

HISTORIC AND DESIGN REVIEW COMMISSION

July 15, 2020

HDRC CASE NO: 2020-303
ADDRESS: 501 HAYS ST
LEGAL DESCRIPTION: NCB 529 BLK 2 LOT 8
ZONING: R-6, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: John Goodwin
OWNER: John Goodwin
TYPE OF WORK: Rear roof form modifications
APPLICATION RECEIVED: June 23, 2020
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Huy Pham

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

- 1) Replace the composition shingle roof with a standing seam metal roof
- 2) Install a primary gable and porch cover over the existing flat roof rear addition

APPLICABLE CITATIONS:

2. Guidelines for Exterior Maintenance and Alterations

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

3. Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.

FINDINGS:

- a. The primary structure at 501 Hays was constructed circa 1910 in the Folk Victorian style, first appears on the 1912 Sanborn, and contributes to the Dignowity Hill Historic District. The one-story single-family corner structure features a wraparound porch, a front facing shake shingled gable with a primary hipped gable roof and turned gables towards the rear, wood lap siding, and wood sash windows.
- b. **ROOF REPLACEMENT** – The applicant has proposed to replace the composition shingle roof on the entire structure including the proposed rear roof addition roof modifications with new standing seam metal roof. Per

the Guidelines for Exterior Maintenance and Alterations 3.B.iv., use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Per the 1912 Sanborn map, the original roof features a non-combustible material (such as metal) on the front and rear porch covers and a shingle roof on the primary roof. Staff finds that while the structure did not originally feature total metal roof coverage, staff finds that standing metal roofs are found on similar Folk Victorian structures within the Dignowity Hill Historic District. The new roof should adhere to the Standard Specifications for Standing Seam Metal Roofs.

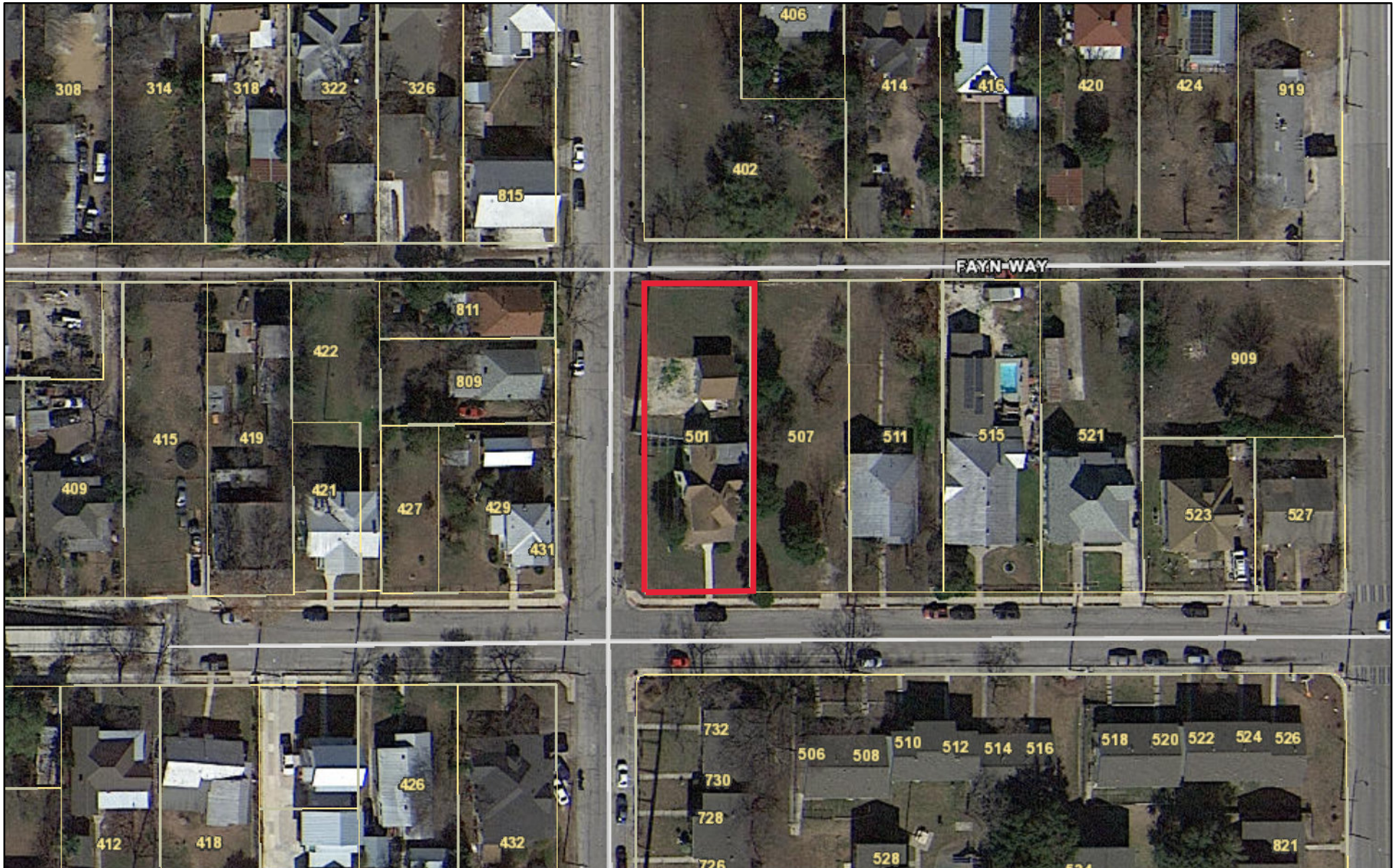
- c. REAR ADDITION ROOF – The applicant has proposed to install a gable roof over the existing flat roof addition and a subordinate gable rear porch cover. Per the Guidelines for Additions 1.A.iii., applicants should utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions. Staff finds that the proposed gable forms relate to the historic roof forms and are appropriate.

