

HISTORIC AND DESIGN REVIEW COMMISSION

November 06, 2019

HDRC CASE NO: 2019-604
ADDRESS: 3222 SHIMMERING DAWN
LEGAL DESCRIPTION: NCB 17634 BLK 15 LOT 901 (NORTH SAN ANTONIO HILLS UT-1)
ZONING: R-20
CITY COUNCIL DIST.: 6
APPLICANT: Justin Sherwood/Open Air Studios
OWNER: CITY OF SAN ANTONIO
TYPE OF WORK: Construction of a public park
APPLICATION RECEIVED: October 14, 2019
60-DAY REVIEW: December 13, 2019
CASE MANAGER: Rachel Rettaliata
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to: construct a new public park which will include (1) off-street parallel parking, (2) site lighting for user safety, (3) an ADA port-a-potty facility, (4) bike rack parking, (5) a shade pavilion, (6) new side walk access to various amenities.

APPLICABLE CITATIONS:

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio

and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used.

Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

- a. The property located at 3222 Shimmering Dawn is a newly proposed park to be named North Hills Park, located in the North San Antonio Hills neighborhood, northwest of the city. The project was funded by the 2017 Bond Program.
- b. PARKING – The applicant has proposed to install off-street parallel parking along Shimmering Dawn. Staff finds the proposal generally consistent with the UDC.
- c. LIGHTING – The applicant has proposed to install pedestrian lighting along new pathways within the park and at the proposed pavilion area. Staff finds the proposal consistent with the UDC.
- d. RESTROOM FACILITY – The applicant has proposed to install a new ADA port-a-potty facility. The facility will be located near Shimmering Dawn, beside the parallel parking area. Staff finds the proposal consistent with the UDC.
- e. PARK AMENITIES – The applicant has proposed to install several park amenities, including concrete picnic tables, trash receptacles, bike racks, and grilling stations. Staff finds the proposal generally consistent with the UDC Sec. 35-642 (b).
- f. PAVILION – The applicant has proposed to construct a new shade pavilion to be used for community gatherings. The pavilion will be a basic gable structure constructed from steel with steel roof panels. Staff finds the proposal generally consistent with the UDC.
- g. SIDEWALKS AND PAVING – The applicant has proposed to install new sidewalks and paving within the park. Materials include medium broom finished concrete sidewalk and medium broom finished concrete slab. Staff finds the proposal generally consistent with the UDC.
- h. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

RECOMMENDATION:

Staff recommends final approval based on findings a through h with the following stipulations:

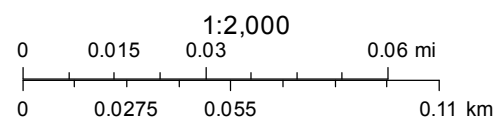
- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

City of San Antonio One Stop

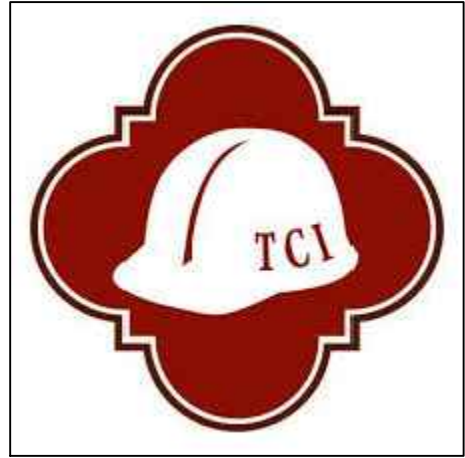


October 15, 2019

— User drawn lines



CoSA



CITY OF SAN ANTONIO

NORTH HILLS PARK

3222 SHIMMERING DAWN
SAN ANTONIO, TEXAS



CITY MANAGER

ERIK WALSH

INTERIM DIRECTOR OF TCI

RAZI HOSSEINI, P.E.

INTERIM DIRECTOR OF PARKS AND RECREATION

HOMER GARCIA

PROJECT MANAGER

MARK WITTLINGER

PH. # 210-207-2874

PRIME CONSULTANT

OPEN AIR STUDIOS, LLC
LANDSCAPE ARCHITECT

PH. # 210-908-6736

CIVIL ENGINEER

KIMLEY-HORN & ASSOC.

PH. # 210-321-3435

MEP ENGINEER

CNG ENGINEERING

PH. # 210-224-8841

SHEET INDEX

LANDSCAPE ARCHITECTURE

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TP.02 TREE PRESERVATION DETAILS
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L2.02 SITE DETAILS
L2.03 SITE DETAILS
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CIVIL ENGINEER

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MECHANICAL / ELECTRICAL / PLUMBING

E0.00 ELECTRICAL SYMBOLS & ABBREVIATIONS
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AND SCHEDULES
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DATE OF ISSUE: 10/XX/2019

PROJECT NUMBER

23-01689

FUNDING

2017 BOND PROGRAM

CITY COUNCIL

MAYOR

RON NIRENBERG

COUNCIL

ROBERTO TREVINO	DISTRICT 1
JADA ANDREWS-SULLIVAN	DISTRICT 2
REBECCA VIAGRAN	DISTRICT 3
DR. ADRIANA ROCHA GARCIA	DISTRICT 4
SHIRLEY GONZALES	DISTRICT 5
MELISSA CABELLO HAVRDA	DISTRICT 6
ANA SANDOVAL	DISTRICT 7
MANNY PELAEZ	DISTRICT 8
JOHN COURAGE	DISTRICT 9
CLAYTON PERRY	DISTRICT 10

OUR MISSION: THROUGH INNOVATION AND DEDICATION, WE BUILD AND
MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT

MUNICIPAL PLAZA BUILDING 114 W. COMMERCE SAN ANTONIO, TX 78238 PH # 210-207-8413 FAX # 210-207-2197

"Although it is not the responsibility of the City to provide sets of drawings and/or specifications to the successful Contractor for the construction of this project, the City may provide extra or returned sets that are available, if any from the bidding process. All other sets as deemed required by the Contractor, for the purposes of construction of this project, shall be obtained and paid by the Contractor."



OWNER:
CITY OF SAN ANTONIO

INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.

DATE: 10-10-2019

LANDSCAPE

ARCHITECT: MATTHEW MOCZYGENBA

REGISTRATION: 2484

ISSUED: XX XXX. 2018

SHEET TITLE:
TREE
PRESERVATION

ROOT PRUNING

- A. Prune roots within root zone areas of trees using hand-digging techniques.
- B. Cut roots measuring one inch (1") in diameter or larger using sharpened pruning shears or pruning saw to make a clean, smooth-cut surface. Do not chop roots.
- C. Large roots measuring three inches (3") in diameter and larger shall be cut using a sharpened saw.
- D. Cut roots flush with edge of soil to limit root exposure.
- E. Apply appropriate, non-toxic pruning paint labeled for horticultural use immediately to all wounds on trees.

2. Route underground utility lines around tree root zone areas where possible.
3. Where excavating is required within root zones, hand excavate and tunnel under or around roots to minimize damage and to preserve roots measuring one inch (1") in diameter and larger.
4. Where excavation is unavoidable within root zone areas, proper tree root pruning techniques shall be used.
5. Do not allow exposed roots to dry out before permanent backfill is in place.
6. Maintain existing natural grade within the dripline of trees.
7. Solid fill within root zone areas shall be free of harmful chemicals and adequate for supporting healthy root growth.
8. Where existing grade around trees is below proposed finish grade place up to a maximum of three inches (3") of clean bank sand in a single layer to make the transition to new grade. Do not compact. Hand grade to required elevation. Large surface roots (that were exposed prior to construction) shall remain exposed.
9. Contractor to receive written authorization from the landscape architect prior to initiation of any construction activity and/or tree preservation activities that take place within the tree preservation zone.
10. There shall not be storage of any materials, equipment, soil etc. under dripline of existing trees.
11. If construction activity is to occur close to any trees not identified for protection, contractor is responsible to install additional protection fencing if required.
12. All sidewalks installed under tree's dripline to be hand dug. Landscape architect to approve location prior to digging, etc.
13. If hand grading is required within dripline, no fill should be added. Contractor to have approval from certified arborist before grading areas under tree dripline.
14. Refer to civil drawings for all existing and proposed utilities, rights of ways, and easements.
15. Refer to tree preservation specifications for pruning of existing trees where vehicular traffic or construction conflicts with existing tree canopy.
16. Contractor to stake tree protection fencing for landscape architect approval. Contact landscape architect 48 hours prior to installation.
17. Contractor to supply on-site certified arborist to supervise all tree protection, re-location, pruning, fertilizing, etc. work.
18. All preserved trees to have tree protection fencing placed around trees at radius equal to 6" per diameter inch (1") of trunk of tree.
19. All wounds to the trunk, limbs, and root system of oak trees in the city that expose sapwood shall be painted within thirty minutes of the wound being created with asphaltic or exterior oil or latex based paint.

SHIMMERING DAWN

PROPERTY LINE

25 - 15" Cedar Elm

26 - 9" Cedar Elm

21 - 11" Cedar Elm

20 - 11" Cedar Elm

22 - 11" Cedar Elm

23 - 9" Cedar Elm

24 - 11" Cedar Elm

27 - 9" Cedar Elm

28 - 9" Cedar Elm

29 - 9" Cedar Elm

14" GAS, ELECTRIC, TELEPHONE AND CABLE T.V. EASEMENT

30' BUILDING SETBACK (VOL. 700, PGS. 6-8 D.P.R.)

NOTE: CONTRACTOR SHALL LIMB UP ALL TREE CANOPIES TO 80" ABOVE FFE FOR ADA HEAD-CLEARANCE COMPLIANCE.

HEDGE ROW TO BE PRESERVED

67 - 5" Red Oak

66 - 5" Red Oak

92 - 5" Live Oak

68 - 3" Crape Myrtle

70 - 5" Live Oak

69 - 7" Live Oak

71 - 5" Live Oak

72 - 5" Live Oak

59 - 17" Hackberry

58 - 17" Hackberry

30 - 17" Hackberry

31 - 9" Cedar Elm

33 - 9" Cedar Elm

32 - 9" MA

54 - 5" Live Oak

53 - 5" Live Oak

52 - 5" Live Oak

51 - 7" Live Oak

41 - 17" Cedar Elm

48 - 5" Red Oak

49 - 17" Cedar Elm

45 - 9" Cedar Elm

50 - 5" Live Oak

42 - 15" Hackberry

40 - 5" Cedar Elm

41 - 5" Cedar Elm

77 - 5" Live Oak

76 - 13" Cedar Elm

78 - 13" Hackberry

116 - 17" Live Oak

115 - 7" Red Oak

114 - 7" Red Oak

112 - 7" Fruit Tree

144 - 7" Red Oak

102 - 13" Live Oak

90 - 27" Live Oak

73 - 13" Red Oak

89 - 13" Live Oak

88 - 11" Live Oak

96 - 5" Redbud

104 - 19" Mesquite

179 - 5" Texas Pistache

175 - 35" Live Oak

87 - 5" Live Oak

86 - 15" Red Oak

84 - 5" Live Oak

85 - 7" Crape Myrtle

83 - 15" Mesquite

75 - 13" Live Oak

174 - 9" Crape Myrtle

173 - 17" Live Oak

164 - 13" Live Oak

163 - 13" Live Oak

162 - 13" Live Oak

167 - 11" Live Oak

166 - 17" Live Oak

165 - 15" Live Oak

168 - 13" Live Oak

169 - 5" Live Oak

170 - 5" Live Oak

171 - 9" Live Oak

172 - 13" Live Oak

PROPOSED STAGING AREA

PROPERTY LINE

30'-0"

20'-0"

PROPERTY LINE

SCALE 1" = 20' - 0"

10 0 20 40



LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN
2722 W. BITTERS RD, STE #114
SAN ANTONIO, TX 78248
P: 210-908-6736
WWW.GOPENAIR.COM

PROJECT:
NORTH SA HILLS
PARK

OWNER:
CITY OF SAN ANTONIO

LOCATION:
SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY
Document incomplete; Not intended for
permit, bidding or construction.
DATE: 10-10-2019
LANDSCAPE
ARCHITECT: MATTHEW MOCZYGENBA
REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX. 2018

SHEET TITLE:
TREE
PRESERVATION
& DETAILS

SHEET NUMBER:
TP.02

NORTH SA HILLS PARK																		
							Understory Species* 5.0" +		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Notes	
Tag #	Species	Tree Code	Size (inches)	Heritage (Y/N)	Save	Exempt Code	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved		
20	CEDAR ELM	S1	11		PRESERVED					11								
21	CEDAR ELM	S1	11		PRESERVED					11								
22	CEDAR ELM	S1	11		PRESERVED					11								
23	CEDAR ELM	S1	9		PRESERVED					9								
24	CEDAR ELM	S1	11		PRESERVED					11								
25	CEDAR ELM	S1	15		PRESERVED					15								
26	CEDAR ELM	S1	9		PRESERVED					9								
27	CEDAR ELM	S1	9		PRESERVED					9								
28	CEDAR ELM	S1	9		PRESERVED					9								
29	CEDAR ELM	S1	9		PRESERVED					9								
30	HACKBERRY	S2	17		PRESERVED							17						
31	CEDAR ELM	S1	9		PRESERVED					9								
32	LIVE OAK	S1	9		PRESERVED					9								
33	CEDAR ELM	S1	9		PRESERVED					9								
41	CEDAR ELM	S1	17		PRESERVED					17								
42	HACKBERRY	S2	15		PRESERVED							15						
45	CEDAR ELM	S1	9		PRESERVED					9								
47	GRAPE MYRTLE	U	5		REMOVED		5											
49	CEDAR ELM	S1	17		PRESERVED					17								
51	LIVE OAK	S1	7		PRESERVED					7								
58	HACKBERRY	S2	17		PRESERVED							17						
59	HACKBERRY	S2	17		PRESERVED							17						
69	LIVE OAK	S1	7		PRESERVED					7								
73	RED OAK	S1	13		PRESERVED					13								
74	LIVE OAK	S1	15		REMOVED				15									
75	LIVE OAK	S1	13		REMOVED				13									
76	CEDAR ELM	S1	13		PRESERVED					13								
78	HACKBERRY	S2	13		PRESERVED							13						
83	MESQUITE	S2	15		PRESERVED							15						
85	GRAPE MYRTLE	U	7		PRESERVED			7										
86	RED OAK	S1	15		PRESERVED					15								
88	LIVE OAK	S1	11		PRESERVED					11								
89	LIVE OAK	S1	13		PRESERVED					13								
90	LIVE OAK	S1	27	Y	PRESERVED									27				
96	REDBUD	U	5		PRESERVED			5										
102	LIVE OAK	S1	13		PRESERVED					13								
104	MESQUITE	S2	19		PRESERVED							19						
112	FRUIT TREE	NN	7		PRESERVED													
114	RED OAK	S1	7		PRESERVED					7								
115	RED OAK	S1	7		PRESERVED					7								
116	LIVE OAK	S1	17.0		PRESERVED					17								
144	RED OAK	S1	7		PRESERVED					7								
162	LIVE OAK	S1	13.0		PRESERVED					13								
163	LIVE OAK	S1	13		PRESERVED					13								
164	LIVE OAK	S1	13		PRESERVED					13								
165	LIVE OAK	S1	15		PRESERVED					15								
166	LIVE OAK	S1	17		PRESERVED					17								
167	LIVE OAK	S1	11		PRESERVED					11								
168	LIVE OAK	S1	13		PRESERVED					13								
171	LIVE OAK	S1	9		REMOVED				9									
172	LIVE OAK	S1	13		PRESERVED					13								
173	LIVE OAK	S1	17		PRESERVED					17								
174	GRAPE MYRTLE	U	9		PRESERVED			9										
175	LIVE OAK	S1	35	Y	PRESERVED										35			
							5	21	37	429	0	113	0	62	0	0	0	
							Preservation percentage=		81%	Significant		94%	Heritage Preservation		100%			
							Mitigation required (Commercial) =		-11	Commercial (inches)		-310	Heritage Mitigation (inches)		0			
							Mitigation required (Residential) =		-12	Residential (inches)		-339						
										Exemption Codes		Additional Inches Preserved for Mitigation				0		
										1 - Tree is located in ROW								
										2 - Tree located off property								
										3 - Tree is located within easement		Additional Inches Needed to meet Mitigation Requirements				-321		

DISCLAIMER:
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I. STORMWATER POLLUTION PREVENTION-CLEAN WATER ACT SECTION 402

Texas Pollutant Discharge Elimination System (TPDES) TXR 150000: Stormwater Discharge Permit or Construction General Permit (CGP) required for projects with 1 or more acres disturbed soil. Projects with any disturbed soil must protect for erosion and sedimentation in accordance with Item 540.

☐ No Action Required ☒ Required Action

Action No.

- Prevent stormwater pollution by controlling erosion and sedimentation in accordance with TPDES Permit TXR 150000.
- Comply with the Storm Water Pollution Prevention Plan (SW3P) and revise when necessary to control pollution or required by the Engineer.
- Post Construction Site Notice (CSN) with SW3P information on or near the site, accessible to the public and Texas Commission on Environmental Quality (TCEQ), Environmental Protection Agency (EPA) or other inspectors.
- When Contractor project specific locations (PSL's) increase disturbed soil area to 5 acres or more, Contractor shall submit Notice of Intent (NOI) to TCEQ and the COSA Inspector.
- NOI required: ☐ Yes ☒ No

Note: If amount of soil disturbance changes, permit requirements may change.

II. WORK IN OR NEAR STREAMS, WATERBODIES AND WETLANDS CLEAN WATER ACT SECTIONS 401 AND 404

US Army Corps of Engineers (USACE) Permit required for filling, dredging, excavating or other work in any potential USACE jurisdictional water, such as, rivers, creeks, streams, or wetlands.

The Contractor shall adhere to all of the terms and conditions associated with the following permit(s):

- ☒ No Permit Required
- ☐ Nationwide Permit (NWP) 14 - Pre-construction Notice (PCN) not Required
- ☐ Nationwide Permit 14 - PCN Required
- ☐ Individual 404 Permit Required
- ☐ Other Nationwide Permit Required: NWP# _____

Required Actions: List waters of the US permit applies to, location in project and check Best Management Practices (BMPs) planned to control erosion, sedimentation and post-project total suspended solids (TSS).

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-

401 Best Management Practices: (Not applicable if no USACE permit)

Erosion

- ☐ Temporary Vegetation
- ☐ Blankets/Matting
- ☐ Mulch
- ☐ Sodding
- ☐ Interceptor Swale
- ☐ Diversion Dike
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks

Sedimentation

- ☐ Silt Fence
- ☐ Rock Berm
- ☐ Triangular Filter Dike
- ☐ Sand Bag Berm
- ☐ Straw Bale Dike
- ☐ Brush Berms
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks
- ☐ Stone Outlet Sediment Traps
- ☐ Sediment Basins

Post-Construction TSS

- ☐ Vegetative Filter Strips
- ☐ Retention/Irrigation Systems
- ☐ Extended Detention Basin
- ☐ Constructed Wetlands
- ☐ Wet Basin
- ☐ Erosion Control Compost
- ☐ Mulch Filter Berm and Socks
- ☐ Compost Filter Berm and Socks
- ☐ Vegetation Lined Ditches
- ☐ Sand Filter Systems
- ☐ Sedimentation Chambers
- ☐ Grassy Swales

III. CULTURAL RESOURCES

Cultural resources fall under the Antiquities Code of Texas and/or the National Historic Preservation Act, as amended in 1966. If a previously unidentified archeological site is encountered during construction work, activities should be immediately stopped in the vicinity and the City Archeologist (210-207-7306) notified and/or the SHPO.

