

HISTORIC AND DESIGN REVIEW COMMISSION

November 06, 2019

HDRC CASE NO: 2019-283
ADDRESS: 138 S JOSEPHINE TOBIN
LEGAL DESCRIPTION: NCB 2027 BLK LOT A1
ZONING: R-6,H
CITY COUNCIL DIST.: 1
DISTRICT: Woodlawn Lake and Park Historic District
APPLICANT: Melissa Douglas/Douglas Architects, Inc.
OWNER: Cathleen Crabb/CITY OF SAN ANTONIO
TYPE OF WORK: Final approval the new construction of a community center
APPLICATION RECEIVED: October 18, 2019
60-DAY REVIEW: December 17, 2019
CASE MANAGER: Stephanie Phillips
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a new 1-story community center measuring approximately 10,000 square feet.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. Setbacks—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. Orientation—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. Orientation—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

- i. Similar height and scale—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

- i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.

ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. Building to lot ratio—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

i. Visibility—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

ii. Service Areas—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING

- i. Building-mounted equipment—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
- ii. Freestanding equipment—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
- iii. Roof-mounted equipment—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

FINDINGS:

- a. The property located at 138 S Josephine Tobin is the site of the Berta Almaguer Dance Studio, a city-owned public facility. The structure is contributing to the Woodlawn Lake and Park Historic District and is within the Woodlawn Lake Neighborhood Conservation District (NCD-8). The applicant has proposed to construct a new City of San Antonio Parks building on the same site as an existing building, which is requested to be demolished. The new facility will be approximately 10,000 square feet.
- b. CONCEPTUAL APPROVAL – The applicant received conceptual approval for demolition and new construction from the Historic and Design Review Commission (HDRC) on July 17, 2019. The approval carried the following stipulations:
 1. That the applicant provides a comprehensive salvage plan for the existing materials and reuses as much material as possible in the new structure, particularly the façade bricks, chimney bricks, and structural beams. Plans for material reuse within the new structure should be clearly illustrated in the submittal for final approval; **this stipulation has been met.**
 2. That the landscaping along the street frontage is significantly increased and that additional parking lot trees and shrubbery be introduced; **this stipulation has been met.**
 3. That the design includes an interpretative element. A gallery of images and video paying tribute to Berta Almaguer should be incorporated in the lobby (or other highly visible and sizeable area approved by HDRC). The gallery should include interpretative text describing Ms. Almaguer's contributions to the cultural heritage of San Antonio using research and materials existing in archives of the City of San Antonio Parks and Recreation Department; **this stipulation will carry over to final approval.**
 4. That the Bertha Almaguer building name be retained; **this stipulation will carry over to final approval.**
- c. DESIGN REVIEW COMMITTEE AND PROJECT HISTORY – The applicant met with the Design Review Committee on January 22, 2019. The DRC feedback included incorporating the brick from the existing structure into the new proposed chimney element and integrating similar design details and elements; integrating the large interior beams into the new structure in a non-structural way; and incorporating arches into the new beams to echo the existing beam design. The DRC recognized the cultural and material significance of the existing structure.
- d. DEMOLITION – An application for demolition of this existing structure was submitted to the Office of Historic Preservation on May 17, 2019. The request for demolition was considered and approved by the Historic and Design Review Commission (HDRC) at the July 17, 2019, HDRC hearing.
- e. SCALE AND DESIGN – According to the Historic Design Guidelines, buildings should be designed to be in scale with their adjoining surroundings and harmonious with the surrounding characteristics of the neighborhood. Scale and massing should be compatible with the adjacent area and the design should reflect the highest quality standards. Historically significant aspects of the site shall be identified and incorporated into the design. Based on the submitted site plan and drawings, the building will have a multislope roofline that is primarily 1-story in height. The overall siting, scale, and design of the proposed new structure responds heavily to the architectural vocabulary of the existing structure. The existing structure is located within a locally designated historic district. The character defining features of the existing structure include the massive brick chimney with cap, exposed timber beams, glass panels, sweeping sloping roofline, and strong horizontality. The applicant has proposed to integrate salvaged materials into the new building per their submitted salvage plan. Staff finds that the proposal meets the stipulations from conceptual approval.
- f. MATERIALS – Per the submitted application, the applicant has proposed a structure of suspended concrete foundation over carton forms. Per the applicant's narrative, the primary structure will be steel columns and girders (exposed to be possibly wood clad), with steel purlins and metal deck. Above the metal deck will be rigid, continuous insulation and a standing seam metal roof. The metal roof will be an approved, cool-roof finish and will slope and divert rainwater into several water catchment cisterns. Exterior cladding will be ceramic or metal panels, with tan brick at the monumental "chimney" and at the side entrances, similar to the existing structure. Fenestration will be thermally broken, aluminum storefront or aluminum-clad wood, with insulated triple-glazing. The rhythm and spacing of mullions will resemble the original wood windows. At the entry, where the corner of

the largest dance studio is located, and along the east-facing clerestory, insulated translucent panels, such as Kalwall, will be used to provide internal illumination, mitigate heat gain and provide privacy for the occupants. A new patio on the east side will be added to overlook and fully embrace the beautiful casting pond, directly to the east. Per the applicant, the brick chimney, low-sloped roofs, deep overhangs, large window pattern and views to the casting pond will all harken back to some of the best elements of the existing building. Staff finds the proposal consistent.