RECOMMENDATION:

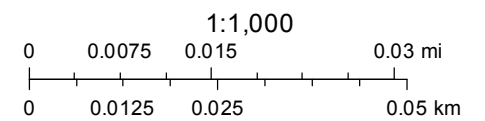
Staff recommends approval of items 1 and 2 based on the findings b and c with the stipulation that the new metal roof adheres to the Standard Specifications for Standing Seam Metal Roofs, which includes:

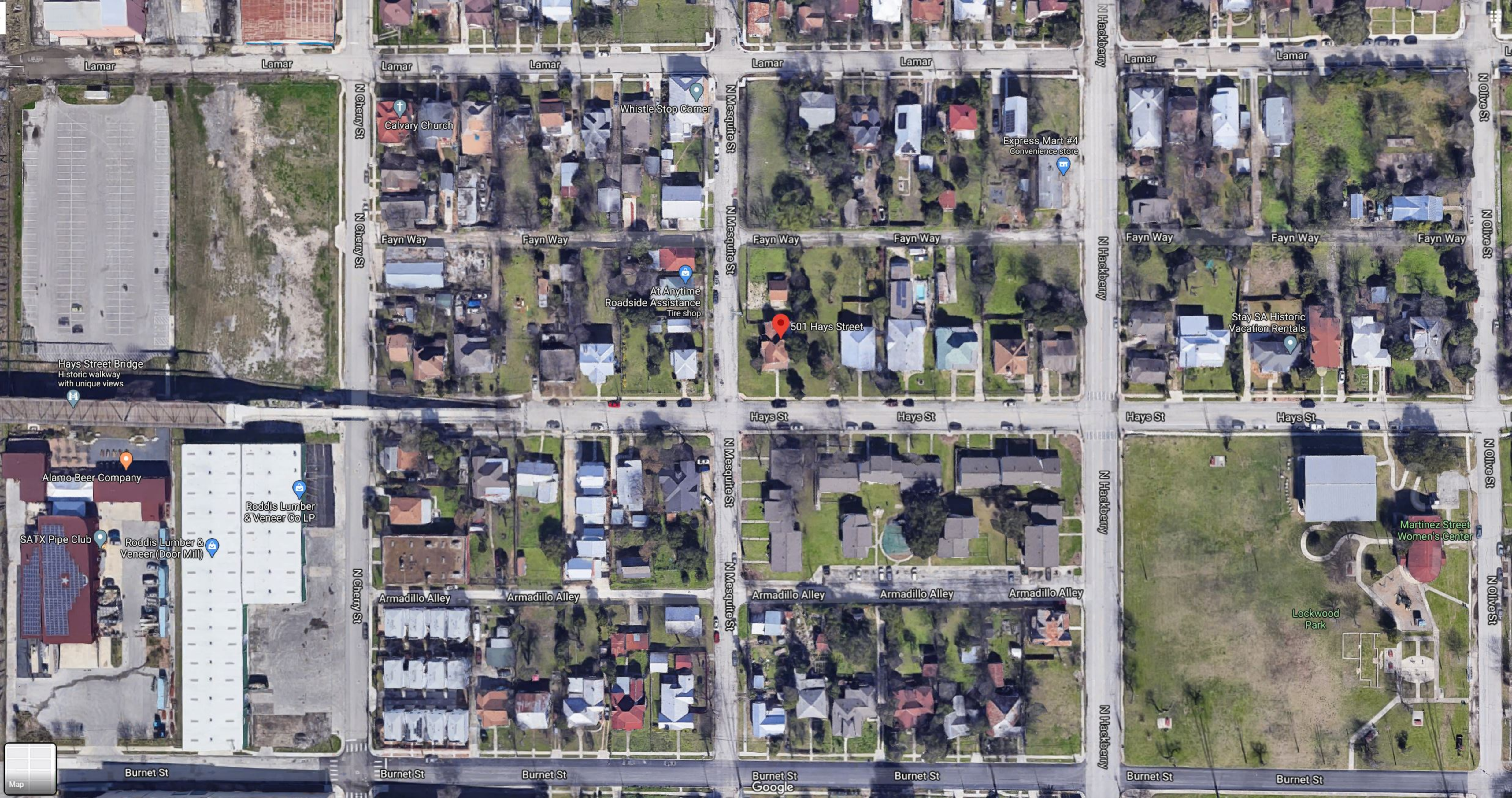
- *Panels that are 18 to 21 inches in width*
- *Seams are 1 to 2 inches in height*
- *Ridges are to feature a double-munch or crimped ridge configuration; no vented ridge caps or end caps are allowed.*
- *Roof color will feature a standard galvalume finish or match the existing historic roof.*

501 Hays



July 8, 2020





Lamar

Lamar

Lamar

Lamar

Lamar

Lamar

Lamar

Lamar

N Cherry St

N Cherry St

N Mesquite St

N Mesquite St

N Hackberry

N Hackberry

N Olive St

N Olive St

N Olive St

N Olive St

Calvary Church

Whistle Stop Corner

Express Mart #4
Convenience store

Hays Street Bridge
Historic walkway
with unique views

Fayn Way

Fayn Way

Fayn Way

Fayn Way

Fayn Way

Fayn Way

Fayn Way

At Anytime
Roadside Assistance
Tire shop

501 Hays Street

Stay SA Historic
Vacation Rentals

Hays St

Hays St

Hays St

Hays St

Alamo Beer Company

Roddis Lumber
& Veneer Co LP

SATX Pipe Club

Roddis Lumber &
Veneer (Door Mill)

