

# HISTORIC AND DESIGN REVIEW COMMISSION

June 03, 2020

**HDRC CASE NO:** 2020-231  
**ADDRESS:** 120 KING WILLIAM  
**LEGAL DESCRIPTION:** NCB 737 BLK 2 LOT 4  
**ZONING:** RM-4,H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**LANDMARK:** Individual Landmark  
**APPLICANT:** Travis Louie  
**OWNER:** Ronald Guyer/GUYER RONALD P & MADELINE N  
**TYPE OF WORK:** Window relocation and replacement, exterior modifications  
**APPLICATION RECEIVED:** May 12, 2020  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Stephanie Phillips

## REQUEST:

The applicant is requesting a Certificate of Appropriateness to:

1. Relocate a south elevation window to the east elevation.
2. Modify the existing fenestration on the rear elevation.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

### 6. Architectural Features: Doors, Windows, and Screens

#### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

viii. *Security bars*—Install security bars only on the interior of windows and doors.

ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.

x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

## **FINDINGS:**

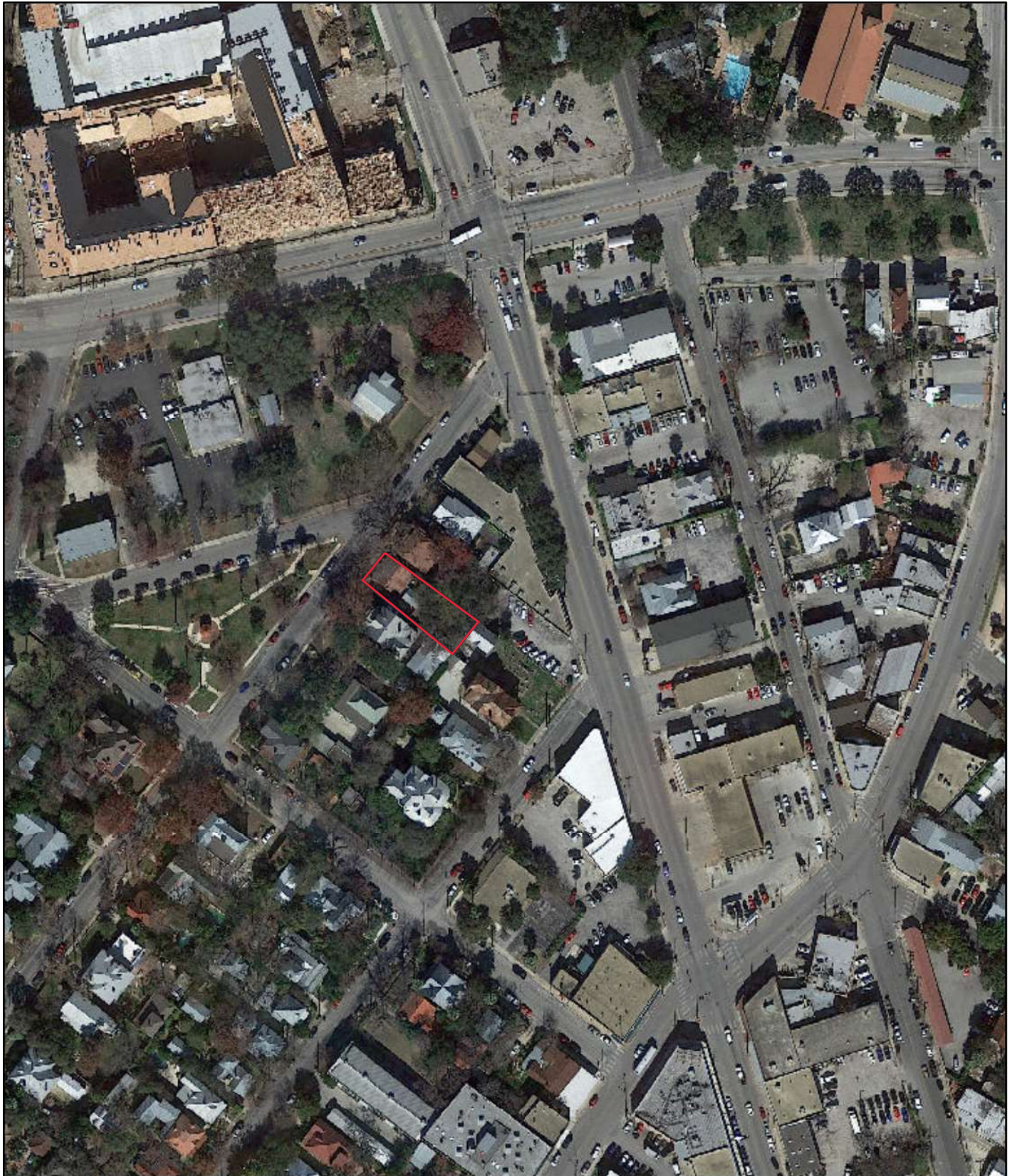
- a. The primary structure located at 120 King William is a 1-story residential structure constructed circa 1890 in the Folk Victorian style. The home features a stucco façade, a metal roof, and a full-width front porch. The structure is contributing to the King William Historic District.
- b. EXTERIOR MODIFICATIONS – The applicant is requesting to perform two fenestration modifications, including the relocation of one window from the west to east elevation and modifying three windows on the rear elevation. Both requests are located on a rear addition. According to the Guidelines, existing openings should be preserved where possible, and new openings should match the pattern, dimensions, size, and inset. Staff generally finds the proposal appropriate given the location of the modifications and the reuse of the side window.

## **RECOMMENDATION:**

Staff recommends approval based on findings a through b with the following stipulations:

- i. That the applicant matches the existing board and batten siding and profile.
- ii. That the applicant submits a final window specification for the rear windows prior to the issuance of a Certificate of Appropriateness. Staff finds fully wood windows to be appropriate. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.

# City of San Antonio One Stop



May 28, 2020

— User drawn lines

1:2,000  
0 0.015 0.03 0.06 mi  
0 0.0275 0.055 0.11 km









120

120



















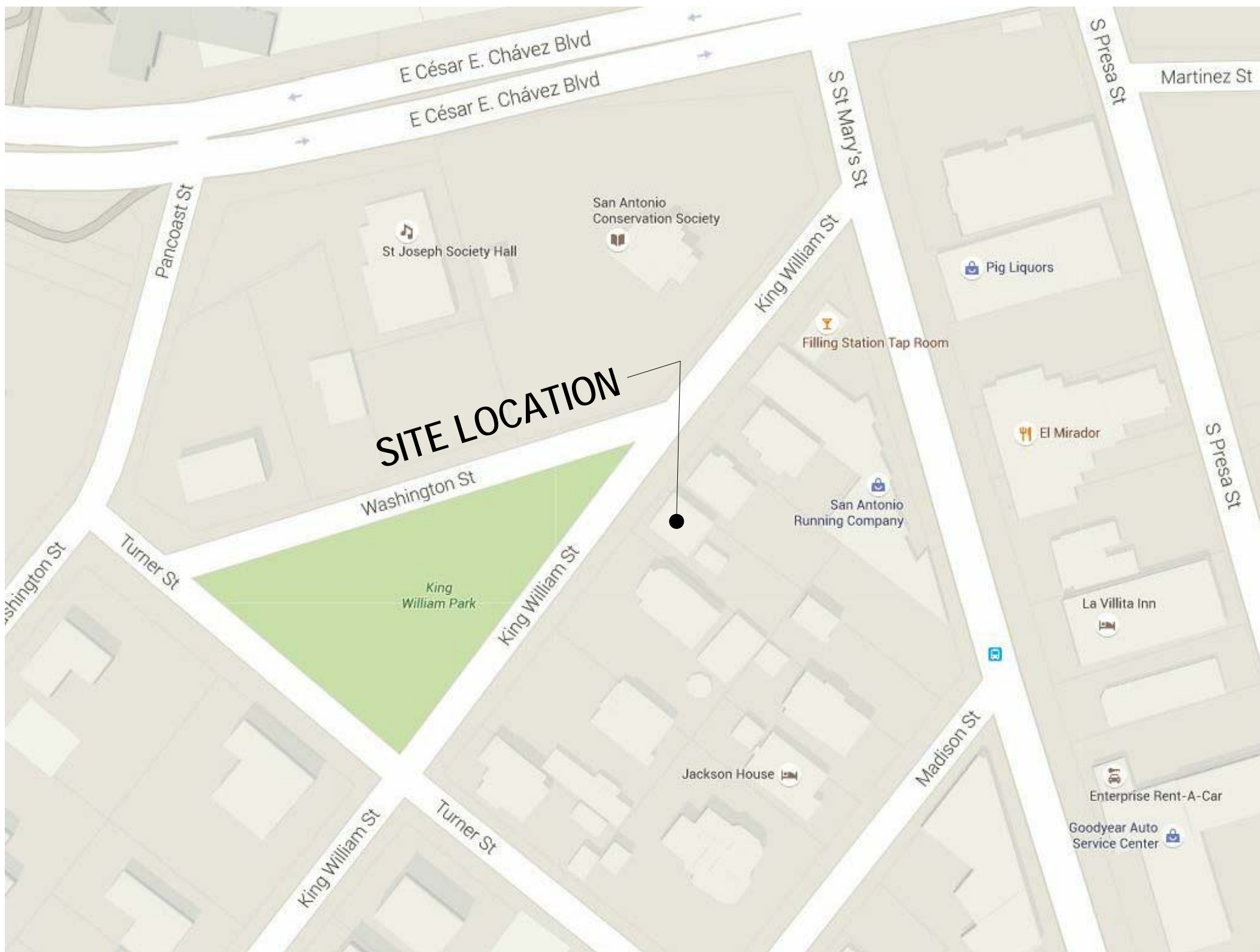




# EXTERIOR AND INTERIOR RENOVATION FOR THE GUYER RESIDENCE

## CONSTRUCTION DOCUMENTS (PRICING SET)

### LOCATION MAP



### CODE ANALYSIS

**APPLICABLE CODES AND STANDARDS:**

THIS PROJECT IS IN THE CITY OF SAN ANTONIO, TEXAS.  
THE CITY OF SAN ANTONIO CURRENTLY HAS ADOPTED THE FOLLOWING CODES:

- 2015 INTERNATIONAL EXISTING BUILDING CODE
- 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION
- 2015 INTERNATIONAL FUEL GAS CODE

**OCCUPANCY CLASSIFICATION:**

- GROUP R-3

**CLASSIFICATION OF WORK:**

- ALTERATION - LEVEL 2

**CONSTRUCTION CLASSIFICATION:**

- TYPE - V

**FIRE RESISTANCE RATINGS REQUIRED**

BUILDING ELEMENT	HOURS
• STRUCTURAL FRAME	0
• BEARING WALLS	
EXTERIOR	0
INTERIOR	0
• NONBEARING WALLS & PARTITIONS	0
• FLOOR CONSTRUCTION	0
• ROOF CONSTRUCTION	0

**FIRE PROTECTION SYSTEMS**

- SMOKE AND CARBON MONOXIDE DETECTORS

**AREAS:**

- EXISTING DWELLING AREA - 1,215 SF

**ZONING:**

- RM-4 H HE

### GENERAL NOTES

- GENERAL**
- G-100 TITLE SHEET
- DEMOLITION**
- D-100 DEMO SITE PLAN  
D-101 DEMO FLOOR PLAN
- ARCHITECTURAL**
- A-001 GENERAL NOTES, ABBREVIATIONS & SYMBOLS, CODE ANALYSIS, LOCATION MAP, SPECIAL INSPECTIONS  
A-002 DOOR & WINDOW SCHEDULES AND DETAILS  
A-100 SITE & ROOF PLAN  
A-101 FLOOR PLAN  
A-102 REFLECTED CEILING PLAN  
A-103 FIRST FLOOR ELECTRICAL PLAN  
A-200 EXTERIOR ELEVATIONS  
A-300 BUILDING & WALL SECTIONS  
A-400 INTERIOR ELEVATIONS

### SPECIAL INSPECTIONS

IBC SECTION		APPLICABLE	NOT APPLICABLE
1705.1.1	SPECIAL CASES	-	-
1705.2	STEEL CONSTRUCTION	-	-
1705.3	CONCRETE CONSTRUCTION	-	-
1705.4	MASONRY CONSTRUCTION	-	-
1705.5	WOOD CONSTRUCTION	-	-
1705.6	SOILS	-	-
1705.7	DRIVEN DEEP FOUNDATIONS	-	-
1705.8	CAST-IN-PLACE FOUNDATIONS	-	-
1705.9	HELICAL PILE FOUNDATIONS	-	-
1705.10	SPECIAL INSPECTIONS FOR WIND RESISTANCE	-	-
1705.11	SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE	-	-
1705.12	TESTING & QUALIFICATION OF SEISMIC RESISTANCE	-	-
1705.13	SPRAYED FIRE-RESISTANT MATERIALS	-	-
1705.14	MASTIC AND INTUMESCENT FIRE RESISTANT COATINGS	-	-
1705.15	EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS)	-	-
1705.16	FIRE-RESISTANT PENETRATIONS AND JOINTS	-	-
1705.17	SPECIAL INSPECTION FOR SMOKE CONTROL	-	-
1706	DESIGN STRENGTHS OF MATERIALS	-	-
1707	ALTERNATIVE TEST PROCEDURES	-	-
1708	TEST SAFE LOAD	-	-
1709	IN-SITU LOAD TESTS	-	-
1710	PRECONSTRUCTION LOAD TESTS	-	-
1711	MATERIAL AND TEST STANDARDS	-	-

