

HISTORIC AND DESIGN REVIEW COMMISSION

February 05, 2020

HDRC CASE NO: 2020-041
ADDRESS: 931 HAYS ST
LEGAL DESCRIPTION: NCB 1654 BLK B LOT S 140 FT OF 16
ZONING: R-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Nik VILLARREAL/JAS Development
OWNER: LOWRY ALAN J & JOHNSON FAITH E
TYPE OF WORK: Amendment to a previously approved design regarding windows, window fenestration and garage doors
APPLICATION RECEIVED: January 28, 2020
60-DAY REVIEW: March 28, 2020
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved design for new construction. Within this request, the applicant has proposed the following:

1. Install vinyl windows in place of the approved aluminum clad wood windows.
2. Modify the previously approved fenestration pattern by installing a large picture window on the west façade.
3. Install white, vinyl garage doors.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

3. Materials and Textures

A. NEW MATERIALS

- Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
- Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
- Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.
- Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

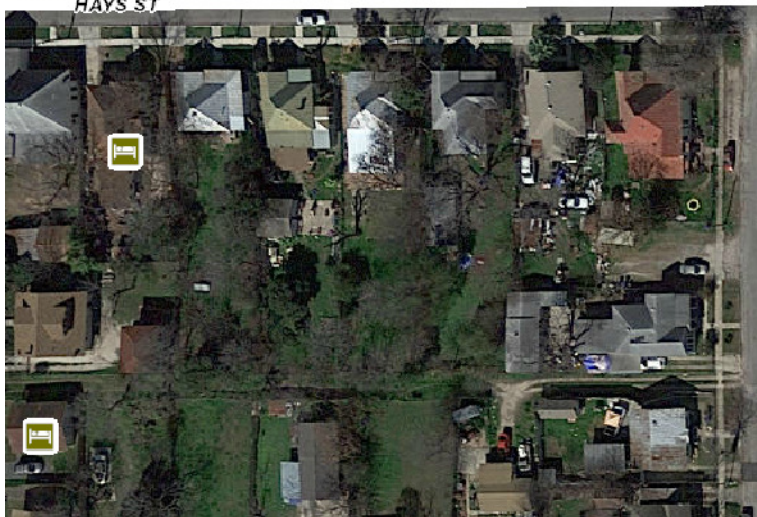
- Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved design for new construction at 931 Hays, located within the Dignowity Hill Historic District. OHP staff performed a site visit on January 22, 2020, and determined that the orientation of the structure's garage, window profiles and materials, and the installed garage doors were inconsistent with the design previously approved by the Commission. Staff finds the garage modifications to be more consistent with the Guidelines for New Construction, and processed that amendment administratively.
- b. **VINYL WINDOWS** – The applicant has installed vinyl windows in place of the previously approved aluminum clad wood windows. The installed vinyl windows feature a brown colored frames and faux divided lites. Due to a nailing fin, the windows are not recessed at least two (2) inches within the façade. The windows do not comply with staff's windows specifications in regards to material, installation depth, and profile. Staff finds that a window that meets staff's standard specifications should be installed.
- c. **FENESTRATION** – The applicant has installed a large picture window in place of a transom window on the west façade. While the installation of a larger window is more consistent with those found historically in the district, the profile of the proposed window is inconsistent with the Guidelines and staff's specifications for windows. Staff finds that the window opening should be modified to be more consistent with those found historically within the district.
- d. **GARAGE DOORS** – The applicant has installed two, white vinyl garage doors in place of those that were shown in the approved construction documents. The doors noted in the construction documents included window lites. Staff finds that the applicant should install doors that are consistent with those approved in the construction documents. If the Commission finds the installed doors to be appropriate, staff recommends that they be painted a dark color.

RECOMMENDATION:

1. Staff does not recommend approval of item #1, the installation of vinyl windows. Staff recommends that a window that meets staff's standard specifications be installed, as previously approved. The windows should a double-hung, one-over-one wood windows or aluminum-clad wood windows be used. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
2. Staff does not recommend approval of item #2, the installation of a large picture window as noted in finding c. Staff finds that the applicant should install a window that is sized appropriately for the district.
3. Staff does not recommend approval of item #3, the installation of white, vinyl garage doors. Staff recommends that the applicant install doors that are consistent with those approved in the construction documents. If the Commission finds the installed doors to be appropriate, staff recommends that they be painted a dark color.



