

HISTORIC AND DESIGN REVIEW COMMISSION

August 19, 2020

HDRC CASE NO: 2020-318
COMMON NAME: Maverick Plaza
ADDRESS: 323 S ALAMO ST
LEGAL DESCRIPTION: NCB: 14015 BLK: 8 LOT: 1 CIVIC CENTER PROJECT NO. 5 TEX R-83
ZONING: D, H, RIO-3
PUBLIC PROPERTY: Yes
CITY COUNCIL DIST.: 1
DISTRICT: La Villita Historic District
APPLICANT: Mark Navaro/Fisher Heck Architects
OWNER: Steve Collier/CITY OF SAN ANTONIO
TYPE OF WORK: Rehabilitation of Maverick Plaza, site work, utility work, rehabilitation of historic structure and construction of utility structures
APPLICATION RECEIVED: July 17, 2020
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform various rehabilitative scopes of work and new construction at 323 S Alamo, commonly known as Maverick Plaza. Within this request, the applicant has proposed the following:

1. Remove the existing limestone walls that have enclosed Maverick Plaza along Nueva and S Alamo, remove the fences that separate Maverick Plaza from other portions of La Villita, remove the existing cedar arbor, remove the existing fountain, remove and salvage the existing paving on King Philip V Street, remove the existing concrete and clay tile paving in the plaza and the old Alamo Street walkway, remove portions of low tree planter walls along Alamo Street, remove contemporary CMU addition to Faville House, and remove and relocate electrical panels throughout the plaza
2. Install a variety of new paving materials forming various interlocking patterns including diagonal strips and three quatrefoil patterns.
3. Install a new fountain within the plaza.
4. Install additional trees including sycamore trees within the plaza and trees along the old Alamo Street walkway. The existing twenty-two live oak trees will be preserved.
5. Install lighting throughout the plaza to include general lighting, festoon lighting, tree lighting and entrance lighting.
6. Perform rehabilitative scopes of work to the historic Faville House, including foundation repair and repair to the porch roof's framing and decking, as well as the installation of a new standing seam metal roof.
7. Construct a demonstration kitchen in the plaza for public demonstration and teaching. This structure will include public restrooms.
8. Construct a kiosk to serve as a permanent food both.
9. Construct two smaller kiosks (mobile) to be located near the proposed fountain.
10. Construct new entry features with signage at Alamo St/Nueva St. corner, and Villita Street entry without signage. These elements will also include decorative panels on the S Alamo wall.
11. Relocate Mayor Maury Maverick Statue within the Plaza.
12. Construct screen walls along Nueva St to hide new transformer. Construct screen wall near Faville house to hide back of house equipment for plaza.

APPLICABLE CITATIONS:

Sec. 35-640. - Public Property and Rights-of-Way.

(a) Public Property. Generally, the historic and design review commission will consider applications for actions affecting the exterior of public properties except in the case of building interiors that are the sites of major public assemblies or public lobbies. The historic and design review commission will also consider

applications for actions affecting public properties such as city parks, open spaces, plazas, parking lots, signs and appurtenances.

(b) **Public Rights-of-Way.** Generally, the historic and design review commission will consider applications for actions affecting public rights-of-way whose construction or reconstruction exceeds in quality of design or materials standards of the design manual of the public works department.

Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

Sec. 35-642. - New Construction of Buildings and Facilities.

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) **Site and Setting.**

- (1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.
- (2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.
- (3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.
- (4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) **Building Design.**

- (1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.
- (2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

- (3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.
 - (4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.
 - (5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.
 - (6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.
 - (7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.
 - (8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.
- (c) Multiple Facades. In making recommendations affecting new buildings or structures which will have more than one (1) important facade, such as those which will face two (2) streets or a street and the San Antonio River, the historic and design review commission shall consider the above visual compatibility standards with respect to each important facade.

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness to perform a number of rehabilitative scopes of work as well as new construction at 323 S Alamo, commonly known as Maverick Plaza.
- b. DESIGN REVIEW COMMITTEE – This request was reviewed by the Historic and Design Review Committee on March 24, 2020. At that meeting, committee members commented on the proposed plaza improvements, site improvements, paving and landscaping elements. This request was reviewed a second time by the DRC on August 11, 2020. At that meeting committee members asked questions and provided feedback in regards to site paving, stone walls, planters and landscaping elements.
- c. REMOVAL OF EXISTING ELEMENTS – The applicant has proposed to remove the existing limestone walls that have enclosed Maverick Plaza along Nueva and S Alamo, remove the fences that separate Maverick Plaza from other portions of La Villita, remove the existing cedar arbor, remove the

existing fountain, remove and salvage the existing paving on King Philip V Street, and remove and salvage the existing concrete and clay tile paving in the plaza and the old Alamo Walkway. Staff finds the proposed scope of work to be appropriate; however, staff finds that materials should be salvaged and reused when possible.

- d. **PAVING** – The applicant has proposed to install a variety of new paving materials forming various interlocking patterns including diagonal strips and three quatrefoil patterns. Staff finds the proposed scope and patterns to be appropriate.
- e. **FOUNTAIN** – The applicant has proposed to install a new fountain within the plaza. Staff finds the proposed placement and design to be appropriate.
- f. **TREE PRESERVATION** – The applicant has proposed to plant new trees within the plaza as well as along the old Alamo Street walkway. Additionally, the applicant has noted the preservation of all existing live oak trees within the plaza. Staff finds the installation of new trees as well as the proposed tree preservation to be appropriate.
- g. **LIGHTING** – The applicant has proposed to install lighting throughout the plaza to include general lighting, festoon lighting, tree lighting and entrance lighting. Staff finds the proposed lighting to be appropriate.
- h. **FAVILLE HOUSE REHABILITATION** – The applicant has proposed to perform rehabilitative scopes of work to the historic Faville House, including foundation repair, the removal of a non-original addition, and repair to the porch roof's framing and decking, as well as the installation of a new standing seam metal roof. Staff finds the proposed scope of work to be appropriate and consistent with the Guidelines for Exterior Maintenance and Alterations. Staff finds that the proposed re-framing and re-decking of the porch roof should be performed in-kind and should not result in a change of roof profile. The new standing seam metal roof should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish. A ridge cap is not to be used.
- i. **PEDESTRIAN KITCHEN** – The applicant has proposed to construct a pedestrian kitchen in the plaza for public cooking. This structure will include restrooms. The applicant has proposed materials that include sand finished plaster, board and batten siding, standing seam metal roofs, porcelain tile and other similar materials. The applicant has also noted the installation of overhead coiling doors. Generally, staff finds the proposed design and materials to be appropriate. The proposed standing seam metal roofs should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
- j. **KIOSKS** – The applicant has proposed to construct three kiosks, two of which will be mobile to facilitate on site feed sales. Staff finds the overall design and materials proposed for each kiosk to be appropriate. The proposed standing seam metal roofs should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
- k. **ENTRY FEATURES** – The applicant has proposed to construct new entry features with signage at the Alamo and Nueve corners and Villita Street without signage. Staff finds the proposed request to be appropriate.
- l. **MAYOR MAURY MAVERICK STATUE RELOCATION** – The applicant has proposed to relocate the Mayor Maury Maverick statue from its existing location adjacent to S Alamo to the north side of the plaza. Staff finds this relocation to be appropriate.
- m. **SCREENING WALLS** – The applicant has proposed to construct screen walls along Neuva to screen new transformer locations as well as to construct screen walls near the Faville House to screen back of house equipment from the plaza. Staff finds this to be appropriate.
- n. **ARCHAEOLOGY** – The property is located within a River Improvement Overlay District, a Local Historic Landmark, the La Villita Local Historic District, and the La Villita Historic District National Register of Historic Places District. The Texas Sites Atlas indicates that archaeological sites have been previously identified along/adjacent to the San Antonio River. In addition, the project area is in close

proximity to previously recorded sites 41BX919, 41BX575, and 41BX2246. Furthermore, a review of historic archival documents identifies structures within or adjacent to the property as early as 1764. Moreover, this is the reported location of the Spanish Colonial Quartel. The property may contain sites, some of which may be significant. Therefore, archaeological investigations are required. Work within public property is subject to the Texas Antiquities Code. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

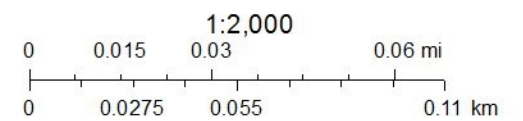
Staff recommends approval based on findings a through n with the following stipulations:

- i. That the proposed re-framing and re-decking of the porch roof of the Faville house be performed in-kind and not result in a change of roof profile. The new standing seam metal roof is to feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish. A ridge cap is not to be used.
- ii. That the proposed outdoor kitchen and kiosks feature standing seam metal roofs that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
- iii. ARCHAEOLOGY – Archaeological investigations are required. The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

City of San Antonio One Stop



July 30, 2020





CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: March 24, 2020 HDRC Case# _____

ADDRESS: Maverick Plaza (La Villita) Meeting Location: WebEx

APPLICANT: Mark Navarro / Fisher Heck Architects

DRC Members present: Scott Carpenter, Curtis Fish, Jeff Fetzer

Staff present: Cory Edwards, Edward Hall

Others present: Mark Padilla, Derek Keck, Cameron Robles, Lewis Fisher, Raul Rodriguez, David Hannan, Rhea Roberts (CMO)

REQUEST: Maverick Plaza redevelopment, construction of three commercial structures

COMMENTS/CONCERNS:

CR: Overview of plaza, landscaping and paseo improvements and updates. Overview of materials, site elements and entry element.

JF: Patterning is appropriate—provides separation of hard surfaces. Discussion regarding plaza space interacting with Mexican restaurant and fountain.

All: Discussion regarding additional landscaping and planters.

JF: Can the water element be raised?

SC: Proposal is attractive. Corner entry, will there be accommodation for B-Cycle, etc.? Materials are nice, but the renderings should include an details and information for expansion joints, concrete score joints, etc. There is no transition from large scale to smaller (bricks).

CF: Question regarding stone elements—what is the material and what joints or seams would it have?

JF: Will planers feature a cap? 4inch thick stone cap on planter walls would be appropriate.

OVERALL COMMENTS:

Committee Chair Signature (or representative)

Date

MN: Overview of proposed Mexican restaurant, design, etc.

JF: Comments on roof materials for Mexican restaurant, crimped ridge seams should be used .

JF: How will mechanical equipment be screened?

SC: Can soffits or beams be introduced to separate stucco façade.

JF: Add detailing to brick façade (northwest perspective, Mexican Restaurant).

CF: Concerns about irregular spacing of windows on south elevation (Mexican Restaurant)

JF: Consider a blind window on the first floor of south elevation.

DK: Overview of German Restaurant

JF: Scale of addition works well. Questions regarding glass enclosed dining room—do walls open or fixed glass (fixed glass). Can glass walls be modified? (different profile—break up long horizontal dimension)

SC: Can southern wall at kitchen be separated in some form?

MN: Overview of Spanish Restaurant

JF: Questions regarding stucco finish detailing; no general concerns.

CF: No general concerns.



CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: August 11, 2020

HDRC Case #:

ADDRESS: 323 S Alamo, Maverick Plaza

Meeting Location: WebEx

APPLICANT: Mark Navarro/Fisher Heck

DRC Members present: Jeff Fetzner, Curtis Fish

Staff Present: Shanon Miller, Cory Edwards, Edward Hall

Others present: Rhea Robets (CMO), Mark Padilla, Lewis Fisher

REQUEST: Redevelopment of Maverick Plaza, new construction of kiosks, rehabilitation of historic structure

COMMENTS/CONCERNS:

RR: Update on progress up to this point, overview of project/current location

MN: Overview of design, design highlights

MP: Overview of plaza/fountain/site design and elements

CF: Questions regarding public space/private space at plaza and restaurants. Question about location of demonstration kitchen

JF: Is Old Alamo current accessible during NIOSA (yes).

MN: 21% reduction in public space

CF: No concerns regarding materials for design.

CF: When would the design return to the Commission (RR: August 19)

JF: Should the paving pattern be adjusted to help pedestrian orientation and pedestrian traffic on site

JF: Will planters have cap stones?

JF: Questions about what will be included in the restaurant design

OVERALL COMMENTS:

LA VILLITA - MAVERICK PLAZA REHABILITATION

A project of the City of San Antonio with MP Studio and Fisher Heck Architects

DESCRIPTION OF PROJECT:

This project is intended to completely rehabilitate Maverick Plaza, renovating the central tree-lined plaza and a section of Old Alamo Street that remains to the west of the current South Alamo Street. This quadrant of La Villita was once completely covered with houses and commercial/industrial structures. The structures were all removed by Urban Renewal, and Maverick Plaza was created after HemisFair68.

In the coming months, a privately funded project will add three restaurants to activate La Villita and Maverick Plaza. This project is associated with the World Heritage Office and the city's designation as a World Heritage City of Gastronomy.

The project has been previously discussed with the Office of Historic Preservation and the Architectural Review Committee. This first project, the Rehabilitation of Maverick Plaza, will bring new utilities into the site, repave the plaza, landscape existing and new planting beds, construct a new fountain, and add new entrance features at the corners of Nueva Street and South Alamo, and at Villita Street and South Alamo Street. New lighting will be installed in the plaza and along old Alamo Street. A new edge for La Villita will be defined along South Alamo Street through the addition of colorful punched metal panels that form a low fence within the existing tree planters.

Demolition and modifications:

1. The limestone walls which have closed Maverick Plaza from the City along Nueva and South Alamo Streets will be removed.
2. The fences that closed Maverick Plaza from the rest of La Villita will be removed.
3. The existing cedar arbor will be removed
4. The existing fountain will be removed, and a new fountain installed at the opposite side of the plaza to draw visitors into La Villita.
5. Existing paving on King Philip V Street will be removed, salvaged and reinstalled where possible.
6. Existing concrete and clay tile paving in the plaza and old Alamo Walkway will be removed or used as a foundation for new paving.

Paving: Consistent with the paving materials in La Villita, the plaza will be paved with a variety of materials that form interlocking patterns. Three quatrefoil patterns will decorate the plaza and form the paving surrounding the new fountain. Diagonal strips of paving will provide visual activation and a variety of appropriate earth tone colors. They will also reflect the variety of paving materials found through La Villita.

Landscaping Plant Materials: La Villita, since its first restoration in 1939, has displayed a romantic collection of plant materials that provide shade and color. Twenty-two existing live oak trees will be preserved. Four new Sycamore trees will be added to provide additional shade within the plaza and three trees will be added along Old Alamo Street walkway.

Lighting: New Lighting will be installed. The lighting will meet several needs and functions:

1. General lighting
2. Festoon lighting above the plaza
3. Tree lighting
4. Lighting highlighting the two new entries at Villita and Nueva.

Stabilization of the Faville House:

As a part of the obligation of the City of San Antonio to the Culinary Concept Developer, the City is responsible for basic structural stability of the historic structures which will be rehabilitated by the private developer. It has been determined that the rubble limestone foundation and the wooden front porch of the Faville House are in poor condition. The City of San Antonio will stabilize the foundation of the house and replace the deteriorated wooden framing and roof decking on the porch. To protect the new framing, a new galvanized metal roof will be installed over the porch.

No rehabilitation of the Gissi House (the other historic house in the project) will be accomplished in this project, but the house will be rehabilitated in the restaurant project.

New Structures:

This City of San Antonio will construct several small structures supporting the goals of the project:

1. A presentation kitchen will be built so that local chefs and others can teach about the foodways of historic San Antonio while preparing these foods for classes and public demonstration. Men's and Women's rest rooms will be included in the new building.
2. A kiosk will be built to serve as a permanent food booth that can be used during events and on a daily basis.
3. Two smaller kiosks (which are movable) will be located near the new fountain. They will serve as booths to sell a variety of items, including arts and craft. These too, will be used during events and on a day by day basis to activate the plaza.

MAVERICK PLAZA REHABILITATION

PHOTOGRAPHS OF MAVERICK PLAZA



Existing View of Maverick Plaza Looking East. Stone columns and gates will be removed. The rest room building on the right has been removed.



Existing View of Maverick Plaza Looking West towards Plaza Nacional.



Existing View of Maverick Plaza Looking Southeast. The Fairmount Hotel is seen in the distance.



Existing view of Maverick Plaza looking South.



Existing view of Maverick Plaza looking southwest with the Gissi House in the background.



Existing View of Maverick Plaza Looking Northwest.



Existing view of Maverick Plaza looking north. The Mayor Maury Maverick statue will be re-located between these two tree planters.



Existing view of the Plaza looking northeast. The red-roofed Faville house is in the background. The future addition of the Faville house will be located behind the two oak trees.

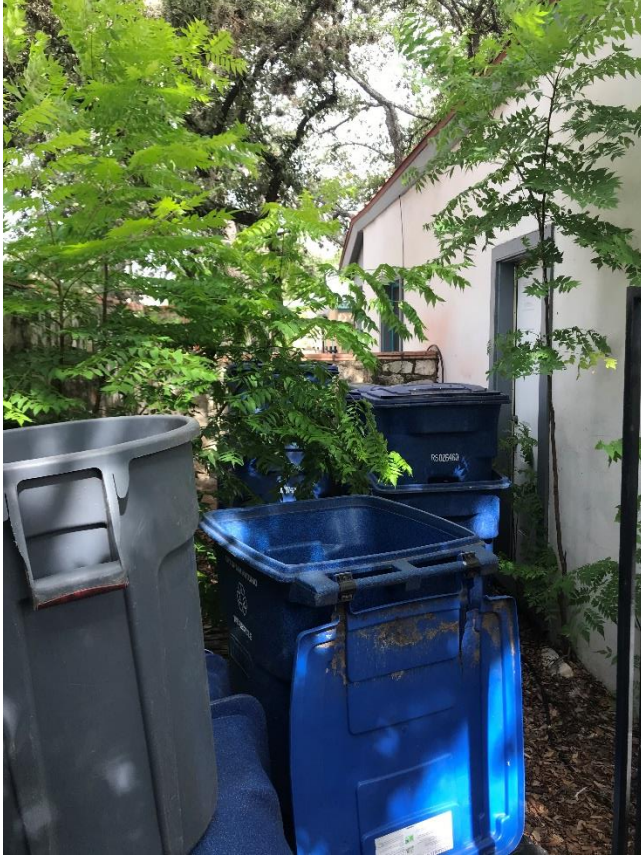
NUEVA STREET PHOTOGRAPHS



Stone walls along E. Nueva Street are to be removed. A portion of the furthest stone wall will remain to conceal the CPS electrical Equipment.



The CPS Transformer and Switchboard is proposed to be located behind the existing stone wall along East Nueva Street. The left nineteen feet of the ten-foot-tall wall will remain to conceal the CPS switchboard and transformer.



Proposed location of ground-mounted switchboard and transformer.



Fountain is proposed to be removed.



All arbors are to be removed.



Metal fences around Maverick Plaza are proposed to be removed.



Brick wall on left side of photograph is to be removed. Concrete block addition at the rear of the Faville House is to be removed.

PHOTOGRAPHS OF THE OLD ALAMO STREET WALKWAY



The existing walkway that follows the right of way of old South Alamo Street.



Stone walls and gates along S Alamo Street to be removed. The planters in the foreground will be bisected to create more access to S. Alamo Street. The six oak trees will remain.



Proposed Location of the new fountain. The fountain will be located to welcome visitors to Maverick Plaza approximately where the metal gates and stone columns are located.



The existing statue of Mayor Maury Maverick is to be relocated to the north side of Maverick Plaza. This space is proposed as the site of Small Kiosk 1.



Proposed Site of the Small Kiosk 3. An 18'-0" wide portion of the planter will be removed to open La Villita to the South Alamo Sidewalk. The space will be paved and will serve as a walkway and a location for Kiosk 3.

PROPOSED LOCATIONS FOR NEW BUILDINGS AND KIOSKS



Proposed site for the presentation kitchen and rest room building. The building will be placed 10 feet from the adjacent Starving Artist Gallery.



Proposed Site of Kiosk 1. After removal of the walls and gate, the new kiosk is proposed to be placed here.

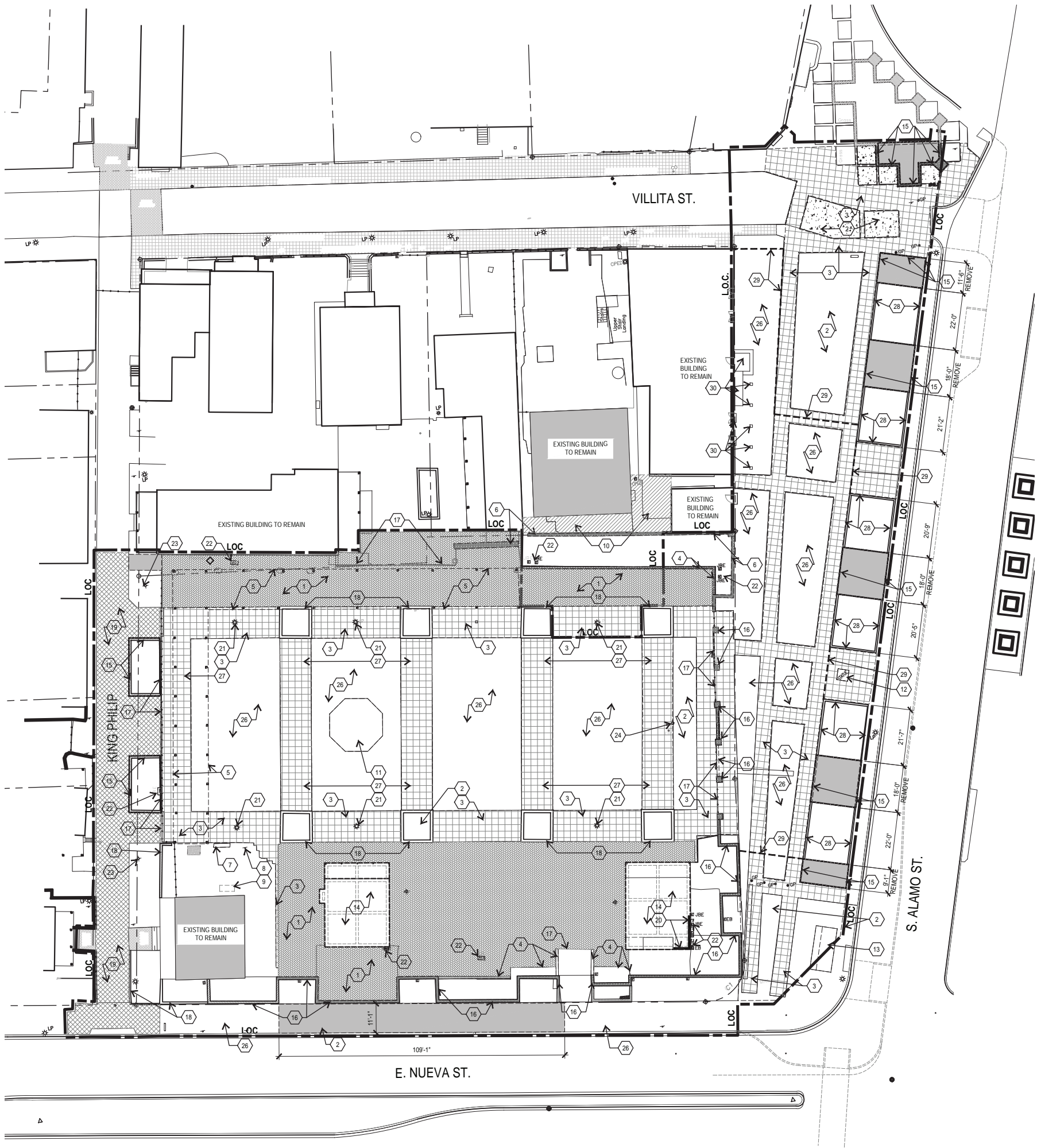
VILLITA STREET ENTRANCE FROM SOUTH ALAMO STREET



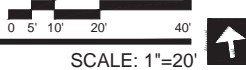
View of Villita Street looking west. Part of the planter on the right is proposed to be removed and replaced with paving to connect to the sidewalk beyond. The Villita Street entrance will be defined by stone pylons and landscaping.



NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION



1 DEMOLITION
PLAN

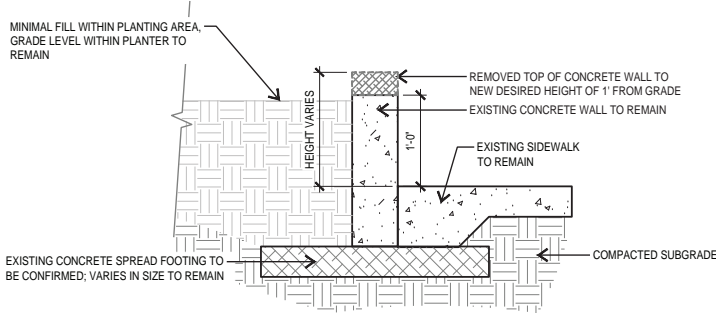


SITE DEMOLITION LEGEND

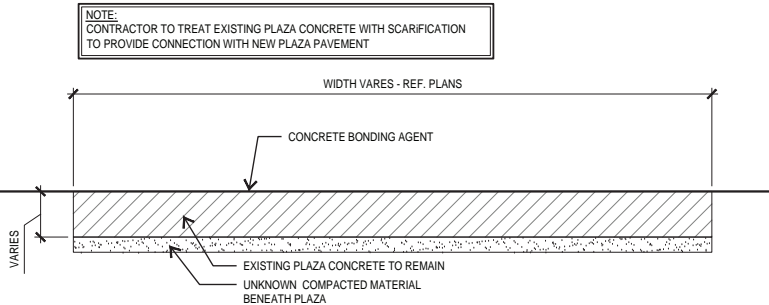
- EXISTING CLAY PAVERS, SEE NOTE #3
- EXISTING CONCRETE PAVERS, SEE NOTE #1
- EXISTING PAVERS, SEE NOTE #19

SITE DEMOLITION KEYNOTES

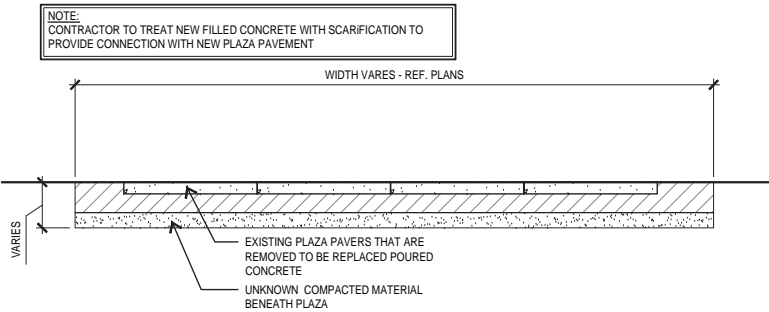
- EXISTING CONCRETE PAVERS AND BASE TO BE REMOVED, SALVAGED AND STORED FOR REINSTALLATION
- EXISTING CONCRETE PAVING TO BE REMOVED
- EXISTING CLAY PAVERS TO BE REMOVED
- EXISTING STONE CURB TO BE REMOVED
- EXISTING WOODEN TRELLIS TO BE REMOVED
- EXISTING MASONRY WALL TO BE REMOVED
- EXISTING CONCRETE FOUNDATION TO BE REMOVED
- EXISTING SIGNAGE TO BE REMOVED AND SALVAGED
- EXISTING BENCH TO BE REMOVED AND SALVAGED
- EXISTING PAVERS TO BE REMOVED
- EXISTING FOUNTAIN AND STEPS TO BE REMOVED
- EXISTING MAURY MAVERICK STATUE & BASE TO BE REMOVED & STORED OFFSITE FOR REINSTALLATION AS SHOWN ON LS 1.1 USING PROTECTIVE MEASURES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STATUE INCLUDING THE SUPPORTIVE BASE
- EXISTING BUS SHELTER, COORDINATE REMOVAL WITH VIA METRO
- EXISTING BUILDING FOUNDATION TO BE REMOVED (14"x30" PERIMETER BEAMS & 12"x30" INTERIOR BEAMS)
- EXISTING PLANTER WALL BE REMOVED: STONE VENEER & PAVING CAP TO BE REMOVED/ SALVAGE AND STORED FOR USE ON NEW PLANTER WALL REF. DETAIL 11/LS 2.4
- EXISTING STONE/TILE WALL AND COLUMNS TO BE REMOVED/ SALVAGE AND STORE STONE VENEER FOR USE ON NEW RESTAURANT
- EXISTING METAL GATES AND FENCE TO BE REMOVED
- EXISTING PLANTER RETAINING WALL TO REMAIN IN PLAZA
- EXISTING PAVERS TO BE REMOVED, SALVAGED AND STORED FOR REINSTALLATION
- EXISTING WALL TO BE REMOVED
- EXISTING LIGHT POLE TO BE REMOVED, SEE ELECTRICAL
- EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED, SALVAGED OR RELOCATED, SEE ELECTRICAL
- EXISTING FIRE DEPARTMENT CONNECTION, SEE MEP
- EXISTING FLAGPOLE TO BE REMOVED
- EXISTING STONE/TILE WALL TO REMAIN
- EXISTING CONCRETE PAVING TO REMAIN & RECEIVE SCARIFICATION IN PREPARATION FOR NEW PLAZA DESIGN: REF. DETAIL 3/D 1.1 BELOW
- EXISTING CLAY PAVERS TO BE REMOVED & REPLACED WITH NEW CONCRETE WITH SCARIFICATION IN PREPARATION FOR NEW PLAZA DESIGN: REF. DETAIL 4/LS 1.2 BELOW
- EXISTING MASONRY WALL TO REMAIN & LOWERED IN HEIGHT: REF. DETAIL 2/D 1.1 BELOW
- LIMIT OF EXISTING CONCRETE DEMOLITION
- EXISTING BUILDING STEP/ RAMP/ COLUMN TO REMAIN



2 EXISTING CONCRETE PLANTER WALL
SECTION
SCALE: 1"=1'-0"



3 EXISTING PLAZA CONCRETE PAVEMENT
SECTION
SCALE: 1"=1'-0"



4 EXISTING PLAZA PAVERS
SECTION
SCALE: 1"=1'-0"



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS

100%
CONSTRUCTION
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PROJECT

LA VILLITA

MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS

418 VILLITA STREET #9
SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)
100 HOUSTON ST., SUITE 210
SAN ANTONIO, TX 78205

SUBCONSULTANT

REVISIONS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION

SHEET INFORMATION

PROJECT NO.

18100

DATE ISSUED

JULY 22, 2020

SHEET NAME

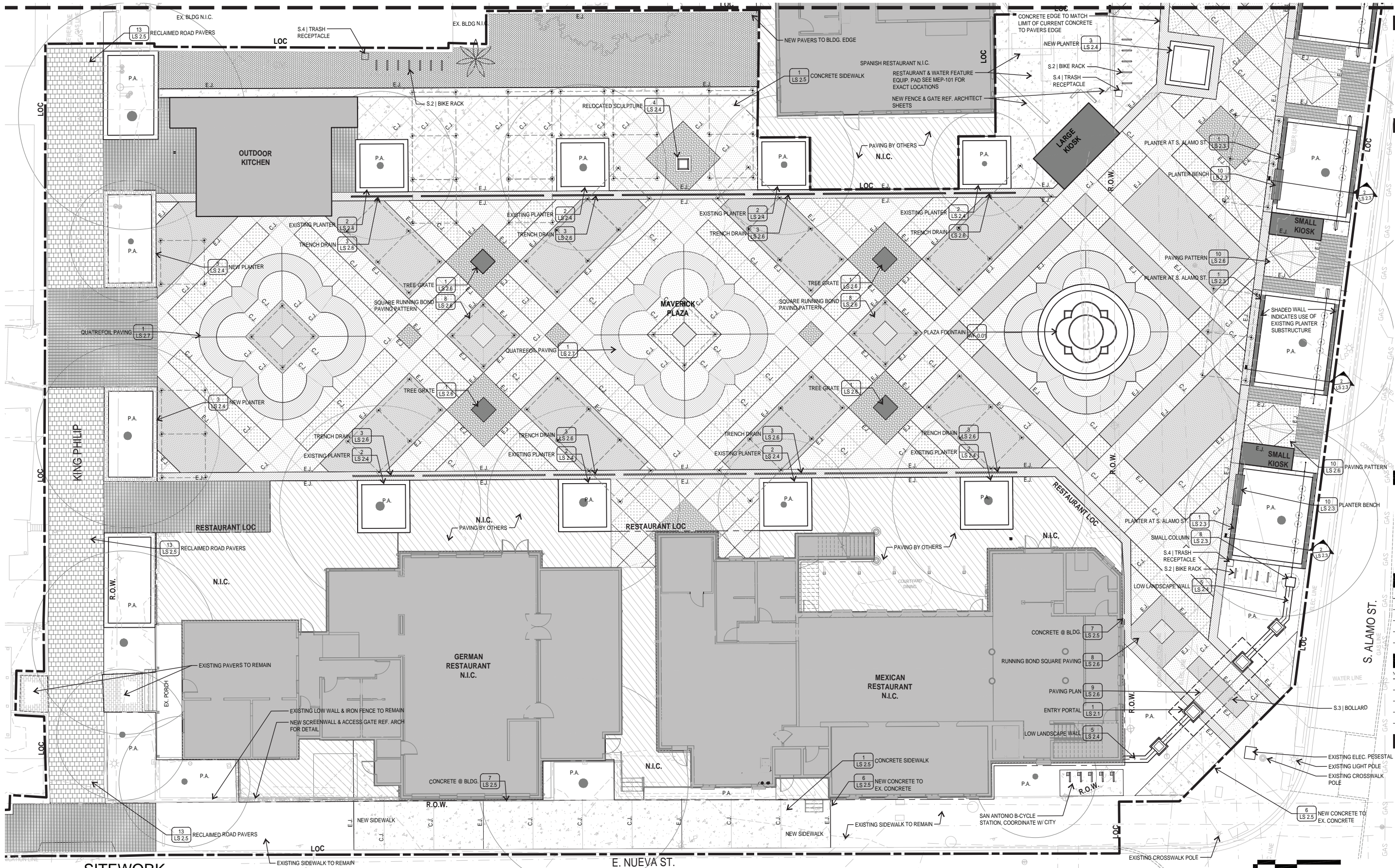
DEMO PLAN

SHEET NUMBER

LD 1.1

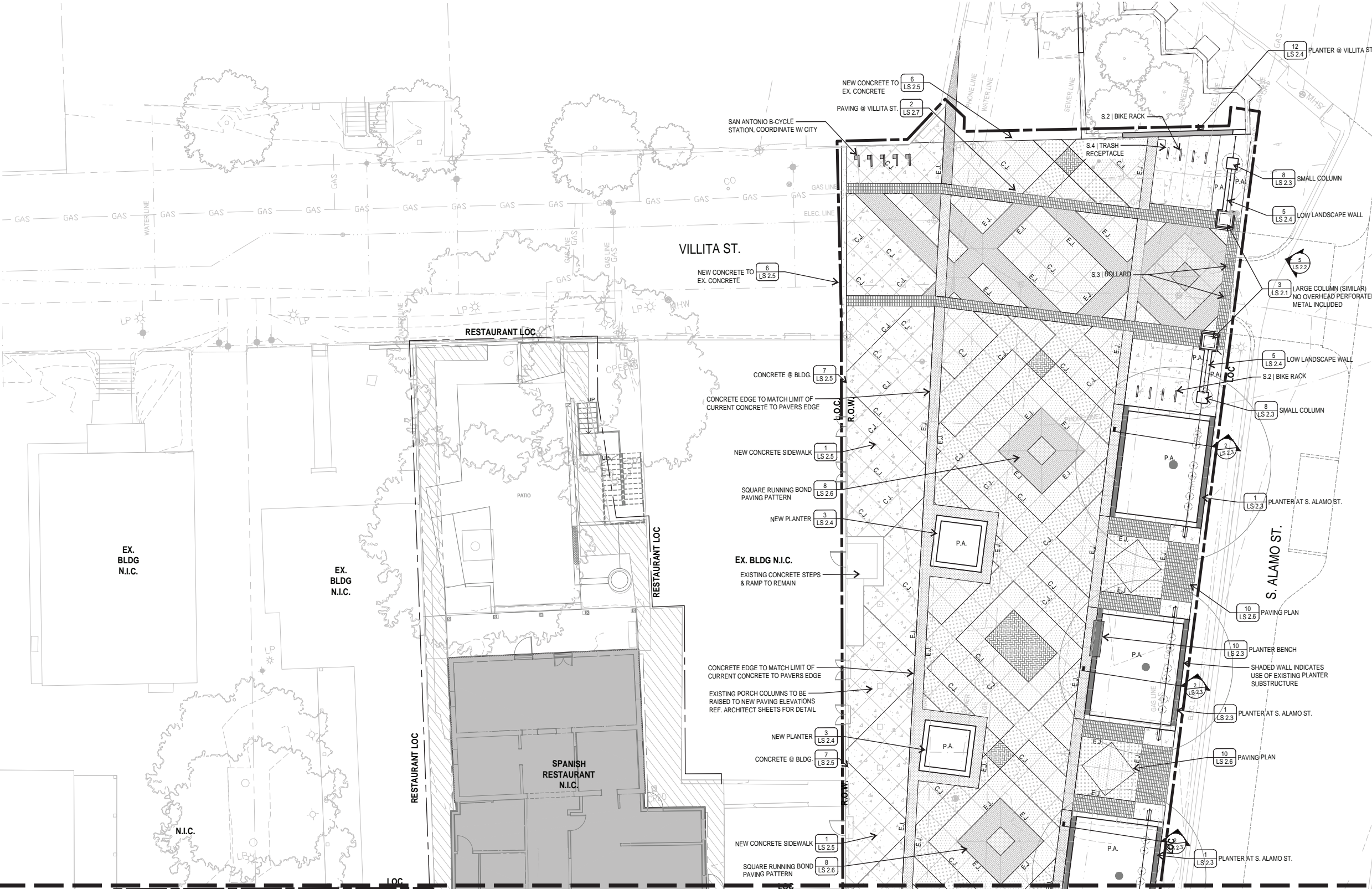
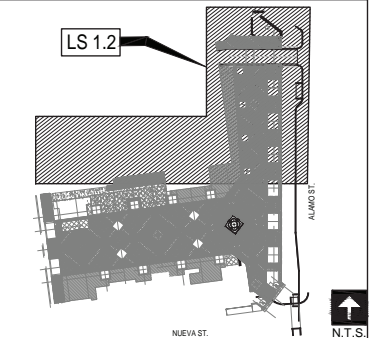
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MATCH LINE A; REF. 1/LS 1.2