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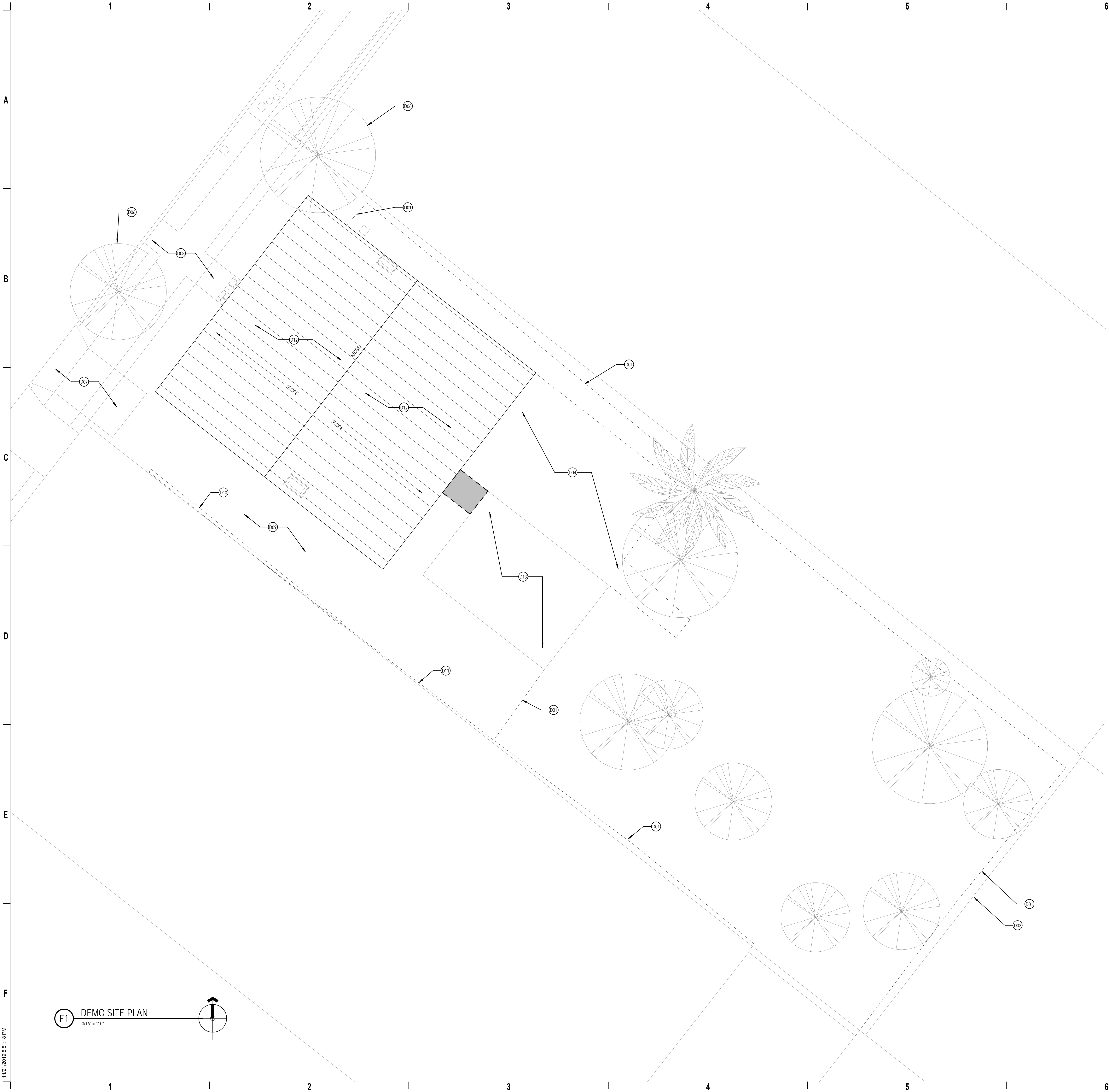
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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
TITLE SHEET

PROJECT NO. 1514 A2  
REVISION DATE

SHEET NO.  
**G-100**

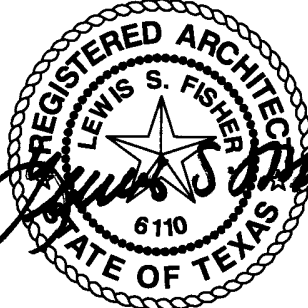




# KEY NOTES

- D01 DEMO EXISTING WOOD FENCE AND GATES. VERIFY WITH OWNER AND NEIGHBORS ON SPECIFIC DATE DEMOLITION IS TO OCCUR.
- D02 LINE INDICATES PROPERTY LINE.
- D04 TAKE UP AND STORE EXISTING DHANIS BRICK PAVERS FOR REUSE.
- D06 EXISTING TREE TO REMAIN.
- D07 EXISTING CONCRETE APRON TO REMAIN.
- D08 EXISTING CONCRETE SIDEWALK TO REMAIN.
- D09 REMOVE EXISTING GRAVEL DRIVEWAY DOWN TO NEIGHBOR'S GRADE LEVEL.
- D10 DEMO EXISTING RAILROAD TIES.
- D11 DEMO EXISTING CHAINLINK FENCE AND VEGETATION GROWING ON IT.
- D12 EXISTING METAL ROOFING TO REMAIN AND BE PREPED FOR REFINISHING. CAREFULLY REMOVE ANY DAMAGED PANEL SECTIONS AND FIELD VERIFY CONDITION OF ROOF SUBSTRATE. REPAIR AND/OR REPLACE ANY DAMAGED SECTIONS OF SUBSTRATE BEFORE INSTALLING NEW ROOF SECTIONS.
- D13 EXISTING ACCESSORY STRUCTURE TO REMAIN

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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
DEMO SITE PLAN

PROJECT NO. 1514 A2  
REVISION DATE

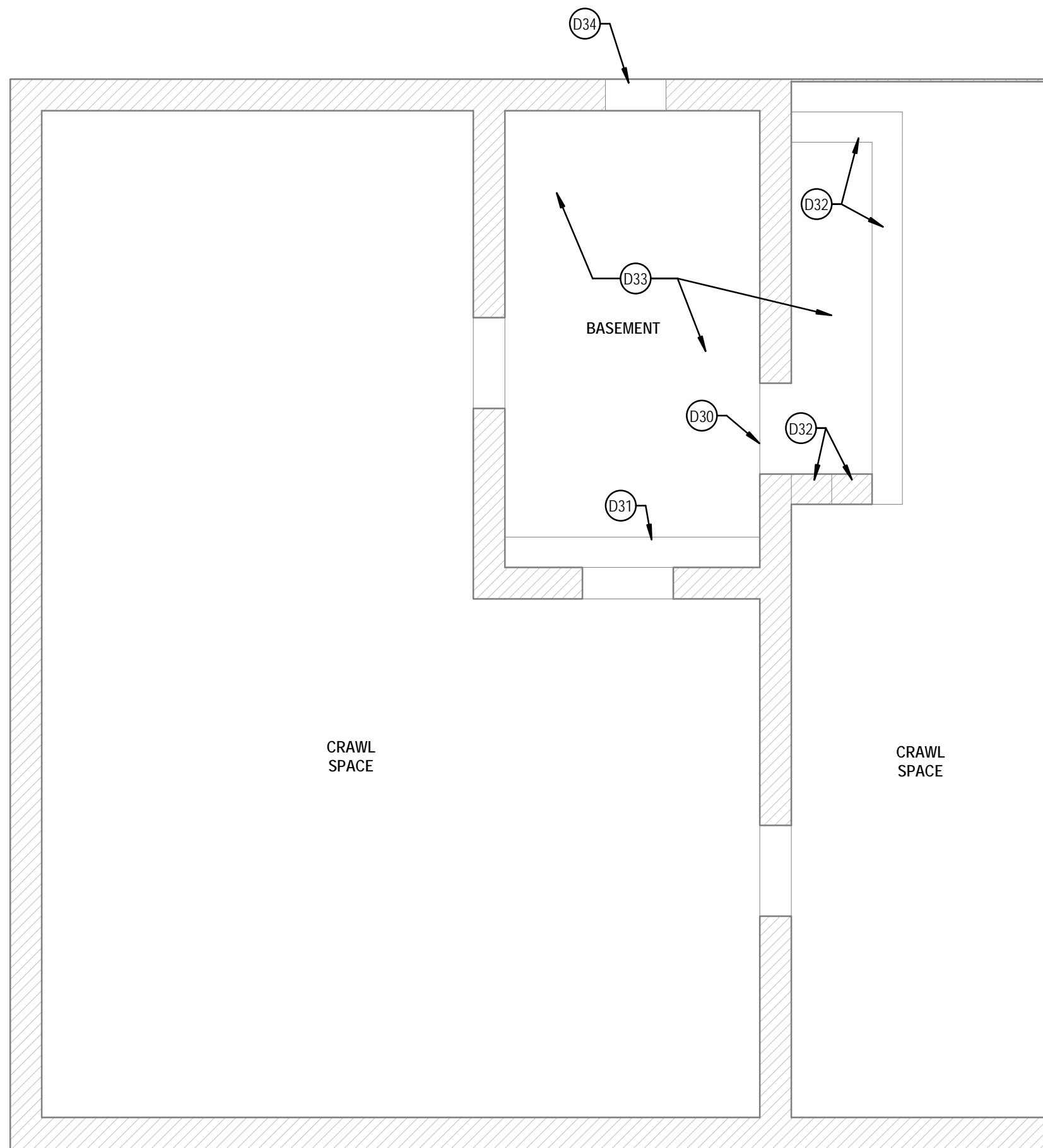
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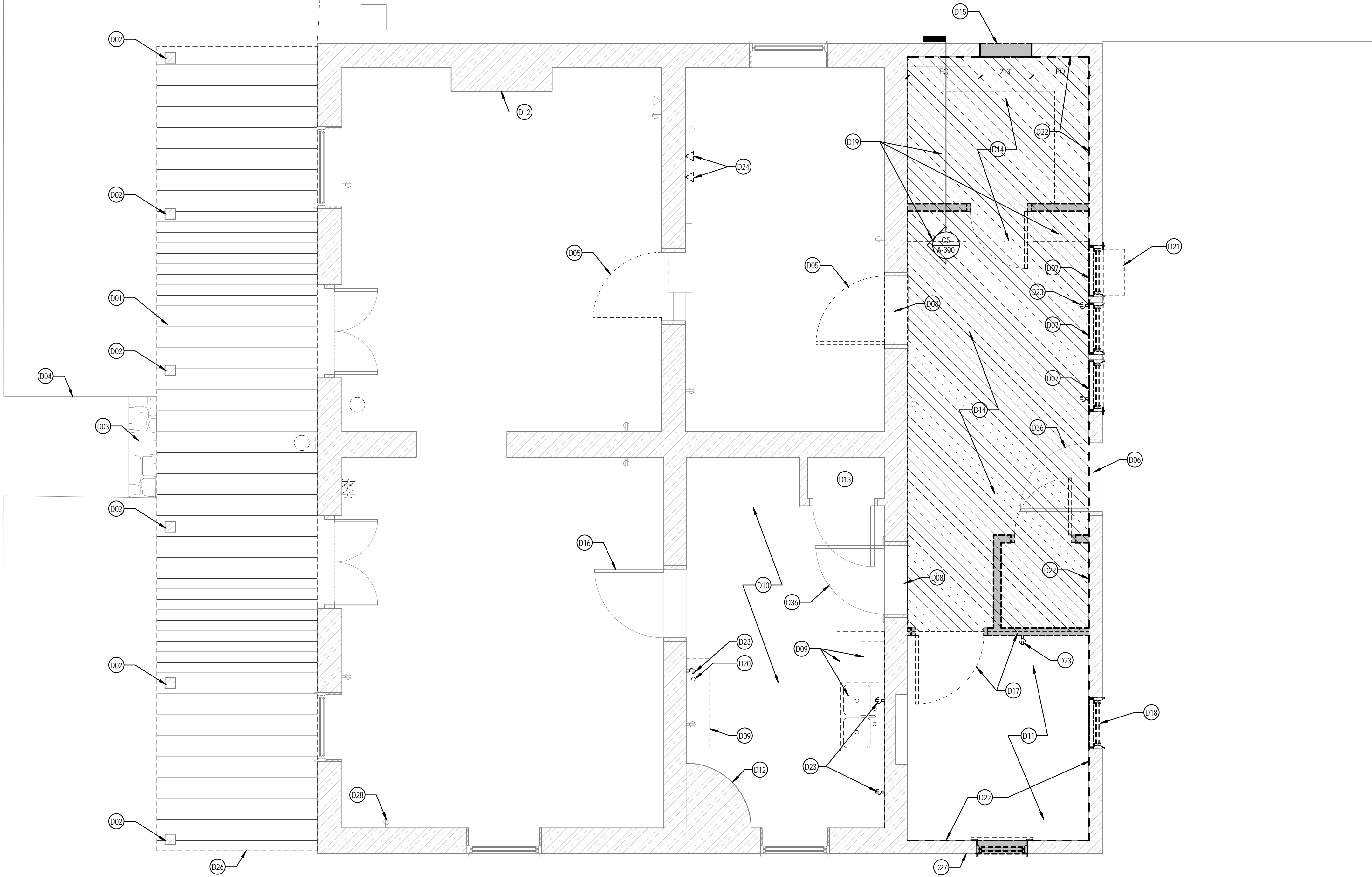
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A  
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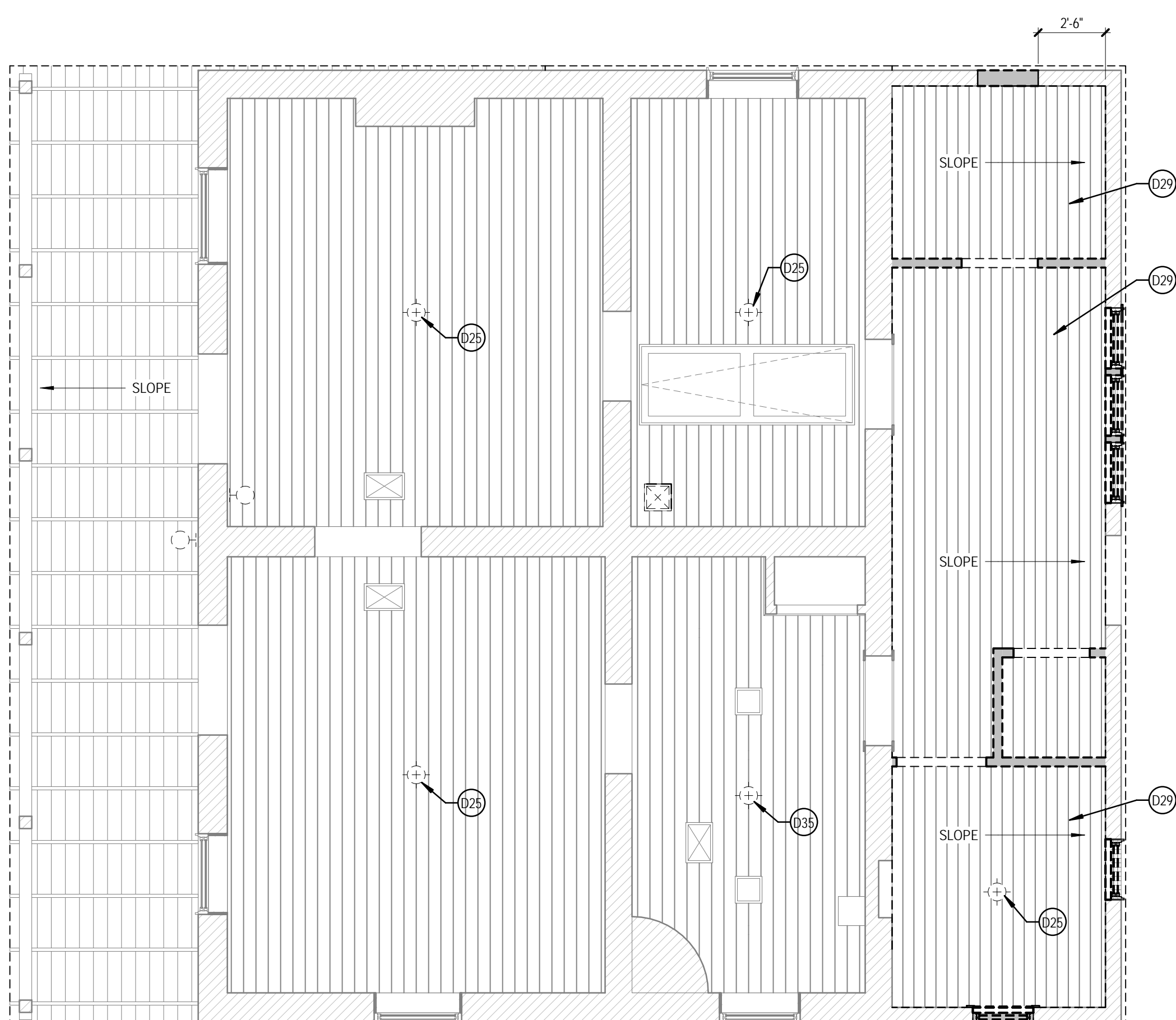
F1 BASEMENT FLOOR DEMO PLAN  
1/4" = 1'-0"



