

# HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2020

**HDRC CASE NO:** 2020-313  
**ADDRESS:** 607 E LOCUST  
**LEGAL DESCRIPTION:** NCB 1735 BLK 14 LOT 3  
**ZONING:** MF-33,H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Tobin Hill Historic District  
**APPLICANT:** Luis Botello/ASTER DEVELOPMENTS LLC  
**OWNER:** Luis Botello/ASTER DEVELOPMENTS LLC  
**TYPE OF WORK:** Amendment to previously approved materials for new construction  
**APPLICATION RECEIVED:** July 02, 2020  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Stephanie Phillips

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for an amendment to a previously approved exterior material palette for the new construction at 607 E Locust. The applicant is seeking approval for the use of a hybrid composite wood siding for a portion of the structures.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 3. Materials and Textures

#### A. NEW MATERIALS

- i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
- ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
- iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.
- iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

#### B. REUSE OF HISTORIC MATERIALS

*Salvaged materials*—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

### 4. Architectural Details

#### A. GENERAL

- i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

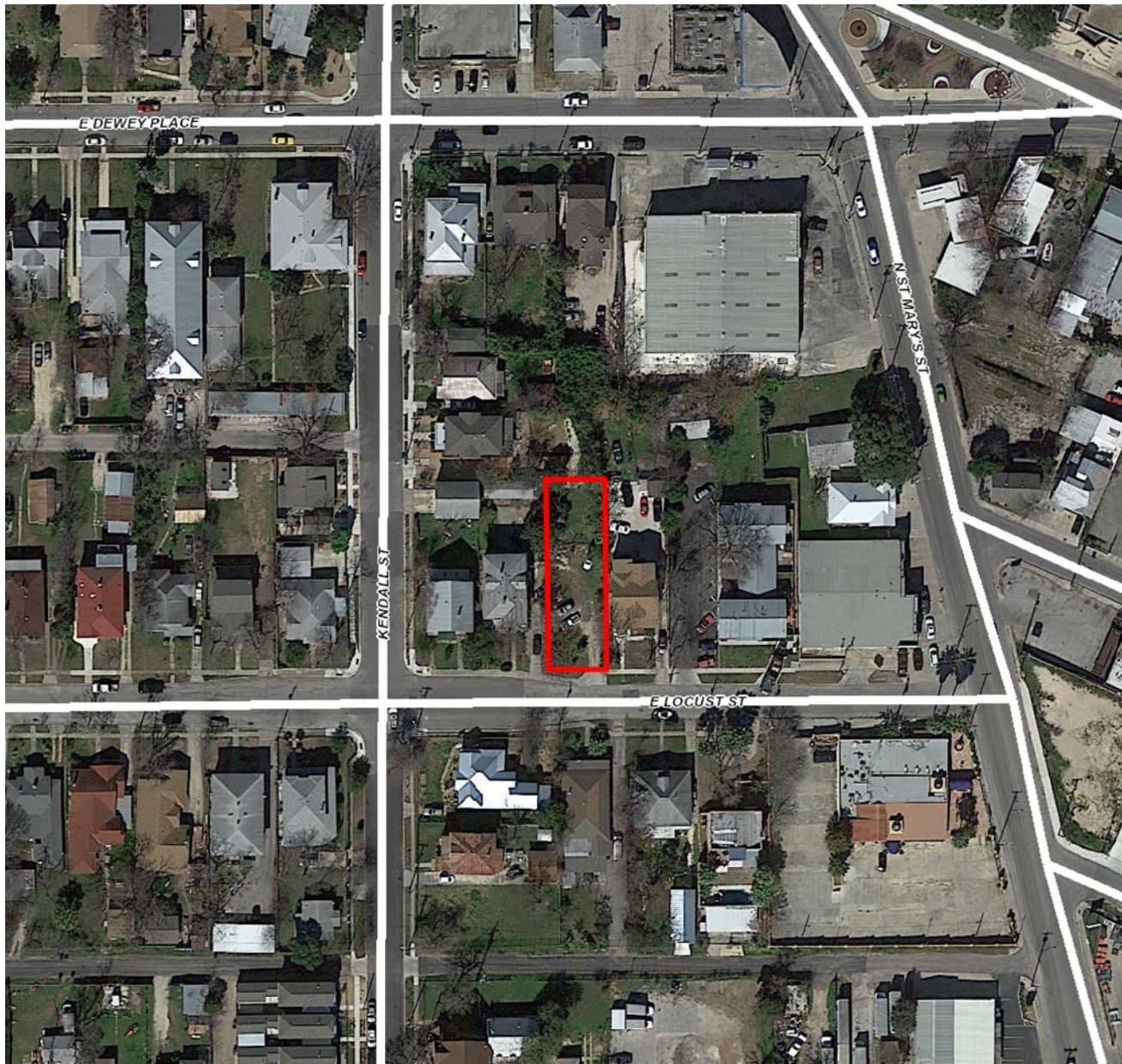
iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

