

HISTORIC AND DESIGN REVIEW COMMISSION

February 05, 2020

HDRC CASE NO: 2020-030
ADDRESS: 206 CAMARGO
LEGAL DESCRIPTION: NCB 924 BLK 5 LOT N 134 FT OF 2
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Adan Ochoa/AO Design, LLC
OWNER: TAVITAS MICHAEL A & REBECCA S
TYPE OF WORK: Front porch reconstruction, amendment to a previously approved design
APPLICATION RECEIVED: January 17, 2020
60-DAY REVIEW: March 16, 2020
CASE MANAGER: Huy Pham

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Reconstruct the front porch.
2. Install a rear deck.
3. Install two transom windows on the side elevation.
4. Amend the approved window specifications on the rear addition.
5. Replace the existing, original wood siding with new wood siding.

APPLICABLE CITATIONS:

2. Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- Screens and shutters*—Preserve historic window screens and shutters.
- Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- Security bars*—Install security bars only on the interior of windows and doors.
- Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when

the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.

x. Shutters—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

Standard Specifications for Windows in Additions and New Construction

- GENERAL: New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should relate be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25".
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash.
This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

FINDINGS:

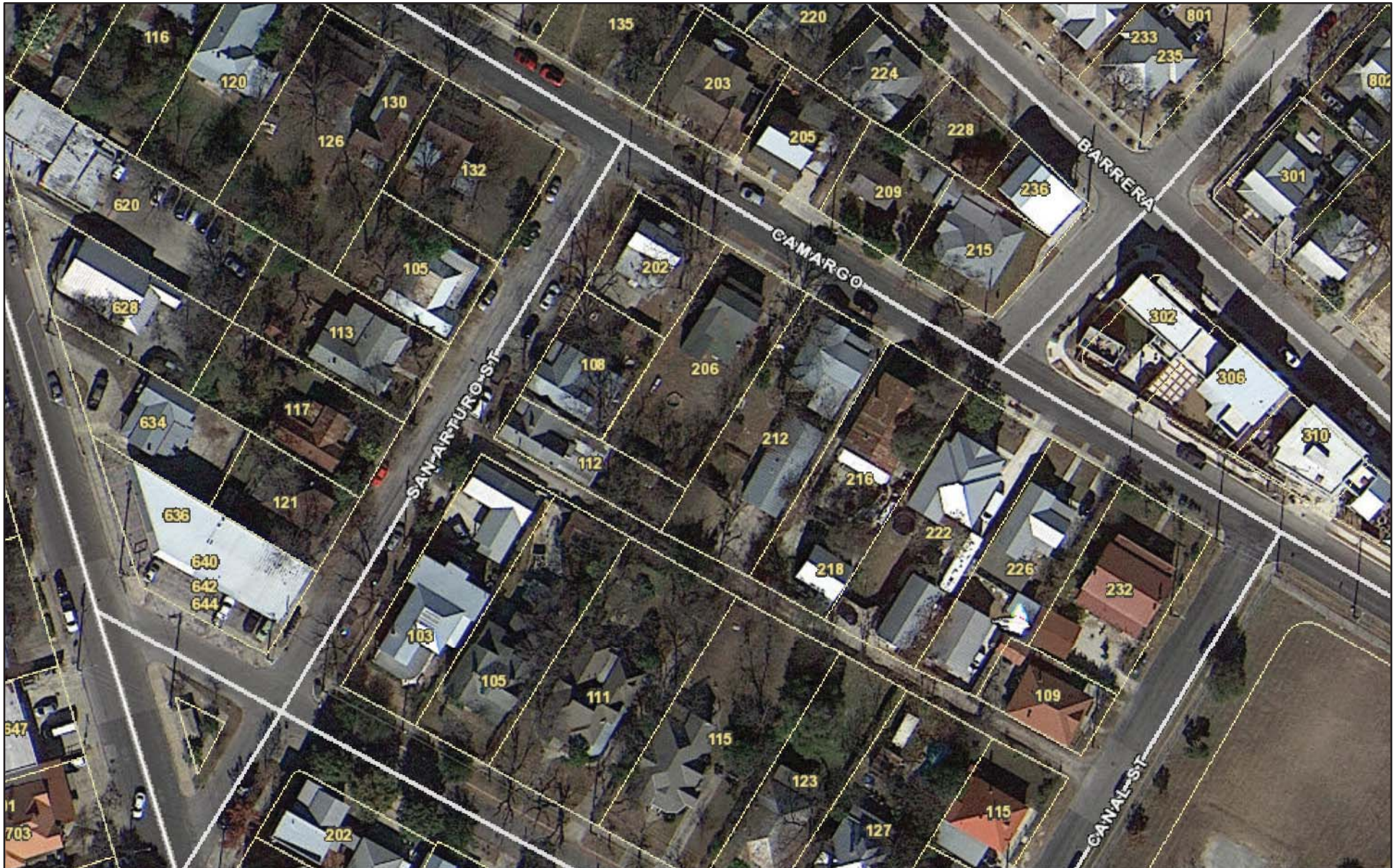
- a. The primary historic structure was constructed circa 1910 and first appears on the 1912 Sanborn map. The one-story single-family structure features a turned gable, a full width shed porch with wood columns, wood deck, and wood siding.
- b. CASE HISTORY – According to the property owner, the walls and front porch were subject to collapse during the renovation of the structure and the construction of the rear addition. At this time, the front porch has been completely removed and the historic and addition walls have been reframed. Original historic materials on site include the floor plate, the roof framing, and wood sash windows. Every effort should be made to restore the original windows to their original location, configuration, and installation; no original windows have been approved to be replaced at this time.
- c. PORCH RECONSTRUCTION – The applicant has proposed to reconstruct the front porch after a collapse citing faulty repair efforts by the previous contractor. Per the Guidelines for Exterior Maintenance and Alterations 7.B.v., applicants should reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. Staff finds that the photographs and drawings submitted are generally consistent with the guidelines and sufficient for repair and reconstruction. Staff finds that special attention should be made to repair or reconstruct the exact details of the previous columns and that the porch deck feature 1 x 3 wood tongue-and-groove members laid perpendicular to the front façade plane.