Flex Viewer

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Printed: Mar 27, 2019

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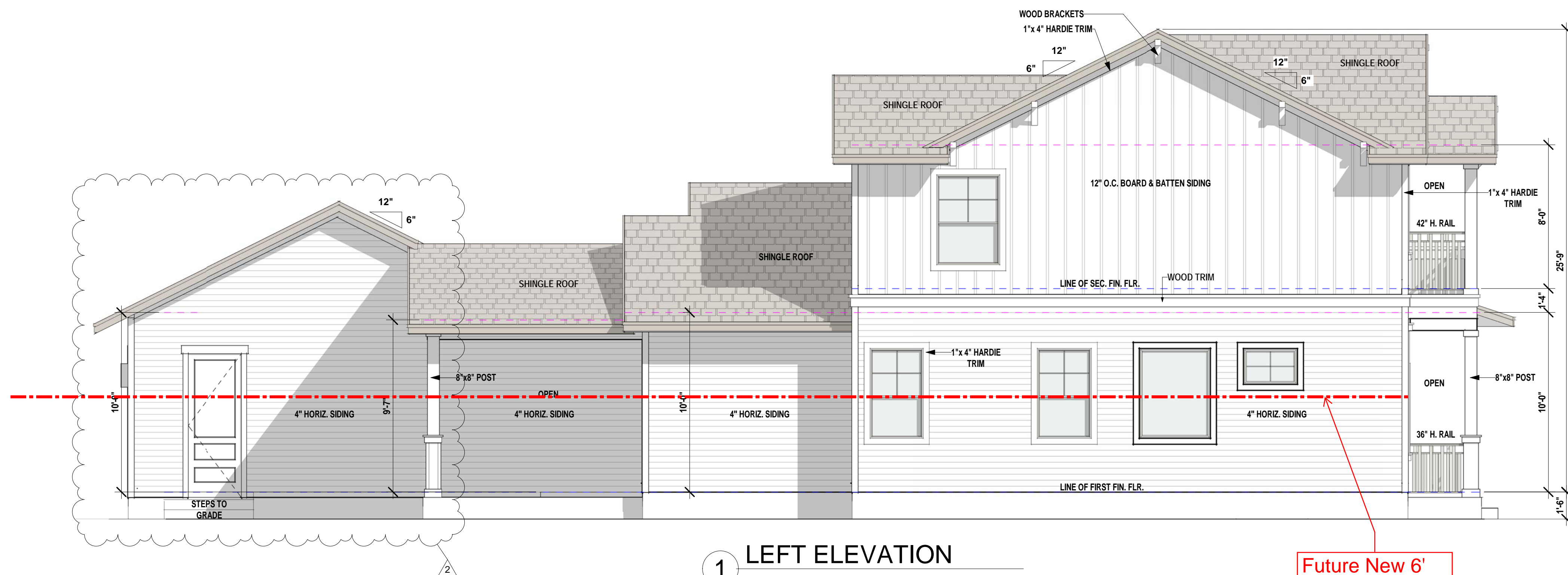
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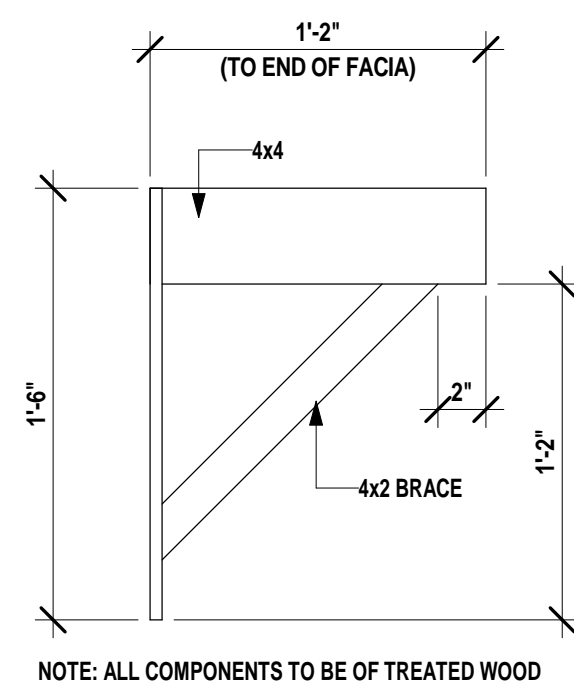


