

HISTORIC AND DESIGN REVIEW COMMISSION

September 16, 2020

HDRC CASE NO: 2020-389
ADDRESS: 618 BROADWAY
LEGAL DESCRIPTION: NCB 441 BLK 7 LOT 4
ZONING: FBZ T6-1, RIO-2
CITY COUNCIL DIST.: 1
APPLICANT: Jonathan Card/CARD AND COMPANY Architects pllc
OWNER: JAMES SHAW/MISSION DOWNTOWN LLC
TYPE OF WORK: Exterior alterations
APPLICATION RECEIVED: August 28, 2020
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Perform rehabilitative scopes of work including parapet cap replacement and repair, stucco repair, TPO roof replacement, wood window repair, remove paint from the existing concrete columns and beams.
2. Install a new steel canopy on the west facade.
3. Install a new storefront system on the west façade and modify the existing knee wall height.
4. Install new aluminum clad wood storefront windows on the west façade.
5. Remove all existing wood windows, garage doors and CMU infill on the east façade.
6. Install roofing over the existing skylight openings on the south elevation.
7. Install an aluminum storefront systems over the existing steel windows.
8. Construct a rooftop elevation and clerestory addition.
9. The applicant is requesting conceptual approval of signage.

APPLICABLE CITATIONS:

Sec. 35-676. - Alteration, Restoration and Rehabilitation.

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based

on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

FINDINGS:

- a. The structure at 618 Broadway was constructed circa 1935 and is first found on the 1951 Sanborn Map. Since its construction, the structure has seen modifications including the removal of the original storefront system, the removal of entrance canopies, and other exterior modifications.
- b. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on March 26, 2019. At that meeting, committee members noting that the proportions of the openings on the rear façade should be retained.
- c. REHABILITATION – The applicant has proposed to perform a number of rehabilitative scopes of work including parapet cap replacement and repair, stucco repair, TPO roof replacement, wood window repair, remove paint from the existing concrete columns and beams. The applicant has noted that the original terra cotta parapet caps will remain, while non-original parapet caps will be replaced. Staff finds the proposed scopes of work to be appropriate; however, staff finds that all stucco and wood window repair is to be done in kind.
- d. STEEL CANOPY INSTALLATION – The applicant has proposed to install a new steel canopy on the Broadway façade. Per the submitted construction documents, staff finds the proposed profile and location of the canopy to be appropriate. Staff finds that a canopy detail should be submitted to staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- e. STOREFRONT SYSTEM (West façade) – The applicant has proposed to remove the existing, non-original storefront system and install a new storefront system on the Broadway (west) façade. Within this, the applicant will modify the existing, non-original knee wall height. Staff finds the proposed scopes of work to be appropriate. Existing knee wall heights of adjacent historic structures are shorter than the modified height. The applicant has proposed for the new storefront system to include aluminum clad wood windows, with aluminum windows and sidelites at a proposed recessed entry. While staff finds the proposed replacement to be appropriate, staff does not find the modification to the profile (recessed entrance) to be appropriate. Staff find that there is no historic information to support this request.
- f. EXTERIOR MODIFICATIONS (East façade) – The applicant has proposed to modify the east façade by removing all existing wood windows, garage doors and CMU infill on the east façade and replacing them with new windows and garage doors. While the east façade is a rear façade, staff finds that original windows openings and façade profiles should be maintained, per the UDC Section 35-676. Staff finds that the existing wood windows should be repaired. Staff finds the replacement of the non-original garage doors to be appropriate; however, the profile of the openings should not be modified.
- g. ROOFING (Skylight) – The applicant has proposed to install roofing over existing skylights to prevent water penetration. Staff finds this request to be appropriate.

- h. STOREFRONT SYSTEM (Steel windows) – The applicant has proposed to install storefront systems over the existing side steel windows on each façade. The existing steel windows and their openings will remain. Staff finds this request to be appropriate.
- i. ROOFTOP ADDITION – The applicant has proposed to construct a rooftop addition to facilitate the installation of a new elevator and stair system. Generally, the proposed stair is low in profile and massing. The applicant has proposed to clad the elevator penthouse with metal siding. Generally, staff finds the proposed addition to be appropriate.
- j. SIGNAGE – The applicant has shown signage on the Broadway façade; however, the proposed signage is noted as conceptual in only placement and design. Generally, staff finds the overall location and size of the proposed signage to be appropriate and consistent with the UDC. The proposed signage is to return to the Commission for final approval.

RECOMMENDATION:

Staff recommends approval of items #1 through #4 with the following stipulations:

- i. That all work be done in-kind, with like materials.
- ii. That a canopy detail be submitted to OHP staff for review and approval prior to the issuance of a Certificate of Appropriateness.
- iii. That the recessed entry be eliminated from the new storefront system.

Staff does not recommend approval of item #5, window replacement and exterior modifications to the rear (east) façade. Staff recommends that all wood windows be repaired and reinstalled. Staff finds the replacement of the garage doors to be appropriate; however, the openings should remain as they exist.

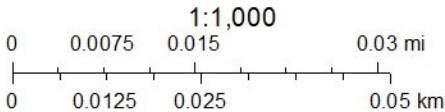
Staff recommends approval of items #6 through #8 as submitted.

Staff recommends conceptual approval of item #9, signage, with the stipulation that final signage documents return to the Commission for final approval.

City of San Antonio One Stop



September 11, 2020





CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

**Historic and Design Review Commission
Design Review Committee
Report & Recommendation**

DATE: MARCH 26, 2019

HDRC Case#

ADDRESS: 614/618 BROADWAY

Meeting Location: 1901 S ALAMO

APPLICANT: JONATHAN CARL

DRC Members present: SCOTT CARPENTER, CURTIS FISH

Staff present: EDWARD HALL

Others present:

REQUEST: EXTERIOR MODIFICATIONS, REHABILITATION AND FENESTRATION

MODIFICATIONS AT 614/618 BROADWAY.

COMMENTS/CONCERNS: JL: OVERVIEW OF EXISTING CONDITIONS OF 618

BROADWAY, PROPOSAL IS TO RE-INTRODUCE THE CANOPY AND TRANSOM

WINDOWS. JL: ENTRANCE WILL BE RELOCATED TO THE NORTH PORTION

OF THE STOREFRONT SYSTEM. SL: TRY TO RESEARCH HISTORIC PHOTOS.

JL: OVERVIEW OF 614 BROADWAY / EXISTING ~~MOD~~ ELEMENTS AND CONDITIONS

AND PROPOSED MODIFICATIONS. JL: PROPOSAL TO RECESS ENTRANCES, SL:

RETAINING EXISTING PROFILE FOR ONE BAY IS APPROPRIATE, SOME MODIFICATIONS

APPEAR TO BE APPROPRIATE. SL: RETAIN PROPORTIONS OF OPENINGS ON REAR (GARAGE DOOR

COMMITTEE RECOMMENDATION: **APPROVE [] DISAPPROVE []**
APPROVE WITH COMMENTS/STIPULATIONS:

Committee Chair Signature (or representative)

3/26/2019
Date

141

AVENUE ===== B²===== B

151

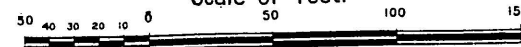
~~140~~

BROADWAY (AVENUE C.) ASPHALT PAVED

153

143

Scale of Feet.



618 BROADWAY

HDRC Submission for Certificate of Appropriateness

Date: August 28th, 2020

PROJECT DESCRIPTION

REMODEL EXISTING BUILDING. NEW STAIRS AND ELEVATOR. CODE COMPLIANT EGRESS. NEW RESTROOM FACILITIES. GENERAL IMPROVEMENTS TO EXTERIORS INCLUDING PARTIAL REPLACEMENT OF WINDOWS AND DOOR SYSTEMS, WATERPROOFING, ETC. GENERAL IMPROVEMENTS TO INTERIORS INCLUDING NEW CORRIDORS, TENANT PARTITIONS, MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. EXISTING FIRE SUPPRESSION SYSTEM TO REMAIN INTACT AND BRANCH LINES UPDATED AS REQUIRED TO PROVIDE FULL COVERAGE TO ENTIRE BUILDING.

SPECIFICATIONS

ROOF

- TPO ROOFING BEHIND PARAPET
- GALVALUME SIDING AT STAIR ADDITION
- GALVALUME FLASHING, GUTTERS AND DOWNSPOUTS AT STAIR ADDITION AND LIGHT MONITOR TRIM
- NEW PAINTED METAL STEPPED PARAPET CAP AT WEST ELEVATION
- MAINTAIN AND REPAIR EXISTING TERRA COTTA PARAPET CAPS AT EAST, SOUTH AND NORTH ELEVATIONS

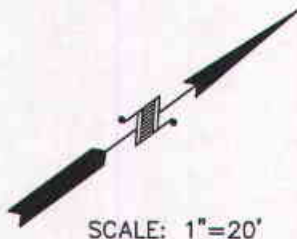
EXTERIOR WALLS

- BLOK GUARD BY PROSOCO AT EXISTING 'ALAMO' BRICK AND EXPOSED CONCRETE COLUMNS AND BEAMS - <https://prosoco.com/product/blok-guard-graffiti-control-ii/>
- 'WHITE' OR NEUTRAL PAINT AT PRECAST DECORATIVE COLUMNS AT WEST ELEVATION
- PAINTED STUCCO AT WEST ELEVATION
- 2x8 CEMENT TILE KNEE WALL BELOW STOREFRONT AT WEST ELEVATION - STACK BOND - <https://originalmissiontile.com/product/cement-tiles-in-stock-s-108-navy-2x8/>

WINDOWS / DOORS

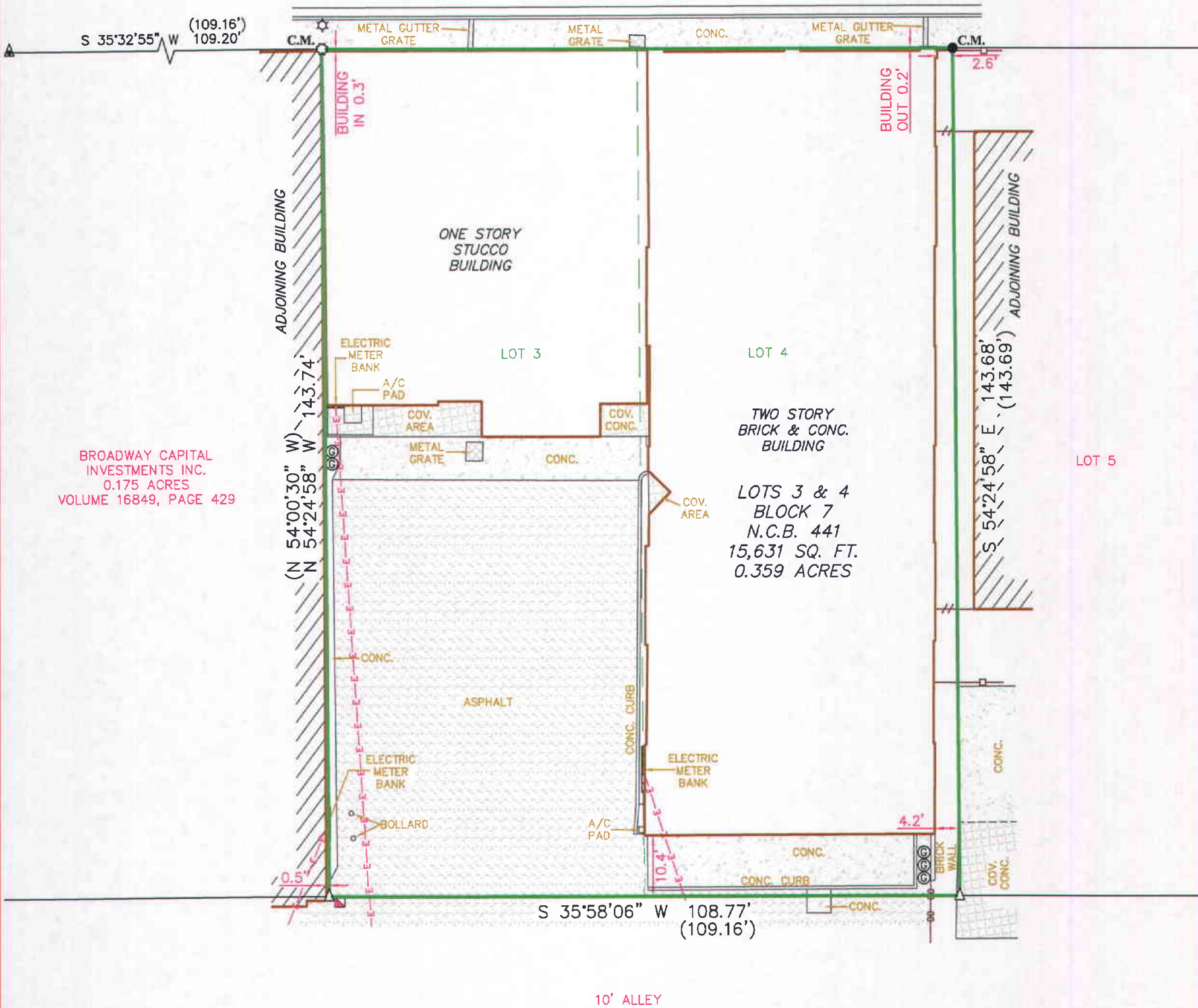
- 'WHITE' OR NEUTRAL PAINT EXISTING WOOD WINDOWS TO REMAIN AT WEST ELEVATION LEVEL TWO
- PAINTED CUSTOM WOOD STOREFRONT AT LEVEL ONE WEST ELEVATION - 1" INSULATED LOW 'E' FIXED GLAZING
- DARK BRONZE ANODIZED STOREFRONT WITH 1" INSULATED LOW 'E' FIXED GLAZING AT EAST ELEVATION, BOTH LEVELS AND ENCLOSED LIGHT WELLS AT [3] LOCATIONS ON NORTH AND SOUTH ELEVATION





BROADWAY STREET
(78' R.O.W.)(BROADWAY PER PLAT)

(ASSUMED BEARING) (109.16')
N 36°00'00" E 108.77'



BROADWAY CAPITAL
INVESTMENTS INC.
0.175 ACRES
VOLUME 16849, PAGE 429

LOT 5

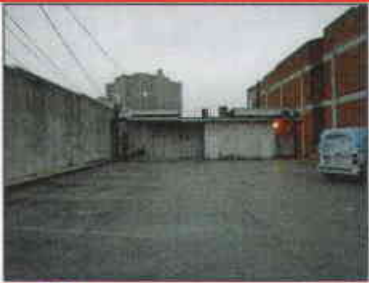
NOTE: THE ORIGINAL PLAT OF RECORD IS WITHOUT BEARINGS. THIS SURVEY IS THE SURVEYOR'S BEST INTERPRETATION OF RECORD INFORMATION.

