

HISTORIC AND DESIGN REVIEW COMMISSION

August 19, 2020

HDRC CASE NO: 2020-338
ADDRESS: 333 SADIE ST
LEGAL DESCRIPTION: NCB 729 BLK 3 LOT S 98.9 FT OF 9 ARB 9B
ZONING: R-6, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Shawna Walker
OWNER: GONZALES DANIEL
TYPE OF WORK: Fenestration modifications to rear accessory structure, front yard fence installation
APPLICATION RECEIVED: July 27, 2020
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval:

1. Install two garage doors to the front façade of the rear accessory structure.
2. Install a 4-foot-high wrought iron fence along the south and east property lines facing Sadie and Labor Streets.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.
- iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

9. Outbuildings, Including Garages

A. MAINTENANCE (PRESERVATION)

- i. *Existing outbuildings*—Preserve existing historic outbuildings where they remain.
- ii. *Materials*—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Garage doors*—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.
- ii. *Replacement*—Replace historic outbuildings only if they are beyond repair. In-kind replacement is preferred; however, when it is not possible, ensure that they are reconstructed in the same location using similar scale, proportion, color, and materials as the original historic structure.
- iii. *Reconstruction*—Reconstruct outbuildings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the primary building and historic patterns in the district. Add permanent foundations to existing outbuildings where foundations did not historically exist only as a last resort.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

A. HISTORIC FENCES AND WALLS

- i. *Preserve*—Retain historic fences and walls.
- ii. *Repair and replacement*—Replace only deteriorated sections that are beyond repair. Match replacement materials (including mortar) to the color, texture, size, profile, and finish of the original.
- iii. *Application of paint and cementitious coatings*—Do not paint historic masonry walls or cover them with stone facing or stucco or other cementitious coatings.

B. NEW FENCES AND WALLS

- i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

C. PRIVACY FENCES AND WALLS

- i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. *Location*—Do not use privacy fences in front yards.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

FINDINGS:

- a. The primary structure located at 333 Sadie is a 2-story structure constructed circa 1910. The property first appears on the Sanborn Maps in 1912 as a commercial structure. The structure features a flat roof, composition siding, one-over-one windows, and an entryway oriented to the corner of Sadie and Labor Streets. The property features a rear accessory structure that is not original to the property and does not appear on the Sanborn Maps until 1951. The rear accessory structure features a flat roof, stucco cladding, and two wood-framed windows facing Labor street. The property is contributing to the Lavaca Historic District.
- b. FENESTRATION MODIFICATIONS – The applicant has proposed to install two carriage-style garage doors on the street facing elevation. Two wood-framed windows currently exist on this elevation. The existing fenestration pattern on the rear accessory structure is not original. Guideline 6.B.ii for Exterior Maintenance and Alterations states that new entrances are compatible in size, scale, shape, proportion, material, and massing with historic entrances. The structure was previously used as an auto repair shop per the 1931 Sanborn Map and as a dry cleaner per the 1951 Sanborn Map. Staff finds the installation of garage doors appropriate.
- c. FENESTRATION MODIFICATIONS: MATERIALS – The applicant has proposed to install two carriage-style garage doors on the street facing elevation. Guideline 9.A.ii for Exterior Modifications and Alterations states that outbuildings and their distinctive features should be repaired with in-kind materials. When new materials are needed, they should match existing materials in color, durability, and texture. Guideline 9.B.i for Exterior Maintenance and Alterations states that replacement garage doors should be compatible with those found on historic garage in the district as well as with the principal structure. Carriage style garage doors are common in the Lavaca Historic District, staff finds the proposed garage doors appropriate.
- d. DRIVEWAY INSTALLATION: CURB CUTS – The applicant has proposed to install a new curb cut and driveway to access the rear accessory structure once converted to a garage. Guideline 5.B.ii for Site Elements states that applicants should avoid introducing new curb cuts where not historically found. The existing curb cut does not lead to an existing driveway and due to the unique site conditions of the property, staff finds the proposal appropriate.
- e. FENCE INSTALLATION: FENCE DESIGN AND HEIGHT – The applicant has proposed to install a 4-foot-high wrought iron picket fence along the front and side property lines facing Sadie and Labor Streets. According to the Historic Design Guidelines, new front yard fences should appear similar to those used historically within the district in terms of their scale, transparency, and character. While wrought iron fencing is most appropriate for Queen Anne, Folk Victorian, and German Vernacular houses, properties adjacent to 333 Sadie, along Sadie Street and Labor Street, feature wrought iron picket fencing in the front yard. Staff finds the proposal appropriate.
- f. FENCE INSTALLATION: FENCE LOCATION – According to the Historic Design Guidelines, new front yard fences should follow historic fence placements in the district. Guideline 2.B.ii for Site Elements states that applicants should avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence will be dependent on conditions within a specific historic district. The proposed fence will follow the established fence line of a previously approved rear privacy fence along Labor Street and will extend to the property line along Sadie Street. The proposed fence will meet a previously approved wood privacy fence at the rear property line. The property features unique site conditions as a corner lot and former commercial property and a fence installed along the Labor and Sadie Street property lines will fence-in only approximately 2 feet of yard between the primary structure and the property line. The property surrounding the front and side of the structure is not comparable to the traditional-sized front and side yards found throughout the district. Additionally, as a commercial property this site would not have historically featured a front or side yard fence. Staff finds the proposal inappropriate.