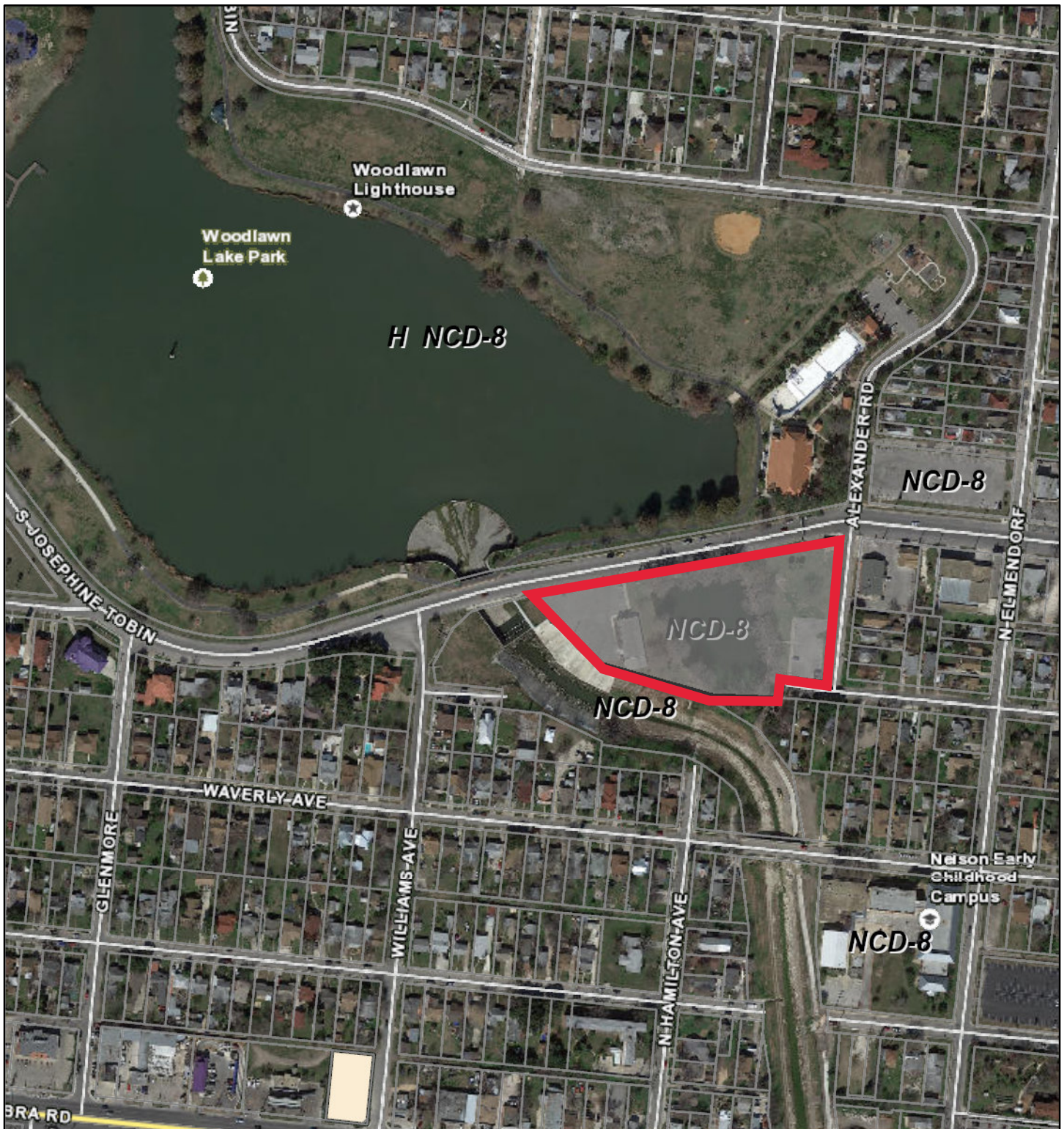
- g. MECHANICAL EQUIPMENT – The applicant is responsible for screening all mechanical equipment in conformance with the Historic Design Guidelines.
- h. HARDSCAPING AND PARKING – The applicant has proposed to retain a majority of the existing hardscaping features. Proposed modifications include a new van accessible parking and new stained, banded concrete walks along the casting pond frontage. A significant landscape buffer has been added since conceptual approval. Staff finds the proposal generally consistent with the Guidelines.
- i. LANDSCAPING – According to the UDC and Historic Design Guidelines, parking areas should be screened from view from the public right-of-way and should feature attractive fences, berms, plantings, or other means appropriate to the site. Per the submitted site plan, new sidewalk and street trees will be added, along with a bio-retention rain garden and water catchment cisterns. Staff finds this to be generally consistent with the UDC.
- j. INTERPRETIVE ELEMENT – The existing structure is significant to the cultural heritage and image of San Antonio. Per the stipulations from conceptual approval, the design must include an interpretative element. Per the applicant's submission, a gallery of images and video paying tribute to Berta Almaguer will be incorporated in the lobby and will include interpretative text describing Ms. Almaguer's contributions to the cultural heritage of San Antonio using research and materials existing in archives of the City of San Antonio Parks and Recreation Department. Staff finds the proposal consistent.
- k. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

RECOMMENDATION:

Staff recommends final approval based on findings 1a through 2f with the following stipulations:

- i. That the final proposal and design elements for the proposed interpretive element and Bertha Almaguer portrait be provided to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- ii. That the Bertha Almaguer building name be retained.
- iii. That all building signage be submitted as a separate application for review and approval by the Historic and Design Review Commission (HDRC).
- iv. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

City of San Antonio One Stop



June 11, 2019

drawGraphics_poly



User drawn polygons



Community Service Centers



Pre-K Sites



CoSA Parcels

BCAD Parcels



Recorded Plats

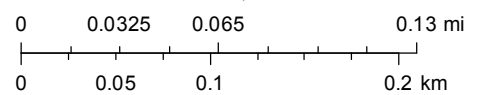


Preliminary Plats



COSA City Limit Boundary

1:4,000







COSA Woodlawn Lake Recreation Center

APPLICATION FOR FINAL APPROVAL

NOVEMBER 06, 2019

DOUGLAS ARCHITECTS

WOODLAWN LAKE RECREATION CENTER | Agenda

Agenda

1. HDRC Conceptual and Demolition Approval
Received 7/17/2019
2. Staff Recommendations
3. Final Drawings and Specifications
Submitted 10/18/19
4. Exterior and Interior Materials Palette