☒ No Action Required ☐ Required Action

Action No.

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IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical. Contractor must adhere to Construction Specification Requirements Specs 162,164, 192, 193, 506, 730, 751, 752 in order to comply with requirements for invasive species, beneficial landscaping, and tree/brush removal commitments.

☐ No Action Required ☒ Required Action

Action No.

- Ensure that a tree permit is in place for this project, if required.
- Follow the tree preservation/mitigation plan provided in the design plan set. If there are any questions or concerns, please contact the City Arborist at 210-207-0278, before any work begins.

V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

☒ No Action Required ☐ Required Action

Action No.

- MIGRATORY BIRD NESTS: Schedule construction activities as needed to meet the following requirements:

- A. Do not remove or destroy any active migratory bird nests (nests containing eggs and/or flightless birds) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.
- B. On/in structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to the structures to prevent future nest building.

- Deterrent material should be placed (and maintained) after October 1 or before February 15.

- The preferred nesting season for migratory birds is from February 15 through October 1. When practicable, schedule construction operations outside of the preferred nesting season.

If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the COSA Inspector immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediated area, and contact the COSA Inspector immediately.

VI. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES

General (applies to all projects):

Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used.

Obtain and keep on-site Material Safety Data Sheets (MSDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labelling as required by the Act.

Maintain an adequate supply of on-site spill response materials, as indicated in the MSDS. In the event of a spill, take actions to mitigate the spill as indicated in the MSDS, in accordance with safe work practices, and contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:

- * Dead or distressed vegetation (not identified as normal)
- * Trash piles, drums, canister, barrels, etc.
- * Undesirable smells or odors
- * Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

☒ No Action Required ☐ Required Action

Action No.

-
-
-

Does the project involve the demolition of a span bridge?

☐ Yes ☒ No (No further action required)

If "Yes", a pre- demolition notification must be submitted to the Texas Department of State Health Services. The contractor shall contact the Project Engineer 25 calendar days prior to the demolition of the bridges(s) on the project to assist with the notification.

VII. OTHER ENVIRONMENTAL ISSUES

(includes regional issues such as Edwards Aquifer District, etc.)

☒ No Action Required ☐ Required Action

Action No.

-
-
-

North Hills Park (2017 Bond)
September 2019

ENVIRONMENTAL_PERMITS,
ISSUES_AND_COMMITMENTS

EPIC

FILE: epic 2015-10-09 SAT.dgn	DN: COSA	CK: COSA	DW: LG	CK: JS
© TxDOT NOVEMBER 2018	CONT	SECT	JOB	HIGHWAY
REVISIONS				
	DIST	COUNTY		SHEET NO.



LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN

2722 W. BITTERS RD, STE #114
SAN ANTONIO, TX 78248

P: 210-908-6736
WWW.GOOPENAIR.COM

PROJECT:
NORTH SA HILLS
PARK

OWNER:
CITY OF SAN ANTONIO

LOCATION:
SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY

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DATE: 10-10-2019

LANDSCAPE
ARCHITECT: MATTHEW MOCZYNGEMBA
REGISTRATION: 2484

PROJECT #: CSA20171

DESIGNED BY: JS

DRAWN BY: JS/MP

REVIEWED BY: MM

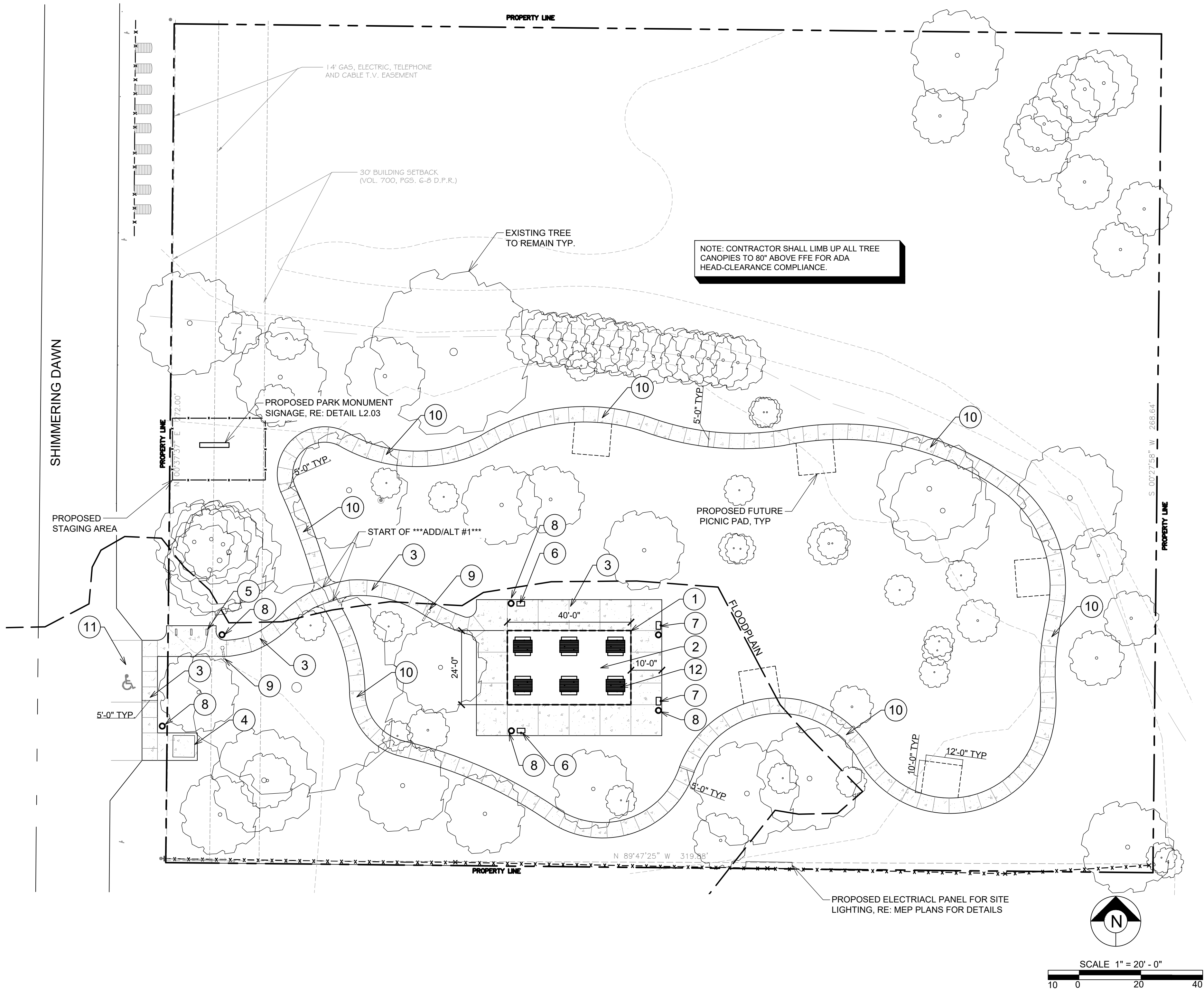
ISSUED: XX XXX. 2018

SHEET TITLE:
EPIC SHEET

SHEET NUMBER:
ES.01

MATERIALS LEGEND

1.	24"x40" BASIC GABLE STRUCTURE BY COVERWORX, MODEL GA-2440-SW-10. RE: DETAIL L2.02	11.	***ADD/ALT #2*** PARALLEL PARKING SPACES, RE:CIVIL DRAWINGS FOR DETAILS.
2.	5" THICK MEDIUM BROOM FINISH CONCRETE SLAB WITH 12" TURN DOWN AT EDGE, RE: DETAIL L2.01	12.	***ADD/ALT #3*** CITY STANDARD CAST IN PLACE CONCRETE PICNIC TABLE, RE: DETAIL L2.02
3.	5'-0" WIDE MEDIUM BROOM FINISHED CONCRETE SIDEWALK, 4" THICK. RE: DETAIL L2.01		
4.	CITY STANDARD ADA ACCESSIBLE PORT-A-POTTY. RE: DETAILS L2.03		
5.	SURFACE MOUNTED PARK-IT 2-BIKE RACK, RE DETAIL L2.02		
6.	CITY STANDARD GRILLING STATION. RE DETAIL L2.01		
7.	CITY STANDARD DOUBLE GRILLING STATION. RE DETAIL XX		
8.	CITY STANDARD TRASH RECEPTACLE. RE DETAIL L2.01		
9.	LINE VOLTAGE LED PARK LIGHTING, RE: MEP PLANS FOR DETAILS		
10.	***ADD/ALT #1*** 5'-0" WIDE MEDIUM BROOM FINISHED CONCRETE SIDEWALK, 4" THICK. RE: DETAIL L2.01		



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REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX. 2018

SHEET TITLE:
MATERIALS
PLAN

SHEET NUMBER:
L1.01



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LANDSCAPE ARCHITECT: MATTHEW MCCZYGEMBA

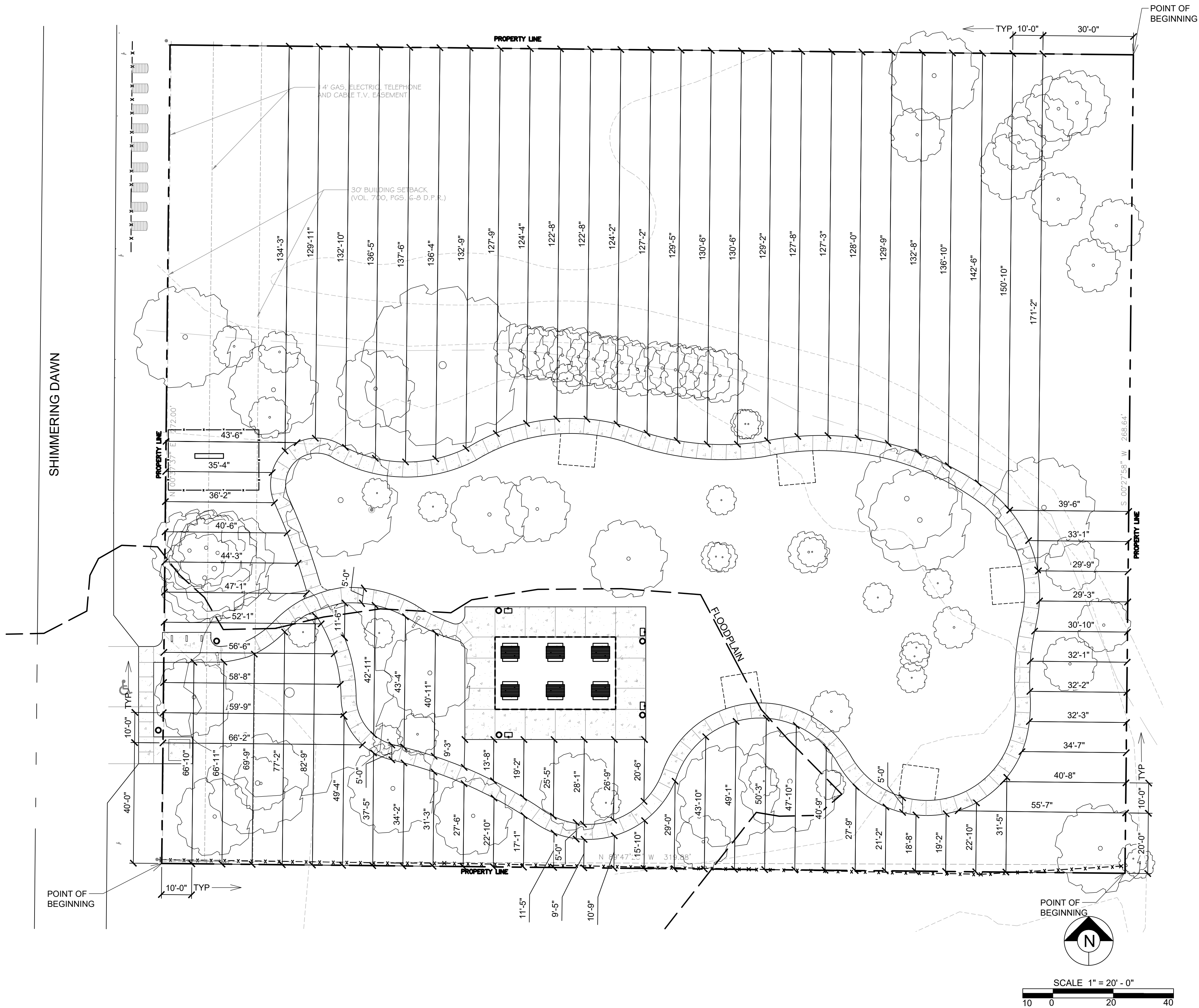
REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX. 2018

SHEET TITLE:
LAYOUT PLAN
TRAIL

SHEET NUMBER:
L1.02



LAYOUT NOTES

1. ALL BASELINE AND DIMENSION LINES ARE PARALLEL AND PERPENDICULAR TO EXISTING HARSCAPE AND VERTICAL ELEMENTS ON SITE. CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.
2. CONTRACTOR TO LAYOUT AND CLEARLY MARK ALL ELEMENTS FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO PLACING FORMS. CONTACT LANDSCAPE ARCHITECT 5 DAYS PRIOR TO PLACING FORMS FOR REVIEW.
3. CONTRACTOR TO VERIFY EXISTING IRRIGATION VALVE LOCATIONS IN FIELD PRIOR TO INSTALLING LANDSCAPE AND CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.



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LANDSCAPE ARCHITECT: MATTHEW MOCZYGEMBA

REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

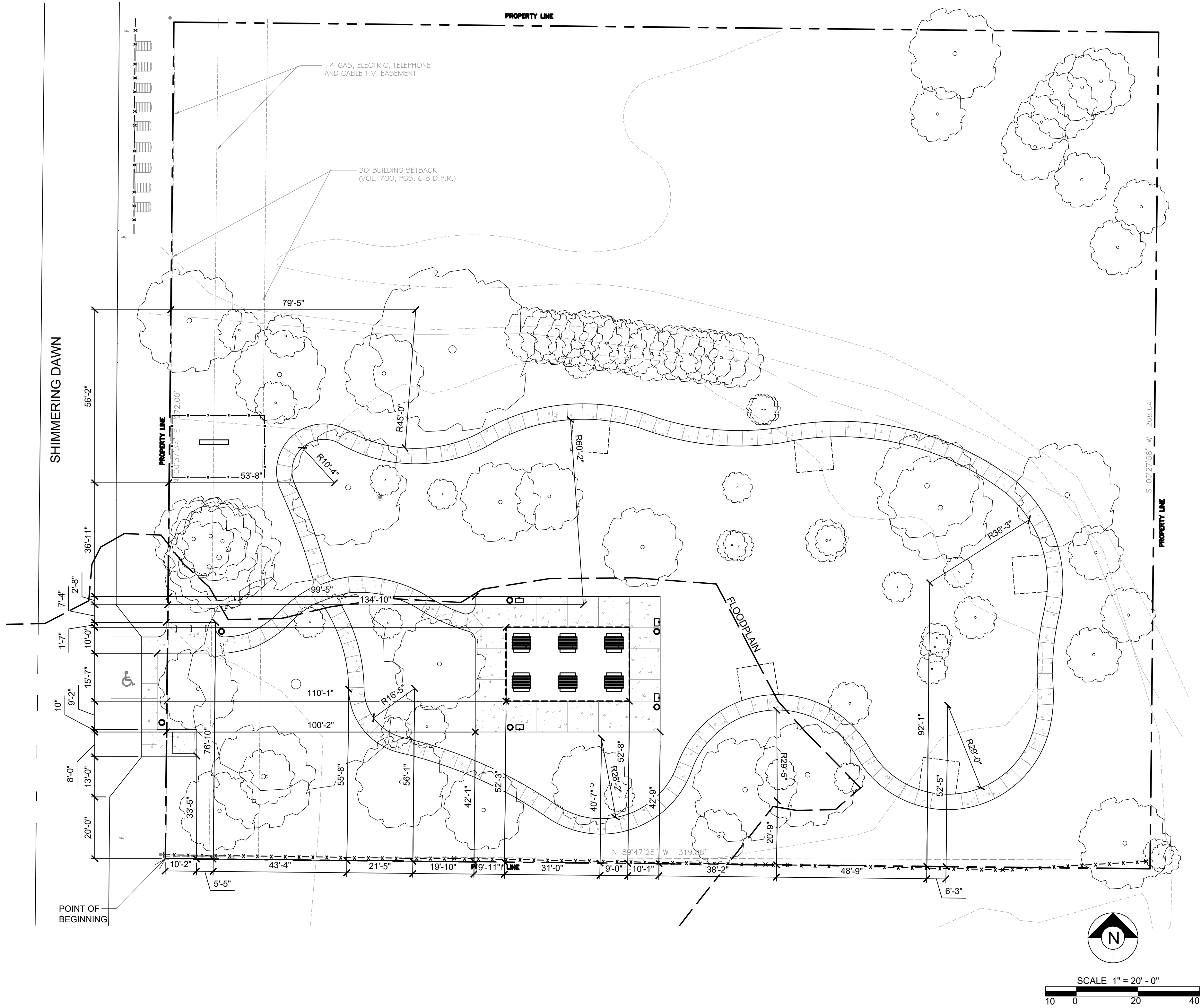
ISSUED: XX XXX. 2018

SHEET TITLE:
LAYOUT PLAN
PAVILLION
AND RADIUS

SHEET NUMBER:
L1.03

LAYOUT NOTES

1. ALL BASELINE AND DIMENSION LINES ARE PARALLEL AND PERPENDICULAR TO EXISTING HARDSCAPE AND VERTICAL ELEMENTS ON SITE. CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.
2. CONTRACTOR TO LAYOUT AND CLEARLY MARK ALL ELEMENTS FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO PLACING FORMS. CONTACT LANDSCAPE ARCHITECT 5 DAYS PRIOR TO PLACING FORMS FOR REVIEW.
3. CONTRACTOR TO VERIFY EXISTING IRRIGATION VALVE LOCATIONS IN FIELD PRIOR TO INSTALLING LANDSCAPE AND CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.