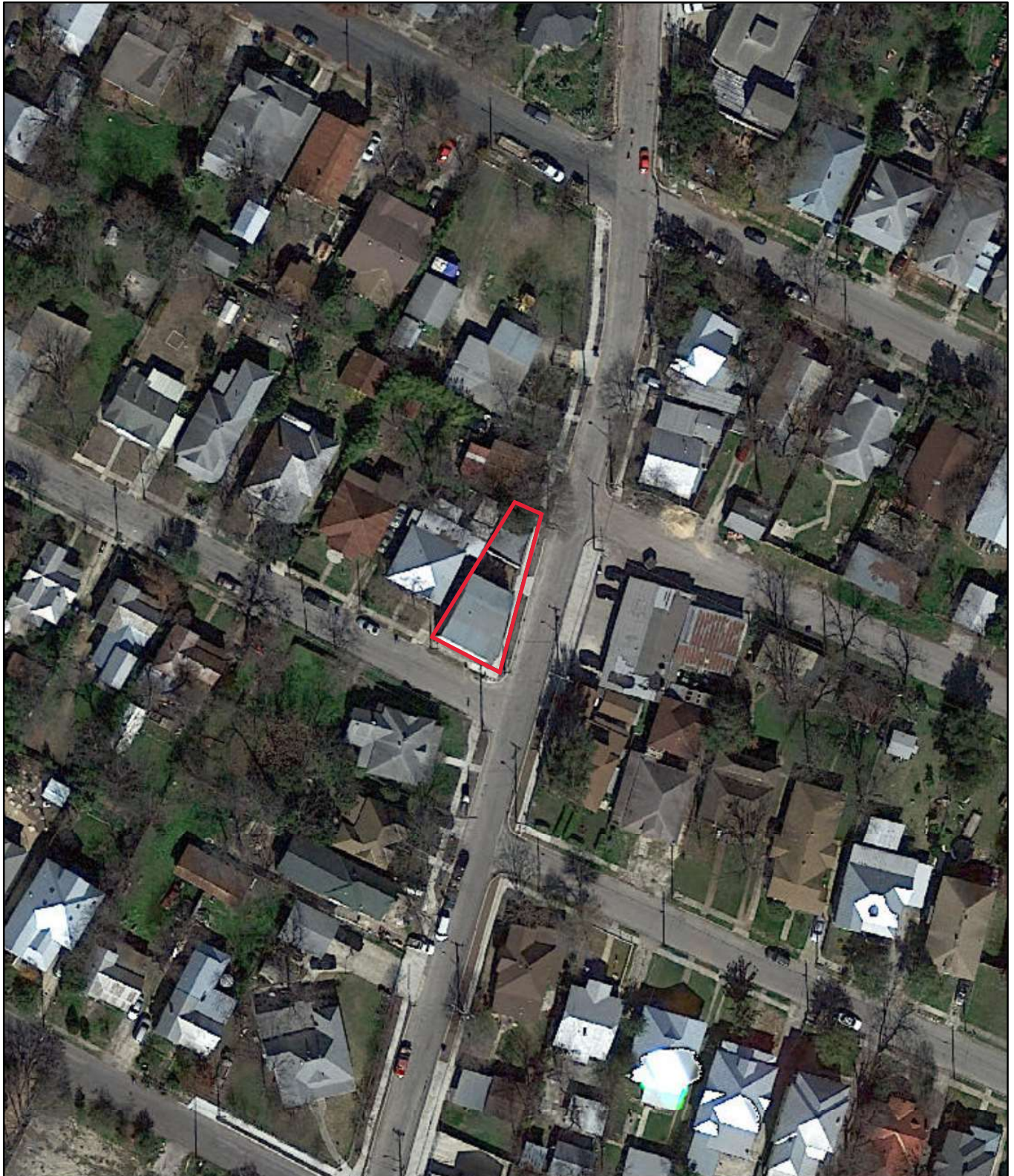
RECOMMENDATION:

Item 1, staff recommends approval of the fenestration modifications to the rear accessory structure based on findings a through d with the following stipulation:

- i. That the applicant submits final material specifications for the garage doors to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- ii. That the applicant submits an updated site plan with driveway and curb cut dimensions to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- iii. The driveway and curb cut must be permitted and meet the development standards outlined in the UDC Section 35-515.

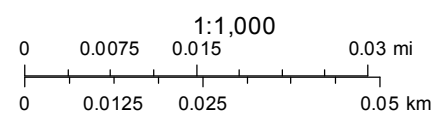
Item 2, staff does not recommend approval of the fence installation based on findings e through f.