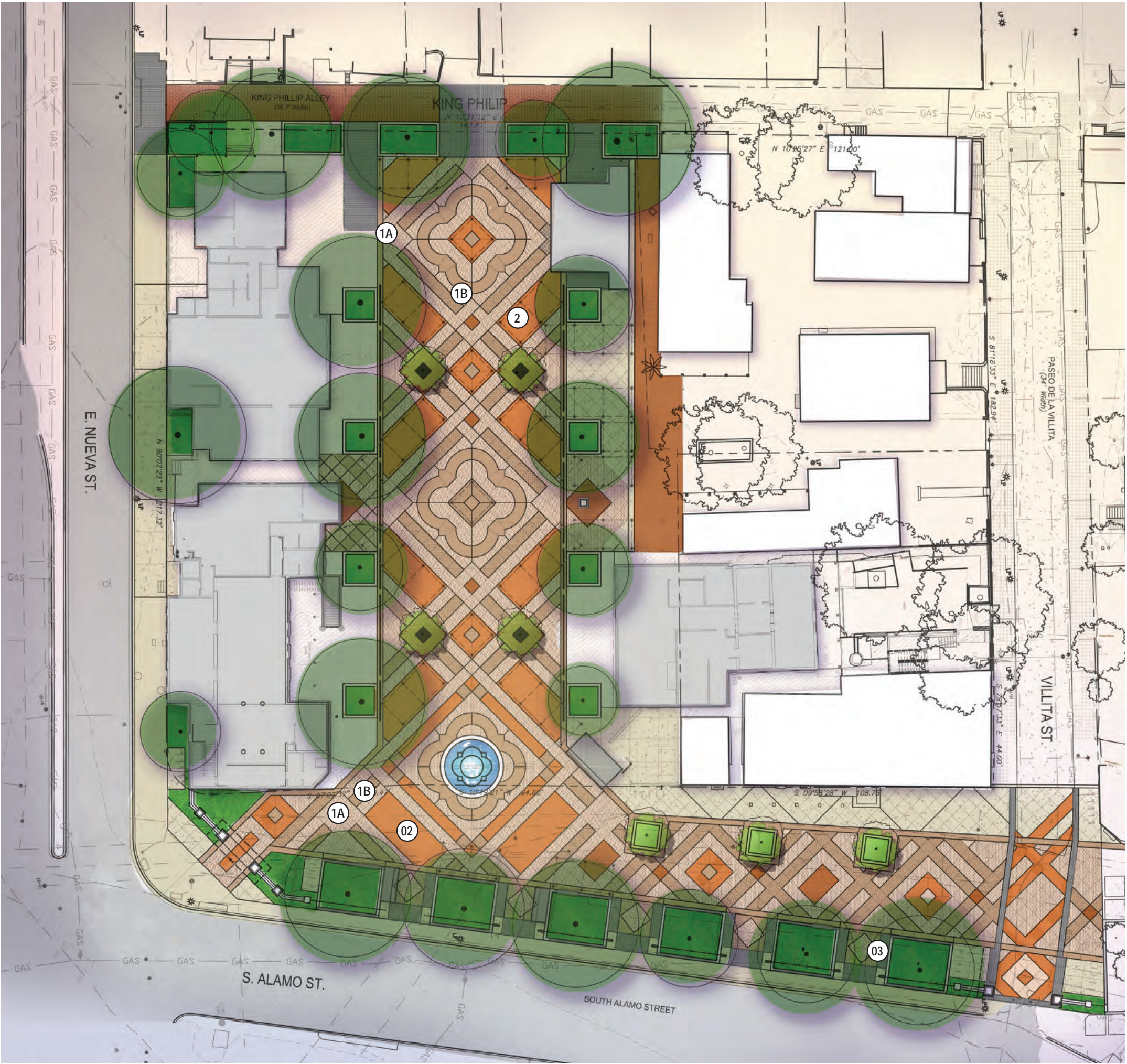
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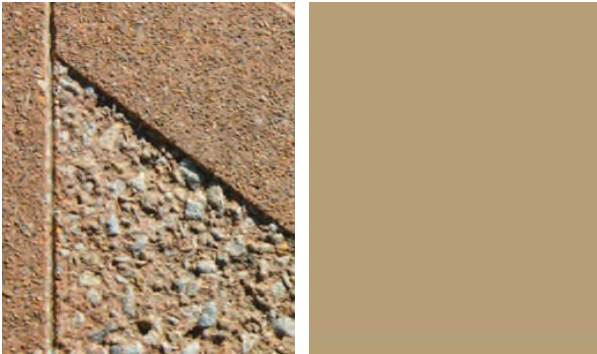


MATCH LINE A; REF. 1/LS 1.1

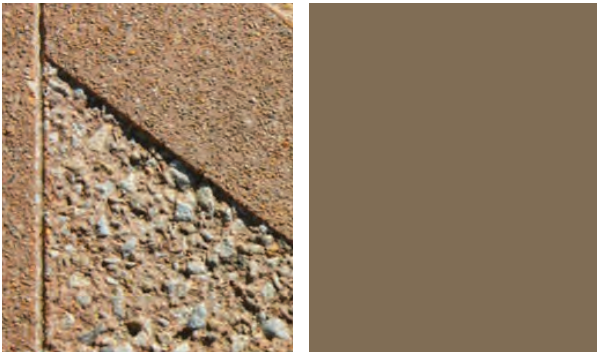
SCALE: 1"=10'



1A SPECIALTY CONCRETE
ACID WASH SANDBLASTED | THICKNESS PER CIVIL DETAILS
INTEGRAL COLOR: U20 SMOKE
CONTACT: CONSTRUCOLOR, 210.714.3488



1B SPECIALTY CONCRETE
ACID WASH SANDBLASTED | THICKNESS PER CIVIL DETAILS
INTEGRAL COLOR: U11 AUTUMN OAK
CONTACT: CONSTRUCOLOR, 210.714.3488



02 D'HANIS PAVERS
SIZE: 4'X8'X 2.25" | COLOR: TERRA COTTA | COMPANY:
D'HANIS BRICK & TILE 210.525.8142



03 RECLAIMED CONCRETE PAVERS
RECLAIMED CONCRETE PAVERS IN SELECT HIGHLIGHTED
AREAS TO INDICATE ARRIVALS AND SITE | PATTERN:
HERRINGBONE | COMPANY: COSA TCI



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SITE PLAN

SHEET NUMBER
LS 1.0



NOTE: • ALL NEW SITEWORK & TREE LIGHTING SHALL HAVE NO TRENCHING IN CRITICAL ROOT ZONE OF TREES WITHOUT CONSULTING CITY ARBORIST
• ALL UTILITY LINES (GAS, ELECTRIC, WATER, SEWER, COMMUNICATION, ETC.) TO AVOID IMPACTS/ TRENCHING TO TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT ZONES AND TREE CANOPIES WITHOUT CONSULTING CITY ARBORIST
• ALL BUILDING/CONSTRUCTION PLANS FOR ALL STRUCTURES (RESTAURANTS, OUTDOOR KITCHEN, KIOSKS, ETC.) TO AVOID IMPACTS/ TRENCHING TO TREES IDENTIFIED TO BE PRESERVED INCLUDING THEIR INDIVIDUAL TREE CRITICAL ROOT ZONES AND TREE CANOPIES WITHOUT CONSULTING CITY ARBORIST

TREE PRESERVATION

TREE PRESERVATION: (Tree Survey Method)		
TREES SURVEYED:		
SIGNIFICANT TREE:	340 TOTAL INCHES	
340 INCH. X 40% REQUIRED TO BE PRESERVED :	133 INCH. (40%)	
SIGNIFICANT TREE INCH. PRESERVED:	246 INCH. (72%)	
REQUIRED SIGNIFICANT MITIGATION:	0" REQUIRED MITIGATION	
HERITAGE TREE:	50 TOTAL INCHES	
50 INCH. X 100% REQUIRED TO BE PRESERVED :	50 INCH.	
HERITAGE TREE INCH. PRESERVED:	50 INCH. (100%)	
REQUIRED HERITAGE MITIGATION:	0" REQUIRED MITIGATION	
TOTAL REQUIRED MITIGATION ON SITE:	0" REQUIRED MITIGATION	
PALM TREE:		
6 LARGE PALM TREES ON SITE: 0 TO BE PRESERVED +	9" REQUIRED MITIGATION	

-  PRESERVED TREES
-  REMOVED TREES

TREE PRESERVATION OUTSIDE R.O.W.

TREE PRESERVATION: (Tree Survey Method)		
MITIGATION CALCULATIONS		
SIGNIFICANT TREE:	110 TOTAL INCHES	
SIGNIFICANT TREE INCH. REMOVED:	5 INCH.	
TOTAL REQUIRED MITIGATION ON SITE:	5" REQUIRED MITIGATION	
COMPLYING MITIGATION CALCULATIONS		
REQUIRED MITIGATION: 5" - 24" MITIGATION PROVIDED +	0" REMAINING	
REFERENCE SHEET LP 2.1 FOR PROPOSED MITIGATION INCH CALCULATIONS AND TREE TYPES		

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TREE PRESERVATION
PLAN

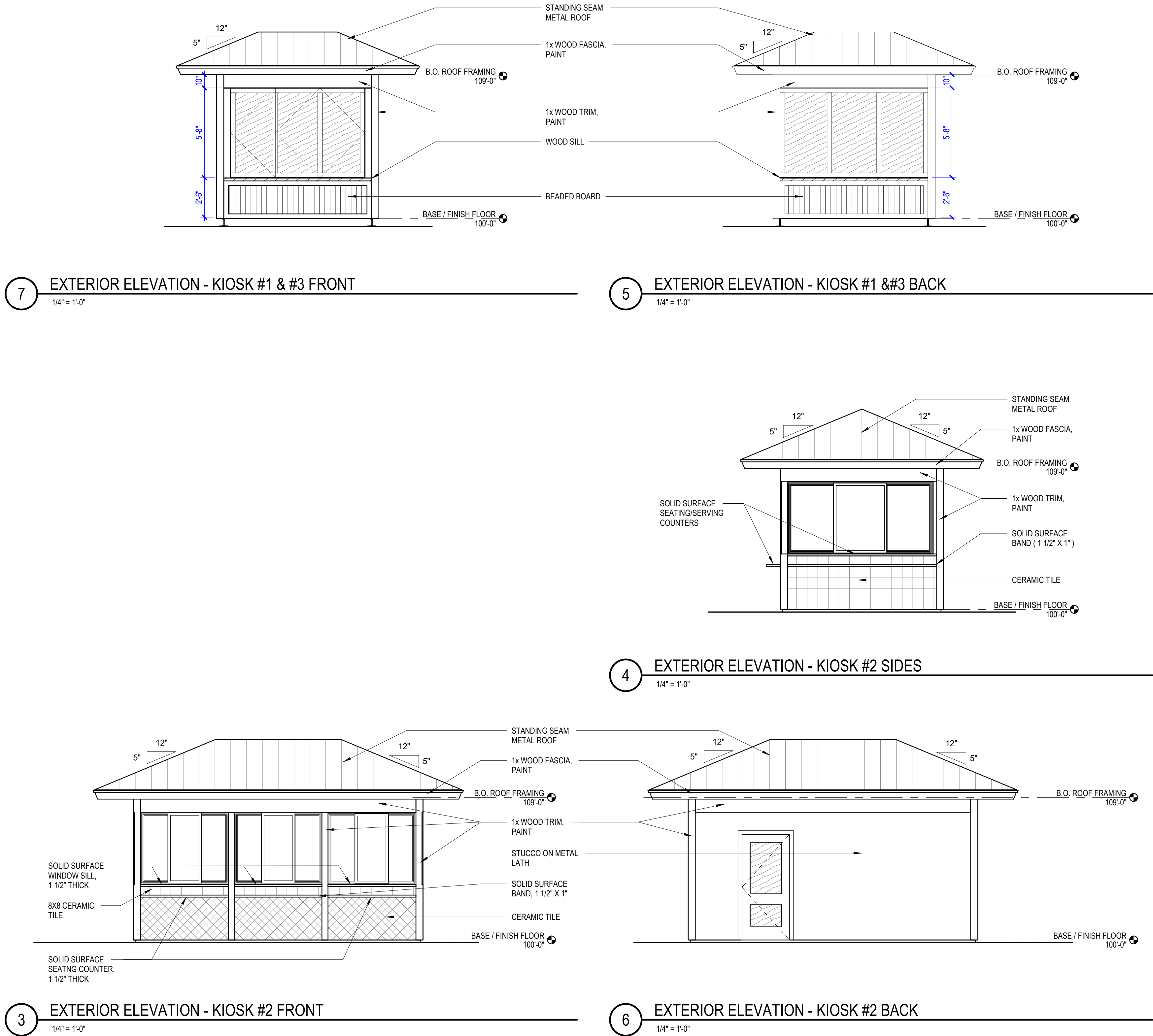
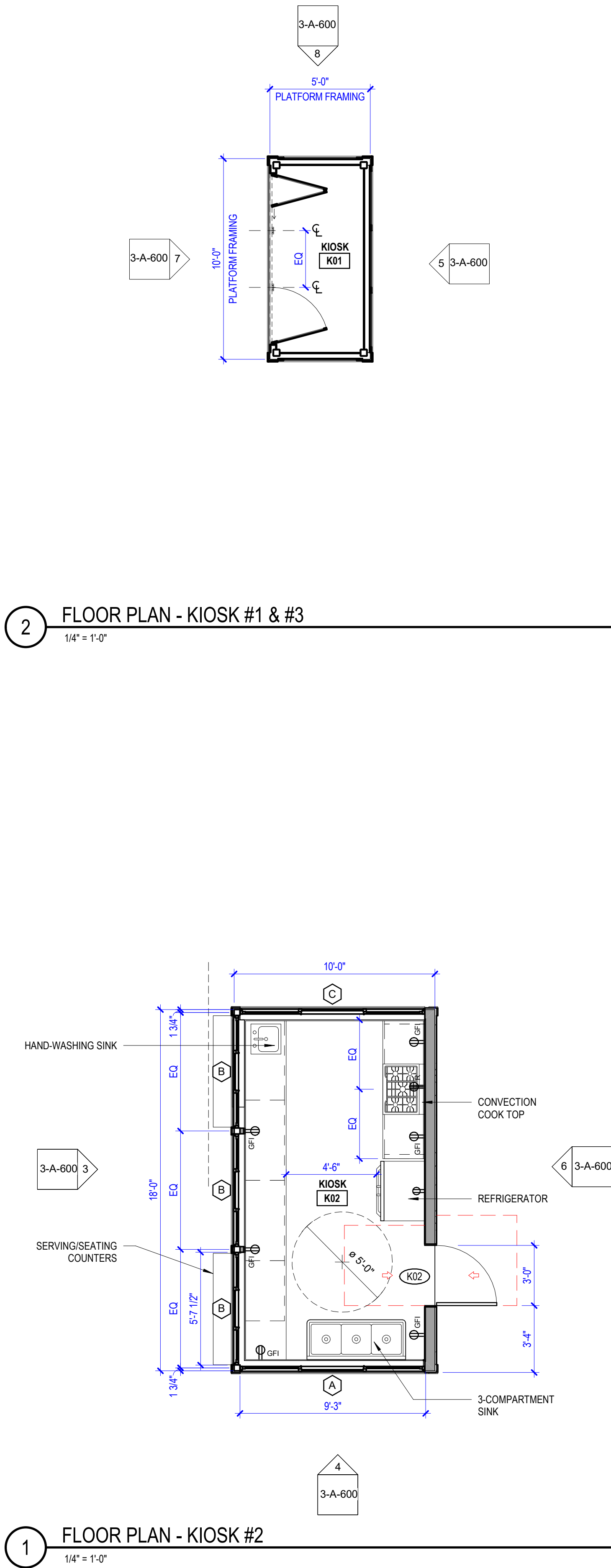
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TP 1.1



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7/15/2020 10:09:41 AM



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FISHER HECK, INC., ARCHITECTS
MARK B. NAVARRO #25326

6/17/2020

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114 W. COMMERCE, 6TH FLOOR
SAN ANTONIO, TX 78205

SUBCONSULTANT

Fisher Heck
ARCHITECTS

915 SOUTH ST MARY'S STREET
SAN ANTONIO, TEXAS
FISHERHECK.COM
210-290-1500

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SHEET INFORMATION

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1827 A1

DATE ISSUED

JUNE 17, 2020

SHEET NAME

HDRC ELEVATIONS

SHEET NUMBER

3-A-600

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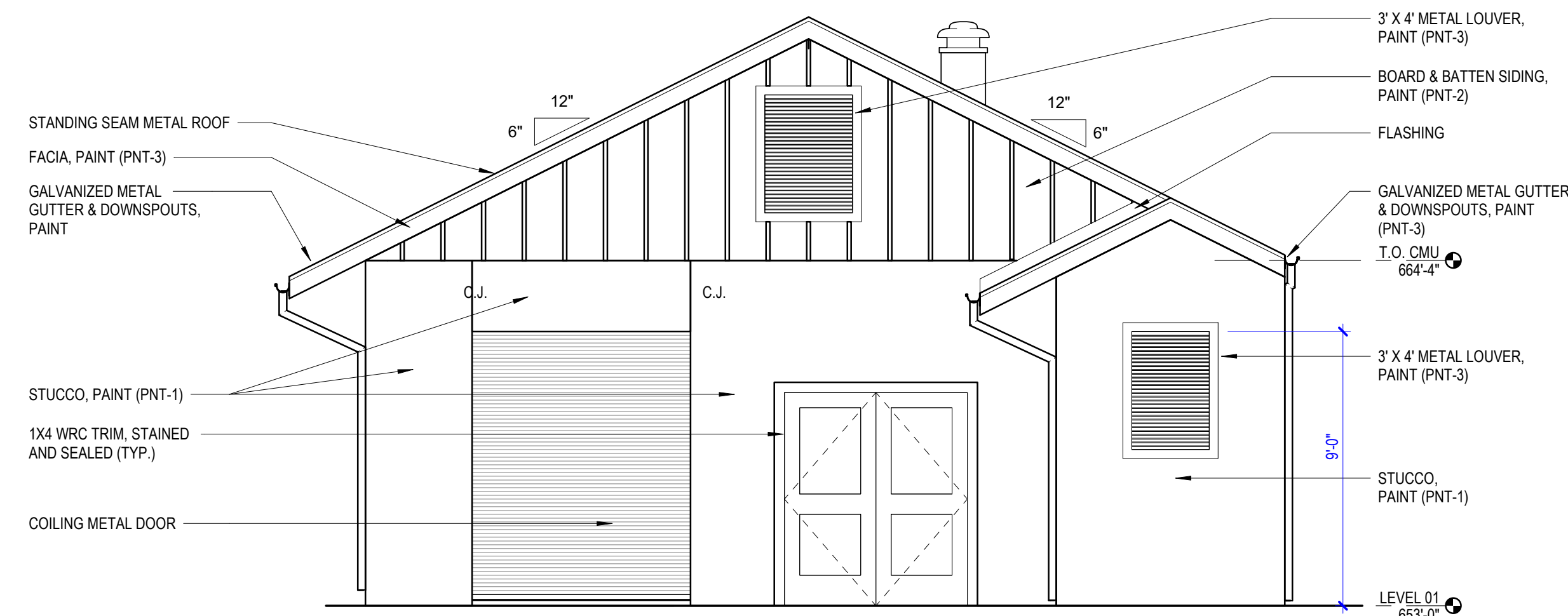
JUNE 17, 2020

SHEET NAME

HDRC ELEVATIONS

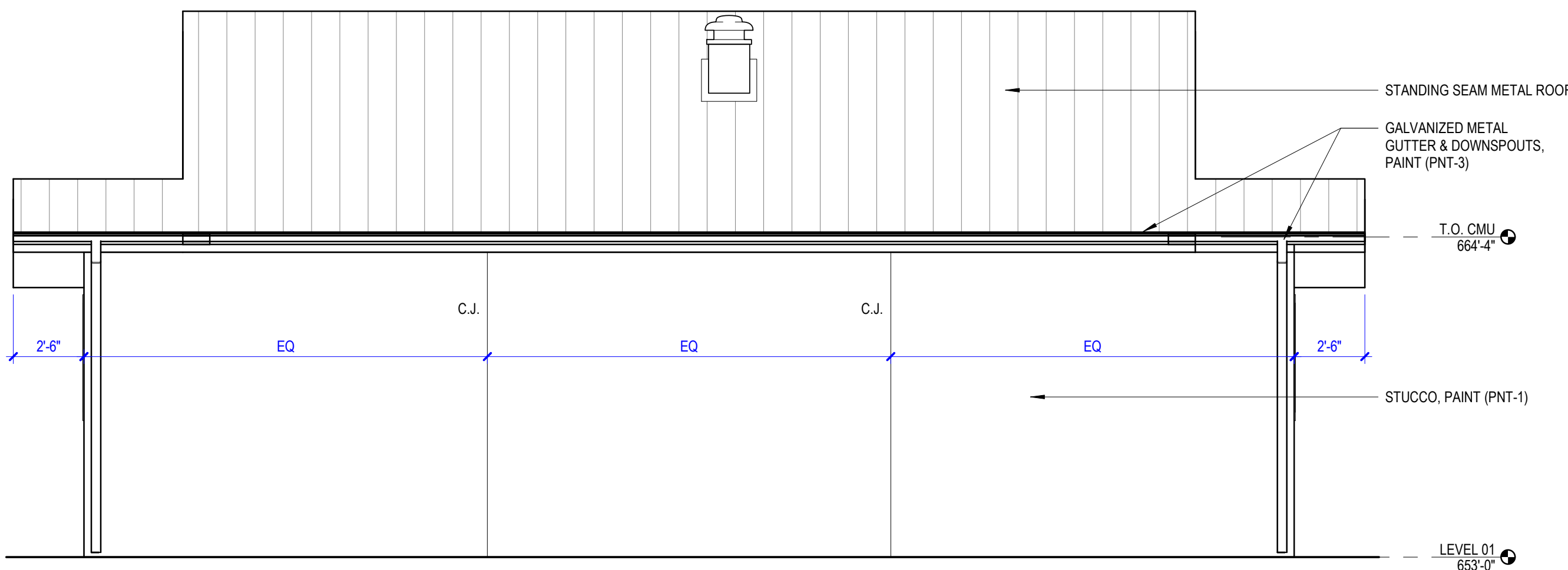
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2-A-601



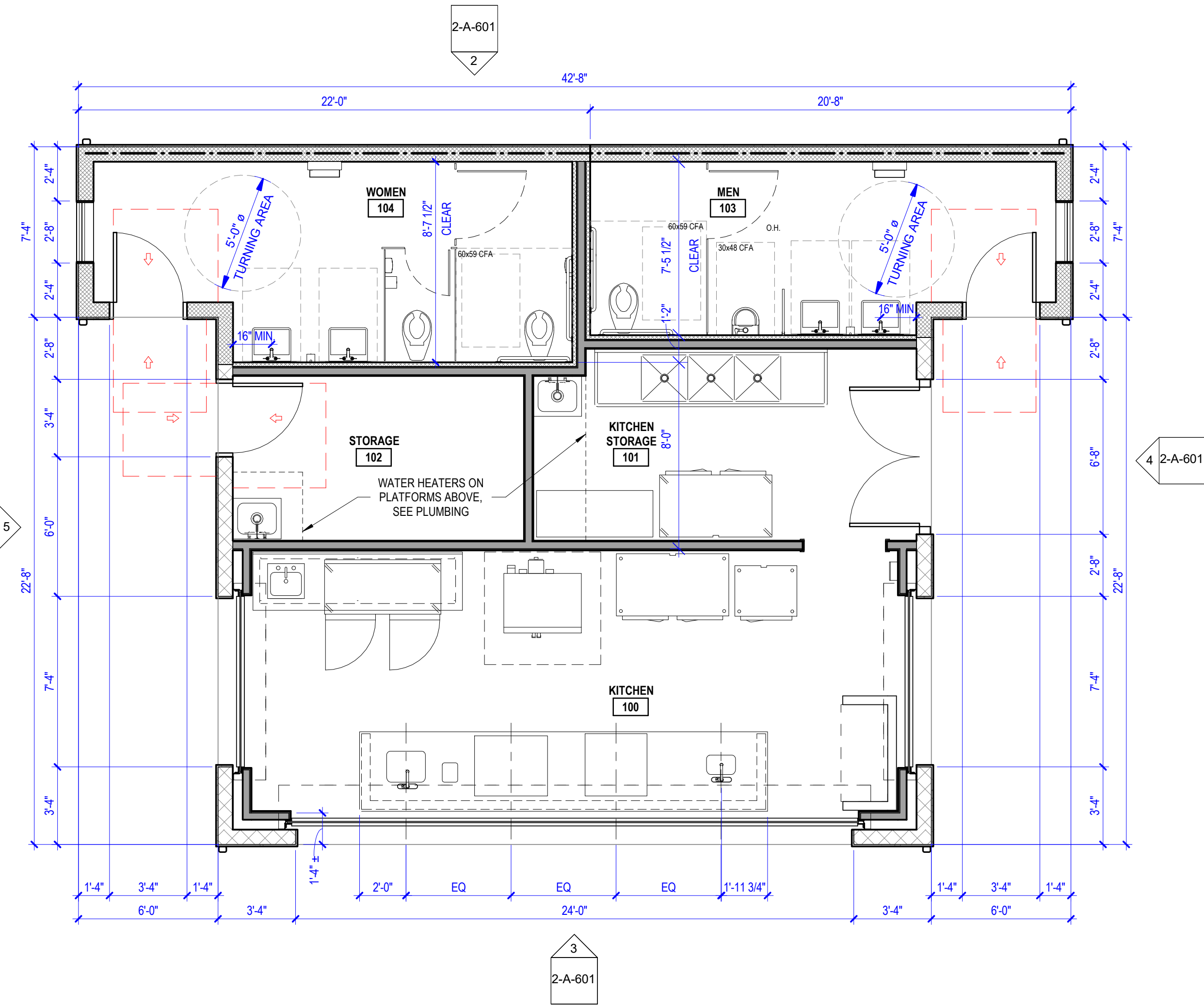
4 EXTERIOR ELEVATION - EAST

1/4" = 1'-0"



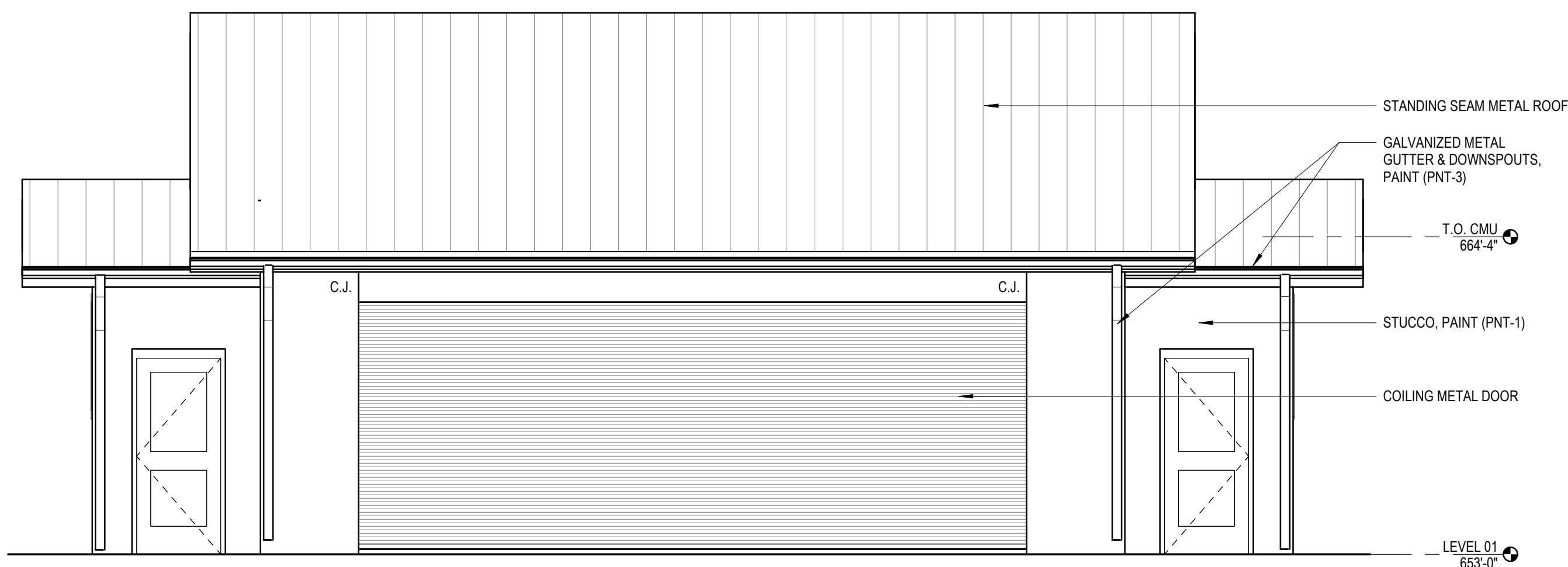
2 EXTERIOR ELEVATION - NORTH

1/4" = 1'-0"



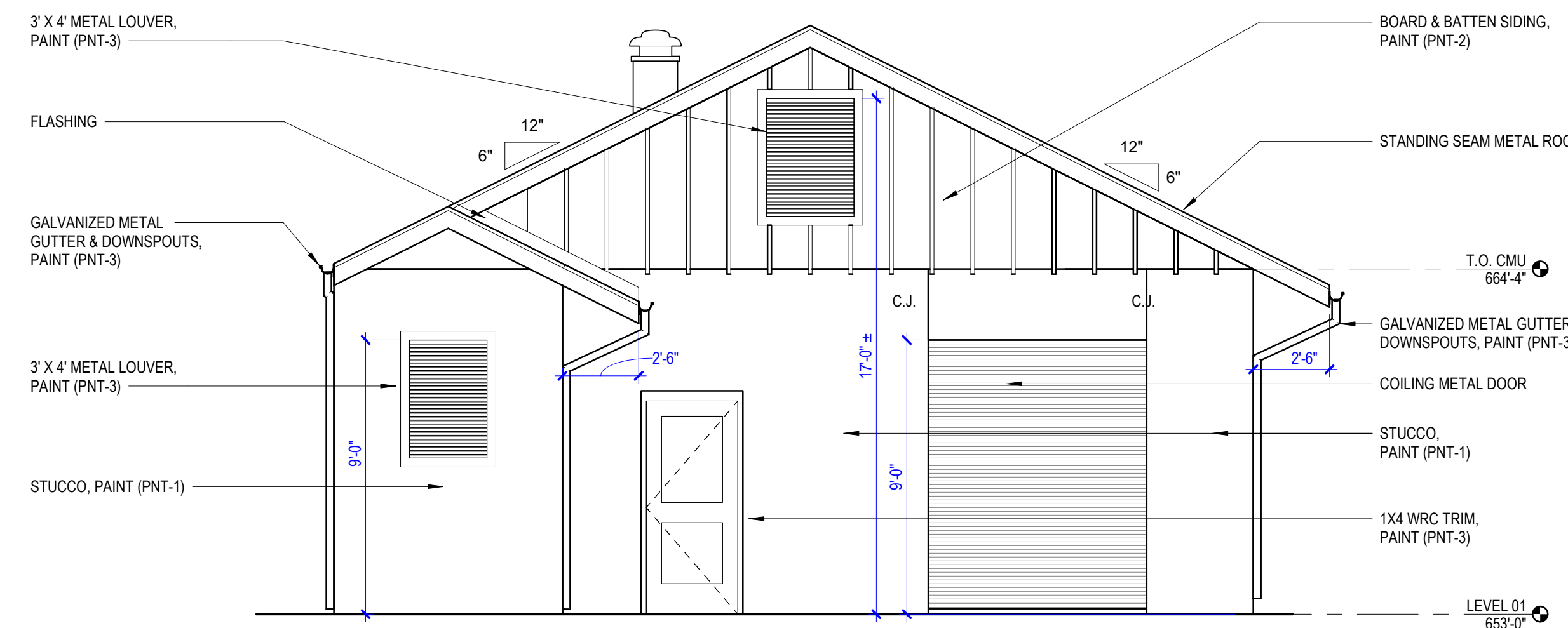
1 FLOOR PLAN

1/4" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH

1/4" = 1'-0"



5 EXTERIOR ELEVATION - WEST

1/4" = 1'-0"

GENERAL NOTES

- A. REMOVE AND DISCARD EXISTING AIR CONDITIONING AND HEATING EQUIPMENT
- B. DO NOT REMOVE ANY DOORS OR WINDOWS NOT NOTED FOR REMOVAL
- C. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM
- D. REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES
- E. REMOVE AND DISPOSE OF ALL ELECTRICAL EQUIPMENT INCLUDING CONDUITS AND LOOSE WIRING
- F. CAP CHILLED WATER LINES AT THE EXTERIOR OF THE BUILDING. REMOVE ALL CHILLED WATER LINES WITHIN THE STRUCTURE
- G. REMOVE EXISTING LADDER TO ATTIC

DEMOLITION KEYNOTES

- 1 REMOVE SIX LATTICE PANELS BETWEEN COLUMNS WITHOUT DAMAGE TO ADJACENT CONSTRUCTION
- 2 REMOVE SUSPENDED ACOUSTICAL CEILING SYSTEM
- 3 REMOVE EXISTING GYP. BRD. AND WOOD FRAMED PARTITIONS
- 6 REMOVE INTACT AND SALVAGE WINDOWS FOR REUSE
- 8 CAREFULLY REMOVE T&G PINE FLOOR BOARDS AND SALVAGE FOR REUSE. REMOVE AND DISCARD ALL TILE FLOORING, CARPET, AND ANY PLYWOOD FLOOR DECK
- 9 WOOD WAINSCOT TO REMAIN AT ALL LOCATIONS
- 10 WOOD TRIM AT MASONRY WALL TO REMAIN
- 11 REMOVE CANOPY AND CONCRETE STOOP
- 12 REMOVE HOLLOW METAL DOOR FRAME

DEMOLITION KEYNOTES

- 4" BRICK WALL (TO REMAIN)
- 12" CALICHE BLOCK (TO REMAIN)
- EXISTING PARTITION TO BE DEMOLISHED



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MARK B. NAVARRO #25326

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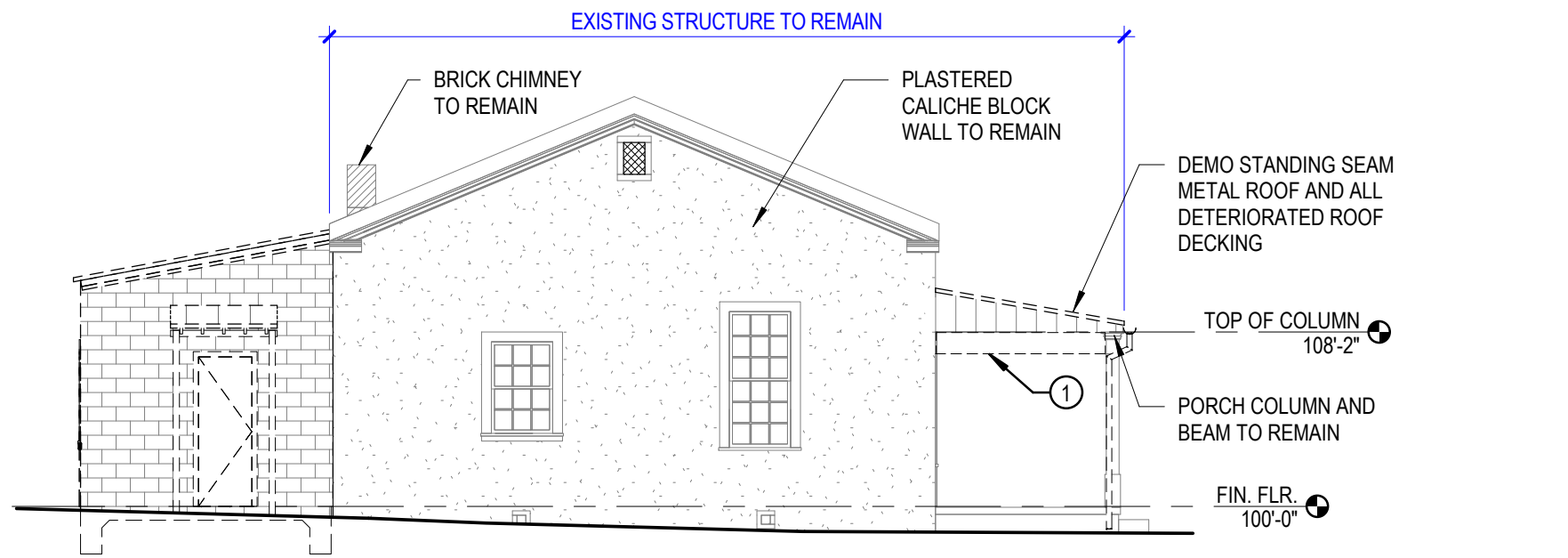
JUNE 17, 2020

