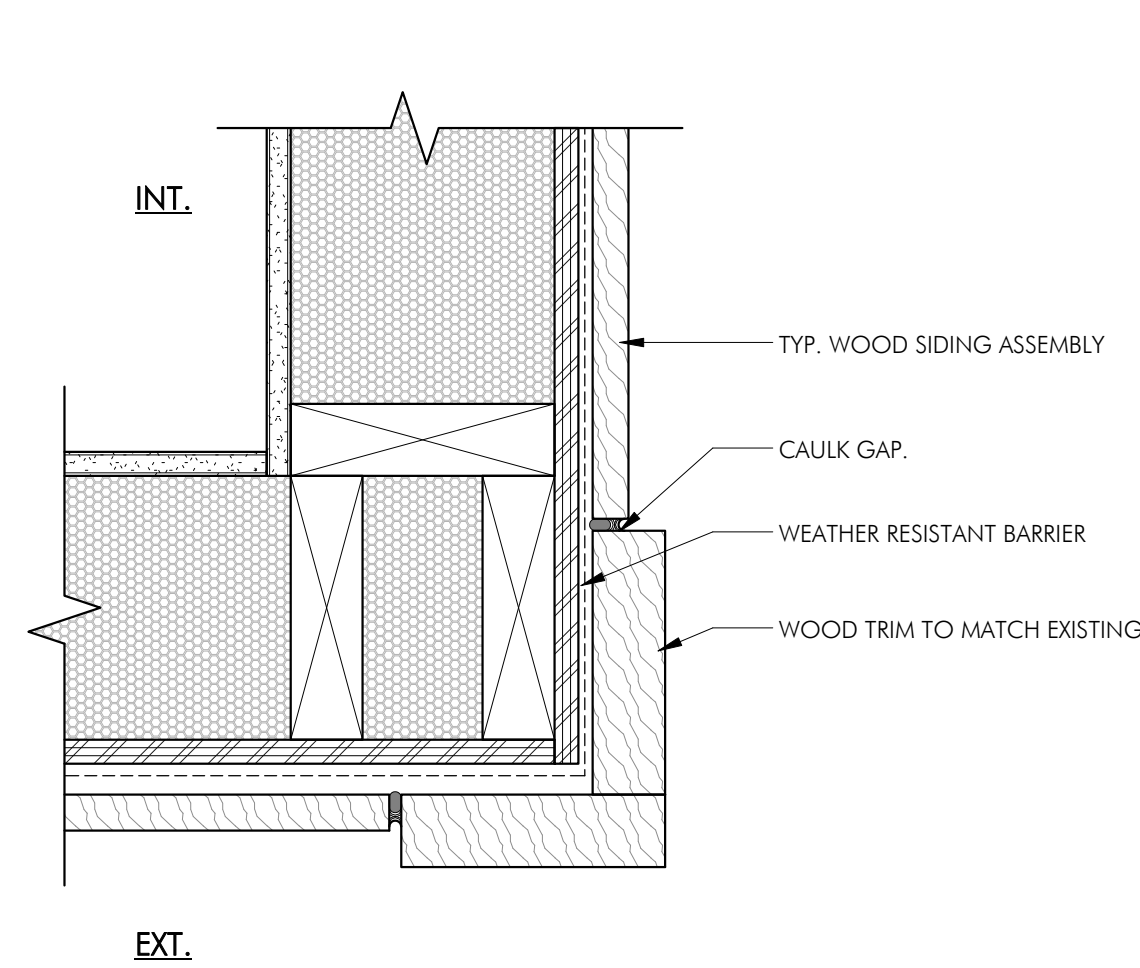
2 WDW SILL @ WOOD SIDING
3" = 1'-0"