- d. SIDING – The applicant has removed the existing, wood siding from the historic structure. The applicant has noted the installation of new, wood siding, to match the original siding in profile. Staff finds the removal of the existing siding to be inappropriate and inconsistent with the Guidelines. The new siding should match the original in profile and material.
- e. REAR DECK – The applicant has proposed to install a rear deck to feature a 15' x 28' footprint, with simple wood railing and steps. Per the Guidelines for Exterior Maintenance and Alterations 7.B.iv., applicants should design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building and avoid adding new elements and details that create a false historic appearance. Staff finds that the rear deck should feature an inset to the side wall planes instead of flush as proposed on the site plan to reduce visibility from the front right-of-way. The rear deck is otherwise generally consistent with the Guidelines.
- f. NEW TRANSOM WINDOWS – The applicant has proposed to install two fixed wood transom windows on the east side elevation on the historic portion of the structure to accommodate an interior bathroom. Per the Guidelines for Exterior Maintenance and Alterations 6.A.i., applicants should avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way. Staff finds that the proposed location of the new openings is visible from the right-of-way. Per the Guidelines for Exterior Maintenance and Alterations 6.B.vii., non-historic incompatible windows should be replaced with windows that are typical of the architectural style of the building. Staff finds that the proposed window size and configuration are atypical to the historic structure and should instead feature a one-over-one wood sash window that adheres to the *Standard Specifications for Windows in Additions and New Construction*. The applicant may consider installing wood window screens or an interior furr wall to accommodate the bathroom.
- g. WINDOW AMENDMENT – The applicant has proposed to amend the previous approval for windows on the rear addition to allow aluminum windows with faux divided lights and nailing fins, as they were installed inconsistently with the previous approval. Staff finds that no compelling information has been submitted to support deviation from the *Standard Specifications for Windows on Additions and New Construction*. An appropriate window product should be submitted to staff and each non-conforming window should be corrected.