SHEET NAME

DEMOLITION PLANS &
ELEVATIONS

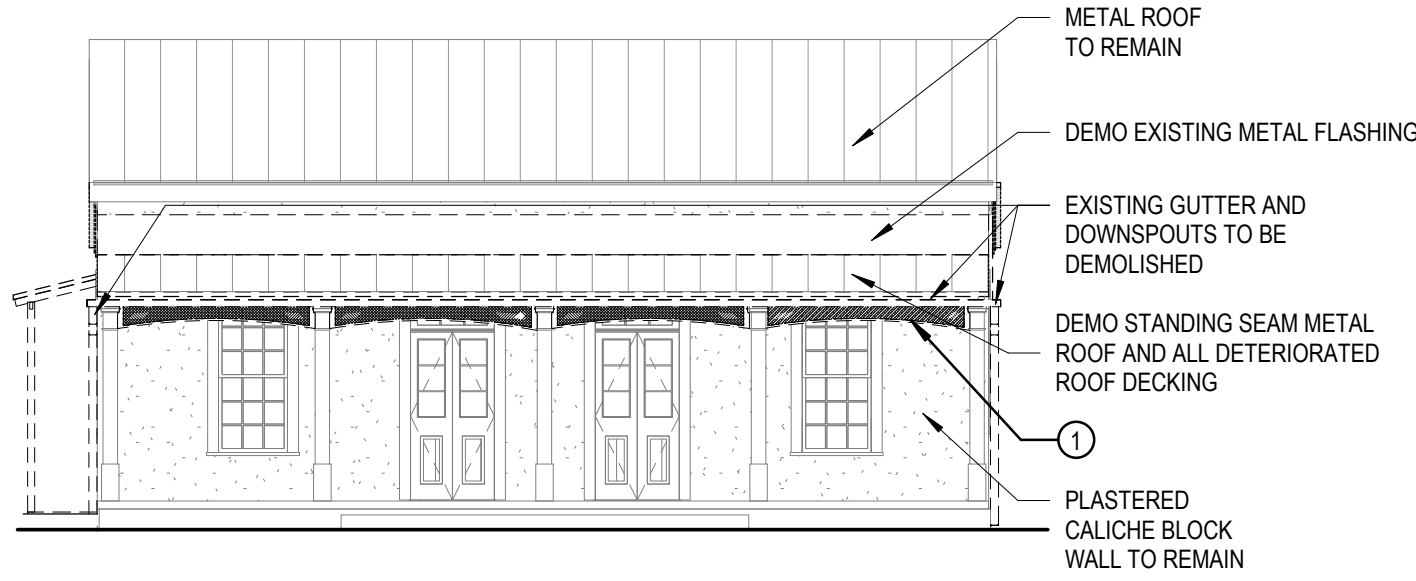
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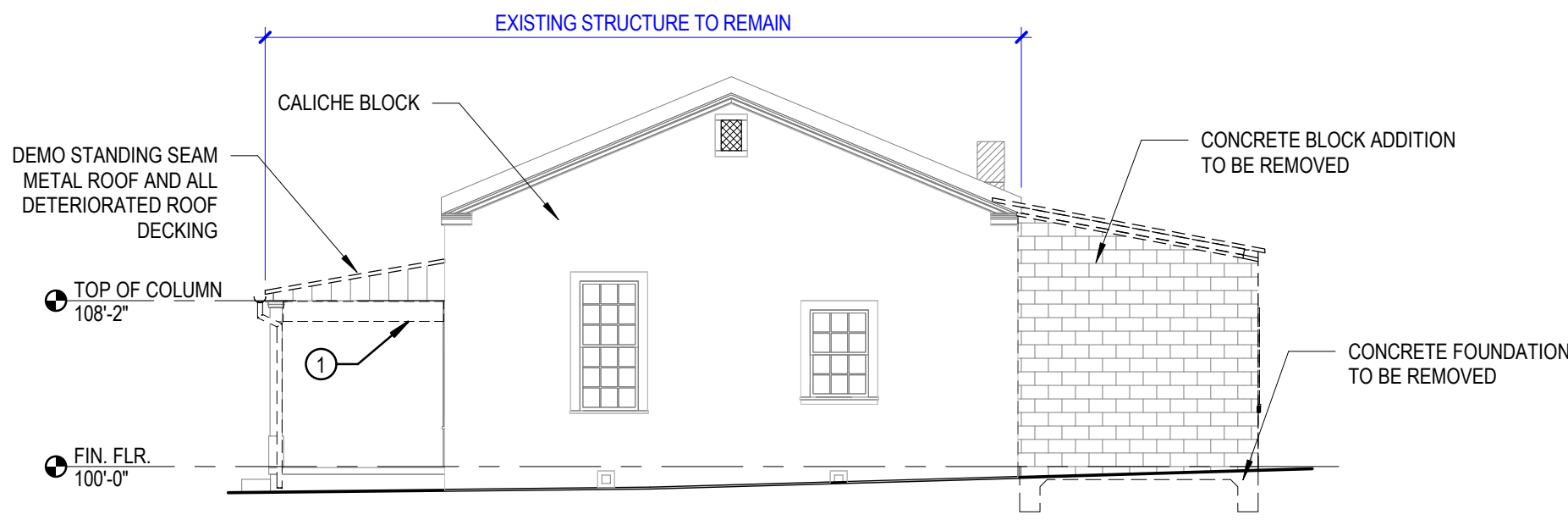
B1 EAST ELEVATION - DEMOLITION

1/8" = 1'-0"



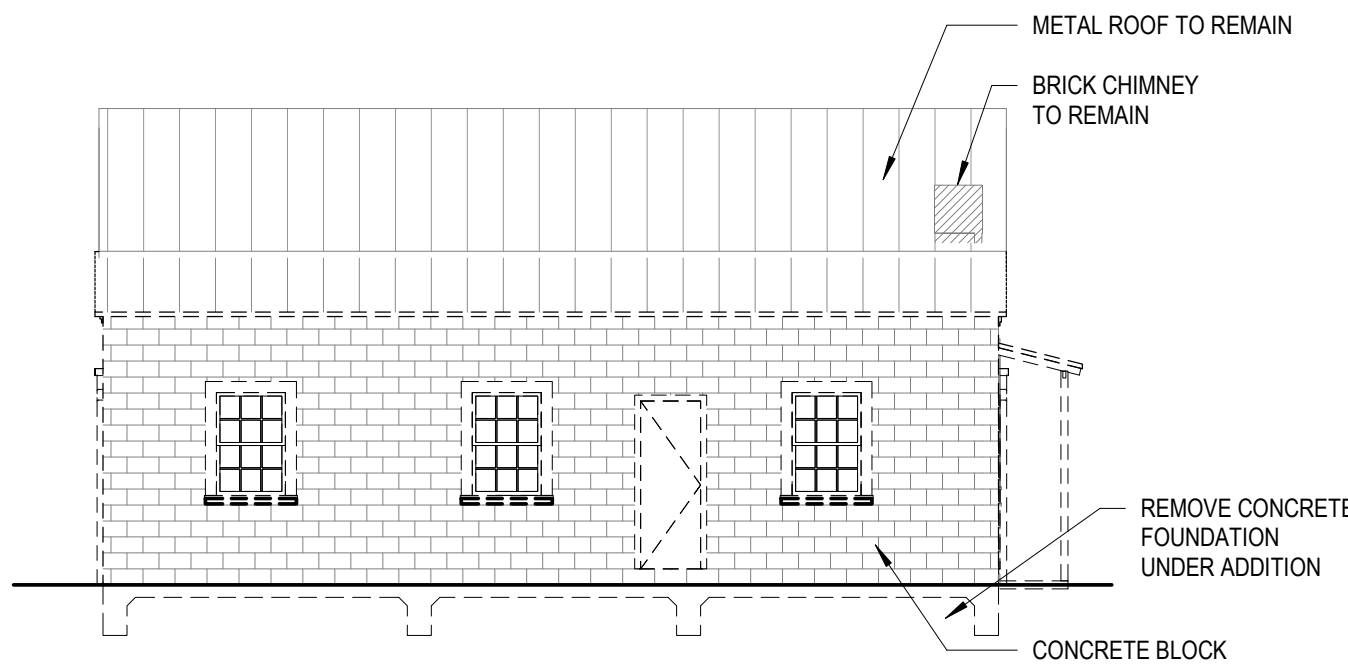
B3 NORTH ELEVATION - DEMOLITION

1/8" = 1'-0"



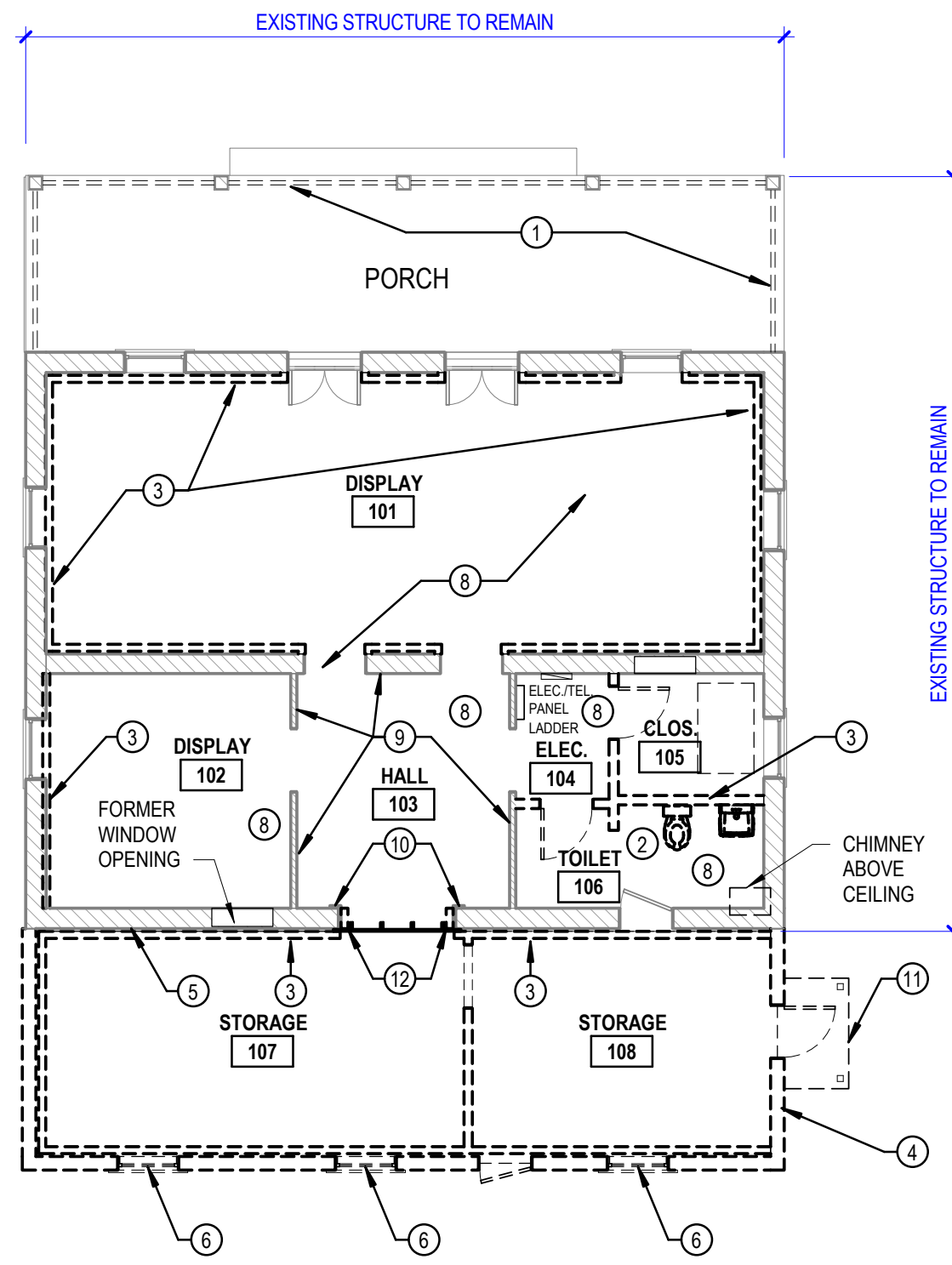
C1 WEST ELEVATION - DEMOLITION

1/8" = 1'-0"



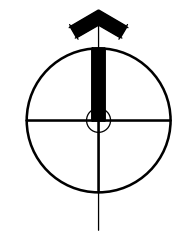
C3 SOUTH ELEVATION - DEMOLITION

1/8" = 1'-0"



C5 DEMOLITION FLOOR PLAN

1/8" = 1'-0"



1 NORTH ELEVATION



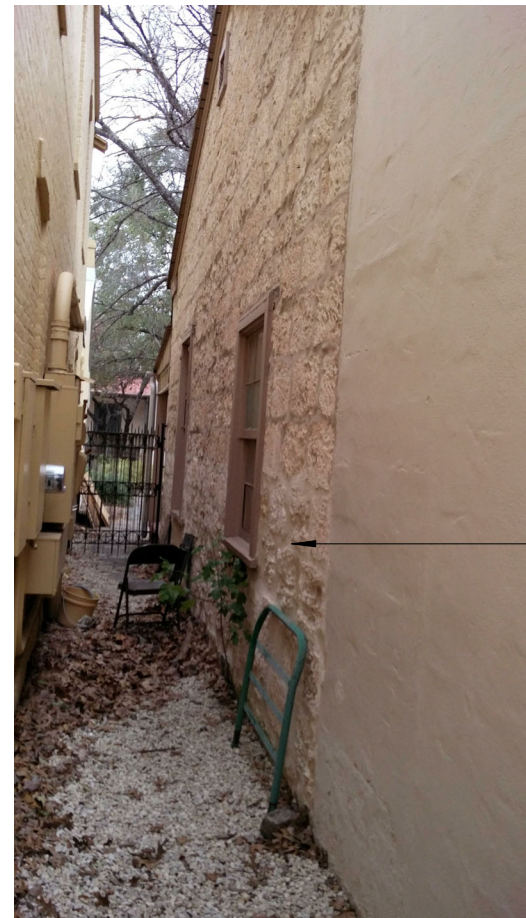
2 BUILDING ADDITION - EAST

3/8" = 1'-0"



3 SOUTH ELEVATION

3/8" = 1'-0"



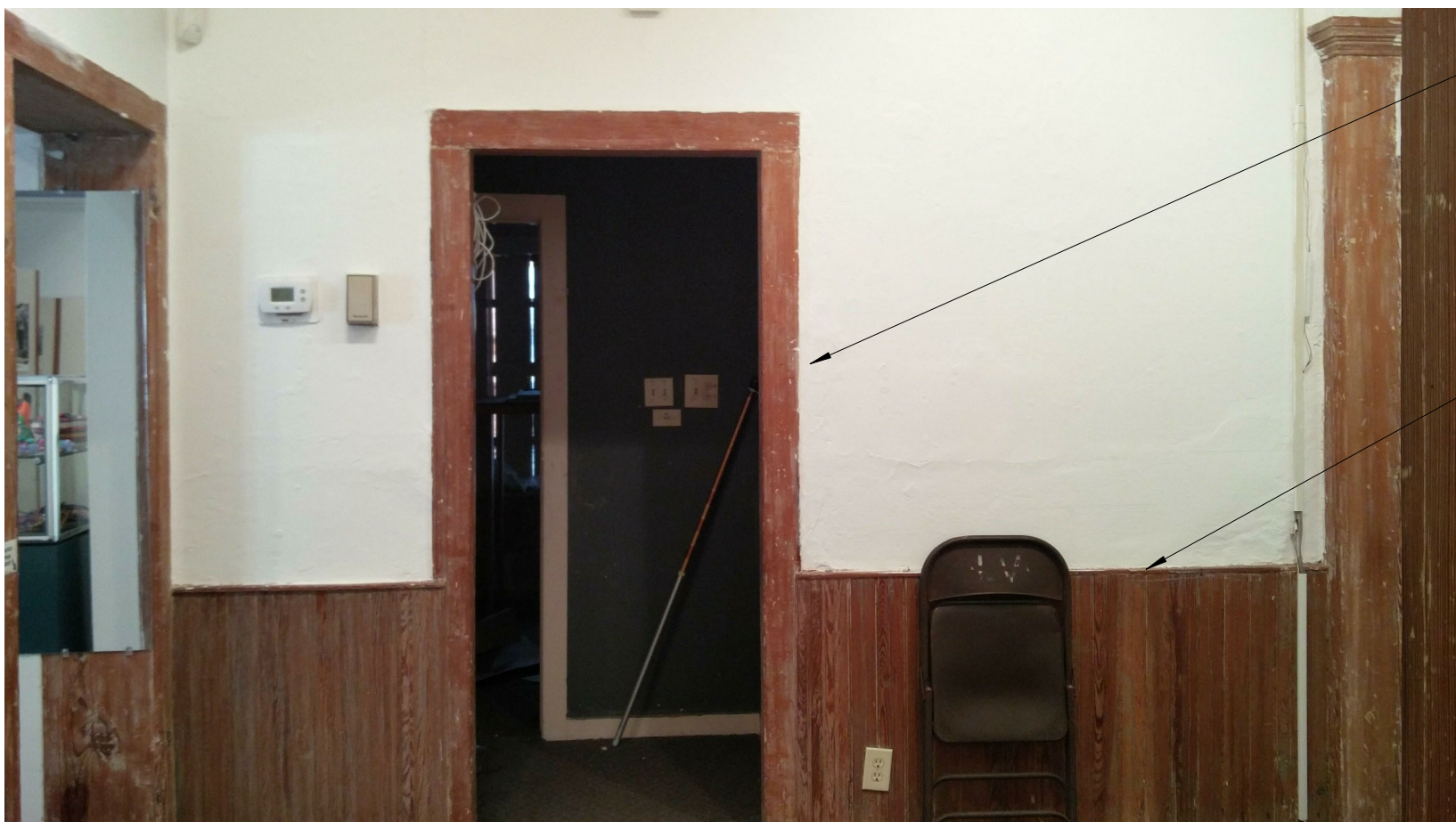
4 WEST ELEVATION

3/8" = 1'-0"



5 SOUTH ELEVATION - FROM PLAZA

3/8" = 1'-0"



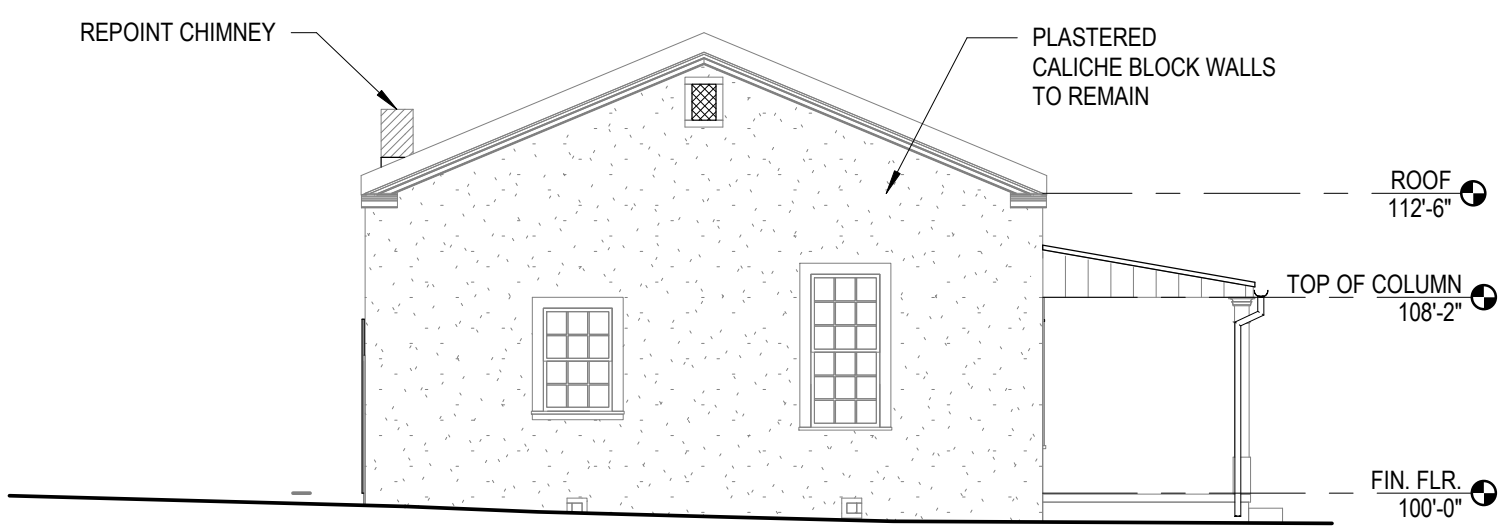
6 HALL 103 LOOKING EAST

3/8" = 1'-0"



7 EAST ELEVATION

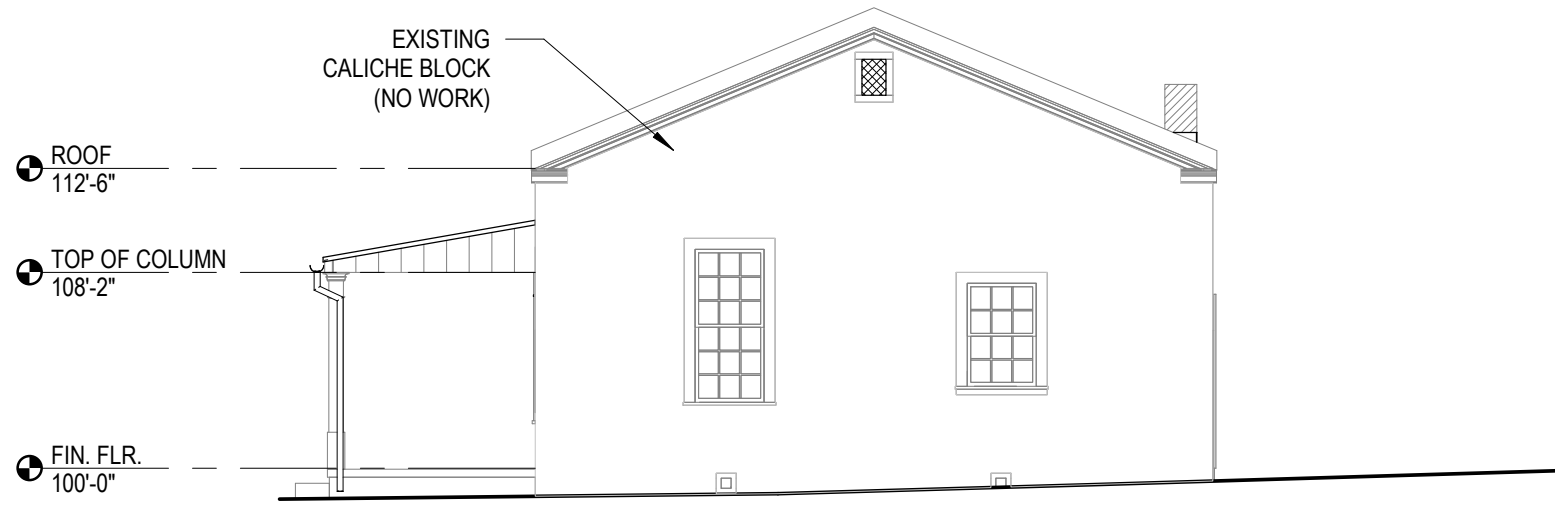
3/8" = 1'-0"



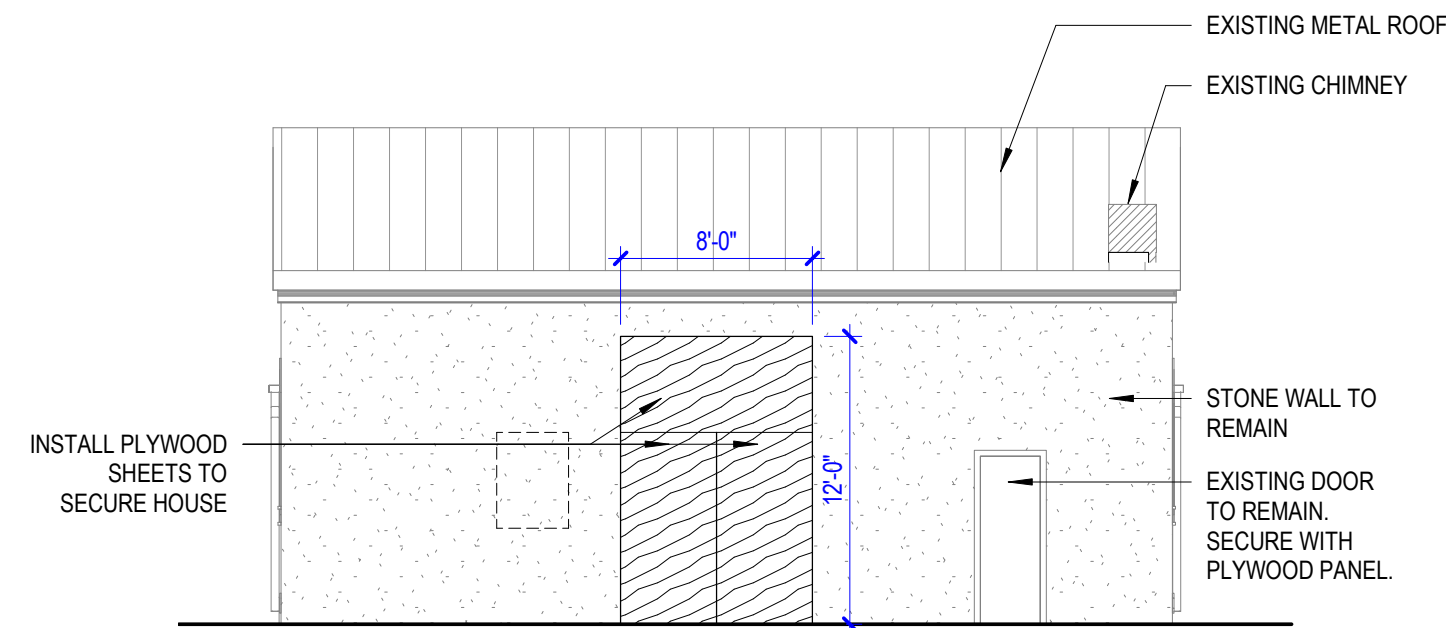
B1 EAST ELEVATION
1/8" = 1'-0"



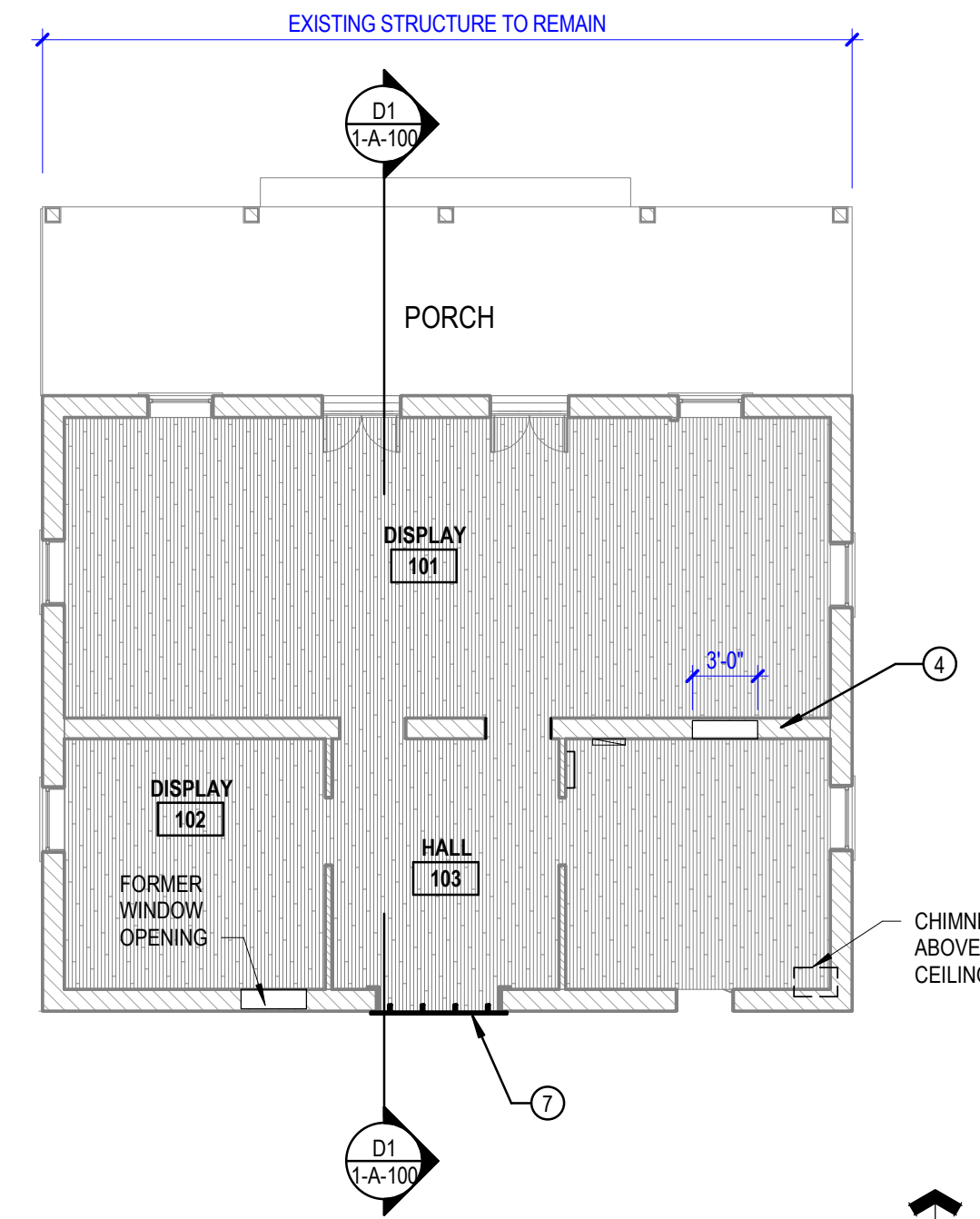
B3 NORTH ELEVATION
1/8" = 1'-0"



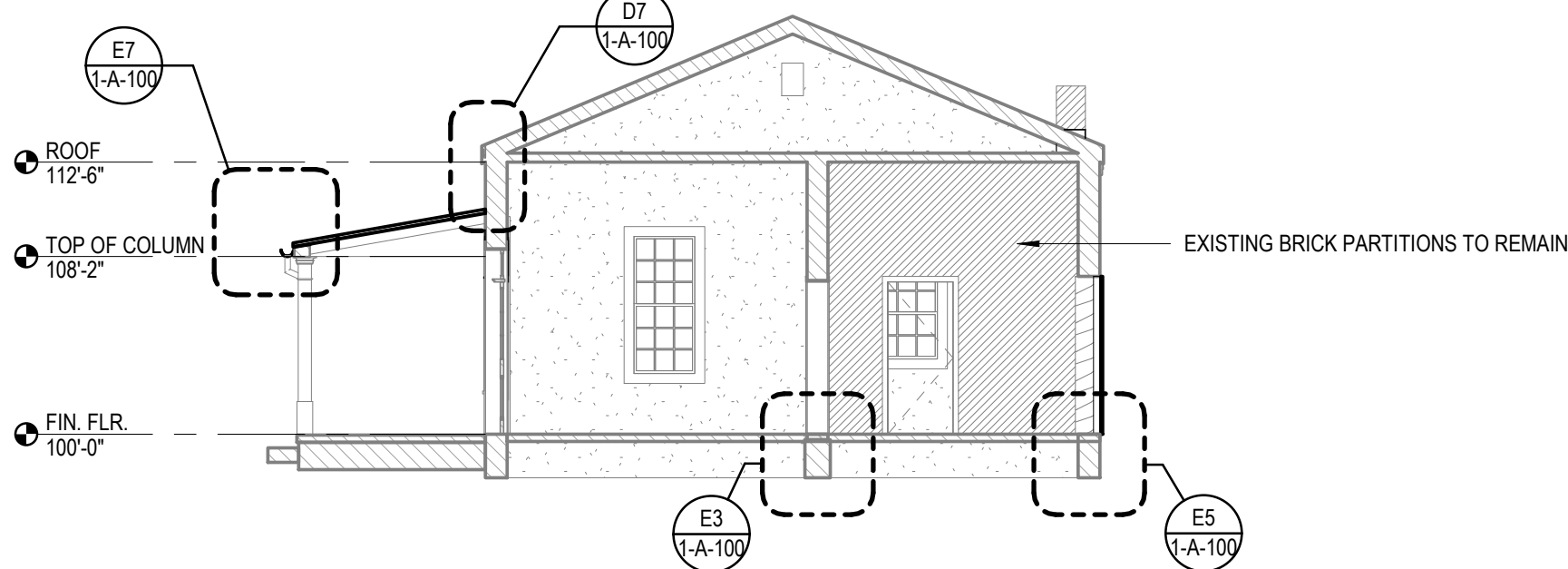
C1 WEST ELEVATION
1/8" = 1'-0"



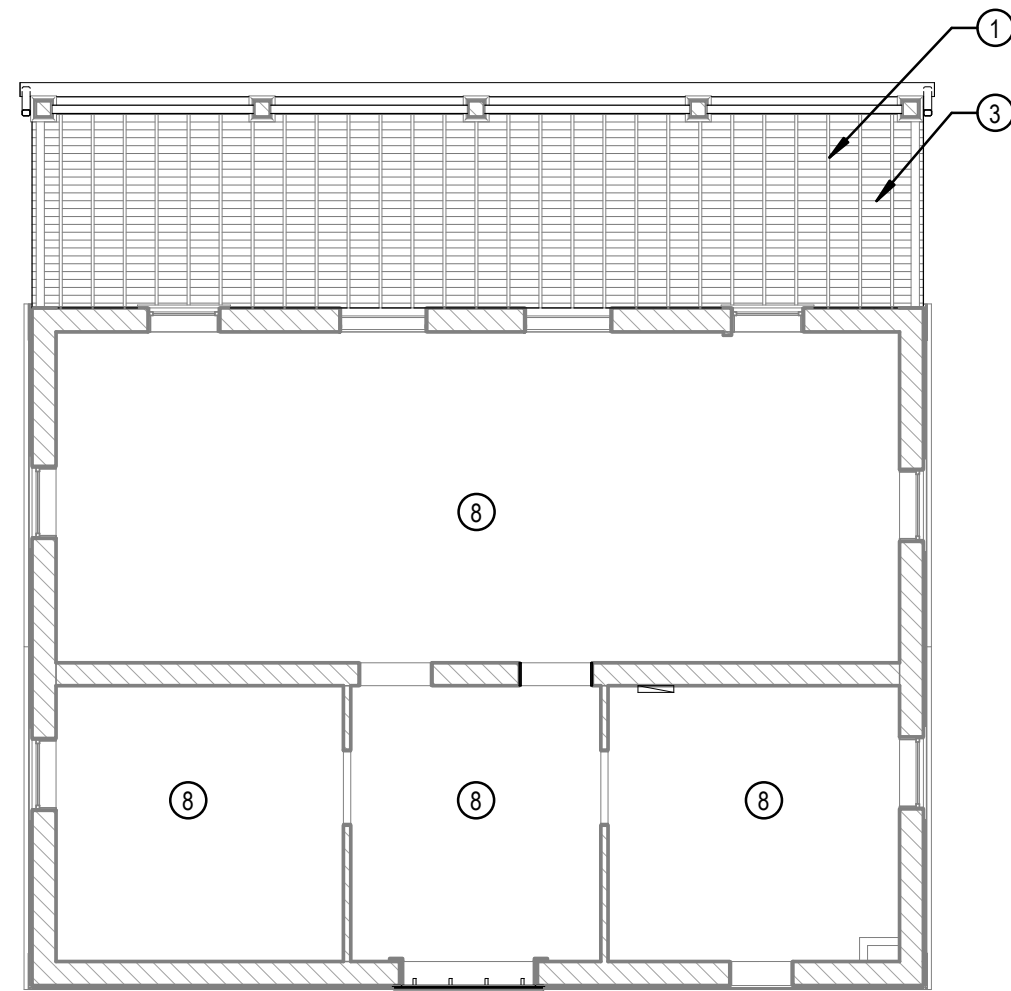
C3 SOUTH ELEVATION
1/8" = 1'-0"



