

# HISTORIC AND DESIGN REVIEW COMMISSION

November 06, 2019

**HDRC CASE NO:** 2019-618  
**ADDRESS:** 205 W SUMMIT  
**LEGAL DESCRIPTION:** NCB 3260 BLK 4 LOT 7& E 20 FT OF 8  
**ZONING:** R-5,H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Sajneet Khangura  
**OWNER:** Sajneet Khangura, Sartaj Hans  
**TYPE OF WORK:** Historic Tax Certification  
**APPLICATION RECEIVED:** October 08, 2019  
**60-DAY REVIEW:** December 07, 2019  
**CASE MANAGER:** Stephanie Phillips  
**REQUEST:**

The applicant is requesting Historic Tax Certification for the property at 205 W Summit.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d)Certification.

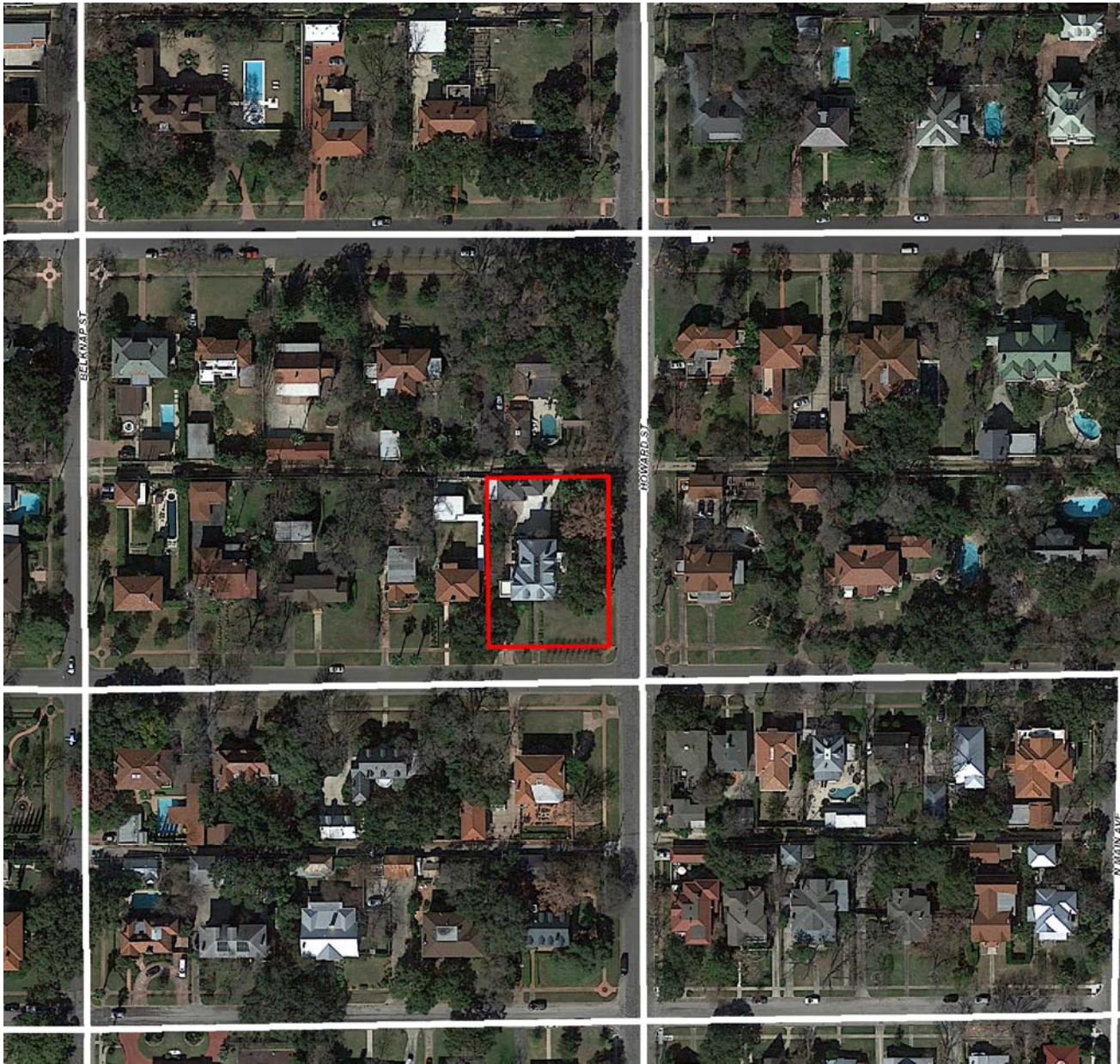
(1)Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