City of San Antonio One Stop

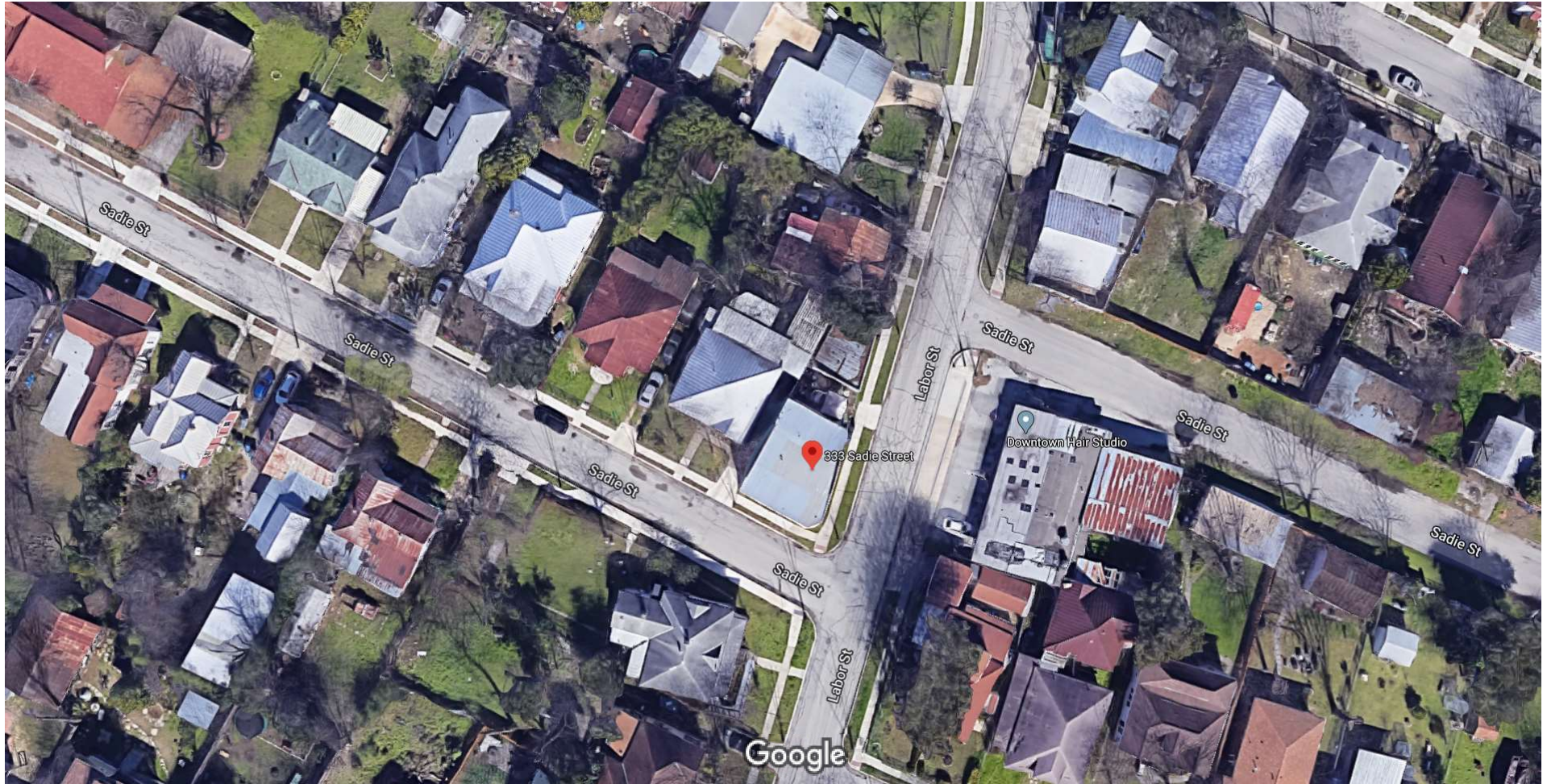


August 7, 2020

— User drawn lines



Google Maps 333 Sadie St



Imagery ©2020 Google, Map data ©2020, Map data ©2020 20 ft

Google Maps 333 Sadie St