## **FINDINGS:**

- a. The property located at 607 E Locust is currently a vacant lot. The lot is flanked by a historic 2.5-story single family homes to the east and west designed with Queen Anne and Craftsman influences and 1-story single family homes to the south. The lot is located a distance of approximately three lots from the intersection of E Locust and N St Marys St. This stretch of E Locust is characterized by historic 1-story, 2-story, and 2.5-story single family homes, designed primarily in the Queen Anne and Craftsman styles and historic 2 to 2.5-story multifamily homes with larger footprints. The applicant received final approval from the Historic and Design Review Commission (HDRC) on February 20, 2019, to construct two, 3-story multifamily structures.
- b. MATERIAL AMENDMENT – The applicant is requesting a material amendment to allow for the use of a hybrid composite wood siding product as a secondary exterior siding material. The primary material will remain smooth vertical Hardie composite siding. The new material will be vertically oriented and will continue to the undersides of porches and overhangs. The product is visually similar to sealed cedar siding. The product is used in a similar secondary application at 416 Kendall, a block from this location, in the new construction of a single family residence. According to the Historic Design Guidelines, contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. Additionally, the Guidelines encourage integrating contemporary interpretations of traditional designs and details for new construction, which can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structures in the district. Based on the proposed secondary implementation of this material - which features a traditional dimension, finish, and texture to a historic material – as well as its relationship to architectural features in the design, including porches and overhangs, staff finds the request appropriate for this specific new construction project.

## **RECOMMENDATION:**

Staff recommends approval based on findings a and b.