C1 DEMO FLOOR PLAN  
3/8" = 1'-0"



F4 REFLECTED CEILING DEMO PLAN  
1/4" = 1'-0"



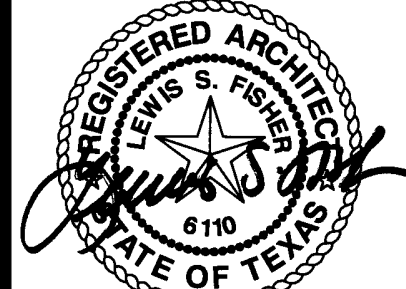
## KEY NOTES

- D01 STRIP AND SAND EXISTING WOOD PORCH FLOOR BOARDS AND PERIMETER FASCIA. REPLACE ANY DAMAGED BOARDS WITH NEW BOARDS THAT MATCH EXISTING THICKNESS, SIZE AND WOOD SPECIES (TYP).
- D02 EXISTING WOOD COLUMNS TO REMAIN. STRIP AND SAND IN PREPARATION FOR REFINISHING. FILL ALL MAJOR CRACKS WITH WOOD FILLER PRIOR TO SANDING. ANY DAMAGED COLUMN BEYOND REPAIR ARE TO BE REPLACED WITH A NEW COLUMN OF THE SAME SIZE, PROFILE AND WOOD SPECIES.
- D03 EXISTING LIMESTONE STEP TO REMAIN AND BE CLEANED.
- D04 LINE OF EXISTING SIDEWALK. REFER TO DEMO SITE PLAN.
- D05 CAREFULLY REMOVE AND SALVAGE EXISTING WOOD DOOR FOR RE-USE. STRIP AND SAND EXISTING DOOR IN PREPARATION FOR REFINISHING.
- D06 DEMO EXISTING DOOR, FRAME AND TRIM.
- D07 DEMO EXISTING WINDOW, FRAME AND TRIM.
- D08 CAREFULLY REMOVE AND SALVAGE EXISTING DOOR THRESHOLD. STRIP AND SAND IN PREPARATION FOR REFINISHING AND REINSTALLATION.
- D09 DEMO EXISTING COUNTERTOP, BASE CABINETS, APPLIACES AND WALL MOUNTED SHELVING.
- D10 CAREFULLY REMOVE EXISTING MASONITE FLOOR MATERIAL TO EXPOSED HARDWOOD FLOORING BELOW.
- D11 CLEAN OUT ALL DEBRIS, TRASH AND EXCESS FILL IN PREPARATION FOR NEW FLOOR FRAMING AND UTILITY WORK. LEVEL OUT SOIL SURFACE WITH SAND.
- D12 EXISTING FIRE PLACE TO REMAIN.
- D13 REMOVE EXISTING FURNISE AND PREP FOR INSTALLATION OF NEW FURNICE.
- D14 CAREFULLY DEMOLISH EXISTING FLOOR FINISH MATERIAL AND SUBFLOOR MATERIAL TO EXPOSE EXISTING FLOOR RAFTERS IN PREPARATION FOR NEW LEVEL SUBFLOOR INSTALLATION.
- D15 DEMO NEW OPENING IN WALL IN PREPARATION OF NEW WOOD FRAMED WINDOW. REFER TO WINDOW SCHEDULE.
- D16 CAREFULLY REMOVE EXISTING DOOR AND HARDWARE AND PREPARE FRAME TO RECEIVE EXISTING SALVAGED DOOR FROM OTHER ROOM.
- D17 DEMO EXISTING DOOR, FRAME AND WALL.
- D18 CAREFULLY REMOVE EXISTING WINDOW AND PREP FOR REFINISHING AND REINSTALLATION.
- D19 DEMO EXISTING BUILT-IN SHELVING.
- D20 DEMO EXISTING GAS LINE BACK TO MAIN LINE AND PREP FOR NEW GAS LINE TO KITCHEN.
- D21 DEMO EXISTING WINDOW MECHANICAL UNIT.
- D22 CAREFULLY REMOVE EXISTING INTERIOR PANELING BACK TO EXISTING STUDS. REMOVE ALL EXISTING INSULATION AND VERIFY CONDITION OF EXISTING FRAMING. REPLACE ALL DAMAGED AND OR DETERIORATED FRAMING AS REQUIRED. PREP WALLS FOR NEW ELECTRICAL, PLUMBING ETC.
- D23 REMOVE EXISTING ELECTRICAL OUTLET, WIRE, BOX, ETC. BACK TO POINT OF ORIGIN. REPAIR WALL, BASEBOARDS, ETC. AS REQUIRED.
- D24 REMOVE EXISTING DATA OUTLET, WIRE, BOX, ETC. BACK TO POINT OF ORIGIN IN PREPARATION FOR RELOCATION. REPAIR WALL, BASEBOARDS, ETC. AS REQUIRED.
- D25 DEMO EXISTING LIGHT FIXTURE AND PREP FOR INSTALLATION OF NEW FIXTURE. FIELD VERIFY IF EXISTING J-BOX AND WIRE NEED TO BE REPLACED AT EACH LOCATION.
- D26 DEMO EXISTING WOOD LATTICE AND ASSOCIATED VEGETATION GROWING ON IT.
- D27 REMOVE ALL EXISTING VEGETATION GROWING UP THE SIDES OF THE HOUSE.
- D28 EXISTING ELECTRICAL OUTLET.
- D29 CAREFULLY REMOVE EXISTING CEILING WOOD BOARDS. STRIP AND PREP FOR REFINISHING. INSPECT EXISTING ROOF RAFTERS AND SHEATHING AND REPAIR/REPLACE ANY DAMAGED PIECES AS REQUIRED.
- D30 EXISTING STEP DOWN INTO BASEMENT.
- D31 EXISTING STONE BENCH TO REMAIN.
- D32 EXISTING STONE RETAINING WALL TO REMAIN.
- D33 CLEAN OUT ALL DEBRIS, TRASH, AND DIRT TO REVEAL A CLEAN LEVEL FLOOR SURFACE. REMOVE ALL NON-ESSENTIAL WIRING AND PIPING AS REQUIRED. STRIP AND REFINISH EXISTING FLOOR RAFTERS AND UNDERSIDE OF FLOOR BOARDS - STAIN.
- D34 CLEAN OUT EXISTING FOUNDATION VENT OPENING AND REPLACE WITH NEW FOUNDATION VENT. PAINT TO MATCH EXTERIOR WALL COLOR.
- D35 CAREFULLY REMOVE AND SALVAGE EXISTING LIGHT FIXTURE AND PREP FOR INSTALLATION OF NEW FIXTURE. FIELD VERIFY IF EXISTING J-BOX AND WIRE NEED TO BE REPLACED AT EACH LOCATION.
- D36 CAREFULLY REMOVE EXISTING DOOR AND HARDWARE. DOOR AND FRAME ARE TO BE REFINISHED AND NEW HARDWARE INSTALLED.

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120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
DEMO FLOOR PLAN

PROJECT NO. 1514 A2  
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SHEET NO.  
**D-101**



11/22/2016

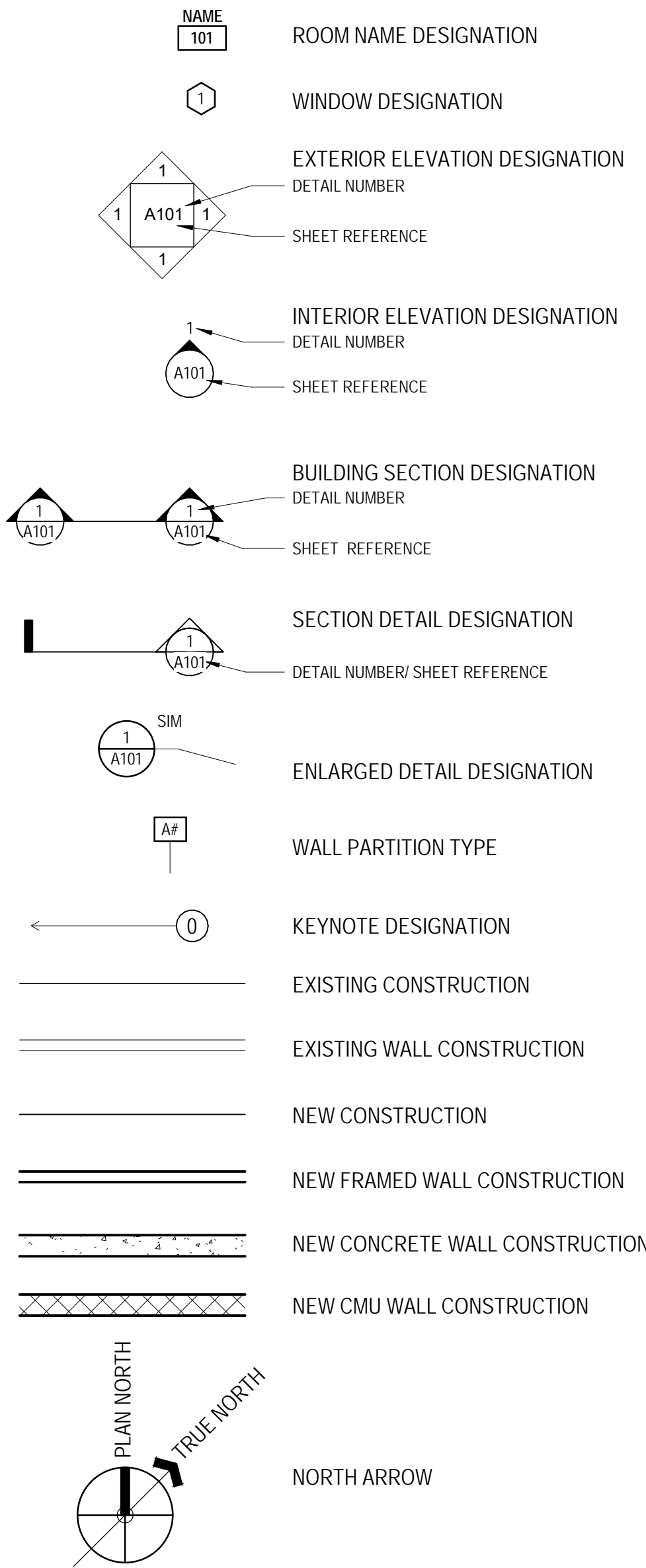
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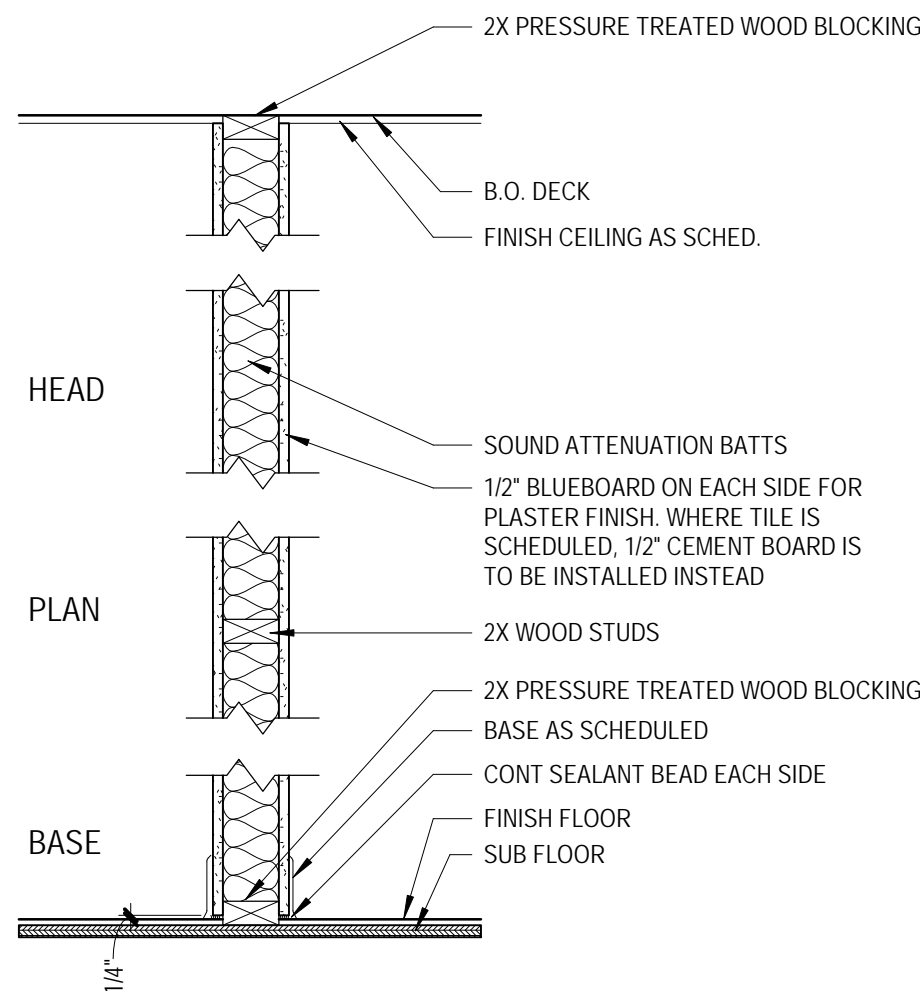
# ABBREVIATIONS