NOTE: PRIOR SURVEY (WESTAR JOB #59682) WAS USED FOR REFERENCE.

NOTE: NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

NOTE: BEARINGS SHOWN HEREON ARE ASSUMED.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:



FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0415 G, which is Dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the surveyor did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the Interpretations of FEMA or State or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/index.shtm>.

Property Address:
612 & 618 BROADWAY STREET
(BROADWAY PER PLAT)
Property Description:
LOT 3 AND LOT 4, BLOCK 7, NEW
CITY BLOCK 441, IN THE CITY OF SAN
ANTONIO, BEXAR COUNTY, TEXAS.

Owner:
MISSION DOWNTOWN, LLC.

I, MARK J. EWALD, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.



MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095

Westar Alamo
LAND SURVEYORS, LLC.
P.O. BOX 1845 BOERNE, TEXAS 78006
PHONE (210) 372-9500 FAX (210) 372-9999

LEGEND

- ▲ = CALCULATED POINT
- = FND CONC. NAIL
- = FND 1/2" IRON ROD
- () = RECORD INFORMATION
- = BUILDING SETBACK
- C.M. = CONTROLLING MONUMENT
- ⊙ = GAS METER
- ⊕ = POWER POLE
- ⊗ = LIGHT POST
- ⊘ = METAL FENCE
- ⊙ = CHAIN LINK FENCE
- ⊙ = WOOD FENCE
- ⊙ = OVERHEAD ELECTRIC
- ⊙ = TELEPHONE PEDESTAL
- ⊙ = FND PUNCH HOLE

DRAWN BY: BLE

6 1 8 B R O A D W A Y

Exterior Elevations for HDRC Review



Prepared by:

CARD AND COMPANY ARCHITECTS PLLC

August 26th, 2020



PROPOSED: 618 BROADWAY STREET ELEVATION

618 BROADWAY





EXISTING WEST ELEVATION

Replace Parapet Cap

New Stucco

Maintain Painted Cast Concrete Pilasters

Paint and Repair Existing Wood Windows

Remove stucco and replicate Upper Storefront Windows

New Steel Canopy reusing Existing Canopy Supports

New Aluminum Clad Wood Storefront Windows

New Aluminum Storefront and Sidelite at New Recessed Entry

Modify existing Knee Wall



EXISTING EAST ELEVATION

Existing Terra Cotta Parapet Cap to Remain

Existing ‘ALAMO’ Brick to remain exposed

Existing Board Formed Concrete Columns and Beams to remain—strip paint

Demolish all wood windows, garage doors and CMU masonry infill



PROPOSED WEST ELEVATION

New Parapet Cap

New Stucco

Painted Cast Concrete Pilasters

Painted and Repaired Existing Wood Windows

New Aluminum Clad Wood Clerestory Windows

New Steel Canopy reusing Existing Canopy Supports

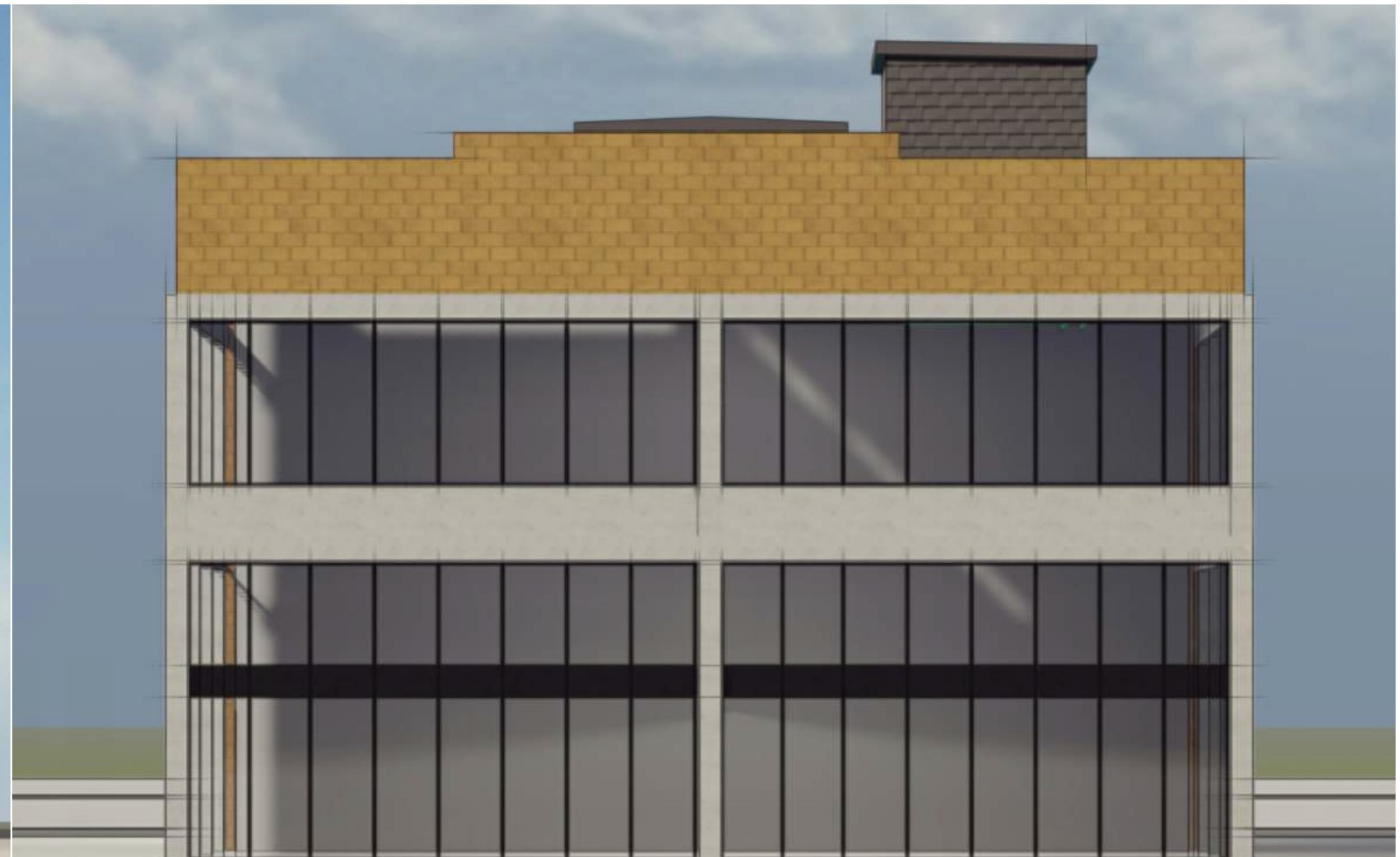
New Aluminum Clad Wood Storefront Windows

New Aluminum Storefront and Sidelite at New Recessed Entry

New Tile Knee Wall

[Note: New Roof Access Stair is not visible from Broadway when seen in perspective]

[Note: Sign shown is for Conceptual Approval only]



PROPOSED EAST ELEVATION

Existing Terra Cotta Parapet Cap to Remain

Galvalume Siding at New Roof Access Stair

Existing 'ALAMO' Brick to remain exposed

Existing Board Formed Concrete Columns and Beams to remain—strip paint

New Aluminum Storefront Windows and Entry Door



WEST PORTION OF SOUTH ELEVATION



EAST PORTION OF SOUTH ELEVATION



Note: Existing light wells leak at windows, and beam penetrations. Proposed solution is to roof opening and cover with new matching storefront at three locations. Brick details will remain visible through new clear glazing.

618 BROADWAY



PROPOSED SOUTH ELEVATION



PROPOSED NORTH ELEVATION



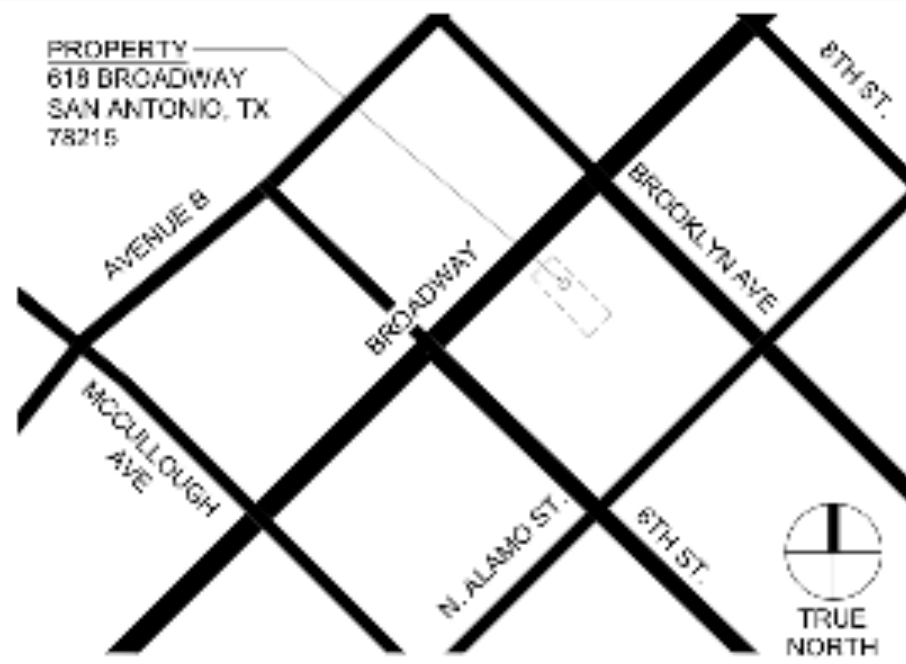
Galvalume Siding at New Roof Access Stair
New Aluminum Clad Wood Clerestory Windows
Existing Board Formed Concrete Columns and Beams to remain

Existing ‘ALAMO’ Brick to remain exposed
New Aluminum Storefront over Existing Steel Windows

618 BROADWAY



1 VICINITY MAP



2 GENERAL NOTES

SCALE: 3" = 1'-0"

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS HAVING JURISDICTION. IF THERE ARE ANY QUESTIONS OR CONCERNS CONCERNING COMPLIANCE WITH SUCH CODES, ORDINANCES OR STANDARDS, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE CONTRACTOR SHALL CERTIFY SIZE AND LOCATION OF ALL REQUIRED OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK AND EQUIPMENT WITH TRADES INVOLVED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING CONDITIONS AT THE JOB SITE BEFORE SUBMITTING PROPOSALS. SUBMISSION OF PROPOSALS SHALL BE TAKEN AS EVIDENCE THAT SUCH INSPECTIONS HAVE BEEN MADE.
- ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS NOTED OTHERWISE.
- ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED RECOMMENDATIONS FOR SERVICE INTENDED, AS INTERPRETED BY THE ENGINEER. THE INSTALLATION OF ALL EQUIPMENT SHALL BE MADE BY EXPERIENCED DRAFTSMEN IN A NEAT, WORKMANLIKE MANNER. ALL MATERIALS, TOOLS, COSTS AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SHORING AND BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD CONSTRUCTION PRACTICES. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT ALL EXISTING OPERATIONS AND PROPERTY ADJACENT WITH WHICH WORK COMES IN CONTACT, OR OVER OR UNDER WHICH ANY TRANSPORT, HOIST OR MOVE MATERIALS, EQUIPMENT, DEBRIS, ETC., AND SHALL REPAIR SATISFACTORILY ALL DAMAGES CAUSED BY HIM DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE SIZES, LOCATIONS AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY THE OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION IS BEGUN.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER CONFIRMATIONS OF ORDERS, INCLUDING DELIVERY DATES FOR ALL MATERIALS AND EQUIPMENT WHOSE TIMELY DELIVERY IS REQUIRED TO AVOID CHANGES IN THE CONSTRUCTION DOCUMENTS OR IN THE CONSTRUCTION SCHEDULE.
- IT IS THE INTENT AND MEANING OF THE CONTRACT DOCUMENTS THAT THE CONTRACTOR SHALL PROVIDE A MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATION THAT IS COMPLETE, ALL ITEMS AND APPURTENANCES NECESSARY, REASONABLY INCIDENTAL OR CUSTOMARILY INCLUDED, EVEN THOUGH EACH AND EVERY ITEM IS NOT SPECIFICALLY CALLED OUT OR SHOWN IN THE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL WORK NOTED "N.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR UNDER A SEPARATE CONTRACT AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT.
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLACE.
- "TYPICAL" OR "TYP." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.
- "SIMILAR" OR "SIM." AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SIMILAR TO A CONDITION DETAILED FOR ANOTHER LOCATION.
- DO NOT DISASSEMBLE THIS SET. COVER SHEET CONTAINS DATA PERTINENT TO ALL SHEETS. REFER TO ADDITIONAL INFORMATION IN PROJECT MANUAL.
- CONTRACTOR TO Haul, Off and Legally Dispose of ALL CONSTRUCTION WASTE FROM JOB SITE PER ALL LAWS AND ORDINANCES.
- CONTRACTOR TO PROVIDE ALL TEMPORARY WEATHER BARRIERS AND MAINTAIN JOB SITE IN A WEATHER TIGHT CONDITION.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, EXISTING FIELD CONDITIONS AND/OR GENERALLY ACCEPTED CONSTRUCTION PRACTICES. NOTIFICATIONS SHALL BE MADE UPON DISCOVERY OF DISCREPANCY AND PRIOR TO PERFORMING ANY WORK IN QUESTION.
- ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS.
- CONTRACTOR TO MAINTAIN SECURITY OF THE SITE AT ALL TIMES.
- CONTRACTOR SHALL DETERMINE ERECTION PROCEDURE AND SEQUENCE AND PROVIDE WHATEVER TEMPORARY BRACING, SHORING, ETC., THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- EACH CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMIT AND SCHEDULE REQUIRED INSPECTIONS AND COORDINATE ALL TRADES.
- HVAC, ELECTRICAL AND PLUMBING REVISIONS TO BE DESIGN-BUILD BY QUALIFIED CONTRACTOR. PROVIDE DRAWINGS AND CALCULATIONS AS REQUIRED.