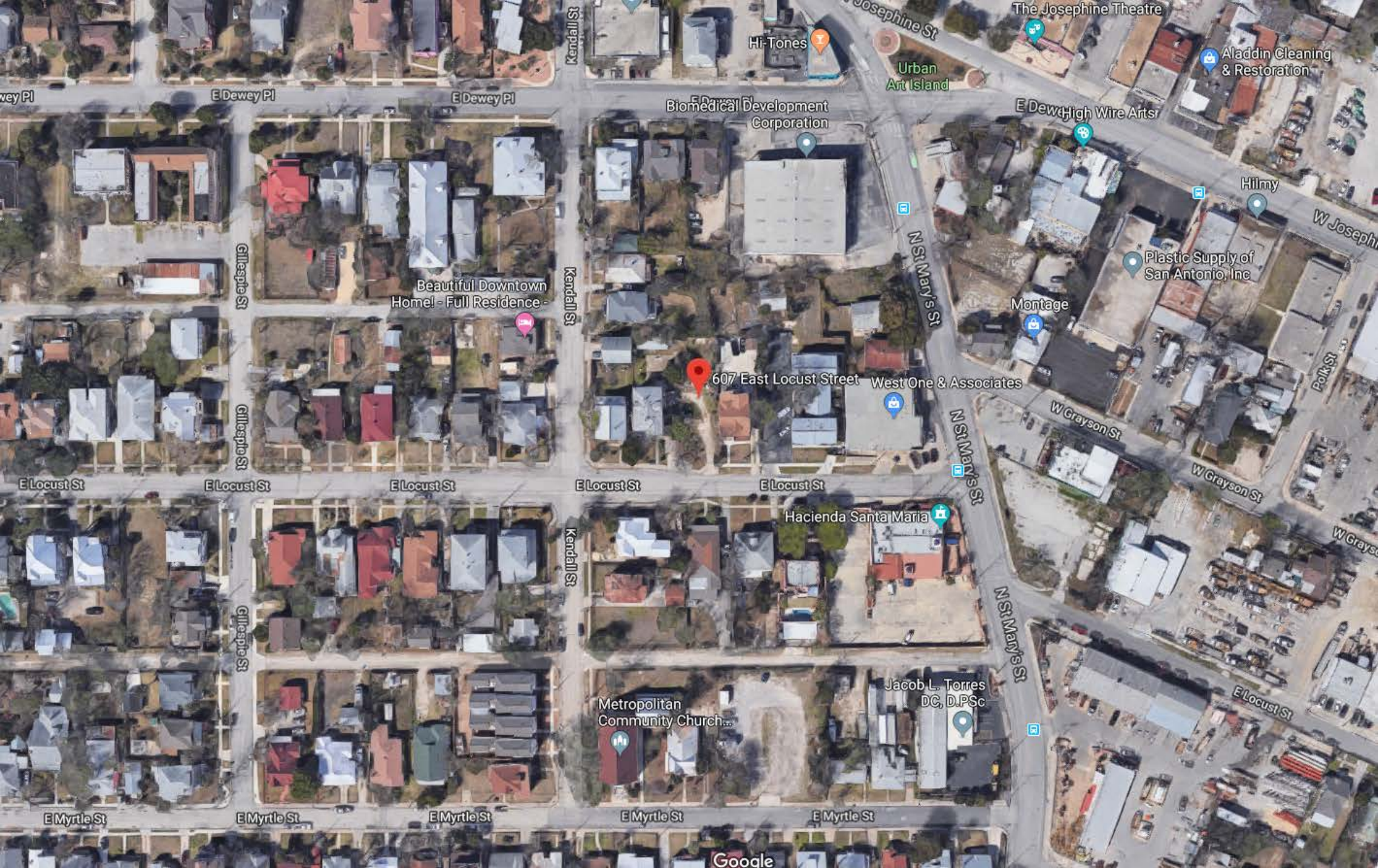
## Flex Viewer

Powered by ArcGIS Server

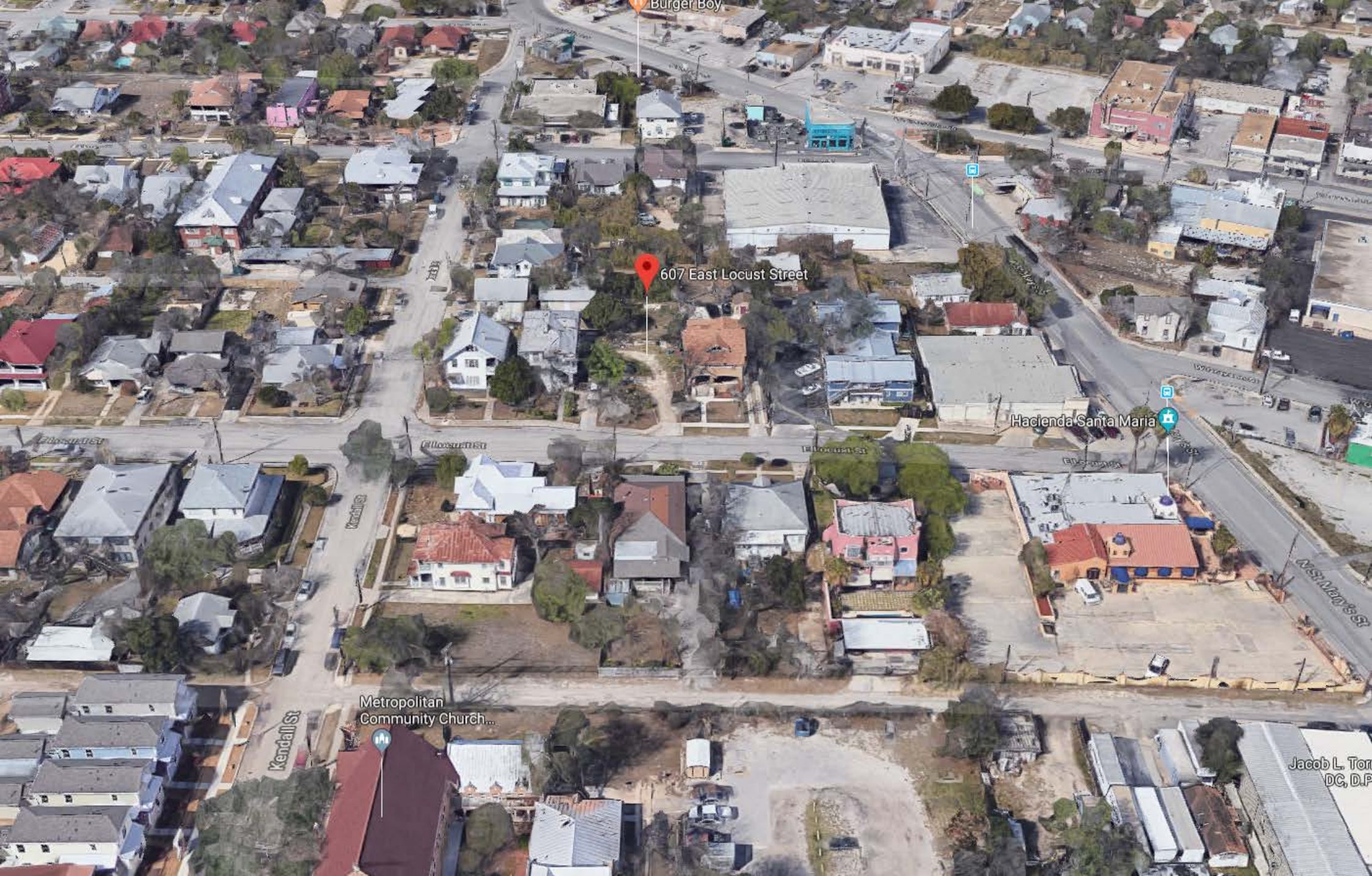
Printed: Sep 28, 2018

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Burger Boy