Staff Recommendations

- A. Salvage Plan for Existing Materials
Reuse Materials in the New Structure
1. Facade Bricks
2. Chimney Bricks
3. Structural Beams
- B. Increased Landscaping Along Frontage Street
Additional Parking Lot Trees and Shrubbery
- C. Interpretive Element Paying Tribute to Berta Almaguer (Images, Text, and Video)
- D. Berta Almaguer Building Name to be Retained

Salvage Plan Beyond Staff Recommendations

- A. Wood Ceiling Finish (if useable)
- B. Ballet Barres (to be re-used elsewhere)
- C. Sprung Floors (to be re-used elsewhere)
- D. Remaining Glu-lam Beams (to be returned to CoSA/Parks for re-use elsewhere)

RECOMMENDATION:

The proposed project requests the demolition of a contributing structure in a local historic district.

If the HDRC finds that the criteria for establishing an unreasonable economic hardship have not been met and that a loss of significance has not occurred, the existing structure should be incorporated into the design of the project proposal to the fullest extent possible and also meet the following stipulations:

- i. That the landscaping along the street frontage is significantly increased and that additional parking lot trees and shrubbery be introduced as noted in finding 2d.
- ii. That the design includes an interpretative element. A gallery of images and video paying tribute to Berta Almaguer should be incorporated in the lobby (or other highly visible and sizeable area approved by HDRC). The gallery should include interpretative text describing Ms. Almaguer’s contributions to the cultural heritage of San Antonio using research and materials existing in archives of the City of San Antonio Parks and Recreation Department.
- iii. That the Bertha Almaguer building name be retained.

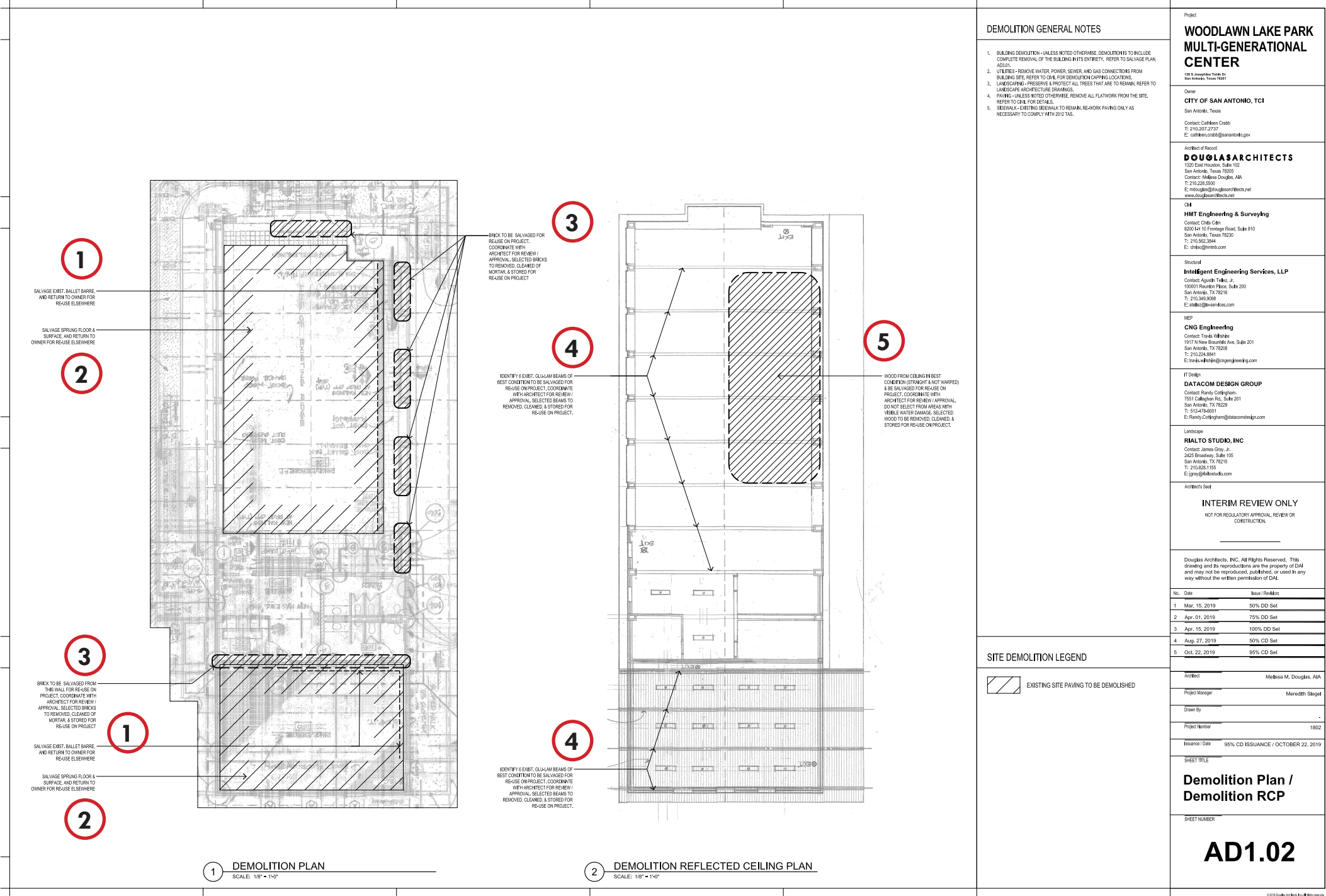
If the HDRC finds that the criteria for establishing an unreasonable economic hardship have been met or failing that finds that a loss of significance has occurred, and if the HDRC is satisfied with the merits of the design proposal as it relates to the historic significance of the site, and thus approves the request for demolition, then staff makes the following recommendations regarding the requested new construction:

- Item 2, Staff recommends conceptual approval based on findings 2a through 2f with the following stipulations.
- iv. That the applicant provides a comprehensive salvage plan for the existing materials and reuses as much material as possible in the new structure, particularly the façade bricks, chimney bricks, and structural beams. Plans for material reuse within the new structure should be clearly illustrated in the submittal for final approval.
- v. That the landscaping along the street frontage is significantly increased and that additional parking lot trees and shrubbery be introduced as noted in finding 2d.
- vi. That the design includes an interpretative element. A gallery of images and video paying tribute to Berta Almaguer should be incorporated in the lobby (or other highly visible and sizeable area approved by HDRC). The gallery should include interpretative text describing Ms. Almaguer’s contributions to the cultural heritage of San Antonio using research and materials existing in archives of the City of San Antonio Parks and Recreation Department.
- vii. That the Bertha Almaguer building name be retained.

WOODLAWN LAKE RECREATION CENTER

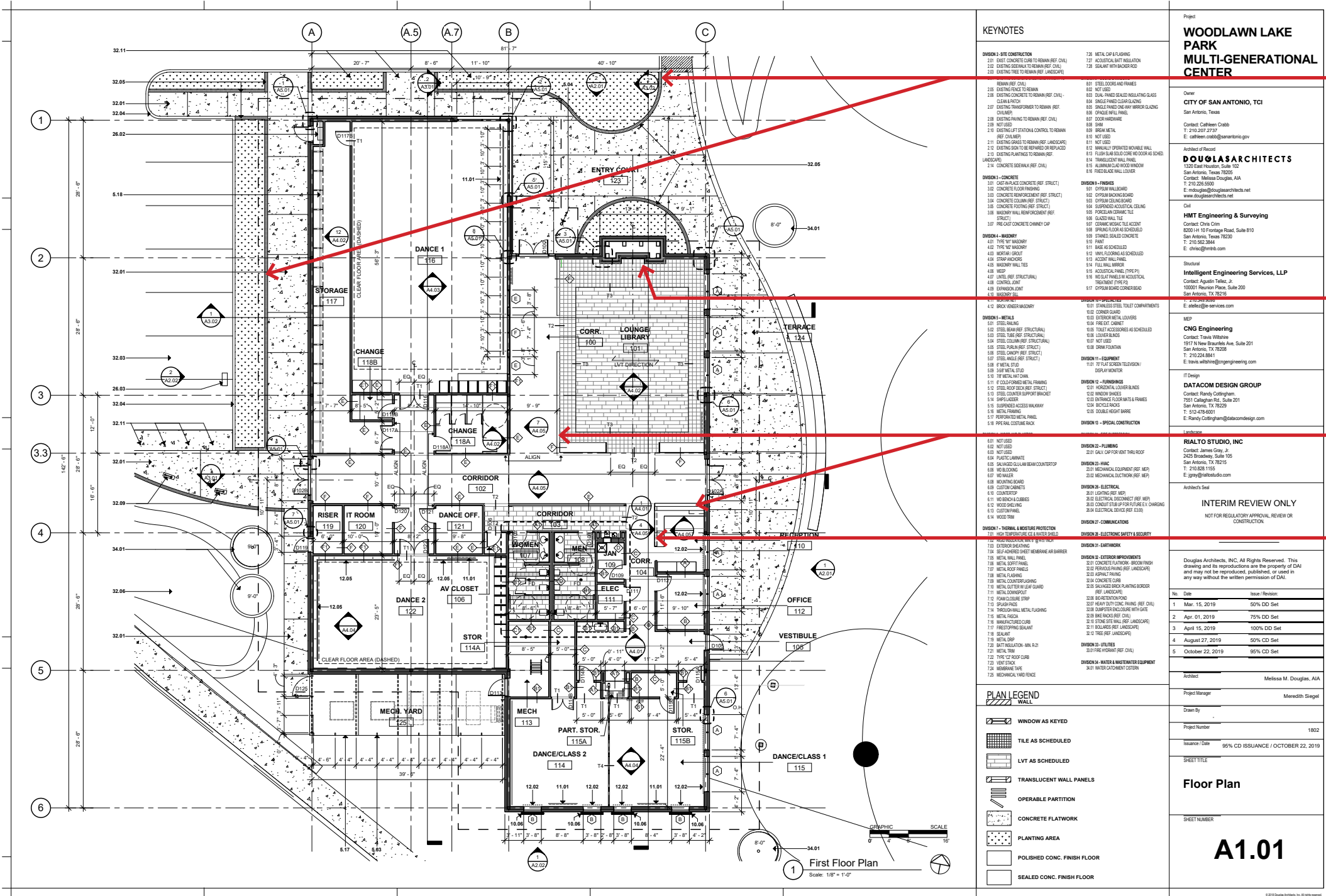
2. Staff Recommendations

Salvage Plan



WOODLAWN LAKE RECREATION CENTER | 2. Staff Recommendations

Salvage Plan



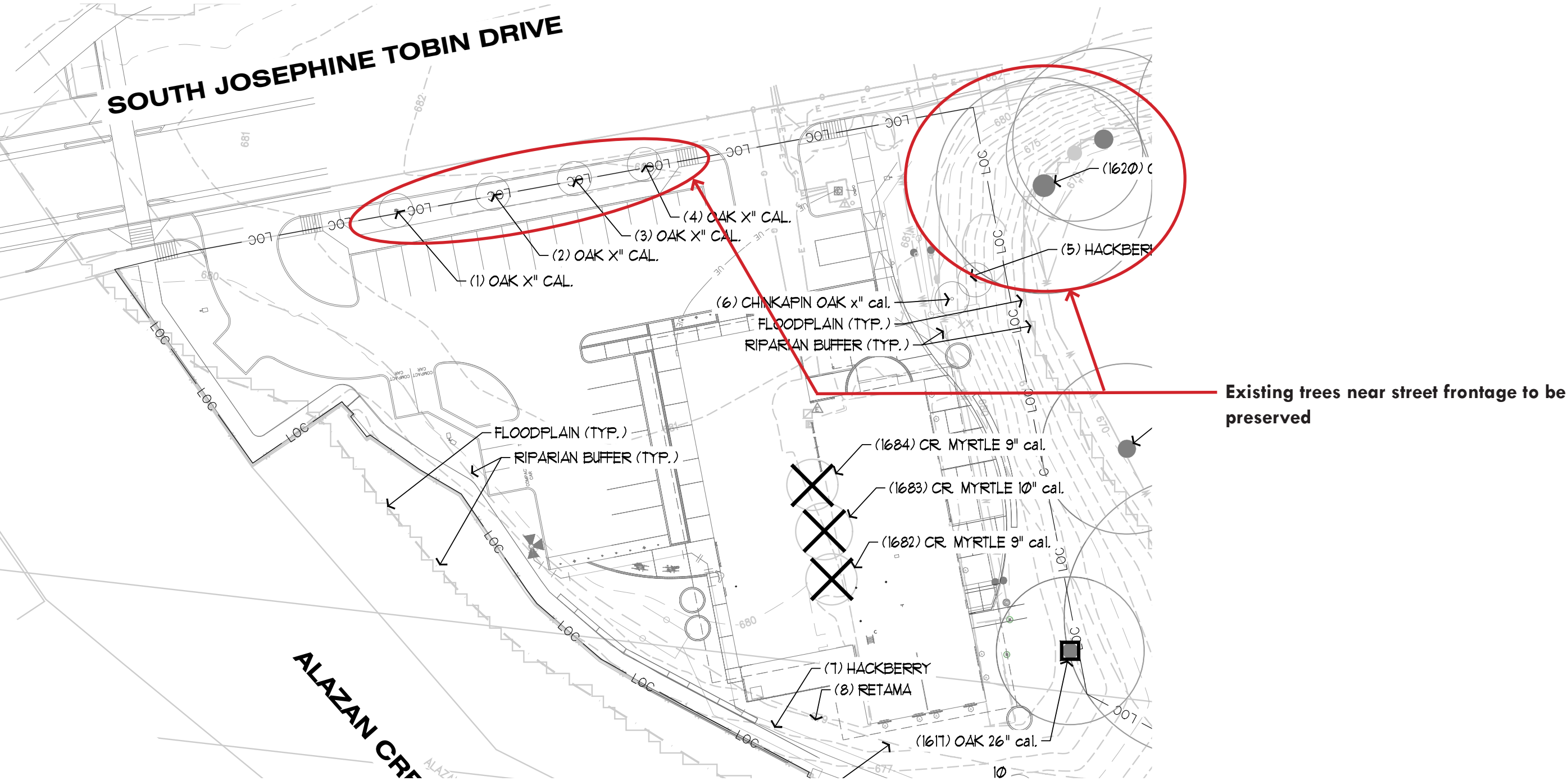
Salvaged bricks to be re-used as paving and planting retainers.

Salvaged glulam beam to be re-used as mantelpiece.

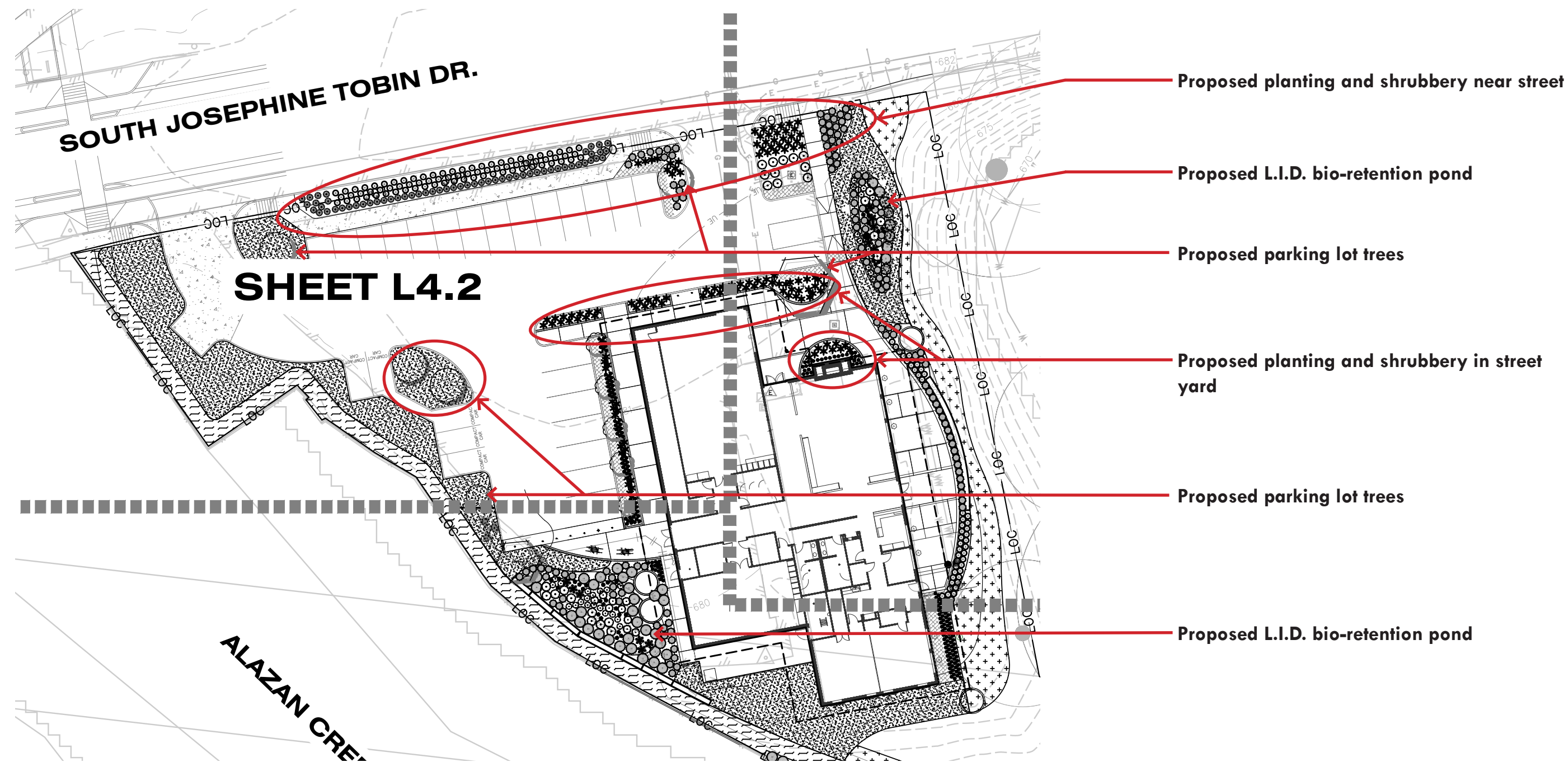
Salvaged glulam beams to be re-used as millwork surfaces.