Armadillo Alley

Armadillo Alley

Armadillo Alley

Armadillo Alley

Armadillo Alley

Martinez Street
Women's Center

Lockwood
Park

Burnet St

Burnet St

Burnet St

Burnet St

Burnet St

Burnet St

Burnet St

Google

Map



Whistle Stop Corner

At Anytime
Roadside Assistance
Tire shop

501 Hays Street

Hays St

N Mesquite St

Hays St

Hays St

Google



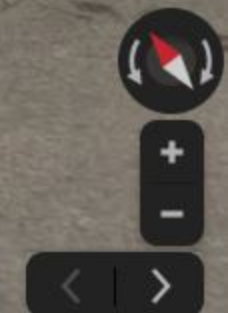


501 Hays Street

At Anytime
Roadside Assistance
Tire shop

Google







159

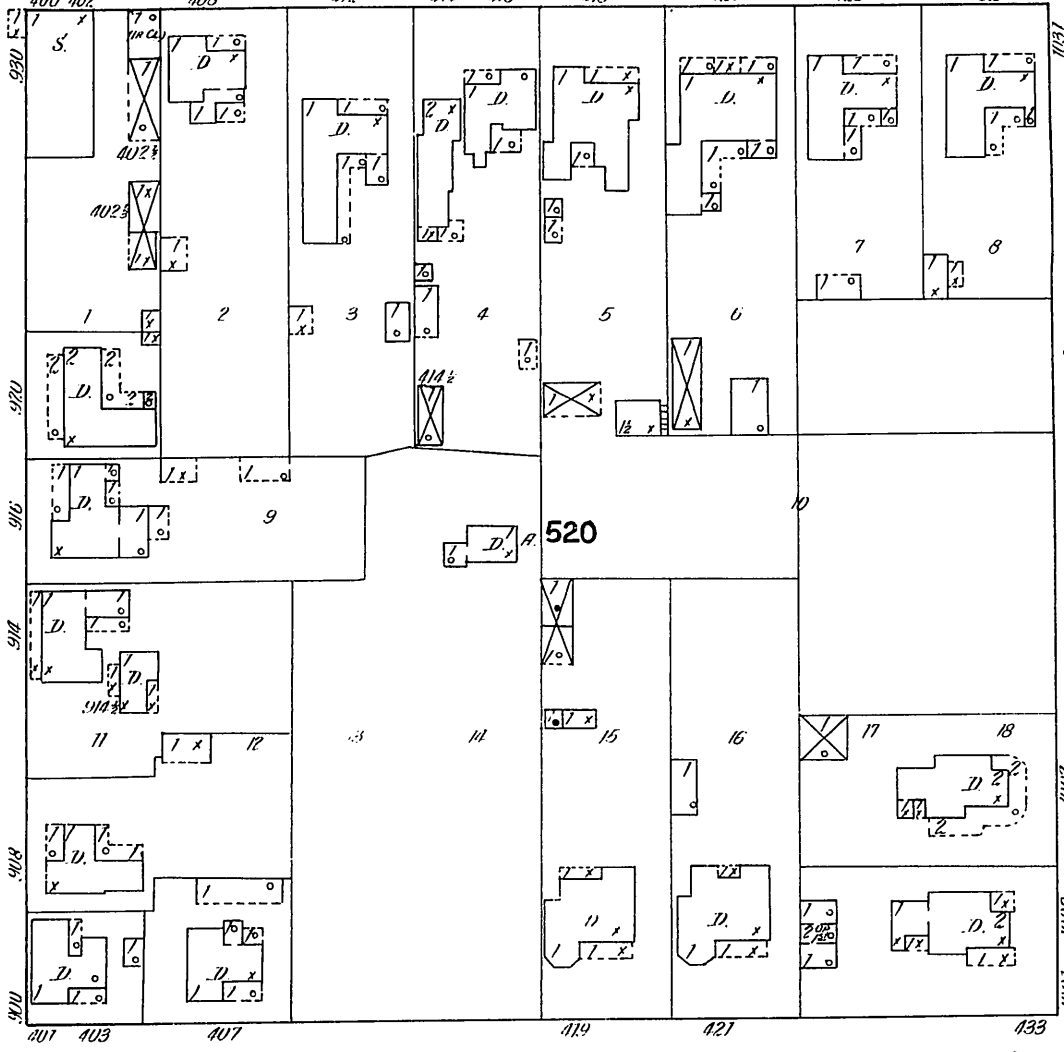
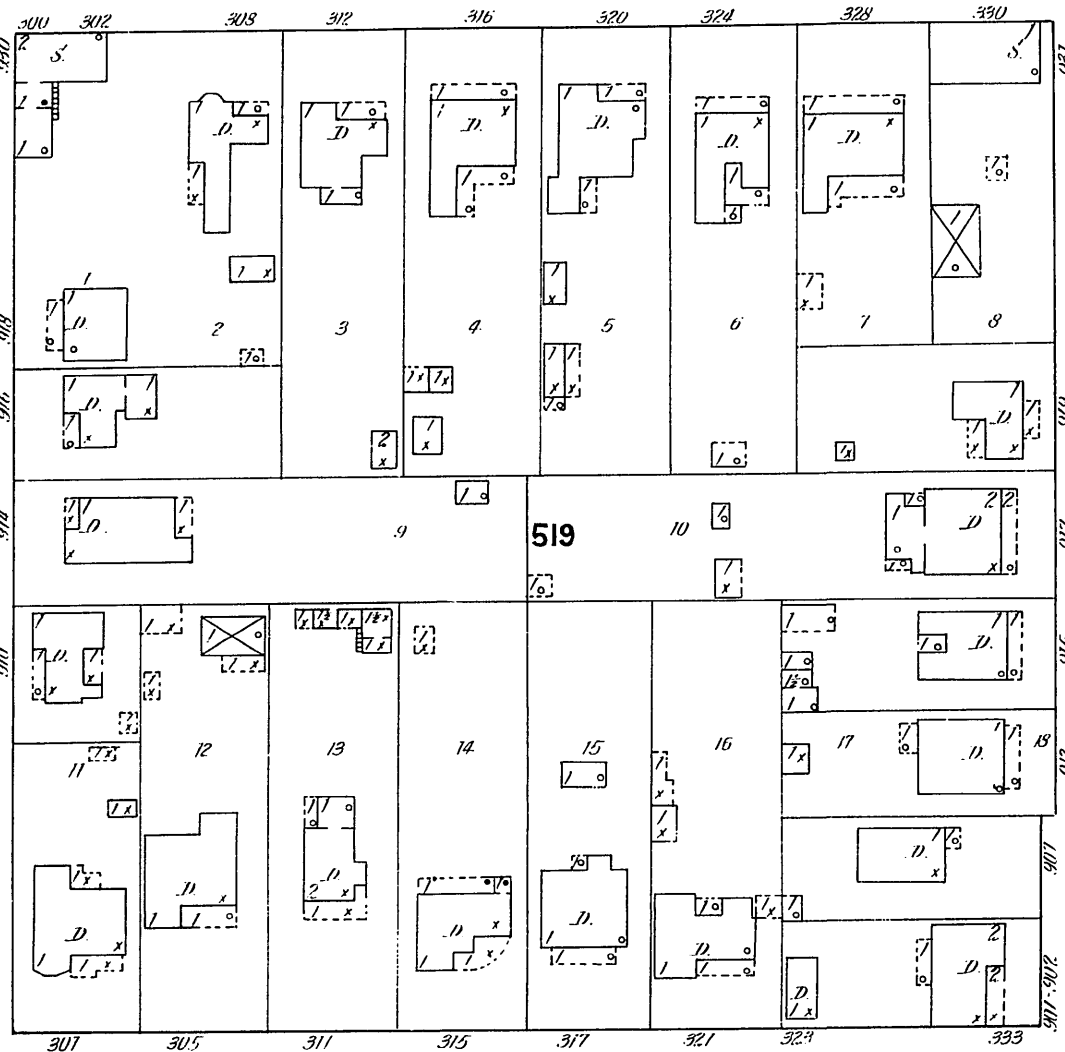
160