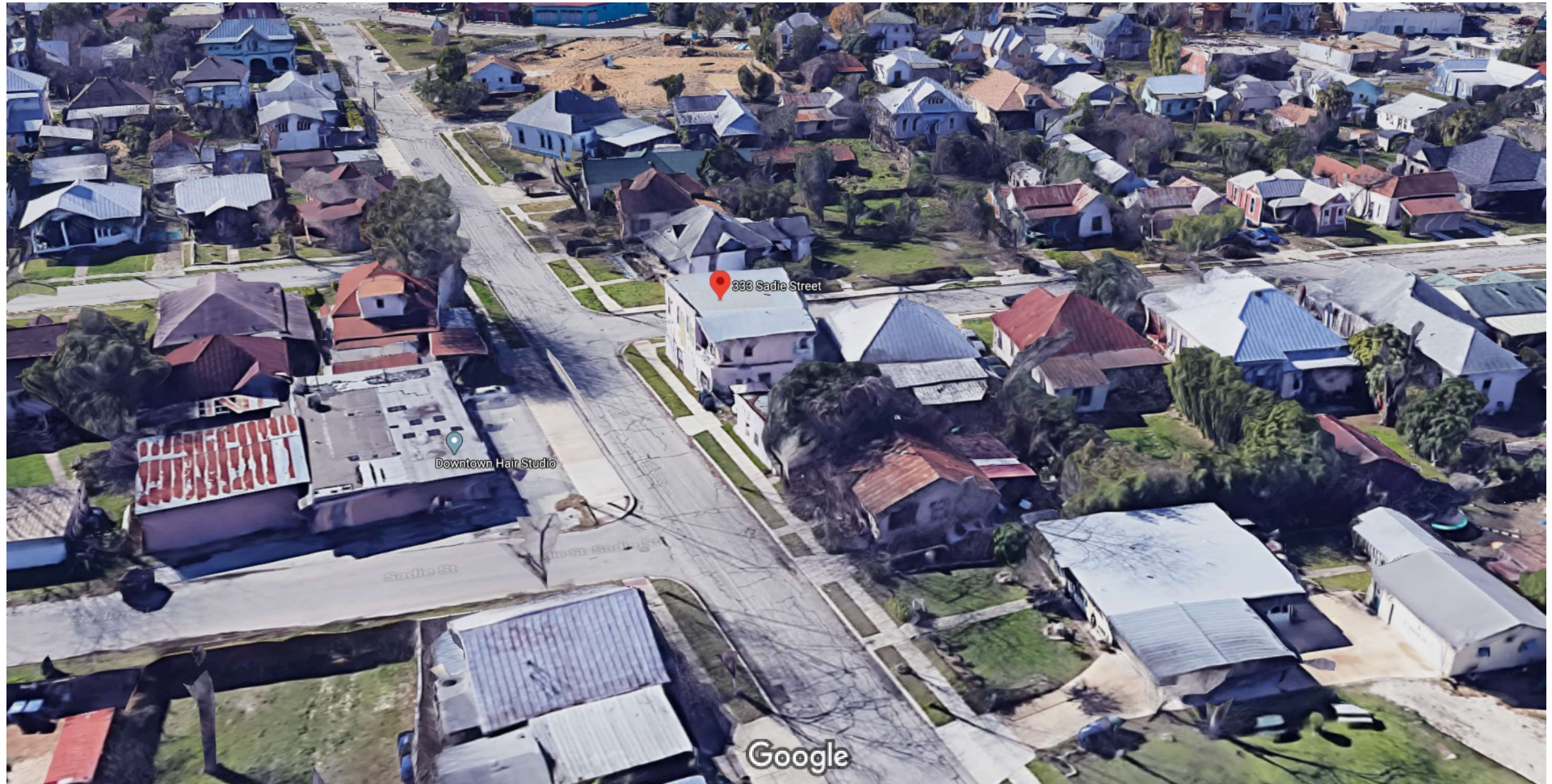
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Google Maps 333 Sadie St



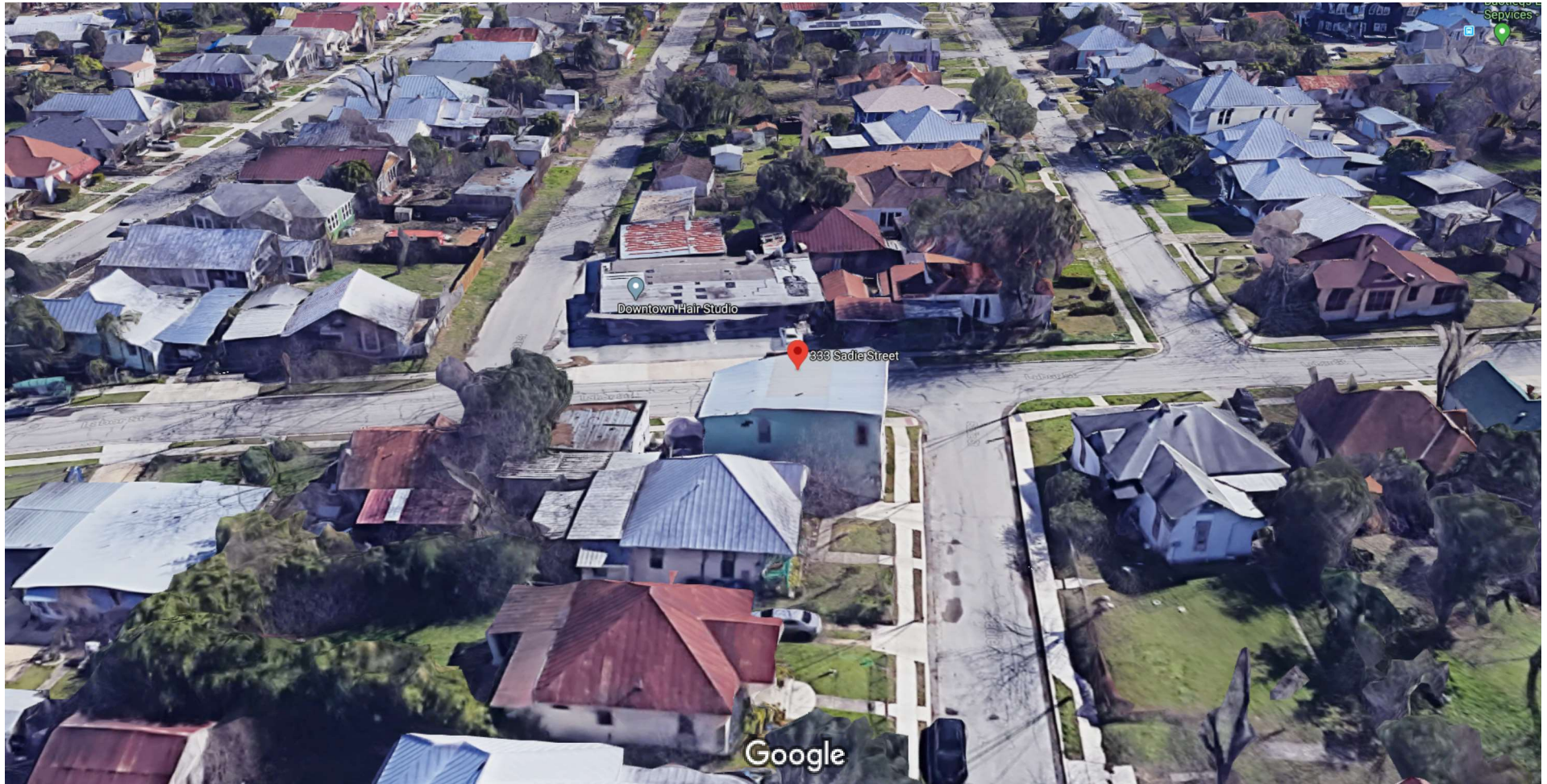
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Google Maps 333 Sadie St