Salvaged ceiling boards to be re-used as millwork surfaces.

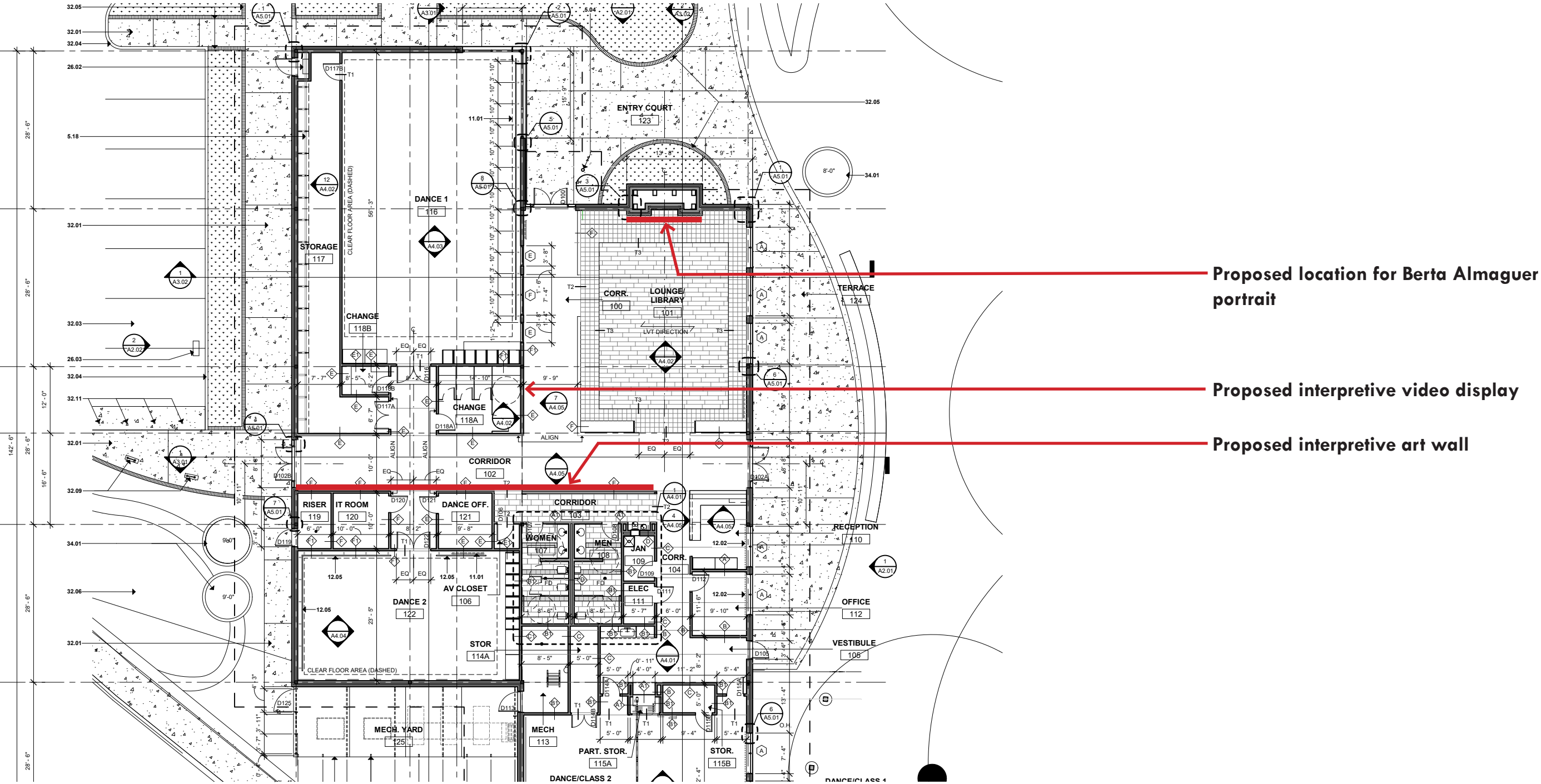
Increased Landscaping - Proposed Tree Preservation Plan