& @ # %	AND AT POUND, NUMBER CENTER LINE	MAS MAX MDP MECH MED	MASONRY MAXIMUM MAIN DISTRIBUTION PANEL MECHANICAL MEDIUM
ACT ADDL ADDNL ADJ AFF AHU ALT ALUM APPROX ARCH	ACOUSTICAL CEILING ADDITION ADDITIONAL ADJUSTABLE ABOVE FINISHED FLOORS AIR HANDLING UNIT ALTERNATE ALUMINUM APPROXIMATE ARCHITECT, ARCHITECTURE	MFR MH MN MSC MO MTD MTL	MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED METAL
B.O. BCS BD BLDG	BOTTOM OF BABY CHANGING STATION BOARD BUILDING	N NIC NO NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
CFM CFT CJ CLR CMU CO COL CONC CONST CONT CPT CPTB CTB CWT CU CUH CW	CUBIC FEET PER MINUTE FERAMIC FLOOR TILE CONTROL JOINT CEILING CONCRETE MASONRY UNIT CLEAN OUT COLUMN CONCRETE CONSTRUCTION-CONTINUOUS CARPET CARPET BASE CERAMIC TILE BASE CERAMIC WALL TILE CONDENSING UNIT CABINET UNIT HEATER COLD WATER	OC OD O.H. OPP OZ	ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OPPOSITE OUNCE
DTL DIA DIM DSP DN DS DW DWG	DETAIL DAMETER DIMENSION DISPENSER DOWN DOWN SPOUT DUMB WATER DRAWING	P PCF PERF PL PLAM PLUM PLF PLYWD PR PSF PSI PT PTD PVC PVMT	PAINT POUNDS PER CUBIC FOOT PERFORATED PLATE PLASTIC LAMINATE PLUMBING POUNDS PER LINEAR FOOT PLYWOOD PAIR POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT PAINTED POLYVINYL CHLORIDE PAVEMENT
E EA EJ ELEV ELEC EP EQ EQUIP EWC EVH EXH EXP EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELECTRICAL PANEL EQUAL EQUIPMENT ELECTRIC WATER COOLER ELECTRIC WATER HEATER EXHAUST EXPANSION EXTERIOR	QT QTY	QUARRY TILE QUANTITY
FA FACP FD FE FEC FF FG FIN FLR(S) FO FT FTG FURN FWC	FIRE ALARM FIRE ALARM CONTROL PANEL FLOOR DRAIN, FIRE DAMPER FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISHED FLOOR FINISHED GRADE FINISHED FLOORING FACE OF FOOT, FEET FOOTING FURNISHED FABRIC WALL COVERING	R RB RCP RD RE REF REINF REQ REV RF RH RM RO ROW RS RTU	RISER, RADIUS RUBBER BASE BOARD REFLECTED CEILING PLAN ROOF DRAIN REFER TO REFRIGERATOR REINFORCE (D) REQUIRED REVISIONS RESILIENT FLOORING RIGHT HAND ROOM ROUGH OPENING RIGHT OF WAY ROUGH SAWN ROOF TOP UNIT
GA GALV GC GFI GL GYP	GAUGE GALVANIZED GENERAL CONTRACTOR GROUND FAULT INTERRUPTER GLASS GYPSUM	S SAN SAT SC SCHED SECT SERV SF SIM SPEC SQ SS ST STD STL STRUCT SUSP SWG SYM	SOUTH SANITARY SUSPENDED ACOUSTICAL TILE SOLID CORE / OVERFLOW SCUPPER SCHEDULE SECTION SERVICE SQUARE FEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STORM STANDARD STEEL STRUCTURAL SUSPENDED STANDARD WIRE GAUGE SYMMETRICAL
HB HC HWD HID HM HORIZ HVAC HW	HOSE BIBB HOLLOW CORE HARDWOOD HIGH INTENSITY DISCHARGE HOLLOW METAL HORIZONTAL HEAT, VENT, A/C HOT WATER	T T&B TAG TEL TEMP THK T.O. TYP TV	TREAD TOP AND BOTTOM TONGUE AND GROOVE TELEPHONE TEMPERATURE, TEMPERED THICK (NESS) TOP OF TYPICAL TELEVISION
ID INCL INT INV	INSIDE DIAMETER INCLUDING INTERIOR INVERT	UG UH UNO	UNDERGROUND UNIT HEATER UNLESS NOTED OTHERWISE
JB JST K	JUNCTION BOX JOIST KIP (1,000 POUNDS)	VB VCT VERT VF VWC	VINYL BASE BOARD VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD VINYL WALL COVERING
LAM LAV LB LF LH LL LLH LLV LP LTWT	LAMINATED LAVATORY POUND LINEAR FEET LEFT HAND LINE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIGHTNING PANEL LIGHTWEIGHT	W W/ W/O WB WC WD WH WP WT WWF YD	WEST WITH WITHOUT WOOD BASE BOARD WATER CLOSET WOOD WATER HEATER WATERPROOF, WORK POINT WEIGHT WELDED WIRE FABRIC YARD

# SYMBOLS



# PARTITIONS



TYPE	STUD SIZE	SAB	STC	WALL THK	MAX HT 5 PSF
A3	2X4	45	-	4-1/2"	13'-6"
A6	2X6	45	-	6-1/2"	15'-0"

# GENERAL NOTES

- THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- ALL NOTES REFERENCE NEW WORK UNLESS NOTED AS EXISTING.
- ALL SURFACES TO RECEIVE PAINT FINISH SHALL BE PREPARED TO SHOW NO DEFECTS. APPLY ONE COAT OF PRIMER-SEALER, THEN APPLY TWO FINISH COATS (NO STIPPLE FINISH ON ALL PAINTED SURFACES).
- PATCH ALL SURFACES AND AREAS AFFECTED BY DEMOLITION AND PREPARE FOR NEW CONSTRUCTION.
- THE EXTENT OF DEMOLITION WORK IS SHOWN ON THE DRAWINGS. IT IS NOT POSSIBLE TO SHOW REQUIRED DEMOLITION, REMODELING AND PATCHING IN EVERY DETAIL. THE CONTRACTOR SHALL VISIT THE FACILITY TO DETERMINE THE EXTENT OF DEMOLITION AND REMODELING WORK, AND TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ADDITIONAL WORK REQUIRED AS A RESULT OF THE WORK INDICATED HEREIN OR FOR PATCHING REQUIRED AS A RESULT OF NEW WORK, REMODELING OR DEMOLITION.
- BOARD AND BATTEN EXTERIOR WALLS ARE TO RECEIVE MIN. R-15 OPEN-CELL SPRAY FOAM INSULATION BETWEEN EXISTING STUDS AFTER REMOVAL OF EXISTING INTERIOR SHEATHING.
- UNLESS SPECIFICALLY DESIGNATED FOR SALVAGE, DEMOLITION INCLUDES REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS. CONTRACTOR SHALL PROVIDE SUITABLE MEANS FOR DISPOSAL OF DEMOLISHED MATERIALS AND CONSTRUCTION DEBRIS.
- ITEMS INDICATED FOR SALVAGE BY OWNER SHALL BE REMOVED BY THE CONTRACTOR AND DELIVERED TO OWNER'S DESIGNATED STORAGE AREA.
- REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND NEW CONSTRUCTION OPERATIONS.
- ALL MATERIALS NOT DESIGNATED FOR SALVAGE BY OWNER SHALL BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- REPAIR, AT NO COST TO THE OWNER, DAMAGE CAUSED TO ADJACENT AREAS, MATERIALS AND EQUIPMENT BY DEMOLITION AND NEW CONSTRUCTION OPERATIONS.
- WHERE PLUMBING FIXTURES ARE INDICATED TO BE REMOVED, PROPERLY TERMINATE ALL SUPPLY, WASTE AND VENT LINES BELOW SLAB AND/OR ABOVE FINISHED CEILING AS APPROPRIATE. WATER SUPPLY LINES SHALL BE REMOVED BACK TO NEAREST LIVE BRANCH LINE. CLOSE VENT PIPES THROUGH ROOF.
- WHERE ELECTRICAL DEVICES ARE SHOWN TO BE REMOVED, PROPERLY TERMINATE ALL WIRING.
- ALL WALL CEILING AND FLOOR CONSTRUCTION WHICH IS AFFECTED BY MEP DEMOLITION IS TO BE PATCHED AND PREPARED FOR NEW CONSTRUCTION.
- THE GENERAL AND SUBCONTRACTOR(S) MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES.
- ALL CONDENSATE LINES AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM STRUCTURE SIDEWALL.
- VERIFY W/ OWNER EXACT SIZE OF ALL EQUIPMENT FURNISHED BY OWNER FOR PROPER FIT W/ CONTRACTOR SUPPLIED MILLWORK & CASEWORK.
- ALL FURNITURE IS TO BE PROVIDED BY OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, AND TECHNIQUES OF CONSTRUCTION SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, AND FOR THE ACTS OR OMISSIONS OF THE SUBCONTRACTORS.
- ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE FROM VIBRATION.
- ALL PAINTS USED SHOULD COMPLY WITH LOW OR ZERO V.O.C. STANDARDS.
- NEW HVAC SYSTEM IS TO BE DESIGN-BUILD BY LICENSED MECHANICAL CONTRACTOR. ALL EXISTING DUCTWORK AND GRILLES ARE TO BE CLEANED AND REUSED IF POSSIBLE. PROVIDE NEW ENERGY STAR RATED GAS FURNICE WITHIN REFINISHED EXISTING HVAC CLOSET AND CONNECT ALL EXISTING DUCTWORK AS REQUIRED. CONTRACTOR TO VERIFY IF EXISTING GAS LINE TO FURNICE EXISTS AND IS ACCEPTABLE CONDITION - REPLACE IF REQUIRED.
- ALL NEW DOORS SHALL BE FRAMED WITH DOUBLE 2X10 HEADERS ABOVE AND DOUBLE 2X WOOD STUDS AT THE JAMBS.
- PROVIDE ADEQUATE BLOCKING BEHIND WALLS AND CEILINGS WHERE PLUMBING AND ELECTRICAL FIXTURES ARE TO BE LOCATED.
- ALL INTERIOR AND EXTERIOR WALLS ARE TO RECEIVE 2 COATS OF NEW PAINT AFTER PLASTER REPAIR WORK.

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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYVER RESIDENCE**  
1201 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
GENERAL NOTES, ABBREVIATIONS & SYMBOLS, CODE ANALYSIS, LOCATION MAP, SPECIAL INSPECTIONS

PROJECT NO. 1514 A2

REVISION DATE

SHEET NO.