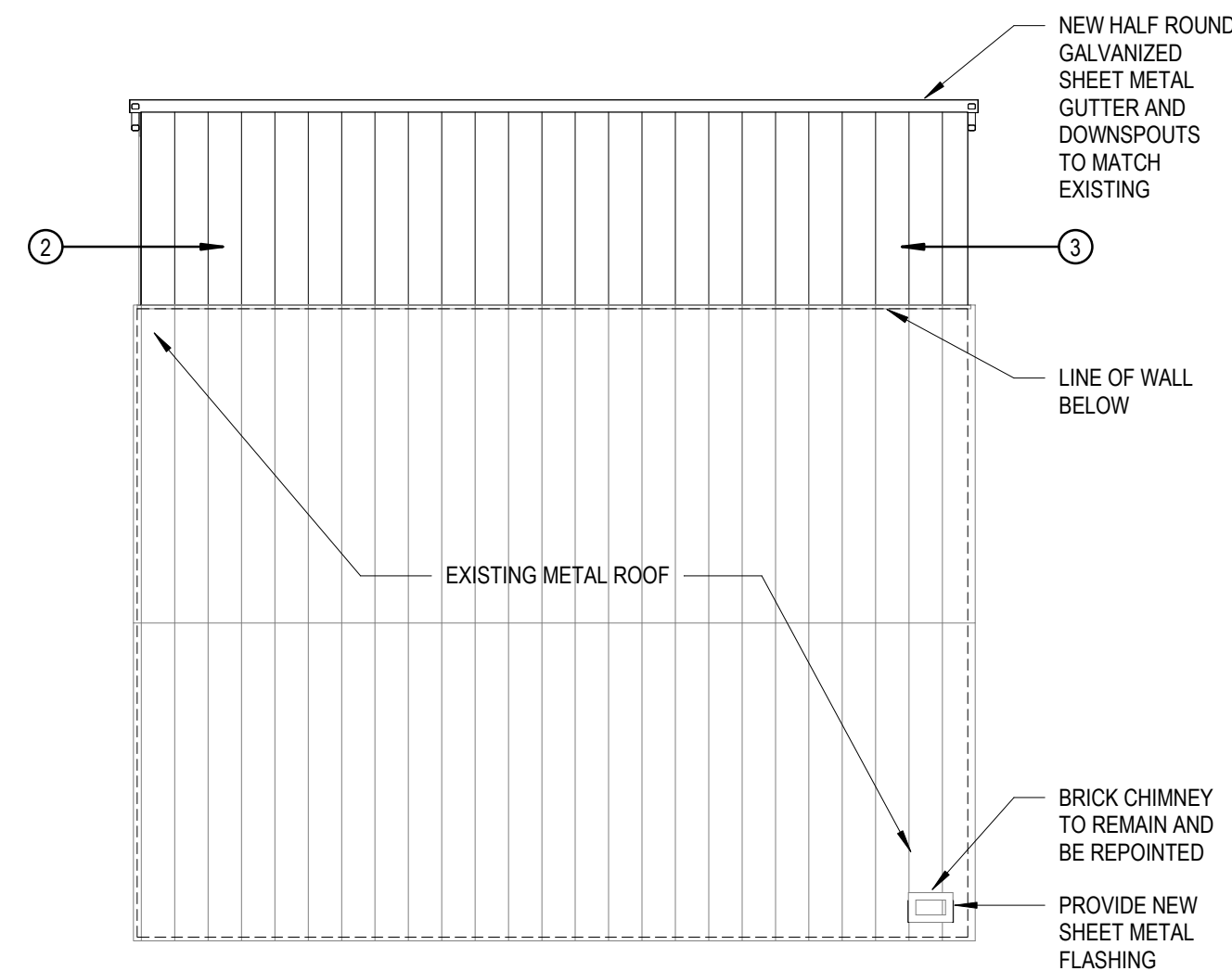
C5 STABILIZATION FLOOR PLAN
1/8" = 1'-0"



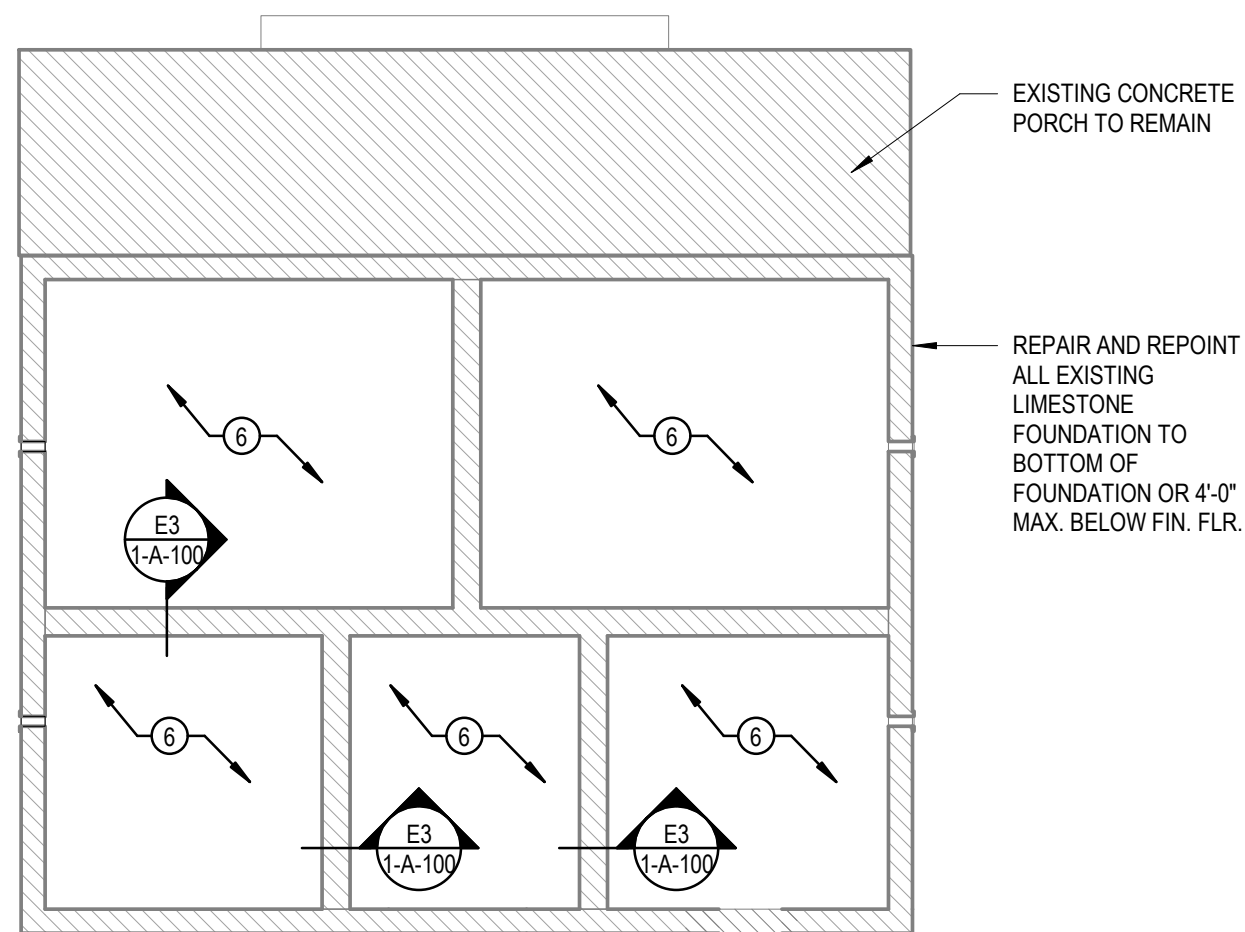
D1 BUILDING SECTION
1/8" = 1'-0"



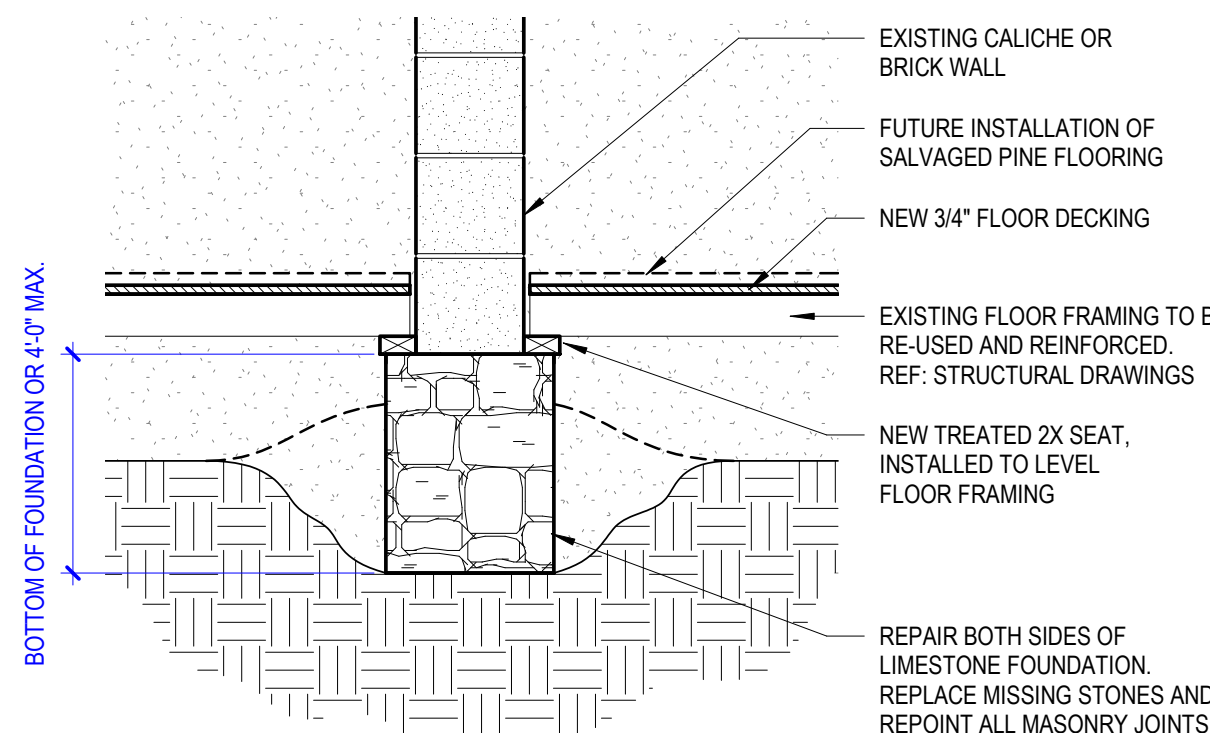
D3 REFLECTED CEILING PLAN
1/8" = 1'-0"



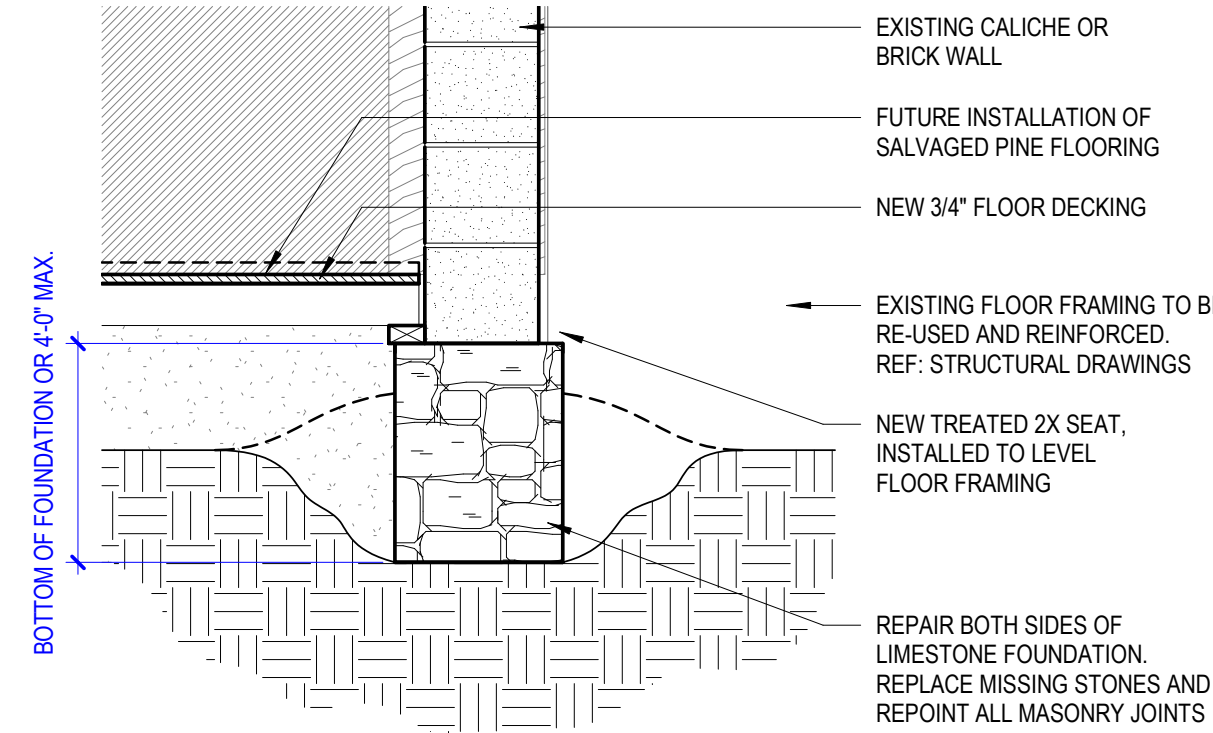
D5 ROOF PLAN
1/8" = 1'-0"



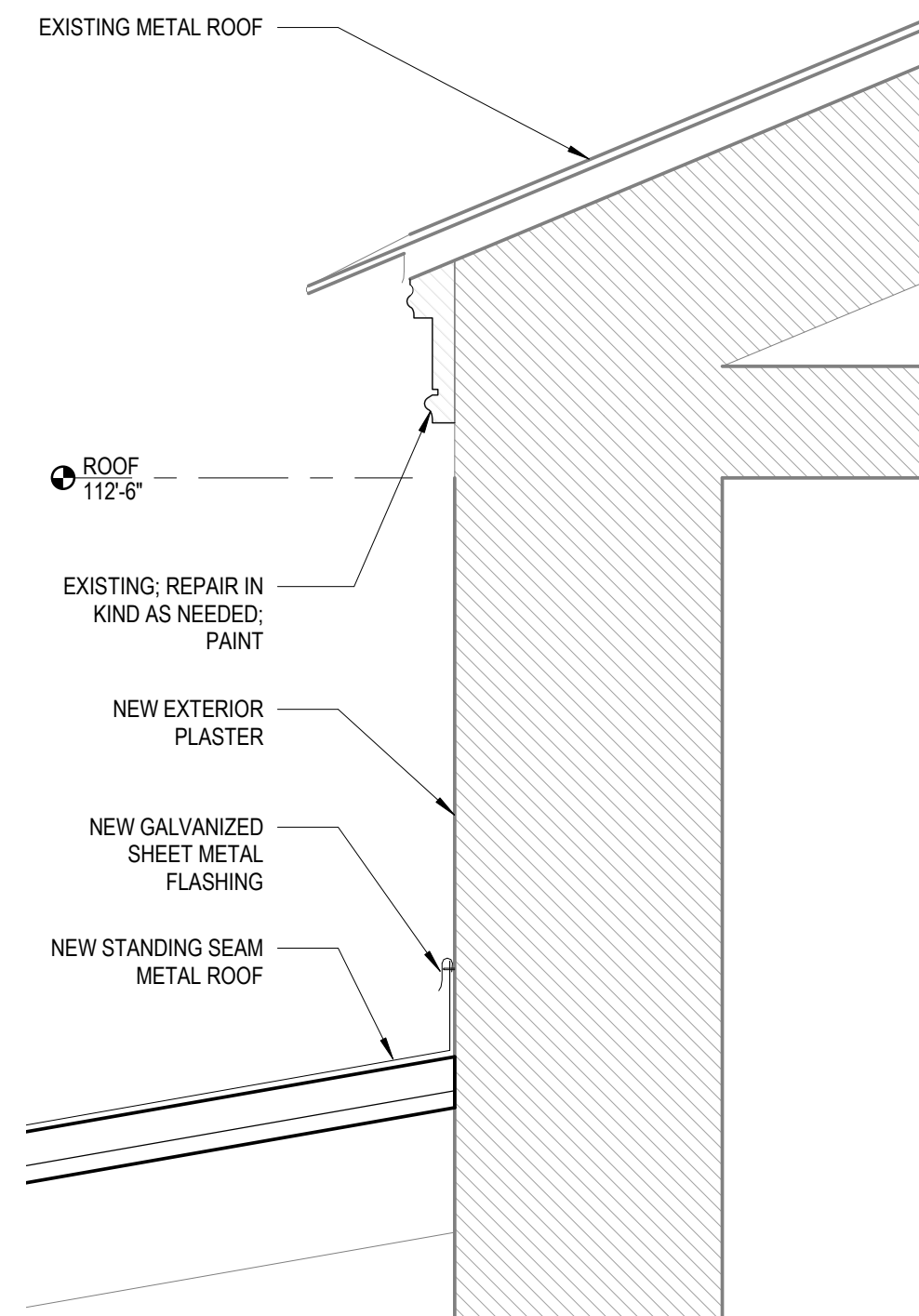
E1 FOUNDATION PLAN
1/8" = 1'-0"



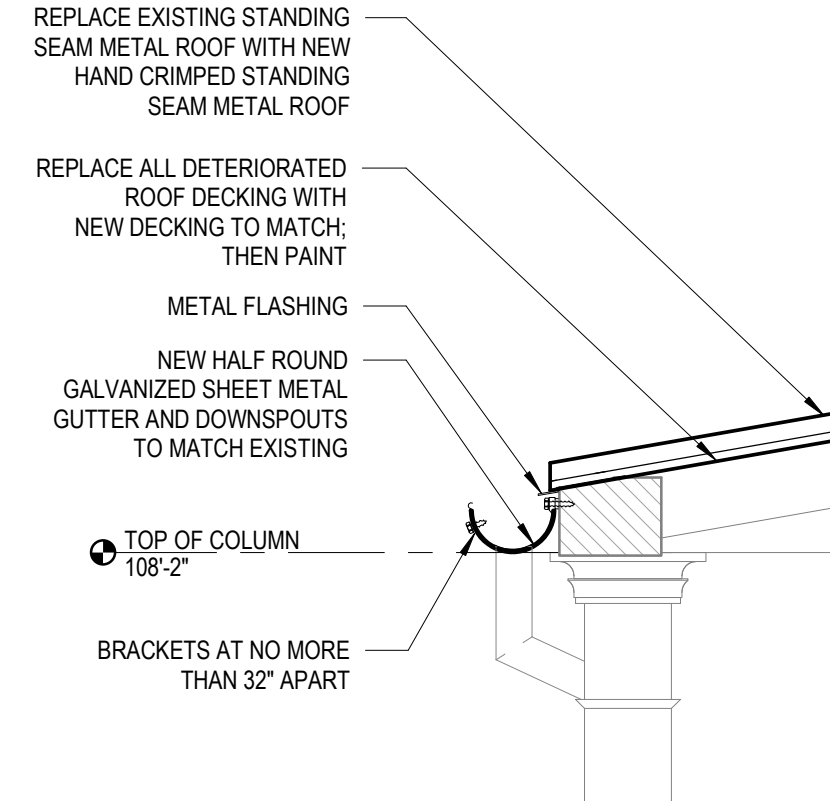
E3 TYPICAL INTERIOR WALL FOOTING
3/4" = 1'-0"



E5 TYPICAL EXTERIOR WALL FOOTING
3/4" = 1'-0"



D7 ROOF SECTION
1 1/2" = 1'-0"



E7 PORCH/COLUMN SECTION
3/4" = 1'-0"

STABILIZATION KEYNOTES

- 1 REPLACE 2X IF FOUND TO BE DETERIORATED. ALLOW FOR 12 JOISTS.
- 2 REPLACE EXISTING STANDING SEAM METAL ROOF WITH NEW STANDING SEAM METAL ROOF
- 3 REPLACE ALL DETERIORATED ROOF DECKING WITH NEW DECKING TO MATCH 50%
- 4 REPAIR CRACK IN MASONRY WALL
- 6 REMOVE DEBRIS FROM CRAWL SPACE. REMOVE SOIL TO EXPOSE SIDES OF LIMESTONE FOOTINGS, AND REPOINT FACES OF FOOTINGS
- 7 SECURE EXISTING DOOR OPENING WITH 3/4" PLYWOOD ON 2X4 STUD FRAMING
- 8 NO WORK ON EXISTING CEILING

STABILIZATION KEYNOTES

- 4" BRICK WALL (TO REMAIN)
- 12" CALICHE BLOCK (TO REMAIN)
- NEW WALL



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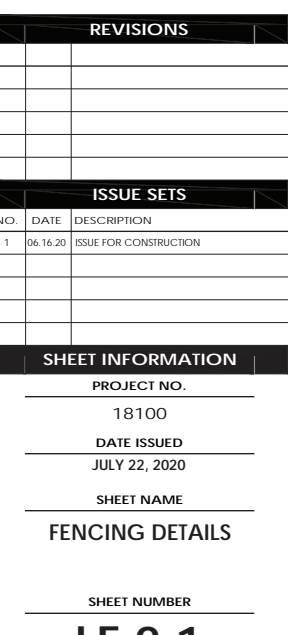
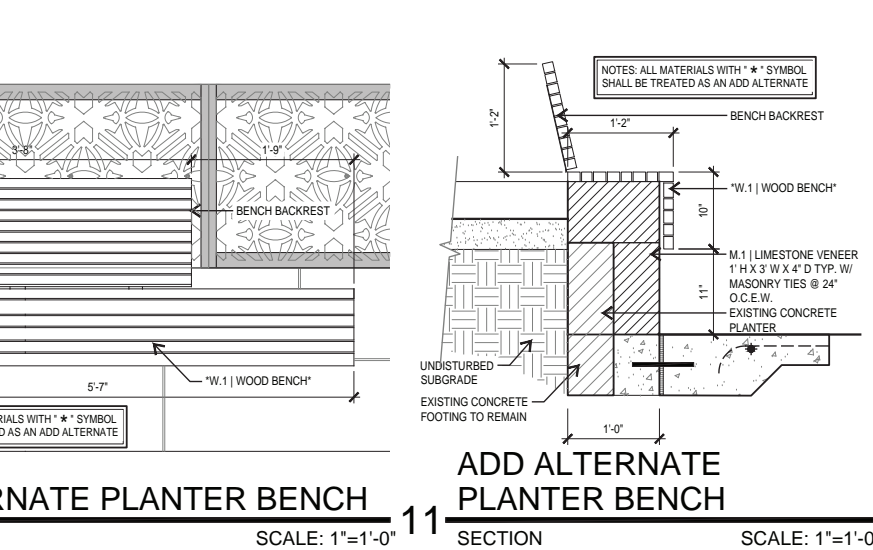
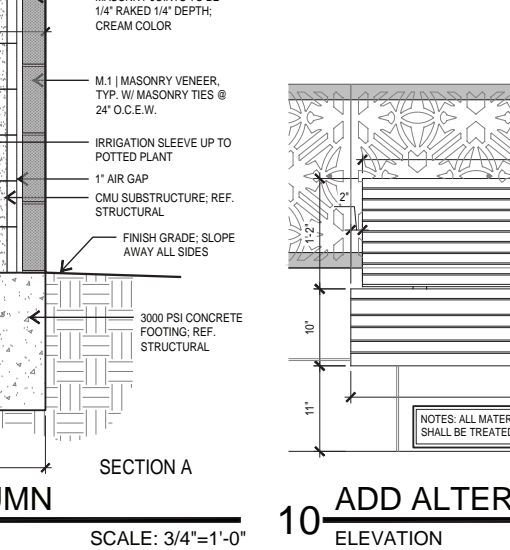
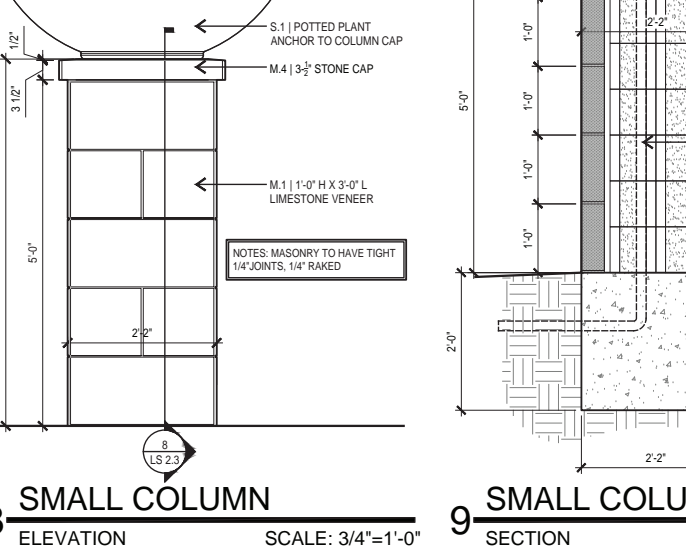
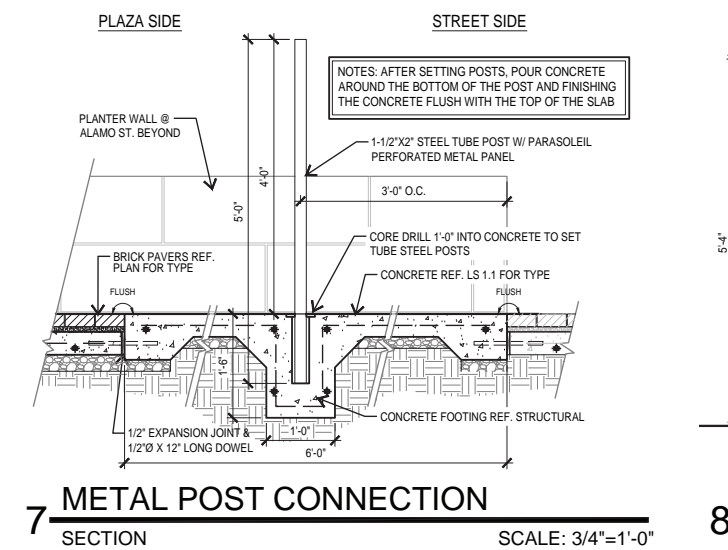
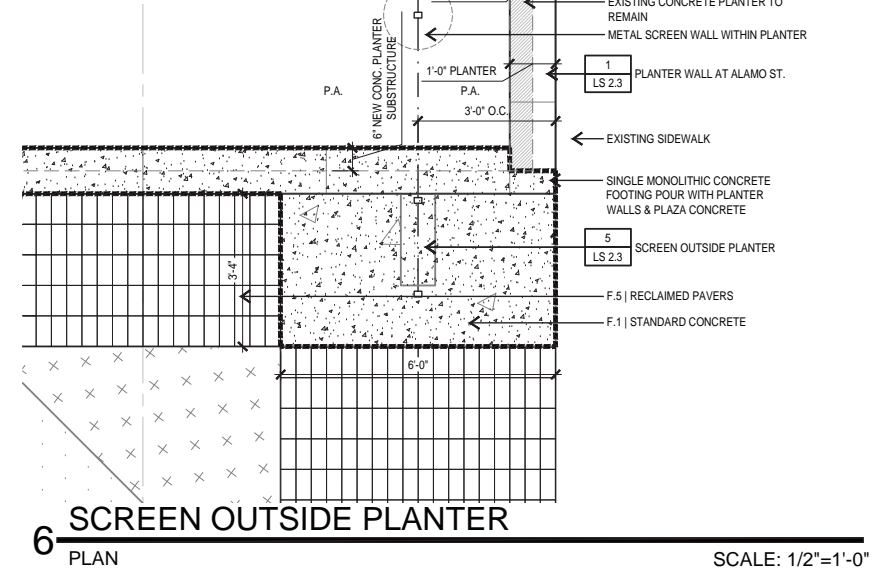
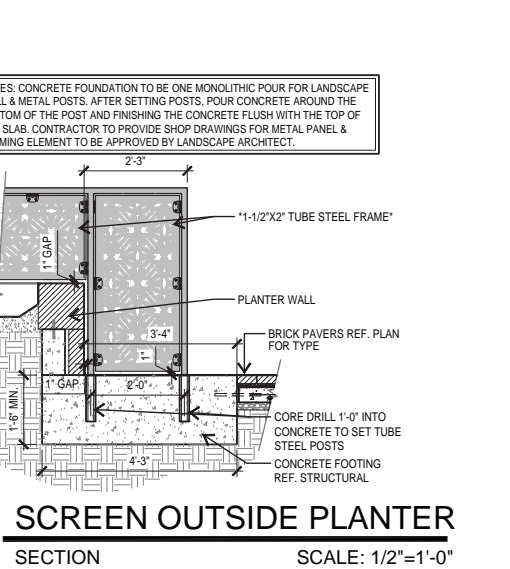
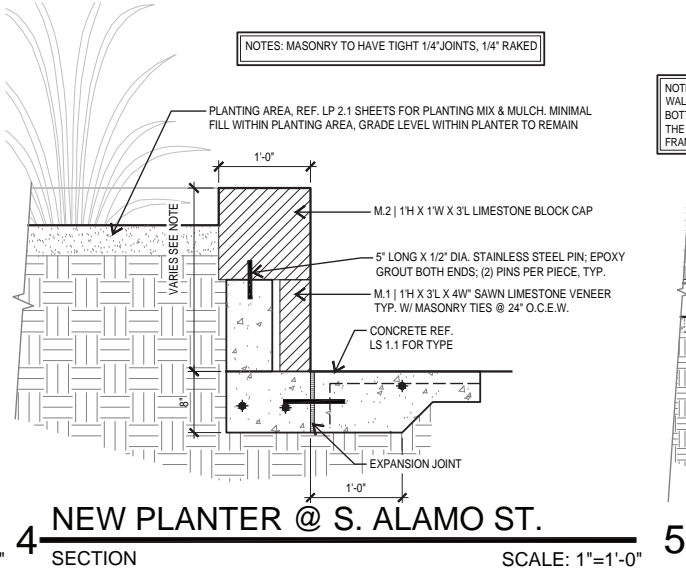
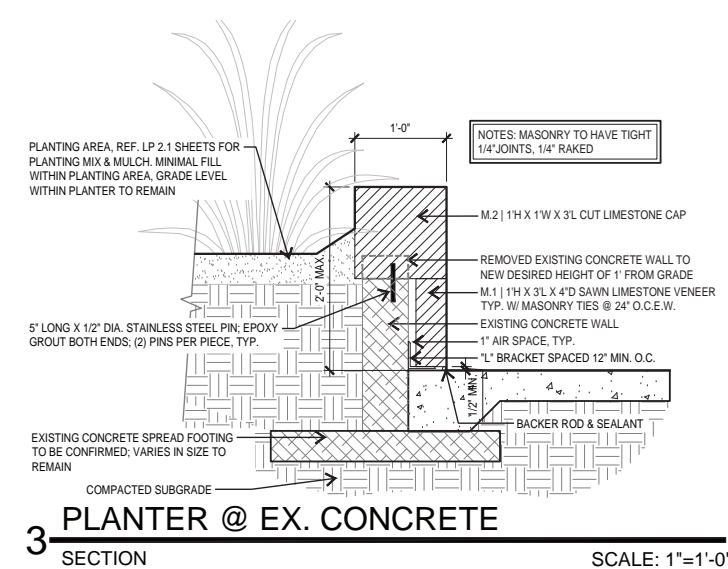
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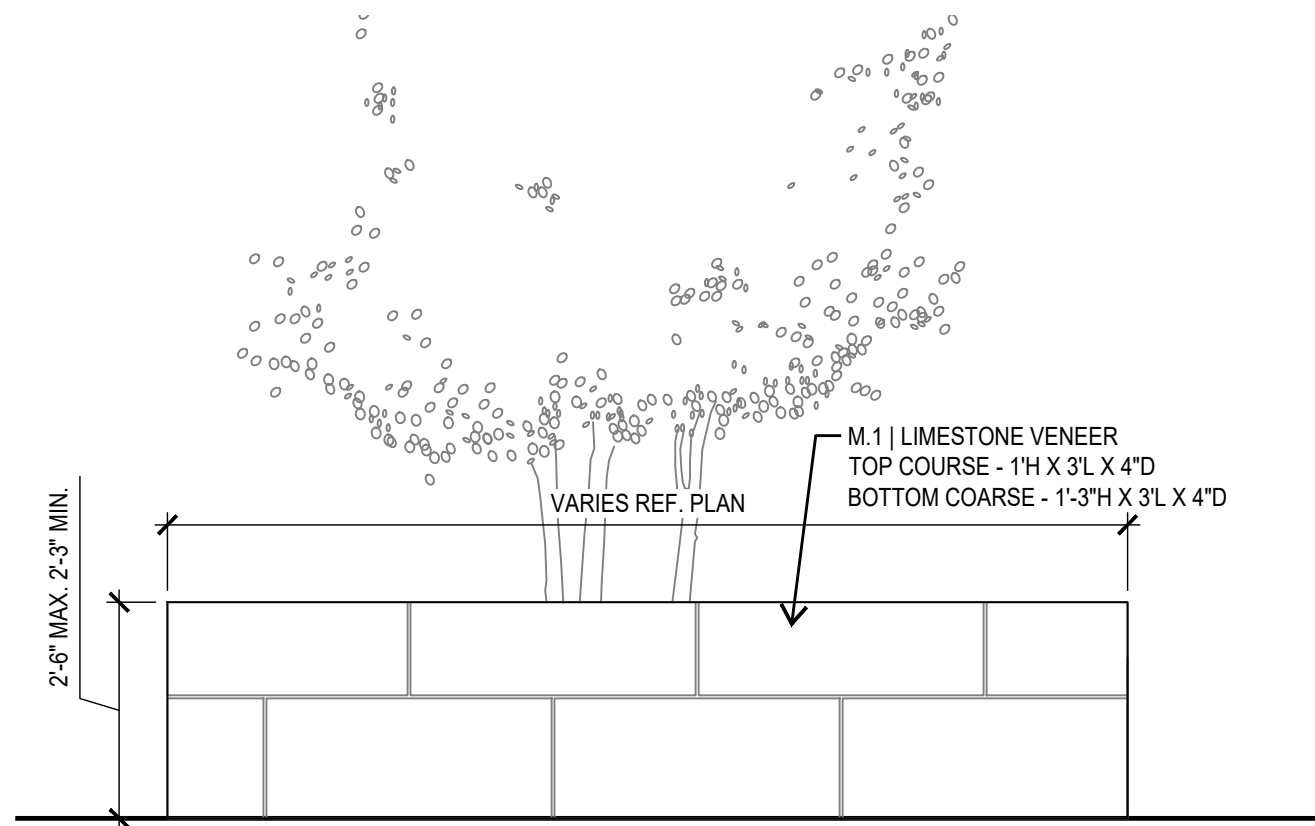
SHEET NAME