RECOMMENDATION:

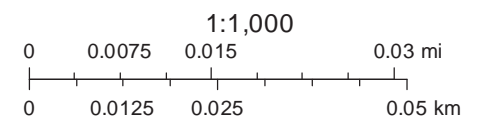
1. Staff recommends approval of item #1, front porch reconstruction based on finding c with the following stipulation:
 - i. That special attention should be made to repair or reconstruct the exact details of the previous columns.
 - ii. That the porch deck feature 1 x 3 wood tongue-and-groove members laid perpendicular to the front façade plane.
2. Staff recommends approval of item #2, the construction of a rear deck based on finding c with the stipulation that an inset is incorporated on each side elevation wall plane.
3. Staff does not recommend approval of item #3, the installation of two new transom windows on the side elevation based on siding d. The applicant may resubmit a design that adheres to the *Standard Specifications for Windows in Additions and New Construction*. The applicant may consider installing wood window screens or an interior furr wall to accommodate the bathroom.

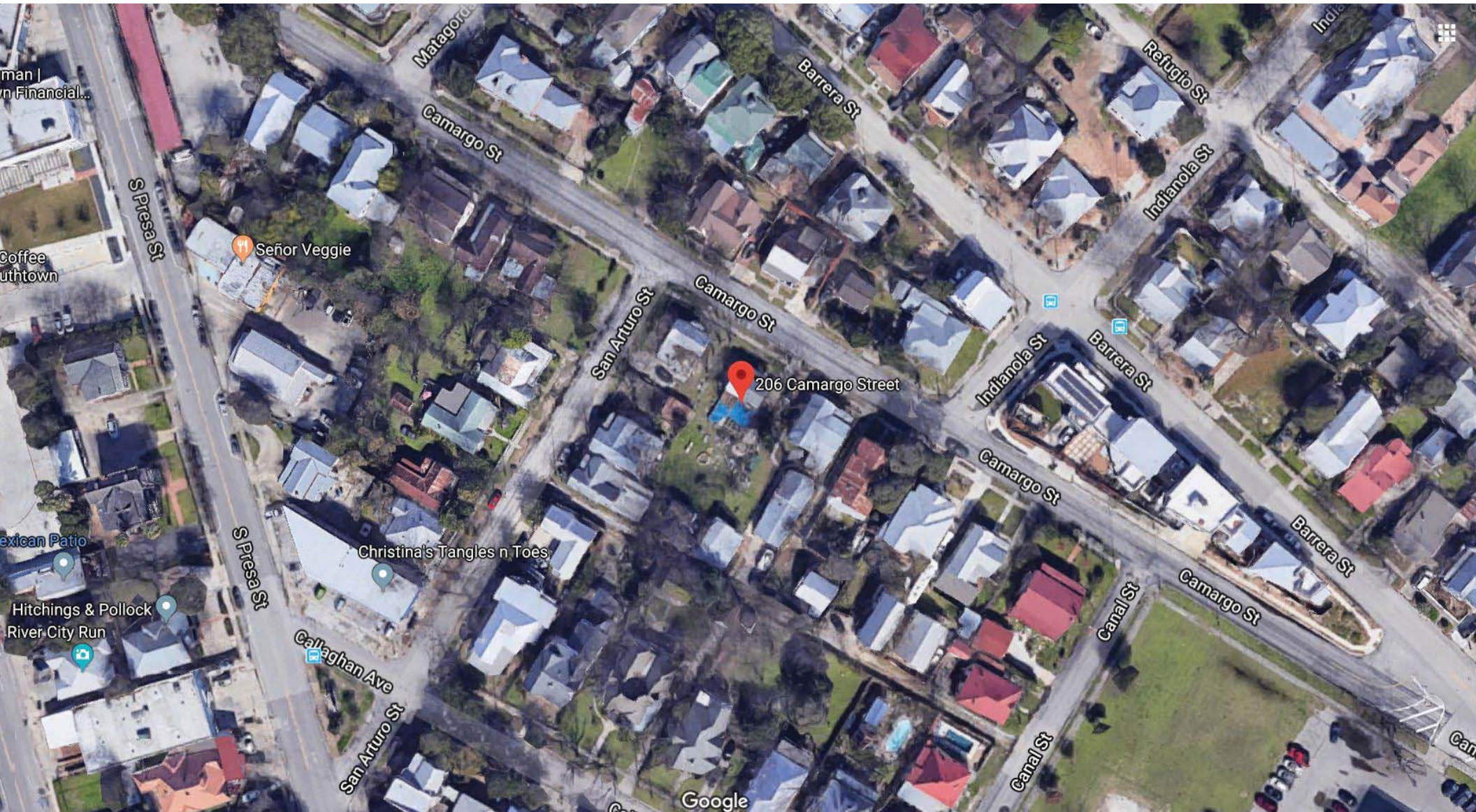
4. Staff does not recommend approval of item #4, an amendment the addition's windows to allow faux divided lights and nailing fins. An appropriate window product that adheres to *Standard Specifications for Windows in Additions and New Construction* should be submitted to staff and each non-conforming window should be corrected.
5. Staff does not recommend approval of item #5, the removal and replacement of the original wood siding based on finding d.