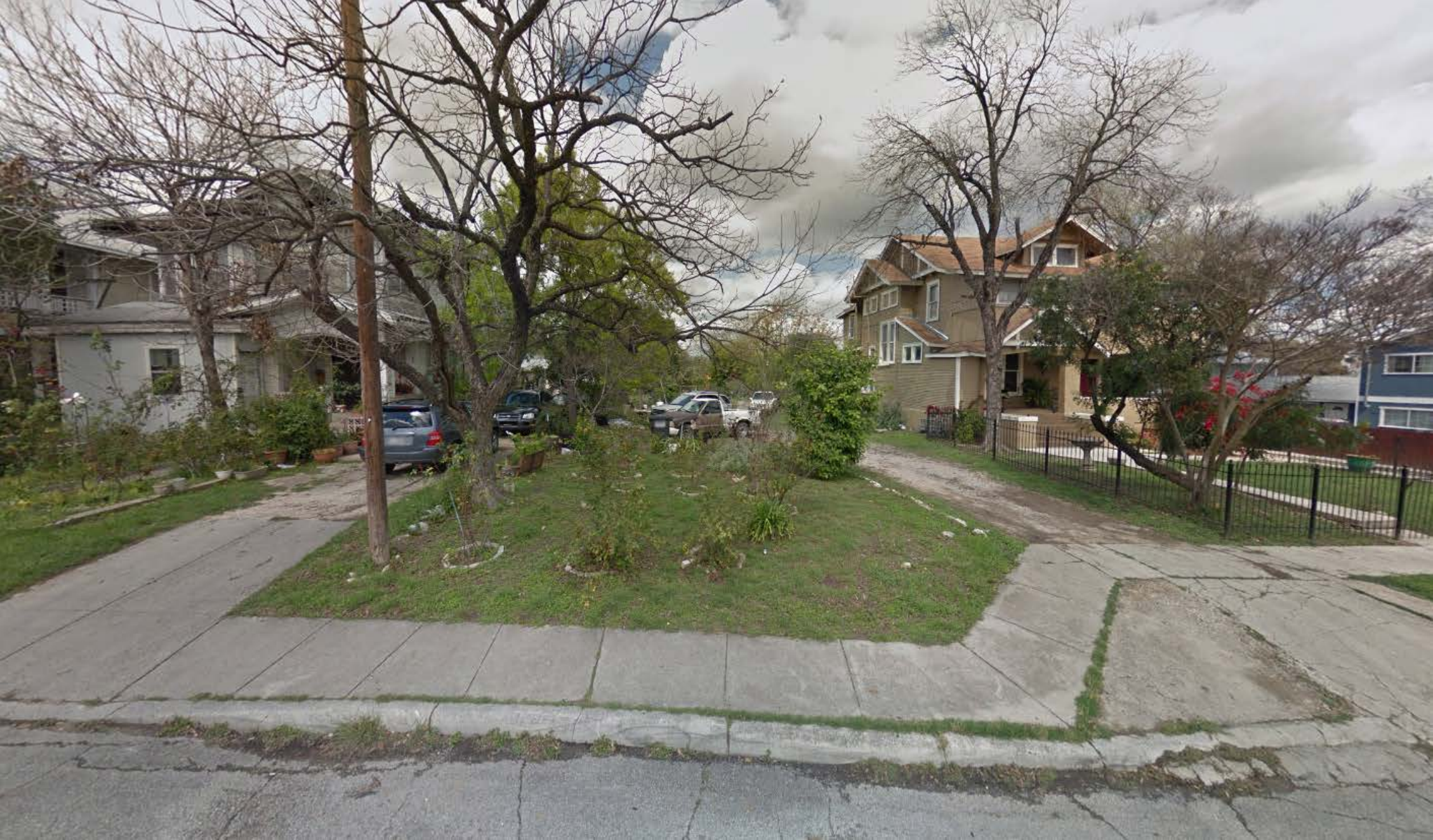
607 East Locust Street

Hacienda Santa Maria

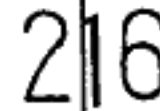
Metropolitan  
Community Church...

Jacob L. Tor  
DC, D.P.