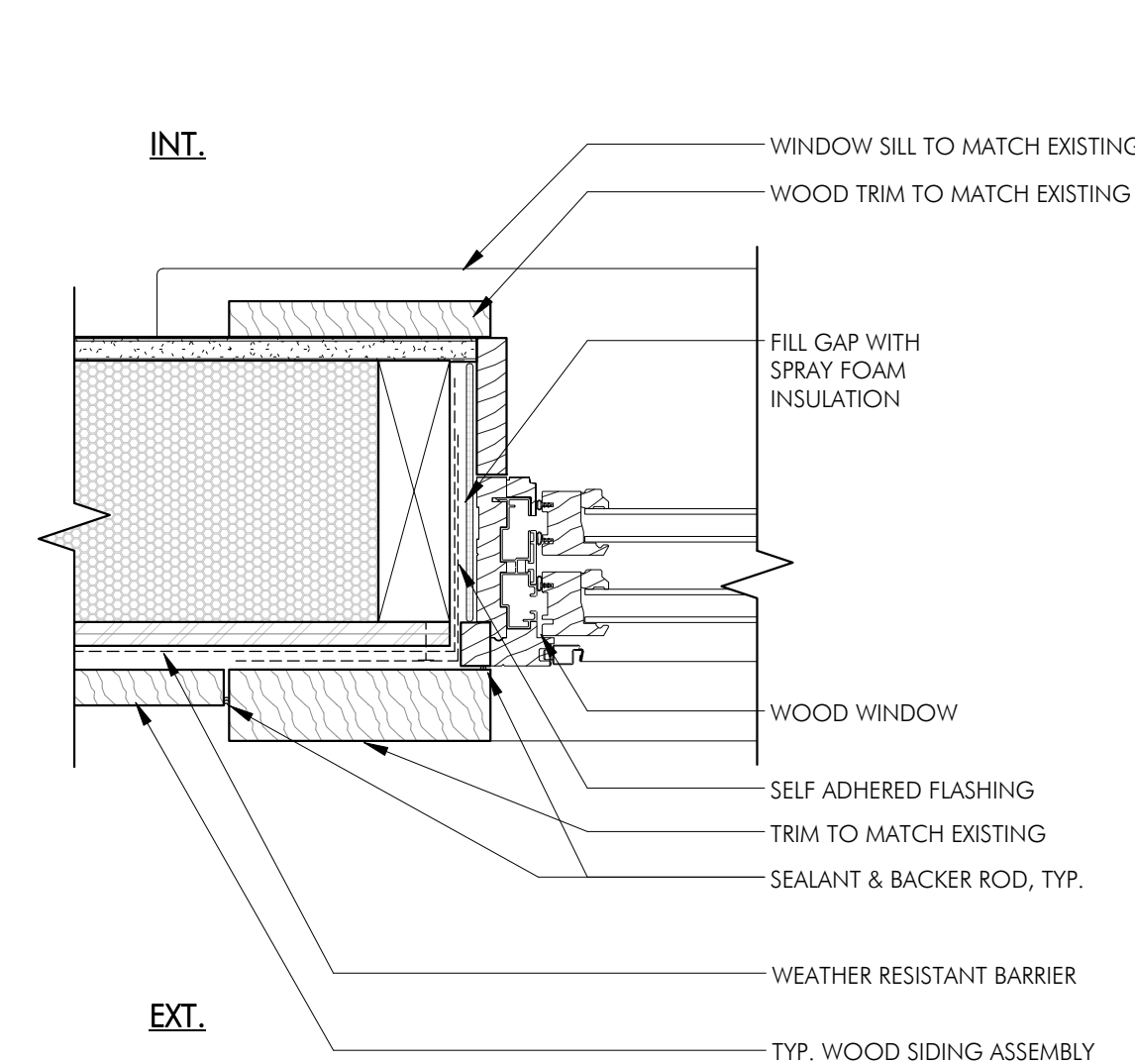
10 GARAGE DOOR JAMB
3" = 1'-0"