A-001



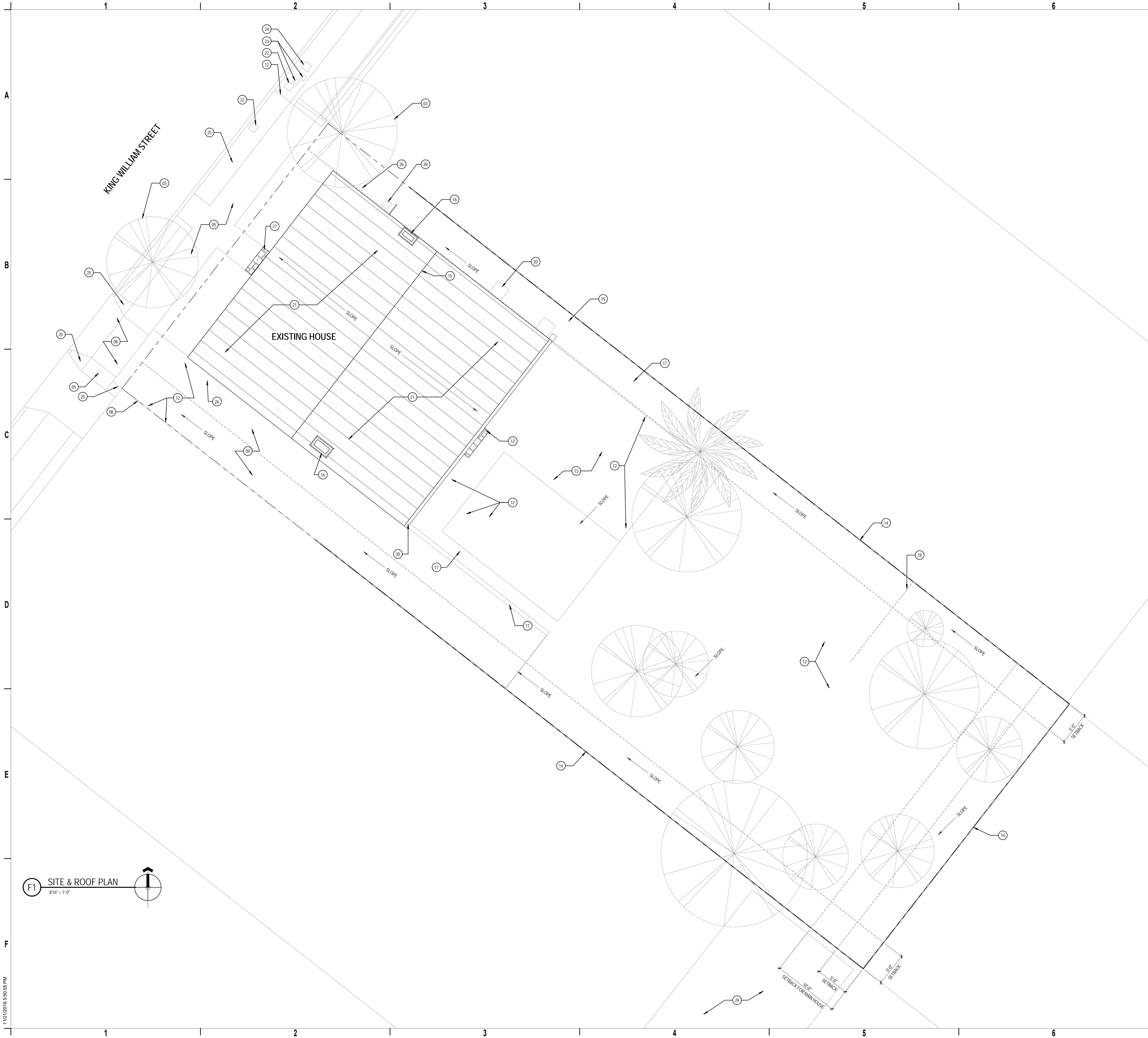
**F**

## C

$$1/4" = 1'-0"$$

**A-002**

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# KEY NOTES

- 03 EXISTING TREE
- 05 EXISTING SIDEWALK; CLEAN BY PRESSURE WASH.
- 06 EXISTING DRIVEWAY APRON; REPAIR EXISTING CRACKS THEN CLEAN BY PRESSURE WASH.
- 08 PROPERTY LINE
- 09 STABILIZED DECOMPOSED GRAVEL DRIVEWAY
- 11 CONCRETE RIBBON CURB; FLUSH WITH GRAVEL DRIVEWAY.
- 12
- 13 GRAVEL PATIO WITH WEED BLOCK FABRIC BELOW.
- 14 6'-0"H METAL PERIMETER FENCE
- 15 RIDGE
- 16 EXISTING MASONRY CHIMNEY
- 17 MULCHED PLANTING BED BY OWNER
- 18 LEAVE AREA BEYOND THIS LINE NATURAL
- 19 18" LANDSCAPE CONCRETE PAVERS ON SAND BASE; EMBEDDED INTO MULCH BED
- 20 AC COMPRESSOR CAST-IN-PLACE CONCRTE SLAB; VERIFY DIMENSIONS WITH EQUIPMENT MANUFACTURER RECOMENDATIONS.
- 21 REFINISHED EXISTING STANDING SEAM METAL ROOF. REPAIR AND/OR REPLACE ANY DAMAGED SECTIONS OF ROOF AS REQUIRED AND RESTAGGER JOINTS.
- 22 EXISTING WATER METER
- 23 EXISTING TELEPHONE SPLICE BOXES
- 24 EXISTING ELECTRIC METER
- 25
- 26 LIMESTONE STEP TO MATCH EXISTING
- 27 EXISTING LIMESTONE STEP
- 28 EXISTING GAS METER; VERIFY SERVICE IS WORKING AND EXISTING EQUIPMENT MEETS CODE.
- 29 EXISTING NEIGHBORING GARAGE STRUCTURE
- 30 6" HALF ROUND, WHITE ALUMINUM GUTTER W/ LEAF GUARD AND 5" ROUND, WHITE ALUMINUM DOWNSPOUTS AT THE CORNERRS OF THE HOUSE

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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR

**THE GUYER RESIDENCE**

120 KING WILLIAM STREET, SAN ANTONIO, TX 78205

SITE & ROOF PLAN

PROJECT NO. 1514 A2

REVISION DATE

SHEET NO.

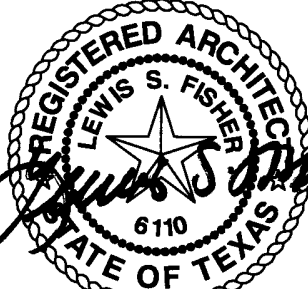
**A-100**



KEY NOTES

- 01 TILE FLOOR THRESHOLD.
- 02 STRIP AND REFINISH EXISTING WINDOW FRAME, TRIM, SASHES AND HARDWARE. REPAIR AND/OR REPLACE ANY DAMAGED PIECES OF WOOD TO MATCH EXISTING SPECIES.
- 03 WOOD FRAMED, DOUBLE-PANE WINDOW TO MATCH EXISTING STYLE AND SIZE. APPLY FROSTED WINDOW FILM TO INTERIOR FACE OF GLAZING.
- 04 WOOD FRAMED, DOUBLE-PANE WINDOW TO MATCH EXISTING STYLE AND SIZE.
- 05 AC CONDENSER CAST IN PLACE CONCRETE PAD. COORDINATE WITH MECHANICAL CONTRACTOR ON OVERALL SIZE REQUIRED. PAD IS TO BE AT LEAST 2" AWAY FROM EXISTING FOUNDATION WALL.
- 06 INSTALL NEW SURFACE MOUNTED HOSE BIBB WITH INSULATED COPPER PIPE AGAINST WALL.
- 07 EXISTING GAS METER.
- 08 REPAIR INTERIOR WALLS OF FIREPLACE AND PAINT WITH A HIGH HEAT ENAMEL PAINT. REPAIR PLASTER CHIMNEY FINISH AND PAINT.
- 09 SLIDE-IN GAS RANGE PER SCHEDULE.
- 10 UNDER-COUNTER DISHWASHER AND DRYER PER SCHEDULE.
- 11 6" H x 5' W LIMESTONE STEP TO MATCH EXISTING CONTRACTOR TO REVIEW EXISTING CONDITIONS OF BATHROOM FLOOR. INSTALL NEW 2X8 JOISTS @16"O.C. CONSULT WITH ENGINEER AND ARCHITECT AS REQUIRED TO PROVIDE A FINISH FLOOR. ALL SIMPSON JOIST HANGER AND FASTNERS TO BE STAINLESS STEEL (TYPE 316 L).
- 12
- 13 STABILIZED GRAVEL DRIVEWAY
- 14 EXISTING ACCESSORY STRUCTURE
- 15 INFILL DEMOLISHED WINDOW OPENING WITH MATCHING WALL CONSTRUCTION AND EXTERIOR FINISH.
- 16 WALL SCONCE FIXTURE.
- 18 NEW METAL CLAD WOOD WINDOW; TRIPLE CASEMENT. REFER TO WINDOW ELEVATION A2/A002.
- 19 PREFINISHED METAL DOWNSPOUT WITH PRECAST SPLASH BLOCK.
- 20 PREFINISHED METAL DOWNSPOUT.
- 21 STAINED WOOD LAPYERE STAIR (i.e. ALTERNATE TREAD STAIRCASE).
- 22 TOILET FIXTURE. INSTALL TO ALIGN WITH EXISTING DRAIN PIPE. CONTRACTOR TO VERIFY CONDITION OF EXISTING DRAIN PIPE TO BE FUNCTIONAL AND CODE COMPLIANT. REPLACE EXISTING CAST IRON PIPE WITH PVC, BACK TO MAIN LINE CONNECTION AT STREET.
- 23 BUILD-IN CABINET
- 24 FREESTANDING WHIRPOOL STAINLESS STEEL REFRIDGERATOR (WRB329DMBM).
- 27 CLEAN AND PREP EXISTING RETURN AIR GRILLE TO BE REPAINTED TO MATCH THE WALL COLOR.
- 30 CAST IN PLACE CONCRETE PAD FOR EXTERIOR GRADE WATER SOFTENER AND ENCLOSURE. PROVIDE NECESSARY PLUMBING AND ELECTRICAL CONNECTIONS REQUIRED PER MANUFACTURER.
- 33 WALL MOUNTED, EXTERIOR GRADE TANKLESS WATER HEATER
- 34 CONSTRUCT NEW PLYWOOD PLATFORM FOR NEW FURNICE
- 35 2" SQ. BLACK IRON RAILING WITH 3/4"DIA HORIZONTAL IRON BALUSTERS @ 6" O.C.
- 38 REPAIR EXISTING CONCRETE FOUNDATION WALL AS REQUIRED
- 39 INSTALL NEW CONCRETE PIER AT CORNER TO MATCH EXISTING
- 40 INFILL BETWEEN CONCRETE PIERS WITH LIMESTONE.
- 41 REMOVE LOOSE DIRT AND LEVEL OUT FLOOR SURFACE. INSTALL SALVAGED DHANIS BRICK PAVERS IN RUNNING BOND PATTERN ON 1" SAND BED.
- 42 EXISTING STONE RETAINING WALL. BUILD UP TO BOTTOM OF EXISTING WOOD JOISTS.
- 43 PRESSURE TREATED WOOD STUD WALL WITH 1/2" PRESSURE TREATED PLYWOOD SHEATHING FOR MOUNTING OF ELECTRICAL PANEL
- 44 2" SQ IRON HANDRAIL @ 36" AFF. MOUNTED TO STONE WALL AND JOINED TO RAILING ABOVE.
- 45 REFINISH EXISTING WOOD COLUMNS; STAINED.
- 46 REFINISH EXISTING WOOD FLOOR BOARDS; STAINED & SEALED.
- 47 CLEAN OFF ALL DIRT FORM EXISTING FLOOR AND APPLY A THIN COAT OF SELF-LEVELING CONCRETE TOPPING, THEN STAIN TO MATCH WOOD STAIR COLOR.
- 48 LEAVE OPENING IN WALL FOR VENTILATION THROUGH CRAWL SPACE.
- 49 INSTALL POLYURETHANE VAPOR BARRIER OVER TOP OF EXISTING DIRT SURFACE.

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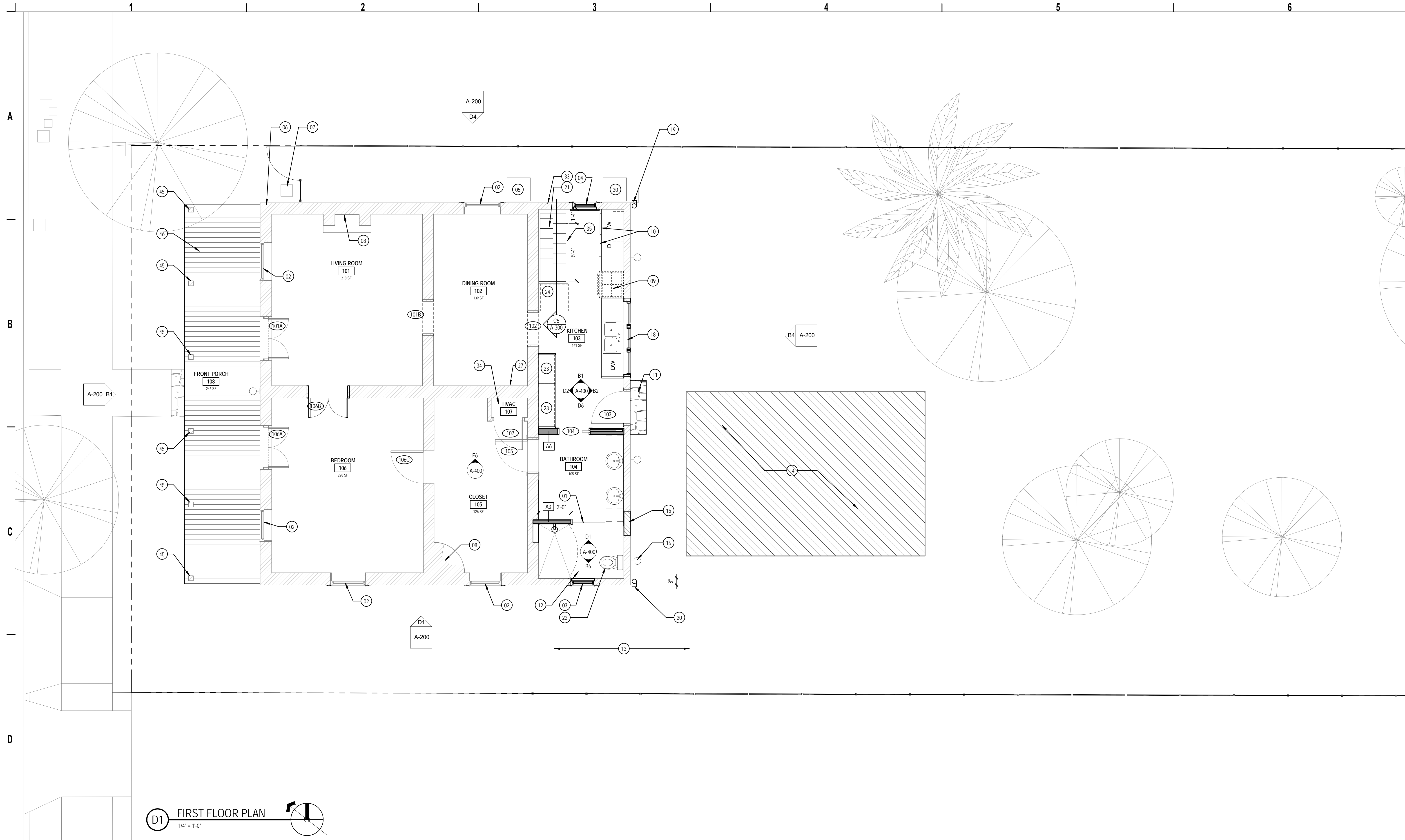