BURLESON

Not Paved

6" W. PIPE

6" W. PIPE



155

LAMAR

Not Paved

12" W. PIPE

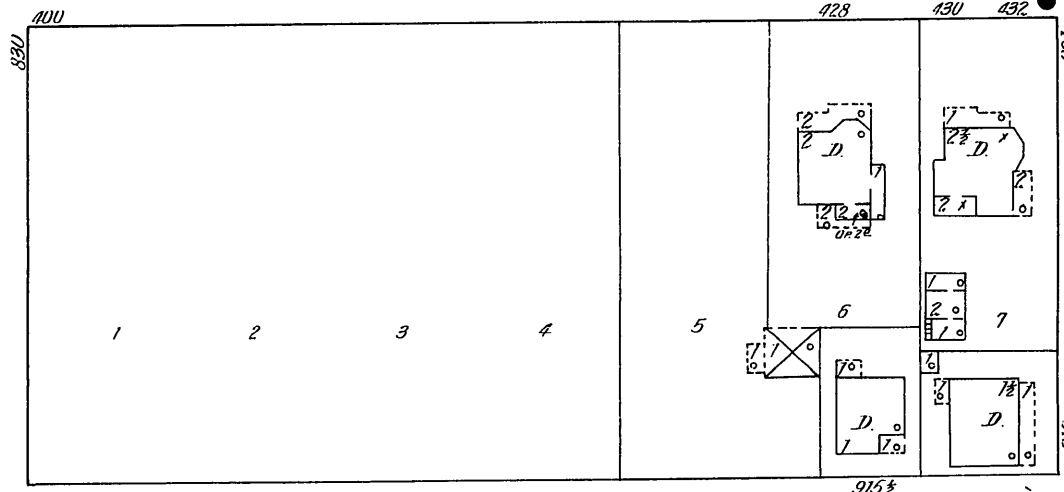
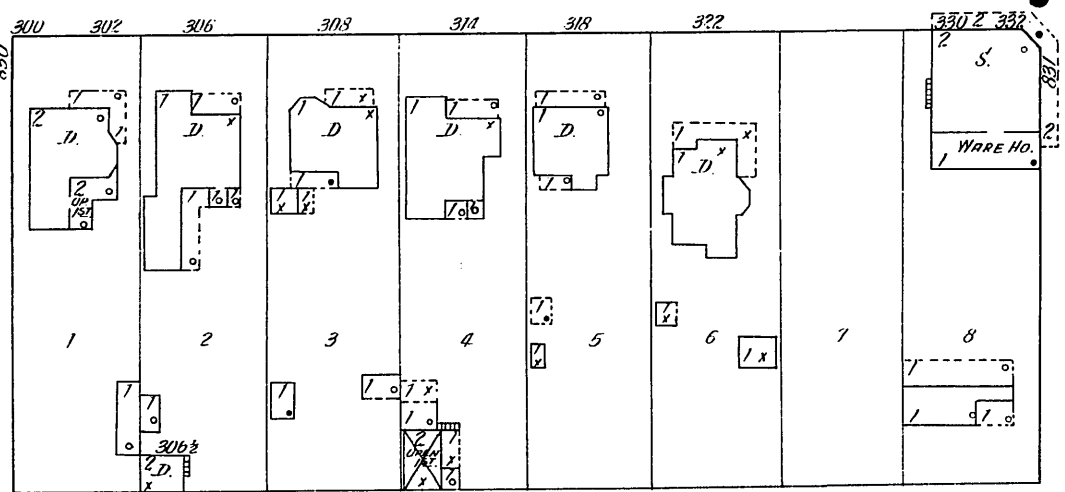
12" W. PIPE