7 EXTERIOR DOOR JAMB
3" = 1'-0"



4 EXTERIOR CORNER TRIM @ WOOD SIDING
3" = 1'-0"



1 WDW JAMB @ WOOD SIDING
3" = 1'-0"

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DETAILS

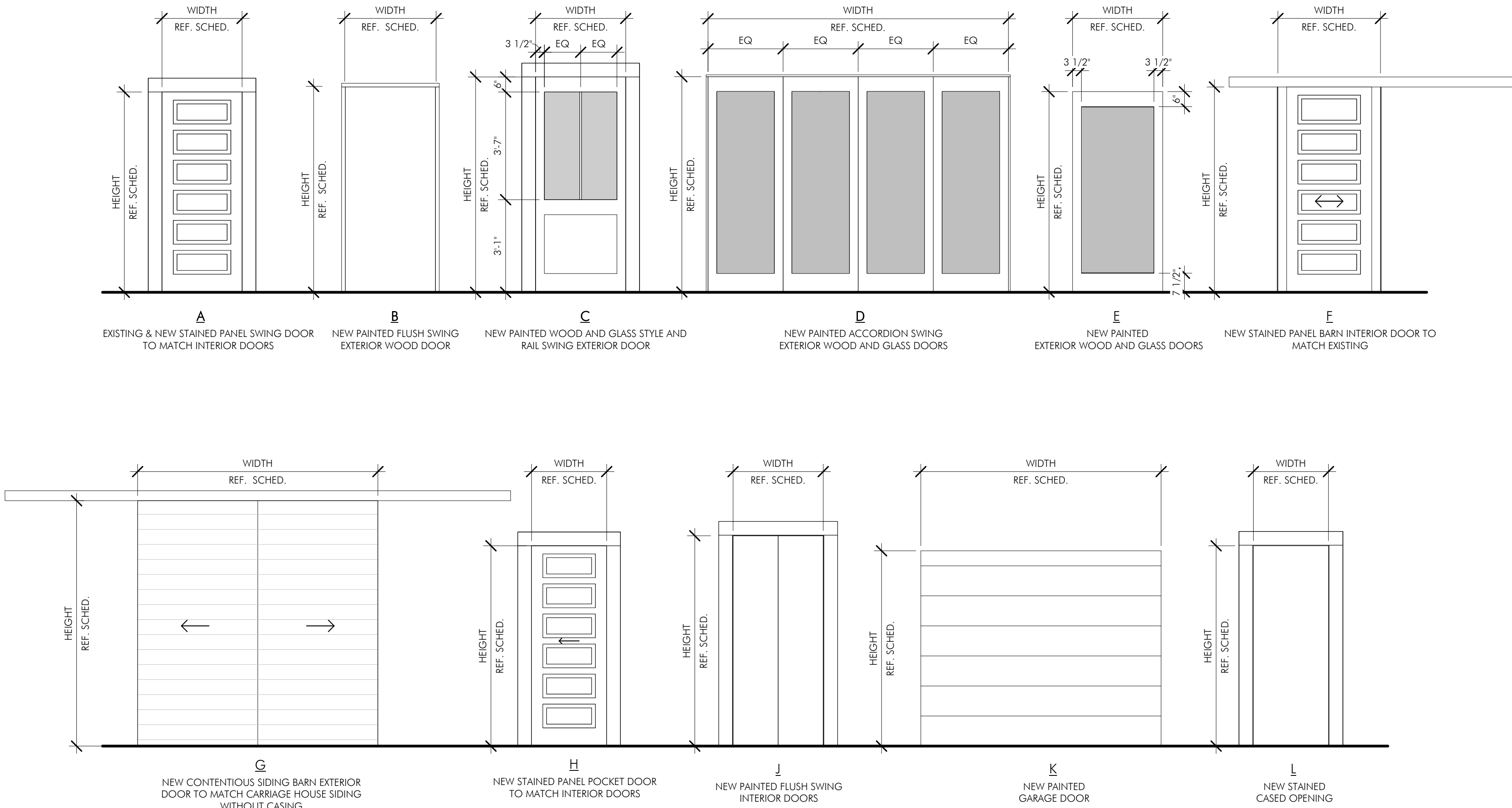
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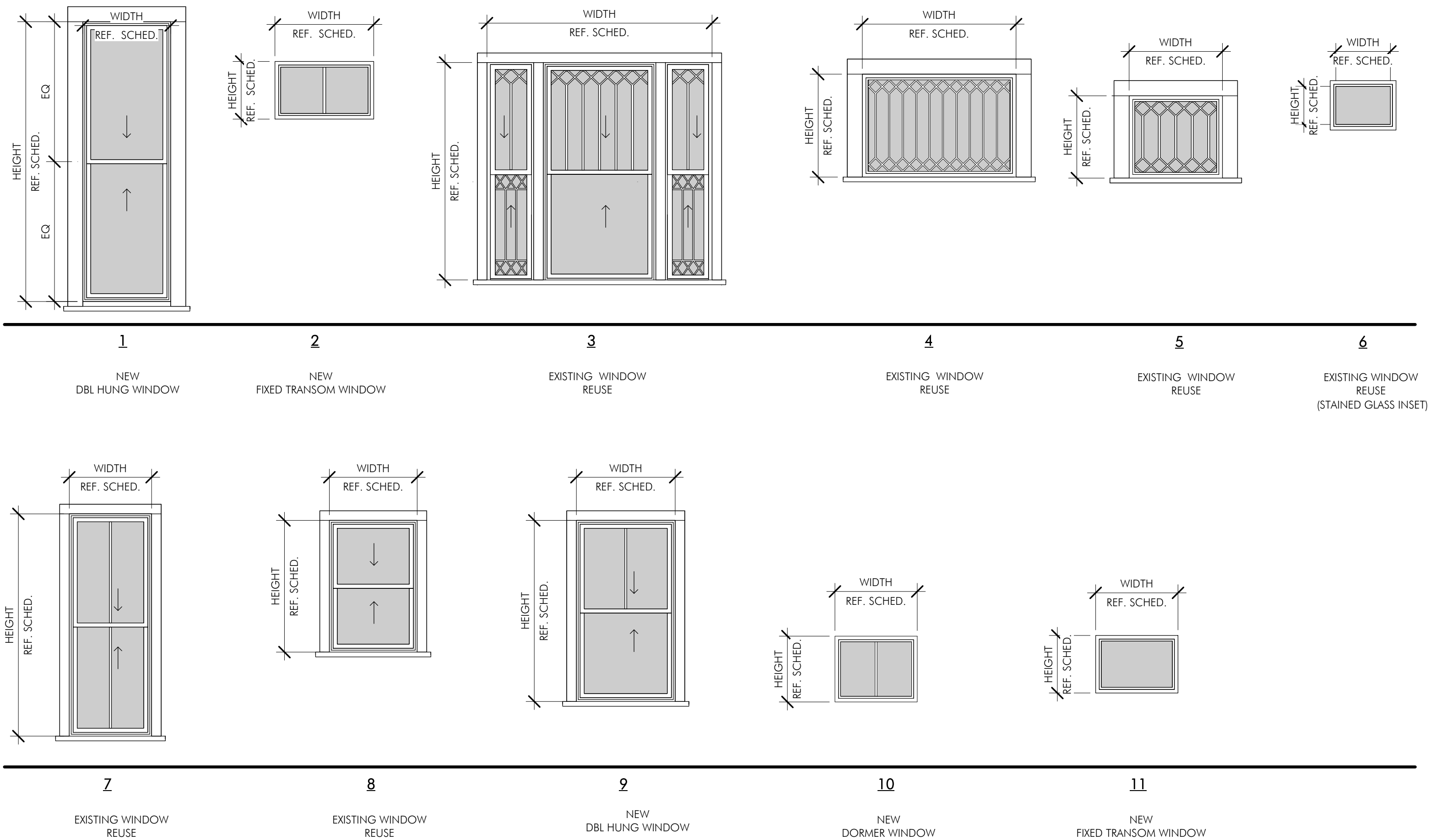
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A5.2