OWNER:
CITY OF SAN ANTONIO

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DATE: 10-10-2019

LANDSCAPE

ARCHITECT: MATTHEW MOCZYGENBA

REGISTRATION: 2484

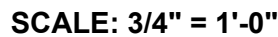
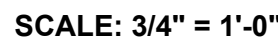
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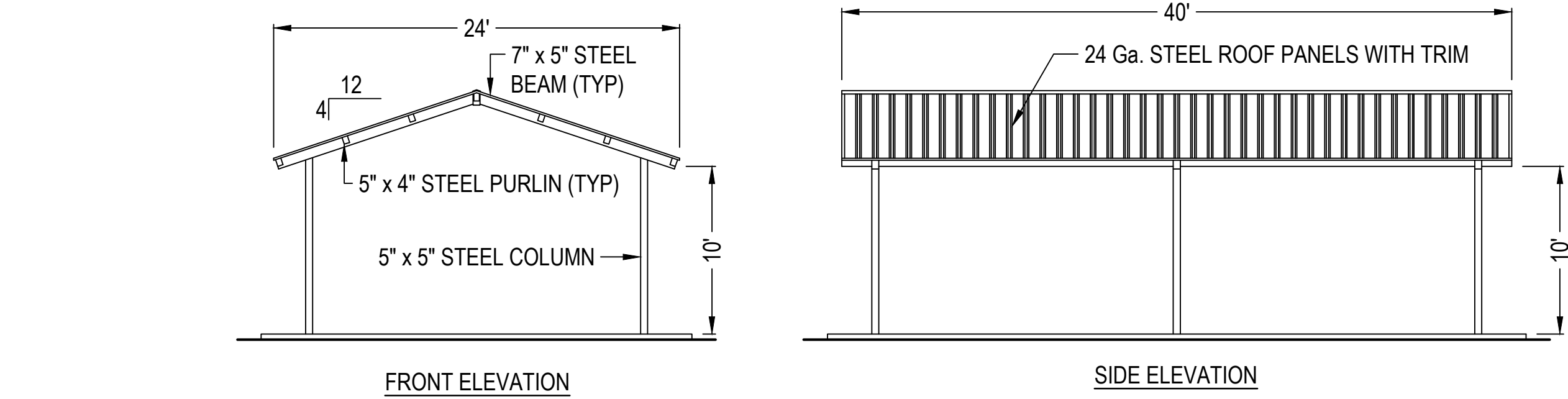
SHEET NUMBER:
L2.01

1. SHOP DRAWINGS SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF TEXAS, TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION ON ANY STRUCTURE OR SITE ITEM. REINFORCEMENT SHOWN IS FOR GRAPHICAL REPRESENTATION ONLY AND SHALL NOT BE CONSTRUCTED AS PART OF ANY GRADE BASES, PIERS, CAPS, SEAT WALLS, CONNECTIONS, ETC. SHOP DRAWINGS SHALL INDICATE ALL MEMBERS, CONNECTIONS, WELDS, FASTENINGS, MATERIALS, WIND LOADING CAPACITY, ETC. PRIOR TO FABRICATION AND INSTALLATION.
2. ALL CONCRETE SAWCUTS TO BE A MIN. WIDTH OF $\frac{1}{2}$ " AND A MIN. DEPTH OF $\frac{3}{8}$ ".
3. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR ALL ORNAMENTAL IRON AND CHAINLINK FENCING PROPOSED ON SITE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

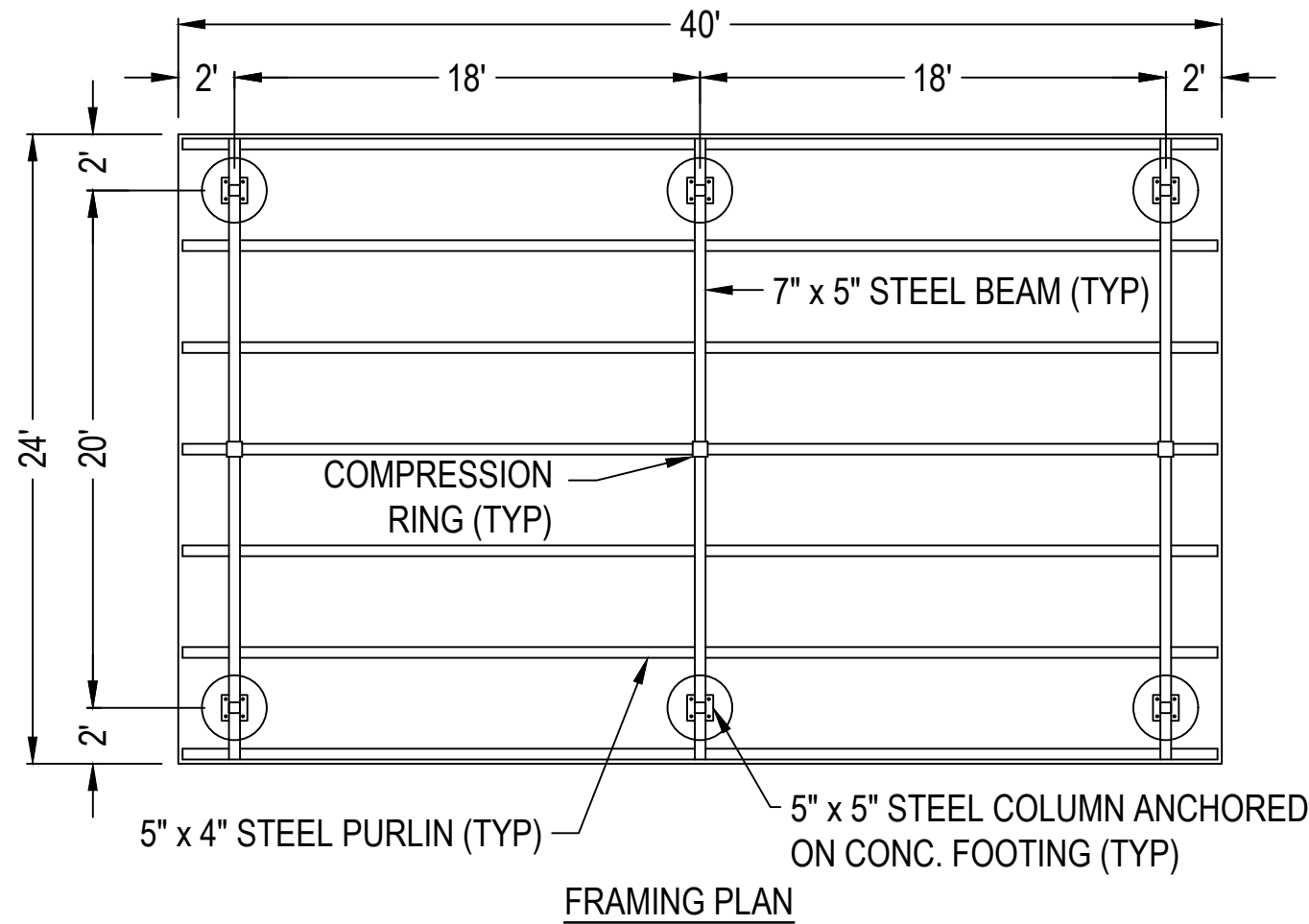
1. ALL METAL COMPONENTS TO BE STEEL WITH PRIMER COATING OR ALUMINUM AS INDICATED.
2. SUBMIT SPECIFICATIONS ON ALUMINUM AND STEEL GRADE AND QUALITY FOR APPROVAL.
3. WELDS TO BE CONTINUOUS AND NEAT, GRIND SMOOTH AND FLUSH, GRIND INSIDE CORNERS TO SMOOTH ROUNDED FORM.
4. PREPARATION: BLAST AND GRIND/WIRE BRUSH TO REMOVE ALL MILL SCALE AND SURFACE FLAKING, AND AS RECOMMENDED BY PRIMER MANUFACTURER.

- A. INTERMEDIATE - SHOP APPLY BY SPRAY APPLICATION ONE SMOOTH 2-4 MIL COAT (DRY) OF SHERWIN WILLIAMS COROTHANE II POLYURETHANE OR APPROVED EQUAL. CURE TIME AS RECOMMENDED BY MANUFACTURER.
- B. TOP COAT - SHOP APPLY BY SPRAY APPLICATOR ONE SMOOTH 2-4 MIL COAT OF SHERWIN-WILLIAMS COROTHANE II POLYURETHANE (GLOSS FLAT FINISH) OR APPROVED EQUAL CURE TIME AS RECOMMENDED BY MANUFACTURER.





NOTE: CONTRACTOR SHALL INCLUDE SIGNED AND SEALED STRUCTURAL ENGINEER DRAWINGS FROM COVERWORK WITHIN BID AND SUPPLY SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. CONTACT DEBRA FINCH W/ PAUL E. ALLAN CO. AT 214-697-1320

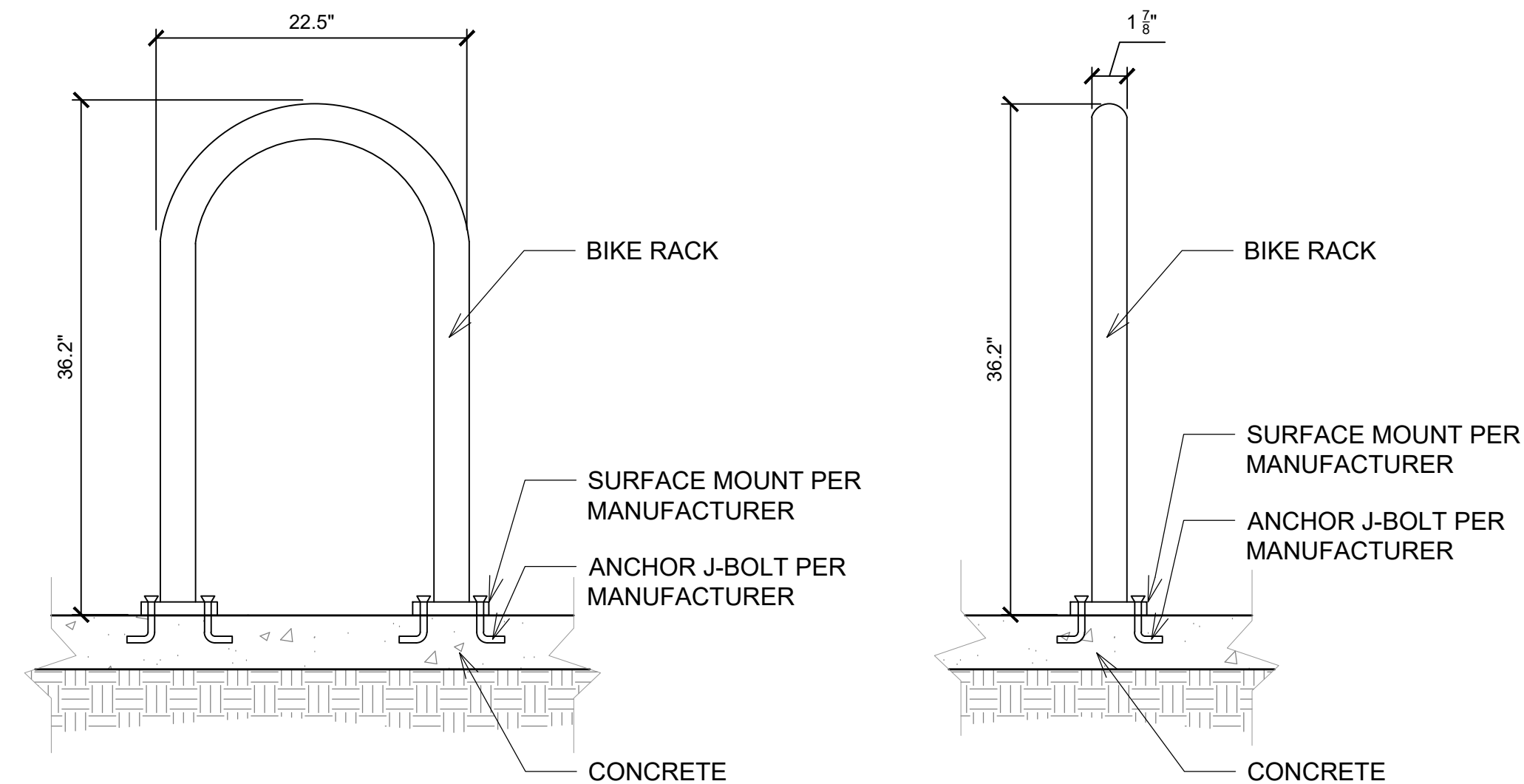


- ☒ SELECT DESIRED COLOR:
- | | | | |
|---|---------------------------------------|--------------------------------------|---|
| <input type="checkbox"/> WHITE | <input type="checkbox"/> ROMAN BLUE | <input type="checkbox"/> CHARCOAL | <input type="checkbox"/> TERRATONE |
| <input type="checkbox"/> CLAY | <input type="checkbox"/> SURREY BEIGE | <input type="checkbox"/> TUDOR BROWN | <input type="checkbox"/> EVERGREEN |
| <input type="checkbox"/> IVORY | <input type="checkbox"/> ASH GREY | <input type="checkbox"/> MATTE BLACK | <input type="checkbox"/> BRANDYWINE |
| <input type="checkbox"/> PATRICIAN BRONZE | <input type="checkbox"/> LIGHT STONE | <input type="checkbox"/> AUTUMN RED | <input type="checkbox"/> HARTFORD GREEN |

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4168-31.