**KENDALL**

607

-1743

## E. MYRTLE

MARYS'





RENDERING WITH PROPOSED MATERIAL









NO  
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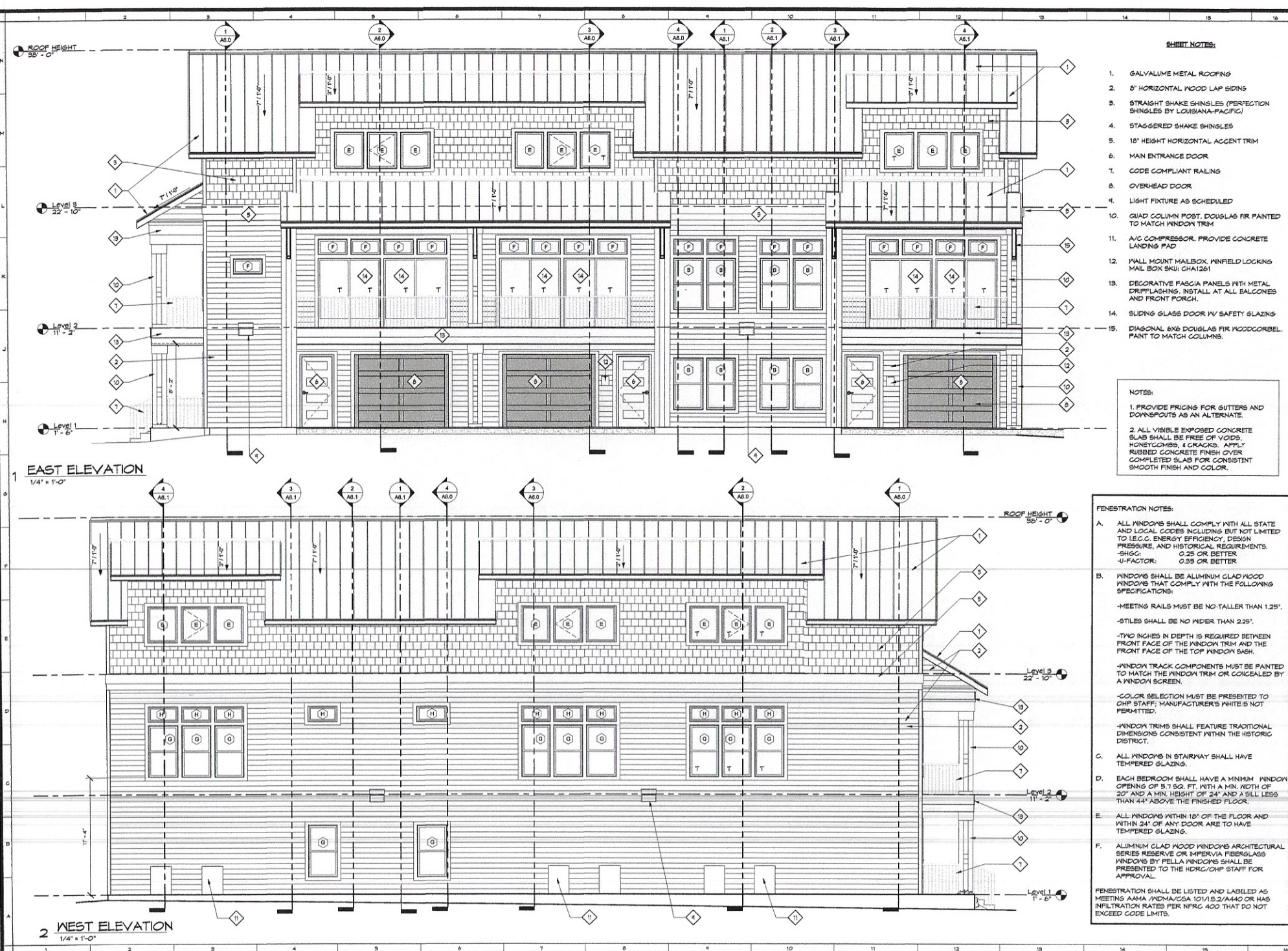