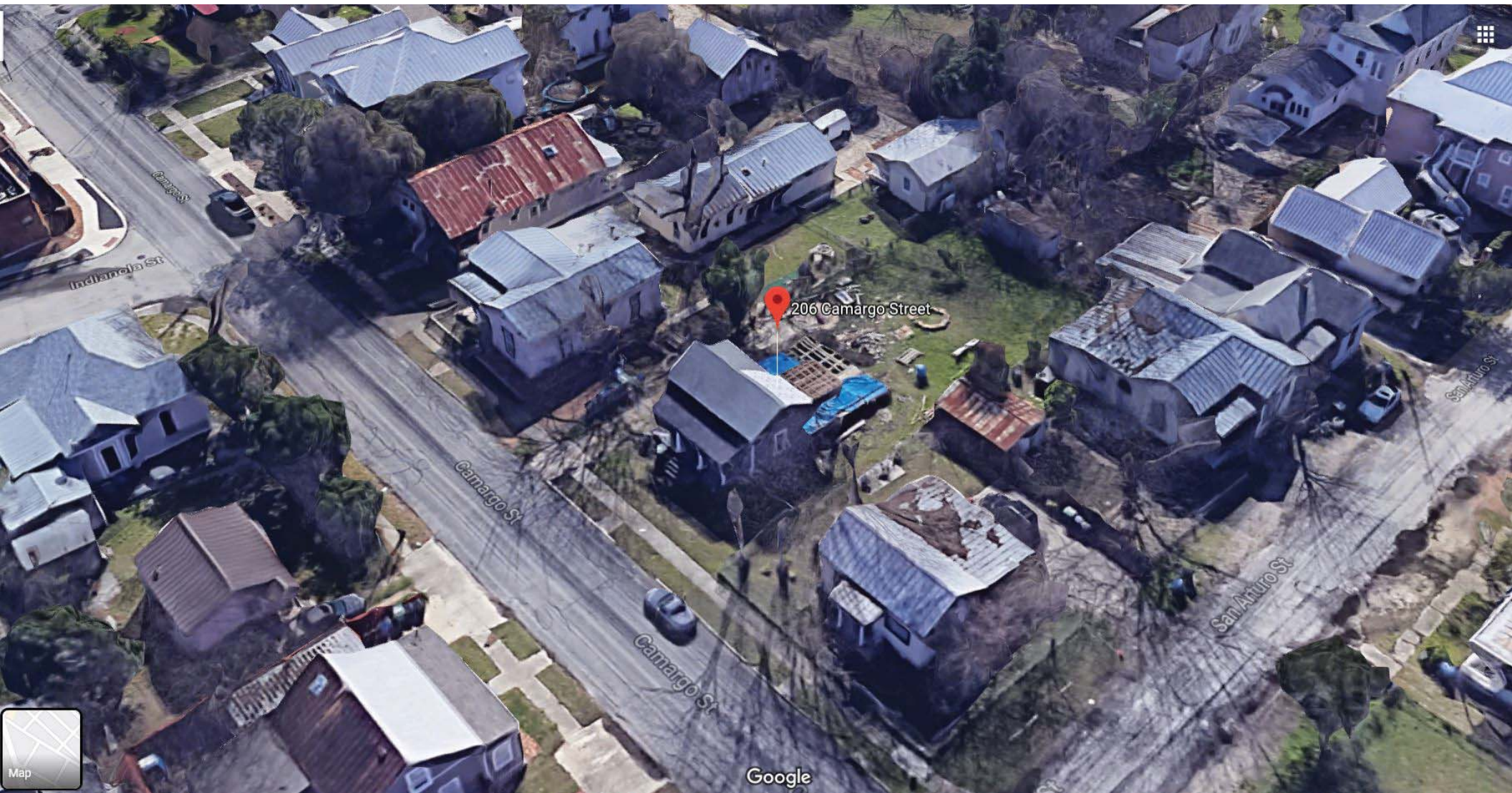
206 Camargo



January 29, 2020

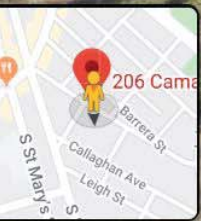








205 Camargo St
San Antonio, Texas
Google
Street View

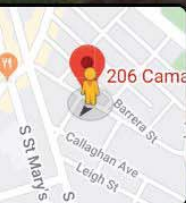


Google

205 Camargo St
San Antonio, Texas

Google

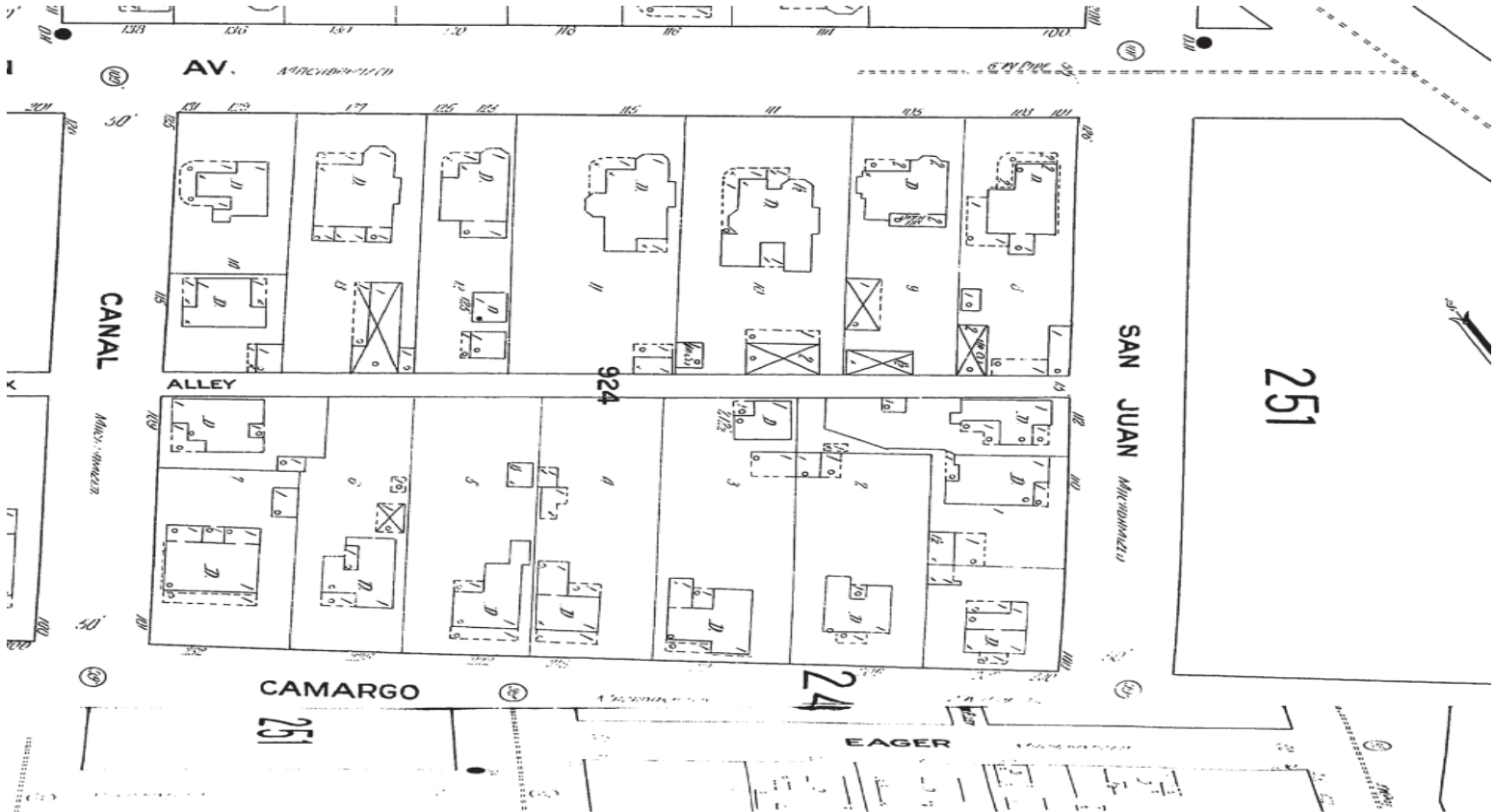
Street View



Google



ProQuest[®] Digital Sanborn Maps, 1867–1970
San Antonio 1911-1924 vol. 3, 1912, Sheet 251



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AO Design, LLC.

Written Narrative

January 17, 2020

While attempting to repair the existing front patio, the existing floor joist gave way and caused a collapse of the patio roof and columns. At further investigation it was found that the existing porch was not properly repaired and was rotten in several areas, to which the client was denied insurance due to an unsafe area. Contractor will reconstruct the exact same porch using today's methods of construction. Any material that may be reusable will be applied, so for two columns