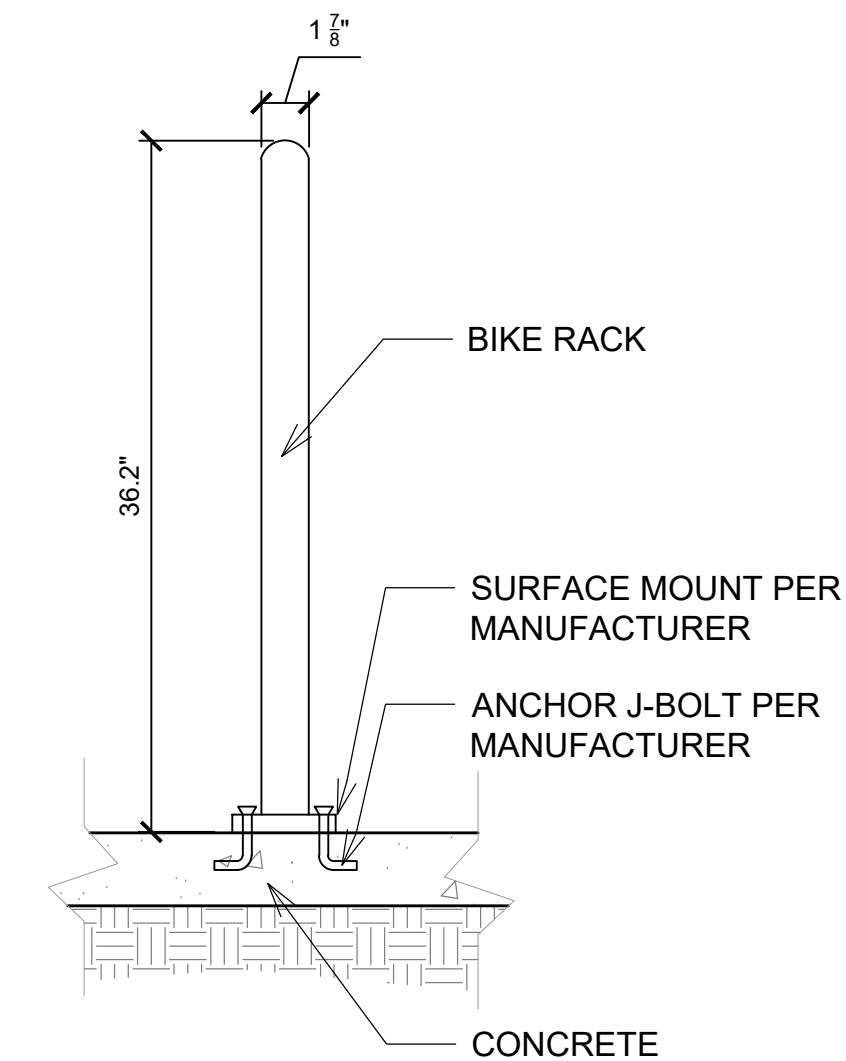
6 BASIC GABLE STRUCTURE

NTS



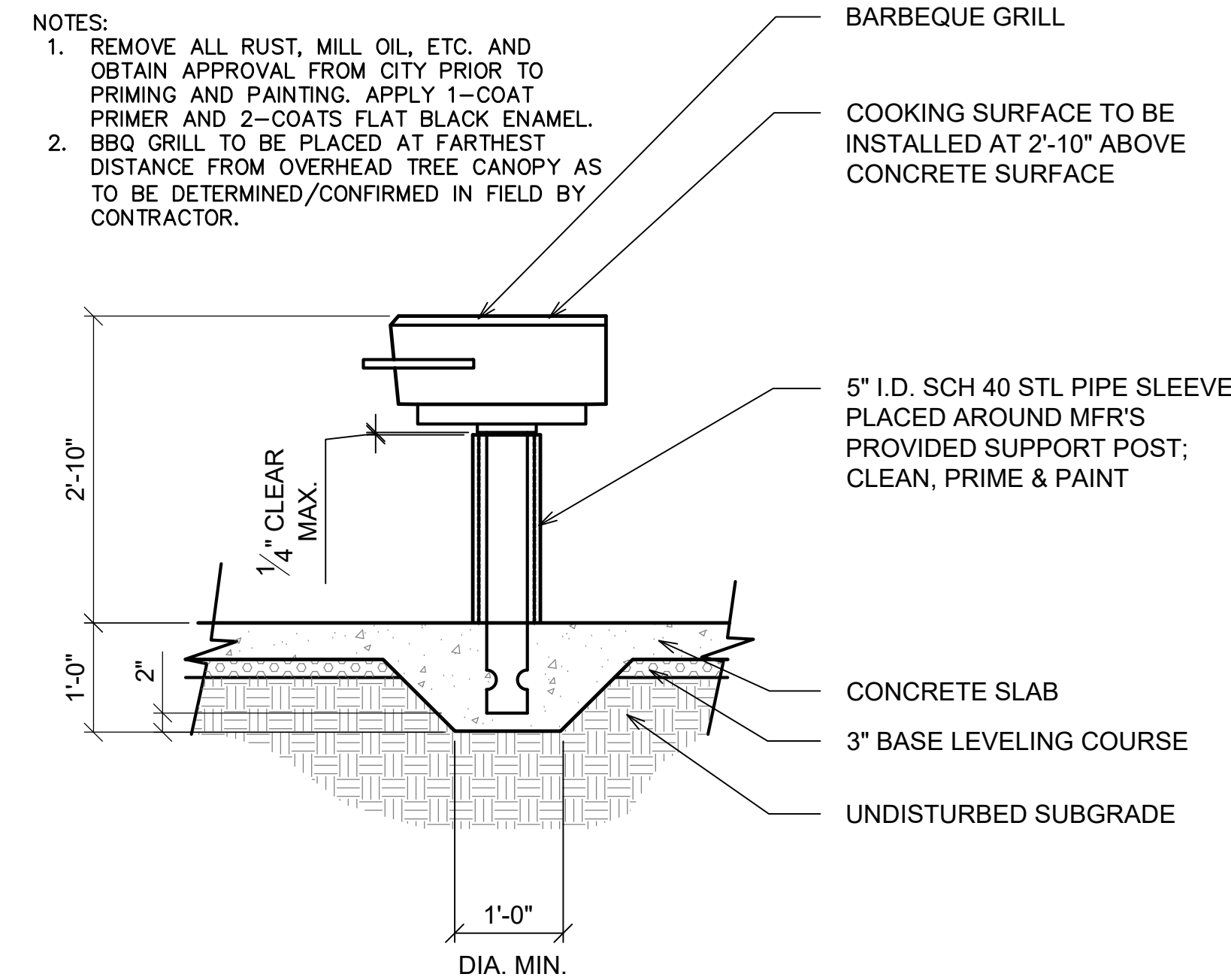
5 PARK-IT 2 BIKE RACK, SURFACE MOUNT

NTS



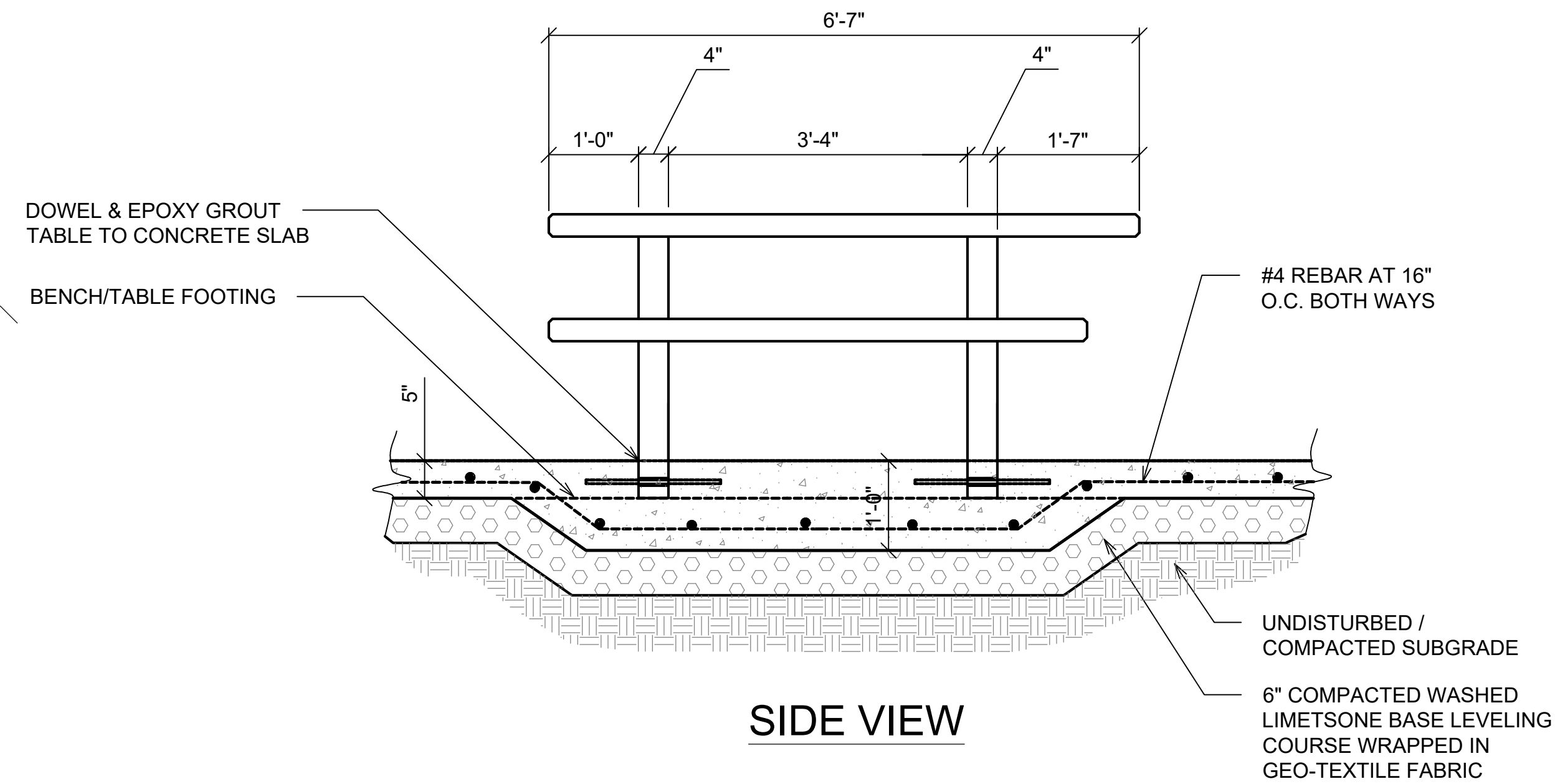
4 PARK-IT 2 BIKE RACK, SIDE VIEW

NTS



3 CITY STANDARD GRILLING STATION

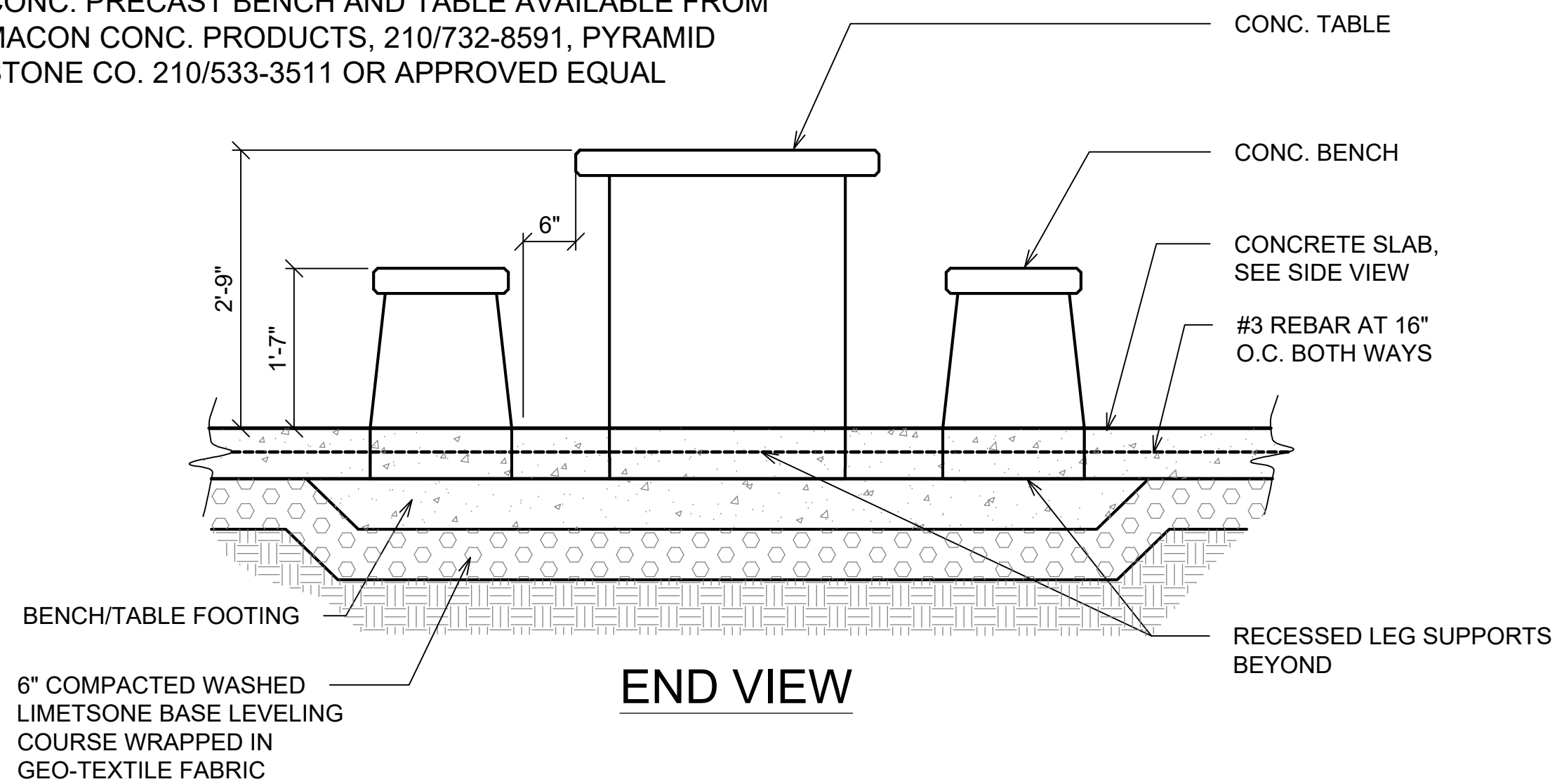
SCALE: 3/4" = 1'-0"



2 CITY STANDARD CAST IN PLACE CONCRETE PICNIC TABLE

SCALE: 3/4" = 1'-0"

CONC. PRECAST BENCH AND TABLE AVAILABLE FROM MACON CONC. PRODUCTS, 210/732-8591, PYRAMID STONE CO. 210/533-3511 OR APPROVED EQUAL



1 CITY STANDARD CAST IN PLACE CONCRETE PICNIC TABLE

SCALE: 3/4" = 1'-0"



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REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX. 2018

SHEET TITLE:
GENERAL SITE
DETAILS

SHEET NUMBER:
L2.02



LANDSCAPE ARCHITECTURE
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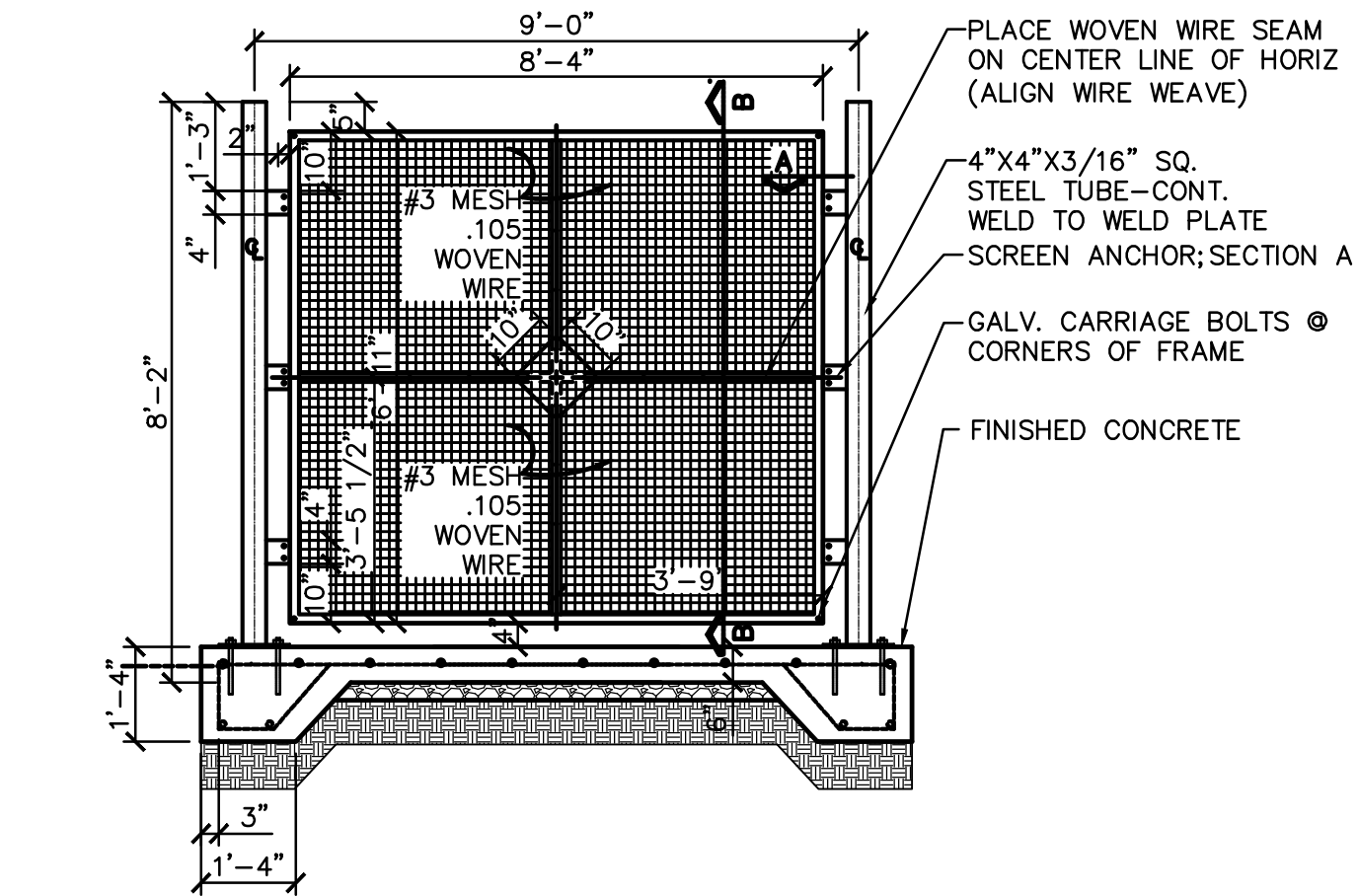
LOCATION:
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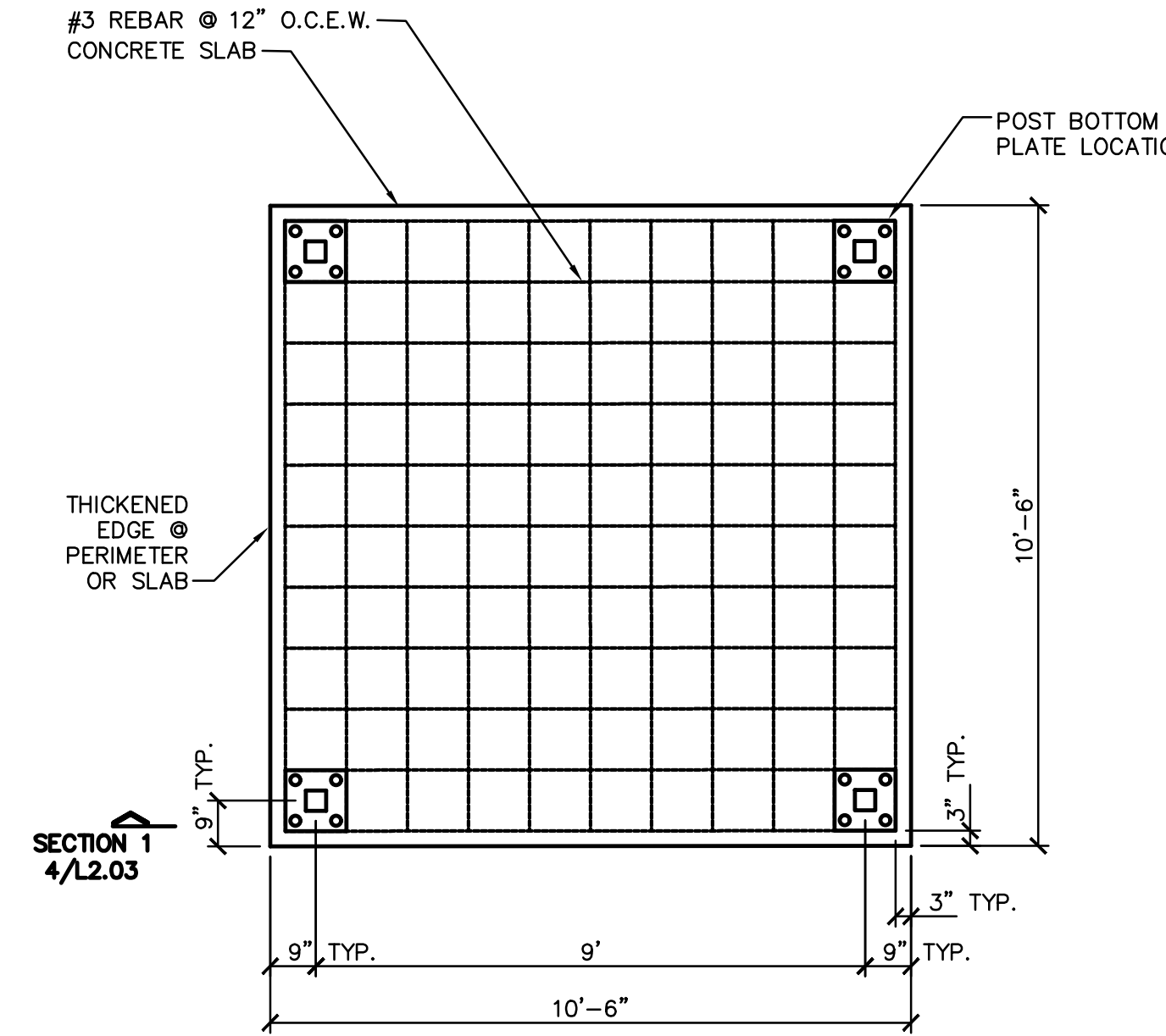
PROJECT #: CSA20171
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SHEET TITLE:
GENERAL SITE
DETAILS

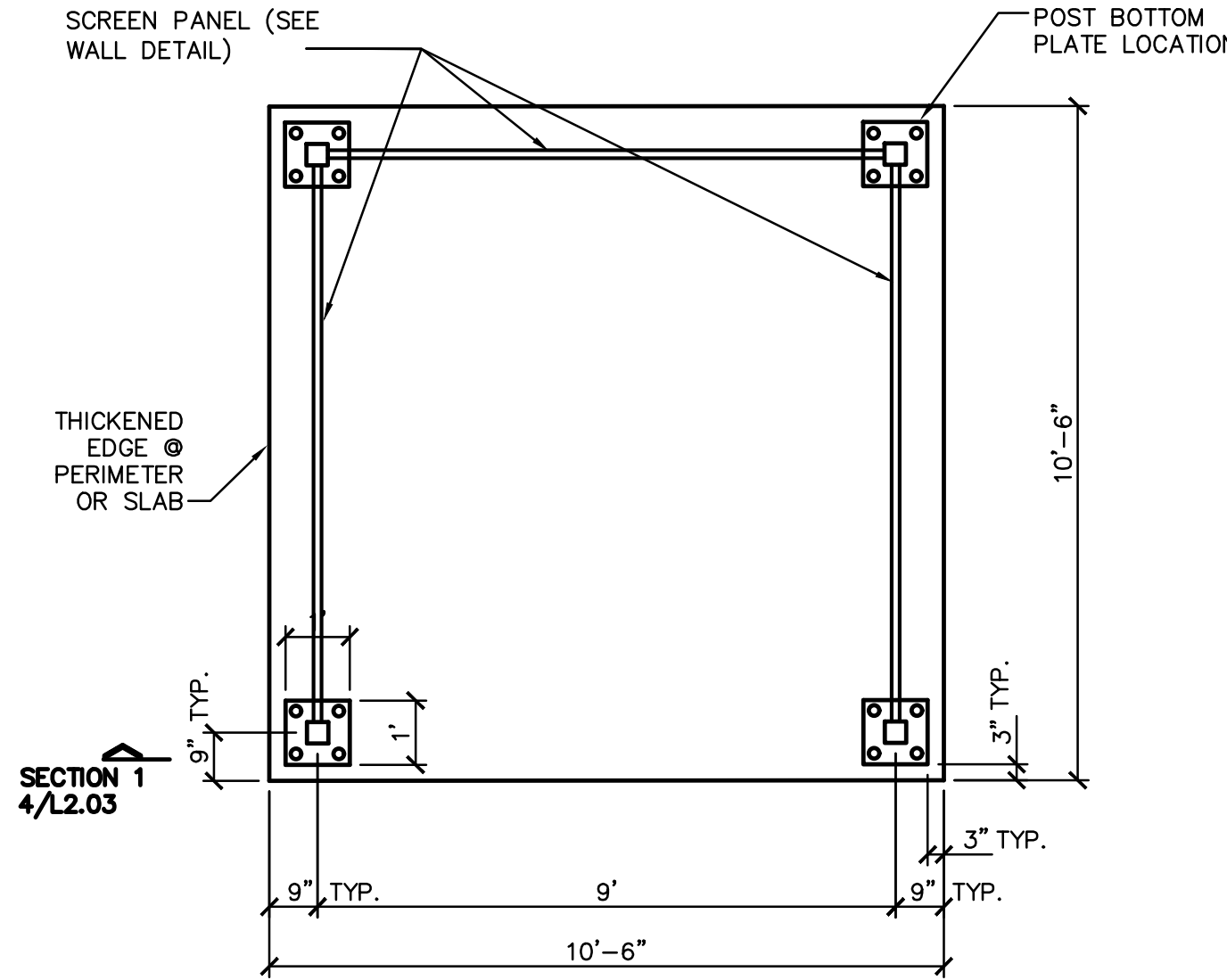
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L2.03



