HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2020

HDRC CASE NO: 2020-313

ADDRESS: 607 E LOCUST

LEGAL DESCRIPTION: NCB 1735 BLK 14 LOT 3

ZONING: MF-33,H

CITY COUNCIL DIST.: 1

DISTRICT: Tobin Hill Historic District

APPLICANT: Luis Botello/ASTER DEVELOPMENTS LLC
OWNER: Luis Botello/ASTER DEVELOPMENTS LLC

TYPE OF WORK: Amendment to previously approved materials for new construction

APPLICATION RECEIVED: July 02, 2020

60-DAY REVIEW: Not applicable due to City Council Emergency Orders

CASE MANAGER: Stephanie Phillips

REQUEST:

The applicant is requesting a Certificate of Appropriateness for an amendment to a previously approved exterior material palette for the new construction at 607 E Locust. The applicant is seeking approval for the use of a hybrid composite wood siding for a portion of the structures.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

3. Materials and Textures

A. NEW MATERIALS

- i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
- ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
- iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district
- iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

B. REUSE OF HISTORIC MATERIALS

Salvaged materials—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
- ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

FINDINGS:

- a. The property located at 607 E Locust is currently a vacant lot. The lot is flanked by a historic 2.5-story single family homes to the east and west designed with Queen Anne and Craftsman influences and 1-story single family homes to the south. The lot is located a distance of approximately three lots from the intersection of E Locust and N St Marys St. This stretch of E Locust is characterized by historic 1-story, 2-story, and 2.5-story single family homes, designed primarily in the Queen Anne and Craftsman styles and historic 2 to 2.5-story multifamily homes with larger footprints. The applicant received final approval from the Historic and Design Review Commission (HDRC) on February 20, 2019, to construct two, 3-story multifamily structures.
- b. MATERIAL AMENDMENT The applicant is requesting a material amendment to allow for the use of a hybrid composite wood siding product as a secondary exterior siding material. The primary material will remain smooth vertical Hardie composite siding. The new material will be vertically oriented and will continue to the undersides of porches and overhangs. The product is visually similar to sealed cedar siding. The product is used in a similar secondary application at 416 Kendall, a block from this location, in the new construction of a single family residence. According to the Historic Design Guidelines, contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. Additionally, the Guidelines encourage integrating contemporary interpretations of traditional designs and details for new construction, which can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structures in the district. Based on the proposed secondary implementation of this material which features a traditional dimension, finish, and texture to a historic material as well as its relationship to architectural features in the design, including porches and overhangs, staff finds the request appropriate for this specific new construction project.

RECOMMENDATION:

Staff recommends approval based on findings a and b.