and some 1x floor deck boards. New rails and stairs will be constructed, with the methods that OHP has recommended. On the driveway side a fourth aluminum window will be applied to the already approved windows and will covered with new wood window screens. In the rear of the residence a newly constructed 15'x28' wood deck will be installed. On the east facing part of the structure, client would like to have two wood window transoms installed as shown in the drawings. These transom windows will be high as there location is in the shower area. The gas meter has been requested to be moved to the side of the structure and an ac package unit will be located in the same area, with a vegetation wall or lattice to help hide it from pedestrian view.



AO Design, LLC.

Images

January 17, 2020



425 N. Main Ave.

San Antonio, Tx. 78215

Cell: 210-632-2154



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San Antonio, Tx. 78215

Cell: 210-632-2154



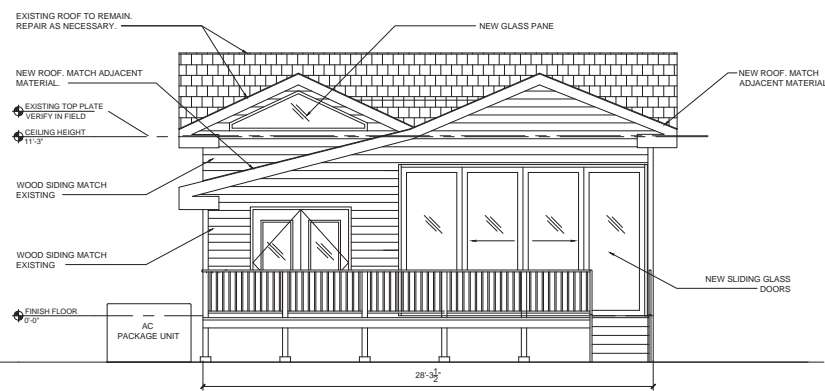
425 N. Main Ave.