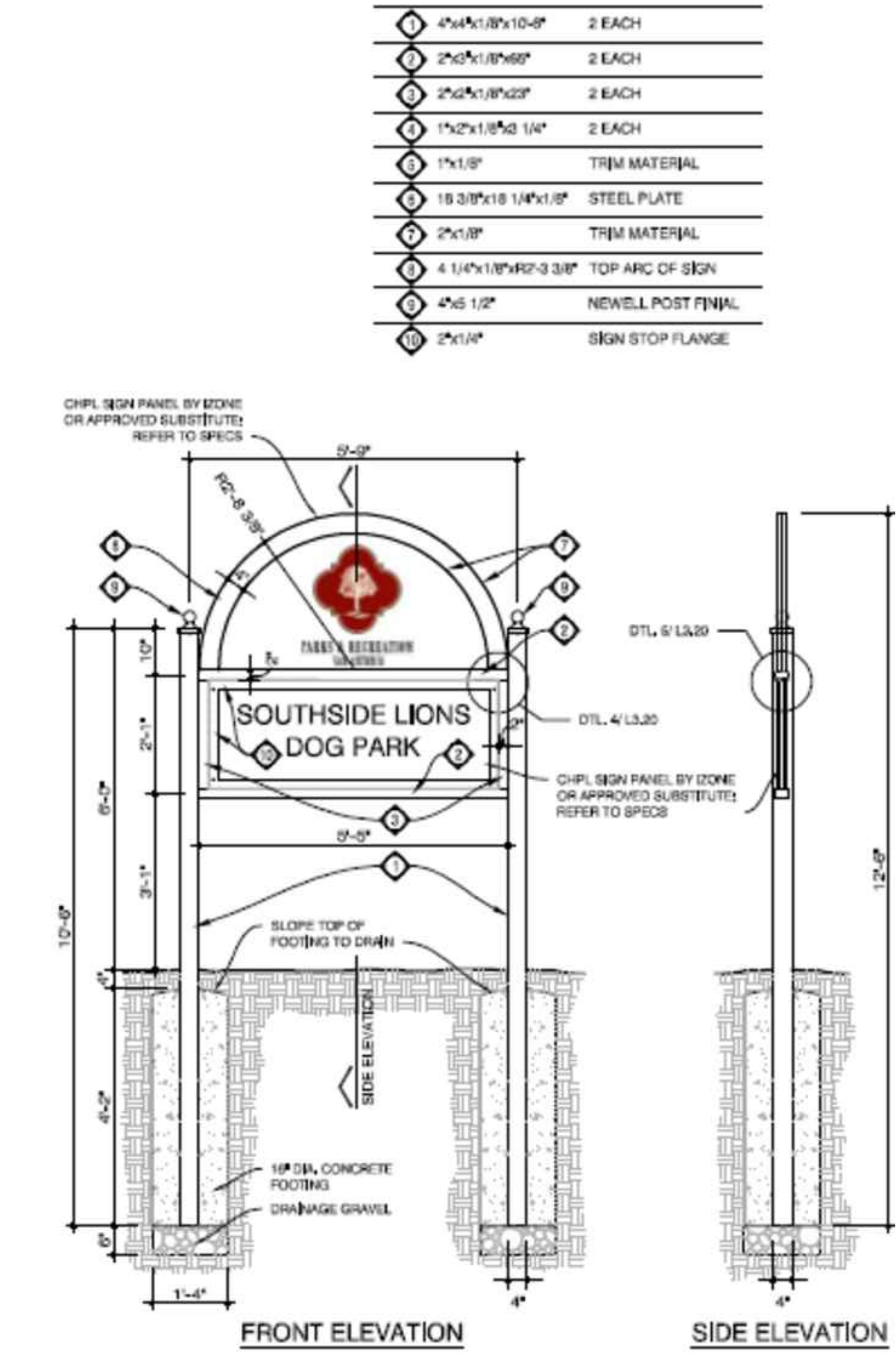
3 TOILET ENCLOSURE WALL
3/8"=1'-0"



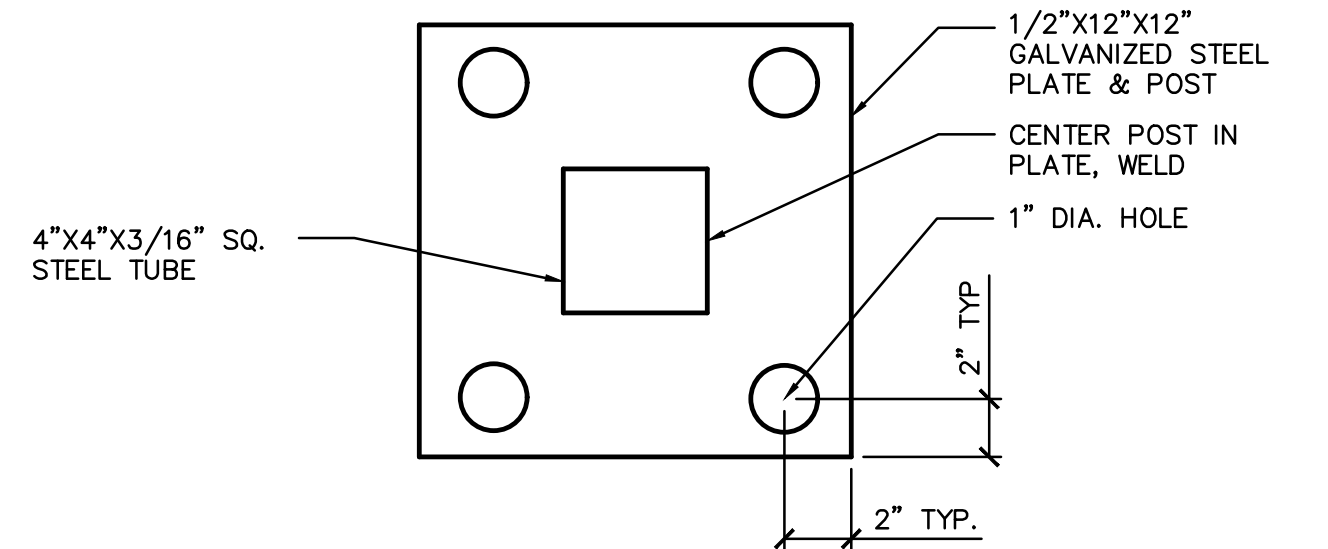
2 PORT-A-POTTY REINFORCING PLAN
3/8"=1'-0"



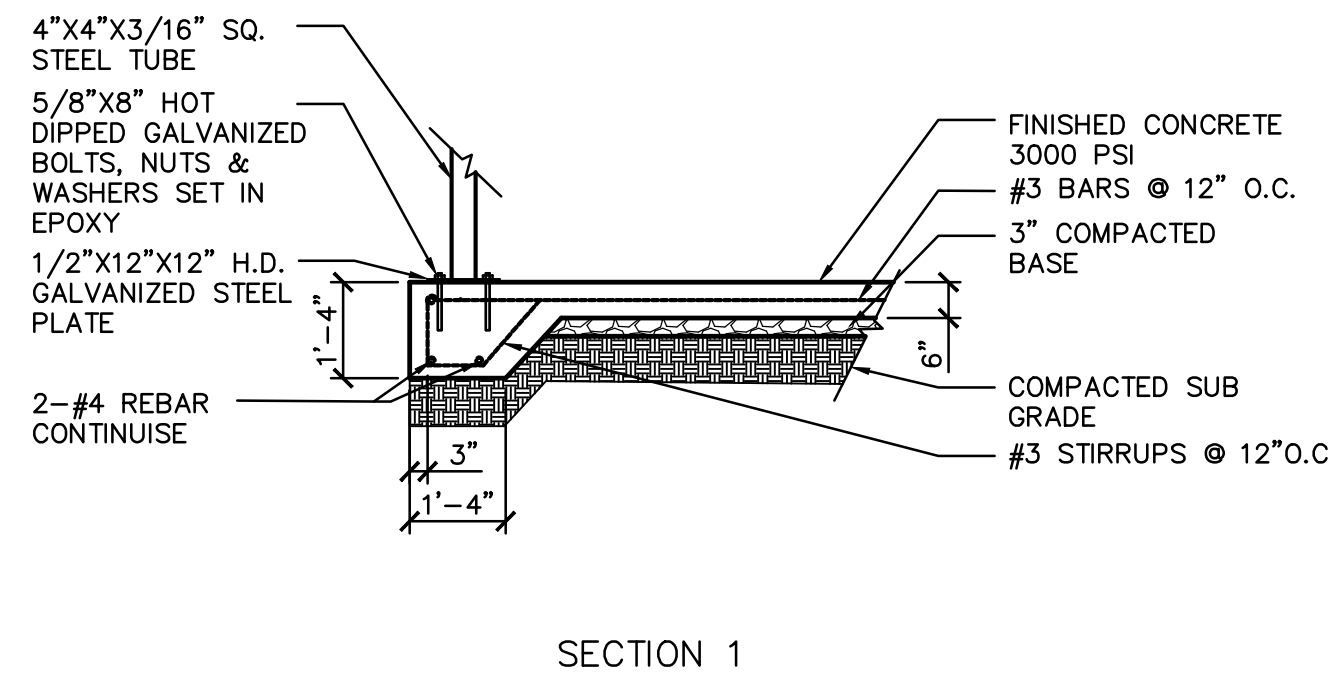
1 PORT-A-POTTY OVERVIEW
3/8"=1'-0"



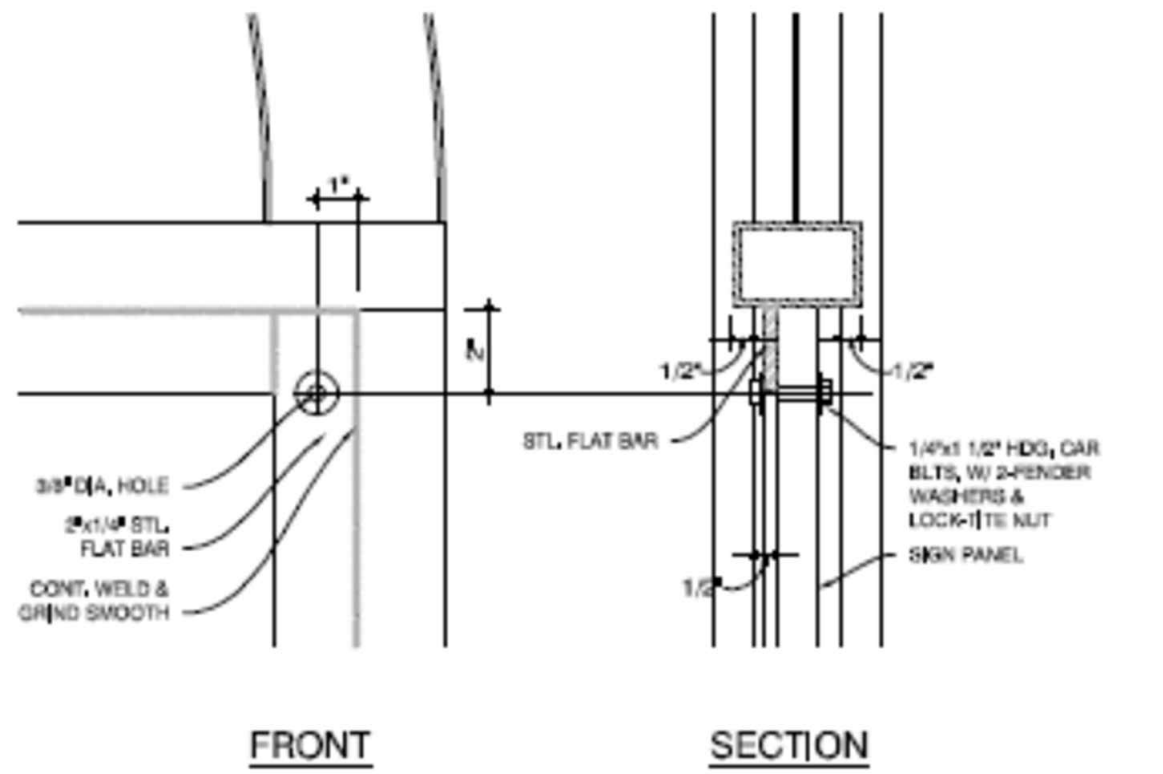
6 PARK SIGNAGE
NTS



5 POST PLATE ENLARGED PLAN
3/8"=1'-0"



4 SECTION 1
3/8"=1'-0"



NOTE: ALL SIGN PANEL ARTWORK
1. ALL FINAL ARTWORK FILES WILL BE PROVIDED TO GENERAL CONTRACTOR UPON FINAL APPROVAL OF THE OWNER.
2. NO SIGN PANELS SHOULD BE ORDERED UNTIL THE FINAL APPROVED ARTWORK FILES HAVE BEEN PROVIDED TO THE GENERAL CONTRACTOR.

7 PARK SIGNAGE
NTS



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REGISTRATION: 2484

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DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX. 2018