3 DRAWING INDEX

- A0.00 COVER SHEET/CODE INFORMATION/PROJECT INFORMATION
- A0.01 SCHEDULES
- D2.01 DEMOLITION PLANS
- D3.01 DEMOLITION EXTERIOR ELEVATIONS
- A2.00 BASEMENT CONSTRUCTION AND REFLECTED CEILING PLANS
- A2.01 FIRST FLOOR CONSTRUCTION AND REFLECTED CEILING PLANS
- A2.02 SECOND FLOOR CONSTRUCTION AND REFLECTED CEILING PLANS
- A2.04 ROOF CONSTRUCTION PLANS
- A2.05 ENLARGED PLANS - STAIRS AND ELEVATOR
- A2.06 ENLARGED PLANS - RESTROOMS
- A3.00 EXTERIOR ELEVATIONS
- A3.01 EXTERIOR ELEVATIONS
- A4.01 BUILDING SECTIONS
- A4.11 VERTICAL CIRCULATION - ELEVATOR AND STAIR SECTIONS
- A5.01 SCHEDULES
- A6.01 DETAILS

4 PROJECT INFORMATION

ADDRESS - 618 BROADWAY STREET
SAN ANTONIO, TEXAS 78215

COUNTY - BEXAR COUNTY

PERMITTING LOCALITY - SAN ANTONIO

GEOGRAPHIC ID - 00441-007-0040

ZONING - R10-2 FRZ TB-1

PROPERTY AREA - 7,843 SF

5 PROJECT AREA

| ENCLOSED AREAS | |
|----------------|-----------|
| BASEMENT | 5,022 SF |
| FIRST FLOOR | 6,406 SF |
| SECOND FLOOR | 6,415 SF |
| TOTAL | 17,843 SF |

6 BUILDING CODE DATA

DESIGN PER

2018 INTERNATIONAL BUILDING CODE - IBC
2018 INTERNATIONAL EXISTING BUILDING CODE - IBC
2018 INTERNATIONAL MECHANICAL CODE, IMC
2018 INTERNATIONAL PLUMBING CODE, IPC
2017 NATIONAL ELECTRIC CODE, NEC
2018 INTERNATIONAL FIRE CODE, IFC

PROJECT SCOPE/DESCRIPTION

REMODEL EXISTING BUILDING. NEW STAIRS AND ELEVATOR. CODE COMPLIANT EGRESS. NEW RESTROOM FACILITIES. GENERAL IMPROVEMENTS TO EXTERIORS INCLUDING PARTIAL REPLACEMENT OF WINDOWS AND DOOR SYSTEMS, WATERPROOFING, ETC. GENERAL IMPROVEMENTS TO INTERIORS INCLUDING NEW CORRIDORS, TENANT PARTITIONS, MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS. EXISTING FIRE SUPPRESSION SYSTEM TO REMAIN INTACT AND BRANCH LINES UPDATED AS REQUIRED TO PROVIDE FULL COVERAGE TO ENTIRE BUILDING.

USE GROUP:
2 STORIES PLUS 1 BELOW GRADE (3R CONSTRUCTION TYPE)
EXISTING USE GROUP: (B) BUSINESS

CONSTRUCTION TYPE: 3B FULLY-SPRINKLERED
BUILDING IS EQUIPPED WITH AN AUTOMATIC SUPPRESSION SYSTEM
EXISTING PROJECT AREA: 17,874 SF

PROJECT AREA:
OVERALL BUILDING: 17,874 SF

PROPOSED USE GROUP - MIXED USE GROUP - B (BUSINESS), M (MERCANTILE) AND A-2 (ASSEMBLY)
BUILDING HEIGHT - APPROX. 43 FT
STORIES ABOVE GRADE - 2
STORIES BELOW GRADE - 1

NUMBER OF EXITS REQUIRED:
FROM BASEMENT: TWO (TWO PROVIDED)
FROM FIRST FLOOR: TWO (TWO PROVIDED)
FROM SECOND FLOOR: TWO (TWO PROVIDED)

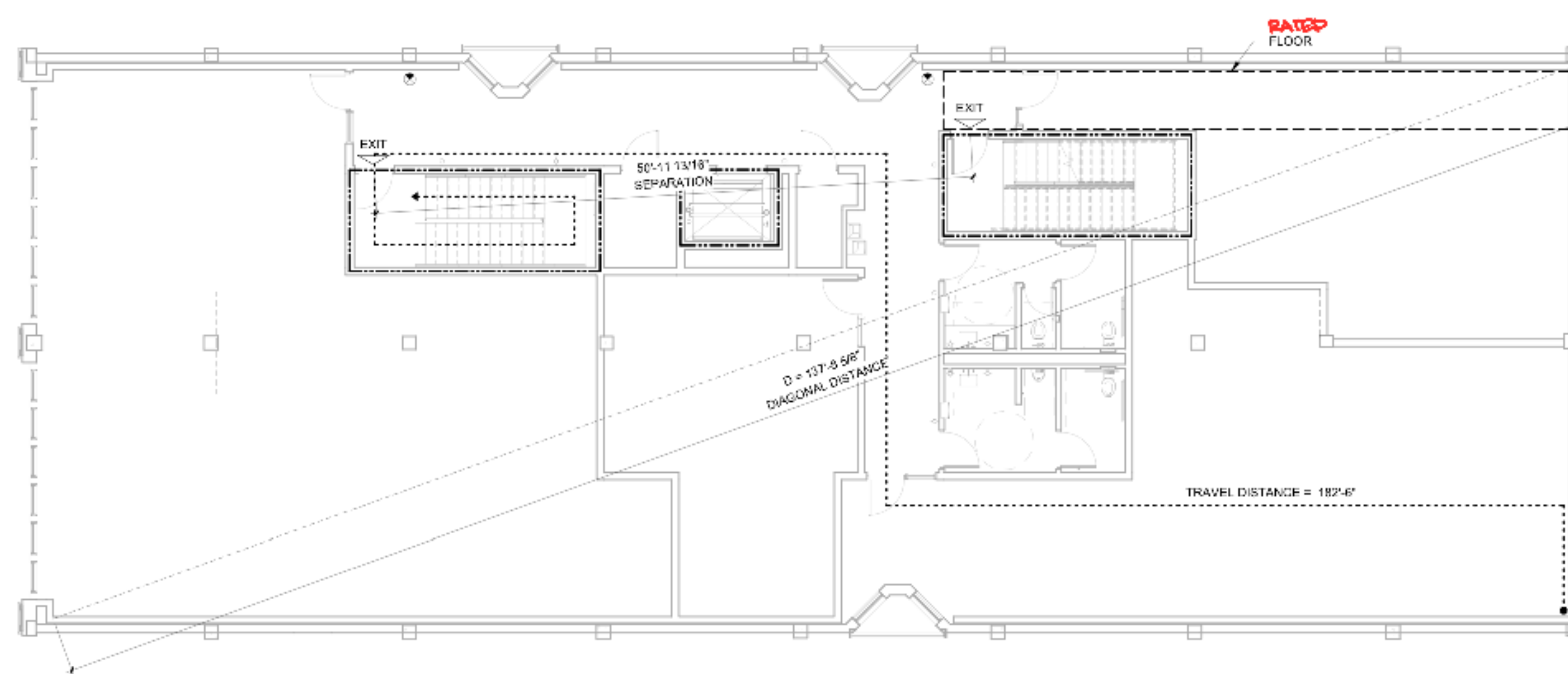
EXIT SEPARATION DISTANCE:
d EQUAL TO OR GREATER THAN D/3
BASEMENT: d = 109'-0", d = 51'-0"
FIRST FLOOR: d = 138'-0", d = 117'-3"
SECOND FLOOR: d = 138'-0", d = 51'-0"

EXIT TRAVEL DISTANCE:
(B) BUSINESS MAX EXIT TRAVEL DISTANCE = 300 FT.
(A-2) ASSEMBLY MAX EXIT TRAVEL DISTANCE = 250 FT.
PROVIDED BASEMENT TRAVEL DISTANCE = 180'-6" FT.
PROVIDED FIRST FLOOR TRAVEL DISTANCE = 188'-9" FT.
PROVIDED SECOND FLOOR TRAVEL DISTANCE = 221'-10" FT.

MANUAL FIRE ALARMS
SMOKE DETECTION REQUIRED
FIRE EXTINGUISHER REQUIRED

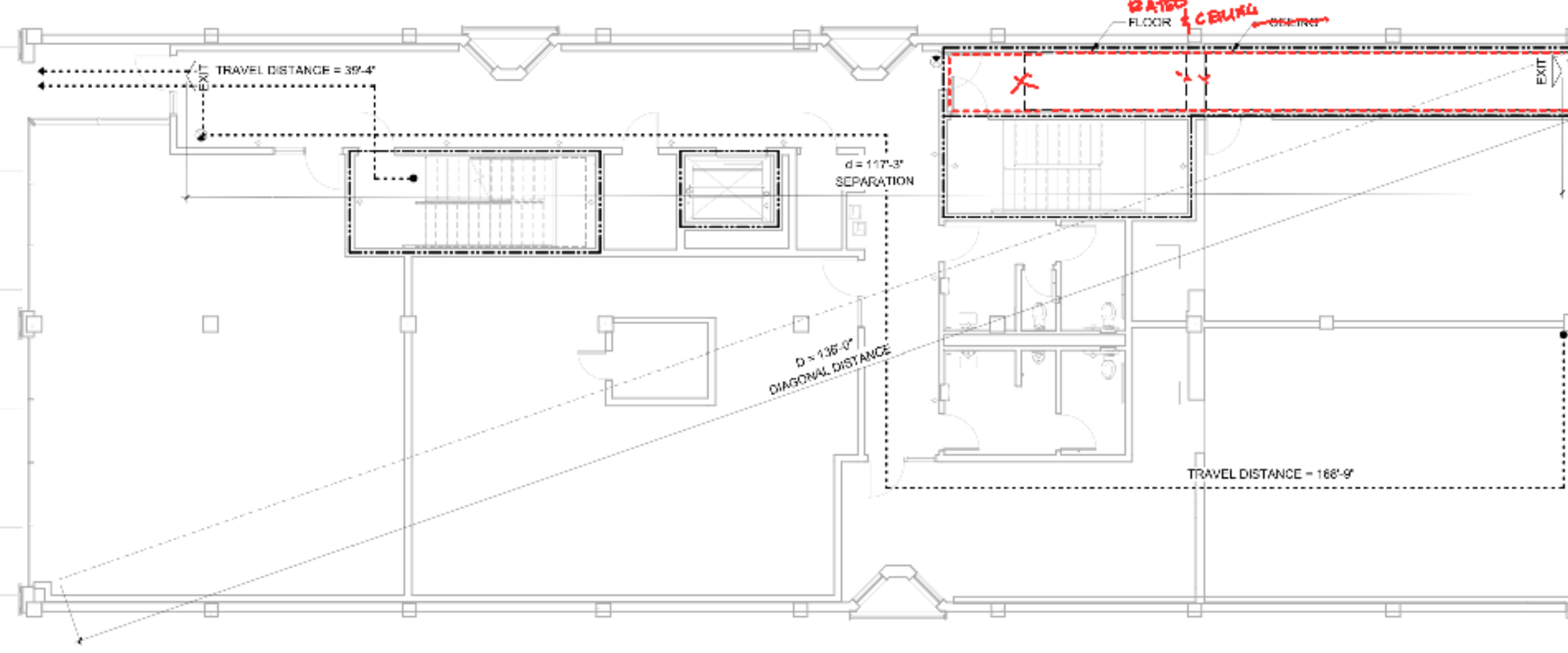
7 CODE ANALYSIS LEGEND

- NEW 2HR FIRE BARRIER
- EXIT DISCHARGE
- FIRE EXTINGUISHER LOCATION
- RATED FLOOR / CEILING
- PATH OF TRAVEL



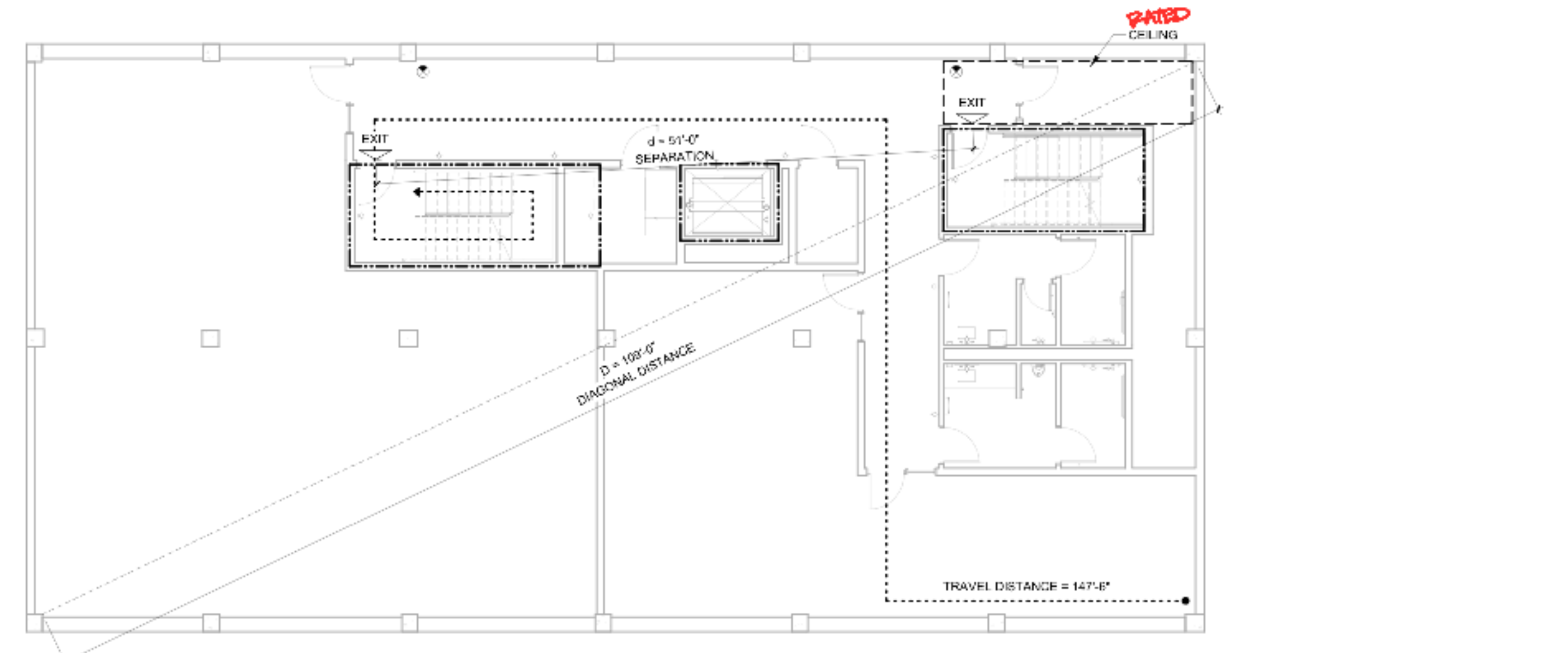
8 EGRESS FLOOR PLAN - SECOND LEVEL

SCALE: 1/8" = 1'-0"