157

N. CHERRY

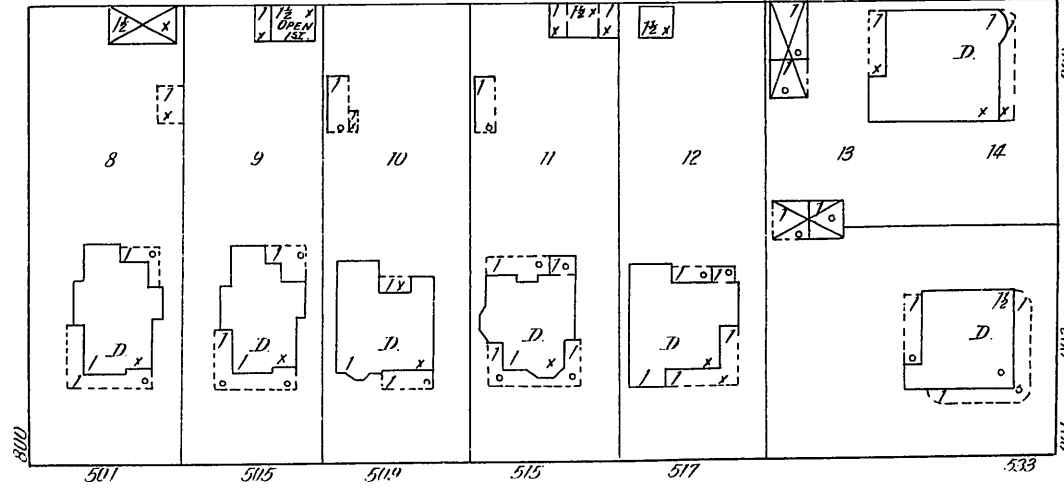
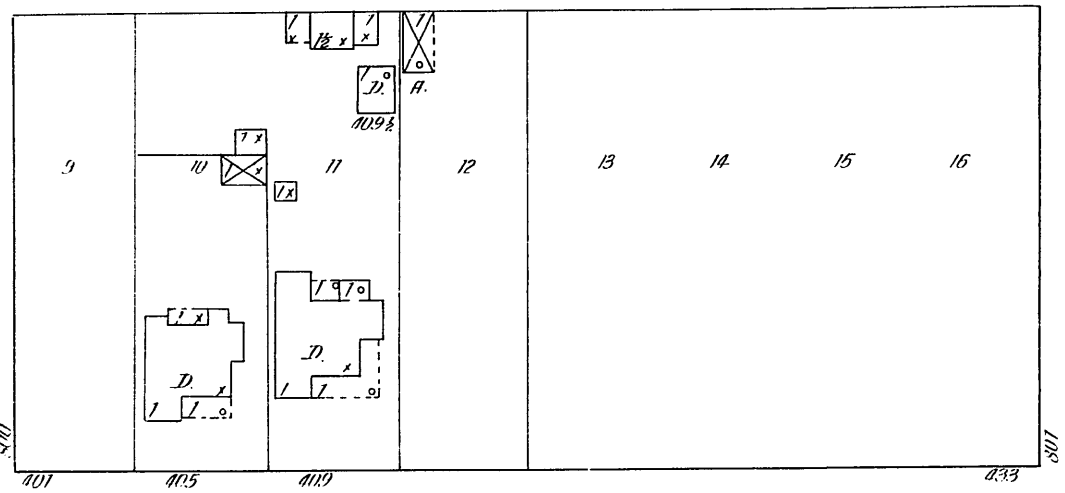
N. MESQUITE