Imagery ©2020 Google, Data SIO, NOAA, U.S. Navy, NGA, GEBCO, Data LDEO-Columbia, NSF, NOAA, Landsat / Copernicus, Map data ©2020 , Map data ©2020 20 ft

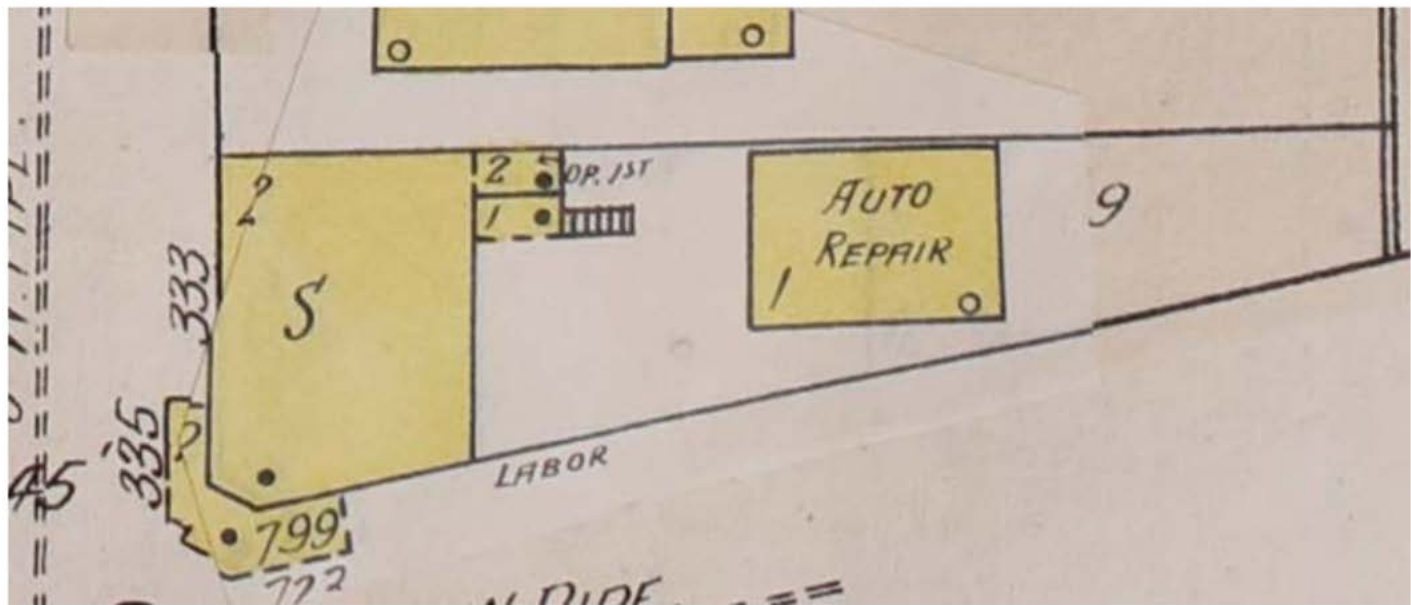
Google Maps 333 Sadie St



Imagery ©2020 Google, Map data ©2020 , Map data ©2020 20 ft

333 Sadie – Sanborn Maps

1931, v.3, p. 257 – separate building for auto repair at rear of main store.



1938, v.3, p. 257 – shows a separate dry cleaners' at the rear of main store. Unclear whether auto repair

257

SEE UO 1 UMB FOUR

S. PRESA

251

DEVINE

SEE UO 1 UMB FOUR

S. PRESA

257

EAGER

EAGER 257

726 (731)

732

252

DEVINE

RIDDLE

SADIE

733

728

(729)

CENTRAL BAPTIST CHURCH

W. FLORIDA

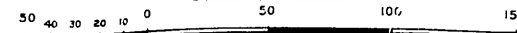
LABOR

258

1951

259

Scale of Feet.