STABILIZATION PLANS AND ELEVATIONS

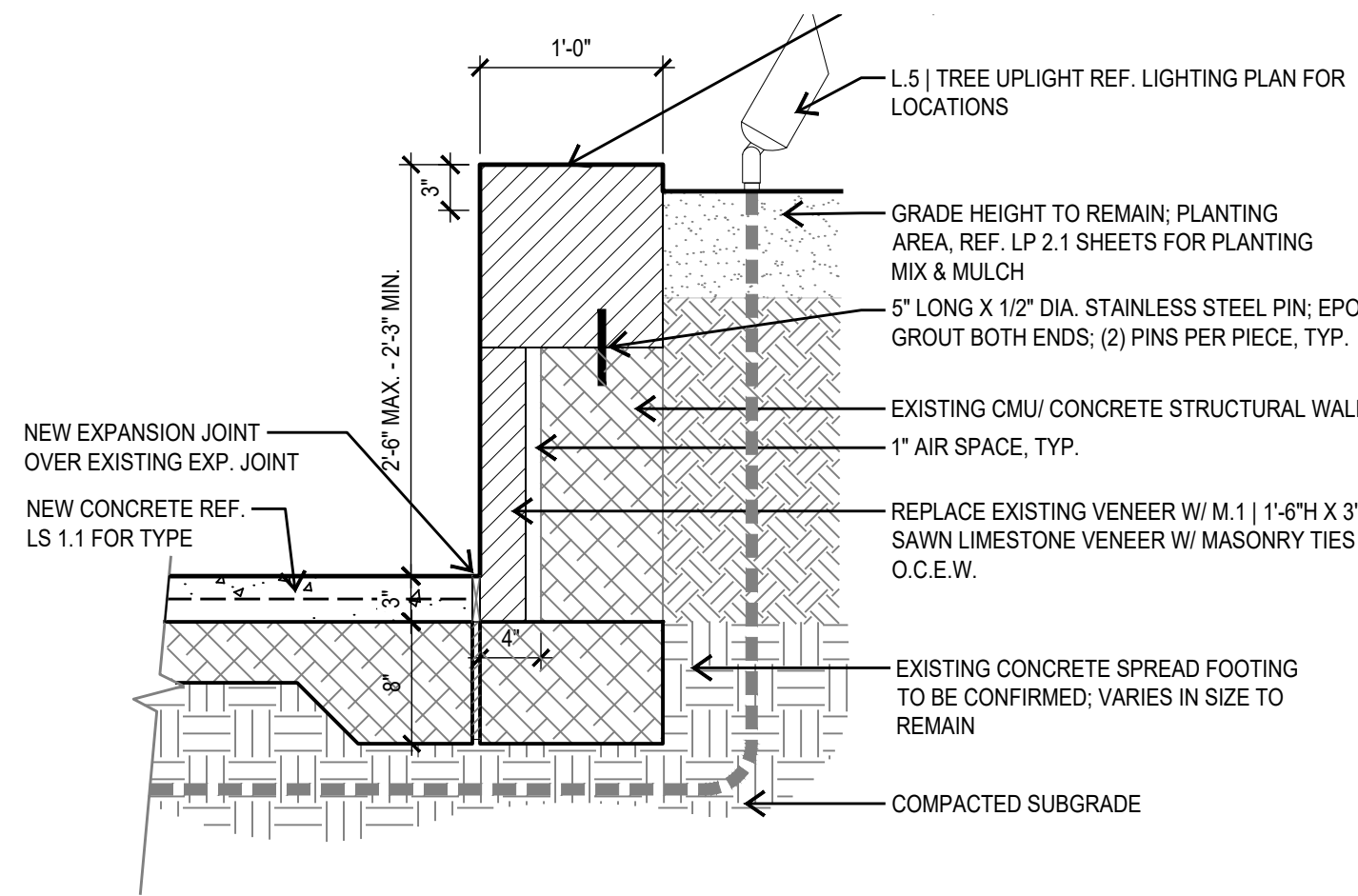
SHEET NUMBER

1-A-100

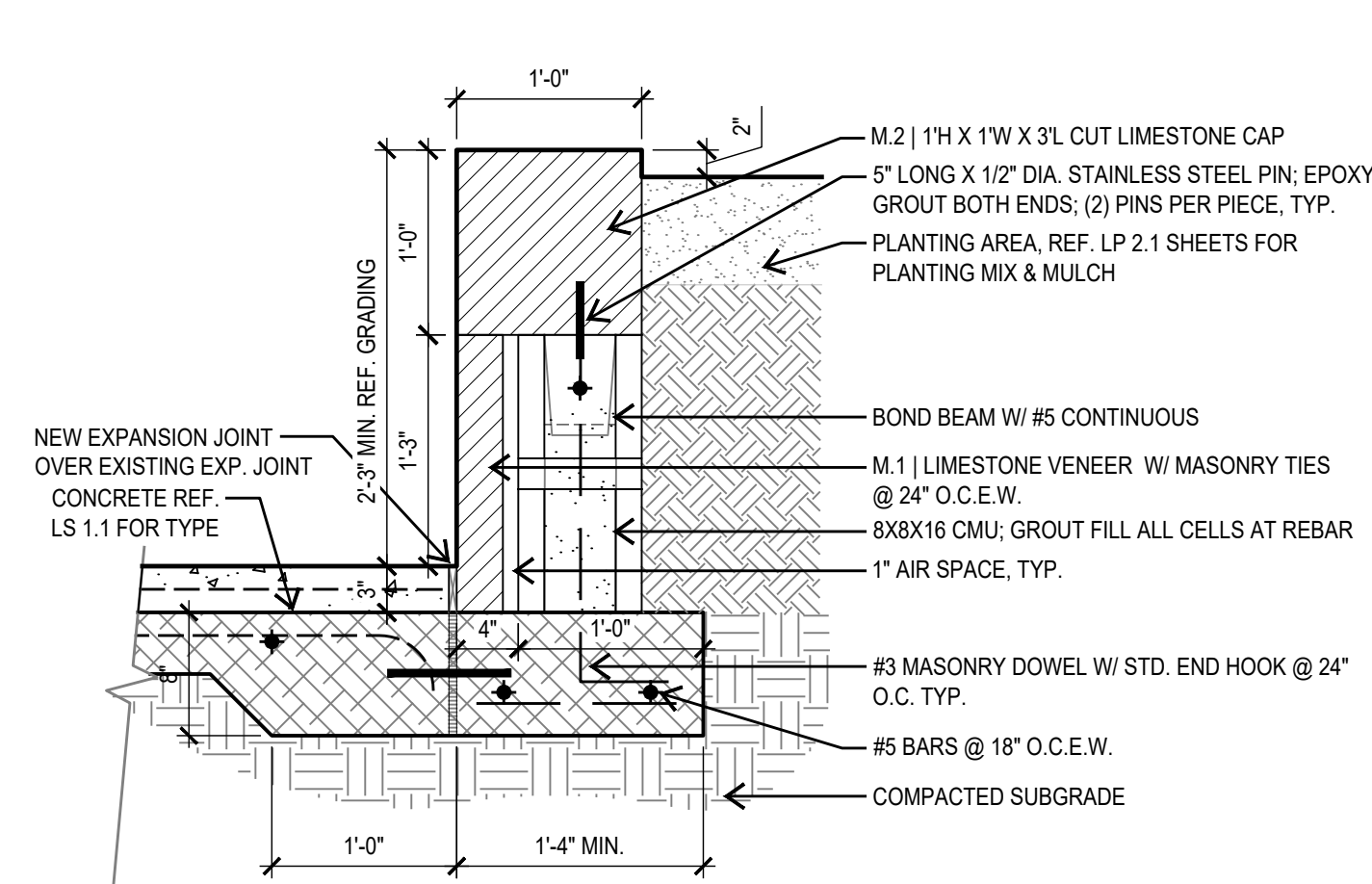




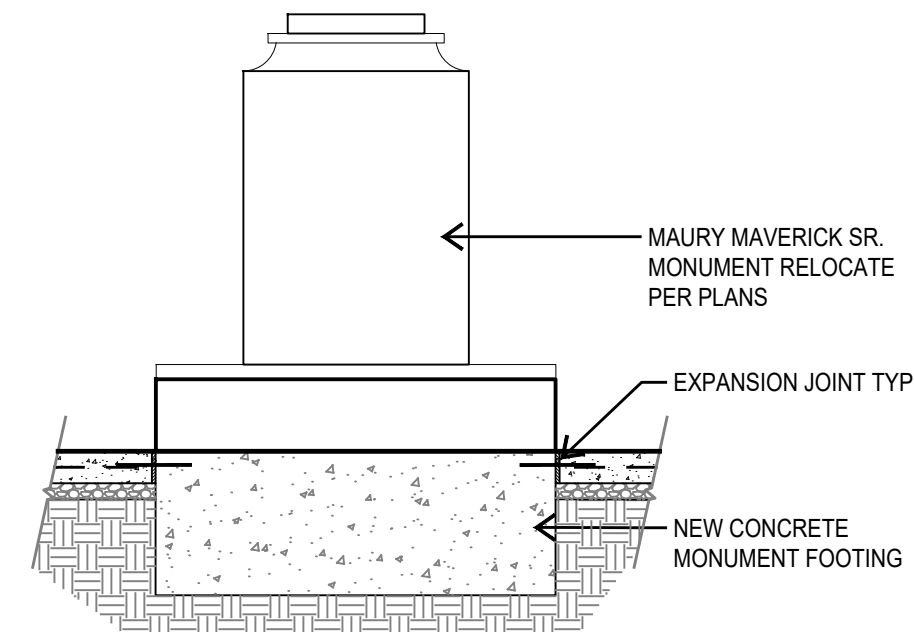
1 RAISED PLANTER WALL @ MAV. PLAZA
ELEVATION SCALE: 1"=1'-0"



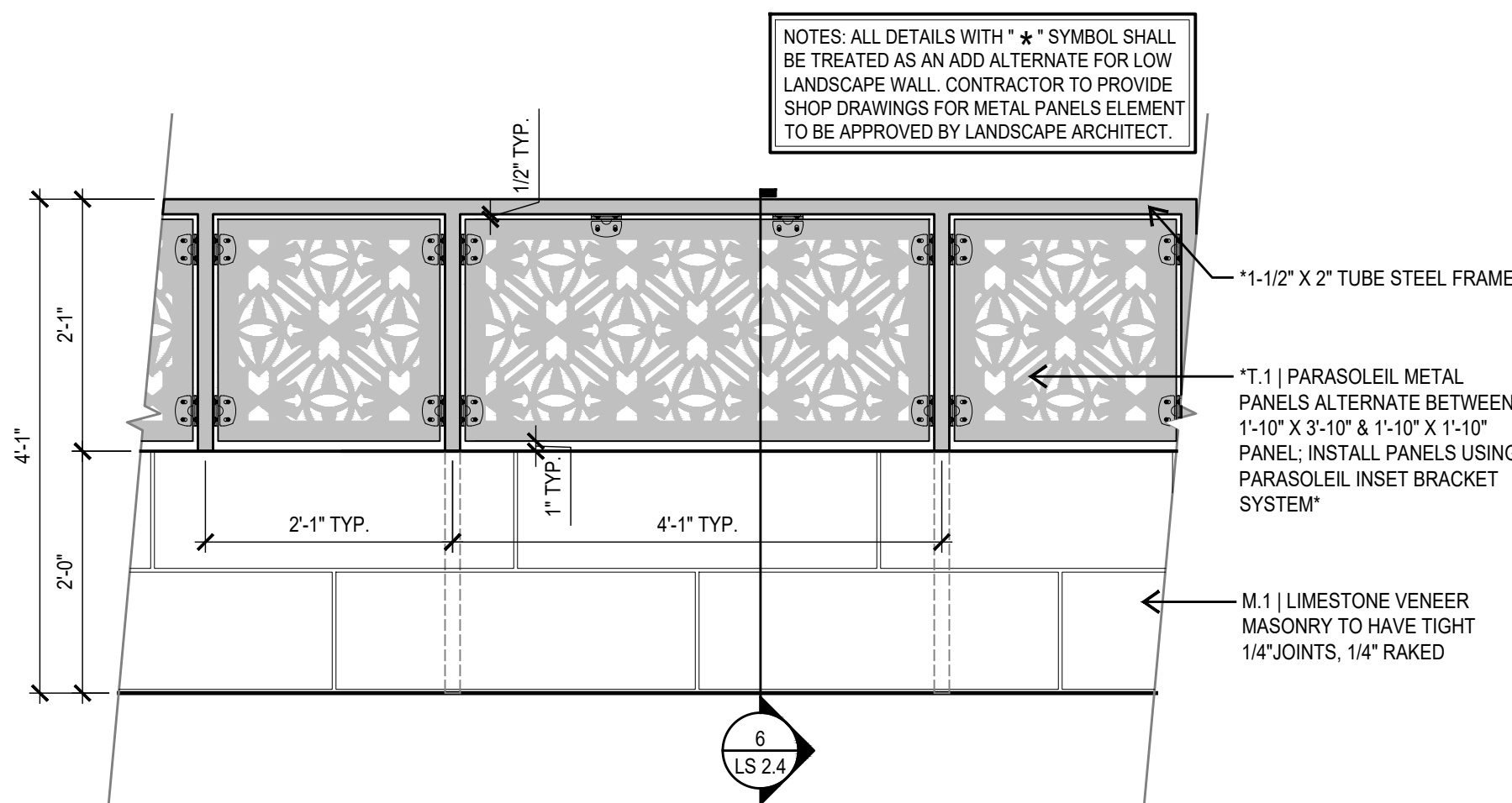
2 EXISTING PLANTER WALL
SECTION SCALE: 1"=1'-0"



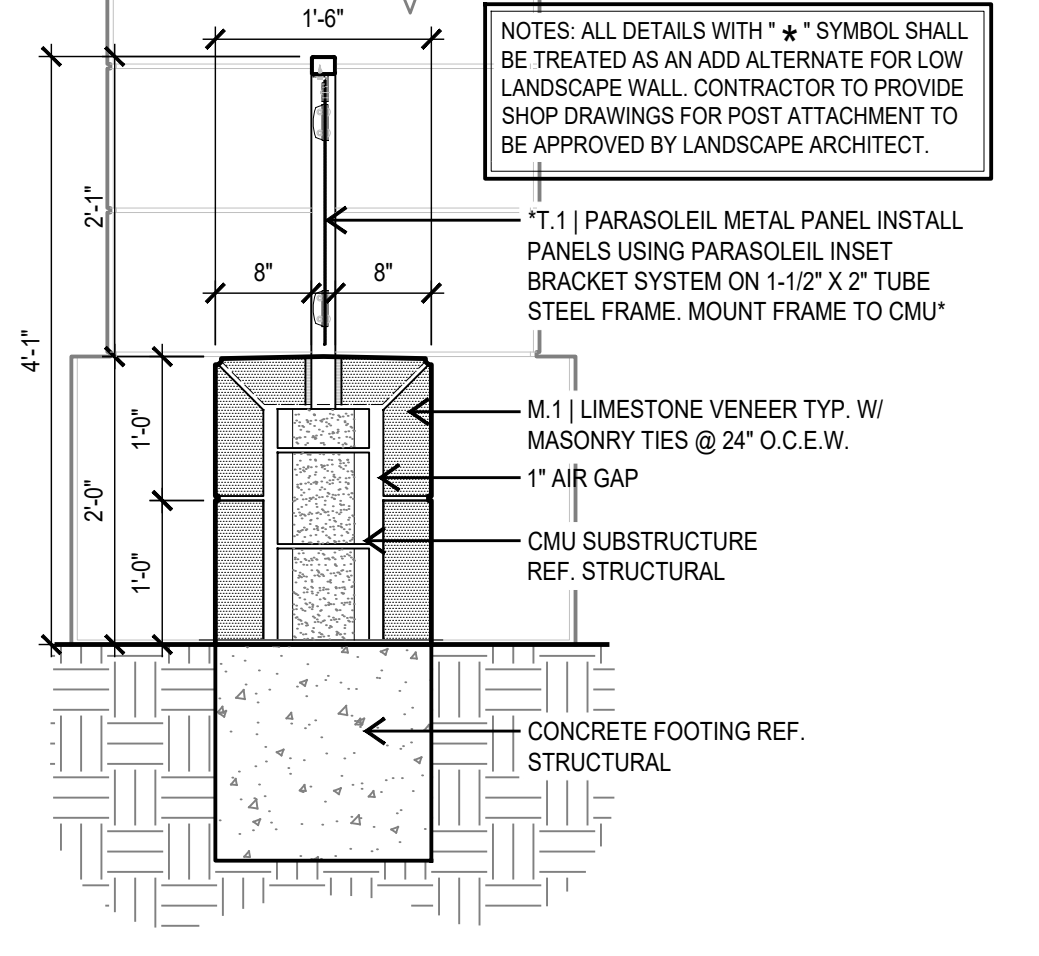
3 NEW PLANTER WALL
SECTION SCALE: 1"=1'-0"



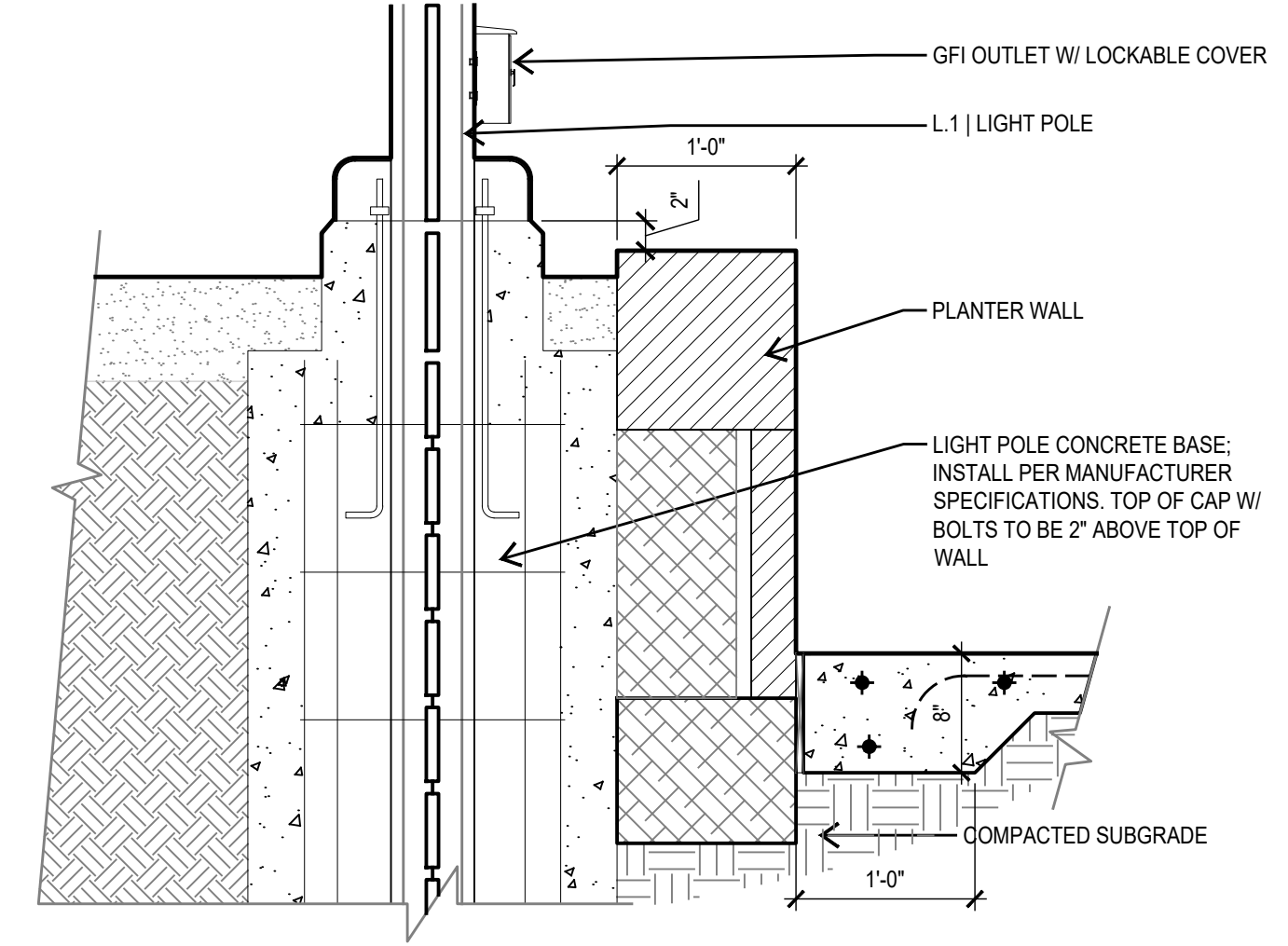
4 MAVERICK MONUMENT
ELEVATION SCALE: 1/2"=1'-0"



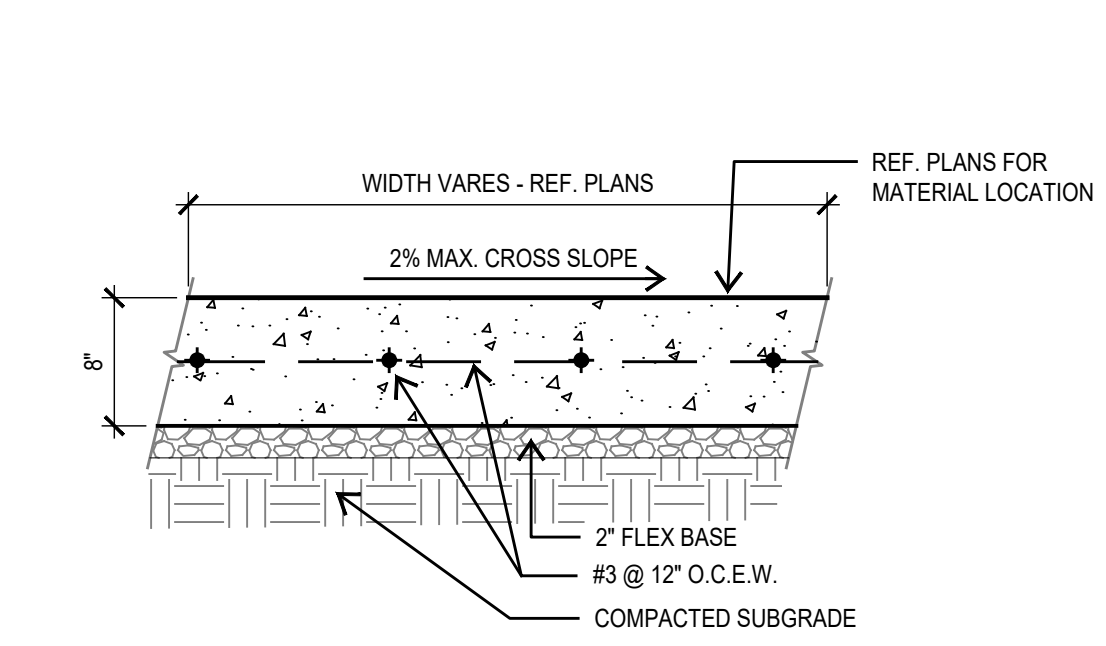
5 LOW LANDSCAPE WALL
ELEVATION SCALE: 3/4"=1'-0"



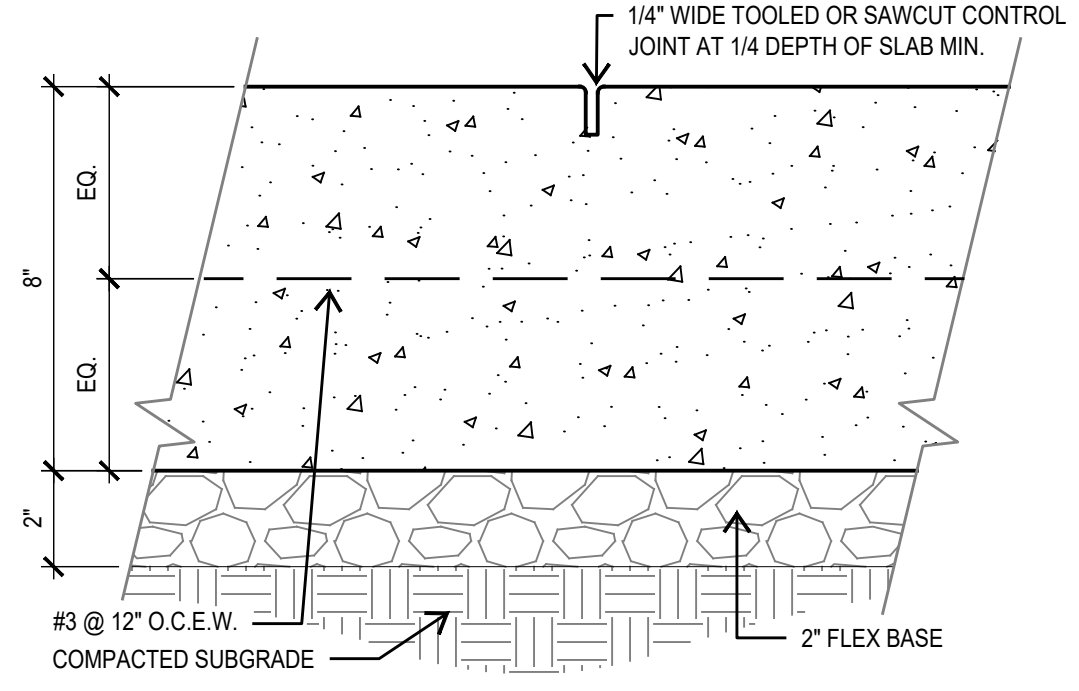
6 LOW LANDSCAPE WALL
SECTION SCALE: 3/4"=1'-0"



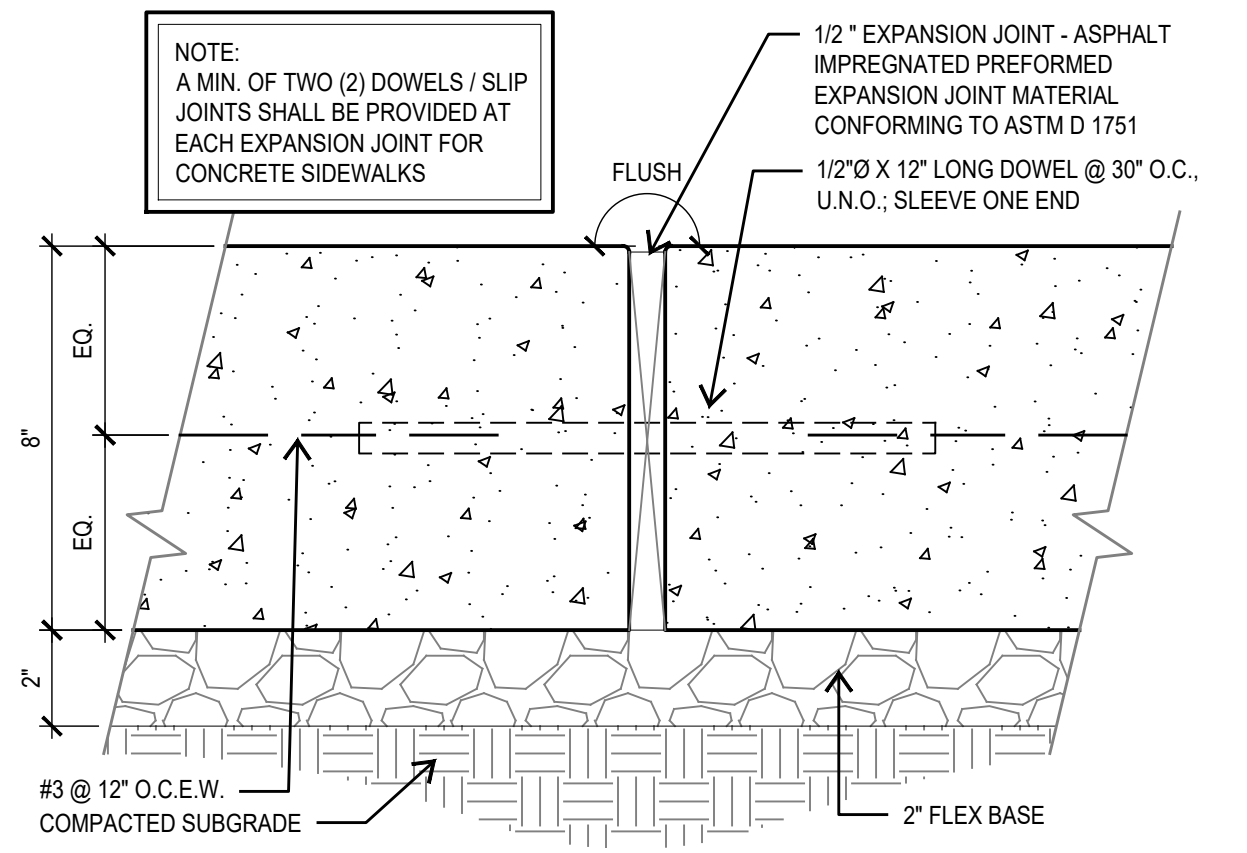
7 LIGHT POLE @ PLANTER WALL
SECTION SCALE: 1"=1'-0"



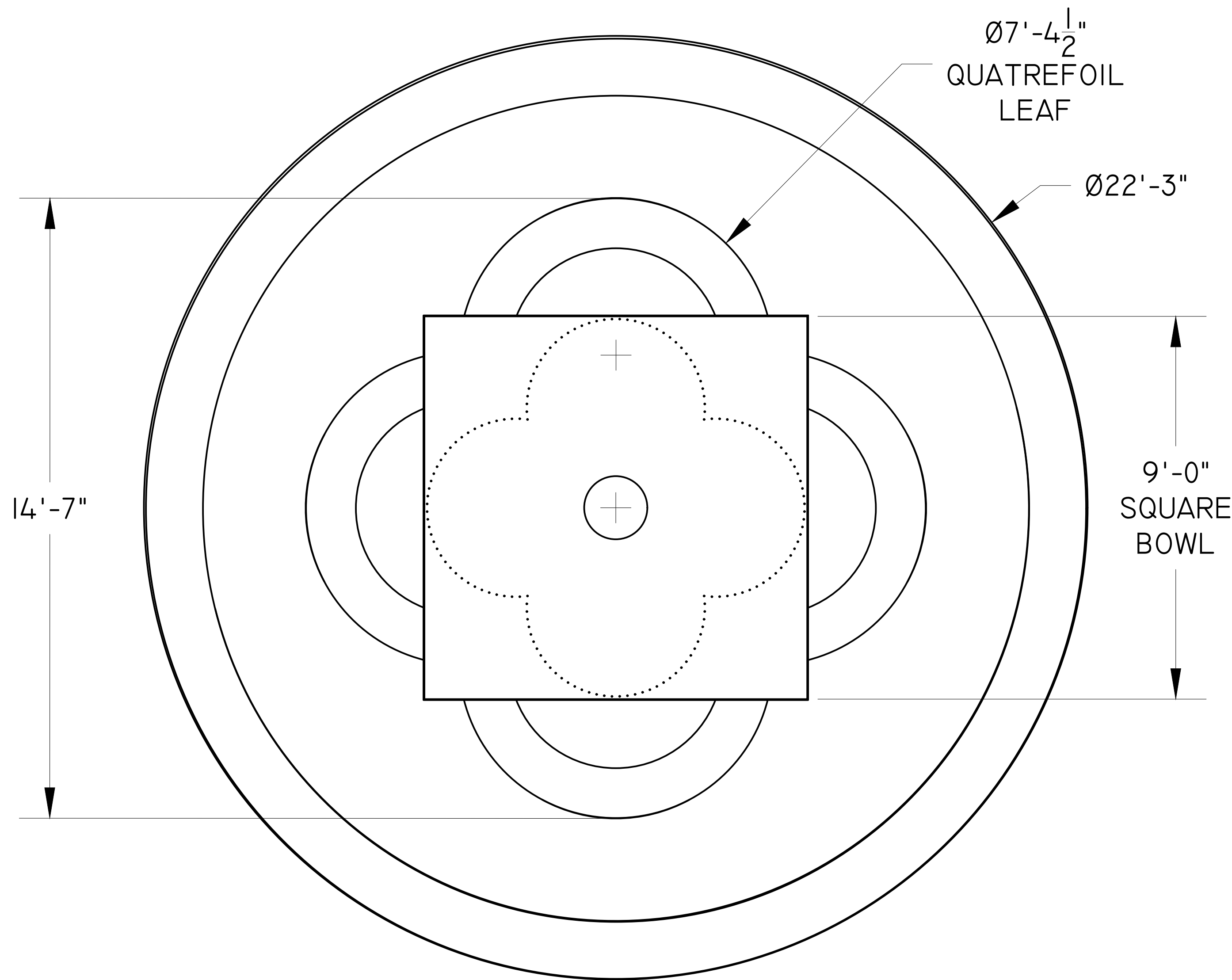
8 CONCRETE WALK @ VIILITA ST.
SECTION SCALE: 1"=1'-0"



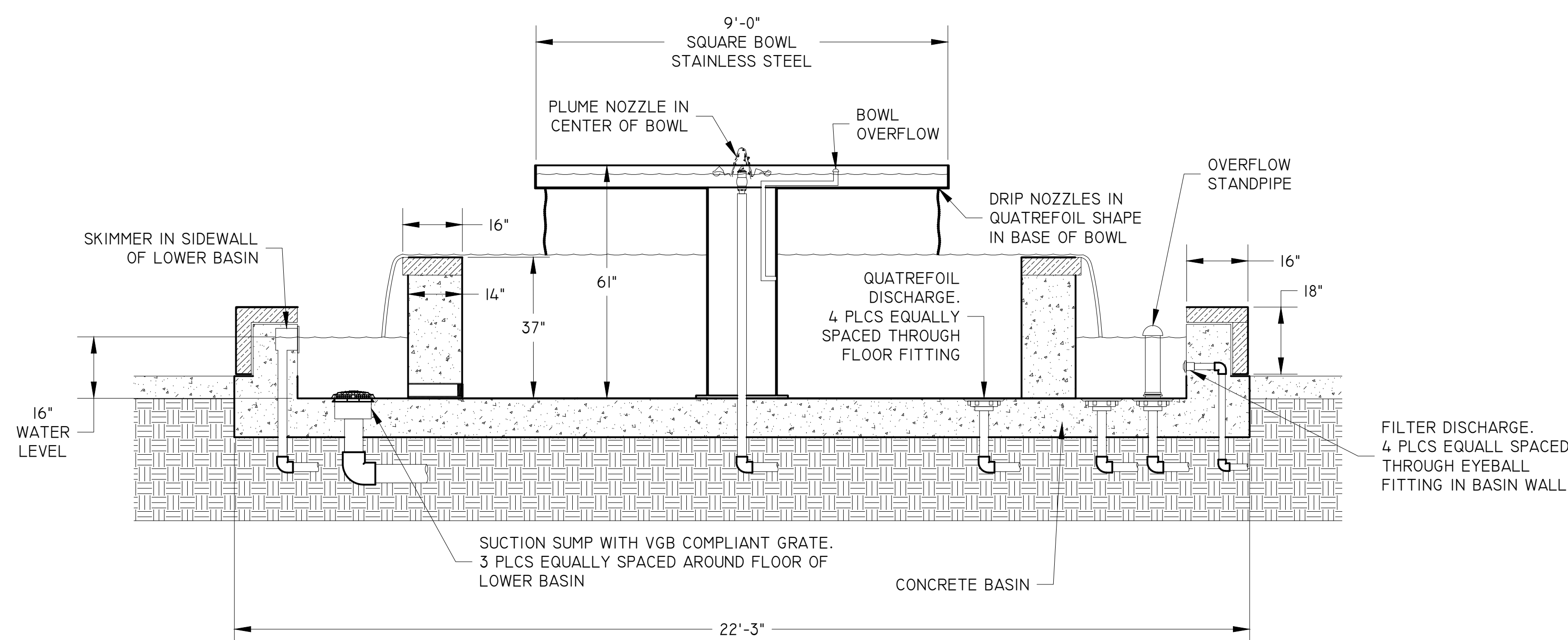
9 CONTROL JOINT @ VIILITA ST.
SECTION SCALE: 3"=1'-0"



10 EXPANSION JOINT @ VIILITA ST.
SECTION SCALE: 3"=1'-0"



1 FOUNTAIN PLAN VIEW
SCALE: 1/2"=1'-0"



2 FOUNTAIN SECTION VIEW
SCALE: 1/2"=1'-0"

Fountain Description:

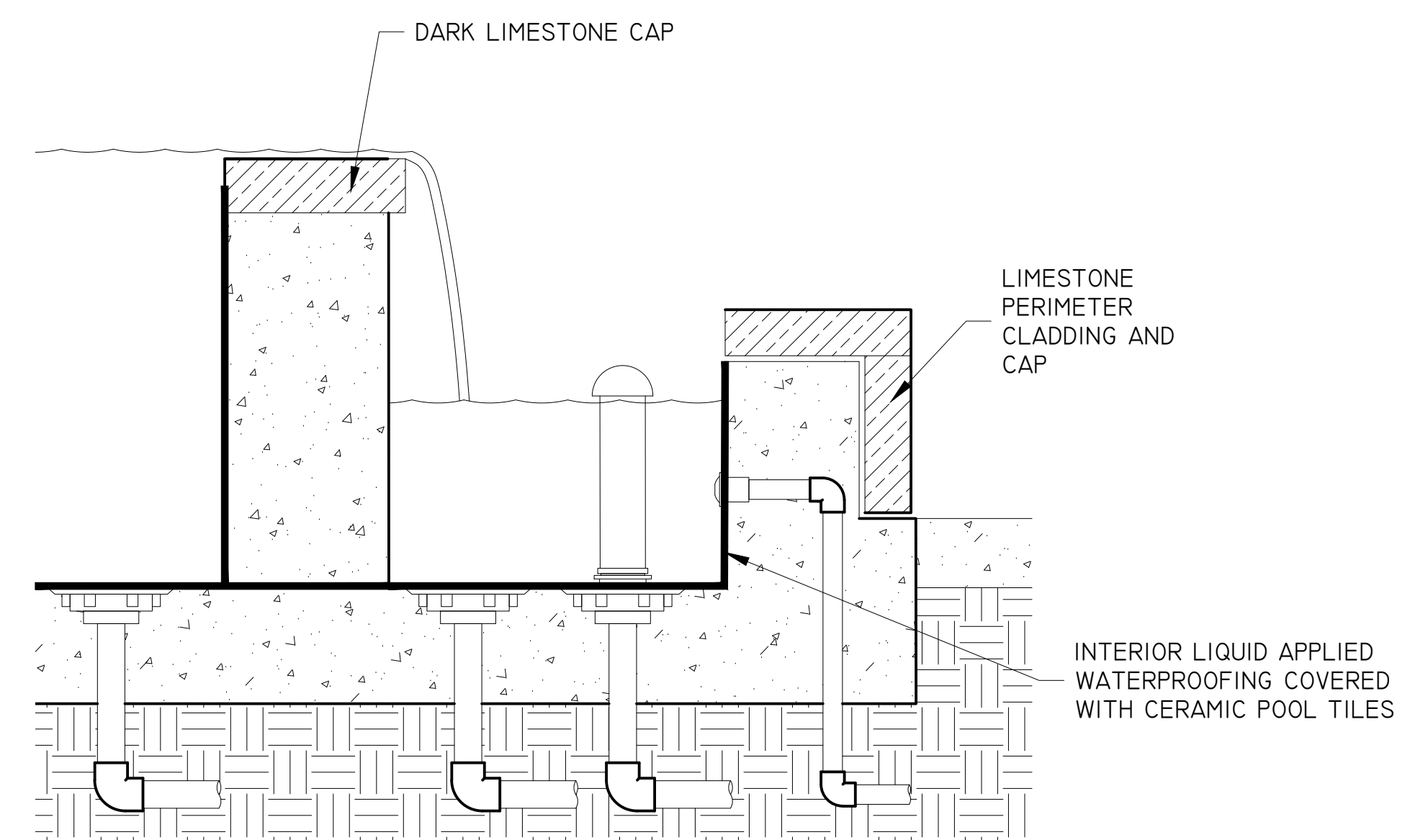
La Villita Maverick Plaza Fountain shall be circular in shape with an approximate outer diameter of 22'-3". The exterior basin wall and coping shall be veneered with limestone. Basin interior wall and floor shall be tiled. The fountain inside shall contain a large custom formed quatrefoil shaped basin with limestone veneered coping. Within the center of the quatrefoil basin, a custom metal pedestal elevated 9ft square bowl shall be located.