9 EGRESS FLOOR PLAN - FIRST LEVEL

SCALE: 1/8" = 1'-0"



10 EGRESS FLOOR PLAN - BASEMENT

SCALE: 1/8" = 1'-0"

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PROJECT NAME
RENOVATION AND REMODEL FOR

618
BROADWAY

618 BROADWAY STREET
SAN ANTONIO, TEXAS 78215

PROJECT NO. 201901

ISSUED DATE

REVISIONS

SHEET TITLE
COVER SHEET/CODE
INFORMATION/PROJECT
INFORMATION

SHEET NUMBER


A0.00

PRELIMINARY
NOT FOR
CONSTRUCTION

DEMOLITION GENERAL NOTES


- 1. REMOVE ALL EXISTING GAS LINES, BOTH ABANDONED AND ACTIVE BACK TO SOURCE - CAP GAS LINE WHERE IT ENTERS THE BUILDING.
- 2. REMOVE ALL WATER AND WASTEWATER LINE BACK TO POINT WHERE THEY ENTER THE BUILDING - CAP LINES WHERE THEY ENTER THE BUILDING.
- 3. REMOVE ALL ELECTRICAL EQUIPMENT AND CONDUITS BACK TO POLE - REMOVE ALL ASSOCIATED MOUNTING BOARD AND CABINETS - PREPARE ALL ABANDONED SURFACES TO RECEIVE NEW WORK.

PROTECTION / SALVAGE KEY NOTES

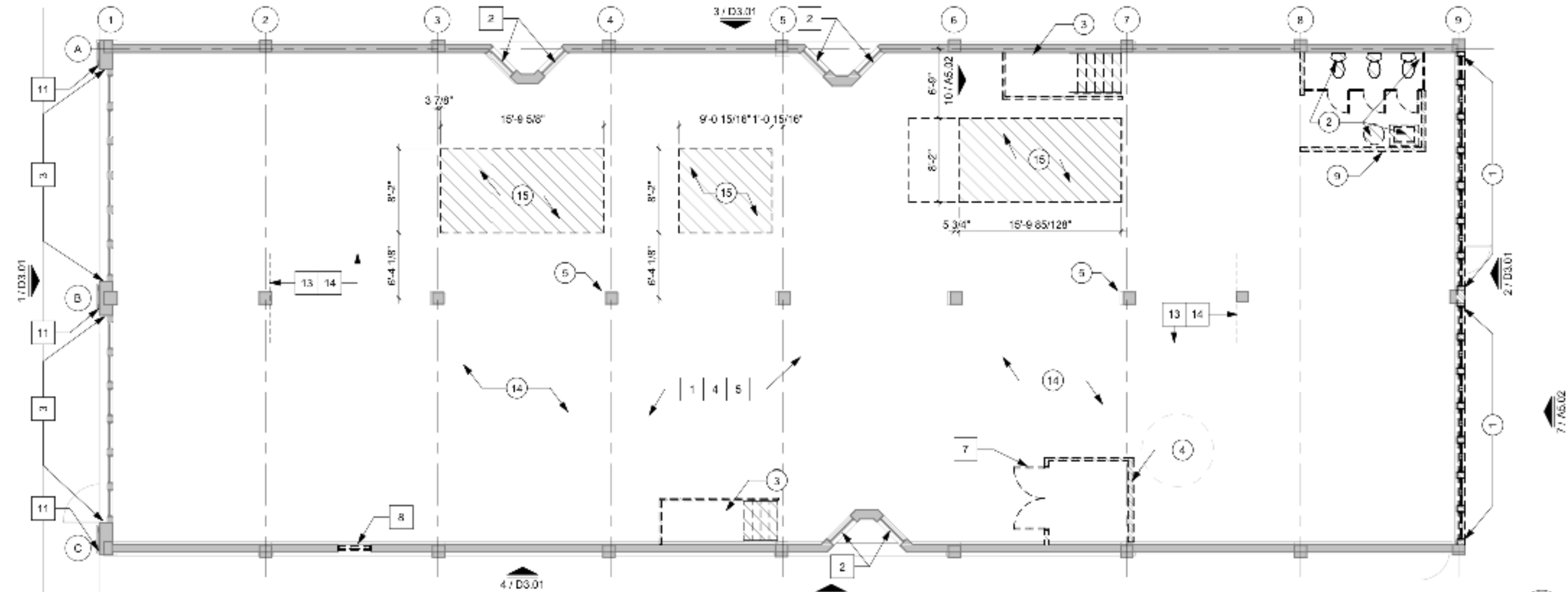
INDICATED BY: 

- 1. PROTECT EXISTING WOOD FLOOR
- 2. PROTECT EXISTING STEEL WINDOW FRAMES AND GLAZING
- 3. PROTECT EXISTING WOOD WINDOW FRAMES AND GLAZING - REMOVE GLAZING AND DAMAGED WOOD TRIM
- 4. PROTECT EXISTING TIN CEILING
- 5. PROTECT EXISTING FIRE SPRINKLER SYSTEM
- 6. PROTECT EXISTING CONCRETE VAULT, VAULT DOOR, CEILING AND SUPPORTING COLUMNS
- 7. SALVAGE EXISTING STEEL DOORS
- 8. SALVAGE EXISTING STEEL WINDOW AND GLAZING FOR REUSE
- 9. SALVAGE METAL DOOR AND FRAME FOR REUSE
- 10. SALVAGE FIRE DOOR FOR REUSE
- 11. PROTECT EXISTING CAST CONCRETE PILASTER - REMOVE PAINT TO NATURAL FINISH
- 12. SALVAGE ALL METAL FLOOR VENTS AT LEVELS ONE AND TWO AND RETURN TO OWNER
- 13. SALVAGE DAMAGED TIN FROM CEILING TO SILL ON CLERESTORY WINDOWS FOR REUSE
- 14. REMOVE CLERESTORY WINDOW FRAMES AND SASHES TO REROUGH FRAMING - SALVAGE SASHES FOR REUSE
- 15. PROTECT EXISTING CONCRETE SLAB

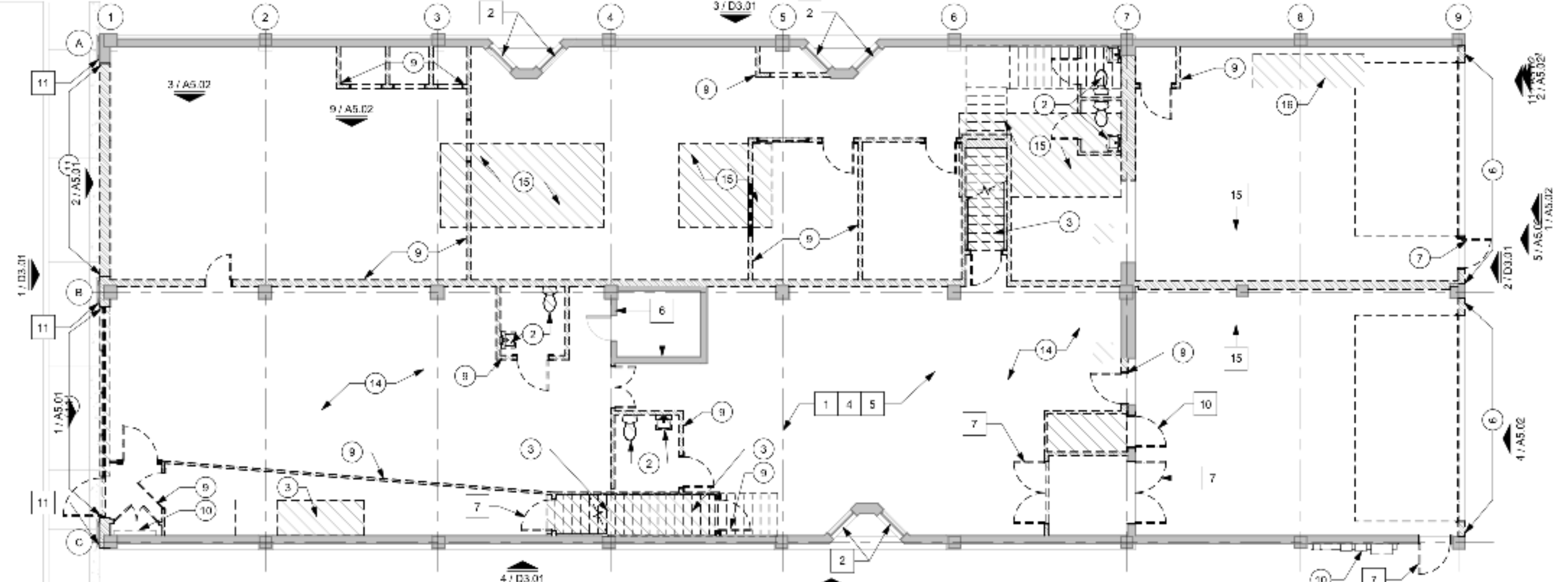
DEMOLITION KEY NOTES

INDICATED BY: 

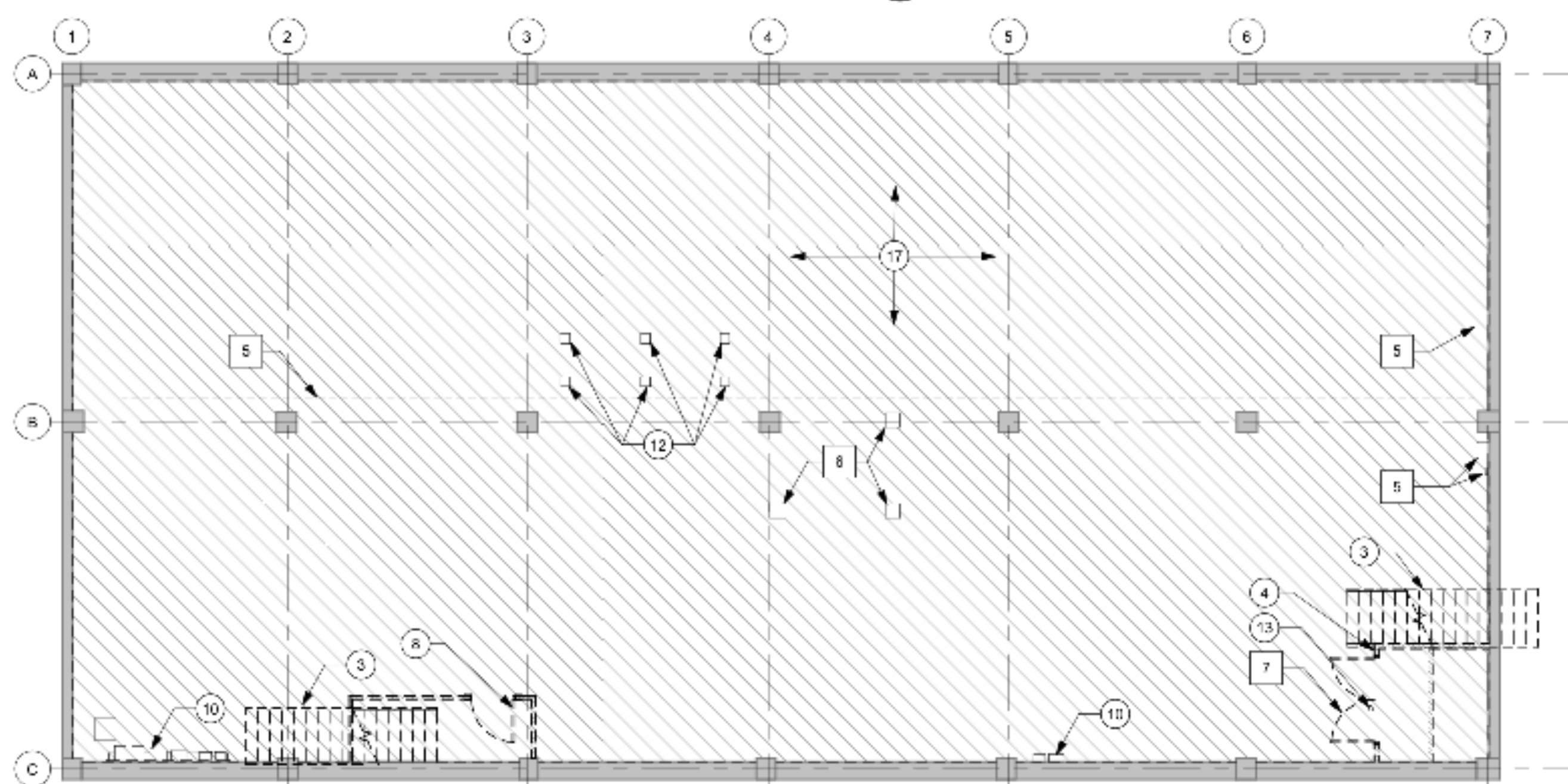
- 1. DEMOLISH EXISTING WOOD WINDOWS AND MASONRY BACK TO CONCRETE STRUCTURAL FRAME - SALVAGE MASONRY FOR REUSE
- 2. DEMOLISH EXISTING RESTROOM WALLS, FIXTURES, WASTE SUPPLY, AND VENT LINES IN THEIR ENTIRETY
- 3. DEMOLISH EXISTING STAIR - MAINTAIN STRUCTURAL INTEGRITY OF OPENING
- 4. DEMOLISH ELEVATOR SHAFT AND EQUIPMENT - LEAVE ELEVATOR GEARS AND AXLE AT ROOF
- 5. DEMOLISH EXISTING HEATERS AND GAS LINES
- 6. DEMOLISH EXISTING OVERHEAD DOOR, TRACK, JAMBS AND CMU INFILL WALL BACK TO CONCRETE STRUCTURAL FRAME
- 7. DEMOLISH EXISTING METAL DOOR AND FRAME
- 8. DEMOLISH PORTION OF CONCRETE WALL - RE-STRUCTURAL
- 9. DEMOLISH PARTITION WALLS AND DOORS - PROTECT EXISTING TIN CEILING
- 10. DEMOLISH ELECTRICAL PANELS AND SERVICE IN ITS ENTIRETY
- 11. DEMOLISH EXISTING STOREFRONT WINDOWS, DOORS, WOOD BEAM, UPPER FIXED WINDOWS AND KNEE WALL TO FINISHED FLOOR
- 12. DEMOLISH TIMBER COLUMNS AND BEAMS
- 13. DEMOLISH EXISTING ELEVATOR PIT AND SUMP PUMP
- 14. DEMOLISH SLAB AS REQUIRED FOR NEW FOUNDATION FOR NEW STAIRS AND ELEVATOR - RE-STRUCTURAL
- 15. DEMOLISH WOOD FLOOR AND STRUCTURE AS REQUIRED FOR NEW STAIRS AND ELEVATOR - RE-STRUCTURAL
- 16. DEMOLISH RAISED CONCRETE PLATFORM
- 17. DEMOLISH EXISTING SLAB AND EXCAVATE AS REQUIRED FOR NEW CONCRETE SLAB - RE-STRUCTURAL
- 18. REMOVE AND RELOCATE PORTION OF SPRINKLER RISER