## FINDINGS:

- a. The primary structure located at 205 W Summit is a 2.5-story single family structure constructed in 1913 in the Neoclassical style with Greek Revival influences. The structure was designed by architect August H. Herff. The home features a primary hipped roof with front and side dormers, a full-height 2-story porch with round Tuscan columns, and a lower 1-story porch with fluted Doric columns and square posts. The structure is contributing to the Monte Vista Historic District. The property also contains a 1-story rear accessory structure, which is contributing to the Monte Vista Historic District.
- b. The scope of work includes a comprehensive interior remodel, wood window repair, installation of salvaged wood windows to replace non-original aluminum windows, roof replacement, exterior repairs, painting, and rear accessory structure modifications and repairs.
- c. Staff conducted a site visit on October 22, 2019, to examine the exterior and interior conditions of the property. The work has been completed.
- d. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

## RECOMMENDATION:

Staff recommends approval based on findings a through d.



## Flex Viewer

Powered by ArcGIS Server

Printed: Jun 25, 2018

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## Permit Details

**A/P Type:** PLUMBING PERMIT APPLICATION  
**A/P NBR:** 2380465  
**Address:** 205 W SUMMIT  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:**  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 6/4/2018 9:13:00 AM  
**Expiration Date:**  
**Permit Fee (Paid):** \$345.18  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:** 2/14/2019 12:38:48 PM  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost:**  
**Value:** \$0.00  
**Structure Sq. Ft:** 0  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** ELIZABETH HICKS  
**Description of Work:** ADD TWO TANKLESS WATER HEATERS , UPGRADE FIXTURES  
07/02/2018\*\*AMENDED PERMIT TO ADD 10PLUMBING FIXTURES TO  
MAKE A TOTAL OF 20PLUMBING FIXTURES\*\*CGONZALEZ  
**Garage Sale Date:**  
**Non-Profit Status:**

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## Permit Details

**A/P Type:** MISC NO REVIEW  
**A/P NBR:** 2383394  
**Address:** 205 W SUMMIT  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:**  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 6/12/2018 12:17:46 PM  
**Expiration Date:** 8/12/2018 12:17:49 PM  
**Permit Fee (Paid):** \$26.50  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:**  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost Value:** \$0.00  
**Structure Sq. Ft:** 0  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** JOSHUA G CAMPBELL  
**Description of Work:** Re-Roof: No change to pitch/ Removing existing and replacing with same type/ No other work to be done/ All work must comply with the UDC/ Must comply with Historic COA as approved. \*\*\*SEsparza\*\*\* Materials and Methods of application used for re-covering or replacing an existing roof covering shall comply with the requirements of 2015 IRC Chapter 9 Roof Assemblies to include Drip Edge (905.2.8.5) and Metal Flashing as required by Code.  
**Garage Sale Date:**  
**Non-Profit Status:**

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## Permit Details

**A/P Type:** ELECTRICAL PERMIT  
**A/P NBR:** 2385583  
**Address:** 205 W SUMMIT  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:**  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 6/20/2018 4:18:00 PM  
**Expiration Date:**  
**Permit Fee (Paid):** \$633.66  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:** 12/17/2018 3:11:34 PM  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost Value:** \$0.00  
**Structure Sq. Ft:** 5000  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** STEVAN SAUCEDO  
**Description of Work:** remodel of kitchen and bathrooms, plus adding recessed lights. 12/17/18  
AMEND PERMIT TO ADD 50 FT OF UNDERGROUND\*\*WCORTEZ  
\*\*\*03/04/2019 -- CONTRACTOR CAME IN TO AMEND PERMIT TO ADD 20  
ADDITIONAL GEN PURP OUTLETS--R.RDORIGUEZ  
**Garage Sale Date:**  
**Non-Profit Status:**