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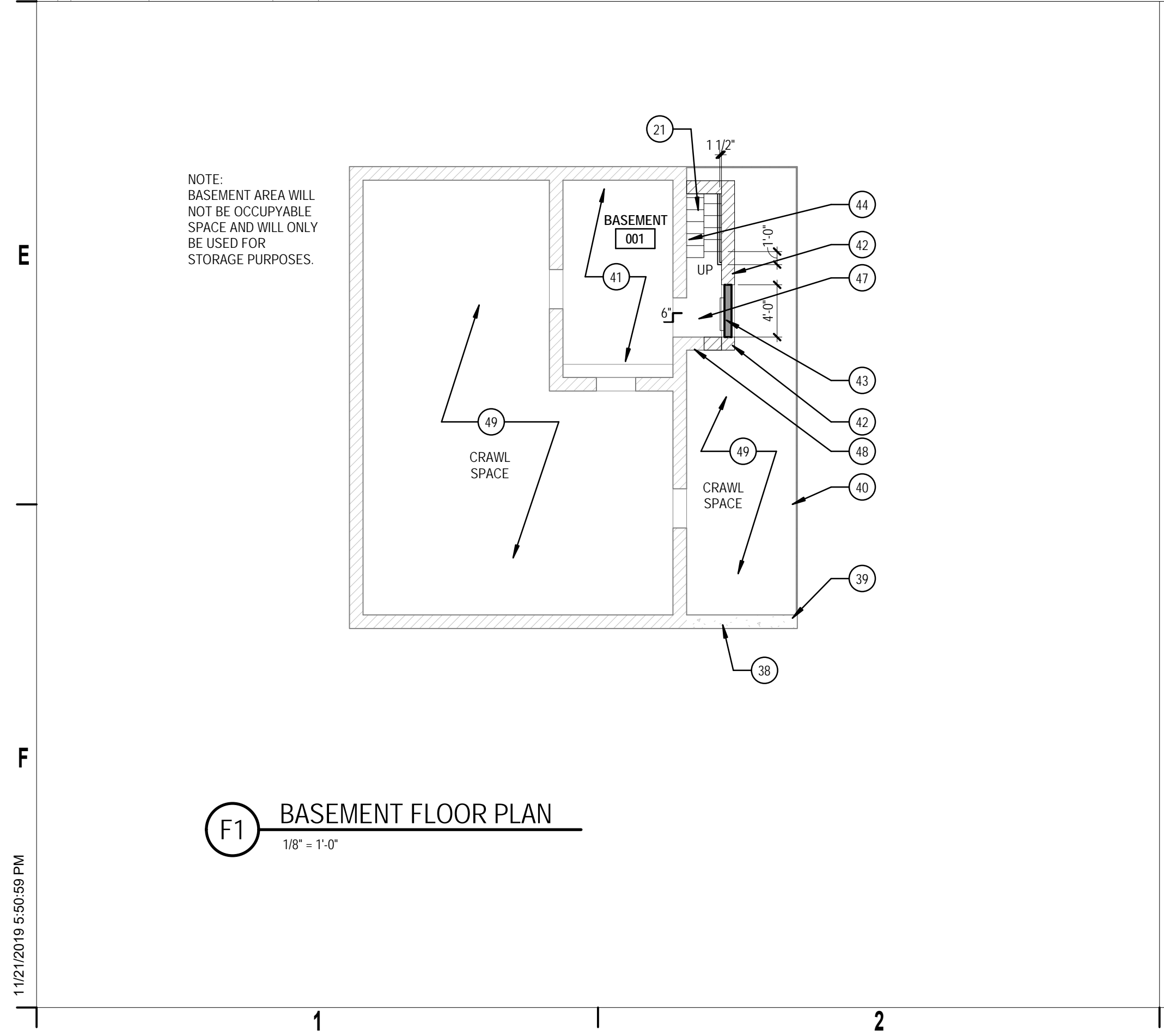
PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
THE GUYER RESIDENCE  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
FLOOR PLAN

PROJECT NO. 1514 A2  
REVISION DATE

SHEET NO.  
A-101



D1 FIRST FLOOR PLAN  
1/4" = 1'-0"

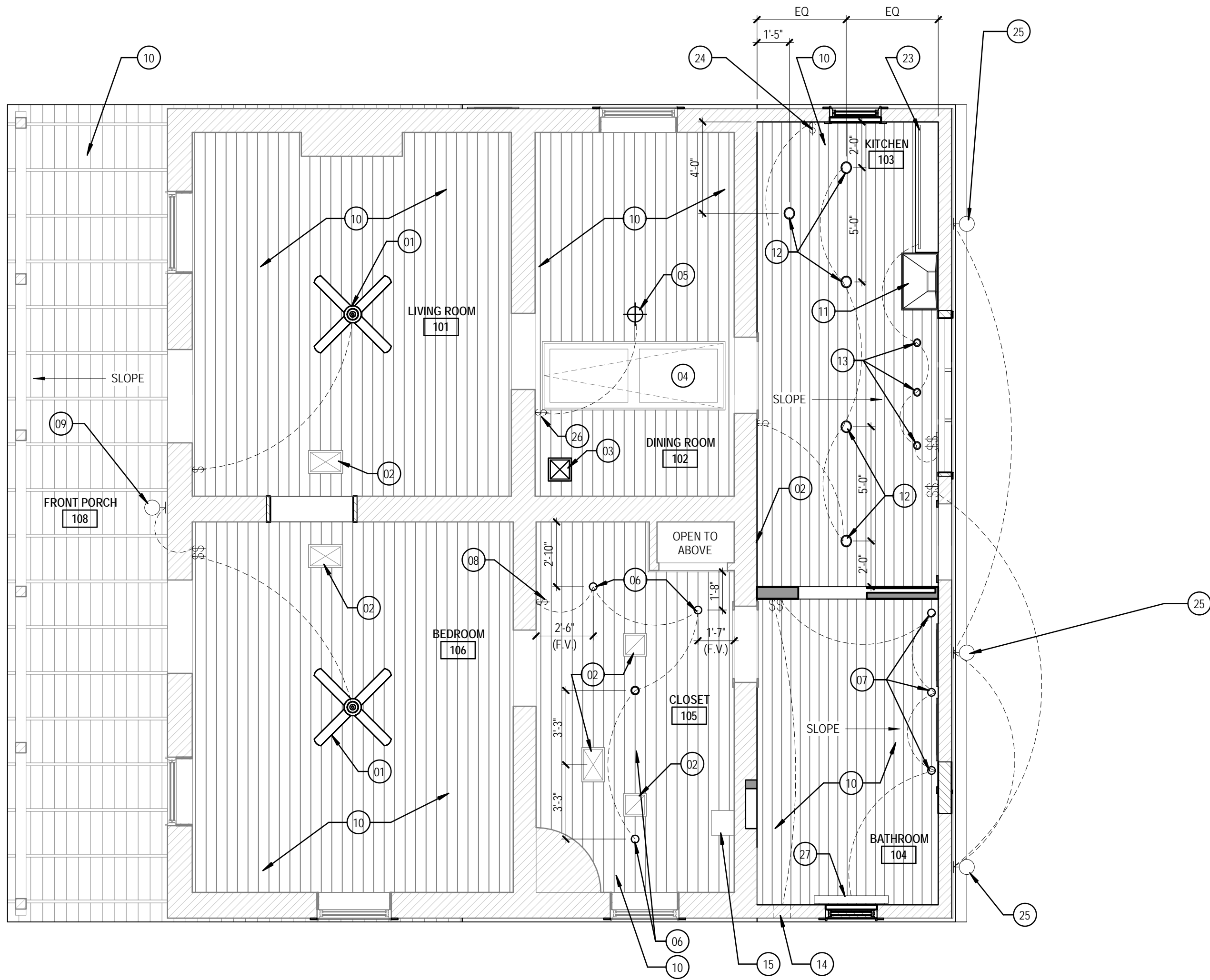


F1 BASEMENT FLOOR PLAN  
1/8" = 1'-0"

APPLIANCE & FIXTURE SCHEDULE			
APPLIANCE	MANUFACTURER & MODEL #	COLOR	NOTES
REFRIGERATOR	WHIRPOOL WRB329DMBM	STAINLESS STEEL	-
RANGE	WHIRPOOL WEG730HDS	STAINLESS STEEL	-
MICROWAVE	BOSCH HMB5051	STAINLESS STEEL	-
WASHER	BOSCH WAT2840UC	WHITE	-
DRYER	BOSCH WTG840UC	WHITE	-
DISHWASHER	WHIRPOOL WDT920SADH	WHITE ICE	-
VENT HOOD	WHIRPOOL GXW6530XS	STAINLESS STEEL	-
KITCHEN FAUCET	KOHLER CRIJETTE K-780-CP	VIBRANT STAINLESS	-
KITCHEN SINK	KOHLER K-2211-G-0	WHITE	-
KITCHEN R.O. FAUCET	APEC CERAMIC DISC LUXURY	BRUSHED NICKEL	-
BATHROOM FAUCET	KOHLER K-R72780-4D-BN	BRUSHED NICKEL	ELLISTON SERIES
BATHROOM SHOWER HEAD	KOHLER K-45411-BN	BRUSHED NICKEL	REVIVAL SERIES
BATHROOM SHOWER CONTROL	KOHLER K-T16117-4A-BN	BRUSHED NICKEL	REVIVAL SERIES
BATHROOM TOILET	KOHLER 98993-0	WHITE	SANTA ROSA SERIES
BATHROOM SHOWER ROD	KOHLER K-9350-BS	BRUSHED STAINLESS	CURVED
BATHROOM SINK	KOHLER K-2211-G-0	WHITE	UNDERMOUNT
BATHROOM TOILET PAPER HOLDER	KOHLER K-11274-G	BRUSHED NICKEL	REFER TO ELEVATION FOR MOUNTING LOCATION

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL FINISH	CEILING FINISH	COMMENTS
Not Placed						
109	STORAGE	SC-1	-	PLYWD-1	PLYWD-1	
BASEMENT						
001	BASEMENT	BRCK/SCONC	-	STN-1X		
LEVEL 01						
101	LIVING ROOM	WD-1X	WB-X	PLSTR-1	WD-2X	
102	DINING ROOM	WD-1X	WB-X	PLSTR-1	WD-2X	
103	KITCHEN	CFT-1	WB-1	PLSTR-1WTF-1	WD-2X	
104	BATHROOM	CFT-1	WB-1	PLSTR-1WTF-2	WD-2X	
105	CLOSET	WD-1X	WB-X	PLSTR-1	-	
106	BEDROOM	WD-1X	WB-X	PLSTR-1	WD-2X	
107	HVAC	PLYWD-1	-	PLSTR-1	-	
108	FRONT PORCH	WD-1X	-	-	WD-3X	

MATERIAL LEGEND			
TYPE MARK	MATERIAL	COLOR	NOTES
CTB-1	CERAMIC TILE BASE	TBD	-
CFT-1	CERAMIC FLOOR TILE	TBD	PLANK PATTERN
PLSTR-1X	EXISTING PLASTER	TBD	REPAIR ALL CRACKS, BLEMISHES AND DAMAGED SECTIONS OF EXISTING PLASTER. PAINT AS REQUIRED
PLSTR-1	NEW PLASTER TO MATCH EXISTING	TBD	-
PLYWD-1	STAINED EXTERIOR GRADE PLYWOOD	TBD	-
SC-1	SEALED CONCRETE	NONE	-
STN-1X	EXISTING LIMESTONE	TBD	REPAIR AND REPOINT AS REQUIRED. BUILD NEW AS NOTED.
WD-1X	EXISTING WOOD FLOORING	TBD	STRIP AND REFINISH EXISTING FLOORING. REPAIR ANY DAMAGED SECTIONS AS REQUIRED PRIOR TO REFINISHING.
WD-2X	EXISTING WOOD CEILING	TBD	STRIP AND REFINISH EXISTING WOOD CEILING & TRIM. REPAIR ANY DAMAGED SECTIONS AS REQUIRED PRIOR TO REFINISHING.
WB-1	WOOD BASE (MATCH EXISTING SIZE & PROFILE)	TBD	-
WB-X	EXISTING WOOD BASE - PAINTED	LIGHT GREY	STRIP AND REFINISH EXISTING WOOD BASE. REPAIR ANY DAMAGED SECTIONS AS REQUIRED PRIOR TO REFINISHING
WD-1	STAINED WOOD FLOORING TO MATCH EXISTING	TBD	-
WD-1X	EXISTING WOOD CEILING - STAINED	TBD	-
WD-2X	EXISTING WOOD CEILING - PAINTED	LIGHT GREY	-
WT-1	CERAMIC SUBWAY WALL TILE	WHITE	-
WT-2	12X12 CERAMIC WALL TILE	TBD	WITH MATCHING WHITE GROUT



C3 FIRST FLOOR REFLECTED CEILING PLAN  
1/4" = 1'-0"

## KEY NOTES

- 01 CEILING FAN FIXTURE L3. INSTALL ADDITIONAL BLOCKING ABOVE CEILING FOR SUPPORT AS REQUIRED.
- 02 CLEAN AND PAINT EXISTING AIR GRILLE TO MATCH ADJACENT SURFACE COLOR.
- 03 INSTALL NEW ONE WAY SUPPLY AIR GRILLE AIMED TOWARD WINDOW. SIZE TO MATCH EXISTING. PAINT TO MATCH CEILING
- 04 REFINISH EXISTING ATTIC DOOR. REPAIR DAMAGED TREADS AND SUPPORT HARDWARE OF STAIR
- 05 DECORATIVE PENDANT LIGHT FIXTURE L4.
- 06 FIXED RECESSED LED LIGHT FIXTURE L5; CENTERED ON JOINT BETWEEN WOOD CEILING BOARDS.
- 07 VANITY WALL SCONCE LIGHT FIXTURE L8.
- 08 INSTALL NEW LIGHT SWITCHES AND FACEPLATE AT EXISTING LOCATION. MODIFY FIXTURE WIRING AS REQUIRED.
- 09 WALL SCONCE LIGHT FIXTURE - L1.
- 10 INSTALL REFINISHED EXISTING CEILING BOARDS AND PAINT TO MATCH ADJACENT CEILINGS. PRIOR TO INSTALLATION, INSULATE BETWEEN EXISTING ROOF RAFTERS WITH OPEN-CELL SPRAY FOAM INSULATION TO THE FULL THICKNESS OF THE RAFTER.
- 11 KITCHEN HOOD VENT PER SCHEDULE. INSTALL REQUIRED VENT PIPE THROUGH ROOF WITH FLASHING PER CODE.
- 12 RECESSED ADJUSTABLE L.E.D. LIGHT FIXTURE L6.
- 13 RECESSED ADJUSTABLE L.E.D. LIGHT FIXTURE L7; CENTERED ON THE WINDOW PANES AND COUNTERTOP BELOW.
- 14 SIDEWALL EXHAUST FAN
- 15 EXISTING FURR DOWN FOR MECHANICAL DUCT. REPAIR ANY DAMAGED PLASTER AND PREP FOR PAINTING. COLOR TO MATCH THE WALL COLOR.
- 23 UNDERCABINET LED STRIP LIGHT.
- 24 3-WAY LIGHT SWITCH FOR BASEMENT LIGHT FIXTURES.
- 25 WALL SCONCE LIGHT FIXTURE L2.
- 26 DIMMER SWITCH.
- 27 BATHROOM WALL SCONCE LIGHT FIXTURE L9; CENTERED ABOVE EXISTING WINDOW - REFER TO ELEVATION.