3 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



1 BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

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PROJECT NO. 201901

ISSUED DATE

REVISIONS

SHEET TITLE
DEMOLITION PLANS

SHEET NUMBER

D2.01

DEMOLITION GENERAL NOTES

1. REMOVE ALL EXISTING GAS LINES, BOTH ABANDONED AND ACTIVE BACK TO SOURCE - CAP GAS LINE WHERE IT ENTERS THE BUILDING.
2. REMOVE ALL WATER AND WASTEWATER LINE BACK TO POINT WHERE THEY ENTER THE BUILDING - CAP LINES WHERE THEY ENTER THE BUILDING.
3. REMOVE ALL ELECTRICAL EQUIPMENT AND CONDUITS BACK TO POLE - REMOVE ALL ASSOCIATED MOUNTING BOARD AND CABINETS - PREPARE ALL ABANDONED SURFACES TO RECEIVE NEW WORK.

PROTECTION / SALVAGE KEY NOTES

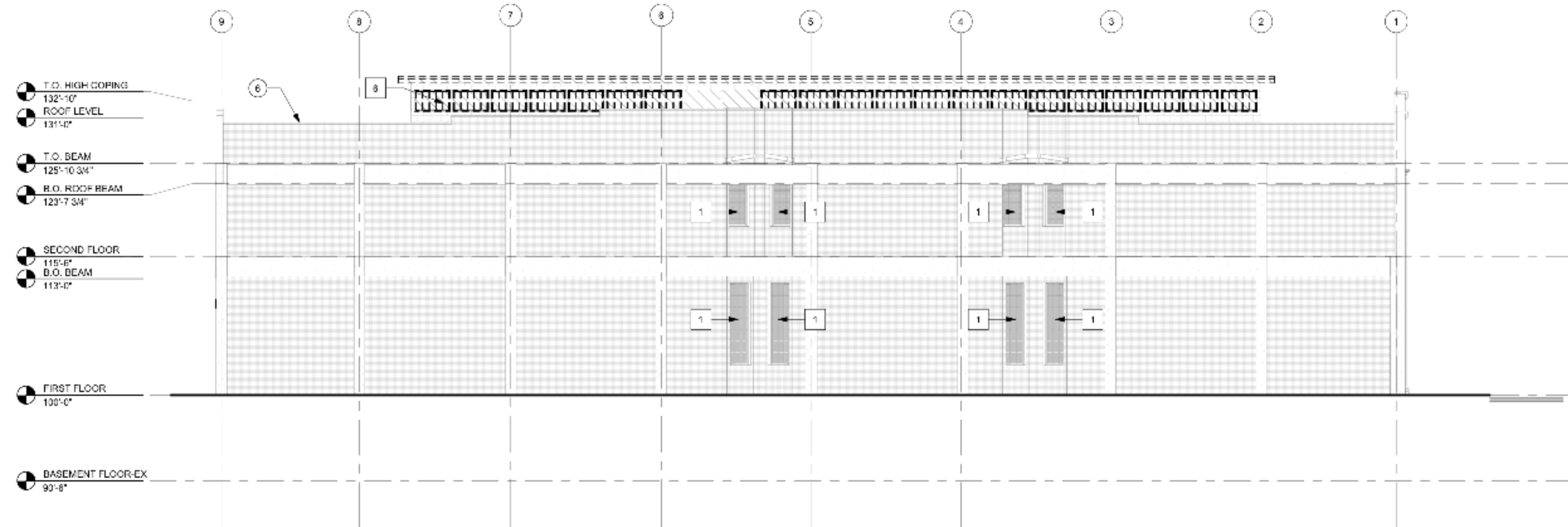
INDICATED BY: xx →

1. PROTECT EXISTING STEEL WINDOW FRAMES AND GLAZING
2. PROTECT EXISTING WOOD WINDOW FRAMES AND GLAZING - REMOVE GLAZING AND DAMAGED WOOD TRIM
3. SALVAGE METAL DOOR AND FRAME FOR REUSE
4. SALVAGE EXISTING STEEL WINDOW AND GLAZING FOR REUSE
5. PROTECT EXISTING CAST CONCRETE PLASTER - REMOVE PAINT TO NATURAL FINISH
6. REMOVE CLERESTORY WINDOW FRAMES AND SASHES TO ROUGH FRAMING - SALVAGE SASHES FOR REUSE
7. PROTECT CANOPY HOOKS FOR REUSE

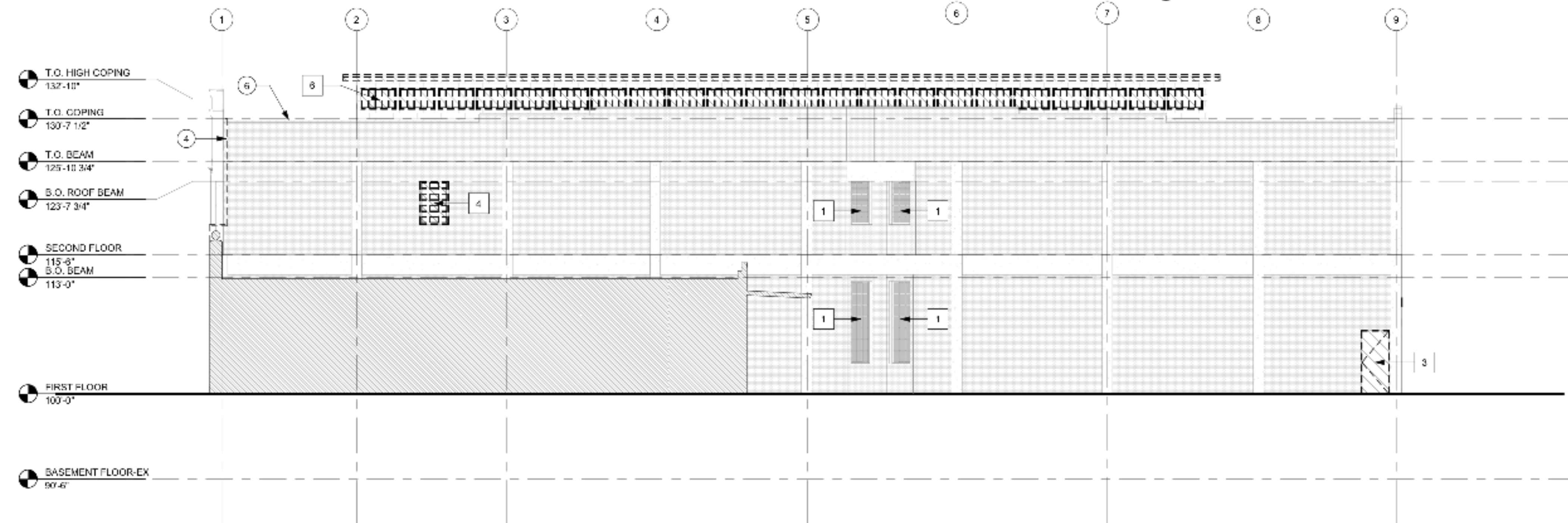
DEMOLITION KEY NOTES

INDICATED BY: xx →

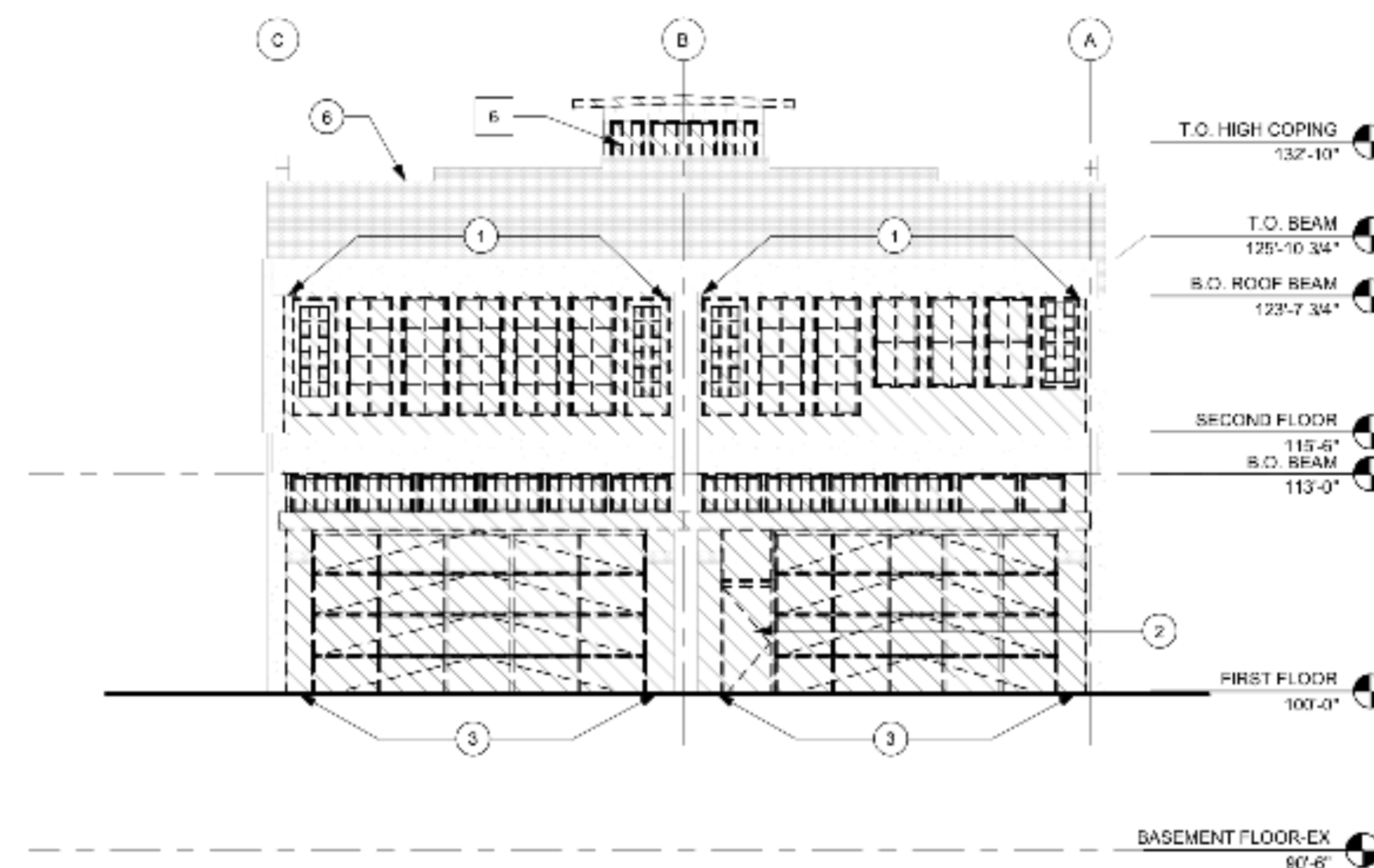
1. DEMOLISH EXISTING WOOD WINDOWS AND MASONRY BACK TO CONCRETE STRUCTURAL FRAME - SALVAGE MASONRY FOR REUSE
2. DEMOLISH EXISTING METAL WINDOW, DOOR AND FRAME
3. DEMOLISH EXISTING OVERHEAD DOOR, TRACK, JAMBS AND CMU INFILL WALL BACK TO CONCRETE STRUCTURAL FRAME
4. DEMOLISH ELECTRICAL PANELS AND SERVICE IN ITS ENTIRETY
5. DEMOLISH EXISTING STOREFRONT WINDOWS, DOORS, WOOD BEAM UPPER FIXED WINDOWS AND KNEE WALL TO FINISHED FLOOR
6. CAULK JOINTS AT EXISTING TERRA COTTA COPING AS REQUIRED