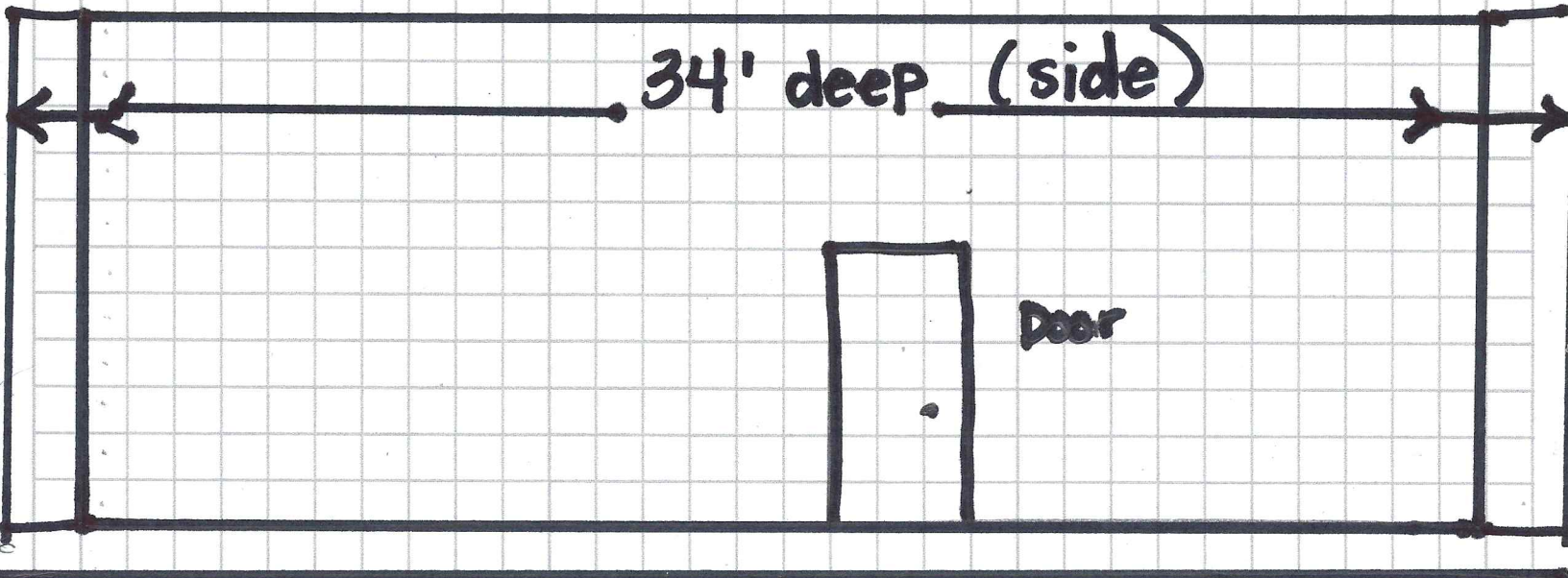


Existing structure - 333 SADIE (facing Labor St)



Existing structure

All other sides will remain the same.