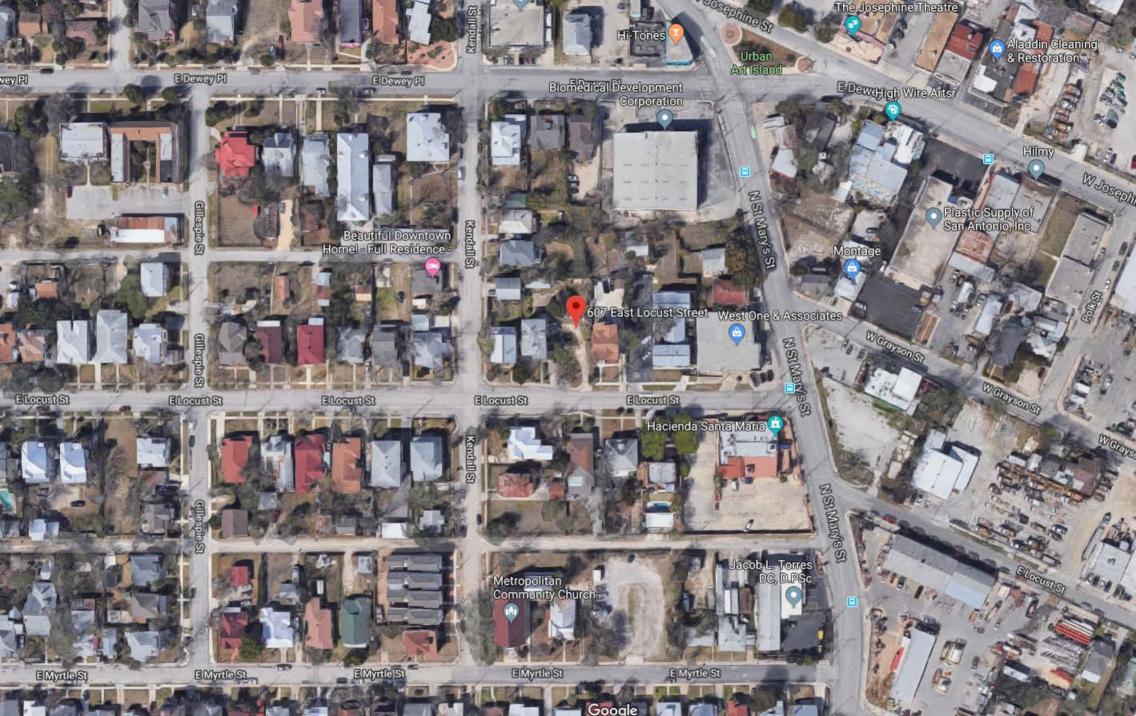


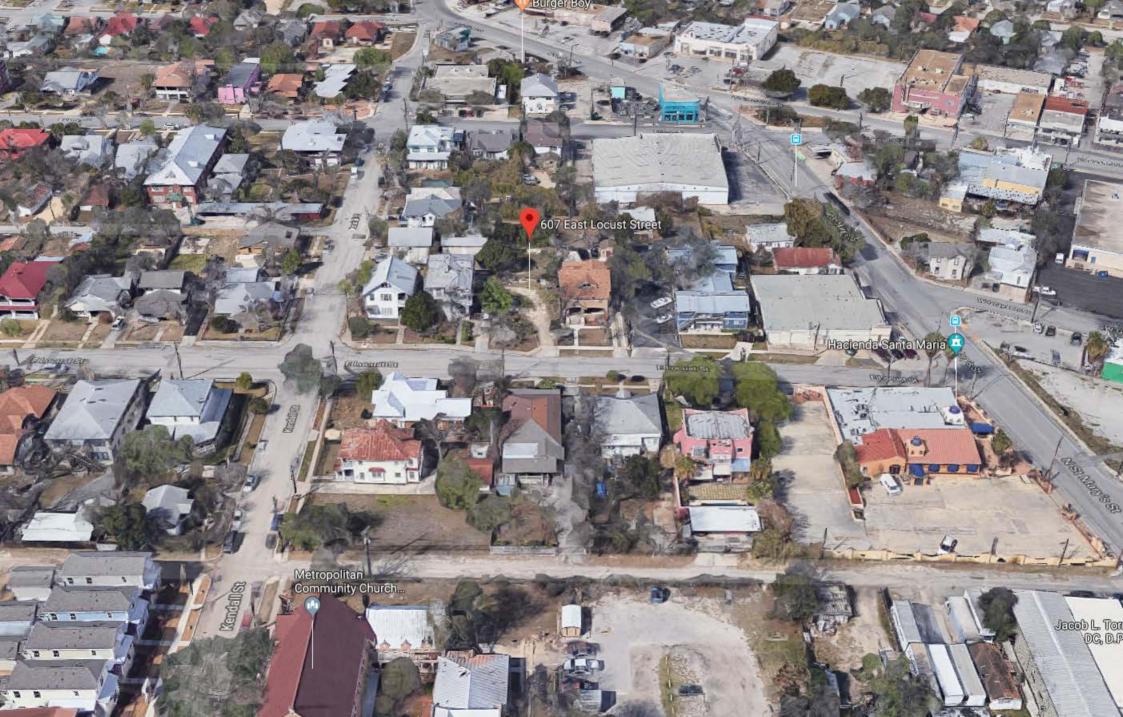
Flex Viewer

Powered by ArcGIS Server

Printed:Sep 28, 2018

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NEW RESIDENTIAL DEVELOPMENT FOR ASTER DEVELOPMENTS, LLC

607 E. LOCUST STREET SAN ANTONIO, TEXAS - 78212

STRUCTURAL ENGINEER: STEPHEN G. URIAS, PR ARCHITECTURA SA, INC ARR CONSULTING ENGINEERS PARRA & CO. 17038 REDLAND RD. SUITE 101 18756 STONE OAK PARKWAY, SUITE 200 343 CARNAHAN ST 110 E. HOUSTON STREET, FLOOR 7 SAN ANTONIO, TEXAS 78209 SAN ANTONIO, TEXAS 78247 SAN ANTONIO, TEXAS 78258 SAN ANTONIO, TX 78205 Phone: (210) 998-5516 Phone: (210) 241-8164 Phone: (210) 384-8200 STEPHEN® (3THLVSTRUCTURAL COM Phone: (866) 583-0968 Phone: (210) 232-2362 WWW.PARRACOMPANY.COM TBPE F-17744 TEXAS FIRM NO. F-17272 Fax: (210) 319-3555 SHEET INDEX LEGENDS. SYMBOLS & ABBREVIATIONS COVER COVER SHEET MECHANICAL & PLUMBING SPECIFICATIONS GENERAL NOTES MP1.1 EROSION CONTROL/DEMOLITION PLAN ARCHITECTURAL SITE PLAN TYPICAL DETAILS MECHANICAL FLOOR PLANS SITE DIMENSION CONTROL UTILITY/PLAN ARCHITECTURAL FLOOR PLAN A2.0 FOUNDATION PLAN MECHANICAL DETAILS C3.0 GRADING PLAN ARCHITECTURAL FLOOR PLAN 2ND / 3RD LEVEL FRAMING PLAN W2.2 MECHANICAL DETAILS OUT HOUSE FLOOR PLAN S-1.2 ROOF FRAMING PLAN M2.3 MECHANICAL DETAILS REFLECTED CEILING PLAN FLOOR A3.0 S - 2.0THIRD FLOOR BRACED WALL M3.1 FIRST & SECOND BRACED WALL PLAN LANDSCAPE: ELECTRICAL SPECIFICATIONS ARCHITECTURAL ROOF PLAN DE RAIZ E1.1 LIGHTING FLOOR PLANS A5.0 EXTERIOR BUILDING ELEVATIONS EXTERIOR BUILDING ELEVATIONS E1.2 POWER FLOOR PLANS LANDSCAPE DRAWINGS ELECTRICAL ONE LINE DIAGRAM EXTERIOR BUILDING ELEVATIONS ELECTRICAL PANEL SCHEDULES BUILDING SECTIONS E3.2 PANEL SCHEDULES RUILDING SECTIONS P1.1 PLUMBING FLOOR PLANS BUILDING SECTIONS 46.2 A6.3 BUILDING SECTIONS P2.2 PLUMBING ISOMETRICS BUILDING SECTIONS PLUMBING ISOMETRICS AND DETAILS P2.3 WALL SECTIONS PLUMBING SCHEDULES P3.1 SEPARATION WALL DETAILS AB.O FIRE PROTECTION & PLUMBING