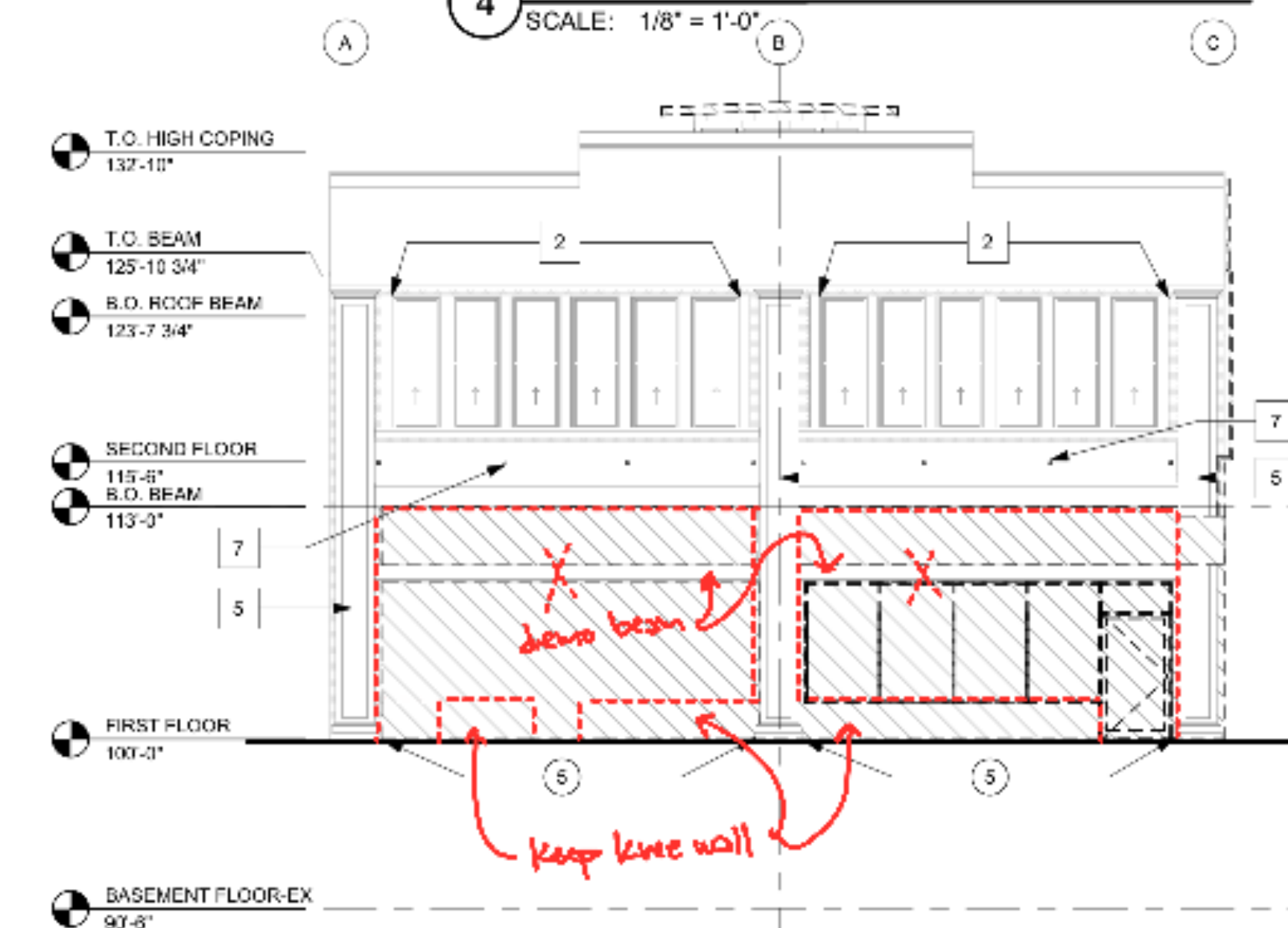
3 DEMOLITION - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 DEMOLITION - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMOLITION - EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 DEMOLITION - WEST ELEVATION
SCALE: 1/8" = 1'-0"



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**618
BROADWAY**

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PROJECT NO. 201901

ISSUED DATE

REVISIONS

SHEET TITLE
DEMOLITION EXTERIOR
ELEVATIONS

SHEET NUMBER

D3.01

1 CONTS. GENERAL NOTES

- DO NOT SCALE DRAWINGS
- DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED
- GENERAL CONTRACTOR TO VERIFY EXISTING AND NEW FINISH FLOOR ELEVATIONS AGAINST THOSE NOTED IN THIS DRAWING SET
 - ROOF: 13'-0" ± - VERIFY IN FIELD
 - LEVEL TWO: 11'-6" ± - VERIFY IN FIELD
 - LEVEL ONE: 10'-0" ± - VERIFY IN FIELD
 - BASEMENT EXISTING: 9'-6" ± - VERIFY IN FIELD
 - BASEMENT PROPOSED: 9'-6" ± - VERIFY IN FIELD

2 DOOR AND WINDOW NOTES

- W1 - CUSTOM PAINTED WOOD STOREFRONT - 1" LOW 'E' INSULATED GLAZING, TEMPERED, CLEAR, INSULATED GLAZING SET IN PAINTED WOOD STOPS
- W2 - REPAIR EXISTING SASH WINDOWS IN PLACE. EXISTING GLAZING TO REMAIN. PAINT
- W3 - 4" BLACK ANODIZED STOREFRONT - 1" LOW 'E' INSULATED GLAZING, TEMPERED, CLEAR
- W4 - EXISTING STEEL FRAME WINDOW TO REMAIN - CLEAN, RECAULK AND REGRAZE IN PLACE AS REQUIRED - PAINT STEEL FRAME
- W5 - 4" BLACK ANODIZED ALUMINUM GLAD WOOD WINDOW WITH NAIL FINIS - DIVIDED LIGHT TO MIMIC EXISTING WINDOWS - 1" LOW 'E' INSULATED GLAZING, TEMPERED, OSCURE GLASS TO MIMIC EXISTING WINDOWS - WINDOW FABRICATOR TO FIELD VERIFY EXISTING OPENINGS AND QUANTITIES AND PROVIDE SHOP DRAWINGS INCLUDING QUANTITIES AND DETAILS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO COMMENCEMENT
- W6 - JRC TO WRITE AND UPDATE DESCRIPTION

3 CONSTRUCTION PLAN KEY NOTES

- CAST IN PLACE ELEVATOR PIT - RE: STRUCTURAL
- SUMP PUMP
- CLEAR SEAL ALL EXISTING CONCRETE COLUMNS & BEAMS
- EXISTING CONCRETE VAULT
- NEW TILE AT NEW VESTIBULE
- EXISTING WOOD FLOOR TO REMAIN
- REPAIR STRUCTURE AT DEMOLISHED STAIR - NEW WOOD FLOOR TO MATCH EXISTING - RE: STRUCTURAL
- NEW STEEL FRAMED OPENING AT EXISTING CONCRETE WALL - RE: STRUCTURAL
- EXISTING SIDEWALK
- EXISTING CONCRETE LANDING AT EAST WALL
- INFILL EXISTING WALL WITH MATCHING MASONRY
- PATCH EXISTING WOOD FLOOR AT DEMOLISHED RESTROOM

4 REFLECTED CEILING PLAN KEYNOTES

- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN - MODIFY AS REQUIRED TO ACCOMMODATE NEW FLOOR PLAN
- EXISTING EXPOSED WOOD JOISTS TO REMAIN
- EXISTING CONCRETE VAULT
- SUSPENDED GWB CEILING
- RATED CEILING / FLOOR ASSEMBLY AT RATED CORRIDOR
- NEW STEEL FRAMED OPENING AT EXISTING CONCRETE WALL - RE: STRUCTURAL
- LIGHTWELL AND CLERESTORY WINDOWS ABOVE

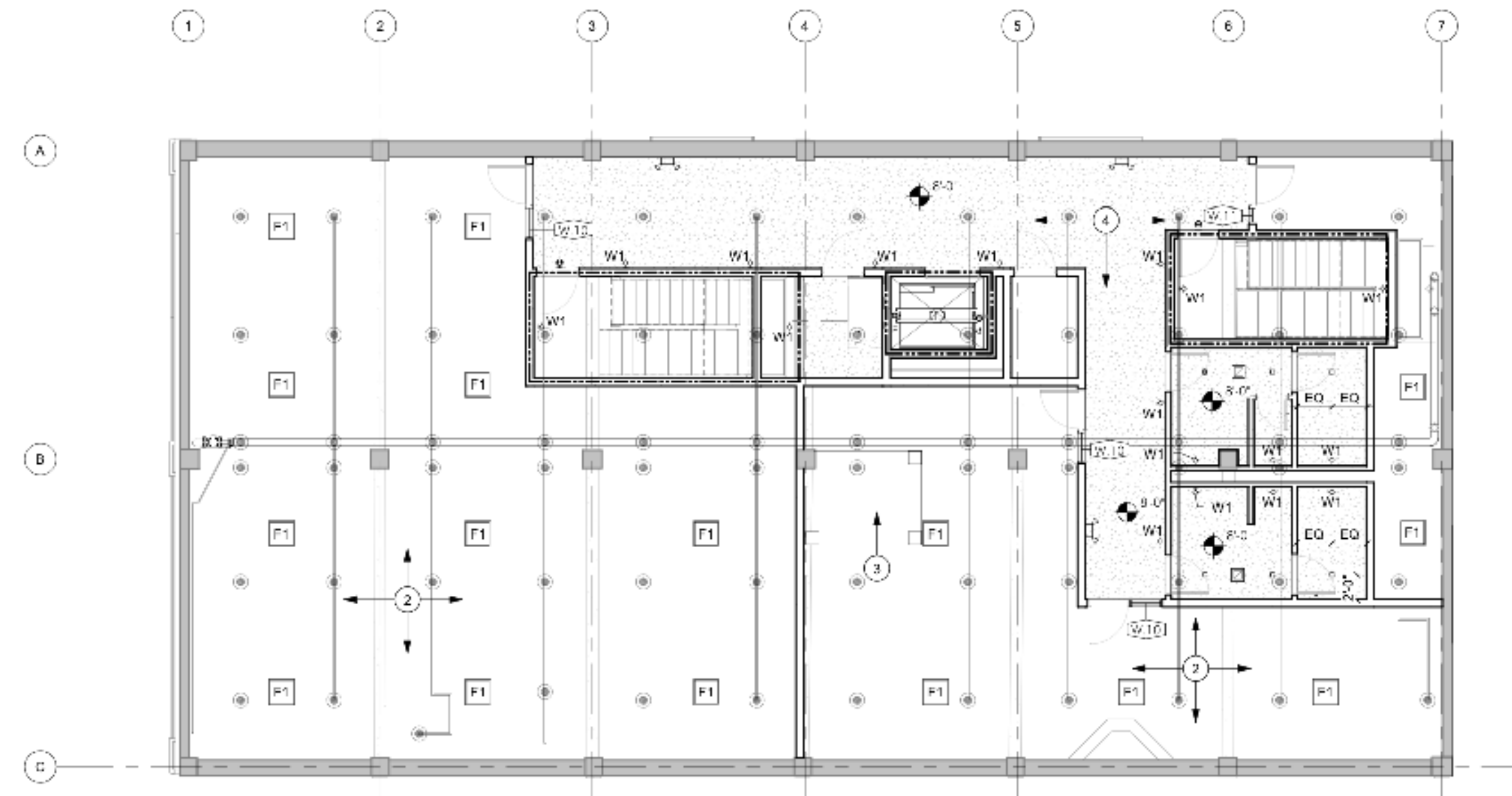
5 REFLECTED CEILING PLAN LEGEND

- F1 2' X 2' FLOURESCENT LIGHT FIXTURE
- P1 PENDANT FIXTURE
- UC S1 UNDER COUNTER/CABINET LIGHTING
- W1 WALL MOUNTED LIGHT FIXTURE
- W2 WALL MOUNTED STRIP FLOURESCENT LIGHT FIXTURE
- R1 RECESSED CAN FIXTURE
- P2 EXTERIOR PENDANT FIXTURE
- J1 J-BOX FOR HOUSE LIGHTING
- P3 SURFACE MOUNTED FIXTURE
- P4 EXTERIOR PENDANT FIXTURE