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## Permit Details

**A/P Type:** PLUMBING PERMIT APPLICATION  
**A/P NBR:** 2385753  
**Address:** 205 W SUMMIT 205 SUMMIT W. SAN ANTONIO TX  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:**  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 6/29/2018 8:17:00 AM  
**Expiration Date:**  
**Permit Fee (Paid):** \$91.48  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:** 7/5/2018 8:16:00 AM  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost Value:** \$0.00  
**Structure Sq. Ft:** 0  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** ELIZABETH HICKS  
**Description of Work:** gas test on existing system - will add gas to water heater and cook top  
05/23/2019 ref AP#2489899 FOR COMPLETION PERMIT. CGARCIA  
**Garage Sale Date:**  
**Non-Profit Status:**

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## Permit Details

**A/P Type:** MISC NO REVIEW  
**A/P NBR:** 2386438  
**Address:** 205 W SUMMIT  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:** SAJNEET K KHANGURA  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 6/20/2018 4:35:00 PM  
**Expiration Date:** 7/23/2019 3:26:42 PM  
**Permit Fee (Paid):** \$458.95  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:**  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost Value:** \$0.00  
**Structure Sq. Ft:** 0  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** SAJNEET K KHANGURA  
**Description of Work:** 06/20/2018 General Repairs - Scope of work to include: 1. Remodel bathrooms, kitchen, and study. 2. Add interior walls for 2 baths and bedroom \*\*\*\*7/11/2018 -- AMEND PERMIT TO INCLUDE: --Replace 4 non-original windows at enclosed porch with wood windows to match house (as per historic, see ole for amended approval)--R.RODRIGUEZ Must comply with UDC and IRC (IBC) Must comply with Historic COA as approved/ Homeowner aware of inspections required/ What's Next handout issued.\*\*CGARCIA\*\* \*\*NOTE: Any Electrical, Mechanical or Plumbing work will require an additional permit by State License contractor and inspections completed. \*\*NOTE: Inspection Scheduling: Please call 210-207-1111, option 0, to schedule inspections (scheduling on the phone or in person will result in a \$3.00 scheduling fee). Or, feel free to schedule inspections online, free of charge, by creating a portal account (for assistance creating an online account, contact the call center).  
**Garage Sale Date:**  
**Non-Profit Status:**



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*City of San Antonio*  
**Development Services Department**

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## Permit Details

**A/P Type:** MECHANICAL PERMIT APPLICATION  
**A/P NBR:** 2389186  
**Address:** 205 W SUMMIT  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:**  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 6/28/2018 3:18:42 PM  
**Expiration Date:**  
**Permit Fee (Paid):** \$199.50  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:** 3/14/2019 4:01:09 PM  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost Value:** \$0.00  
**Structure Sq. Ft:** 0  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** DAVID J PEREZ  
**Description of Work:** GenMechanical - 3 condensing units (4/4/3ton), 3 cooling coils, 3 gas furnaces, 4 ductoutlets, 2 exhaust fans...R Gabriel  
**Garage Sale Date:**  
**Non-Profit Status:**

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## Permit Details

**A/P Type:** MISC NO REVIEW  
**A/P NBR:** 2393514  
**Address:** 205 W SUMMIT  
**A/P Status:** CLOSED  
**New or Existing:** EXISTG  
**Use Code:** RESIDENTIAL  
**Contractor Name:**  
**Contractor Phone:**  
**Owner Name:**  
**License:**  
**Plan Number:** 1  
**Tenant Name:**  
**Date Issued:** 7/13/2018 8:26:05 AM  
**Expiration Date:** 6/15/2019 12:09:39 PM  
**Permit Fee (Paid):** \$307.12  
**Permit Fee (Unpaid):** \$0.00  
**Paid Date:**  
**Number of Units:**  
**Nbr of Stories:**  
**Estimated Cost Value:** \$0.00  
**Structure Sq. Ft:** 0  
**DBA Name:**  
**ALCO Bev Flag:**  
**Contact:** GUY "WOODY" W CHIPMAN  
**Description of Work:** 07/13/18 GENERAL REPAIRS TO INCLUDE MODIFY INTERIOR 3 WALLS PER ENGINEERED DRAWINGS FROM A-1 ENGINEERING SHEETS S0.0,S1.1,S1.2. INSTALL STEEL BEAMS PER DRAWINGS/FLOORING/MUST COMPLY WITH UDC/IRC REQUIREMENTS//RYOUNG \*\*Any Electrical, Mechanical, or Plumbing work will require a separate, additional permit by a State Licensed Contractor, complete with inspections. \*\*\*Inspection Scheduling: Please call 210-207-1111, option 0, to schedule inspections (scheduling on the phone or in person will result in a \$3.00 scheduling fee). Or, feel free to schedule inspections online, free of charge, by creating a portal account (for assistance creating an online account, contact the call center).  
**Garage Sale Date:**  
**Non-Profit Status:**