The center custom 9ft square bowl shall contain a center cascade nozzle that shall create frothy foamy white-water effect approximately +/-3ft up in the air and will be illuminated by a submersible color changing LED ring light fixture. The center square bowl will also contain a multitude of small perimeter gravity nozzles, penetrating downward thru the square bowl in a shape of a quatrefoil. As the square bowl is filled with water from the center cascade nozzle, water shall flow thru the multitude of small gravity nozzles downward into the quatrefoil basin below, thus creating a gravity rain curtain effect in a quatrefoil outline.

Water from the custom metal 9ft square bowl shall fill the large custom formed quatrefoil shaped basin, additional water will also be introduced thru floor mounted discharge diffuser assemblies and overflow the perimeter edges of the quatrefoil basin. The high flow of water over the quatrefoil basin edges will create a shear waterfall effect. Floor standing submersible color changing LED light fixtures shall be located within the custom formed quatrefoil basin and will illuminate the underside of the custom metal 9ft square bowl as well as the multitude of gravity rain curtain nozzles.

Suction sumps, eyeball fittings, skimmers, and all other required fountain basin components shall be located within the lower fountain basin. Water depth shall be 18" in the lower basin.

Fully pre-assembled custom equipment skid system shall be provided for quick installation onto the concrete housekeeping pad.



3 FOUNTAIN DETAIL SECTION
SCALE: 1"=1'-0"

NO.	DATE	DESCRIPTION
1	05.01.20	100% CD REVIEW SET

NO.	DATE	DESCRIPTION
1	05.01.20	100% CD REVIEW SET



NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION



NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION



NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION



STATUS

100%

CONSTRUCTION

DOCUMENT SET

FOR REVIEW ONLY

Not for regulatory approval,

permitting or construction

PROJECT

LA VILLITA

MAVERICK PLAZA

REHABILITATION

PROJECT ADDRESS

418 VILLITA STREET #9

SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)

100 HOUSTON ST., SUITE 210

SAN ANTONIO, TX 78205

SUBCONSULTANT

REVISIONS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION

SHEET INFORMATION

PROJECT NO.

18100

DATE ISSUED

JULY 22, 2020

SHEET NAME

ALAMO STREET

PLANTER WALL

SHEET NUMBER



STATUS

100%
CONSTRUCTION
DOCUMENT SET

FOR REVIEW ONLY
Not for regulatory approval,
permitting or construction

PROJECT

LA VILLITA

MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS

418 VILLITA STREET #9
SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)
100 HOUSTON ST., SUITE 210
SAN ANTONIO, TX 78205

SUBCONSULTANT

REVISIONS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION

SHEET INFORMATION

PROJECT NO.

18100

DATE ISSUED

JULY 22, 2020

SHEET NAME

PLAZA FOUNTAIN

SHEET NUMBER



NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION



STATUS

100%
CONSTRUCTION
DOCUMENT SET

FOR REVIEW ONLY
Not for regulatory approval,
permitting or construction

PROJECT

LA VILLITA

MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS

418 VILLITA STREET #9
SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)
100 HOUSTON ST., SUITE 210
SAN ANTONIO, TX 78205

SUBCONSULTANT

REVISIONS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION

SHEET INFORMATION

PROJECT NO.

18100

DATE ISSUED

JULY 22, 2020

SHEET NAME

PLAZA FOUNTAIN

SHEET NUMBER

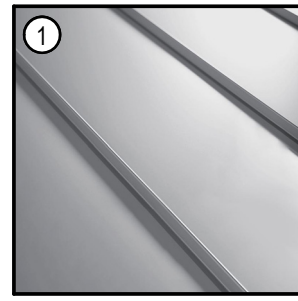


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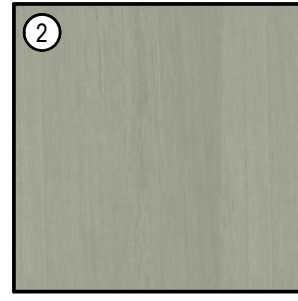


NO.	DATE	DESCRIPTION
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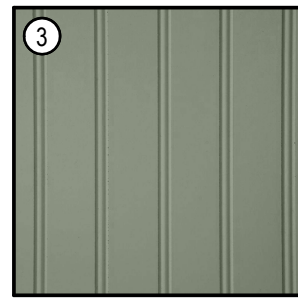
SMALL KIOSK (A)



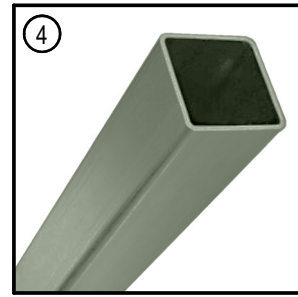
1
ROOF:
STANDING-SEAM,
GALVANIZED
UNPAINTED



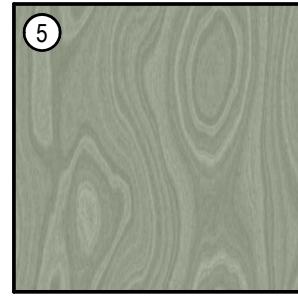
2
EXTERIOR WALLS, SILLS,
FASCIA, AND SOFFIT:
WOOD
PAINTED (SW 6192)



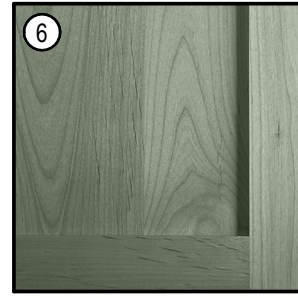
3
EXTERIOR WALLS:
BEADED BOARD PANELS
PAINTED (SW 6186)



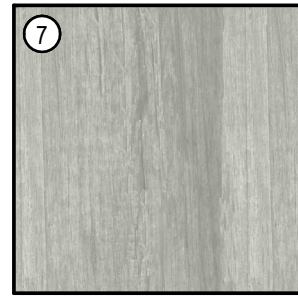
4
EXPOSED COLUMNS:
HOLLOW SECTION
STEEL
PAINTED (SW 6186)



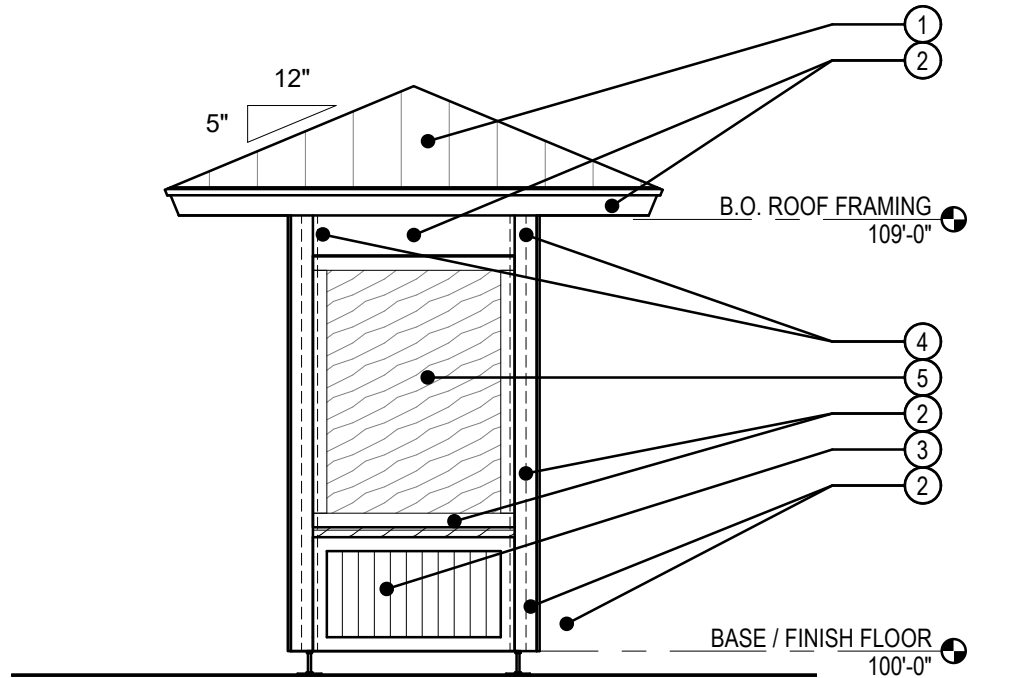
5
WOODEN PANELS:
PLYWOOD
PAINTED (SW 6192)



6
WOODEN DOORS:
WOOD EDGE (1X)
PAINTED (SW 6186)

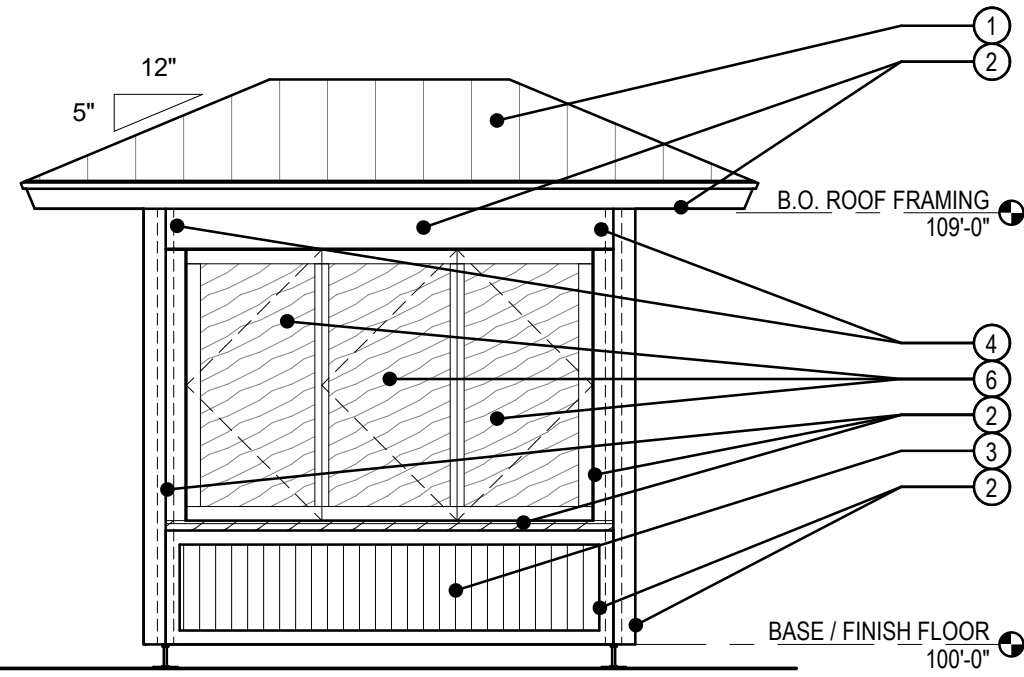


7
INTERIOR FINISHES:
WOOD
PAINTED (SW 6197)



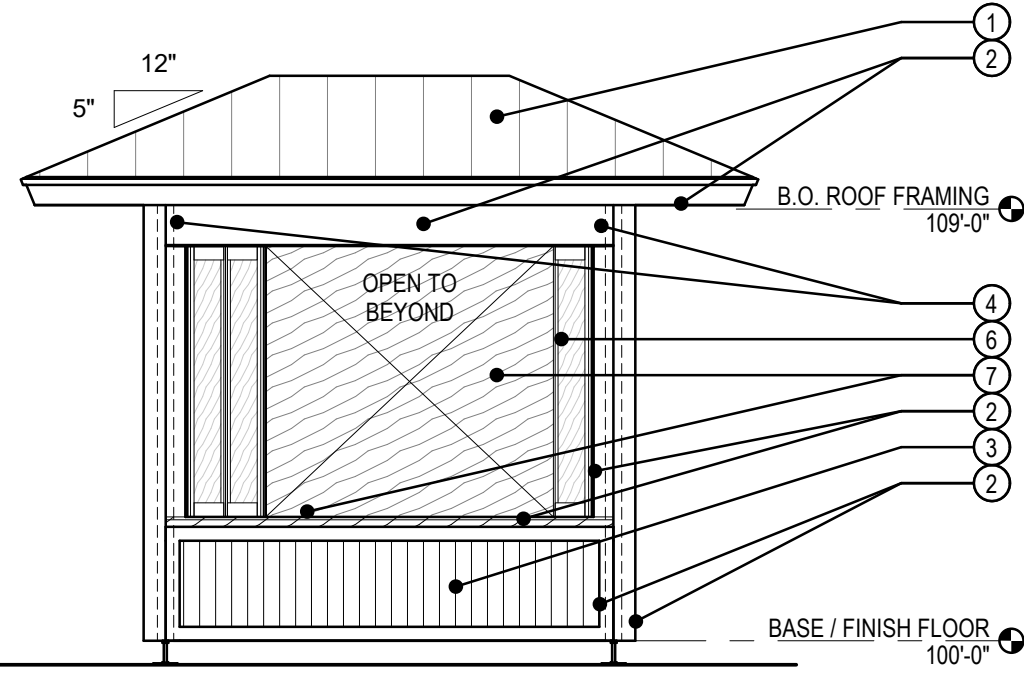
4 SIDE ELEVATION - SMALL KIOSK (A)

1/4" = 1'-0"



5 FRONT ELEVATION - SMALL KIOSK (A)

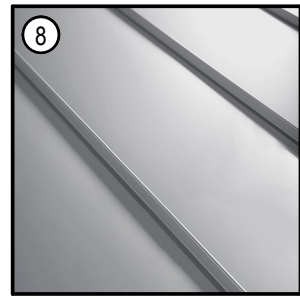
1/4" = 1'-0"



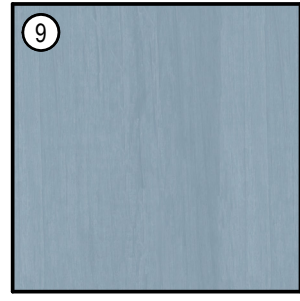
6 FRONT ELEVATION - SMALL KIOSK (A)

1/4" = 1'-0"

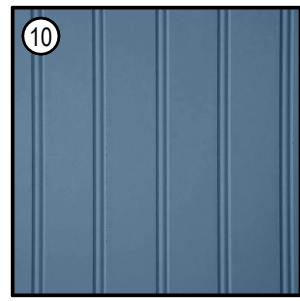
SMALL KIOSK (B)



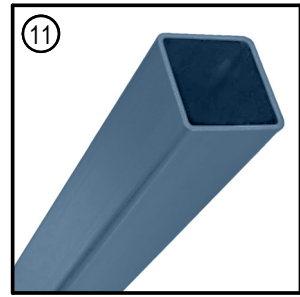
8
ROOF:
STANDING-SEAM,
GALVANIZED
UNPAINTED



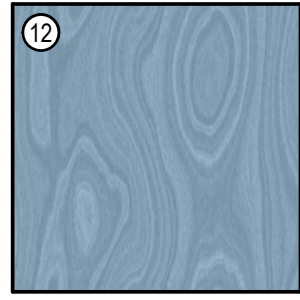
9
EXTERIOR WALLS, SILLS,
FASCIA, AND SOFFIT:
WOOD
PAINTED (SW 6521)



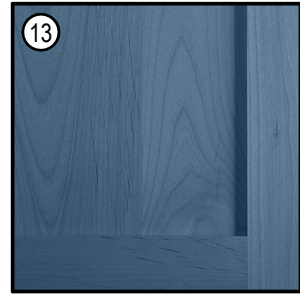
10
EXTERIOR WALLS:
BEADED BOARD PANELS
PAINTED (SW 6523)



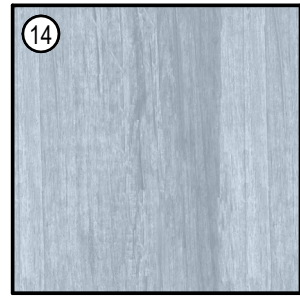
11
EXPOSED COLUMNS:
HOLLOW SECTION
STEEL
PAINTED (SW 6523)



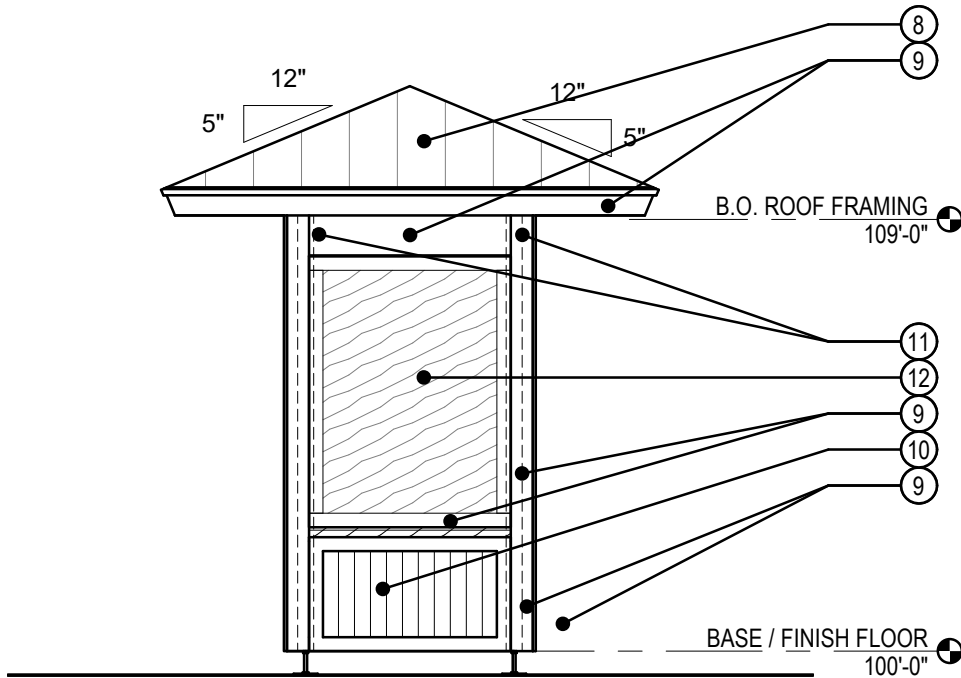
12
WOODEN PANELS:
PLYWOOD
PAINTED (SW 6521)



13
WOODEN DOORS:
WOOD EDGE (1X)
PAINTED (SW 6523)

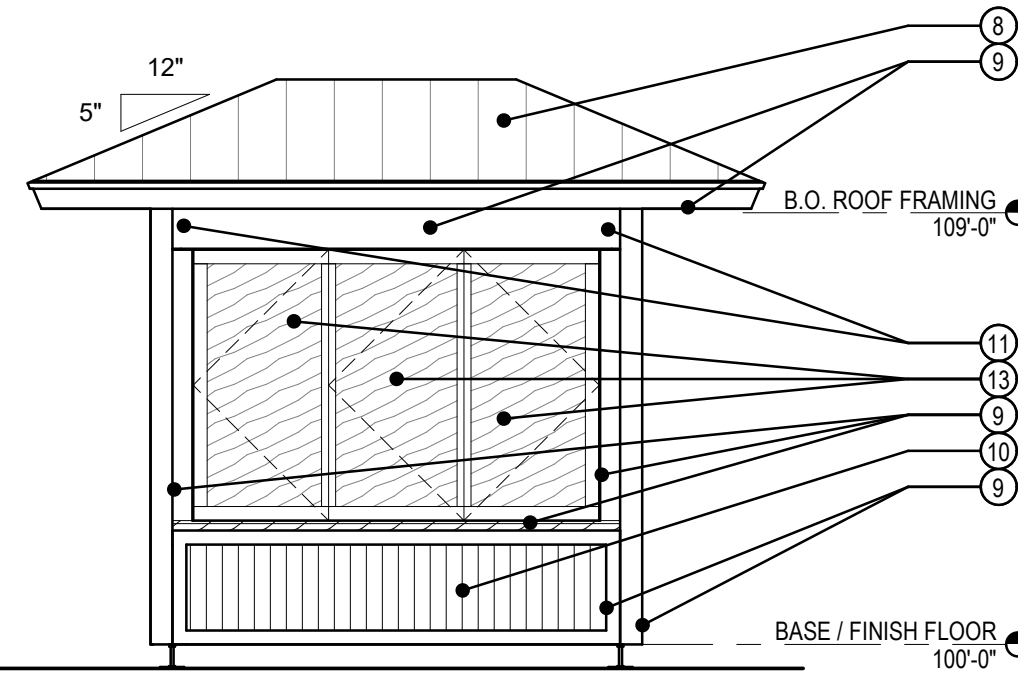


14
INTERIOR FINISHES:
WOOD
PAINTED (SW 6534)



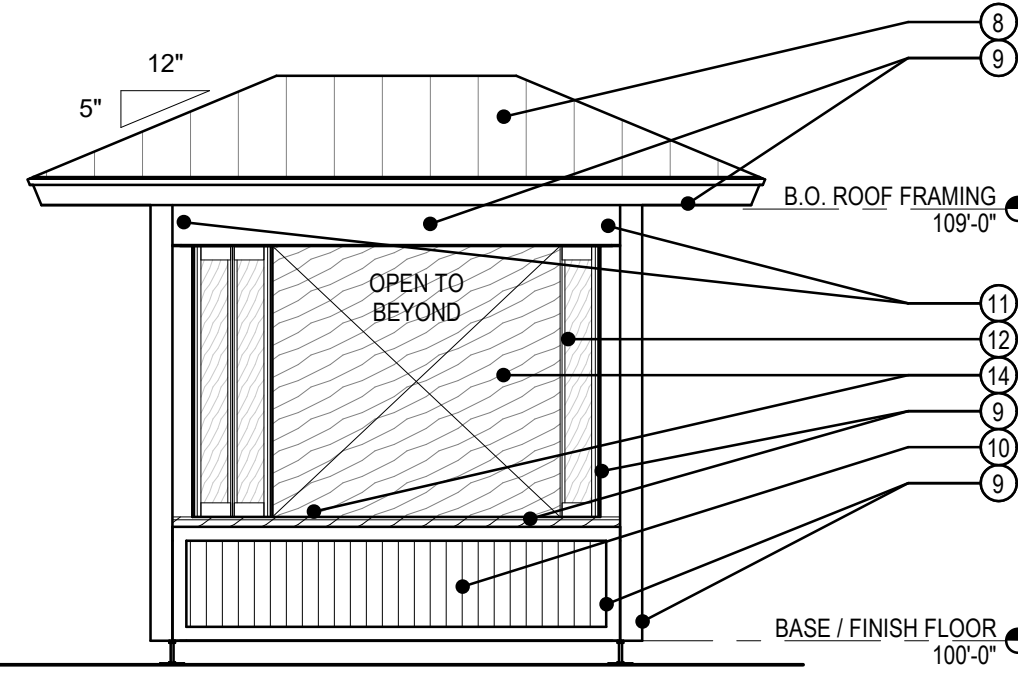
7 SIDE ELEVATION - SMALL KIOSK (B)

1/4" = 1'-0"



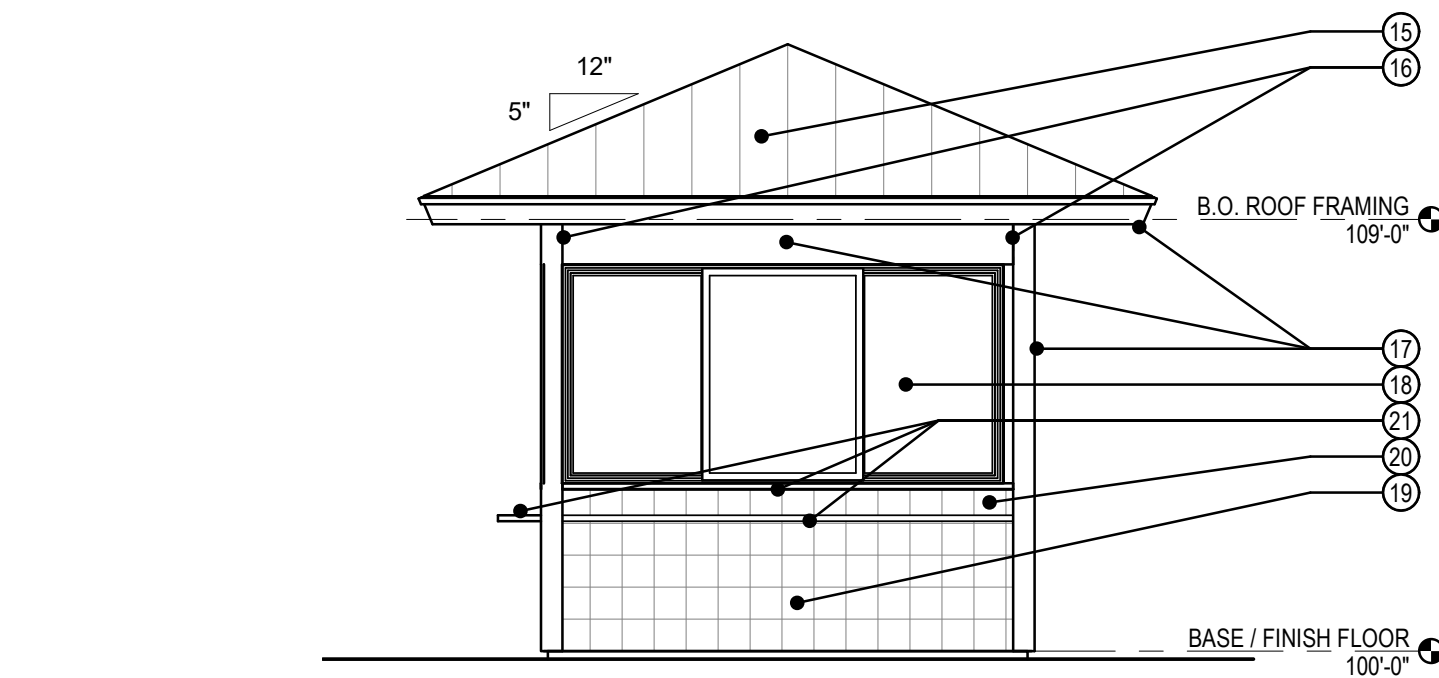
8 FRONT ELEVATION - SMALL KIOSK (B)

1/4" = 1'-0"



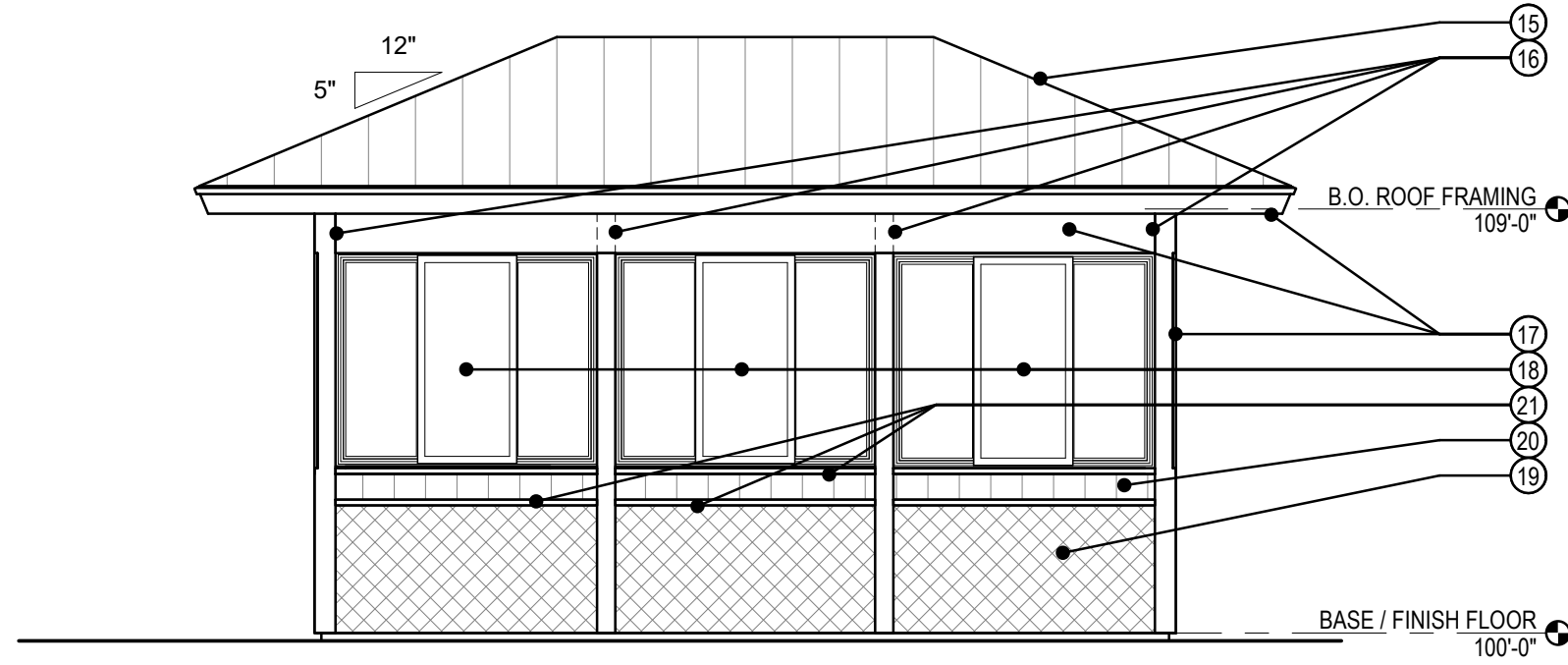
9 FRONT ELEVATION - SMALL KIOSK (B)

1/4" = 1'-0"



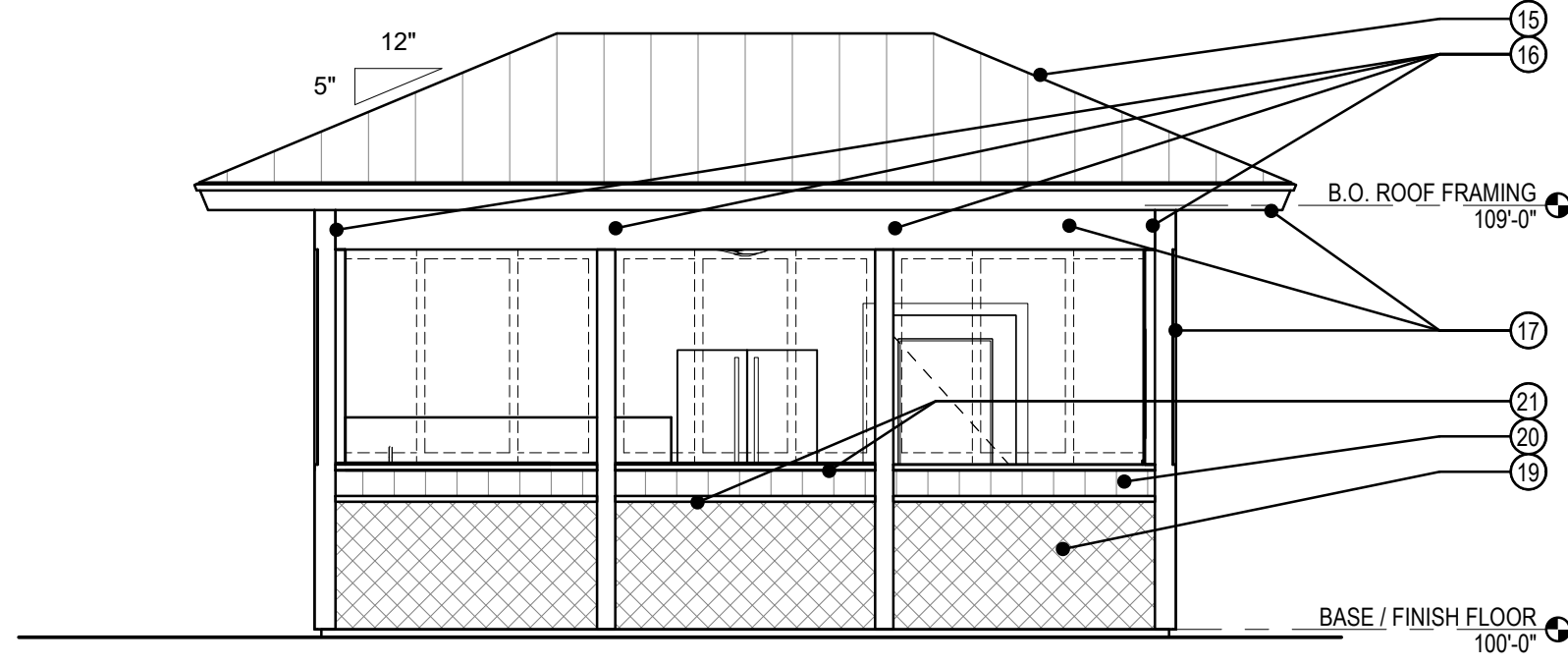
1 SIDE ELEVATION - LARGE KIOSK

1/4" = 1'-0"



2 FRONT ELEVATION - LARGE KIOSK

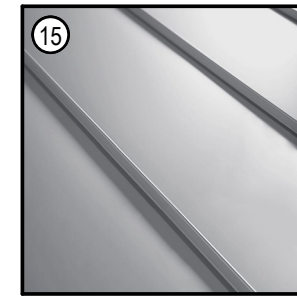
1/4" = 1'-0"



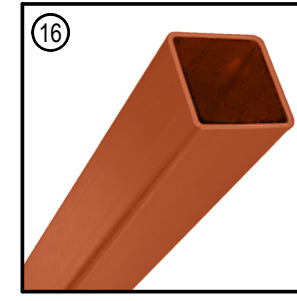
3 FRONT ELEVATION - LARGE KIOSK

1/4" = 1'-0"

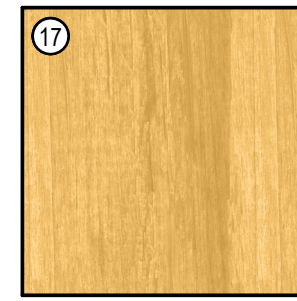
LARGE KIOSK - EXTERIOR



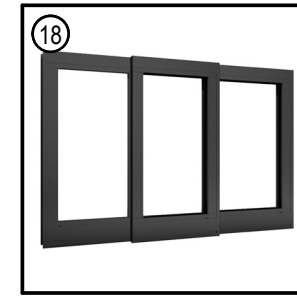
15
ROOF:
STANDING-SEAM,
GALVANIZED
UNPAINTED



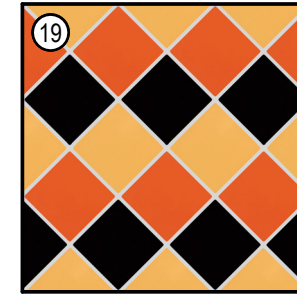
16
EXPOSED COLUMNS:
HOLLOW SECTION
STEEL, PAINTED
(SW 6636)



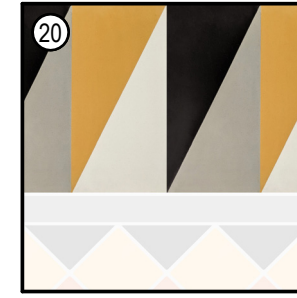
17
EXTERIOR WALLS, TRIM,
SOFFIT, AND FASCIA:
WOOD, PAINTED
(SW 6675)



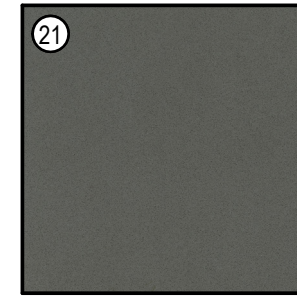
18
WINDOWS:
ALUMINUM, POWDER-
COATED
(FACTORY BLACK)



19
WAINSCOT TILE:
CERAMIC TILE, GLAZED
(MUSTARD 1012 (3),
ORANGE BURST 1087 (3),
BLACK K111 (2))



20
WAINSCOT BAND:
LILI CEMENT TILE,
MATERIALS MARKETING,
SAN ANTONIO
(VEGAS 3)



21
WAINSCOT TRIM AND
COUNTERS:
SOLID SURFACE
(CEMENTO SPA)

LA VILLITA

MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS

418 VILLITA STREET #9
SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)

114 W. COMMERCE, 6TH FLOOR
SAN ANTONIO, TX 78205

SUBCONSULTANT

Fisher Heck
ARCHITECTS

915 SOUTH ST MARY'S STREET
SAN ANTONIO, TEXAS
FISHERHECK.COM
210-290-1500

REVISIONS

NO.	DATE	DESCRIPTION
1	06.17.20	100% CD REVIEW SET

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.17.20	100% CD REVIEW SET

SHEET INFORMATION

PROJECT NO.