DOOR TYPES

3/8" = 1'-0"



WINDOW TYPES

3/8" = 1'-0"

DOOR SCHEDULE

MARK	TYPE	DOOR		TRIM	HARDWARE GROUP	COMMENTS	DETAIL REFERENCE		
		WIDTH	HEIGHT				HEAD	JAMB	SILL
100	D	10'-0"	7'-2"	5 1/2"	3	HAFELE AL FRESCO SUMMIT			
101	C	3'-0"	7'-2"	5 1/2"	3		9/A5.1	7/A5.1	8/A5.1
102	B	3'-0"	6'-10"	3 1/2"	3		9/A5.1	7/A5.1	8/A5.1
103	F	2'-10"	6'-10"	5 1/2"	5				
104	G	8'-0"	8'-0"	0"	5				
105	K	8'-0"	7'-0"	3 1/2"	NA	GARAGE DOOR	12/A5.1	10/A5.1	11/A5.1
106	K	8'-0"	7'-0"	5 1/2"	NA	GARAGE DOOR	12/A5.1	10/A5.1	11/A5.1
107	L	3'-0"	7'-2"	5 1/2"	NA	CASED OPENING			
108	L	2'-6"	6'-8"	5 1/2"	NA	CASED OPENING			
109	L	5'-1"	8'-9 1/4"	5 1/2"	NA	CASED OPENING			
110	L	2'-8"	6'-8"	5 1/2"	NA	CASED OPENING			
111	L	5'-0"	8'-0"	5 1/2"	NA	CASED OPENING			
200	H	2'-6"	6'-8"	5 1/2"	4				
201	J	3'-6"	6'-8"	3 1/2"	2				
202	J	3'-6"	6'-8"	3 1/2"	2				
203	C	3'-0"	7'-2"	3 1/2"	3		9/A5.1	7/A5.1	8/A5.1
204	D	12'-0"	6'-8"	5 1/2"	3	HAFELE AL FRESCO SUMMIT			
205		3'-0"	3'-0"	0"	NA	ATTIC ACCESS HATCH INTEGRATED IN WALL PANELING			
206	E	3'-0"	6'-8"	5 1/2"	3		9/A5.1	7/A5.1	8/A5.1
E100	A	2'-6"	6'-8"	5 1/2"	1	EXISTING SALVAGED DO TO BE RE-USED			
E102	A	2'-8"	6'-8"	3 1/2"	1	EXISTING SALVAGED DO TO BE RE-USED			
E103	A	2'-8"	6'-8"	3 1/2"	1	EXISTING SALVAGED DO TO BE RE-USED			
E200	A	2'-6"	6'-8"	5 1/2"	1	EXISTING SALVAGED DO TO BE RE-USED			
E201	A	2'-8"	6'-8"	5 1/2"	2	EXISTING SALVAGED DO TO BE RE-USED			
E202	A	2'-8"	6'-8"	5 1/2"	1	EXISTING SALVAGED DO TO BE RE-USED			
E203	A	2'-8"	6'-8"	3 1/2"	2	EXISTING SALVAGED DO TO BE RE-USED			
E204	A	2'-8"	6'-8"	5 1/2"	2	EXISTING SALVAGED DO TO BE RE-USED			

- DOOR NOTES:**
1. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE. TO BE VERIFIED BY CONTRACTOR.
 2. GLAZING TO BE INSULATED, LOW 'E', UNLESS NOTED OTHERWISE. ALL OPENINGS TO MEET CITY OF SAN ANTONIO ENERGY CODE W/ OVERALL U FACTOR OF 0.40 (OR BETTER) AND A SHGC OF 0.25 (OR BETTER).
 3. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
 4. HARDWARE TO BE SELECTED BY OWNER.
 5. COORDINATE DOOR SELECTIONS WITH OWNER PRIOR TO ORDERING.
 6. ALL DOORS WITH MARK 'E' ARE TO BE REUSED. CARE IS TO BE TAKEN DURING REMOVAL AND STORAGE, REPAIR AS NEEDED.
 7. TRANSOM AND SIDE LITES ON WINDOW SCHEDULE.
 8. ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL.

DOOR HARDWARE SCHEDULE

HARDWARE GROUP	LEVER W/ PASSAGE FUNCTION	LEVER W/ KEYED LOCKSET	THRU-BOLT DEADBOLT	HINGE SET	WEATHERSTRIPPING - TOP AND SIDES	THRESHOLD	PULL BAR	FLUSH PUSH/PULL	SLIDING DOOR PUSH/PULL	SLIDING DOOR TRACK/FLOOR GUIDE/STOP	Comments
1 - PRIVACY		x		x							
2 - PASSAGE	x		x								
3 - EXTERIOR		x	x	x	x						
4 - POCKET DOOR								x	x	x	
5 - BARN DOOR SLIDER						x		x	x		