6/20/2019 5:57:27 PM P:\BACKUP-RESIDENTIAL\DIAMANTE CUSTOM HOMES\CENTER CITY HOMES\JOHNSON-LOWRY\1910-JOHNSON-LOWRY- ISSUE SET 06.20.19.rvt



1 LEFT ELEVATION
1/4" = 1'-0"

Future New 6' Privacy Fence



4 WOOD BRACKET DETAIL
1 1/2" = 1'-0"

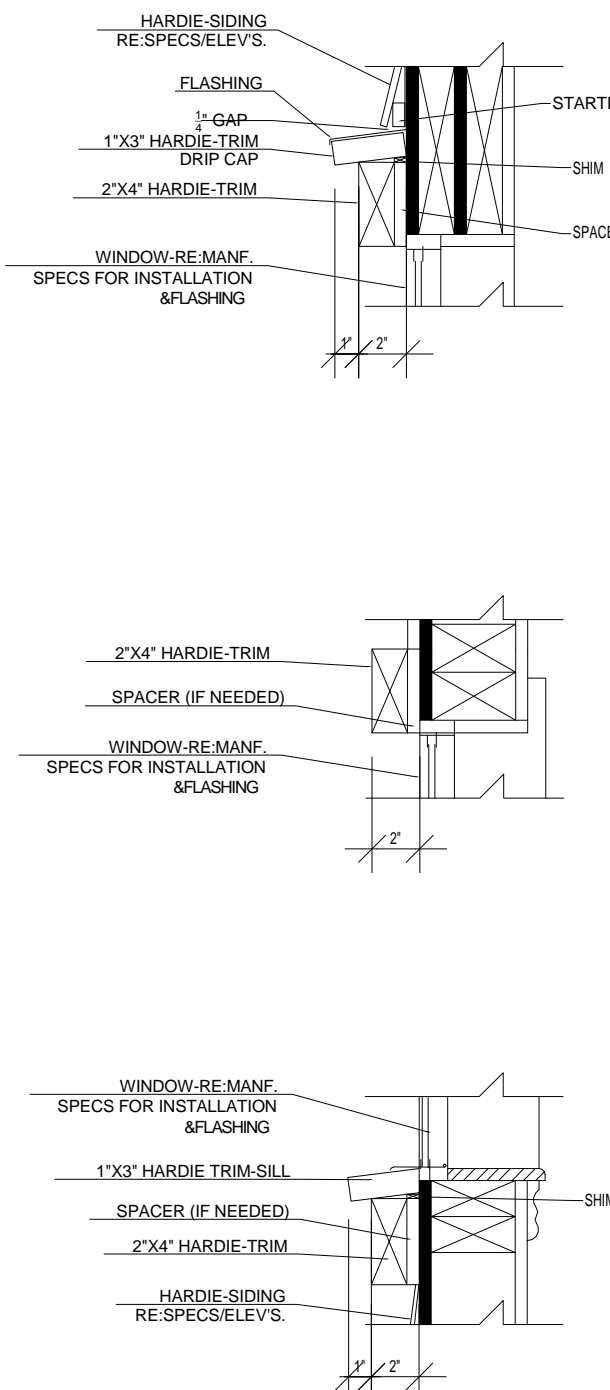
- NOTES:
1. ALL GLAZING IS TO MEET REQUIREMENTS OF IRC SEC. R308.
2. INSTALL WINDOWS PER MANF. SPECS.