N. HACKBERRY



528

529



HAYS

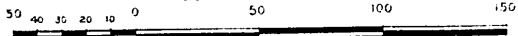
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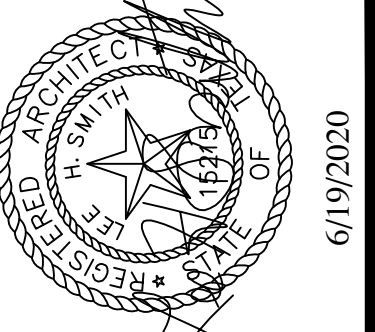
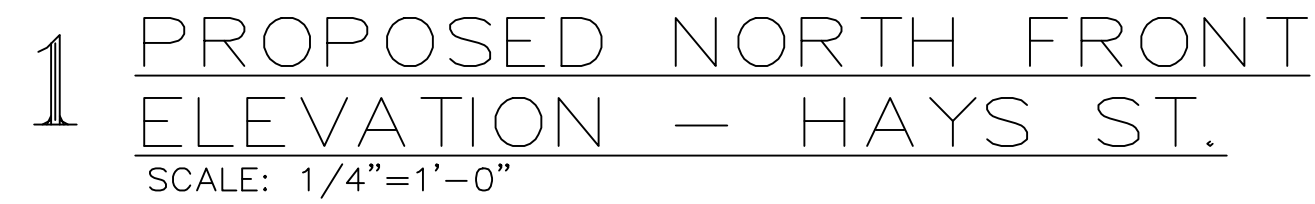
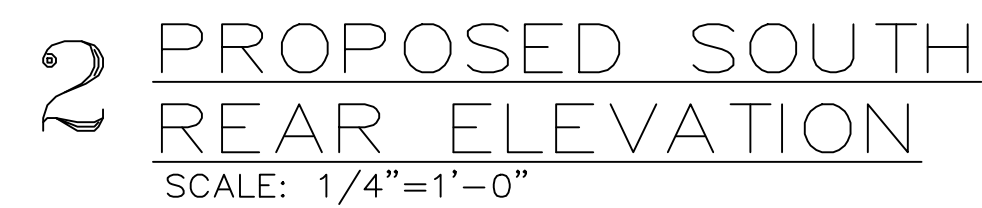
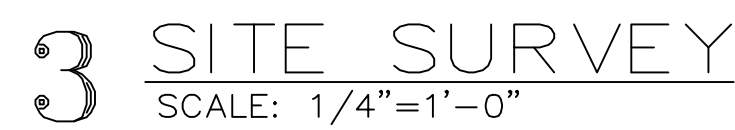
4" W. PIPE

4" W. PIPE

146

Scale of Feet.





No.	Revisions	Date:

Proposed Roof Renovation
John P. Goodwin

501 Hays St., San Antonio, Texas, 78202

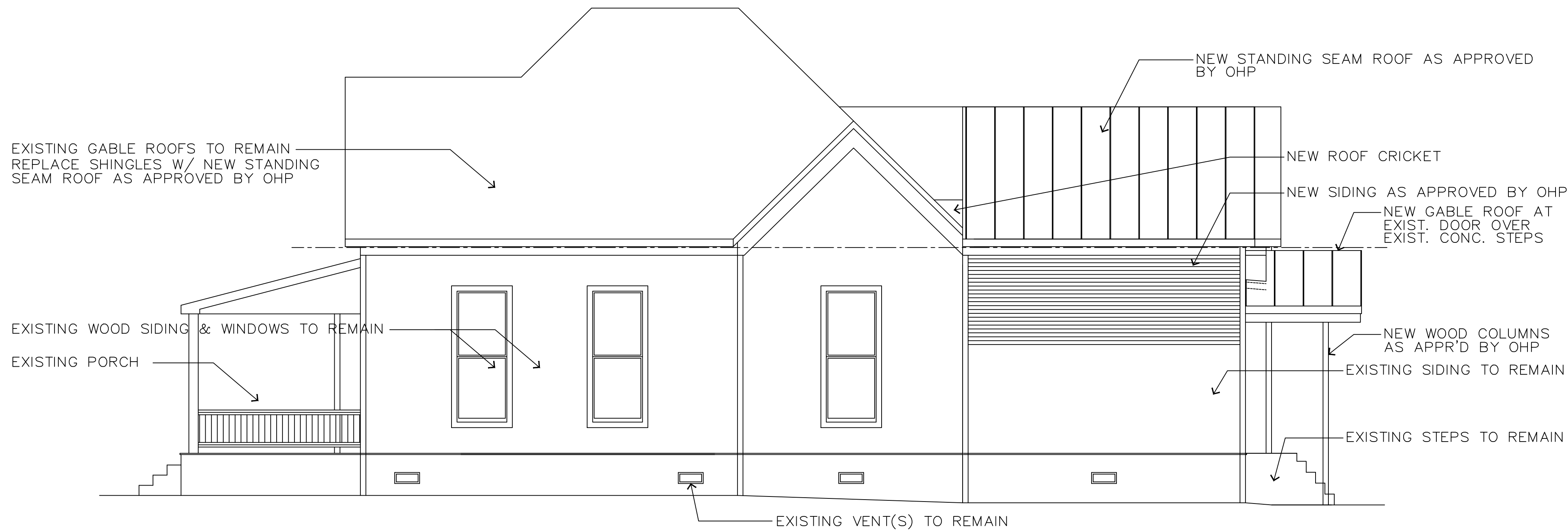
Lee H. Smith, Architect
12018 STONEY CROSSING, SAN ANTONIO, TEXAS 78247, 210-400-8702

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Project:

architects

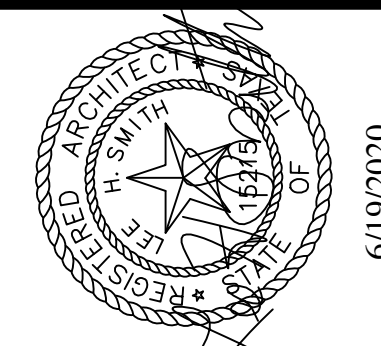
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Checked: LHS	Date: 6/19/2020
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Sheet No.: of A. 1	