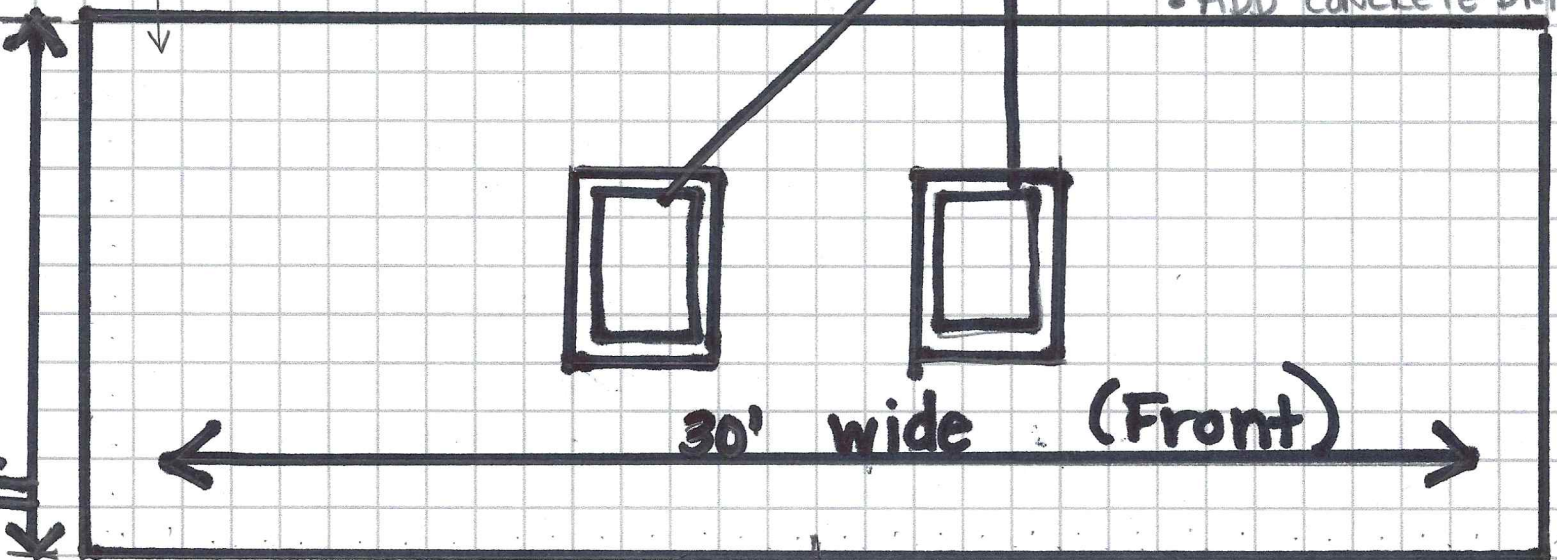


LEFT SIDE

Scale = $\frac{1}{4}" = 1'$

Material = shecco

- REMOVE WINDOWS
- OPEN UP ONLY THIS WALL
- ADD 2 CAR GARAGE DOOR
- CUT CURB
- ADD CONCRETE DRIVEWAY

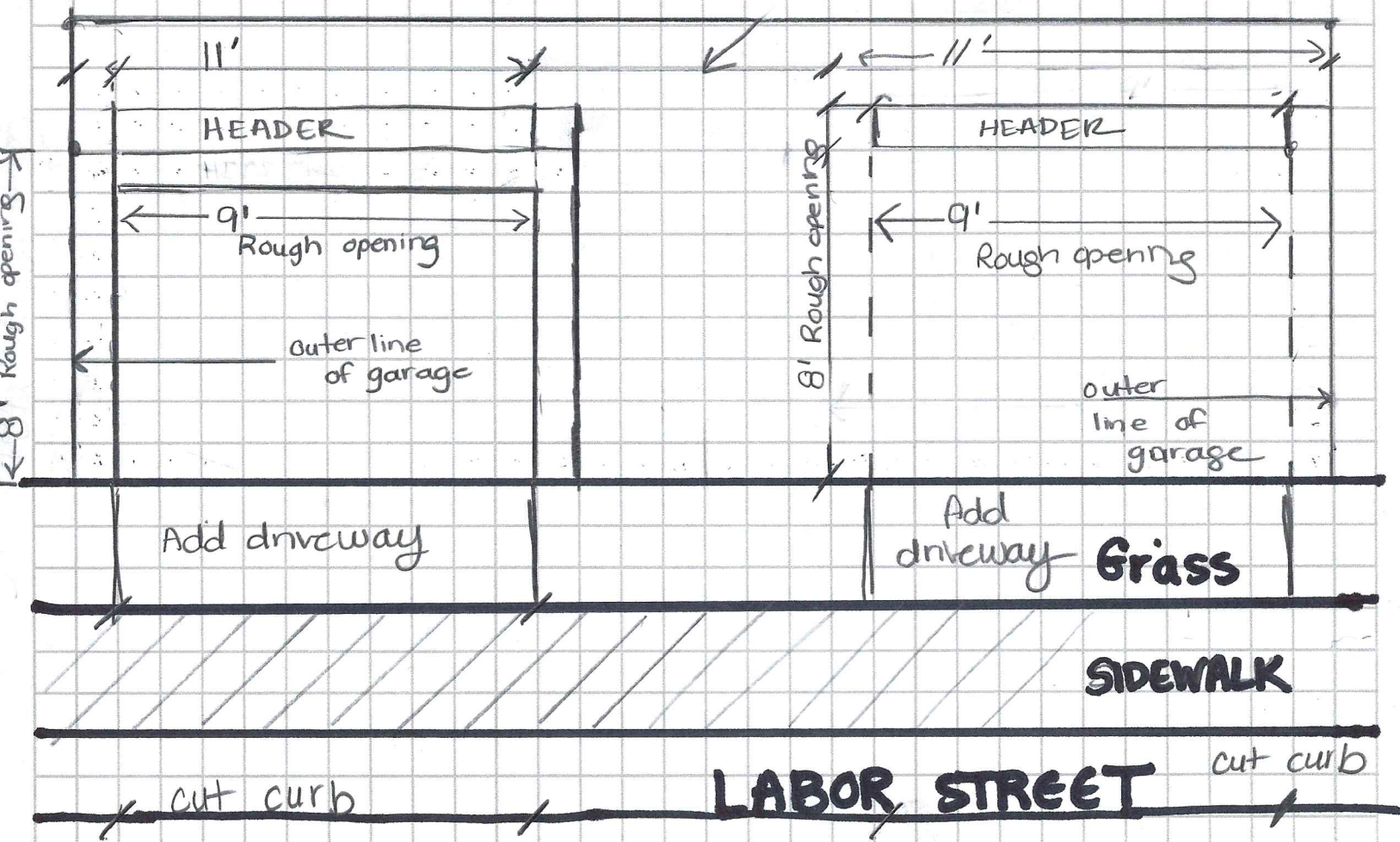


Existing

LABOR STREET



Finished Product