## LIGHT FIXTURE LEGEND

- |           |   |
|-----------|---|
| L1        | DARKENED COPPER WALL SCONCE ( <i>DIRECT FROM MEXICO #AS3232</i> )<br>- INSTALL WITH 75 WATT EQUAL L.E.D. BULB; 3000K MAX  |
| L2        | WHITE OVAL OUTDOOR WALL SCONCE ( <i>SEA GULL LIGHTING #GX3170</i> )<br>- INSTALL WITH 75 WATT EQUAL L.E.D. BULB; 3000K MAX  |
| L3        | HUNTER WINDEMERE CEILING FAN ( <i>#59039 BRUSHED NICKEL FINISH</i> )<br>-INSTALL WITH TWO 40 WATT EQUAL L.E.D. BULBS; 3000K MAX<br>-INSTALL WALL MOUNTED CRADLE ACCESSORY FOR REMOTE                          |
| L4        | 20TH C. FACTORY FILAMENT MILK GLASS CAFÉ ROUND PENDANT BY RESTORATION HARDWARE; 5 CHORD; ( <i>#68070493 PNMK</i> )<br>-INSTALL WITH 40 WATT EQUAL DIMMABLE L.E.D. BULBS; 2700K MAX<br>-POLISHED NICKEL FINISH |
| L5        | 5" DIA RECESSED, FIXED L.E.D. LIGHT FIXTURE WITH WHITE TRIM; 3000K MAX  |
| L6<br>MAX | 5" DIA RECESSED, ADJUSTABLE L.E.D. LIGHT FIXTURE WITH WHITE TRIM; 3000K MAX   |
| L7        | 4" DIA RECESSED, ADJUSTABLE L.E.D. LIGHT FIXTURE WTH WHITE TRIM; 3000K MAX  |
| L8        | MODERN FORMS VOGUE 3-LIGHT L.E.D. WALL SCONCE ( <i>MFDE1065</i> )<br>-INSTALL VERTICALLY PER INTERIOR ELEVATION<br>-BRUSHED NICKEL FINISH   |
| L9        | MODERN FORMS VOGUE 6-LIGHT L.E.D. WALLS CONCE ( <i>MFDE1067</i> )<br>-INSTALL HORIZONTALLY PER INTERIOR ELEVATION<br>-BRUSHED NICKEL FINISH   |

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PROJECT: EXTERIOR AND INTERIOR RENOVATION FOR  
**THE GUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
REFLECTED CEILING PLAN

PROJECT NO. 1514 A2  
REVISION DATE

SHEET NO.  
**A-102**



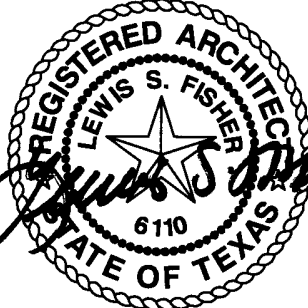
KEY NOTES

- 01 NEW ELECTRICAL OUTLET FOR REFRIGERATOR @ 24" AFF.
- 02 NEW ELECTRICAL OUTLET FOR DISHWASHER @ 24" AFF.
- 03 NEW ELECTRICAL OUTLET FOR ELECTRIC VENTLESS DRYER @ 24" AFF.
- 04 NEW ELECTRICAL OUTLET FOR ELECTRIC WASHING MACHINE @ 24" AFF.
- 05 ABOVE COUNTER, GFCI ELECTRICAL OUTLET.
- 06 RELOCATED CABLE & PHONE OUTLETS.
- 07 GFCI OUTLET FOR WATER SOFTNER, @ 42" AFF.
- 09 EXTERIOR RATED GFCI OUTLET @ 24" AFF WITH PROTECTIVE HOUSING.
- 10 NEW ELECTRICAL OUTLET FOR GAS RANGE @ 24" AFF.
- 11 NEW GFCI ELECTRICAL OUTLET FOR GARBAGE DISPOSAL @ 24" AFF.
- 12 RELOCATED ELECTRICAL OUTLET FOR MICROWAVE @ 44" AFF.
- 14 NEW EXTERIOR RATED OUTLET FOR HVAC AIR HANDLING UNIT.
- 15 NEW STANDARD GFCI ELECTRICAL OUTLET @ 18" AFF.
- 16 NEW STANDARD ELECTRICAL OUTLET @ 18" AFF.
- 17 NEW OUTLET FOR NEW FURNICE @ 36" AFF.
- 18 NEW ELECTRICAL PANEL MOUNTED TO NEW WOOD STUD WALL.
- 19 NEW GFCI ELECTRICAL OUTLET @ 36" AFF.

D2 FIRST FLOOR ELECTRICAL POWER PLAN  
1/4" = 1'-0"

E2 BASEMENT ELECTRICAL POWER PLAN  
1/8" = 1'-0"

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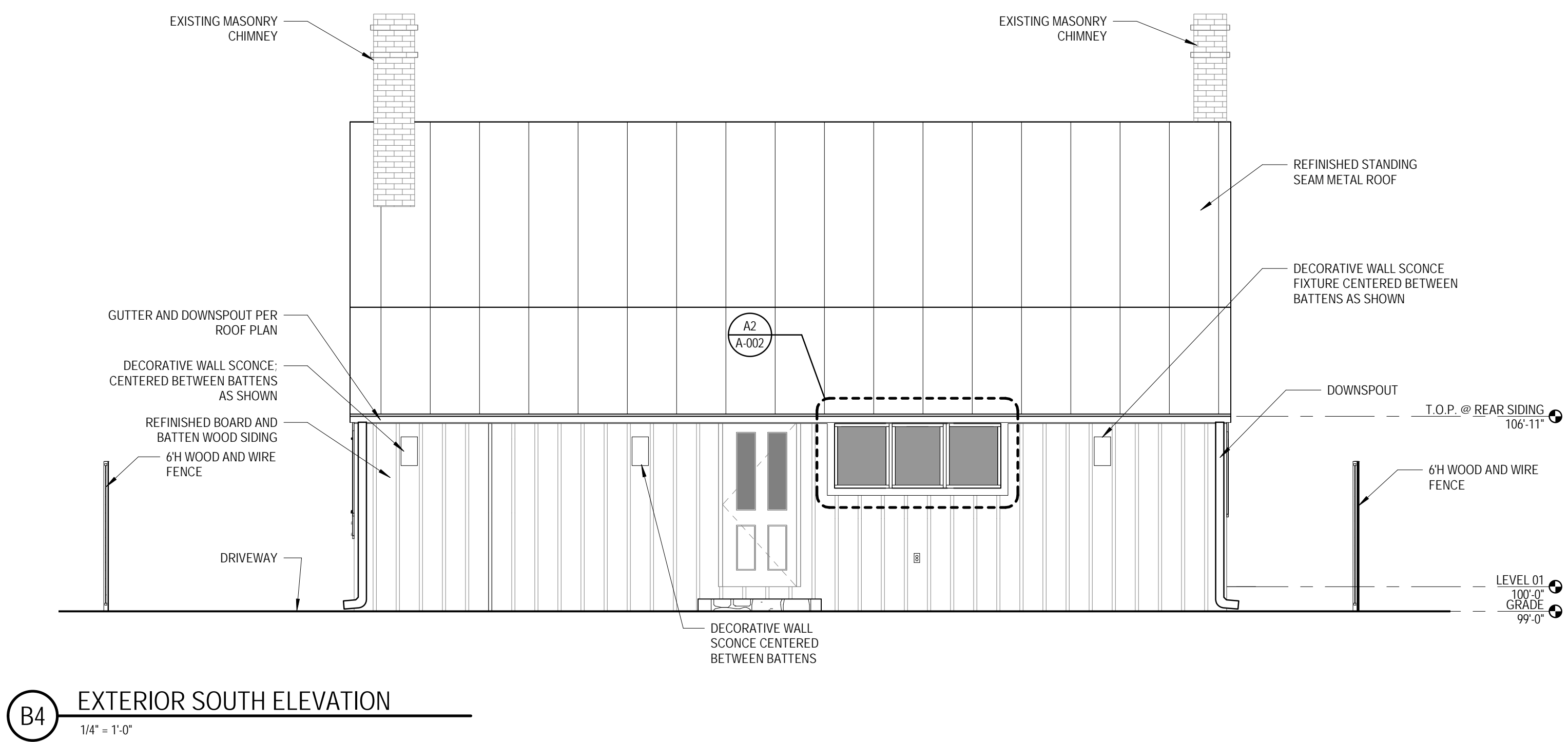
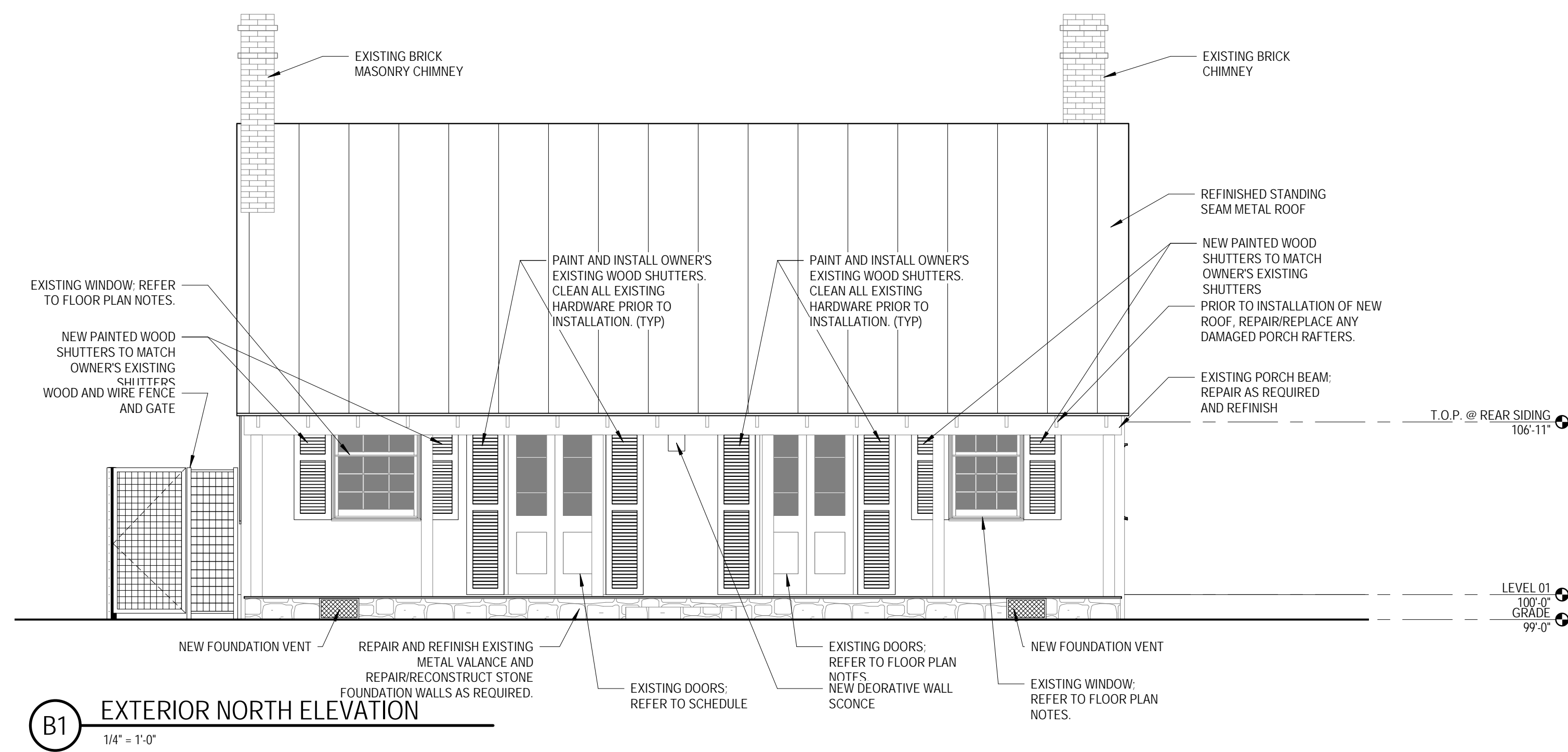
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FIRST FLOOR ELECTRICAL PLAN