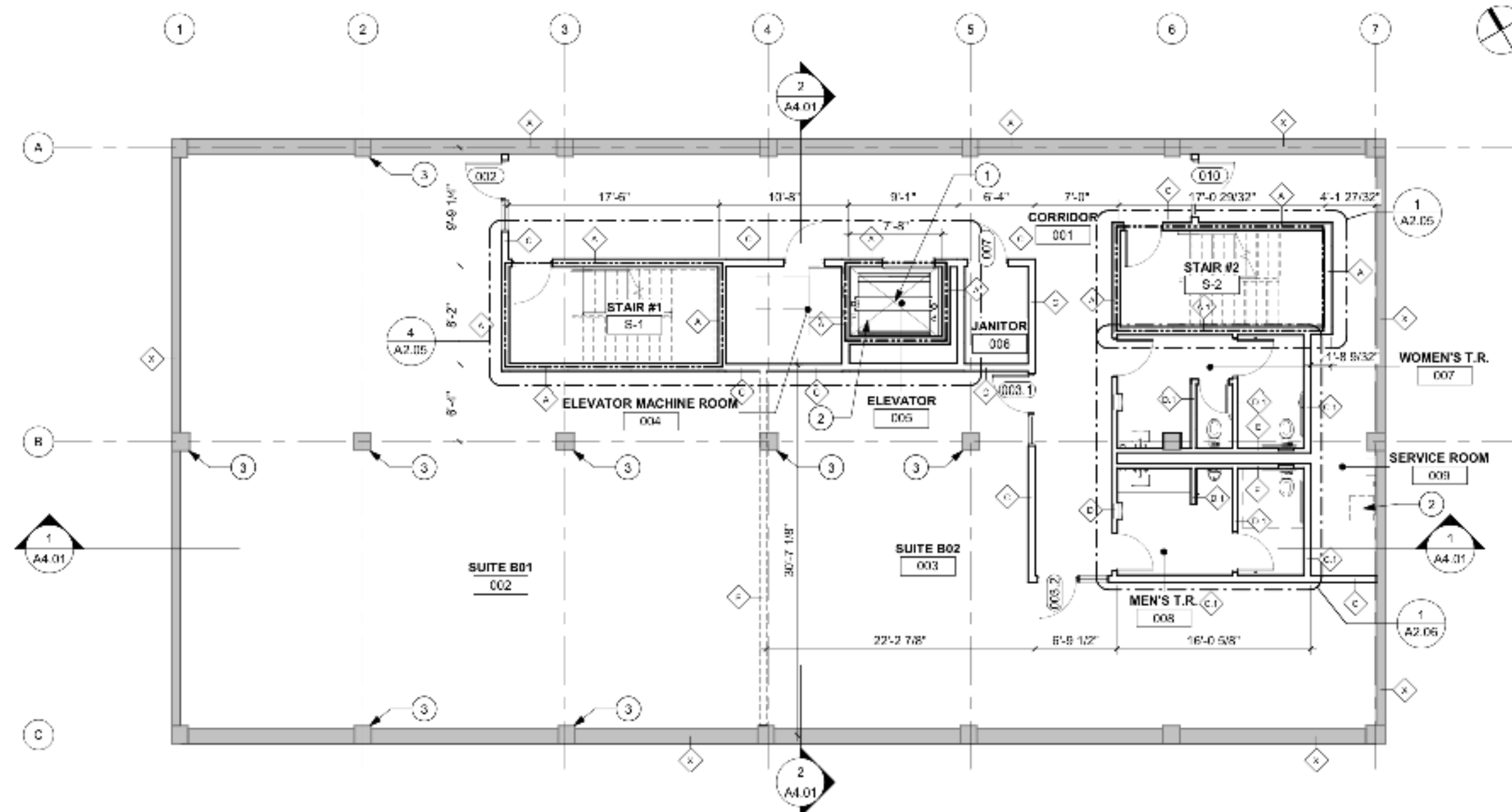
6 DRAWING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW PARTITION
- FIRE RATED ASSEMBLY PER CODE
- A [2] LAYERS 5/8" G.W.B.
2X6 WOOD STUDS AT 12" O.C.
[2] LAYERS 5/8" G.W.B.
- A.1 [2] LAYERS 5/8" G.W.B.
2X6 WOOD STUDS AT 12" O.C.
5/8" G.W.B.
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- B 1" AIR GAP AT EXTERIOR WALL
3 5/8" METAL STUD (VERIFY GAUGE)
5/8" G.W.B.
- C 5/8" G.W.B. - PAINT
6" METAL CHANNEL
ALTERNATING 3 5/8" METAL STUDS AT 16" O.C.
FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS
5/8" G.W.B. - PAINT
- C.1 5/8" G.W.B. - PAINT
6" METAL CHANNEL
ALTERNATING 3 5/8" METAL STUDS AT 16" O.C.
FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- D 5/8" G.W.B. - PAINT
3 5/8" METAL STUD (VERIFY GAUGE)
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- E CERAMIC TILE AT RESTROOM SIDE OF WALL
5/8" MOISTURE RESISTANT G.W.B. - PAINT
3 5/8" METAL STUD
1" AIR GAP
3 5/8" METAL STUD
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- F DEDUCT/ALT
5/8" G.W.B. - PAINT
6" METAL CHANNEL
ALTERNATING 3 5/8" METAL STUDS AT 16" O.C.
FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS
5/8" G.W.B. - PAINT

- WOOD BASE PAINTED 1X8 FINGER JOINTED POPLAR BASE AT ALL NEW WALLS EXCEPT FOR RESTROOMS, JANITOR CLOSETS AND OTHER EQUIPMENT
- NOTES
- NEW WOOD FLOOR AT ABANDONED THRU FLOOR VENT TO MATCH EXISTING
- PATCH EXISTING TIN CEILING AT NEW STAIR AND ELEVATOR PENETRATIONS
- STUCCO CEILING
- TILE VESTIBULE
- NEW WOOD FLOOR AT DEMOLISHED STAIR TO MATCH EXISTING
- NEW CUSTOM MILLWORK
- NEW COMMERCIAL WALL MOUNTED MAILBOX SYSTEM
- NEW ADA LAVATORY
- CUSTOM TOILET PARTITIONS
- NEW PLUMBING FIXTURES
- INFILL EXISTING MASONRY OPENING WITH NEW MASONRY TO MATCH EXISTING
- CENTER PARTITION ON EXISTING CONCRETE COLUMN
- NEW METAL CANOPY
- NEW PAINTED STEEL C15X33.9 - REFER TO STRUCTURAL DRAWINGS
- NEW CONCRETE SLAB PER STRUCTURAL
- ALIGN FINISHED FACE OF PARTITION WITH FACE OF MASONRY
- INFILL EXISTING ELEVATOR PIT WITH CLEAN, ENGINEERED FILL IN LIFTS - PROVIDE 4" CAST IN PLACE CONCRETE SLAB OVER 7 MIL VAPOR BARRIER ON 4 INCHES OF GRAVEL - RE: STRUCTURAL



2 BASEMENT FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1 BASEMENT CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

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618
BROADWAY

618 BROADWAY STREET
SAN ANTONIO, TEXAS 78215

PROJECT NO. 201901

ISSUED DATE

REVISIONS

SHEET TITLE
BASEMENT CONSTRUCTION
AND REFLECTED CEILING
PLANS

SHEET NUMBER

A2.00

1 CONTS. GENERAL NOTES

- DO NOT SCALE DRAWINGS
- DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED
- GENERAL CONTRACTOR TO VERIFY EXISTING AND NEW FINISH FLOOR ELEVATIONS AGAINST THOSE NOTED IN THIS DRAWING SET
 - ROOF: 131'-0" +/- VERIFY IN FIELD
 - LEVEL TWO: 115'-6" +/- VERIFY IN FIELD
 - LEVEL ONE: 100'-0" +/- VERIFY IN FIELD
 - BASEMENT EXISTING: 90'-6" +/- VERIFY IN FIELD
 - BASEMENT PROPOSED: 88'-6" +/- VERIFY IN FIELD

2 DOOR AND WINDOW NOTES

SCALE: 1/4" = 1'-0"

- W1 - CUSTOM PAINTED WOOD STOREFRONT - 1" LOW 'E' INSULATED GLAZING, TEMPERED, CLEAR, INSULATED GLAZING SET IN PAINTED WOOD STOPS
- W2 - REPAIR EXISTING SASH WINDOWS IN PLACE. EXISTING GLAZING TO REMAIN, PAINT
- W3 - 4" BLACK ANODIZED STOREFRONT - 1" LOW 'E' INSULATED GLAZING, TEMPERED, CLEAR
- W4 - EXISTING STEEL FRAME WINDOW TO REMAIN - CLEAN, RECAULK AND REGLAZE IN PLACE AS REQUIRED - PAINT STEEL FRAME
- W5 - 4" BLACK ANODIZED ALUMINUM GLAD WOOD WINDOW WITH NAIL FNS - DIVIDED LIGHT TO MIMIC EXISTING WINDOWS - 1" LOW 'E' INSULATED GLAZING, TEMPERED, OSCURE GLASS TO MIMIC EXISTING WINDOWS - WINDOW FABRICATOR TO FIELD VERIFY EXISTING OPENINGS AND QUANTITIES AND PROVIDE SHOP DRAWINGS INCLUDING QUANTITIES AND DETAILS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO COMMENCEMENT
- W6 - JRC TO WRITE AND UPDATE DESCRIPTION

3

CONSTRUCTION PLAN KEY NOTES

- CAST IN PLACE ELEVATOR PIT - RE: STRUCTURAL
- SUMP PUMP
- CLEAR SEAL ALL EXISTING CONCRETE COLUMNS & BEAMS
- EXISTING CONCRETE VAULT
- NEW TILE AT NEW VESTIBULE
- EXISTING WOOD FLOOR TO REMAIN
- REPAIR STRUCTURE AT DEMOLISHED STAIR - NEW WOOD FLOOR TO MATCH EXISTING - RE: STRUCTURAL
- NEW STEEL FRAMED OPENING AT EXISTING CONCRETE WALL - RE: STRUCTURAL
- EXISTING SIDEWALK
- EXISTING CONCRETE LANDING AT EAST WALL
- INFILL EXISTING WALL WITH MATCHING MASONRY
- PATCH EXISTING WOOD FLOOR AT DEMOLISHED RESTROOM

4

REFLECTED CEILING PLAN KEYNOTES

- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN - MODIFY AS REQUIRED TO ACCOMMODATE NEW FLOOR PLAN
- EXISTING EXPOSED WOOD JOISTS TO REMAIN
- EXISTING CONCRETE VAULT
- SUSPENDED GWS CEILING
- RATED CEILING/FLOOR ASSEMBLY AT RATED CORRIDOR
- NEW STEEL FRAMED OPENING AT EXISTING CONCRETE WALL - RE: STRUCTURAL
- LIGHT WELL AND CLERESTORY WINDOWS ABOVE

5

REFLECTED CEILING PLAN LEGEND

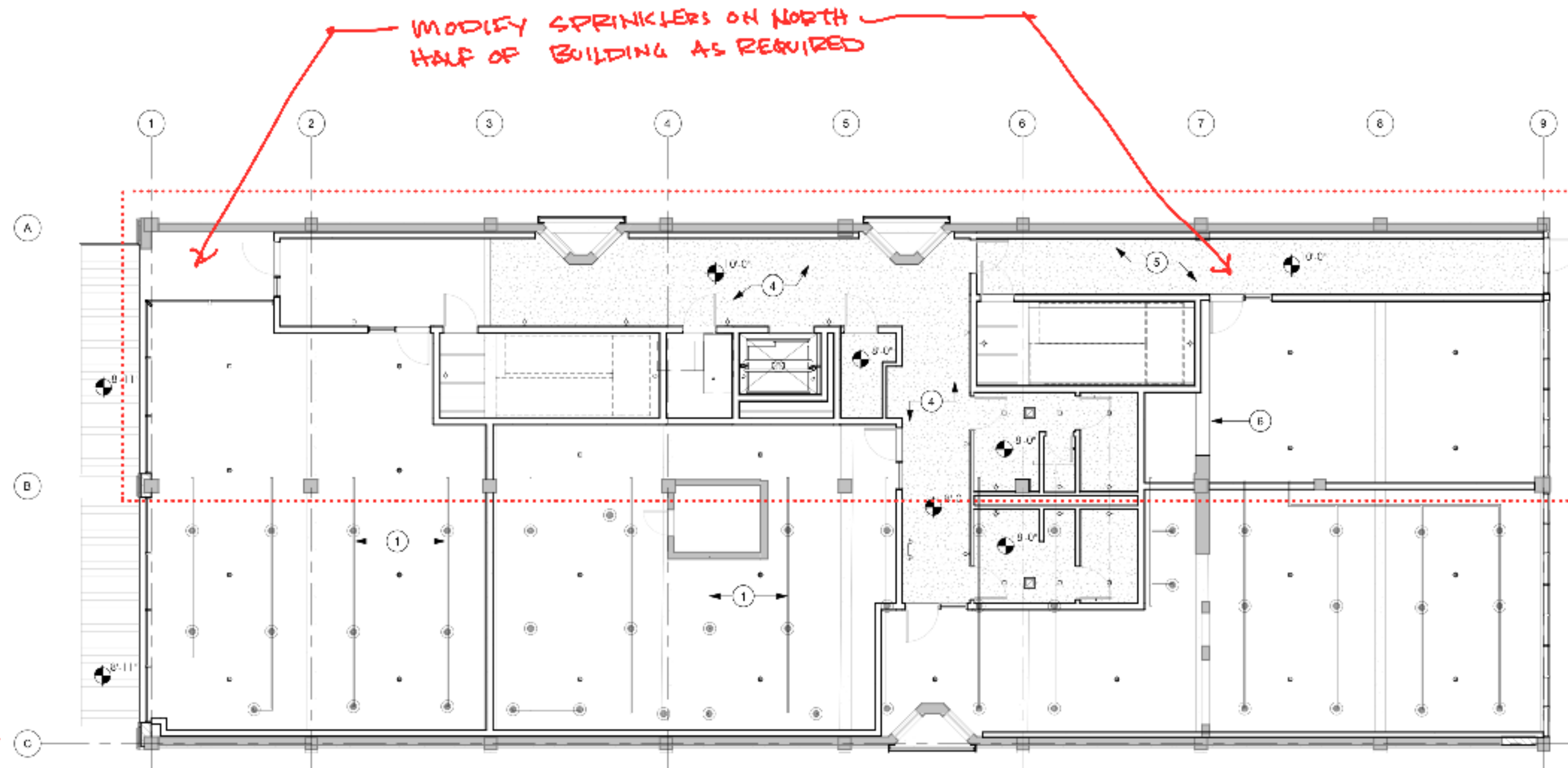
- F1 2' X 2' FLOURESCENT LIGHT FIXTURE
- P1 PENDANT FIXTURE
- UC S1 UNDER COUNTER/CABINET LIGHTING
- W1 WALL MOUNTED LIGHT FIXTURE
- W2 WALL MOUNTED STRIP FLOURESCENT LIGHT FIXTURE
- R1 RECESSED CAN FIXTURE
- P2 EXTERIOR PENDANT FIXTURE
- J1 J-BOX FOR HOUSE LIGHTING
- P3 SURFACE MOUNTED FIXTURE
- P4 EXTERIOR PENDANT FIXTURE

6 DRAWING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW PARTITION
- FIRE RATED ASSEMBLY PER CODE
- A [2] LAYERS 5/8" G.W.B. 2X6 WOOD STUDS AT 12" O.C. [2] LAYERS 5/8" G.W.B.
- A.1 [2] LAYERS 5/8" G.W.B. 2X6 WOOD STUDS AT 12" O.C. 5/8" G.W.B. 5/8" MOISTURE RESISTANT G.W.B. - PAINT CERAMIC TILE AT RESTROOM SIDE OF WALL
- B 1" AIR GAP AT EXTERIOR WALL 3 5/8" METAL STUD (VERIFY GAUGE) 5/8" G.W.B.
- C 5/8" G.W.B. - PAINT 6" METAL CHANNEL ALTERNATING 3 5/8" METAL STUDS AT 16" O.C. FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS 5/8" G.W.B. - PAINT
- C.1 5/8" G.W.B. - PAINT 6" METAL CHANNEL ALTERNATING 3 5/8" METAL STUDS AT 16" O.C. FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS 5/8" MOISTURE RESISTANT G.W.B. - PAINT CERAMIC TILE AT RESTROOM SIDE OF WALL
- D 5/8" G.W.B. - PAINT 3 5/8" METAL STUD (VERIFY GAUGE) 5/8" MOISTURE RESISTANT G.W.B. - PAINT CERAMIC TILE AT RESTROOM SIDE OF WALL
- E CERAMIC TILE AT RESTROOM SIDE OF WALL 5/8" MOISTURE RESISTANT G.W.B. - PAINT 3 5/8" METAL STUD 1" AIR GAP 3 5/8" METAL STUD 5/8" MOISTURE RESISTANT G.W.B. - PAINT CERAMIC TILE AT RESTROOM SIDE OF WALL
- F DEDUCT/ALT 5/8" G.W.B. - PAINT 6" METAL CHANNEL ALTERNATING 3 5/8" METAL STUDS AT 16" O.C. FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS 5/8" G.W.B. - PAINT