San Antonio, Tx. 78215

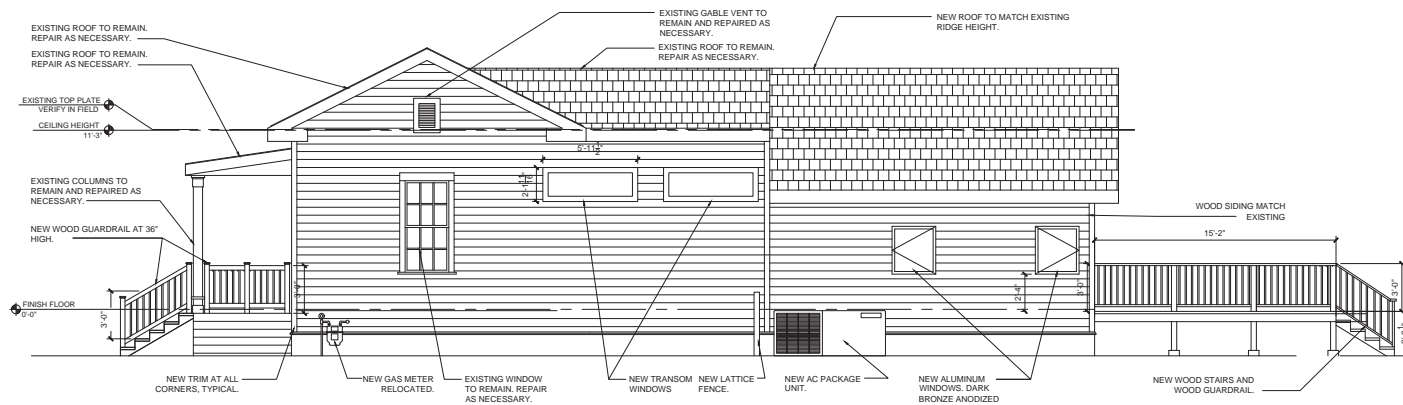
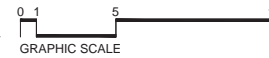
Cell: 210-632-2154



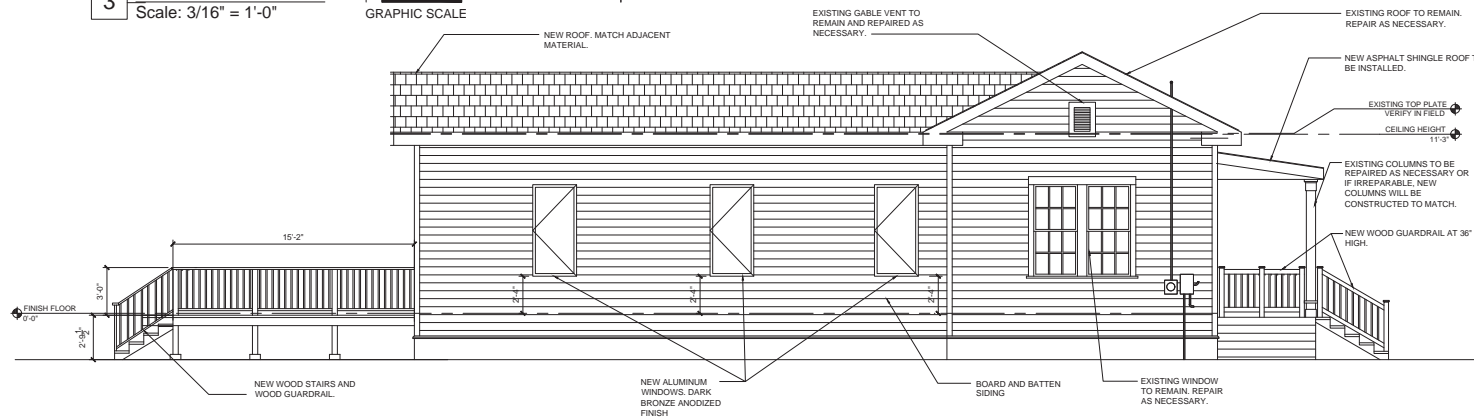
1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"