SHEET TITLE:
GRADING
PLAN

SHEET NUMBER:
L3.01

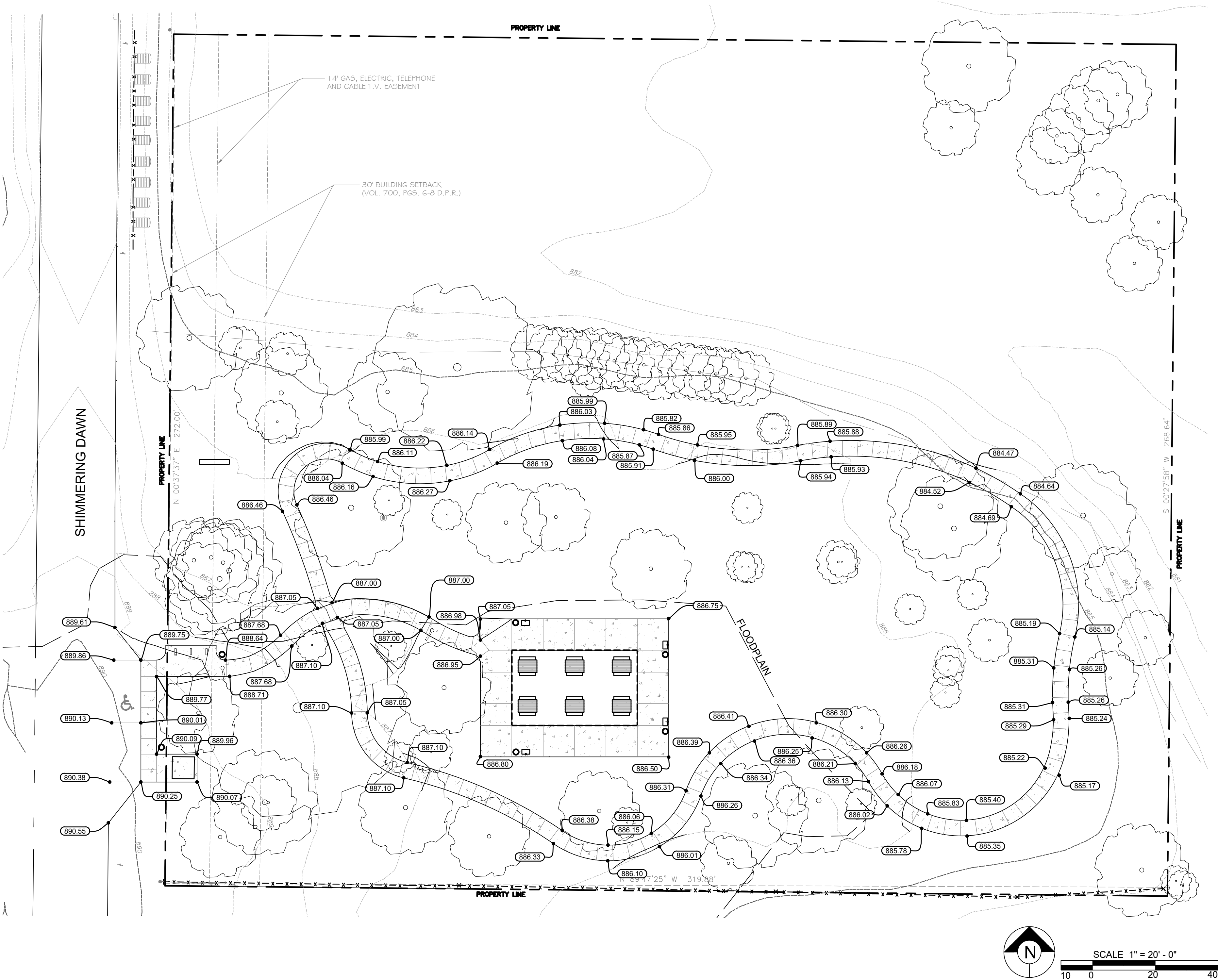
GRADING NOTES

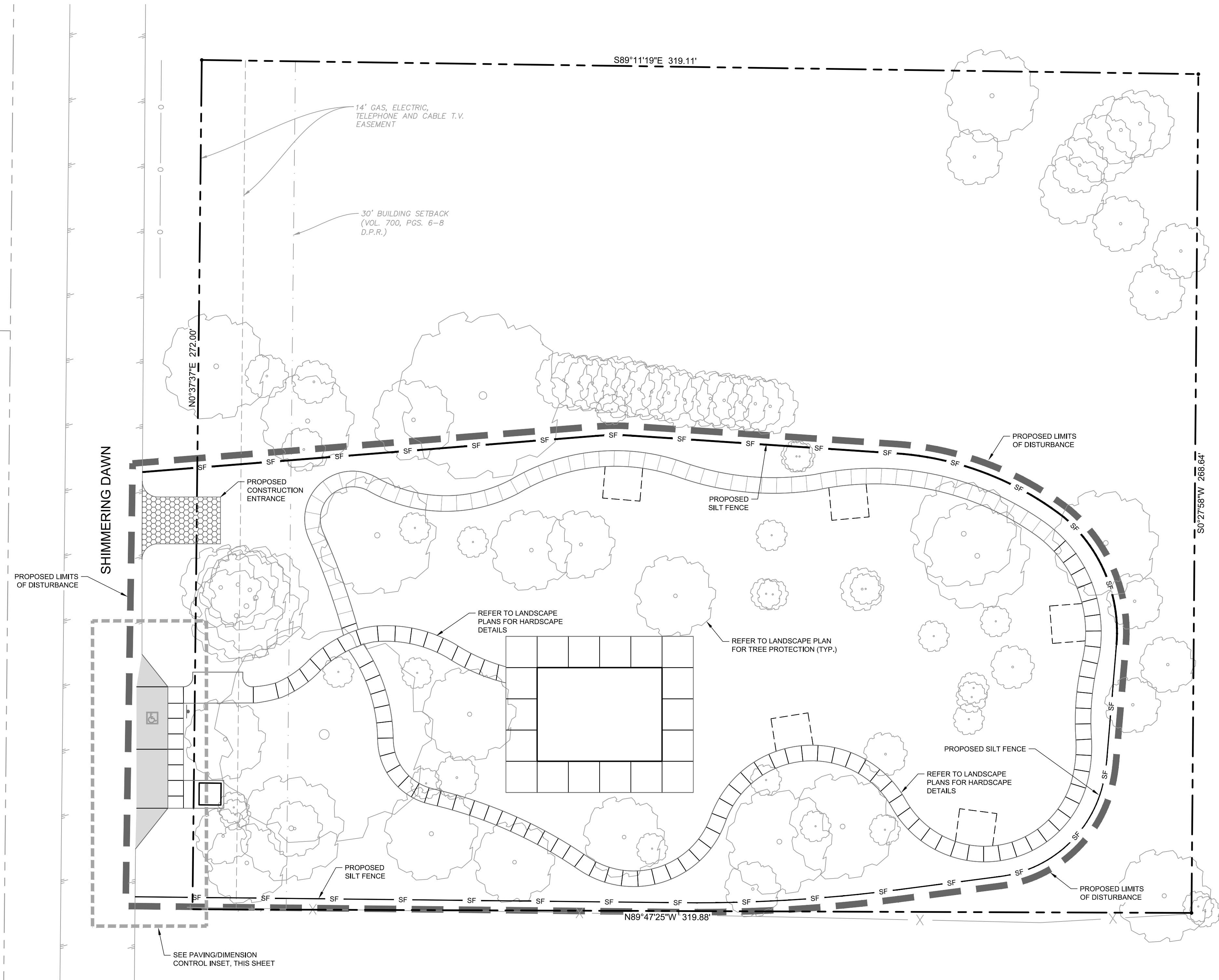
- ALL AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED TO ACHIEVE POSITIVE DRAINAGE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING FOR CLARIFICATION AND PROCESS IF ANY AREA WITHIN CONSTRUCTION LIMITS DOES NOT ACHIEVE PROPER DRAINAGE.
- ALL PROPOSED GRADES INDICATED ARE FINISHED GRADES. THE PROPOSED PAVING IS SHOWN TO FINISHED GRADE AND THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATIONS AND IMPROVEMENTS AS PART OF THE OVERALL MASS GRADING.
- ALL LANDFORMS AND SWALES SHALL BE GRADED TO BE A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LAND FORM CONTINUITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CLEARED BRUSH, DEBRIS, ETC, FROM THE LIMITS OF CONSTRUCTION, DISPOSE OF MATERIALS OFF SITE.
- EXISTING TREES THAT ARE IDENTIFIED ON THE DRAWINGS TO BE PRESERVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONSTRUCTION EQUIPMENT SHALL NOT OPERATE, PARK, OR BE STOPPED UNDER THE CANOPIES OF EXISTING TREES.
- WHEN CLEARING FOR GRADING, THE CONTRACTOR SHALL COORDINATE TREE PRESERVATION WITH THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
- GRADING FOR ALL IMPROVEMENTS SHALL OCCUR AS DIRECTED BY THE LANDSCAPE ARCHITECT WITH THE FOLLOWING GUIDELINES:
 - ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% IN THE DIRECTION OF THE DOWNHILL SIDE.
 - THE LONGITUDINAL SLOPE OF ALL WALKS AND/OR TRAILS SHALL BE NO GREATER THAN 4.9%, UNLESS OTHERWISE NOTED.
 - ALL GRADES SHALL BE FURNISHED TO A SMOOTH, FLOWING CONTOUR; MAINTAINING EXISTING FLOW PATTERNS, UNLESS DIRECTED OTHERWISE.
- REFER TO LAYOUT SHEETS FOR ALL LAYOUT INFORMATION.
- REFER TO CIVIL ENGINEERING SHEETS FOR STORM WATER DRAINAGE AND UTILITY INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND MARKING OF ALL EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES WITHIN THE PROJECT AREA.

GRADING LEGEND

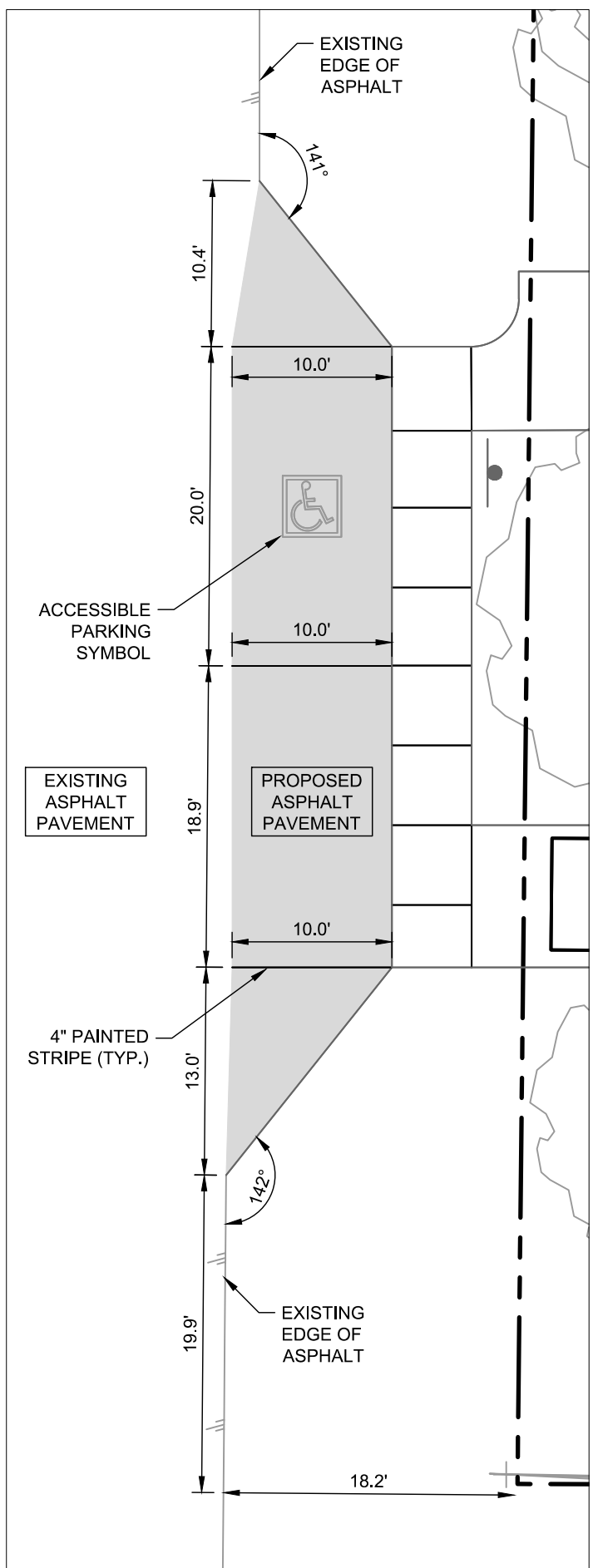
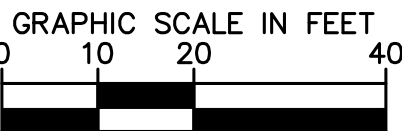
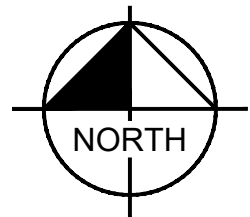
	PROPOSED FINISHED GRADE
	EXISTING CONTOUR
	PROPOSED CONTOUR

NOTE:
PROPOSED CONTOURS REPRESENT 1' FOOT
CONTOURS AND ARE SHOWN TO PROVIDE
APPROXIMATE GRADING LIMITS





Know what's below.
Call before you dig.



PAVING/DIMENSION CONTROL

SCALE: 1" = 10'

GENERAL EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.
2. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TCEQ GENERAL PERMIT TO DISCHARGE UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM TDR 150000".
3. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE.
4. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL EROSION CONTROL DEVICES, BEST MANAGEMENT PRACTICES (BMPs), AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
6. CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF APPLICABLE.
7. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED AT EACH INLET PER APPROVED DETAILS.
8. THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.
9. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES NEEDED DUE TO PROJECT PHASING.
10. CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION AND PREVENT SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
11. OFF-SITE SOIL BORROW, SPOIL, AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMPs TO CONTROL EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP TO EROSION CONTROL PLAN TO INCLUDE BMPs FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.
12. ALL STAGING, STOCKPILES, SPOIL, AND STORAGE SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. PROTECTIVE MEASURES SHALL BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCIRCLING THE AREA WITH AN APPROPRIATE BARRIER.
13. CONTRACTORS SHALL INSPECT ALL EROSION CONTROL DEVICES, BMPs, DISTURBED AREAS, AND VEHICLE ENTRY AND EXIT AREAS WEEKLY AND WITHIN 24 HOURS OF ALL RAINFALL EVENTS OF 0.5 INCHES OR GREATER, AND KEEP A RECORD OF THIS INSPECTION IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND EROSION CONTROL PLAN ARE FUNCTIONING PROPERLY.
14. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH CITY SPECIFICATIONS. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIMES FOR ALL INGRESS/EGRESS.
15. SITE ENTRY AND EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY.
16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION, AS REQUESTED BY OWNER AND CITY. AT A MINIMUM, THIS SHOULD OCCUR ONCE PER DAY FOR THE OFF-SITE ROADWAYS.
17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP BMP.
18. CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES, PER TCEQ AND CITY STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.
19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE SHALL BE PAID BY THE RESPONSIBLE CONTRACTOR.
20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.
21. TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, UNLESS ADDITIONAL CONSTRUCTION IN THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
22. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT, LOOSE MATERIAL, AND TRASH AS CONSTRUCTION PROGRESSES.
23. UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.
24. AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREDGED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

GENERAL PAVING NOTES:

1. ALL PAVING MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS, THE CITY STANDARD DETAILS AND SPECIFICATIONS, THE FINAL GEOTECHNICAL REPORT AND ALL ISSUED ADDENDA, AND COMMONLY ACCEPTED CONSTRUCTION STANDARDS. THE CITY SPECIFICATIONS SHALL GOVERN WHERE OTHER SPECIFICATIONS DO NOT EXIST. IN CASE OF CONFLICTING SPECIFICATIONS OR DETAILS, THE MORE RESTRICTIVE SPECIFICATION/DETAIL SHALL BE FOLLOWED.
2. ALL PRIVATE ON-SITE PAVING AND PAVING SUBGRADE SHALL COMPLY WITH THE PROJECT'S FINAL GEOTECHNICAL REPORT (OR LATEST EDITION), INCLUDING ALL ADDENDA.
3. ALL FIRELANE PAVING AND PAVING SUBGRADE SHALL COMPLY WITH CITY STANDARDS AND DETAILS. IF THESE ARE DIFFERENT THAN THOSE IN THE GEOTECHNICAL REPORT, THEN THE MORE RESTRICTIVE SHALL BE FOLLOWED.
4. ALL PUBLIC PAVING AND PAVING SUBGRADE SHALL COMPLY WITH CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR ALL PAVING AND PAVING SUBGRADE TESTING AND CERTIFICATION, UNLESS SPECIFIED OTHERWISE BY OWNER. ALL PAVING AND PAVING SUBGRADE TESTING SHALL BE COORDINATED WITH THE APPROPRIATE CITY INSPECTOR. TESTING SHALL BE PERFORMED BY AN APPROVED INDEPENDENT AGENCY FOR TESTING PAVING AND SUBGRADE. OWNER SHALL APPROVE THE AGENCY NOMINATED BY THE CONTRACTOR FOR PAVING AND PAVING SUBGRADE TESTING.
6. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO SHOW, BY THE STANDARD TESTING PROCEDURES OF THE PAVING AND PAVING SUBGRADE, THAT THE WORK CONSTRUCTED MEETS THE PROJECT REQUIREMENTS AND CITY SPECIFICATIONS.
7. ANY COMPONENTS OF THE PROJECT SUBJECT TO RESIDENTIAL USE SHALL ALSO CONFORM TO THE FAIR HOUSING ACT, AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
8. CONTRACTOR SHALL CONSTRUCT PROPOSED PAVEMENT TO MATCH EXISTING PAVEMENT WITH A SMOOTH, FLUSH, CONNECTION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS. ALL PAINT AND PAVEMENT MARKINGS SHALL ADHERE TO CITY AND OWNER STANDARDS.
10. FIRE LANES SHALL BE MARKED AND LABELED AS A FIRELANE PER CITY STANDARDS.
11. UNLESS THE PLANS SPECIFICALLY DICTATE TO THE CONTRARY, ON-SITE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED.
12. CONTRACTOR IS RESPONSIBLE FOR INSTALLING NECESSARY CONDUIT FOR LIGHTING, IRRIGATION, ETC. PRIOR TO PLACEMENT OF PAVEMENT. ALL CONSTRUCTION DOCUMENTS (CIVIL, MEP, LANDSCAPE, IRRIGATION, AND ARCHITECT) SHALL BE CONSULTED.
13. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (AND ADA COMPLIANCE) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
14. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA/TAS SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA AND TAS SLOPE COMPLIANCE ISSUES.

S89°11'19"E 319.11'

14' GAS, ELECTRIC, TELEPHONE AND CABLE T.V. EASEMENT

30' BUILDING SETBACK (VOL. 700, PGS. 6-8 D.P.R.)

N0°37'37"E 272.00'

SHIMMERING DAWN

PROPOSED CONSTRUCTION ENTRANCE

PROPOSED SILT FENCE

REFER TO LANDSCAPE PLAN FOR TREE PROTECTION (TYP.)

PROPOSED SILT FENCE

REFER TO LANDSCAPE PLANS FOR HARDSCAPE DETAILS

PROPOSED SILT FENCE

SEE PAVING/DIMENSION CONTROL INSET, THIS SHEET

N89°47'25"W 319.88'

S0°27'58"W 256.64'

NOTES

1. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. REFER TO LANDSCAPE ARCHITECT'S PLANS FOR DIMENSIONS AND DETAIL OF HARDSCAPE.
3. ALL CONSTRUCTION SPECIFICATIONS WITHIN CITY RIGHT-OF-WAY AND EASEMENTS SHALL COMPLY WITH CITY OF SAN ANTONIO STANDARDS. PRIOR APPROVAL TO USE ANY NON-STANDARD MATERIAL IS REQUIRED.
4. THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF:
A. CLEARING AND GRUBBING
B. PAVEMENT MODIFICATIONS
C. CONCRETE HARDSCAPE CONSTRUCTION
D. FINAL GRADING AND STABILIZATION
5. THE SUBSURFACE CONDITIONS ON-SITE CONSIST OF _____ AS PER THE GEOTECHNICAL REPORT PROVIDED BY _____, DATED _____, REPORT NO. _____.
6. STORM WATER ON-SITE WILL LEAVE THE SITE VIA SHEET FLOW.
7. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, OR LANDSCAPING.
8. PER FIRM MAPS 48029C03560, DATED SEPTEMBER 29, 2010, THE SITE IS PARTIALLY LOCATED WITHIN A FEMA DESIGNATED FLOODPLAIN.

CAUTION!!

MANY EXISTING UNDERGROUND UTILITIES EXIST IN THE AREA. THE UTILITIES SHOWN ON THIS PLAN ARE FROM COSA SURVEY AND AVAILABLE PLANS ONLY-THE INFORMATION IS VERY UNLIKELY TO BE COMPLETE OR PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO UTILITIES DUE TO DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

SITE DATA

TOTAL AREA DISTURBED*	X.XXX AC	(X.XXX SF)
PAVED AREA	X.XXX AC	(X.XXX SF)
LANDSCAPED AREA	X.XXX AC	(X.XXX SF)
* DOES NOT INCLUDE ANY OFF-SITE DISPOSAL OR BORROW AREAS - CONTRACTOR TO UPDATE AS NECESSARY DURING CONSTRUCTION		
NO SINGLE DRAINAGE AREA EXCEEDS 10 ACRES, THEREFORE SEDIMENTATION BASIN IS NOT REQUIRED		

EROSION CONTROL SCHEDULE AND SEQUENCE

I. ROUGH GRADING	TREE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING, AS NEEDED.
II. PAVING	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
III. FINAL GRADING/ SOIL STABILIZATION/ LANDSCAPING	ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE CITY OR COUNTY.



LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN

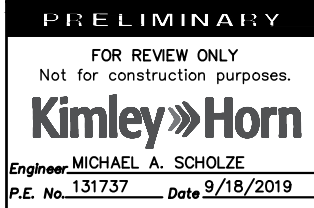
2310 N. LOOP 1604, STE #22
SAN ANTONIO, TX 78232

P: 210-908-6736
WWW.GOOPENAIR.COM

PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN
SAN ANTONIO, TEXAS



PROJECT #:
DESIGNED BY: MAS
DRAWN BY: NRS
REVIEWED BY: MAS

ISSUED: 9/19/2019



SHEET TITLE:

CIVIL
SITE
PLAN

SHEET NUMBER:

C1.0

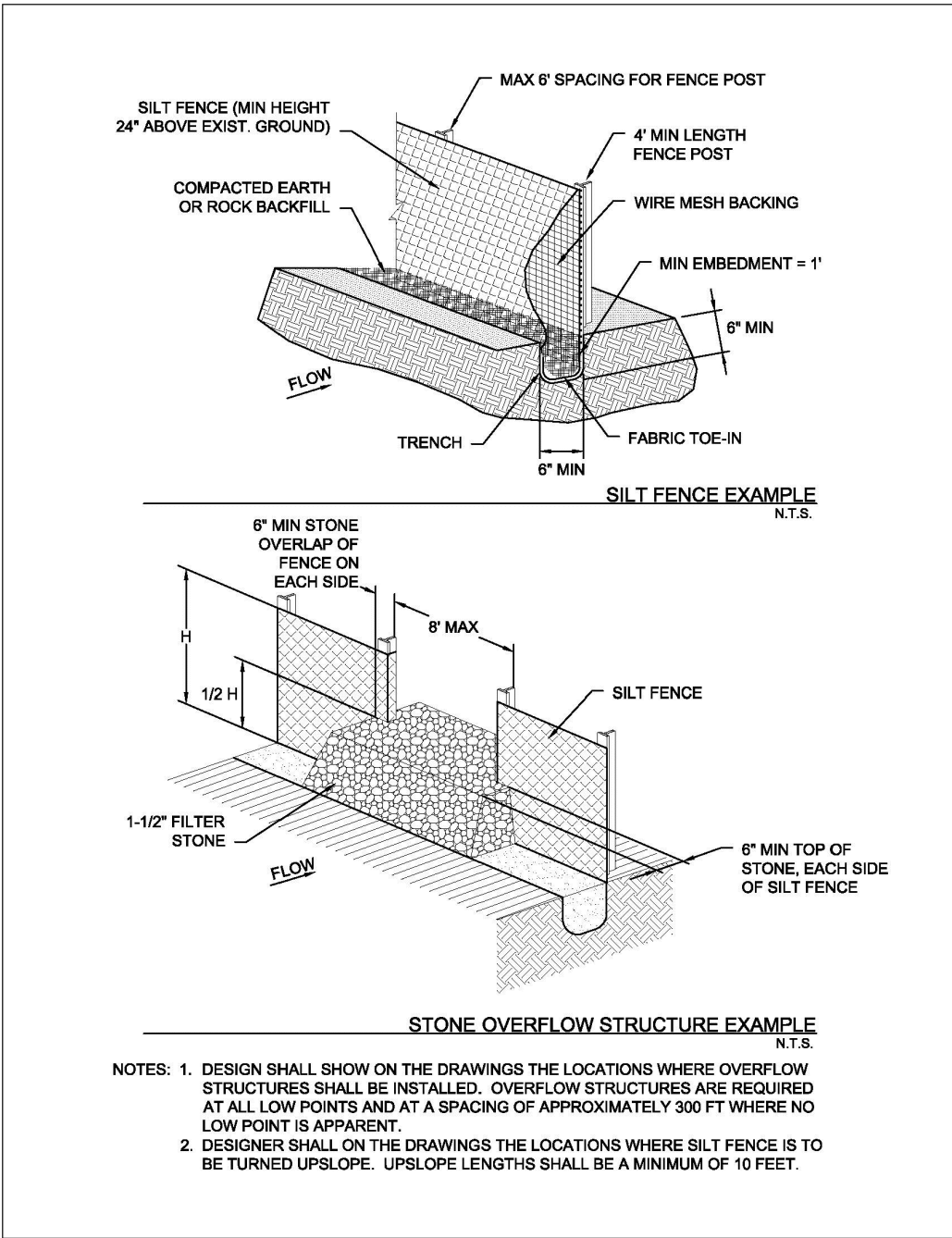


Figure 3.28 Schematics of Silt Fence

Silt Fence
Revised 04/10

CC-147

SILT FENCE DETAIL

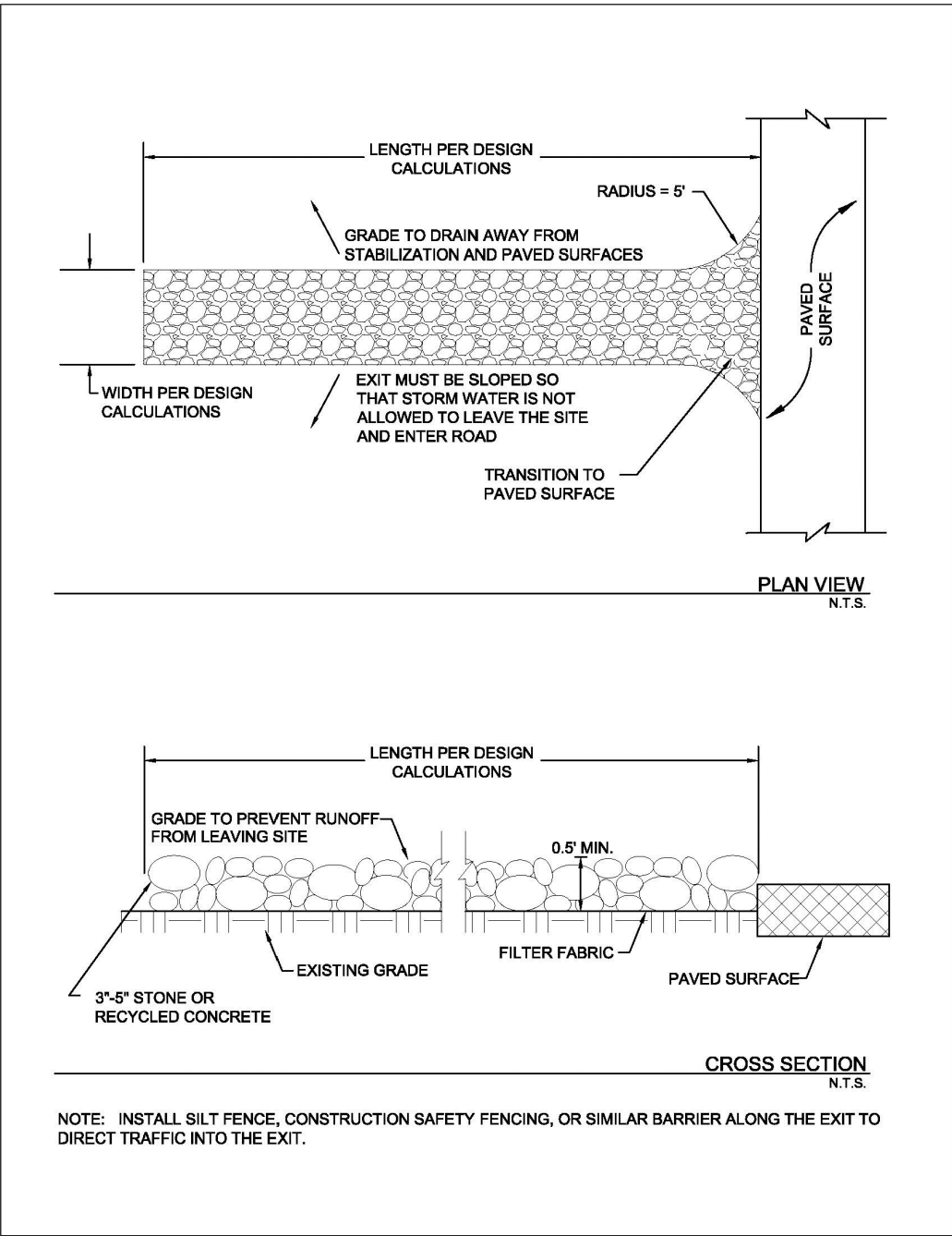


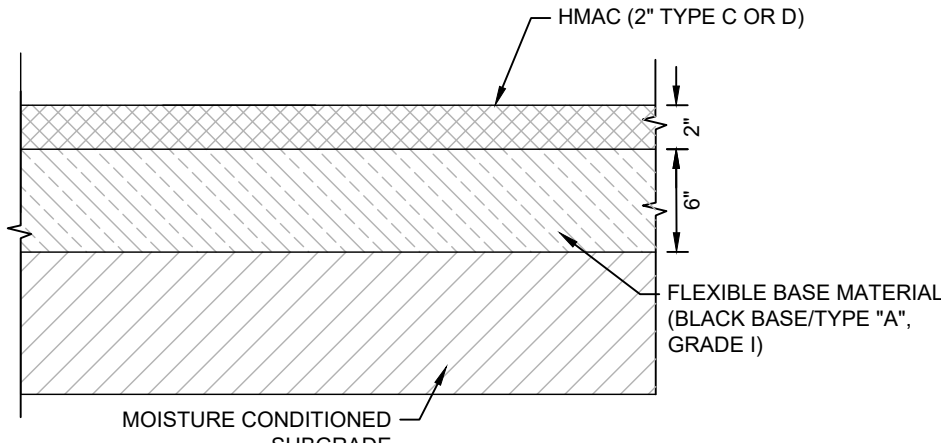
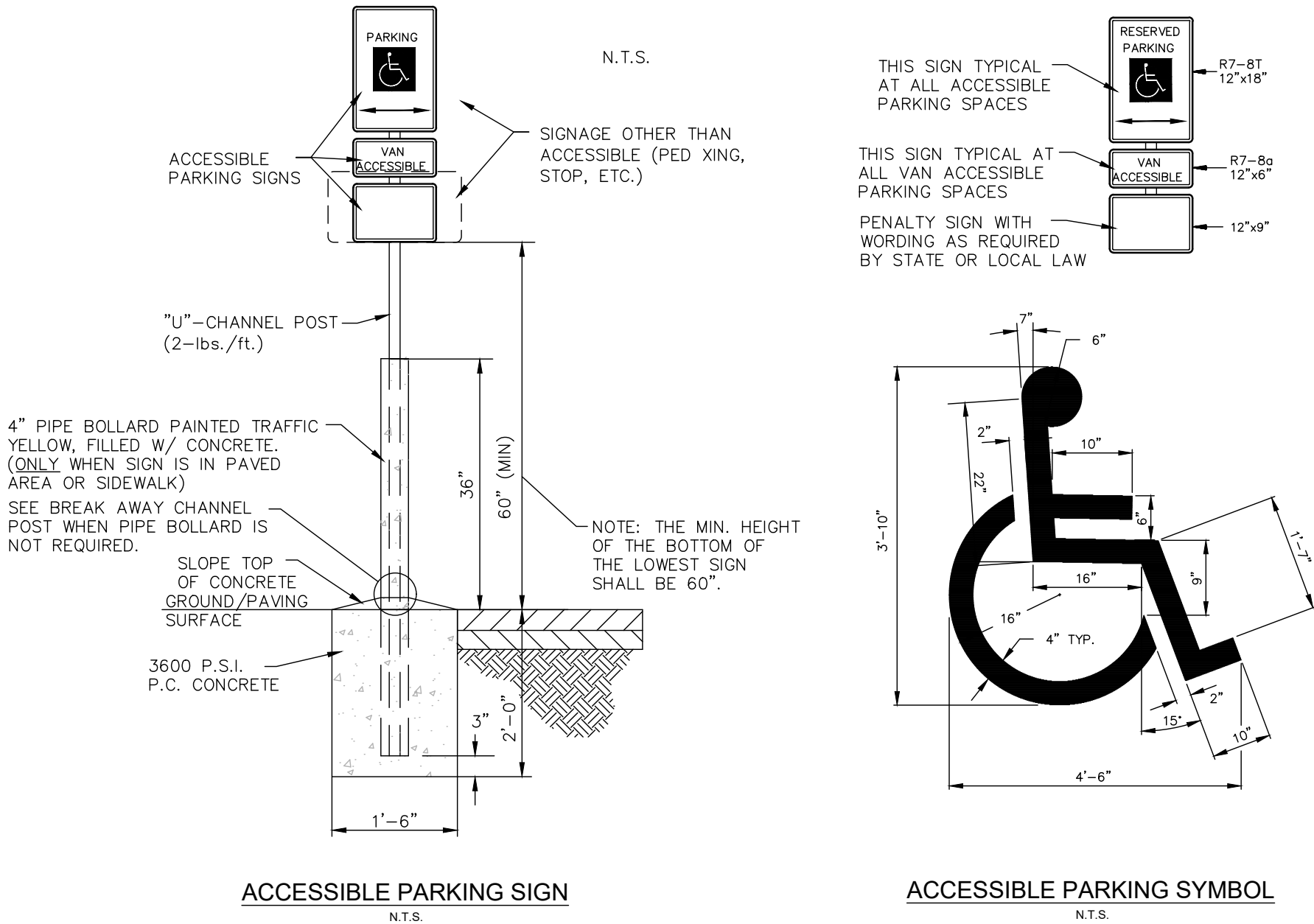
Figure 3.29 Schematics of Stabilized Construction Exit

Stabilized Construction Exit
Revised 04/10

CC-151

CONSTRUCTION ENTRANCE DETAIL

Table 3.9 Minimum Exit Dimensions		
Disturbed Area	Min. Width of Exit	Min. Length of Exit
< 1 Acre	15 feet	20 feet
≥ 1 Acre but < 5 Acres	25 feet	50 feet
≥ 5 Acres	30 feet	50 feet



- PAVING SECTION NOTES:
1. PRIOR TO PLACING ANY FILL, ANY VEGETATION, LOOSE TOPSOIL, AND ANY OTHERWISE UNSUITABLE MATERIALS SHOULD BE REMOVED FROM THE NEW PAVEMENT AREAS. AFTER STRIPPING, THE SUBGRADE SHOULD BE PROOF-ROLLED WHERE POSSIBLE TO AID IN LOCATING LOOSE OR SOFT AREAS. PROOF-ROLLING CAN BE PERFORMED WITH A 15-TON ROLLER OF FULLY LOADED DUMP TRUCK.
 2. THE ASPHALTIC CONCRETE SURFACE COURSE SHOULD BE PLANT MIXED, HOT LAID TYPE C OR D SURFACE.
 3. THE ASPHALTIC BASE COURSE SHOULD BE PLANT MIXED, HOT LAID TYPE A OR B.

PRELIMINARY FLEXIBLE PAVEMENT SECTION
N.T.S.

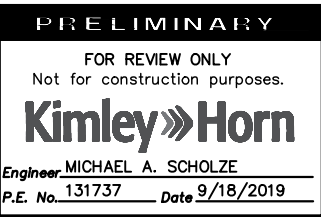


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PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN
SAN ANTONIO, TEXAS



PROJECT #:
DESIGNED BY: MAS
DRAWN BY: NRS
REVIEWED BY: MAS
ISSUED: 9/19/2019

Kimley-Horn
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
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SHEET TITLE:


CIVIL
DETAILS

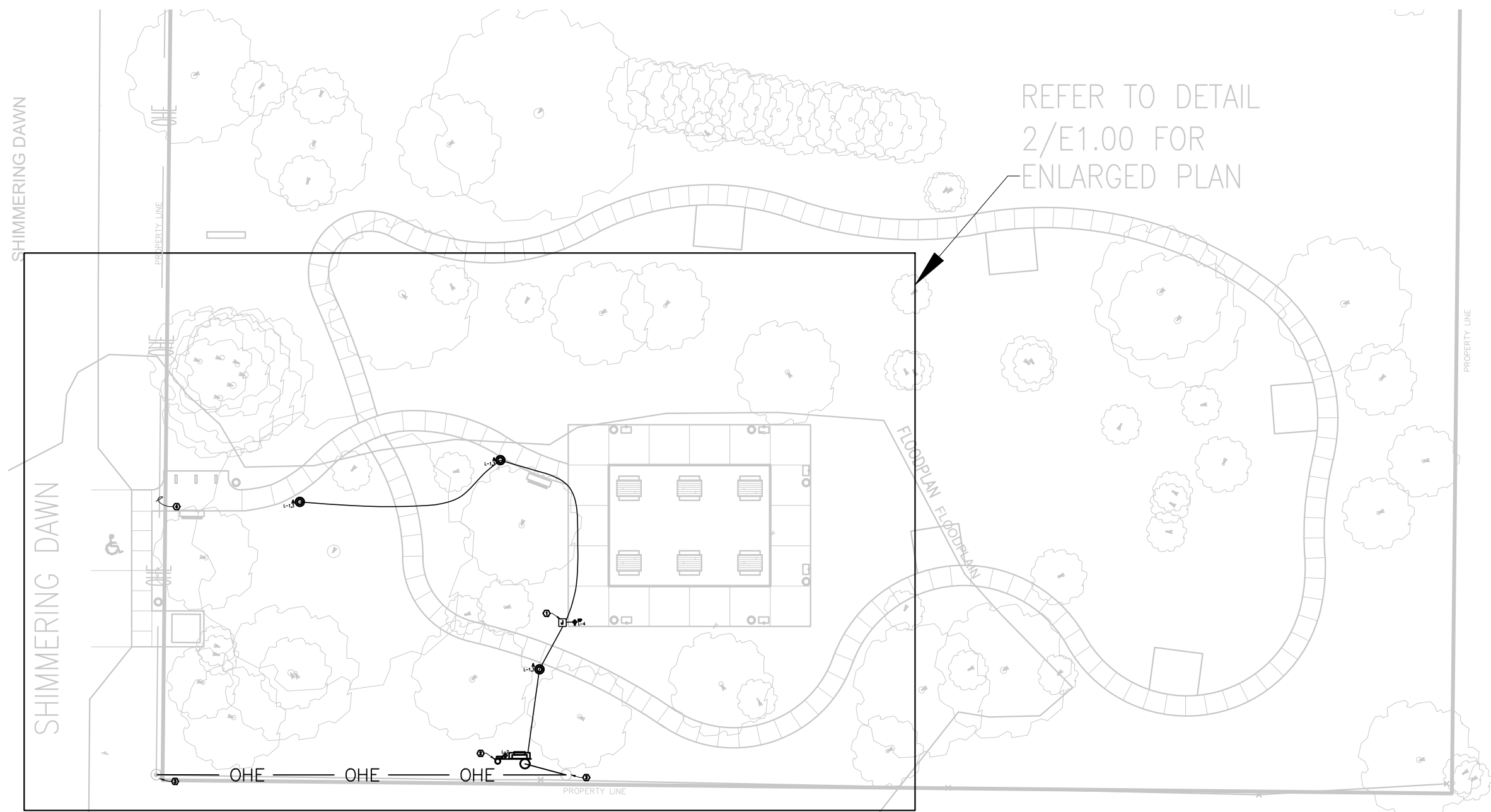
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C1.1

ELECTRICAL SYMBOLS & ABBREVIATIONS

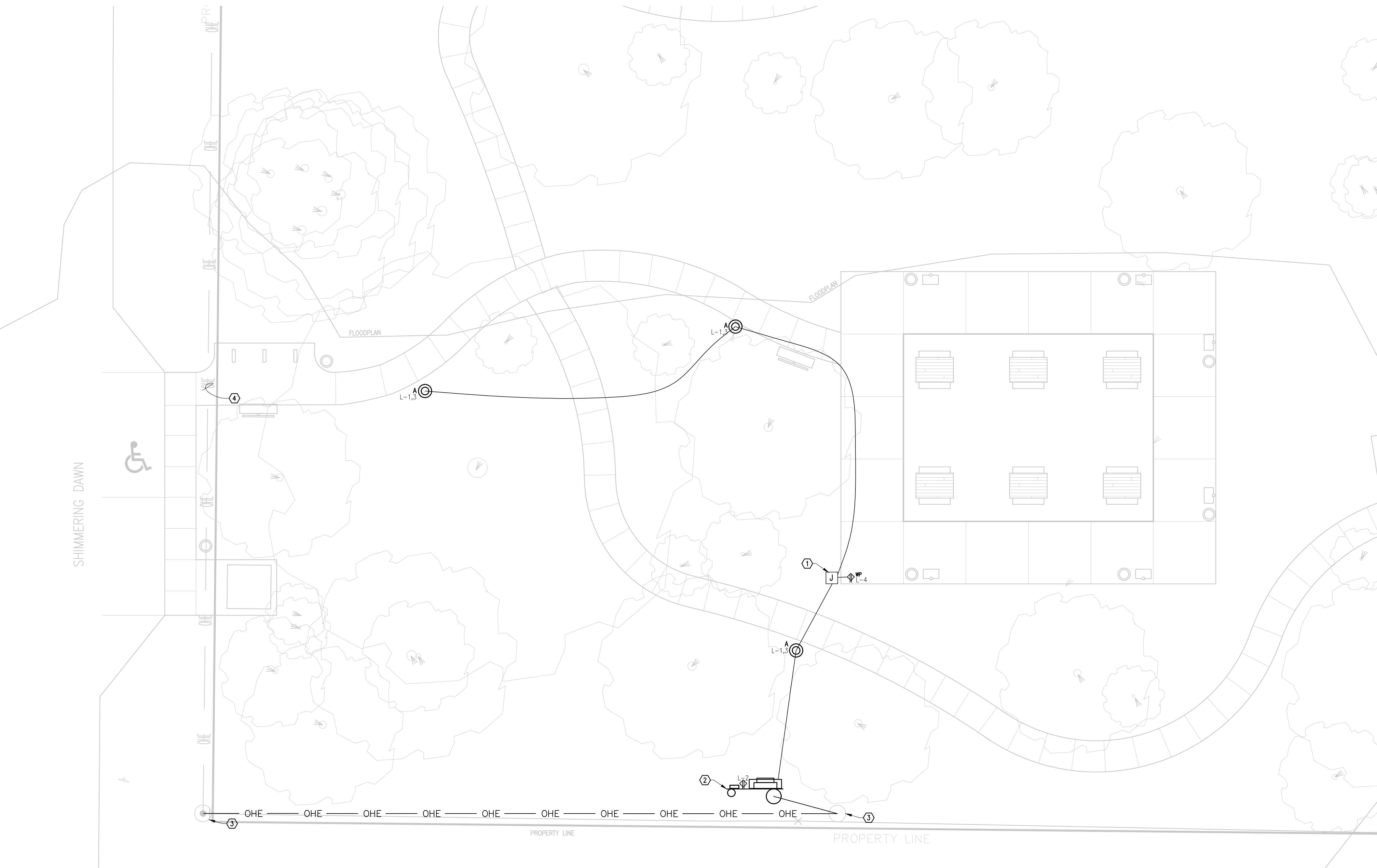
[SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT]