1827 A1

DATE ISSUED

JUNE 17, 2020

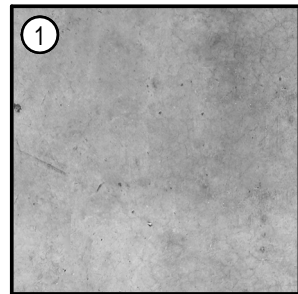
SHEET NAME

HDCR MATERIALS & FINISHES
REVIEW

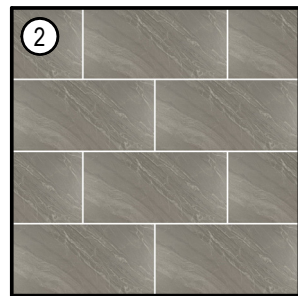
SHEET NUMBER

3-A-601

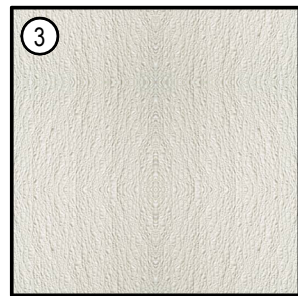
INTERIOR FINISHES



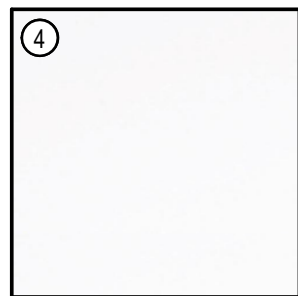
FLOORS:
CONCRETE, POLISHED
AND SEALED



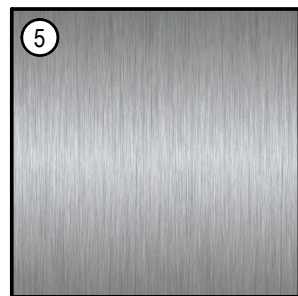
KITCHEN WALLS:
12X24 PORCELAIN TILE,
(COMPOSER VR11)



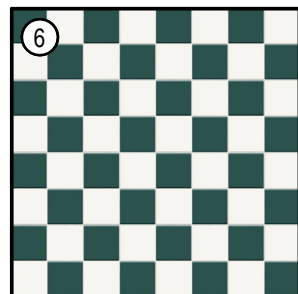
STORAGE ROOM WALLS:
FIBERGLASS
REINFORCED PLASTIC,
(P151 - LIGHT GREY)



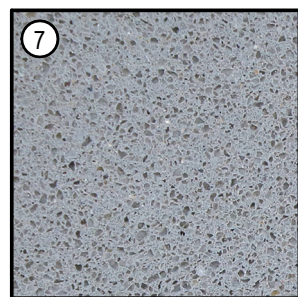
CEILINGS:
FIBERGLASS
REINFORCED PLASTIC,
(S100G - WHITE)



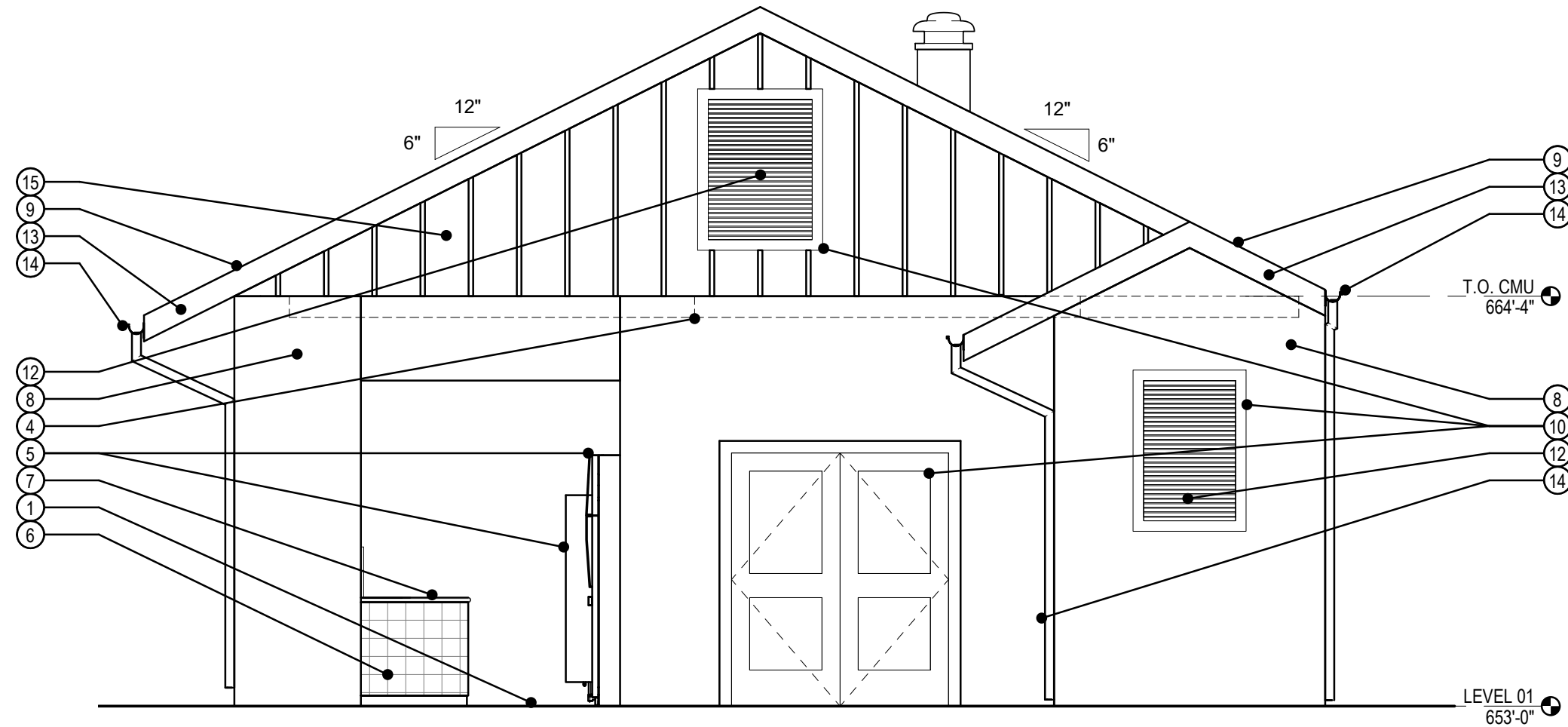
KITCHEN APPLIANCES:
STAINLESS STEEL



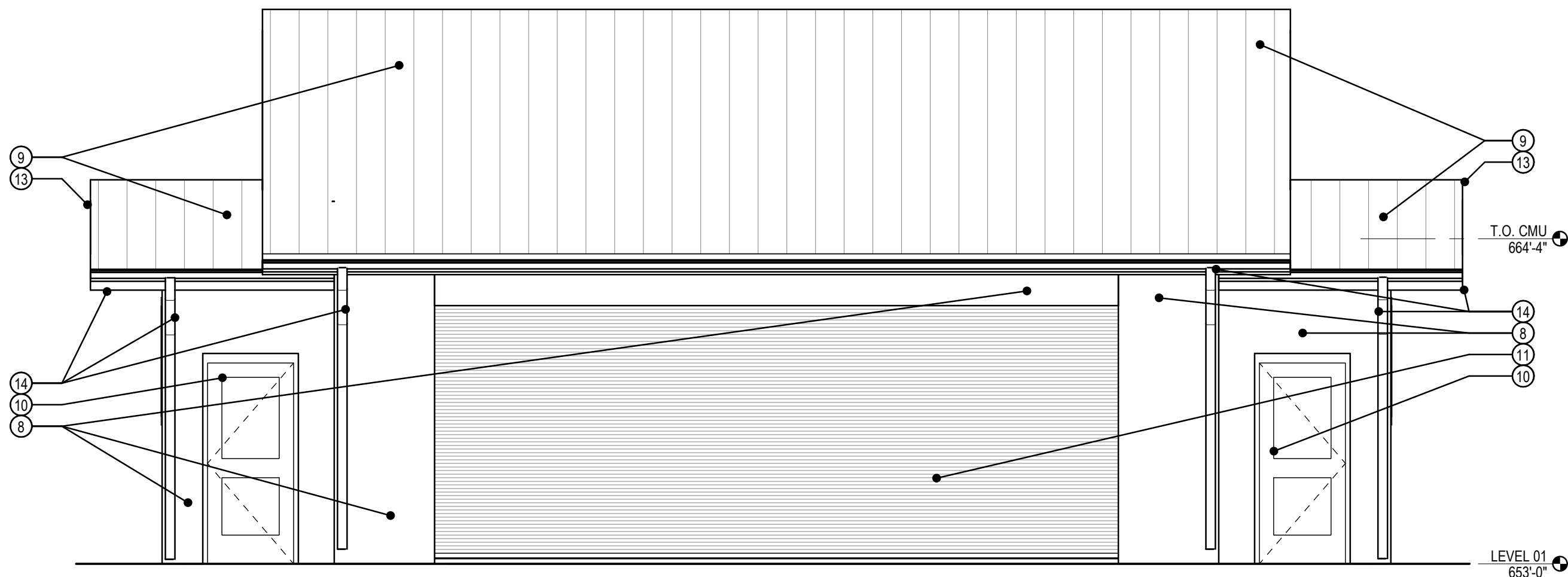
COUNTER WALL FACES:
CERAMIC TILE, GLAZED
(0115 EMERALD GREEN /
0190 ARCTIC WHITE)



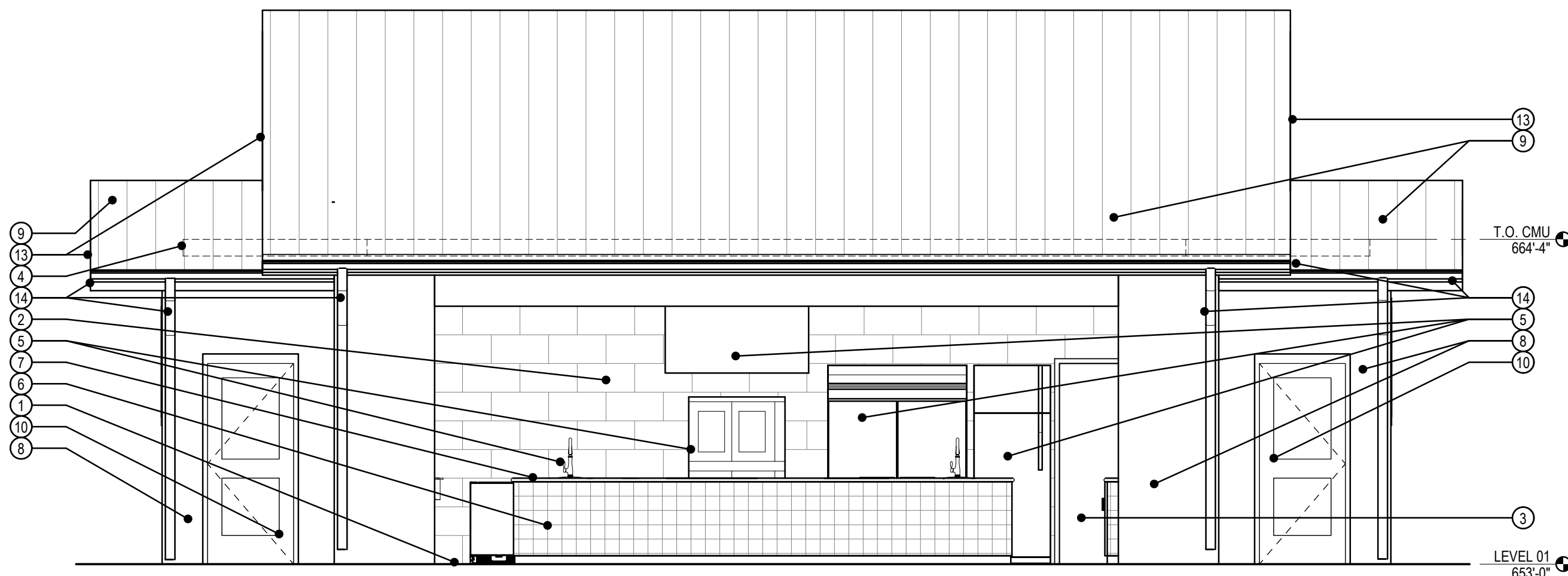
COUNTERTOPS:
SOLID SURFACE
SILESTONE (GREY
EXPO)



1 EAST ELEVATION - MATERIALS & FINISHES
1/4" = 1'-0"

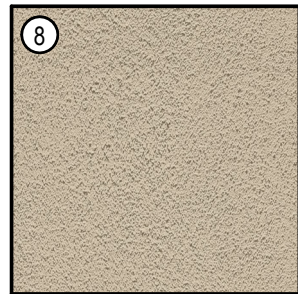


2 SOUTH ELEVATION - MATERIALS & FINISHES
1/4" = 1'-0"

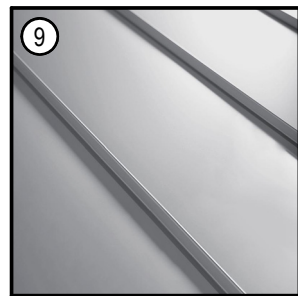


3 SOUTH ELEVATION - MATERIALS & FINISHES
1/4" = 1'-0"

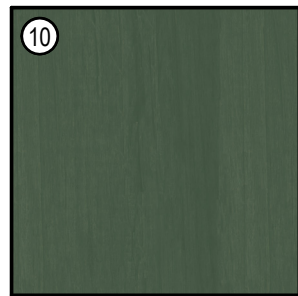
EXTERIOR FINISHES



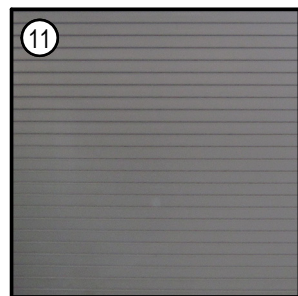
EXTERIOR WALLS:
PLASTER SAND-
FINISHED
PAINTED (SW 6107)



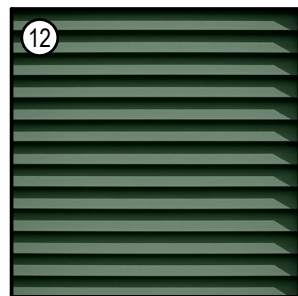
ROOF:
STANDING-SEAM,
GALVANIZED
UNPAINTED



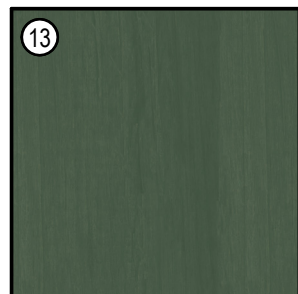
EXTERIOR DOORS AND
TRIM PIECES:
WOOD
PAINTED (SW 6461)



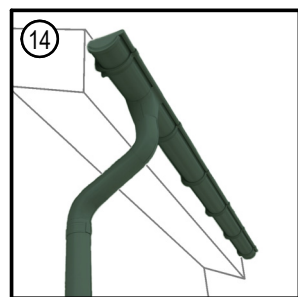
COILING METAL DOORS:
METAL, FACTORY
FINISHED
BAKED ENAMEL, GREY



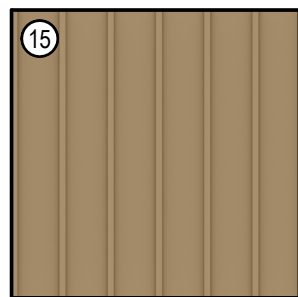
METAL LOUVERS:
GALVANIZED METAL
PAINTED (SW 6461)



DRIP EDGE, FASCIA,
RAFTERS, AND SOFFIT:
WOOD
PAINTED (SW 6461)



GUTTERS AND
DOWNSPOUTS:
GALVANIZED METAL
PAINTED (SW 6461)



BOARD AND BATTEN
SIDING:
WOOD
PAINTED (SW 6109)

STATUS

100%
CONSTRUCTION
DOCUMENT SET

PRELIMINARY NOT FOR REGULATORY
APPROVAL, PERMIT, OR CONSTRUCTION
FISHER HECK, INC., ARCHITECTS
MARK B. NAVARRO #25326

6/17/2020

PROJECT

LA VILLITA

MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS

418 VILLITA STREET #9
SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)
114 W. COMMERCE, 6TH FLOOR
SAN ANTONIO, TX 78205

SUBCONSULTANT

Fisher Heck
ARCHITECTS

915 SOUTH ST MARY'S STREET
SAN ANTONIO, TEXAS
FISHERHECK.COM
210-290-1500

REVISIONS

NO.	DATE	DESCRIPTION
1	06.17.20	100% CD REVIEW SET

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.17.20	100% CD REVIEW SET

SHEET INFORMATION

PROJECT NO.

1827 A1

DATE ISSUED

JUNE 17, 2020

SHEET NAME

HDRC MATERIALS AND FINISHES
REVIEW

SHEET NUMBER

2-A-602

EVERGREEN

SEMI/DECIDUOUS

SHRUBS



LEOPARD PLANT
FARFUGIUM JAPONICUM 'AUREOMACULATA'
2' HEIGHT X 2' WIDTH



BICOLOR IRIS
DIETES BICOLOR
4'HEIGHT X 2'-3' WIDTH



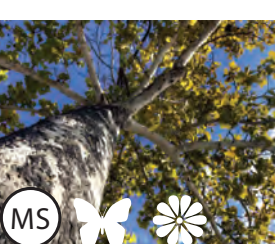
SKELETON LEAF GOLDENEYE
VIGUIERA STENOLOBA S.F. BLAKE
4'HEIGHT X 2'-4' WIDTH



THRYALLIS
GALPHIMIA GLAUCA
4'HEIGHT X 2'-3' WIDTH



ZEXMENIA
WEDELIA ACAPULCENSIS VAR. HISPIDA
2' HEIGHT X 1'-3' WIDTH



MEXICAN SYCAMORE
Platanus mexicana
8"-10" CALIPER



PALO VERDE DESERT MUSEUM
CERCIDIUM X 'DESERT MUSEUM'
6"-8" CALIPER



TEXAS EBONY
EBENOPSIS EBANO
6"-8" CALIPER



ESPERANZA
TECOMA STANS
3'-6' HEIGHT X 3'-4' WIDTH



PRIDE OF BARBADOS
CAESALPINIA PULCHERRIMA
5'-8' HEIGHT X 3'-4' WIDTH



FLAME ACANTHUS
ANISACANTHUS QUADRIFIDUS VAR. WRIGHTII
3'-5' HEIGHT X 3'-4' WIDTH



FIRECRACKER FERN
RUSSELIA EQUISETIFORMIS
2'-4' HEIGHT X 3'-5' WIDTH

GROUNDCOVERS



FROG FRUIT
PHYLLA NODIFLORA
2"- 3"HEIGHT X 4"- 8" WIDTH



PURPLE HEART
TRADESCANTIA PALLIDA
12" HEIGHT X 18" WIDTH



TEXAS SEDGE
CAREX TEXENSIS
12"-18" HEIGHT X 2' WIDTH



GREGG'S MISTFLOWER
CONOCLINIUM GREGGII
3' HEIGHT X 2' WIDTH



MEXICAN FEATHER GRASS
NASSELLA TENUISSIMA
1'-2'HEIGHT X 30" WIDTH

ACCENT/SUCCULENTS



DWARF PALMETTO
SABAL MINOR
3'-6'HEIGHT X 3'-6' WIDTH



BOUGAINVILLEA
BOUGAINVILLEA SPECTABILIS (B. BRASILIENSIS)
VINE



SPINELESS PRICKLY PEAR
OPUNTIA FICUS-INDICA
10'-15' HEIGHT X 5'-10' WIDTH

TREES



201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

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LA VILLITA

MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS

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SAN ANTONIO, TX 78205

OWNER | CLIENT

CITY OF SAN ANTONIO (PW)
100 HOUSTON ST., SUITE 210
SAN ANTONIO, TX 78205

SUBCONSULTANT

REVISIONS

ISSUE SETS

NO.	DATE	DESCRIPTION
1	06.16.20	ISSUE FOR CONSTRUCTION

SHEET INFORMATION

PROJECT NO.

18100

DATE ISSUED

JULY 22, 2020

SHEET NAME

PLANTING PALETTE

SHEET NUMBER

LP 2.1

LEGEND



Hummingbirds



Birds



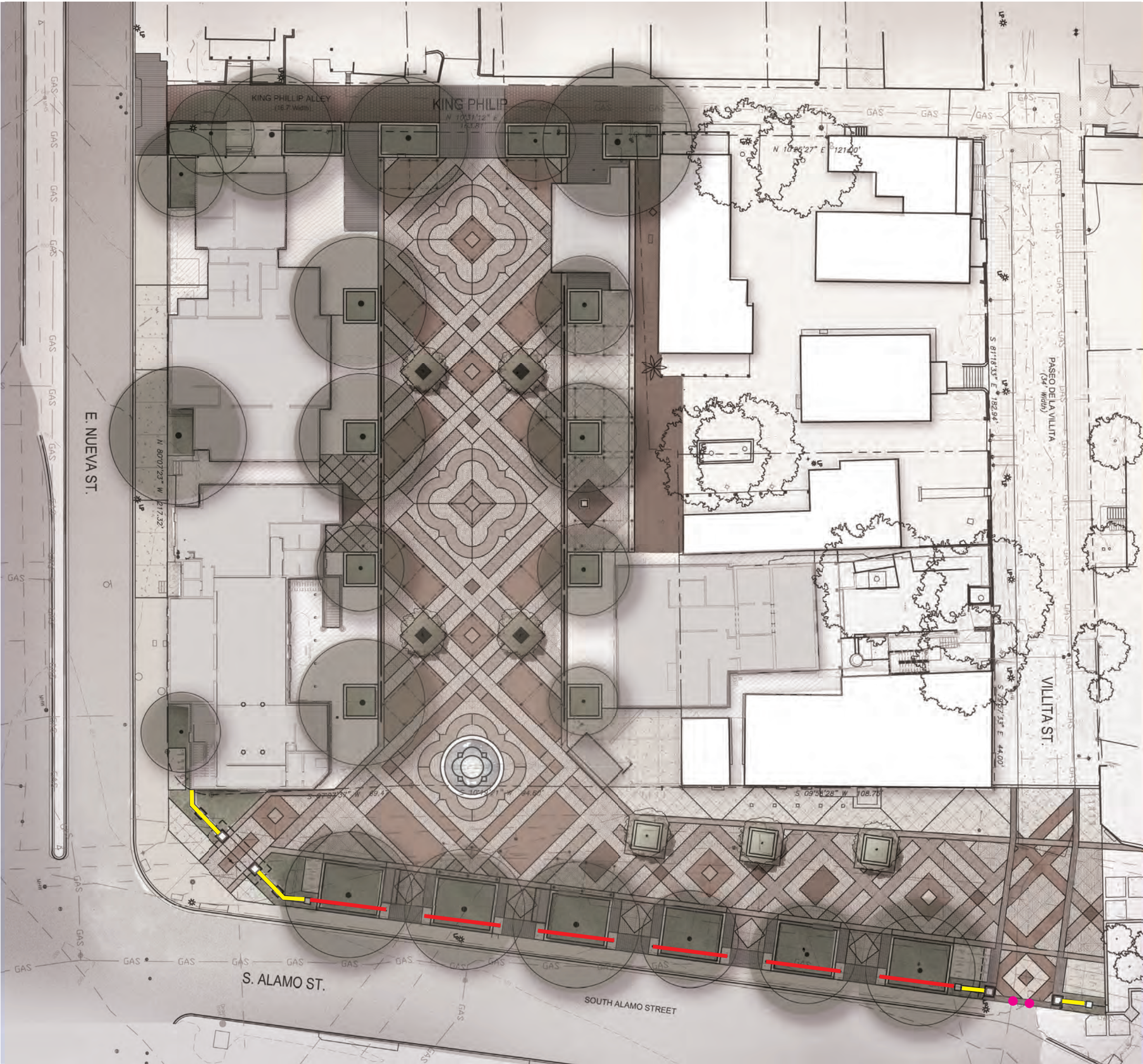
Butterflies



Nectar Source

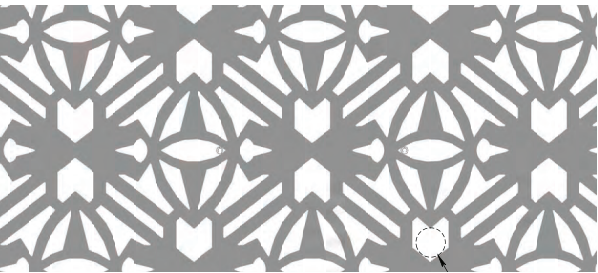


Fruit/Seeds for Birds & Mammals



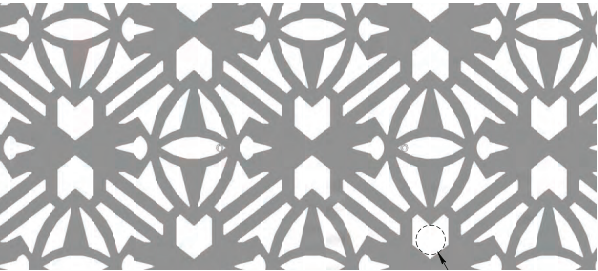
ORNAMENTAL PANEL

SIZE: 2'X4'X 3/16" PANEL | FINISH: COPPER FOIL (CFL)
COMPANY: PARASOLEIL 816.304.1017 | PATTERN: HORUS



LANDSCAPE WALL

SIZE: 1'-10"X 3'-10"X 3/16" & 1'-10"X 1'-10"X 3/16" PANEL | FINISH: COPPER FOIL (CFL)
COMPANY: PARASOLEIL 816.304.1017 | PATTERN: HORUS



BOLLARDS

MODEL: DG-3REM LOCK REMOVABLE BOLLARD | FINISH: STANDARD |
QUANTITY: 3 | COMPANY: URBAN ACCESSORIES



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18100

DATE ISSUED

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SHEET NAME

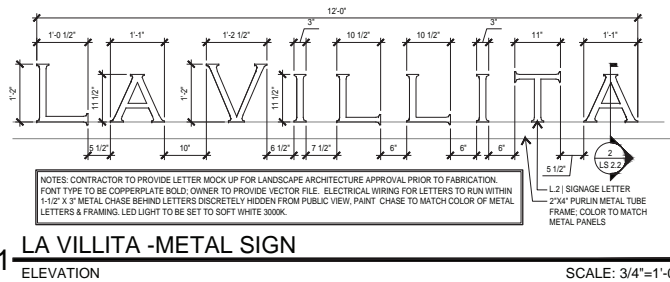
FENCING PLAN

SHEET NUMBER

LF 1.0



CHANNEL LETTERS- FRONT LIT 1'-2" HEIGHT FONT TYPE TO BE PROVIDED BY OWNER | CHANNEL TO BE ANTIQUE RUSTED BROWN | LOCAL SOURCE



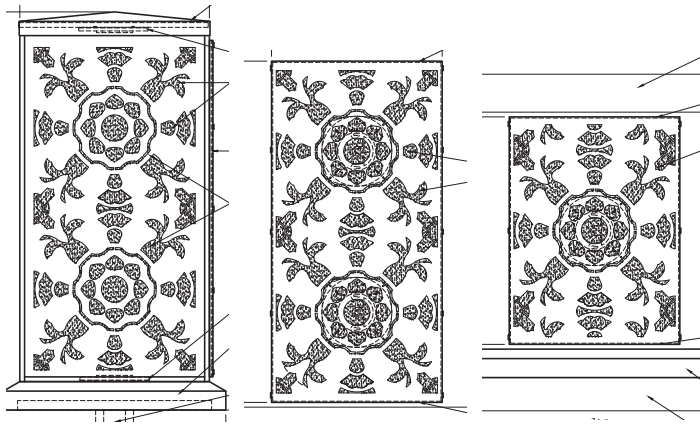
LIGHTS TO ATTACH TO POLE LIGHT | FIXTURE: FIRFESV12LAMPE, SOCKET: SUSPENDED
CABLE 12" SOCKET SPACING | COMPANY: TMB | CONTACT: HOSSLEY LIGHTING 210.775.4166



UNDERWATER AND SUBMERSIBLE UP-LIGHTS TO BE SPECIFIED BY FOUNTAIN CONTRACTOR



FIXTURE: CUSTOM | TWO HILLS STUDIO 512.707.7571



FIXTURE: FL3A BLT C4 K2 139 L2 0H1 GROUND MOUNT | COMPANY: VISION 3 | CONTACT:
 HOSSLEY LIGHTING 210.775.4166



1G2A BLT STD PC 1410 0 HI | TEXTURED BRONZE | CLEAR ANODIZED | CONTACT:
HOSSLEY LIGHTING 210.775.4166



1720 LED VILLA SERIES | POST MOUNT, RE (NO SHADE W/ FLAT TOP) IH3 TAPERED CYLINDER
| COLOR: UBT BRONZE TEXTURED | CONTACT: HOSSLEY LIGHTING 210.775.4166



PT 1720CLED RC IH2 R3 IL 30 TS UTB SV2 MS PE* POLE RTS200F590 | UTB
BRONZE | BASE: ROUND
STERNBURG LIGHTING | CONTACT: HOSSLEY LIGHTING 210.775.4166



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18100

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SHEET NAME

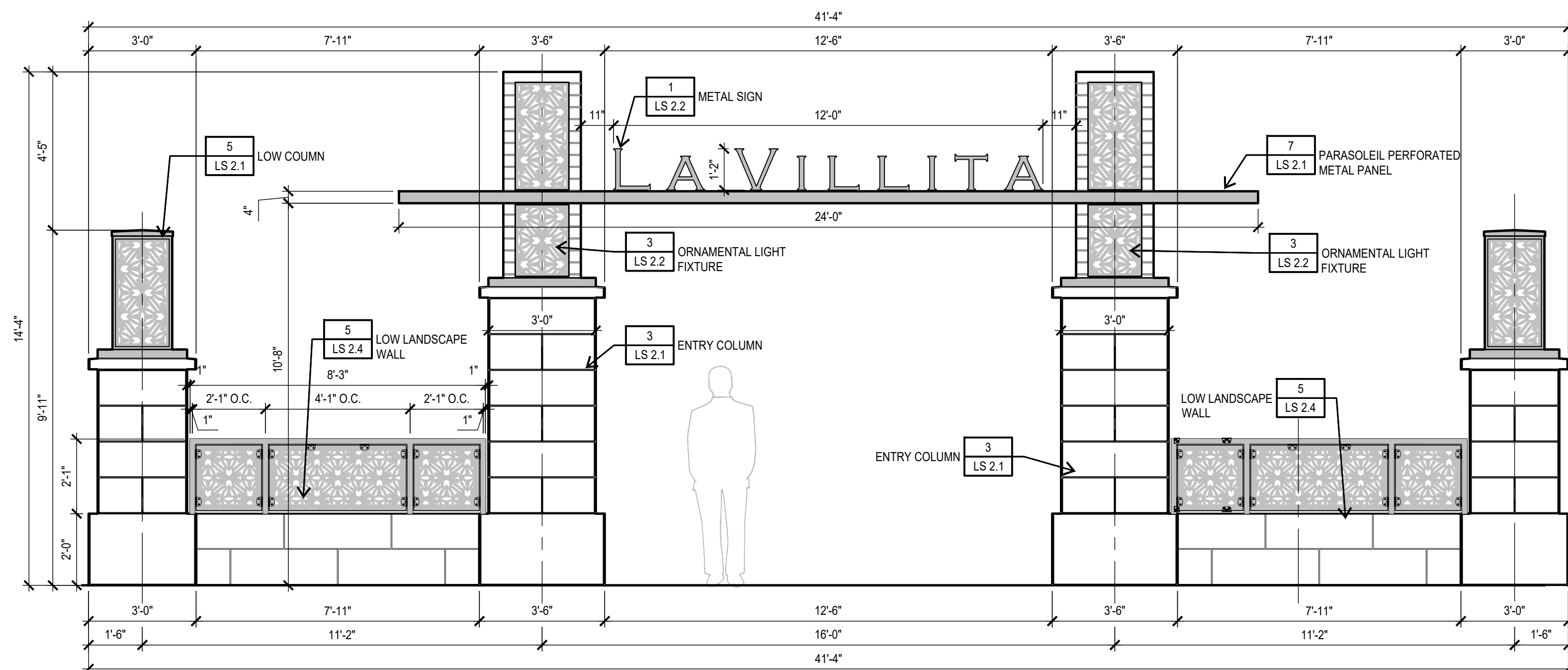
LIGHTNING MATERIALS

SHEET NUMBER

LL 2.1

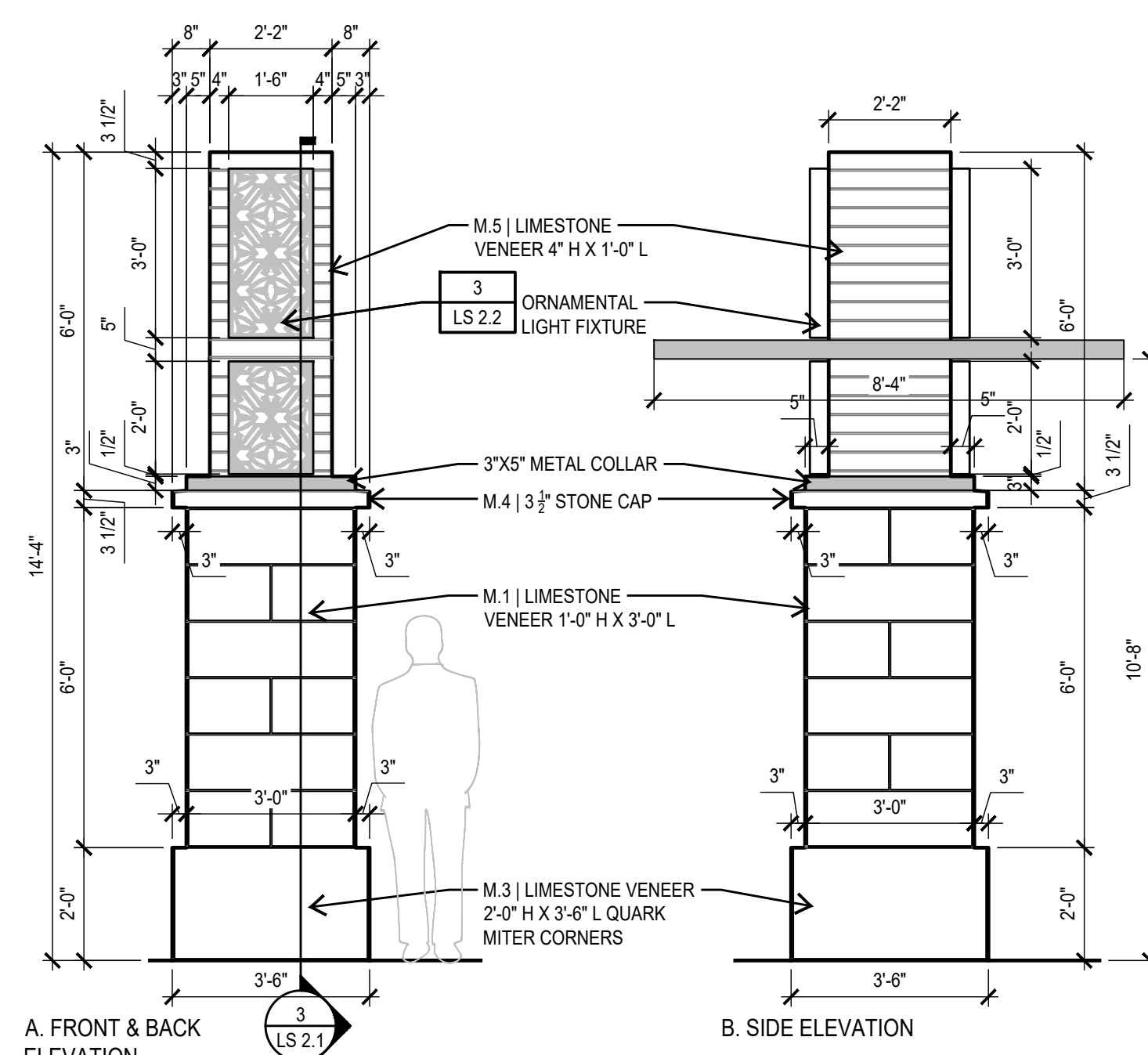
NO.	DATE	DESCRIPTION
1	06.01.20	100% CD REVIEW SET

NO.	DATE	DESCRIPTION
1	06.01.20	100% CD REVIEW SET



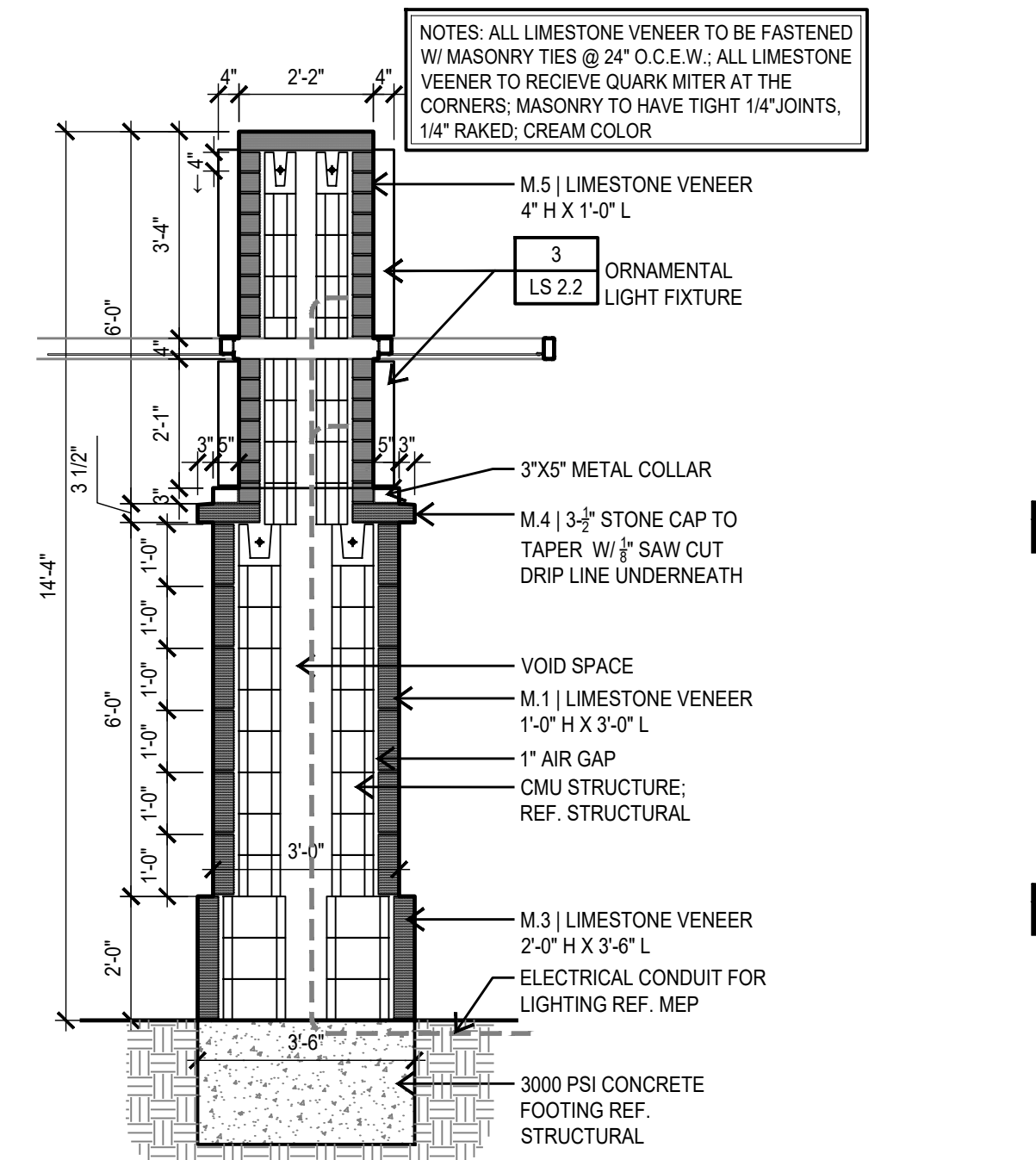
1 ENTRY PORTAL-FRONT
ELEVATION

SCALE: 3/8"=1'-0"