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**Development Services Department**



## Permit Details

**A/P Type:** MISC REVIEW

**A/P NBR:** 2463726

**Address:** 205 W SUMMIT

**A/P Status:** CLOSED

**New or Existing:** EXISTG

**Use Code:** RESIDENTIAL

**Contractor Name:** AMERICA CONSTRUCTION

**Contractor Phone:** (210)364-9249 x

**Owner Name:**

**License:** HBREG

**Plan Number:** 1

**Tenant Name:**

**Date Issued:** 3/19/2019 10:41:13 AM

**Expiration Date:** 11/4/2019 2:02:42 PM

**Permit Fee (Paid):** \$172.00

**Permit Fee (Unpaid):** \$0.00

**Paid Date:** 9/4/2019 1:16:31 PM

**Number of Units:**

**Nbr of Stories:**

**Estimated Cost**  
**Value:** \$0.00

**Structure Sq. Ft:** 485

**DBA Name:** UNPAID FEES AP#1655622, PLEASE COLLECT

**ALCO Bev Flag:**

**Contact:**

**Description of Work:** Decks New 485 sq. ft, uncovered detached DECK to rear of existing residence on new footings. Must Comply with setbacks/ Must comply with UDC and IRC / Not to build over easements/ CONTRACTOR notified of engineers letter required to clear foundation inspection/ CONTRACTOR aware of inspections required/ Whats Next handout issued.  
\*\*M.GUILLERMO\*\* \*\*\*Inspection Scheduling: Please call 210-207-1111, option 0, to schedule inspections (scheduling on the phone or in person will result in a \$3.00 scheduling fee). Or, feel free to schedule inspections online, free of charge, by creating a portal account (for assistance creating



an online account, contact the call center).

**Garage Sale Date:**

**Non-Profit Status:**

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## **Permit Details**

**A/P Type:** MISC REVIEW

**A/P NBR:** 2437236

**Address:** 205 W SUMMIT

**A/P Status:** OPEN

**New or Existing:** EXISTG

**Use Code:** RESIDENTIAL

**Contractor Name:**

**Contractor Phone:**

**Owner Name:**

**License:**

**Plan Number:** 1

**Tenant Name:**

**Date Issued:** 12/5/2018 4:02:29 PM

**Expiration Date:** 12/8/2019 2:51:25 PM

**Permit Fee (Paid):** \$603.23

**Permit Fee (Unpaid):** \$0.00

**Paid Date:** 10/8/2019 2:51:14 PM

**Number of Units:**

**Nbr of Stories:**

**Estimated Cost Value:** \$0.00

**Structure Sq. Ft:** 0

**DBA Name:**

**ALCO Bev Flag:**

**Contact:** RANDLE HEWLETT

**Description of Work:** Installing in ground swimming pool (w/barrier), audible alarm, self latching device to include concrete decking \*\*\*SEsparza\*\*\* Must comply with setbacks/ Must comply with IRC and UDC /Must comply with Historic COA as approved/ Not to build over any easements/ Must Comply with IB 170. -

Swimming Pool/Spa Barriers and Safety Devices Compliance Agreement on File (see OLE); will result in partial pass of final. Can be submitted to [callcenter@sanantonio.gov](mailto:callcenter@sanantonio.gov).

\*\*\*Inspection Scheduling: Please call 210-207-1111, option 0, to schedule inspections (scheduling on the phone or in person will result in a \$3.00 scheduling fee). Or, feel free to schedule inspections online, free of charge, by creating a portal account (for assistance creating an online account, contact the call center).

**Garage Sale Date:**

**Non-Profit Status:**

**Use Details:**