SITE PLAN A9.0 STAIR DETAILS FIRE PROTECTION FLOOR PLANS WINDOW FLASHING DETAILS FP1.3 FIRE PROTECTION & PLUMBING DETAILS FASTENING SCHEDULE CODE ANALYSIS A12.0 CONSTRUCTION NOTES PROJECT DATA: Code Editions: 2018 International Residential Code ADDRESS: 607 K. LOCUST STREET SAN ANTONIO TX 78212

Certificate of Appropriateness: Pending
Project is located in Tobin Hill Historic District. Design received Final Approval from

Lot3, Block 14 of NEW CITY BLOCK 1735, in the city of San Antonio, Bexar County Texas according to the plot recorded in volume 365, Page 104 of the Deed and Plat Records of Bexar County, Texas.

MF-33, H

2018 international Energy Conservation Code
Unified Development Code
2018 international Flumbing Code
2018 international Mechanical Code 2017 National Electrical Code 2018 International Fire Code

Height (in Feet): 38' to top of ridge line

No. of Stories: 3 Stories Construction Tupe:

Wood Framed w/ Slab on Grade Foundation

Note: Sprinkler not required for rear detached single unit

NOTICE DUTY OF COOPERATION:
DESIGNER ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN, RELEASE
OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR AND THE ARCHITECT. DESIGN AND COMPRISED ARE COMPLEX ALTHOUGH THE ARCHITECT AND CONSULTANTS PERFORMED THEIR SERVICES WITH DUE CARE, AND DILIGENCE, CONTINGENCY CANNOT BE ANTICIPATED. ANY ABBIGHT OR PROJECTED FOR DISCAPPEAR OF DISCAP

COUPMANTS BY A SIMPLE MOTICE TO THE ARCHITECT SHALL RELEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL COMESCUPICES. CHANGES MADE FROM THE PLANS MITHOUT THE CONSENT OF THE ARCHITECT ARE HAWTHORIZED AND SHALL RELEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES, ONLY GUALIFIED DESIGNER, ARCHITECT, CONTRACTOR, OR STRUCTURAL ENSABERS HOULD ATTEMPT TO MODIFY ANY PORTION OF THIS

PRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWNOS, SHOP
DETAILS MUST BE SUBMITTED TO OWNER OR HIS REPRESENTATIVE FOR APPROVAL BEFORE
PROCEEDING WITH FASRICATION OR CONSTRUCTION.