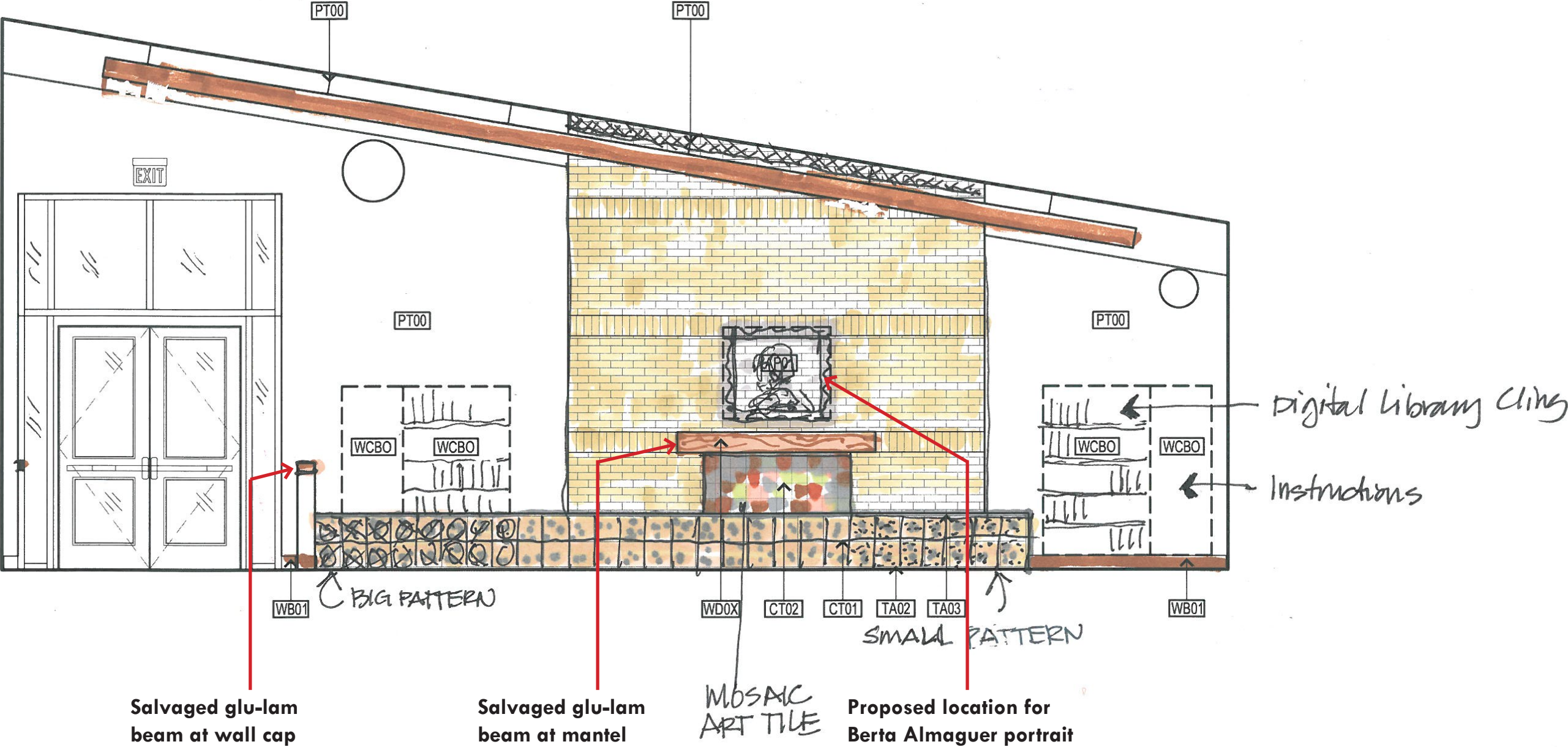
Increased Landscaping - Proposed Plantings Plan



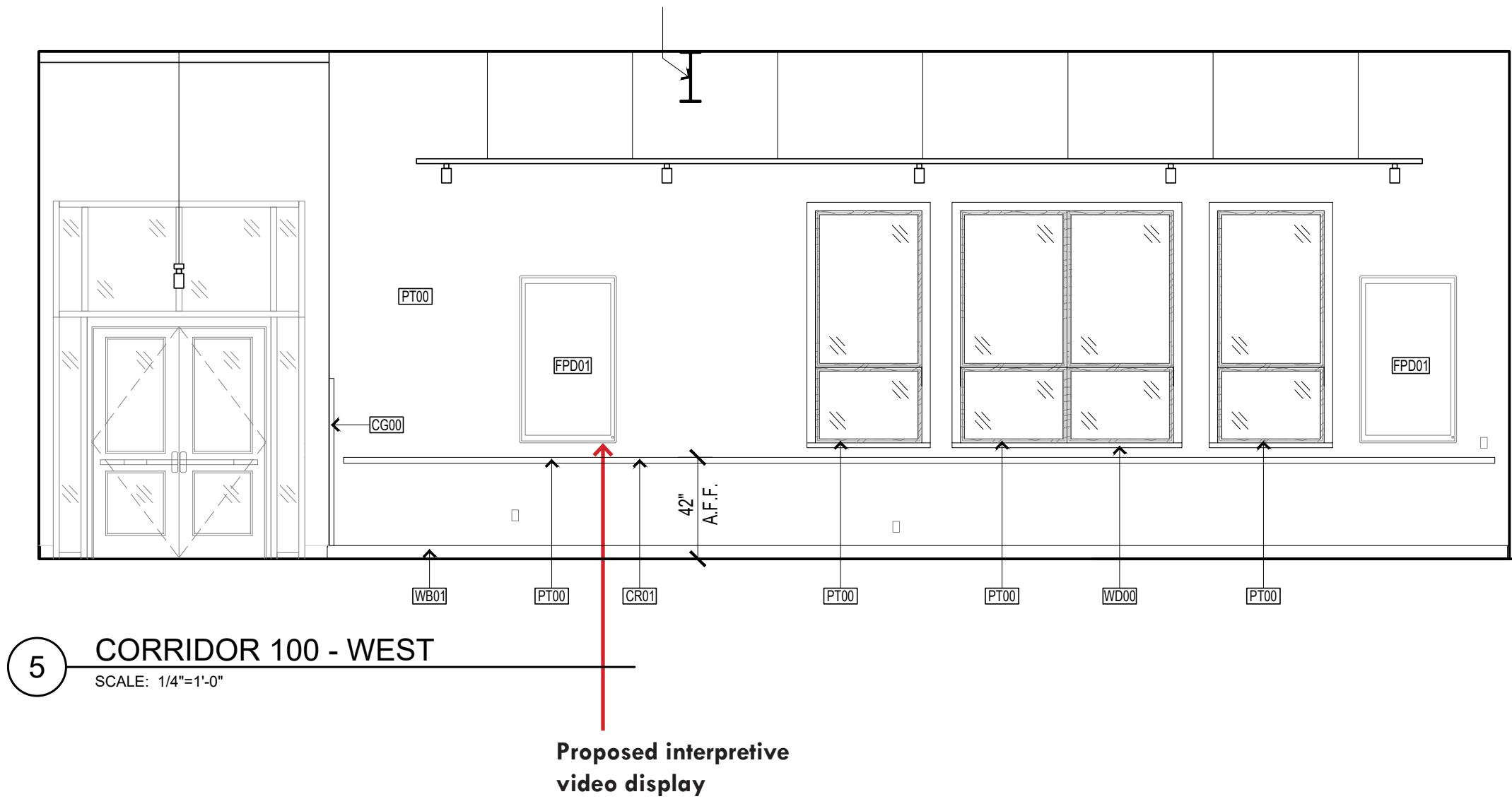
Interpretive Element Paying Tribute to Berta Almaguer