- SHEET NOTES:**
1. GALVALUME METAL ROOFING
  2. 8" HORIZONTAL WOOD LAP SIDING
  3. STRAIGHT SHAKE SHINGLES (PERFECTION SHINGLES BY LOUISIANA-PACIFIC)
  4. STAGGERED SHAKE SHINGLES
  5. 18" HEIGHT HORIZONTAL ACCENT TRIM
  6. MAIN ENTRANCE DOOR
  7. CODE COMPLIANT RAILING
  8. OVERHEAD DOOR
  9. LIGHT FIXTURE AS SCHEDULED
  10. QUAD COLUMN POST, DOUGLAS FIR PAINTED TO MATCH WINDOW TRIM
  11. A/C COMPRESSOR, PROVIDE CONCRETE LANDING PAD
  12. WALL MOUNT MAILBOX, PINFIELD LOCKING MAIL BOX SKU: CHA1261
  13. DECORATIVE FASCIA PANELS WITH METAL DRIPFLASHING, INSTALL AT ALL BALCONIES AND FRONT PORCH.
  14. SLIDING GLASS DOOR W/ SAFETY GLAZING
  15. DIAGONAL 6X6 DOUGLAS FIR WOODCORBEL, PAINT TO MATCH COLUMNS.

**NOTES:**

1. PROVIDE PRICING FOR GUTTERS AND DOWNSPOUTS AS AN ALTERNATE.

2. ALL VISIBLE EXPOSED CONCRETE SLAB SHALL BE FREE OF Voids, HONEYCOMBS, & CRACKS. APPLY RUBBED CONCRETE FINISH OVER COMPLETED SLAB FOR CONSISTENT SMOOTH FINISH AND COLOR.

- FENESTRATION NOTES:**
- A. ALL WINDOWS SHALL COMPLY WITH ALL STATE AND LOCAL CODES INCLUDING BUT NOT LIMITED TO I.E.C.C. ENERGY EFFICIENCY, DESIGN, PRESSURE, AND HISTORICAL REQUIREMENTS.  
-SHGC: 0.25 OR BETTER  
-U-FACTOR: 0.35 OR BETTER
- B. WINDOWS SHALL BE ALUMINUM CLAD WOOD WINDOWS THAT COMPLY WITH THE FOLLOWING SPECIFICATIONS:  
-MEETING RAILS MUST BE NO TALLER THAN 1.25".  
-STILES SHALL BE NO WIDER THAN 2.25".  
-TWO INCHES IN DEPTH IS REQUIRED BETWEEN FRONT FACE OF THE WINDOW TRIM AND THE FRONT FACE OF THE TOP WINDOW SASH.  
-WINDOW TRACK COMPONENTS MUST BE PAINTED TO MATCH THE WINDOW TRIM OR CONCEALED BY A WINDOW SCREEN.  
-COLOR SELECTION MUST BE PRESENTED TO OHP STAFF; MANUFACTURER'S WHITE IS NOT PERMITTED.  
-WINDOW TRIMS SHALL FEATURE TRADITIONAL DIMENSIONS CONSISTENT WITHIN THE HISTORIC DISTRICT.
- C. ALL WINDOWS IN STAIRWAY SHALL HAVE TEMPERED GLAZING.
- D. EACH BEDROOM SHALL HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MIN. WIDTH OF 20" AND A MIN. HEIGHT OF 24" AND A SILL LESS THAN 44" ABOVE THE FINISHED FLOOR.
- E. ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.
- F. ALUMINUM CLAD WOOD WINDOWS ARCHITECTURAL SERIES RESERVE OR IMPERVIA FIBERGLASS WINDOWS BY PELLA WINDOWS SHALL BE PRESENTED TO THE HDRG/OHP STAFF FOR APPROVAL.
- FENESTRATION SHALL BE LISTED AND LABELED AS MEETING AAMA AND/AVCSA 101/18.2/AA40 OR HAS INFILTRATION RATES PER NFRC 400 THAT DO NOT EXCEED CODE LIMITS.