2 PROPOSED WEST
SIDE ELEVATION
SCALE: 1/4"=1'-0"



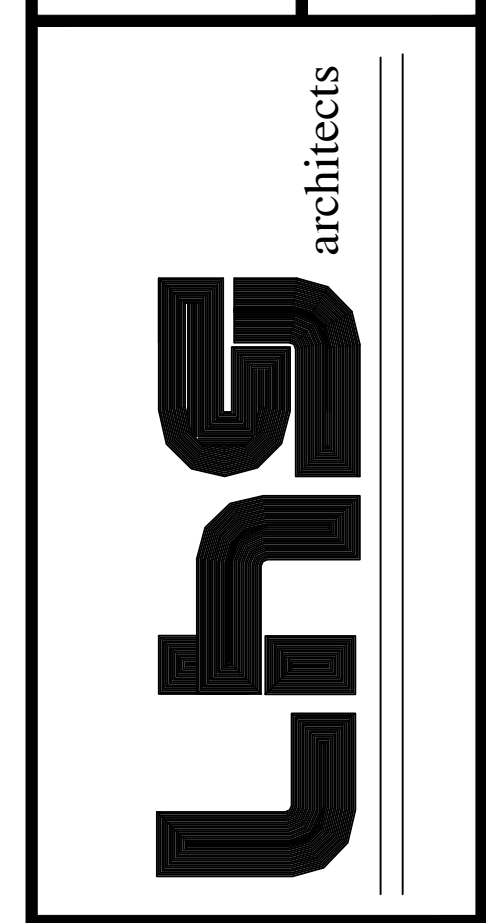
1 PROPOSED EAST SIDE ELEVATION
NORTH MESQUITE STREET
SCALE: 1/4"=1'-0"



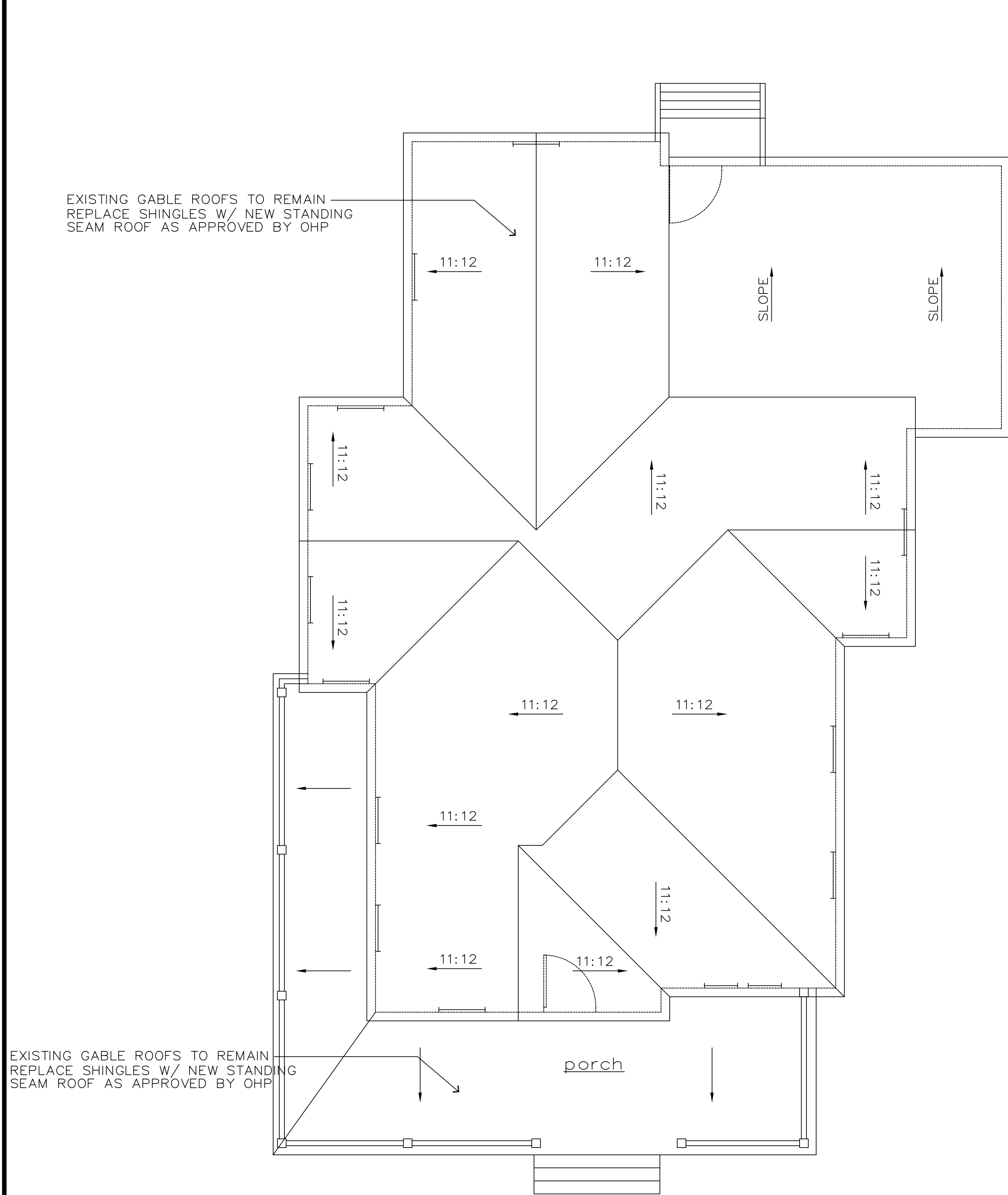
No.	Revisions:	Date:

Project: Proposed Roof Renovation
John P. Goodwin
501 Hays St., San Antonio, Texas, 78202