GENERAL CONDITIONS

- ALL WORK SHALL BE PERFORMED IN A COMPLETE AND WORKMANLIKE MANNER, CONFORMING WITH THE BEST STANDARDS OF PRACTICE IN THE VARIOUS TRADES.
- THE WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES AND LOCAL ZONING REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK, THE DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- NOTHING INDICATED IN THESE DRAWINGS SHALL IMPLY OTHER THAN A TOTAL AND COMPLETE REATHERTISHT AND STRUCTURALLY SOUND JOB. ANY DEVICE, CONNECTOR OR OTHER ITEM NEEDED TO ACCOMPLISH THIS SHALL BE PROVIDED AND INSTALLED EVEN IF NOT SPECIFICALLY NOTED ON DRAWING.
- REASONABLE CARE AND ACCURACY WAS PRACTICED IN THE PREPARATION OF THESE DRAWNSS, IF QUESTION ARISE AS TO THE INTENT OF ANY SPECIFIED ITEM, CONTACT THE DESIGNER IMMEDIATELY.
- NO VEHICLE IS PERMITTED ON THE ADJACENT PROPERTY, ANY DAMAGE DONE TO EXISTING DRIVES AND WALKS OR OTHER STRUCTURES WILL BE REPAIRED OR REPLACED AND CHARGED TO THE PERSON OR COMPANY RESPONSIBLE.
- TRADE NAMES AND BRANDS NOTED ON PLANS ARE FOR QUALITY STANDARDS ONLY, SUBSTITUTIONS OF "EQUILL" PRODUCTS MAY BE MADE WITH THE CAMERS PERMISSION. LOSD ONLY MAY PRODUCTS WHICH HAVE CURRENTLY ACTIVE I.C.B.O./N.E.R. EVALUATION REPORTS, OR APPROVED AND LISTED BY OTHER

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE IRC CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE ARCHITECT
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- FOR DESIGN LOADS SEE LOCAL CODES & STRUCTURAL DRAWINGS
- SEE OWNER CONCERNING SUBSTITUTION OF PRODUCTS.
- ALL SMOKE DETECTORS SHALL BE POWERED BY 110Y CURRENT, CONNECTED TO HOUSE ELECTRICAL SYSTEM. INTERCONNECT WITH EACH ONE SO THAT IF ANY ONE TRUPS THEY WILL ALL. SOUND. THEY SHALL ALSO HAVE A BATTERY BACKUP AND BE LOCATED IN EACH BEDROOM AND ON EACH FLOOR LEVEL.
- GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4" IN DIA. CANNOT
- THE MAXIMUM AMOUNT OF WATER USED BY NEW PLIMBING FIXTURES; TOILETS * 1.6 GALLONS/FLUSH SHOWER HEADS * 2.5 GALLONS/MINUTE NTERIOR FAUCETS * 2.5 GALLONS/MINUTE
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN
- SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE, BUILDER SHALL, BE SPECHSBELE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), DICCEPT AS BRECIPICALLY INDICATED CHERMISE IN THE CONTRACT D
- BUILDER SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON DRAWINGS OR NOTED IN SPECIFICATIONS, ANY VARIANCES WITHIN DRAWINGS AND SPECIFICATIONS, OR WITHIN CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO
- BUILDER SHALL RIGIDLY ADHERE TO ALL LAYS, CODES, AND ORDINANCES YHICH APPLY TO THIS MORK, HE SHALL NOTIFY AND RECEIVE CLAREFICATION FROM OWNER IN MINITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING RESULATIONS.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS OF APPLICABLE IRC RESEARCH RECOMMENDATIONS, WHERE SPECIFIC MANUFACTURE PRODUCTS ARE CALLED FORG. SENERIC EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.
- NO VARIANCE BY A BUILDING OFFICIAL SHALL BE BINDING ON ARCHITECT.
- BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTHFORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUN-ETC. IF ANY SUCH TEMS ARE FOUND, OWNER SHALL BE NOTIFIED INMEDIATELY.
- CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN ANY HOME WITH A GAS APPLIANCE. ONE SHALL BE LOCATED WITHIN EACH BEDROOM OR WITHIN 15 OR OF EACH BEDROOM DOOR, BEDROOMS OF SHALLE REPRANTE DETECTORS.
- COMPLY WITH REQUIREMENTS OF ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND THE
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK, REPORT ALL DISCREPANCIES TO THE OWNER OR THE ARCHITECT.
- DIMENSIONS TO STUD WALLS ARE TO FINISH FACE OF GYPSUM WALL-BOARD (GMB), EXTERIOR DIMENSIONS ARE TO FACE OF WOOD STUD; INTERIOR DIMENSIONS ARE TO FACE OF WOOD STUD.

ARCHITECTURA S. A.

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