WINDOW SCHEDULE

KEY	TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	TRIM	COMMENTS	DETAIL REFERENCE		
								HEAD	JAMB	SILL
A	1	3'-0"	6'-1"	1'-2"	7'-3"	TO MATCH EXISTING		3/A5.1	1/A5.1	2/A5.1
B	2	3'-0"	1'-9"	7'-7 3/4"	9'-4 3/4"	TO MATCH EXISTING		3/A5.1	1/A5.1	2/A5.1
E1	3	6'-10"	6'-8"	1'-2"	7'-10"	3 1/2"	EXISTING SALVAGED UNIT, RELOCATED			
E3	4	4'-8"	3'-1 1/2"	3'-7"	6'-8 1/2"	TO MATCH EXISTING	EXISTING SALVAGED UNIT, RELOCATED			
E4	6	2'-0"	1'-6"	7'-0"	8'-6"	TO MATCH EXISTING	EXISTING SALVAGED UNIT, RELOCATED, STAINED GLASS INSET			
E5	5	2'-10"	2'-6"	6'-0"	8'-6"	TO MATCH EXISTING	EXISTING SALVAGED UNIT, RELOCATED			
E6	7	2'-6"	6'-9"	1'-9"	8'-6"	TO MATCH EXISTING	EXISTING SALVAGED UNIT, RELOCATED	3/A5.1	1/A5.1	2/A5.1
E7	8	2'-8"	4'-2"	4'-4"	8'-6"	TO MATCH EXISTING	EXISTING SALVAGED UNIT, RELOCATED	3/A5.1	1/A5.1	2/A5.1
E8	8	2'-8"	4'-0"	3'-10"	7'-10"	3 1/2"	EXISTING SALVAGED UNIT, RELOCATED	3/A5.1	1/A5.1	2/A5.1
F	11	2'-6"	1'-9"	7'-7 3/4"	9'-4 3/4"	TO MATCH EXISTING				
G	10	2'-6"	2'-0"	11'-1 1/2"	13'-1 1/2"	3 1/2"				
J	1	1'-5"	5'-9 3/4"	3'-7"	9'-4 3/4"	TO MATCH EXISTING		3/A5.1	1/A5.1	2/A5.1
K	9	3'-0"	5'-6"	2'-4"	7'-10"	3 1/2"		3/A5.1	1/A5.1	2/A5.1
L	11	2'-8"	1'-7 3/4"	7'-1 3/4"	8'-9 1/2"	TO MATCH EXISTING	INTERIOR TRANSOM			
M	2	3'-7 1/4"	1'-9"	7'-6 3/4"	9'-3 3/4"	TO MATCH EXISTING				
N	11	4'-8"	2'-2 3/4"	7'-2"	9'-4 3/4"	TO MATCH EXISTING				
P	11	3'-0"	1'-5 3/8"	8'-6"	8'-6"	TO MATCH EXISTING				
Q	11	3'-2"	2'-6"	6'-3"	8'-9"	TO MATCH EXISTING				
S	9	2'-0"	4'-0"	3'-10"	7'-10"	3 1/2"		3/A5.1	1/A5.1	2/A5.1

- WINDOW NOTES:**
1. ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL.
 2. GLAZING TO BE INSULATED, LOW 'E', UNLESS NOTED OTHERWISE. ALL WINDOWS TO MEET CITY OF SAN ANTONIO ENERGY CODE W/ OVERALL U-FACTOR OF 0.40 (OR BETTER) AND A SHGC OF 0.25 (OR BETTER).
 3. PROVIDE TEMPERED GLAZING AS NOTED AND AS REQUIRED BY CODE - TO BE VERIFIED BY CONTRACTOR.
 4. TRANSOMS AND SIDE LITES INDICATED ON WINDOW SCHEDULE.
 5. REFERENCE HEAD, JAMB & SILL DETAILS ON SHEET A5.0.
 6. CAULK NAILING FLANGE AND BLOCKING PER WINDOW MFR. INSTALLATION INSTRUCTIONS.
 7. MULTIPLE UNITS IN THE SAME OPENING ARE TO BE FACTORY MULLED.
 8. ALL WINDOWS LOCATED INSIDE A SHOWER TO HAVE FILM APPLIED TO GLAZING AND WOOD FRAMES TO BE PAINTED.
 9. ALL WINDOWS WITH MARK 'E' ARE EXISTING TO BE REUSED. CARE IS TO BE TAKEN DURING REMOVAL AND STORAGE, REPAIR AS NEEDED.
 10. ALL SIZES TO BE VERIFIED ON SITE BY WINDOW FABRICATOR. SIZES NOTED IN THIS SCHEDULE ARE GENERAL.
 11. VERIFY ALL EXISTING WINDOW SIZES IN FIELD.