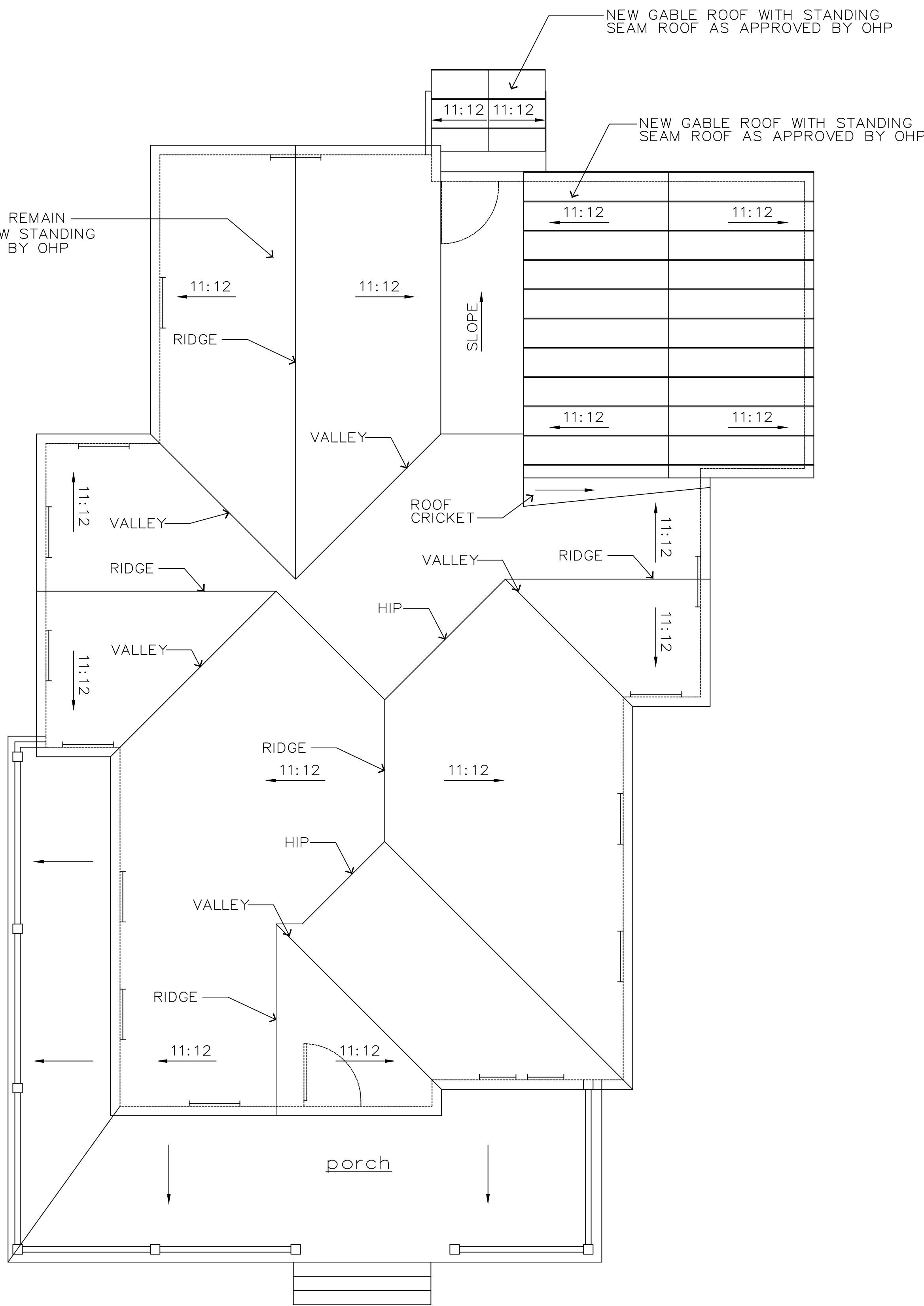
L e e H. S m i t h, A r c h i t e c t
12018 STONEY CROSSING, SAN ANTONIO, TEXAS 78247, 210-400-8702




Drawn: LHS	Project No.: 2020-06
Checked: LHS	Date: 6/19/2020
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Drawing Title: PROPOSED ELEV'S.	
Sheet No.: of A.2	



2 EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"



1 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"



6/19/2020

Date: _____

No: _____ Revisions: _____

Project: Proposed Roof Renovation

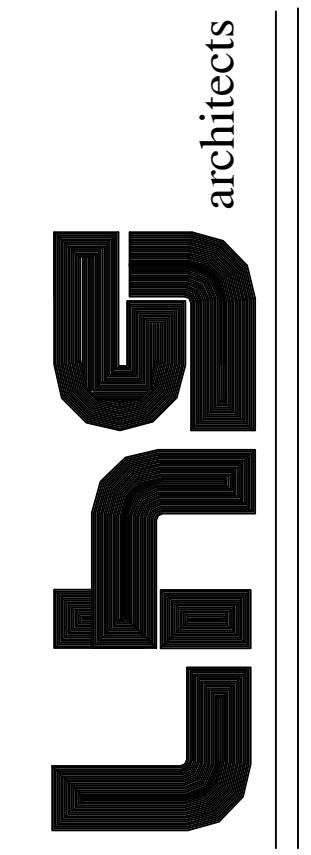
John P. Goodwin

501 Hays St., San Antonio, Texas, 78202

Lee H. Smith, Architect

12018 STONEY CROSSING, SAN ANTONIO, TEXAS 78247 210-400-8702

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Drawn: LHS Project No.: 2020-06

Checked: LHS Date: 6/19/2020

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Drawing Title: ROOF PLANS

Sheet No.: of

A.3