SYMBOL		DESCRIPTION		ABBREVIATION		DESCRIPTION		ABBREVIATION		DESCRIPTION		GENERAL NOTES		LIGHTING GENERAL NOTES	
GENERAL															
		JUNCTION BOX, IN-GRADE PULLBOX		A		AMPERE(S)		IC		INTERCOM		<div>1. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND REVIEW ALL RELATED DRAWINGS AND SPECIFICATIONS PRIOR TO BID.</div> <div>2. THE DRAWINGS ARE DIAGRAMMATICAL. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND DETERMINE CONDUIT ROUTING AND EXACT LOCATIONS OF EQUIPMENT AND DEVICES. NOTIFY THE ARCHITECT/ENGINEER IF THE APPROXIMATE CONDUIT ROUTING SHOWN ON PLANS IS NOT FEASIBLE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ROUGH-IN.</div> <div>3. LOCATIONS OF DEVICES ARE DIAGRAMMATICAL. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ROUGH-IN.</div> <div>4. REFERENCE EQUIPMENT CONNECTION SCHEDULE FOR REQUIREMENTS AND ADDITIONAL INFORMATION OF TAGGED EQUIPMENT SHOWN ON PLAN.</div> <div>5. LOCATIONS OF MECHANICAL EQUIPMENT TO BE COORDINATED WITH MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND QUANTITY.</div> <div>6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT ISSUE OF THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES. ALL WORK SHALL MATCH THE EXISTING BUILDING'S ELECTRICAL INSTALLATION. ALL SYSTEMS SHALL BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS APPROVED BY ALL AUTHORITIES HAVING JURISDICTION.</div> <div>7. PROVIDE A TYPED PANEL DIRECTORY FOR EACH NEW OR MODIFIED ELECTRICAL PANEL. DIRECTORY SHALL IDENTIFY THE CIRCUIT NUMBER, DEVICES SERVED, AND LOCATION OF DEVICES BY ROOM NUMBER. FILE COPY OF DIRECTORIES WITH THE OWNER'S REPRESENTATIVE WHEN WORK IS COMPLETED, AND PROVIDE COPIES WITH THE OWNER'S MANUALS.</div> <div>8. INDICATED SPARE AND/OR SPACES IN ALL EQUIPMENT ON THE ELECTRICAL ONE-LINE DIAGRAM AND IN THE PANEL SCHEDULES ARE THE MINIMUM NUMBER REQUIRED FOR THIS PROJECT.</div> <div>9. PROVIDE UL CLASS A GROUND FAULT INTERRUPTER CIRCUIT PROTECTIVE DEVICES ON ALL CONSTRUCTION RECEPTACLE CIRCUITS, OUTSIDE RECEPTACLE CIRCUITS, AND ON ALL OTHER CIRCUITS REQUIRED OR RECOMMENDED IN THE NATIONAL ELECTRIC CODE.</div> <div>10. ALL FUSES/CIRCUIT BREAKERS IN PANELS, DISCONNECT SWITCHES, MOTOR STARTERS, ETC., SERVING MOTORS AND EQUIPMENT SHALL BE SIZED AS RECOMMENDED BY THE MANUFACTURER OF THE PARTICULAR LOAD DEVICE SERVED. COORDINATE WITH OTHER TRACES AS REQUIRED.</div>			
LIGHTING CONTROL PANELBOARDS (26 09 26)				ABV		ABOVE		ID		INSIDE DIAMETER					
				AC		ABOVE COUNTER		IMC		INTERMEDIATE STEEL CONDUIT					
				A/C		AIR CONDITIONING		IN		INCHES					
				AIC		AMPERE INTERRUPTING CAPACITY		INC		INCANDESCENT					
				AFF		ABOVE FINISHED FLOOR		IG		ISOLATED GROUND					
				AFG		ABOVE FINISHED GRADE		JB		JUNCTION BOX					
				AHU		AIR HANDLING UNIT		KV		KILOVOLT					
				ATS		AUTOMATIC TRANSFER SWITCH		KVA		KILOVOLT AMPERE					
				BC		BELOW COUNTER		KVAC		KILOVOLT AMPERE CAPACITIVE					
PANELBOARDS (26 24 16)				BFF		BELOW FINISHED FLOOR		KVAR		KILOVOLT AMPERE REACTIVE					
				BLDG		BUILDING		KW		KILOWATT					
								KWH		KILOWATT HOUR					
				C		CONDUIT		LB		POUND					
				CB		CIRCUIT BREAKER		M		MANHOLE					
				CCTV		CLOSED CIRCUIT TELEVISION		MAX		MAXIMUM					
				CKT		CIRCUIT		MCC		MOTOR CONTROL CENTER					
				COND		CONDUCTOR		MECH		MECHANICAL					
				CPU		CENTRAL PROCESSING UNIT		MEP		MECHANICAL, ELECTRICAL & PLUMBING					
INTERIOR & EXTERIOR LIGHTING (26 51 00 & 26 56 00)				DIA		DIAMETER		MH		MOUNTING HEIGHT					
				DIST		DISTRIBUTION		MIN		MINIMUM					
				DN		DOWN		MLO		MAIN LUGS ONLY					
				DWGS		DRAWINGS		MTG		MOUNTING					
RACEWAYS (26 05 33)				EC		EMPTY CONDUIT		NA		NOT APPLICABLE					
				EDF		ELECTRIC DRINKING FOUNTAIN		NC		NORMALLY CLOSED					
				EF		EXHAUST FAN		NF		NON FUSED					
				EMT		ELEC. METALLIC TUBING		NO		NORMALLY OPEN					
				EQMT		EQUIPMENT		N.T.S.		NOT-TO-SCALE					
				EWC		ELECTRIC WATER COOLER		OC		ON CENTER					
				EXH		EXHAUST		OH		OVERHEAD					
				EXTG		EXISTING									
				F/A		FIRE ALARM		P		POLE					
				FC		FOOT CANDLES		PA		PUBLIC ADDRESS					
				FCU		FAN COIL UNIT		PB		PUSH BUTTON					
				FLEX		FLEXIBLE METAL CONDUIT		PBX		PRIVATE BUILDING EXCHANGE					
				FLUOR		FLUORESCENT		PC		PULL CHAIN					
				FN		FULL NEUTRAL		PEC		PHOTO CELL					
				FT		FEET, FOOT		PNL		PANELBOARD					
								PSI		POUNDS PER SQUARE INCH					
								PVC		POLY VINYL CHLORIDE CONDUIT					
								PWR		POWER					
								RGS		RIGID GALVANIZED STEEL CONDUIT					
								RMC		RIGID METAL CONDUIT					
								SC		SPLIT CIRCUIT					
								SN		SOLID NEUTRAL					
								SQFT		SQUARE FEET,FOOT					
								SW		SWITCH					
								SWBD		SWITCHBOARD					
								TC		TIME CLOCK					
								TELE		TELEPHONE					
								TSTAT		THERMOSTAT					
								TV		TELEVISION					
								TYP.		TYPICAL					
								UH		UNIT HEATER					
								UEP		UNDERGROUND ELECTRIC PRIMARY					
								UES		UNDERGROUND ELECTRIC SECONDARY					
								UEB		UNDERGROUND ELECTRIC BRANCH CIRCUIT					
								U.N.O.		UNLESS NOTED OTHERWISE					
								V		VOLT(S)					
								VP		VAPOR PROOF					
								W		WIRE					
								WP		WEATHERPROOF					
								XFMR		TRANSFORMER					
								XPD		TRANSPONDER					
								Z		IMPEDENCE					
								1P		ONE POLE					
								2P		TWO POLE					
								3P		THREE POLE					
								Ø		PHASE					
WIRING DEVICES (26 27 26)												<div>1. ALL RECEPTACLES SHALL BE COMMERCIAL SPECIFICATION GRADE UNLESS NOTED OTHERWISE.</div>			



1 OVERALL SITE PLAN

SCALE: N.T.S.



2 ENLARGED SITE PLAN

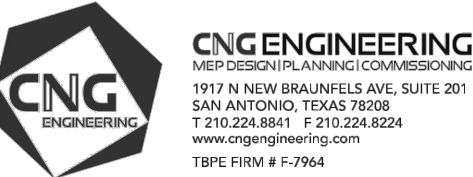
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KEYED NOTES: (THIS SHEET ONLY)

1. LOCATION OF MEDIUM DUTY PULL BOXES. EXACT LOCATION AND CONDUIT ROUTING TO BE DETERMINED IN FIELD, REF. 2/E2.00 FOR ADDITIONAL INFORMATION.
2. LOCATION OF ELECTRICAL SERVICE ENTRANCE, REF. 1/E2.00 FOR ADDITIONAL INFORMATION.
3. APPROXIMATE LOCATION OF EXISTING CPS ENERGY UTILITY POLE. EXACT LOCATION TO BE FIELD VERIFIED.
4. EXISTING OVERHEAD CPS ELECTRICAL LINES.
5. PROVIDE ABOVE-GRADE LANDSCAPING RECEPTACLE. REFER TO DETAIL 3/E.2.00 FOR DETAILS.

GENERAL NOTES: (THIS SHEET ONLY)

- A. REFER TO LIGHTING FIXTURE SCHEDULE ON SHEET E2.00 FOR ADDITIONAL INFORMATION.
- B. PHOTO CELL INPUT SHALL PROVIDE ON/OFF CONTROL FOR LIGHTING CIRCUITED THROUGH TIME CLOCK.
- C. ALL LIGHTING CIRCUITS SHALL HAVE ELECTRICAL FEEDERS SIZED AT (2) #8 CU. & (1) #8 GND. CU. IN 1" SCHEDULE 40 PVC CONDUIT.
- D. REFER TO DETAILS 4/E2.00 AND 5/E2.00 FOR TRENCHING DETAILS.



PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN ST.
SAN ANTONIO, TX 78253

INTERIM
REVIEW ONLY
Document Incomplete: Not
intended for permit,
bidding or construction.
Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name: CNG ENGINEERING, PLLC.
Com. Reg. No.: F-7964
Date: 09-25-19

PROJECT #:
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

ISSUED:

SHEET TITLE:

ELECTRICAL
SITE PLAN

SHEET NUMBER:

E1.00



OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

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Document Incomplete: Not
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Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name:
CNG ENGINEERING, PLLC.
Com. Reg. No.: F-7964
Date: 09-25-19

ISSUED:

ELECTRICAL RISER DIAGRAM, DETAILS, AND SCHEDULES

E2.00

- A. PROVIDE REQUIRED BRACING FOR RECEPTACLE AND UNISTRUT MOUNTING.
- B. UNIT SHALL BE PAINTED TO MATCH LANDSCAPE.
- C. PROVIDE DIE-CAST ALUMINUM WHILE-IN-USE COVER EQUAL TO INTERMATIC WP1250MVXD.

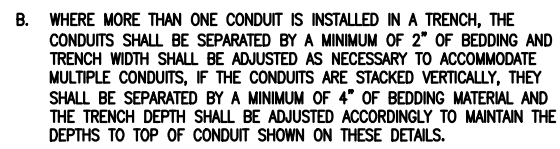
1. 1-1/4" X 1-1/4" GALVANIZED STEEL CHANNEL. (TYPICAL)
2. ONE(1) WEATHERPROOF J-BOX WITH A 20-AMP GFI RECEPTACLE.
PROVIDE A "WHILE-IN-USE" COVER.
3. POLE SUPPORT FOR STEEL PLATE PROJECTOR MOUNT AS PROVIDED BY
ARCHITECT DESIGNS.
4. COORDINATE INSTALLATION WITH ARCHITECT PLANS AND LANDSCAPING TO
MATCH HEIGHT OF STONE BENCH.



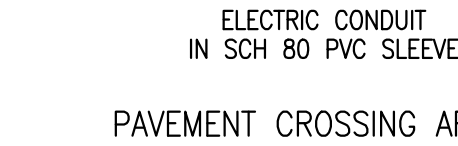
NOT TO SCALE

1. EQUIPMENT SHALL BE MOUNTED ON NEW 30 FOOT WOODEN POLE WITH WEATHERHEAD. SEE SHEET E1.00 FOR INSTALLATION LOCATION, AND CONFIRM WITH OWNER/ARCHITECT. ENSURE THAT EQUIPMENT IS MOUNTED PROPERLY PER NEC 2017, AND THAT ALL CONNECTIONS ARE WEATHERPROOF.
2. ALL EQUIPMENT SHALL BE INSTALLED PER CPSE REQUIREMENTS.

(103) 3#1, 1#8GND, 2"C



4 NOT TO SCALE



NOTES: 1 EXISTING DEMAND LOAD DETERMINED IN ACCORDANCE WITH NEC 220.87
2 DIVERSIFIED PER NEC 220.14

PANELBOARD 'L'

Notes:

1. ACCEPTABLE EQUIVALENT MANUFACTURERS MAY BE SUBMITTED TO BASIS OF DESIGN.
2. ALL POLES, FIXTURES, AND CROSSARMS EPA SHALL BE CONFIRMED BY THE MANUFACTURER AND REVIEWED IN SUBMITTAL PHASE.
3. FINISH COLOR OF POLES AND LUMINAIRES SHALL MATCH. PROVIDE DARK BRONZE COLOR UNLESS OTHERWISE DIRECTED BY ARCHITECT DURING SUBMITTAL PHASE.

PROJECT:	North Hills Park
PROJECT NO:	0031-19
PROJECT TYPE:	New Construction
TYPE OF BUILDING:	N.A. (Park Walkway Lighting Only)

Persuant to the San Antonio Unified Development Code Section 235-339.04 - Military Overlay Districts :

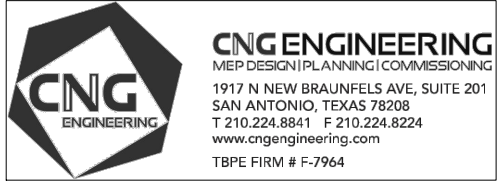
The project site location at 3222 Shimmering Dawn St San Antonio, TX 78253 is not located within any Military Overlay District areas and is not required

to be in compliance with Military Overlay District requirements for exterior full cut-off and fully shielded lighting fixtures. Zoning, districts, and special

conditions were confirmed with the One Stop Map provided by the City of San Antonio online at <https://gis.sanantonio.gov/DSD/OneStop/Index>.

Although not required, exterior lighting will be full cut-off and fully shielded. The exterior lighting will be in compliance with the City of San Antonio

Chapter 10 Code, Unified Development Code Section 35-392, NEC and IECC 2018 requirements.



PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN ST.
SAN ANTONIO, TX 78253

INTERIM
REVIEW ONLY
Document Incomplete: Not
intended for permit,
bidding or construction.
Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name: CNG ENGINEERING, PLLC.
Com. Reg. No.: F-7964
Date: 09-25-19

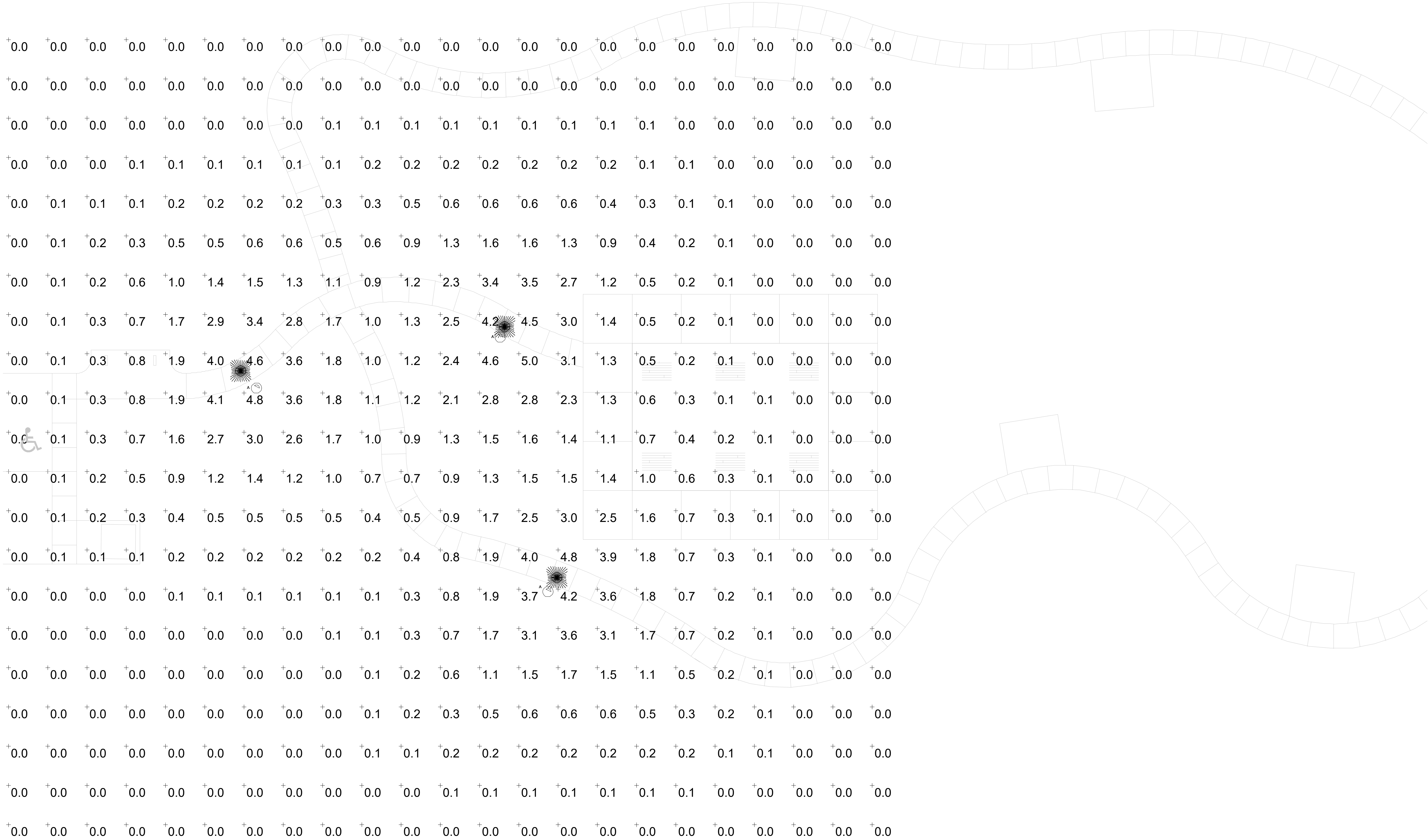
PROJECT #:
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

ISSUED:

SHEET TITLE:

ELECTRICAL
LIGHTING
PHOTOMETRICS

SHEET NUMBER:
E3.00



SHIMMERING DAWN