zero lot line

zero lot line

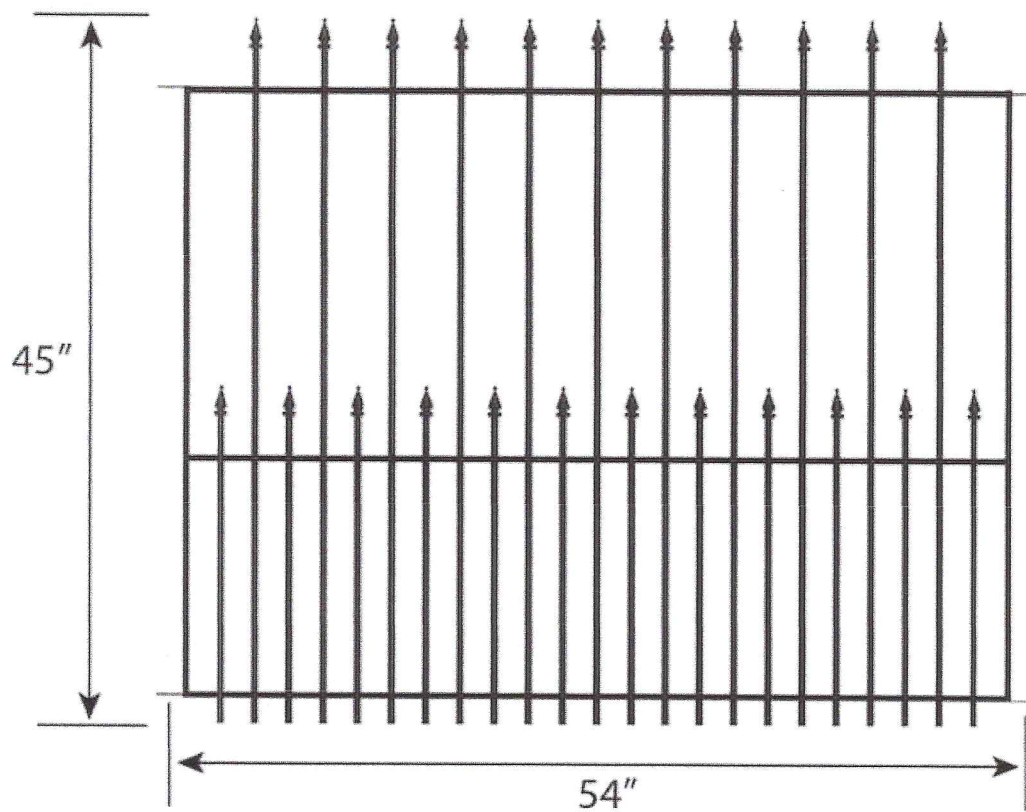
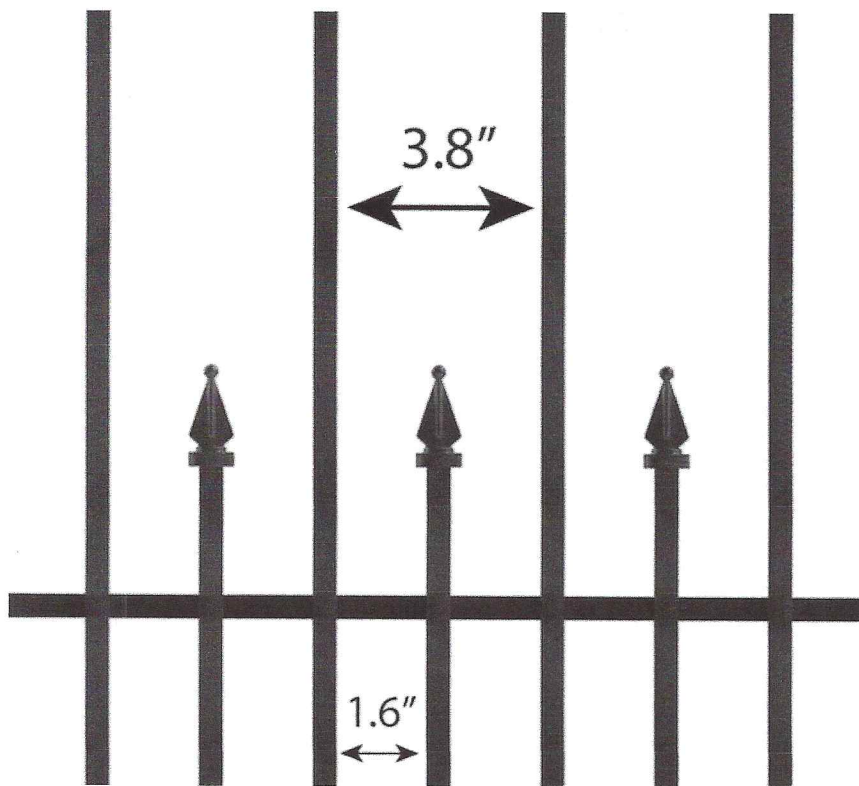
333 SADIE

6' wood privacy fence
(already approved)

4ft wrought iron fence
sidewalk

LABOR

SADIE ST







NO
PARKING
ANYTIME
1000-1000

King William

400 500

E Johnson