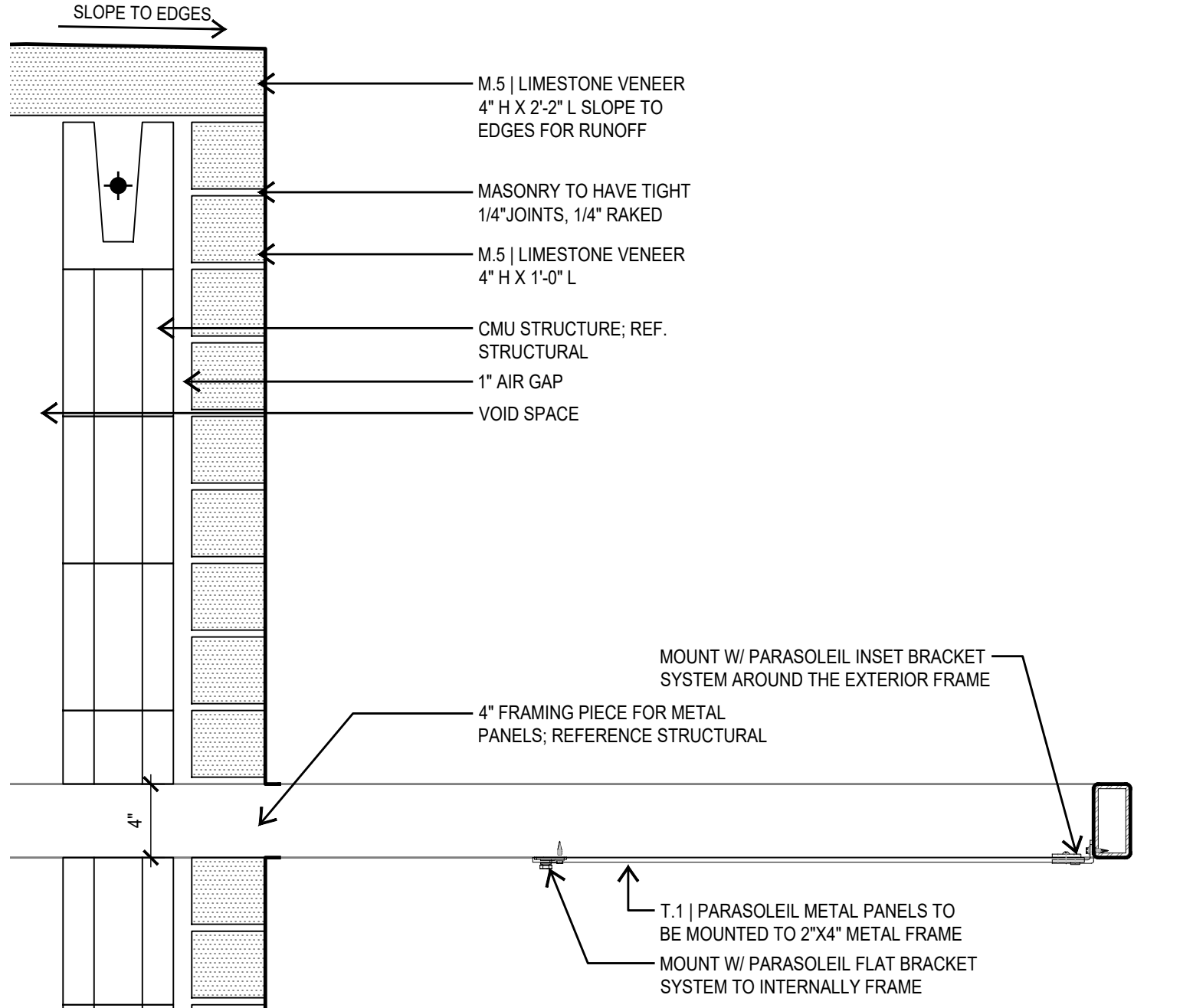
2 ENTRY PORTAL-LARGE COLUMN
ELEVATION

SCALE: 3/8"=1'-0"



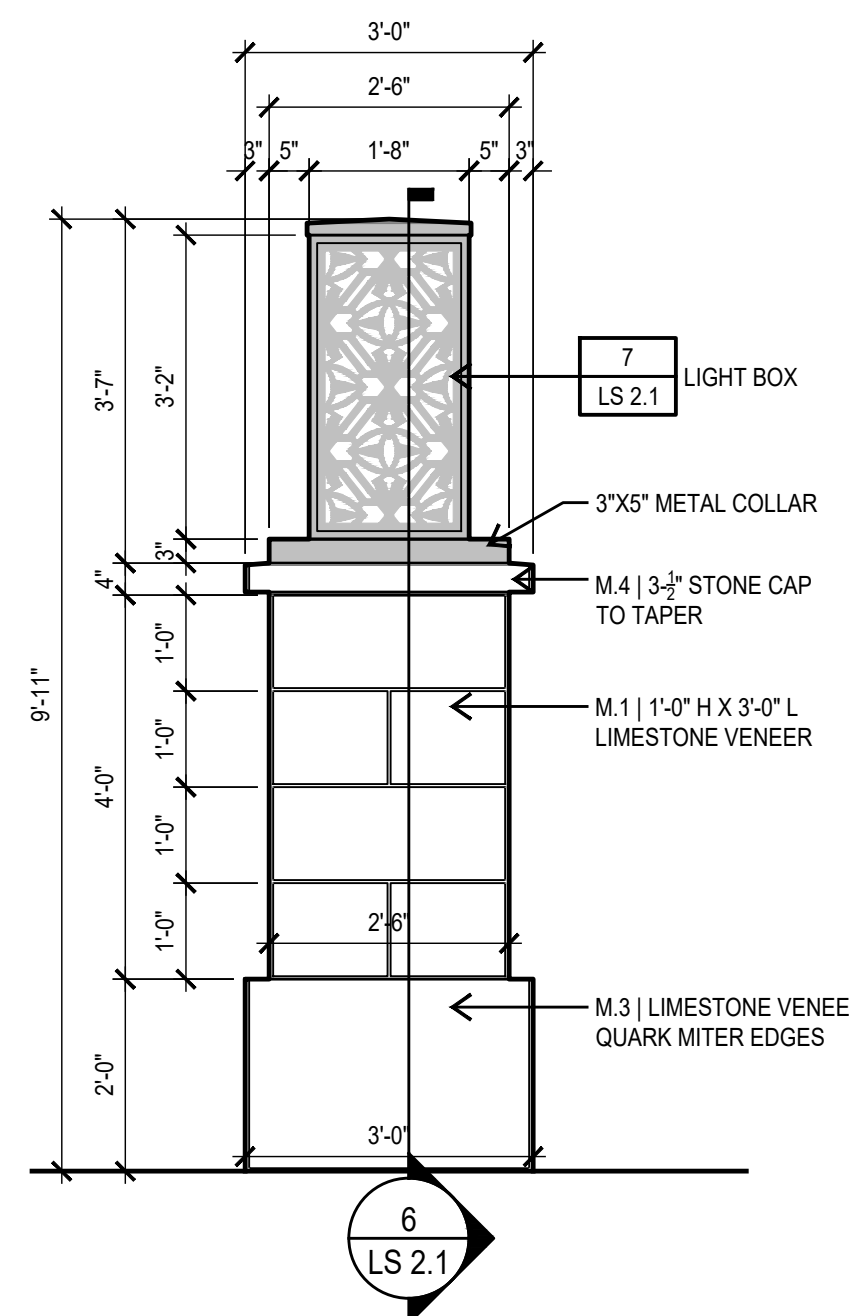
3 ENTRY PORTAL-LARGE COLUMN
SECTION

SCALE: 3/8"=1'-0"



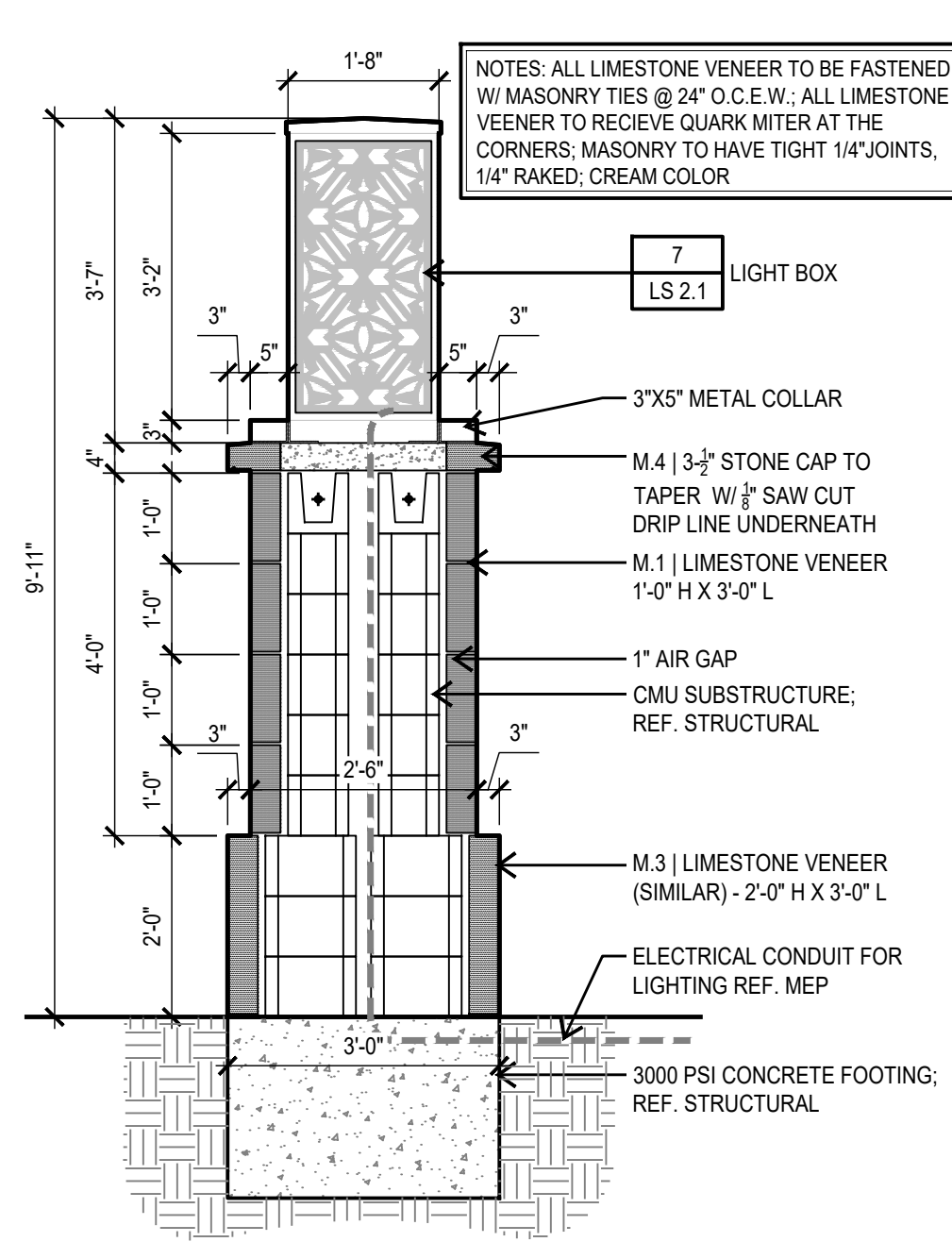
4 LARGE COLUMN-TOP
SECTION

SCALE: 1-1/2"=1'-0"



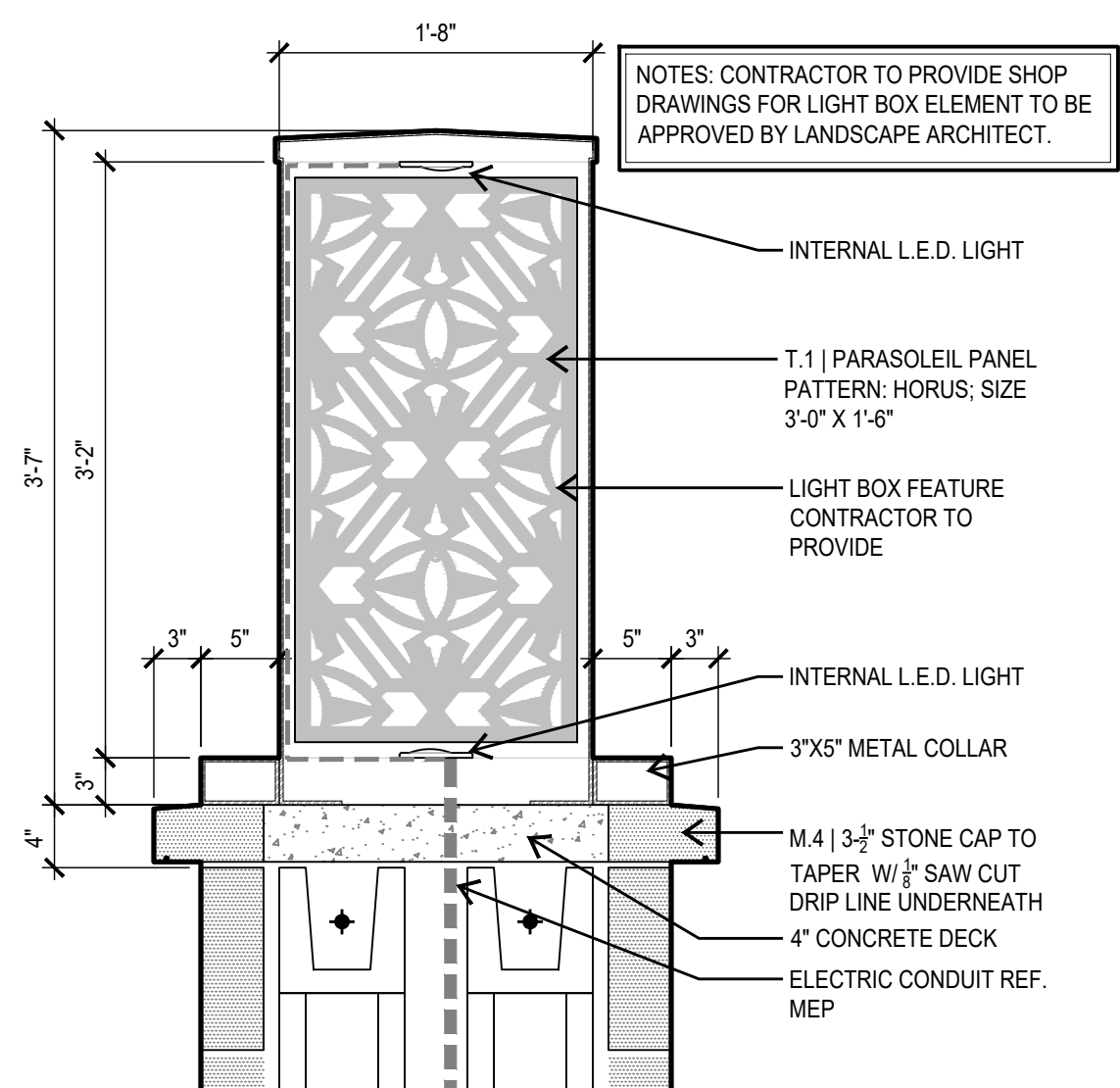
5 ENTRY PORTAL- LOW COLUMN
ELEVATION

SCALE: 1/2"=1'-0"



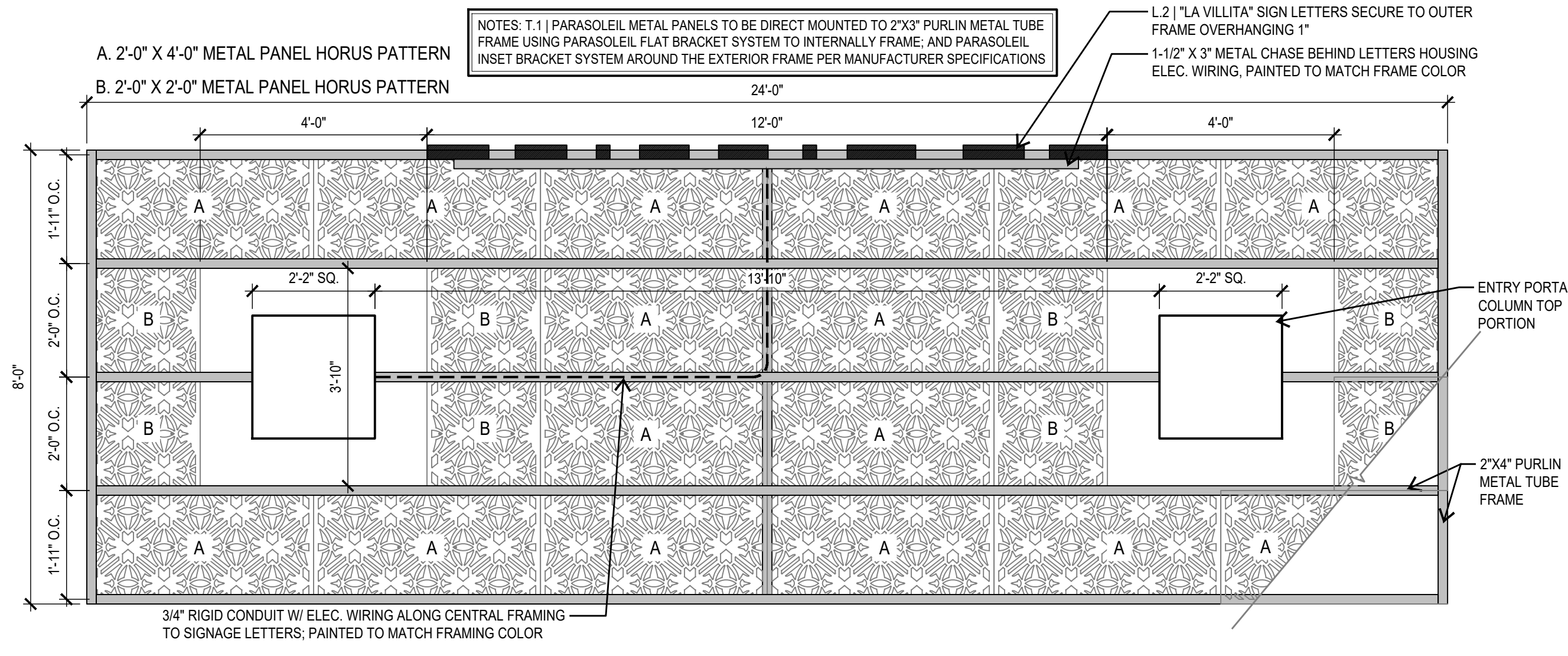
6 ENTRY PORTAL- LOW COLUMN
SECTION

SCALE: 1/2"=1'-0"



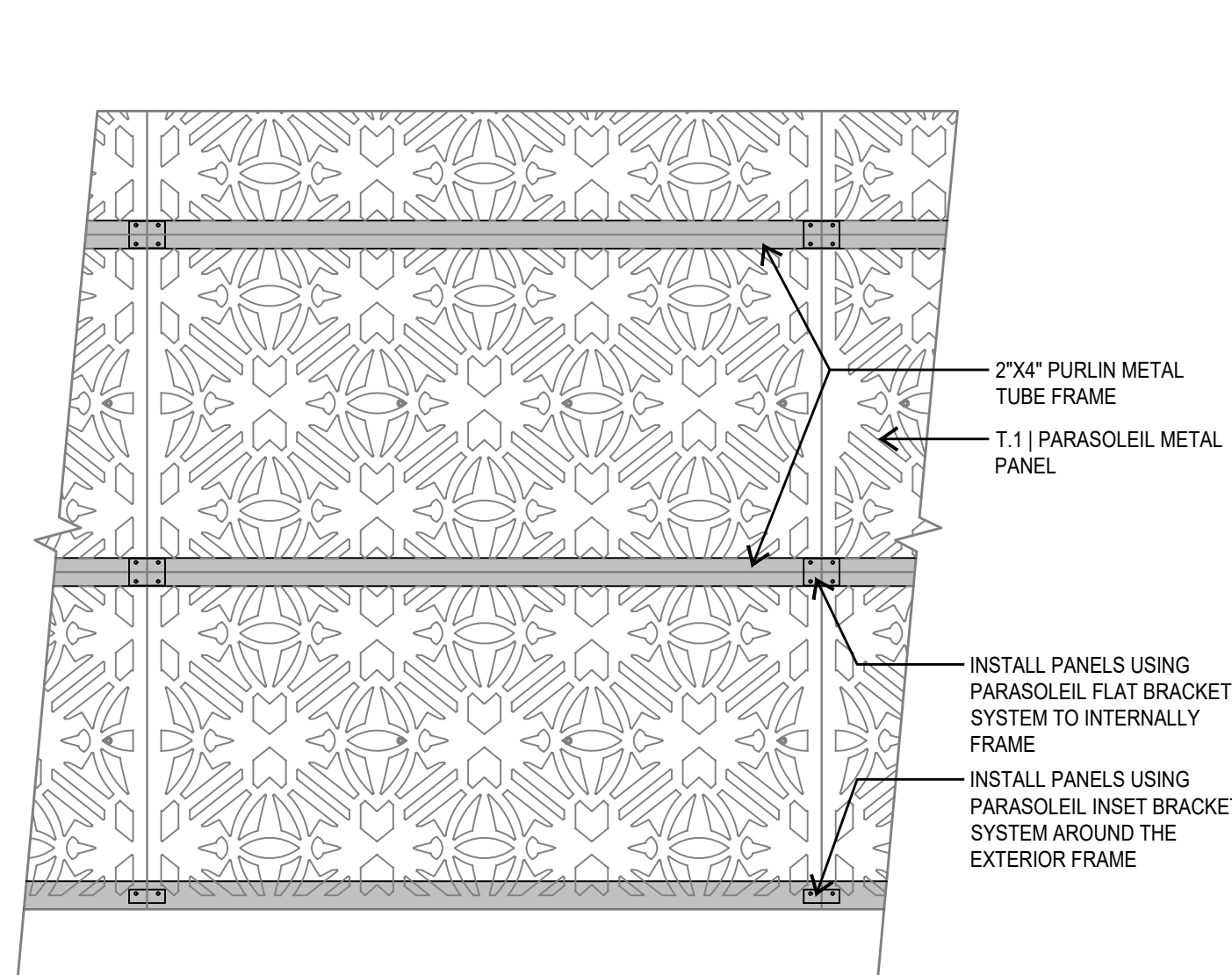
7 COLUMN LIGHT BOX
PLAN

SCALE: 1"=1'-0"



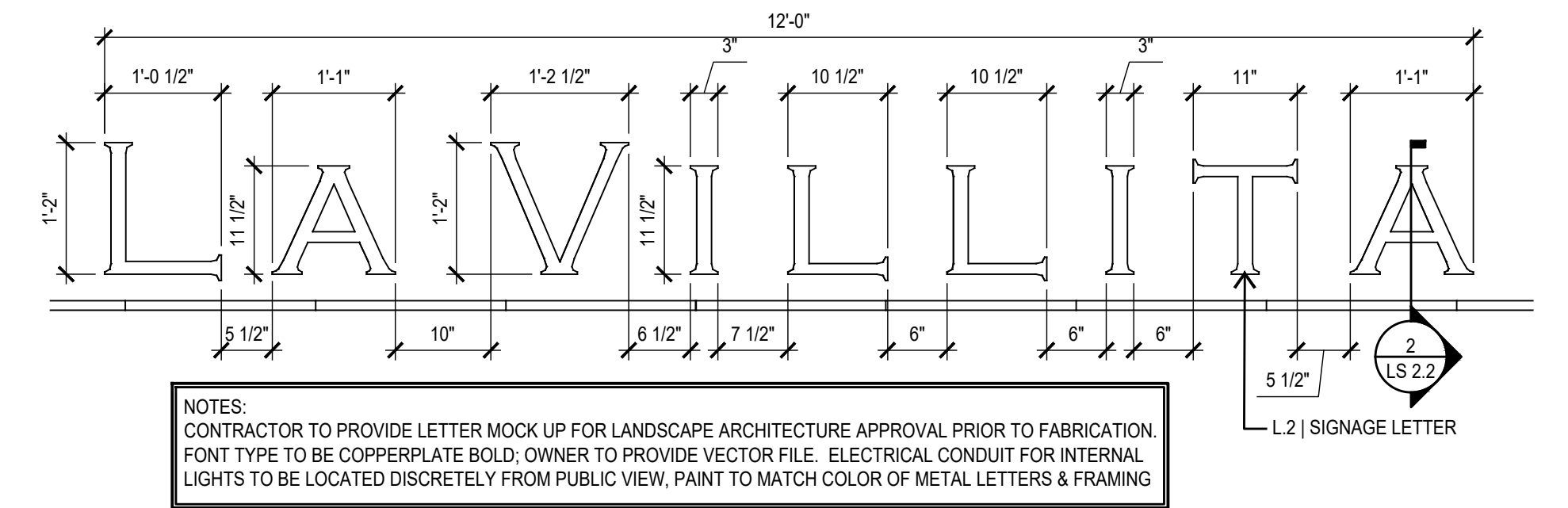
8 ENTRY PORTAL-METAL PERFORATED PANEL
PLAN

SCALE: 1/2"=1'-0"

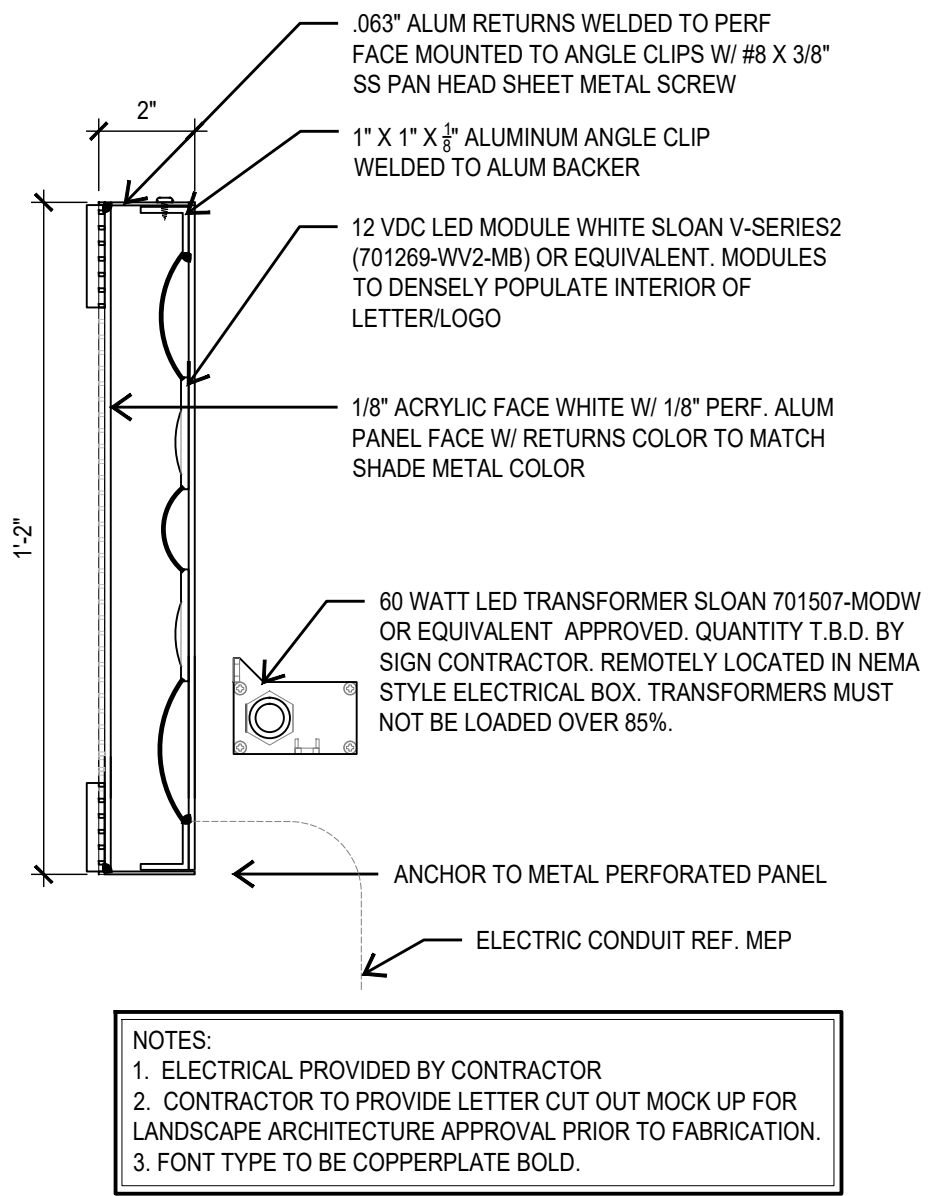


9 METAL PERFORATED PANEL
VIEW LOOKING UP

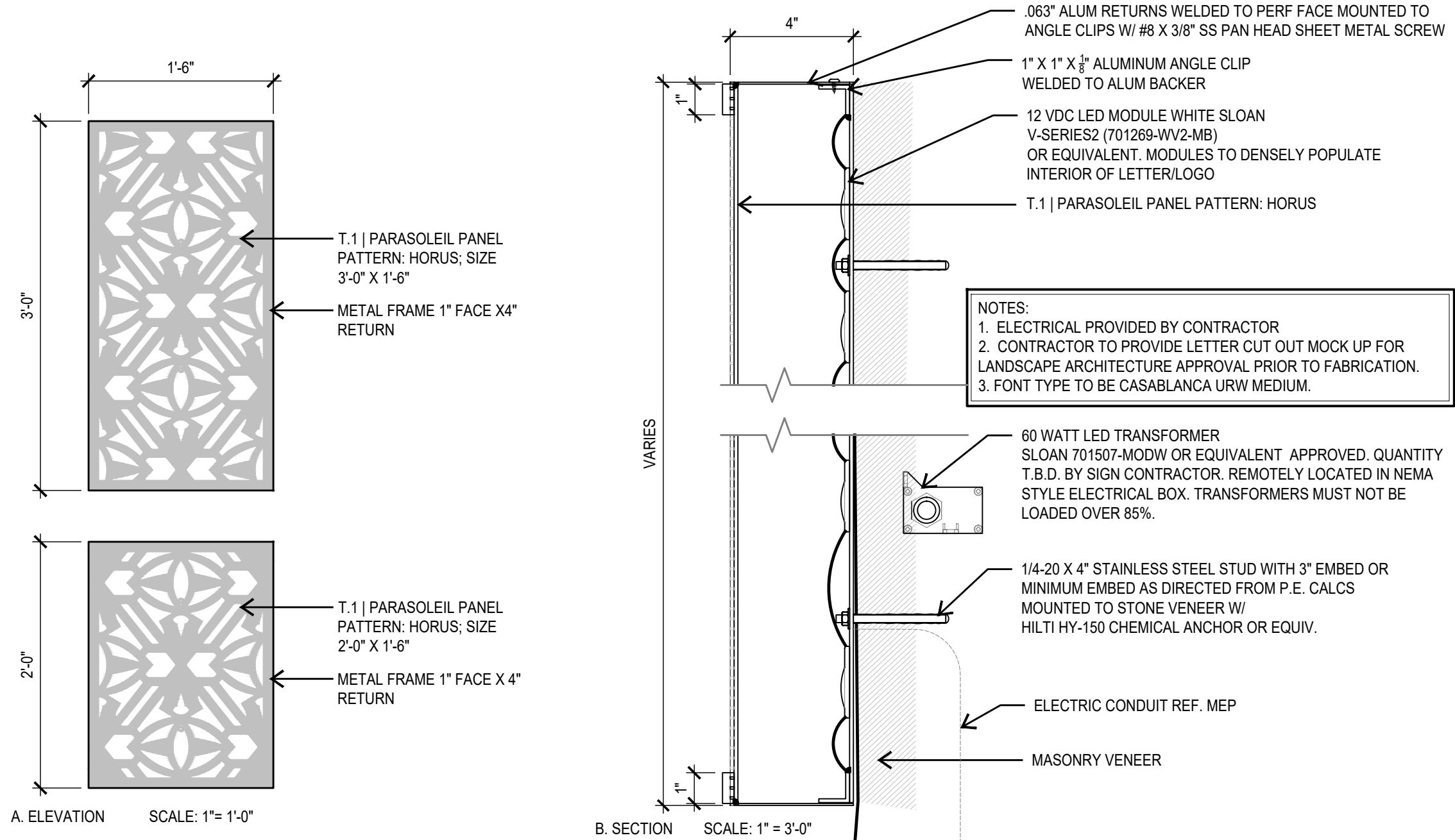
SCALE: 1"=1'-0"



1 LA VILLITA -METAL SIGN
ELEVATION SCALE: 3/4"=1'-0"



2 LA VILLITA -LETTERS
SECTION SCALE: 3"=1'-0"



3 ORNAMENTAL LIGHT FIXFTURE
ELEVATION & SECTION SCALE: AS SHOWN

MPSTUDIO

201 GROVETON | SATX 78210
210.314.5582 | MPSTUD.IO

STATUS

100%CONSTRUCTIONDOCUMENT SET

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PROJECT

LA VILLITA
MAVERICK PLAZA
REHABILITATION

PROJECT ADDRESS
418 VILLITA STREET #9
SAN ANTONIO, TX 78205

OWNER | CLIENT
CITY OF SAN ANTONIO (PW)
114 W. COMMERCE, 6TH FLOOR
SAN ANTONIO, TX 78205

SUBCONSULTANT

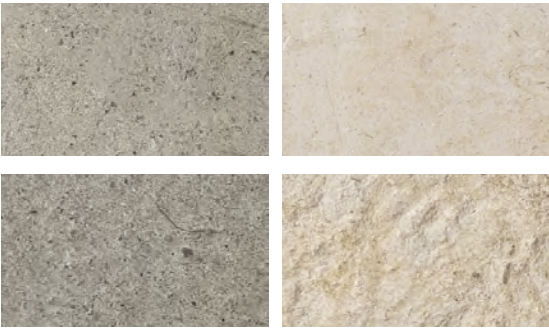
REVISIONS		
ISSUE SETS		
NO.	DATE	DESCRIPTION
1	06.01.20	100% CD REVIEW SET

SHEET INFORMATION	
PROJECT NO.	
18100	
DATE ISSUED	
JUNE 1, 2020	
SHEET NAME	
SITE DETAILS ENTRY PORTAL	
SHEET NUMBER	

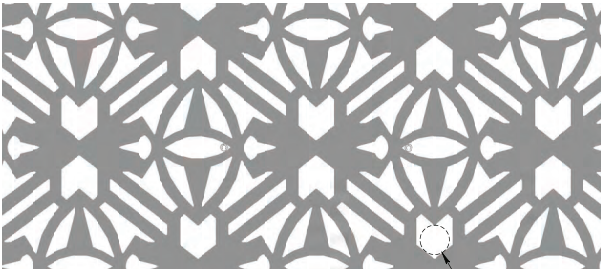
LS 2.2



01 LIMESTONE VENEER
SIZE: 1'H X 3'LX 4" D | COLOR: 40% CREAM, 60% PEWTER | FINISH: 2/3 BRUSHED, 1/3 HAND HEWN | COMPANY: MATERIALS MARKETING 210.785.2012



02 ORNAMENTAL PANEL
SIZE: 2'X4'X 3/16" PANEL | FINISH: COPPER FOIL (CFL)
COMPANY: PARASOLEIL 816.304.1017 | PATTERN: HORUS



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100 HOUSTON ST., SUITE 210

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REVISIONS

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SHEET INFORMATION

PROJECT NO.

18100

DATE ISSUED

JULY 22, 2020

SHEET NAME

ENTRY MONUMENT

SHEET NUMBER