2 NORTH ELEVATION
Scale: 3/16" = 1'-0"



3 EAST ELEVATION
Scale: 3/16" = 1'-0"



4 WEST ELEVATION
Scale: 3/16" = 1'-0"



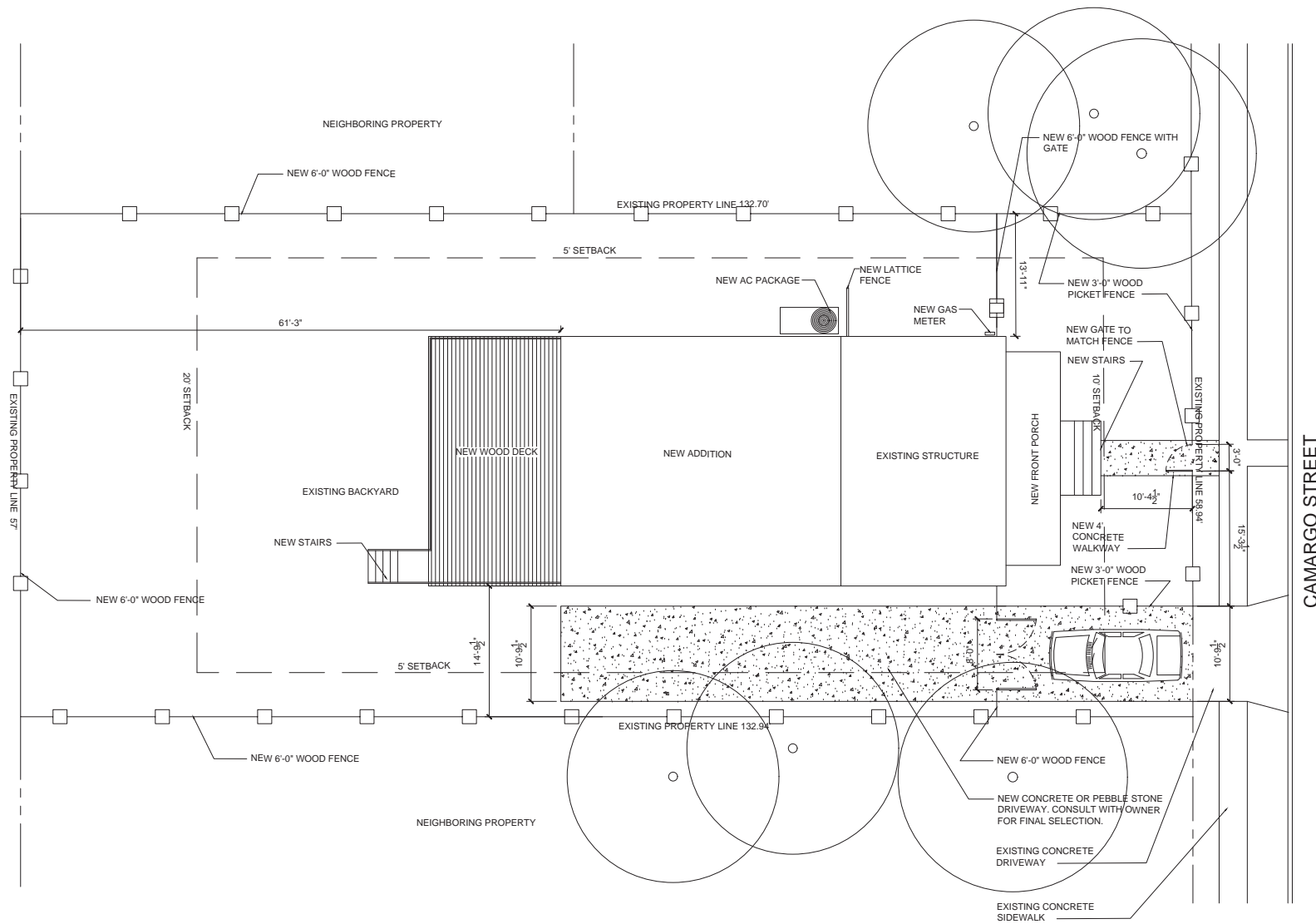
206 CAMARGO

SHEET INDEX
1 | A1.0 ELEVATIONS

EXTERIOR ELEVATIONS

PROJECT NO. XXX-XX
DATE: JANUARY 17, 2020
DRAWN BY:
DESIGNER:

sheet
A1.0
1 of 1



1 SITE PLAN Scale: 1/8" = 1'-0"



SITE PLAN

206 CAMARGO

SHEET INDEX	
1	A1.0 ELEVATIONS
2	A1.1 SITE PLAN

PROJECT NO. XXX-XX
DATE: JANUARY 17, 2020
DRAWN BY:
DESIGNER:

sheet
A1.1
2 of 2



AO Design, LLC.