CONSTRUCTION DOCUMENTS  
EXP 9/30/19

4/12/19

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T. 210.384.6200 F. 210.319.3555  
architecturasaa@yahoo.com

**NEW**

**RESIDENTIAL DEVELOPMENT**

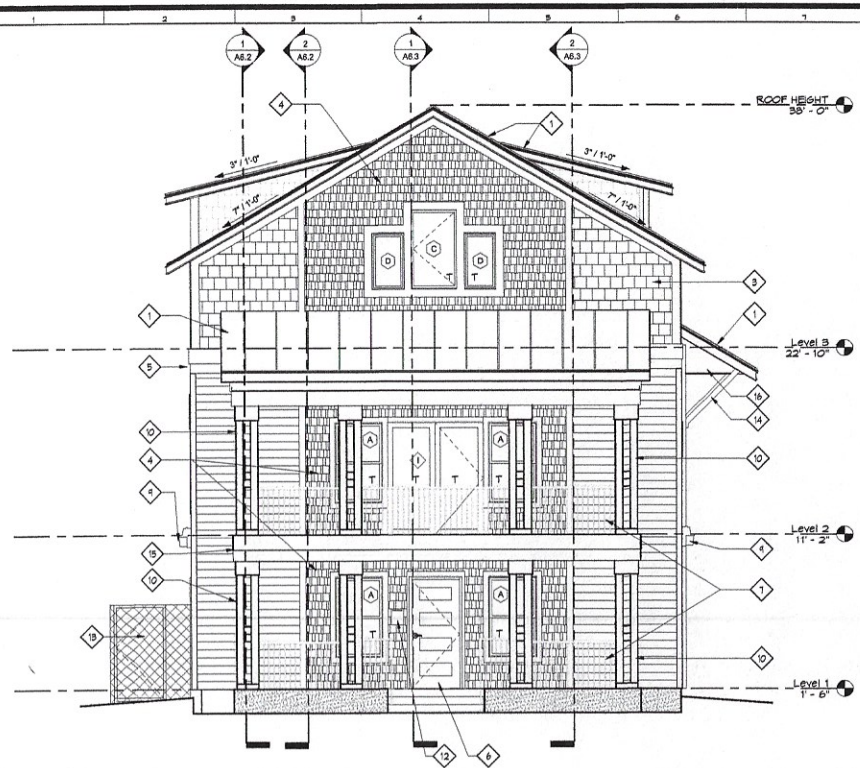
607 E. LOCUST STREET,  
SAN ANTONIO, TEXAS - 78212

Drawn By:	Author:	
Checked By:	Checker:	
Job Number:	19-024	
EXTERIOR ELEVATIONS		
No.	DATE	DESCRIPTION