FRONT EDGE OF WINDOW FRAME TO BE 2" MIN. FROM FRONT EDGE OF WINDOW TRIM

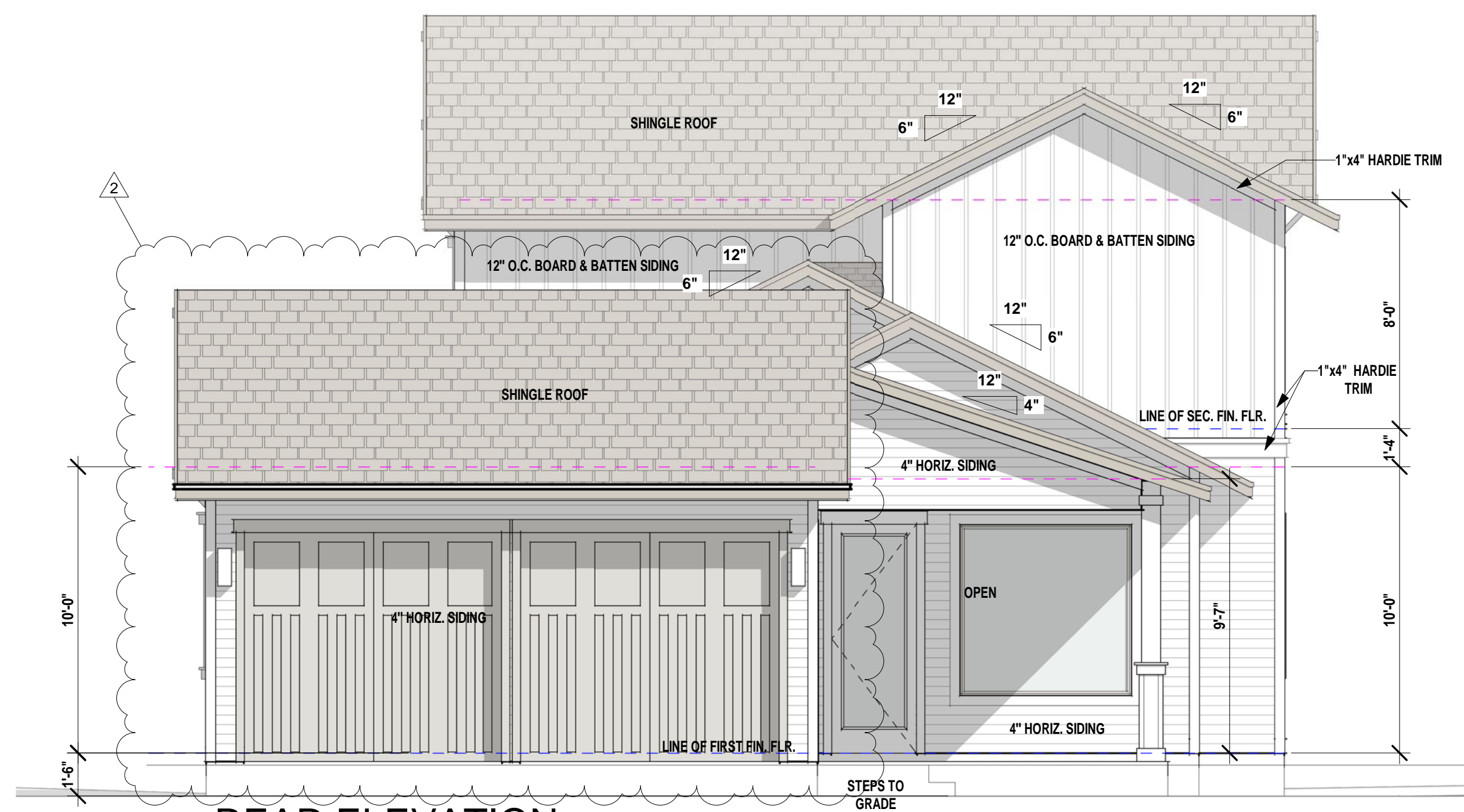
HEADER

JAMB

SILL



3 RECESSED WINDOW DETAIL
1 1/2" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"

GK	01-31-19	PRELIMINARY
GK	02-04-19	REVISED PRELIM
JK	02-13-19	PRELIM DD'S
GK	2-26-19	REVISIONS
VV	03-04-19	REVISIONS
JK	03-08-19	SITE UPDATE
JA	03-13-19	CHECK SET
VV	03-15-19	ELEC. REVISIONS
RS	04-05-19	REVISIONS
RS	04-11-19	ISSUE
JT	05-29-19	DIAGRAMS
JT	06-20-19	RE-ISSUE



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2 06-20-19 RE-ISSUE

A RESIDENCE FOR
**CENTER CITY
HOMES LLC.**

**JOHNSON -
LOWRY**

931 HAYS ST.
S. 140' OF LOT16 BLK B
DIGNOWTY HILL



**EXTERIOR
ELEVATION &
DETAILS**

#4 OF **6**

2GR-4-1910

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