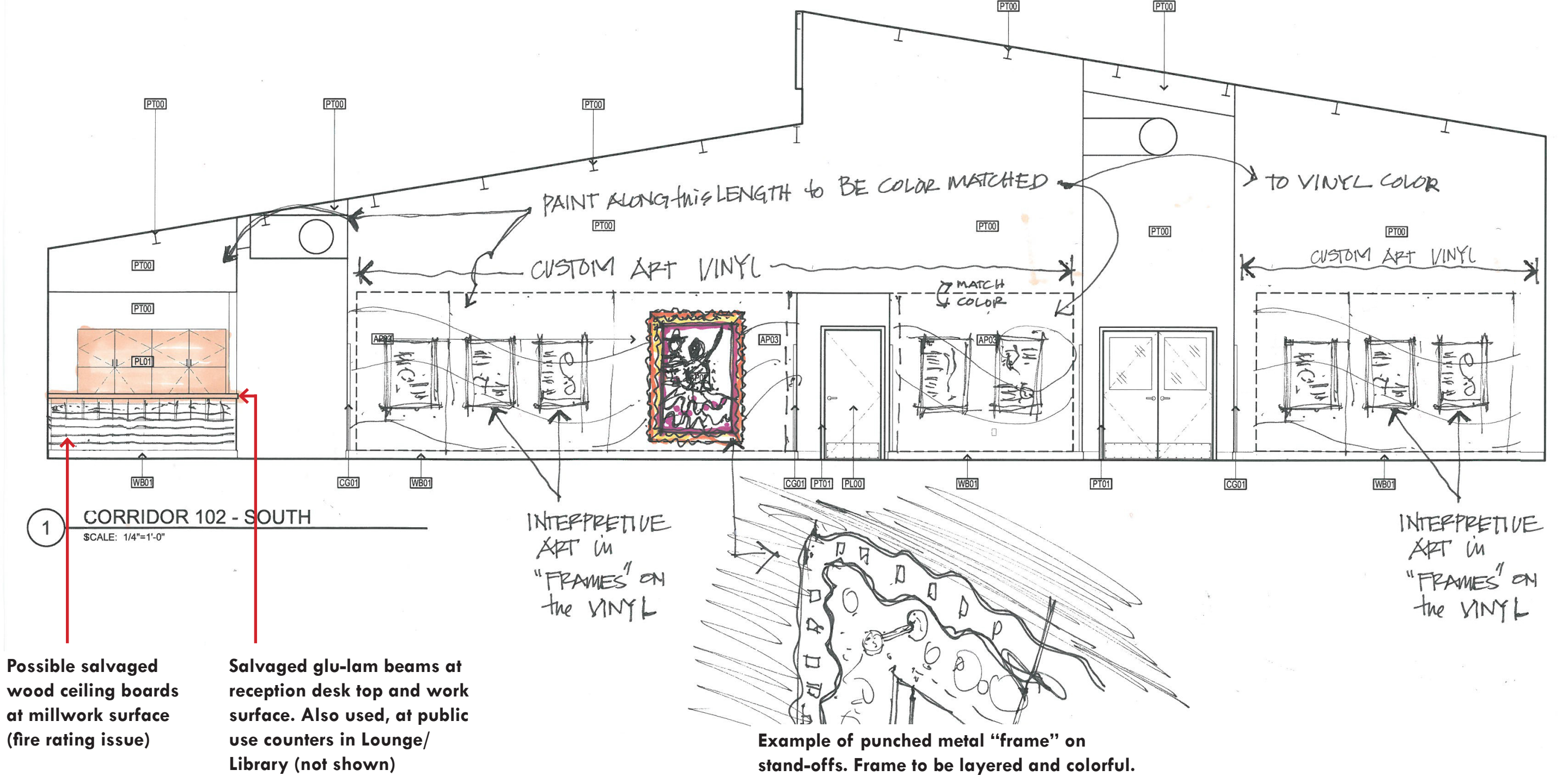
Interpretive Element Paying Tribute to Berta Almaguer



Interpretive Element Paying Tribute to Berta Almaguer



Interpretive Element Paying Tribute to Berta Almaguer



WOODLAWN LAKE RECREATION CENTER | 2. Staff Recommendations

Berta Almaguer Building Name to be Retained



Existing Building Sign



Proposed Building Sign - final building name to be determined

WOODLAWN LAKE RECREATION CENTER | 4. Materials Palette