Architects
Clayton&Little

429 N. St. Mary's Street
San Antonio, Texas 78205
210 446 7558

www.claytonandlittle.com



FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

OLIVER RESIDENCE

119 ADAMS ST. SAN ANTONIO, TX. 78210

DATE ISSUED FOR
11.10.2017 CD

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PROJECT NUMBER: 1667

DOOR & WINDOW SCHEDULES

A6.o

11/10/2017 10:07:36 AM



4 PORCH VIEW FROM GARAGE



3 PORCH VIEW FROM LIVING ROOM



2 PORCH VIEW FROM YARD



1 PORCH VIEW FROM YARD

* PERSPECTIVES ARE FOR GENERAL VISUAL REFERENCE; NOT FOR CONSTRUCTION.

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EXTERIOR PERSPECTIVES

A8.0

11/10/2017 10:08:05 AM



2 MASTER BEDROOM



1 PORCH BUFFET

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EXTERIOR & INTERIOR
PERSPECTIVES

A8.1

11/10/2017 10:08:39 AM



4 KITCHEN



3 KITCHEN & LIVING



2 MASTER BATHROOM



1 CARRIAGE HOUSE

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Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

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INTERIOR PERSPECTIVES

A8.2

City of San Antonio

Development Services Department**List Inspections By Permit Number**

Enter A/P Number: 2303571

Search

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A/P Number: [2303571](#)**A/P Type:** RESIDENTIAL BLDG APPLICATION**Address:** 119 ADAMS ST

Work Summary: 10/11/18 ENG FRM LTR ON FILE **LMENDOZA** NEW 2 STORY DETACHED ACCESORY DWELLING; NON CONDITIONED GARAGE AND STORAGE ONE LEVEL 1, 1 BED 1 BATH APARTMENT ON LEVEL 2. WORK ALSO INCLUDES REMODEL OF EXISTING HOUSE TO INCLUDE KITCHEN, LIVING, MASTER SUITE AND EXETRIOR PORCH. VOLUME: , PAGE: , NCB: 931, BLOCK: 1, LOT: 17&18, ZONE: RM-4 H HS. RESCHECK SUBMITTED. 12/15/2017 NOTIFIED NICOLE CORWIN BY EMAIL PLANS READY FOR PICK UP IN "N" BIN PERMIT FEES DUE \$718.16/EP** 02/28/2018 PLANS PICKED UP BY EDWARD DIAZ/EP**

CPS Release Info: CPSGAS 6/27/2019 10:45:18 AM 2409574**Unpaid Fees:** \$0.00**COO Issued:** PERM 6/28/2019

Child Permits:	2378915	PLUMBPERM
	2409574	PLUMBPERM
	2414024	MECHPERM
	2459010	PLUMBPERM
	2498162	ELECPERM

Reviews**Contractors/Contacts**

NICOLE E CORWIN

EDWARD DIAZ CONSTRUCTION

EDWARD X DIAZ

EDWARD DIAZ CONSTRUCTION, LLC

Insp Type	Request Date	Insp Date	Insp Status	Inspector Name	Insp Comments
BUILDING FOUNDATION INSPECT	10/11/2018 9:51:00 AM	10/18/2018 2:00:00 PM	PARTIAL PASSED	GUSTAVO SILVA	SUBMITTED LETTER IS FOR FRAME. REQUIRES AN ENGINEERS OBSERVATION LETTER TO CLEAR. GS#117
BUILDING FRAME INSPECTION	10/11/2018 9:09:00 AM	10/12/2018 11:13:00 AM	FAILED	JOSE RAMIREZ	
BUILDING FINAL INSPECTION	6/27/2019 11:07:00 AM	6/28/2019 1:27:00 PM	PASSED	JOSE RAMIREZ	
DUCT TEST INSPECTION REPORT		6/21/2019 3:26:00 PM	PASSED		6/21/19 IB-167 ON FILE, SIGNED BY JOHN W OWENS HERS 7149780 **LMENDOZA**

[ENVELOPE
PRESSURE
TESTING](#)

6/21/2019
3:26:00 PM

PASSED

6/21/19 IB-167 ON FILE, SIGNED BY JOHN W OWENS
HERS 7149780 **LMENDOZA**

[FENESTRATION
LETTER](#)

6/21/2019
3:26:00 PM

PASSED

6/21/19 IB-167 ON FILE, SIGNED BY JOHN W OWENS
HERS 7149780 **LMENDOZA**

[PLUMBING
SYSTEMS
LETTER](#)