PROJECT NO. 1514 A2  
REVISION DATE

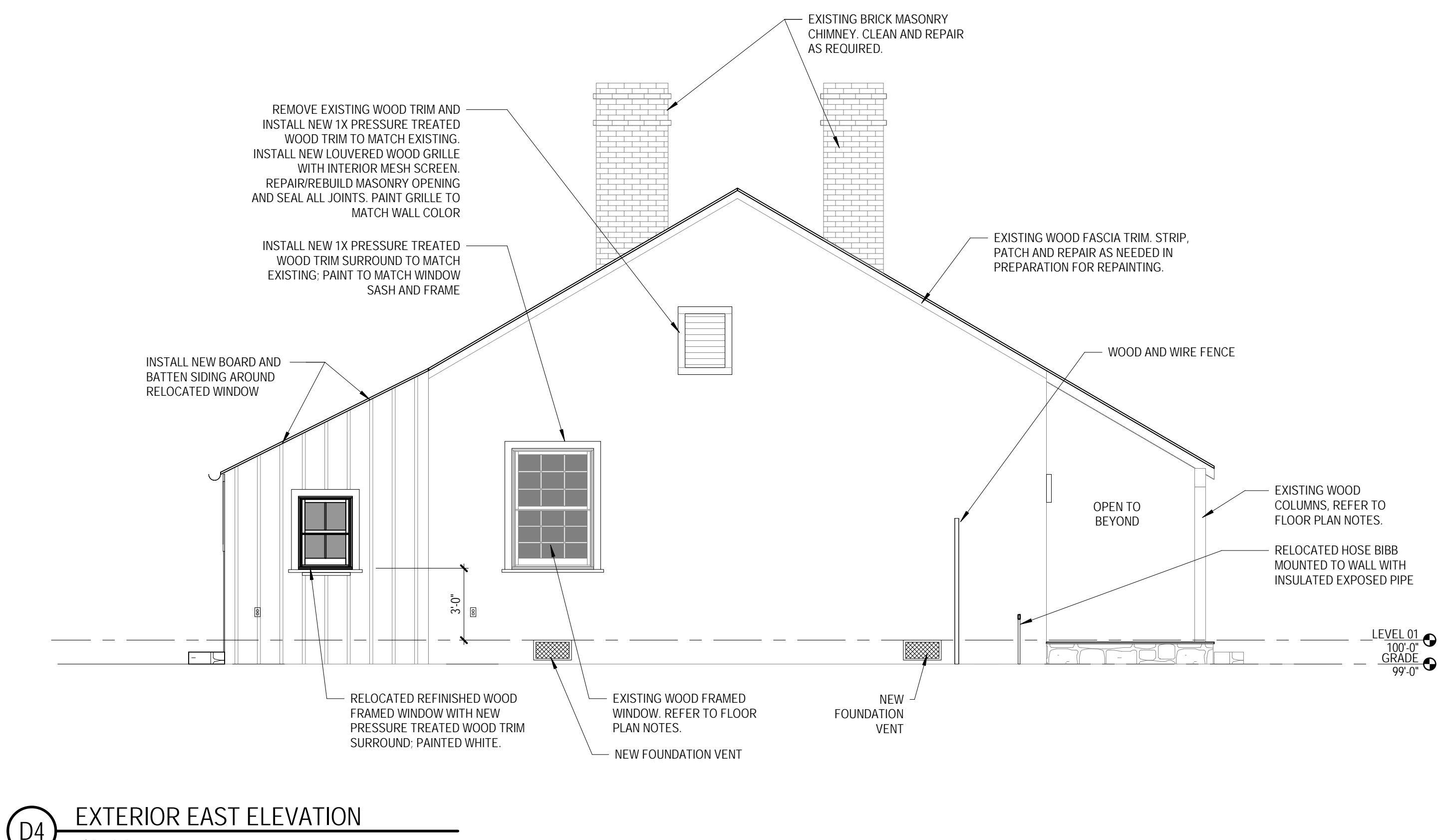
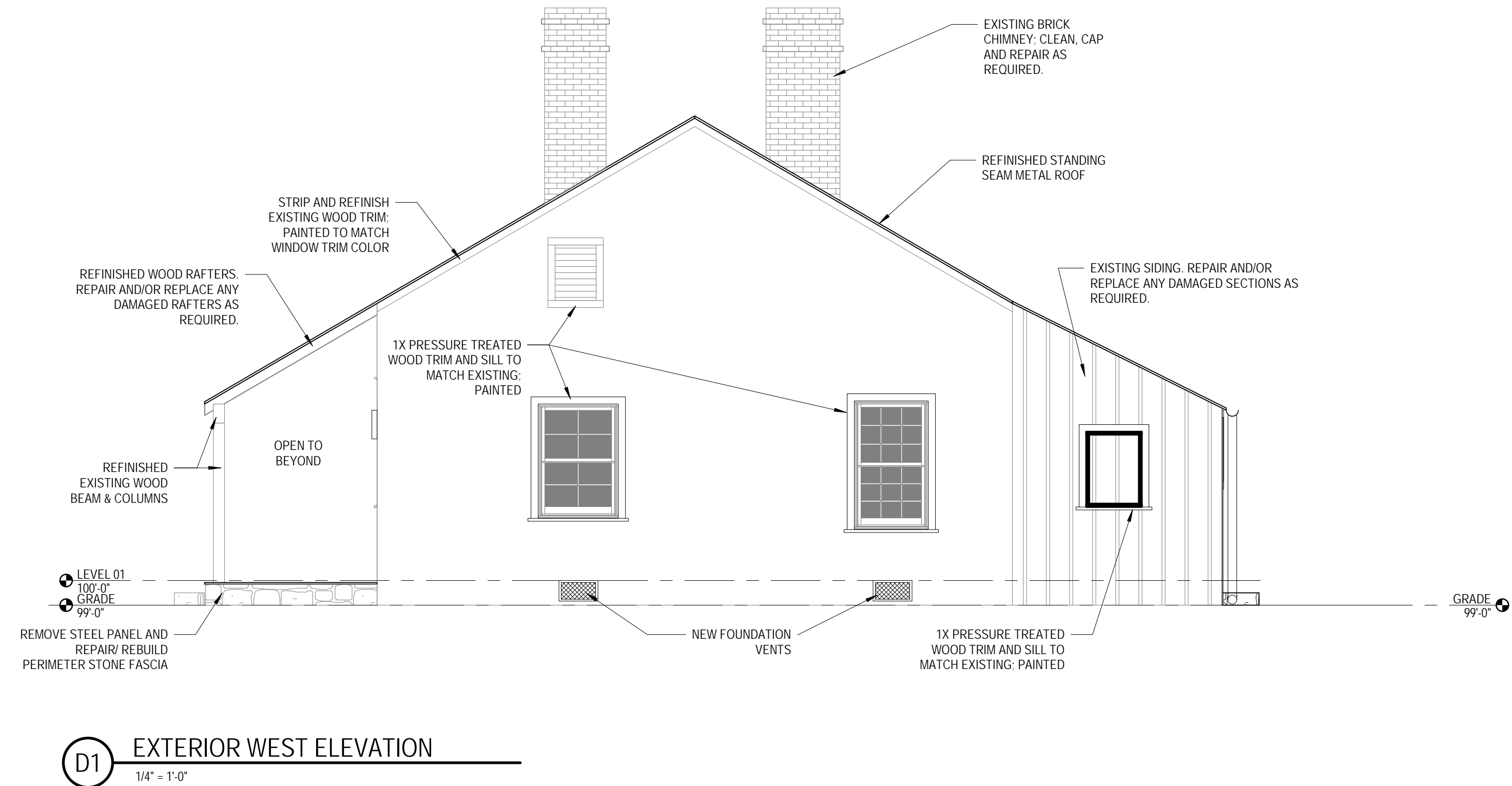
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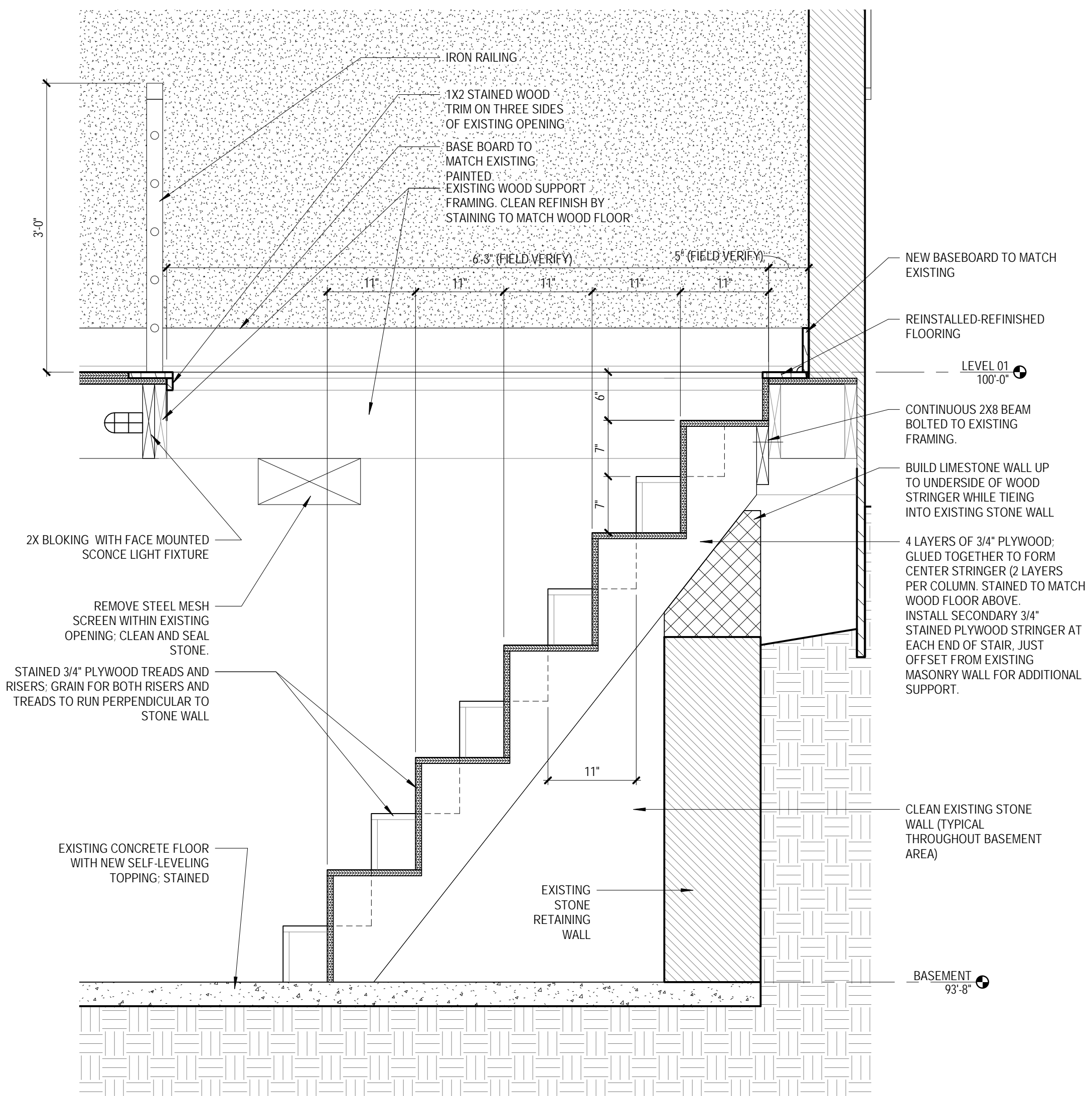
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C5 STAIR SECTION DETAIL  
1" = 1'-0"

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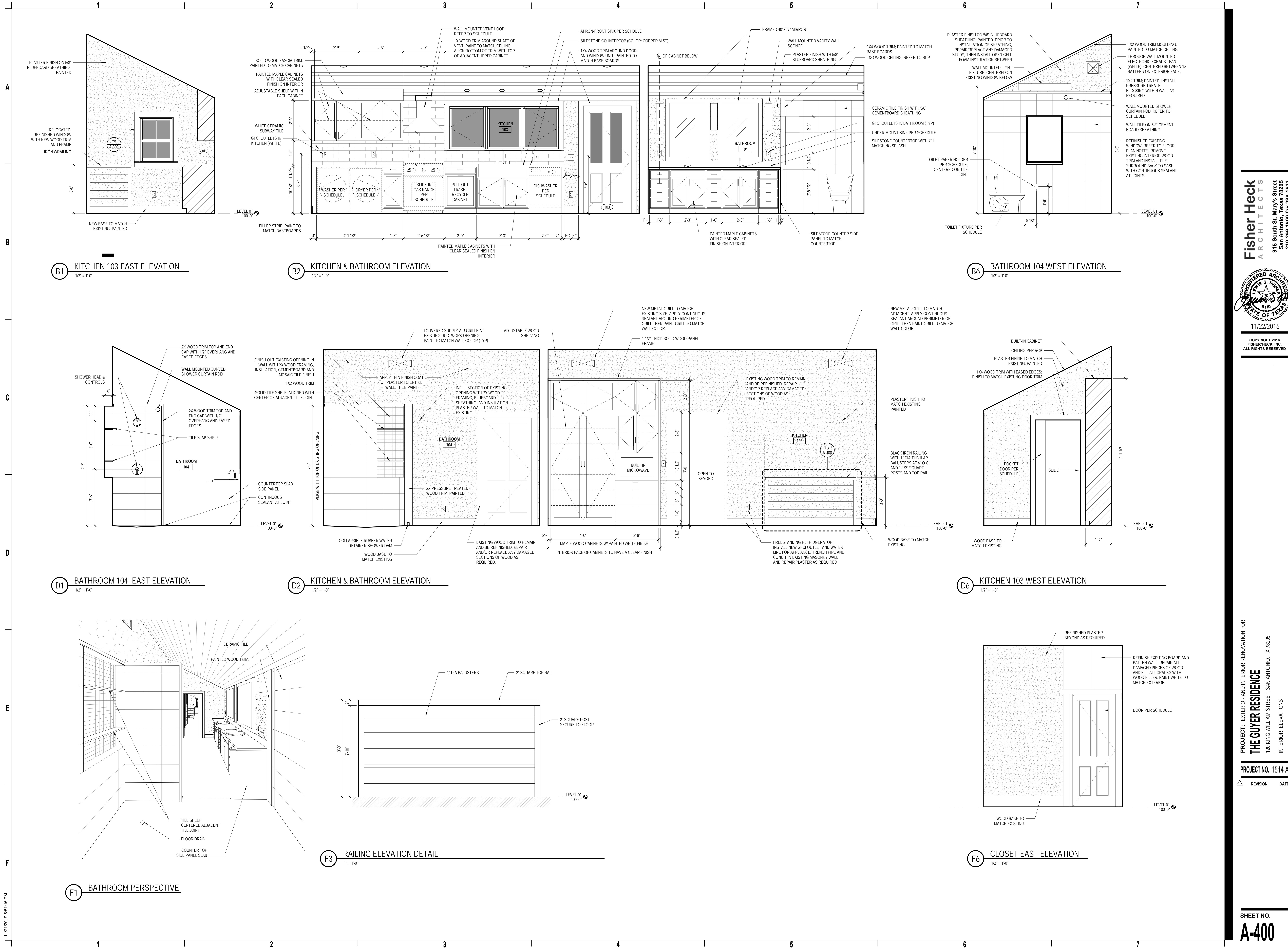
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**THE GUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
BUILDING & WALL SECTIONS

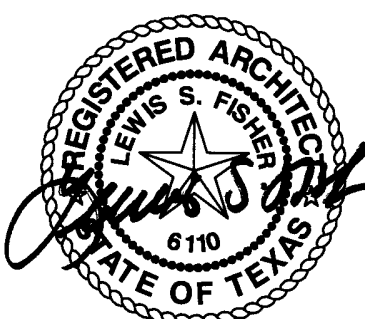
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**A-300**



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**THE GUYER RESIDENCE**  
120 KING WILLIAM STREET, SAN ANTONIO, TX 78205  
INTERIOR ELEVATIONS

PROJECT NO. 1514 A2  
REVISION DATE

SHEET NO.  
**A-400**