Materials to be used

January 17, 2020



Lattice to cover up package unit



AC Package Unit



Treated Stringer, 2x2 baluster and 1x wood decking

January 13, 2020 at 9:30 AM
130 Calmargo St
San Antonio TX 78210
United States



January 13, 2020 at 9:30 AM
206 Camargo St
San Antonio TX 78210
United States



January 13, 2020 at 9:31 AM
206 Camargo St
San Antonio TX 78210
United States



January 13, 2020 at 9:31 AM
202 Carnargo St
San Antonio, TX 78210
United States



January 13, 2020 at 9:31 AM
108 San Arturo St
San Antonio TX 78210
United States



January 13, 2020 at 9:31 AM
112 San Arturo St
San Antonio TX 78210
United States



January 13, 2020 at 9:32 AM
206 Camargo St
San Antonio TX 78210
United States



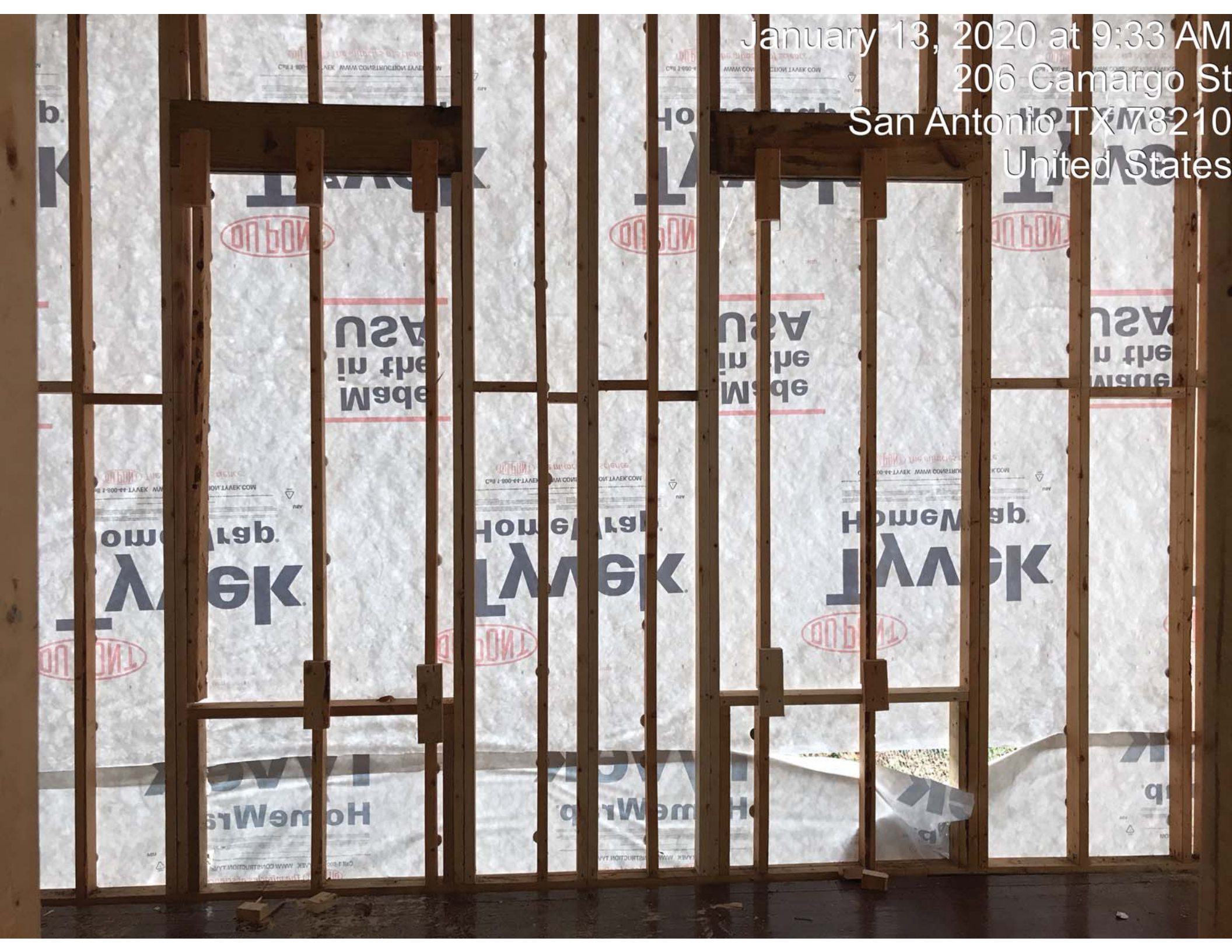
January 13, 2020 at 9:32 AM
206 Camargo St
San Antonio TX 78210
United States



January 13, 2020 at 9:32 AM
206 Camargo St
San Antonio TX 78210
United States



January 13, 2020 at 9:33 AM
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United States



January 13, 2020 at 9:33 AM
206 Camargo St
San Antonio TX 78210
United States



January 13, 2020 at 9:34 AM
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United States



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January 13, 2020 at 9:40 AM
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San Antonio, TX 78210
United States