6/21/2019
3:27:00 PM

PASSED

6/21/19 IB-167 ON FILE, SIGNED BY JOHN W OWENS
HERS 7149780 **LMENDOZA**

[MECHANICAL
SYSTEMS
LETTER](#)

6/21/2019
3:26:00 PM

PASSED

6/21/19 IB-167 ON FILE, SIGNED BY JOHN W OWENS
HERS 7149780 **LMENDOZA**

[BUILDING
INSULATION
INSP/LTR](#)

6/21/2019
3:25:00 PM

PASSED

6/21/19 IB-167 ON FILE, SIGNED BY JOHN W OWENS
HERS 7149780 **LMENDOZA**

[BUILDING
FRAME
INSPECTION](#)

10/16/2018 10/17/2018
9:39:00 AM 10:34:00 AM

PASSED

JOSE
RAMIREZ

[BUILDING
FOUNDATION
INSPECT](#)

6/20/2019 6/27/2019
4:19:00 PM 9:33:00 AM

PASSED

JOHN
VALADEZ

[BUILDING
FRAME
INSPECTION](#)

10/12/2018 10/15/2018
1:06:00 PM 10:25:00 AM

FAILED

JOSEPH
BERNAL

1

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*City of San Antonio****Development Services Department*****Inspection Details****A/P Number:** 2303571**Address:** 119 ADAMS ST**Inspection Type:** BUILDFIN**Inspection Date:** 6/28/2019 1:27:00 PM**Inspection Status:** PASSED**Inspector Name:** JOSE RAMIREZ**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
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*City of San Antonio****Development Services Department*****Inspection Details****A/P Number:** 2383721**Address:** 119 ADAMS ST**Inspection Type:** ELECFIN**Inspection Date:** 6/20/2019 3:38:00 PM**Inspection Status:** CLOSED**Inspector Name:** MARK SUEHS**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
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City of San Antonio

Development Services Department**Inspection Details****A/P Number:** 2498162**Address:** 119 ADAMS ST**Inspection Type:** ELECFIN**Inspection Date:** 6/24/2019 3:47:00 PM**Inspection Status:** PASSED**Inspector Name:** FREDERICK LABAR**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
1)UNABLE TO INSPECT LIVING AREA(FURNITURE) 2)WR RECEPTACLES FOR OUTDOOR AREA 3)2SMALL APPLIANCE CIRCUITS REQUIRED(APARTMENT KITCHEN) 4)ISLAND OUTLET SHALL NOT HAVE MORE THAN 6IN OVERHANG 5)WALL SPACING IN LIVING RM 6)GFCI PROTECT COUNTER OUTLETS CONT.		OTHER TYPE OF VIOLATION	6/19/2019

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*City of San Antonio****Development Services Department*****Inspection Details****A/P Number:** 2409574**Address:** 119 ADAMS ST**Inspection Type:** GASFIN**Inspection Date:** 6/25/2019 8:39:00 AM**Inspection Status:** PASSED**Inspector Name:** JEROME TRUSS**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
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*City of San Antonio****Development Services Department*****Inspection Details****A/P Number:** 2414024**Address:** 119 ADAMS ST**Inspection Type:** MECHFIN**Inspection Date:** 6/25/2019 12:42:00 PM**Inspection Status:** PASSED**Inspector Name:** JOSE FRIAS**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
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Development Services Department**Inspection Details****A/P Number:** 2378915**Address:** 119 ADAMS ST**Inspection Type:** PLUMBFIN**Inspection Date:** 6/27/2019 10:45:00 AM**Inspection Status:** PASSED**Inspector Name:** JEROME TRUSS**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
TEMPERING VALVE ON TUB- TEST TUB-- COMBUSTION AIR ON WATER HEATER		OTHER TYPE OF VIOLATION	6/25/2019

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*City of San Antonio****Development Services Department*****Inspection Details****A/P Number:** 2459010**Address:** 119 ADAMS ST**Inspection Type:** SEWERFIN**Inspection Date:** 2/26/2019 11:02:00 AM**Inspection Status:** PASSED**Inspector Name:** JEROME TRUSS**Required Remarks:****Post Remarks:**

Comments 1	Comments 2	Comments 3	Viol Date
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