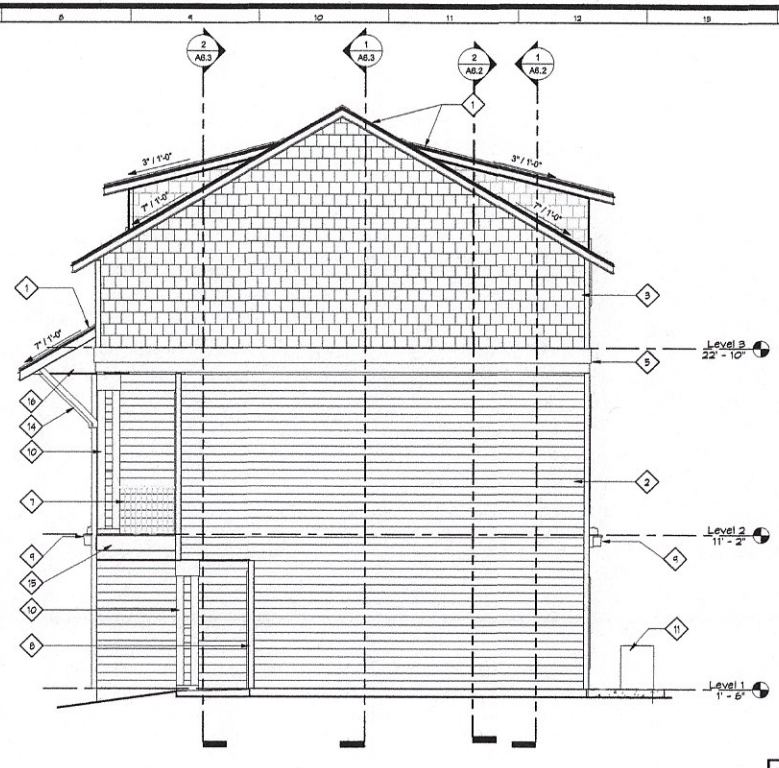
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Drawing No: **A5.0**

PREVIOUSLY APPROVED PERMIT SET





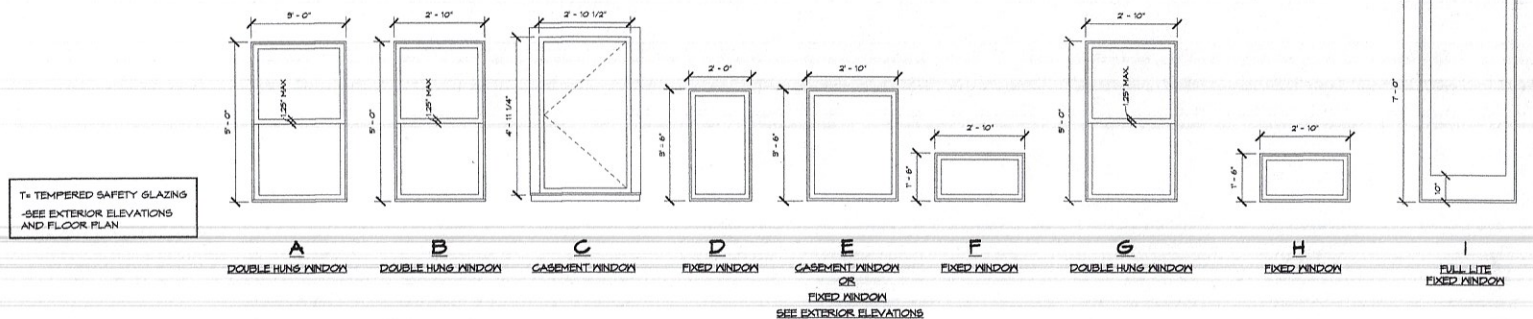
1 SOUTH ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

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  12. WALL MOUNTED MAILBOX, WINFIELD LOOKING MAIL BOX SKU: CHA1261
  13. GATE/FENCE WITH PRIVACY SCREENING FOR A/C UNITS, WOOD FENCES TO BLEND WITH HISTORIC DISTRICT
  14. DIAGONAL 6X6 DOUGLAS FIR WOOD CORBEL, PAINT TO MATCH COLUMNS
  15. DECORATIVE FASCIA PANELS WITH METAL DRIP FLASHING, INSTALL AT ALL BALCONIES AND PORCH
  16. SIDING PANELS TO MATCH BALCONY SOFFIT

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WINDOW SCHEDULE

CONSTRUCTION DOCUMENTS  
EXP. 8/30/19

REGISTERED ARCHITECT  
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T. 210.384.4200 F. 210.319.3555  
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**NEW**  
**RESIDENTIAL DEVELOPMENT**  
607 E. LOCUST STREET,  
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Drawn By: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Author: \_\_\_\_\_  
Checker: \_\_\_\_\_  
Job Number: 16-044  
DATE: \_\_\_\_\_  
DESCRIPTION: EXTERIOR ELEVATIONS

Date: 04/12/19  
Drawing No: **A5.1**