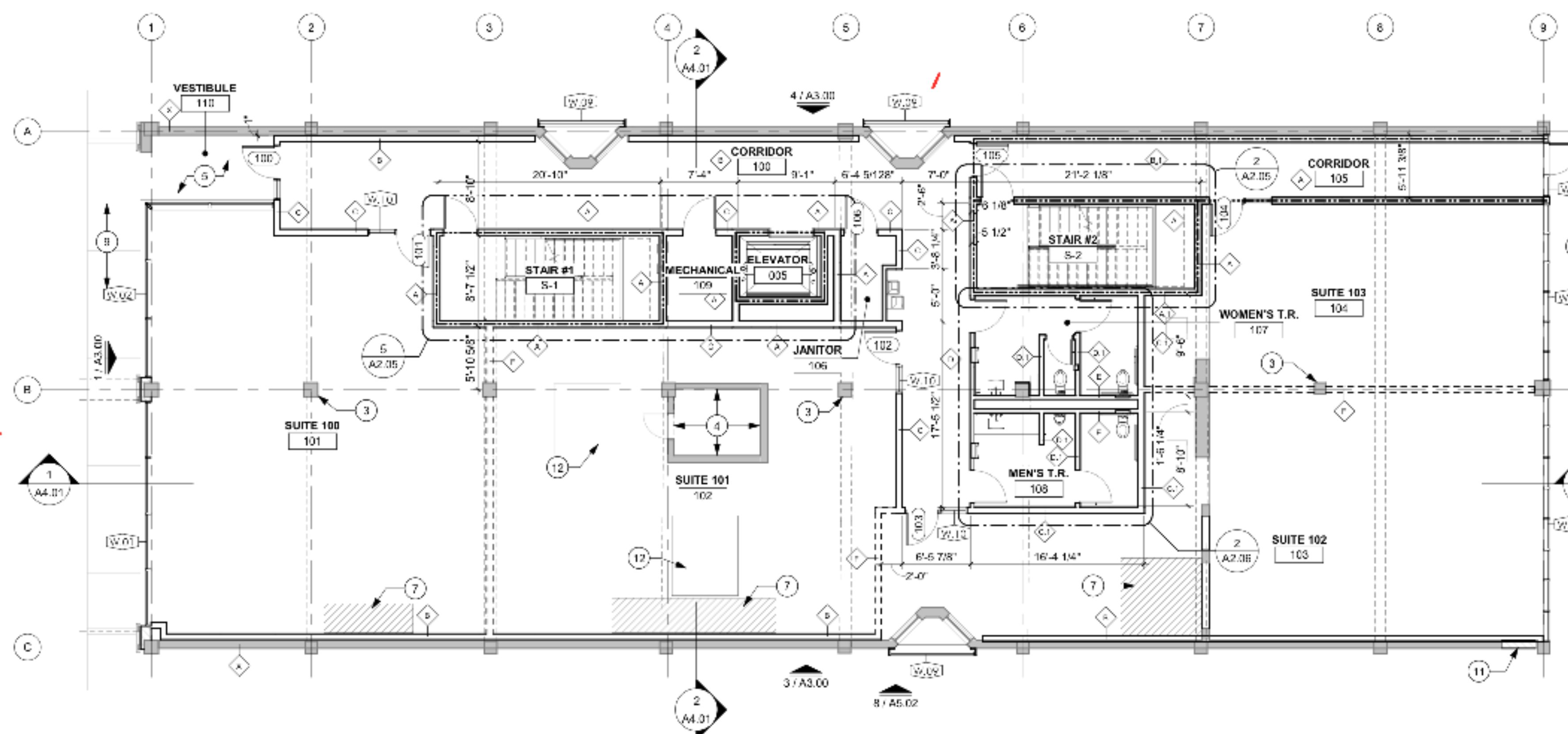
WOOD BASE
PAINTED 1X8 FINGER JOINTED POPLAR BASE AT ALL NEW WALLS EXCEPT FOR RESTROOMS, JANITOR CLOSETS AND OTHER EQUIPMENT

- NOTES
- NEW WOOD FLOOR AT ABANDONED THRU FLOOR VENT TO MATCH EXISTING
 - PATCH EXISTING TIN CEILING AT NEW STAIR AND ELEVATOR PENETRATIONS
 - STUCCO CEILING
 - TILE VESTIBULE
 - NEW WOOD FLOOR AT DEMOLISHED STAIR TO MATCH EXISTING
 - NEW CUSTOM MILLWORK
 - NEW COMMERCIAL WALL MOUNTED MAILBOX SYSTEM
 - NEW ADA LAVATORY
 - CUSTOM TOILET PARTITIONS
 - NEW PLUMBING FIXTURES
 - INFILL EXISTING MASONRY OPENING WITH NEW MASONRY TO MATCH EXISTING
 - CENTER PARTITION ON EXISTING CONCRETE COLUMN
 - NEW METAL CANOPY
 - NEW PAINTED STEEL C15X33.9 - REFER TO STRUCTURAL DRAWINGS
 - NEW CONCRETE SLAB PER STRUCTURAL
 - ALIGN FINISHED FACE OF PARTITION WITH FACE OF MASONRY
 - INFILL EXISTING ELEVATOR PIT WITH CLEAN, ENGINEERED FILL IN LIFTS - PROVIDE 4" CAST IN PLACE CONCRETE SLAB OVER 7 MIL VAPOR BARRIER ON 4 INCHES OF GRAVEL - RE: STRUCTURAL



2 FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



1 FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"

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PROJECT NAME
RENOVATION AND REMODEL FOR

618
BROADWAY

618 BROADWAY STREET
SAN ANTONIO, TEXAS 78215

PROJECT NO. 201901

ISSUED DATE

REVISIONS

SHEET TITLE
FIRST FLOOR
CONSTRUCTION AND
REFLECTED CEILING PLANS

SHEET NUMBER
A2.01

PRELIMINARY
NOT FOR
CONSTRUCTION

1 CONTS. GENERAL NOTES

- DO NOT SCALE DRAWINGS
- DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED
- GENERAL CONTRACTOR TO VERIFY EXISTING AND NEW FINISH FLOOR ELEVATIONS AGAINST THOSE NOTED IN THIS DRAWING SET
 - ROOF: 13'-0" ±. VERIFY IN FIELD
 - LEVEL TWO: 11'-6" ±. VERIFY IN FIELD
 - LEVEL ONE: 10'-0" ±. VERIFY IN FIELD
 - BASEMENT EXISTING: 9'-6" ±. VERIFY IN FIELD
 - BASEMENT PROPOSED: 8'-6" ±. VERIFY IN FIELD

2 DOOR AND WINDOW NOTES

- W1** - CUSTOM PAINTED WOOD STOREFRONT - 1" LOW 'E' INSULATED GLAZING, TEMPERED, CLEAR, INSULATED GLAZING SET IN PAINTED WOOD STOPS
- W2** - REPAIR EXISTING SASH WINDOWS IN PLACE. EXISTING GLAZING TO REMAIN. PAINT
- W3** - 4" BLACK ANODIZED STOREFRONT - 1" LOW 'E' INSULATED GLAZING, TEMPERED, CLEAR
- W4** - EXISTING STEEL FRAME WINDOW TO REMAIN - CLEAN, RECAULK AND REGRAZE IN PLACE AS REQUIRED - PAINT STEEL FRAME
- W5** - 4" BLACK ANODIZED ALUMINUM CLAD WOOD WINDOW WITH NAIL FIN - DIVIDED LIGHT TO MIMIC EXISTING WINDOWS - 1" LOW 'E' INSULATED GLAZING, TEMPERED, OBSCURE GLASS TO MIMIC EXISTING WINDOWS - WINDOW FABRICATOR TO FIELD VERIFY EXISTING OPENINGS AND QUANTITIES AND PROVIDE SHOP DRAWINGS INCLUDING QUANTITIES AND DETAILS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO COMMENCEMENT
- W6** - JRC TO WRITE AND UPDATE DESCRIPTION

3 CONSTRUCTION PLAN KEY NOTES

- CAST IN PLACE ELEVATOR PIT - RE: STRUCTURAL
- SUMP PUMP
- CLEAR SEAL ALL EXISTING CONCRETE COLUMNS & BEAMS
- EXISTING CONCRETE VAULT
- NEW TILE AT NEW VESTIBULE
- EXISTING WOOD FLOOR TO REMAIN
- REPAIR STRUCTURE AT DEMOLISHED STAIR - NEW WOOD FLOOR TO MATCH EXISTING - RE: STRUCTURAL
- NEW STEEL FRAMED OPENING AT EXISTING CONCRETE WALL - RE: STRUCTURAL
- EXISTING SIDEWALK
- EXISTING CONCRETE LANDING AT EAST WALL
- INFILL EXISTING WALL WITH MATCHING MASONRY
- PATCH EXISTING WOOD FLOOR AT DEMOLISHED RESTROOM

4 REFLECTED CEILING PLAN KEYNOTES

- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN - MODIFY AS REQUIRED TO ACCOMMODATE NEW FLOOR PLAN
- EXISTING EXPOSED WOOD JOISTS TO REMAIN
- EXISTING CONCRETE VAULT
- SUSPENDED GWB CEILING
- RATED CEILING / FLOOR ASSEMBLY AT RATED CORRIDOR
- NEW STEEL FRAMED OPENING AT EXISTING CONCRETE WALL - RE: STRUCTURAL
- LIGHT WELL AND CLERESTORY WINDOWS ABOVE

5 REFLECTED CEILING PLAN LEGEND

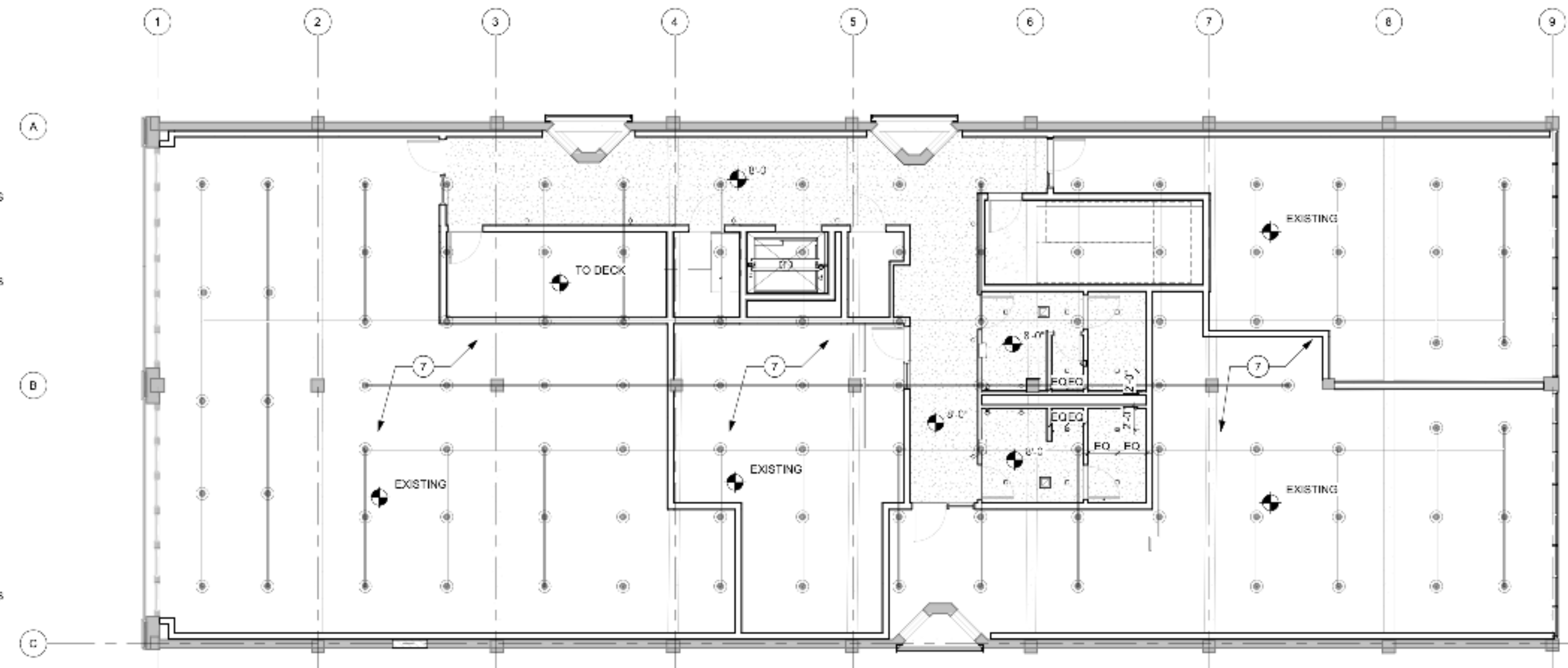
- F1** 2' X 2' FLOURESCENT LIGHT FIXTURE
- P1** PENDANT FIXTURE
- U1** UNDER COUNTER/CABINET LIGHTING
- W1** WALL MOUNTED LIGHT FIXTURE
- W2** WALL MOUNTED STRIP FLOURESCENT LIGHT FIXTURE
- R1** RECESSED CAN FIXTURE
- P2** EXTERIOR PENDANT FIXTURE
- J1** J-BOX FOR HOUSE LIGHTING
- P3** SURFACE MOUNTED FIXTURE
- P4** EXTERIOR PENDANT FIXTURE

6 DRAWING LEGEND

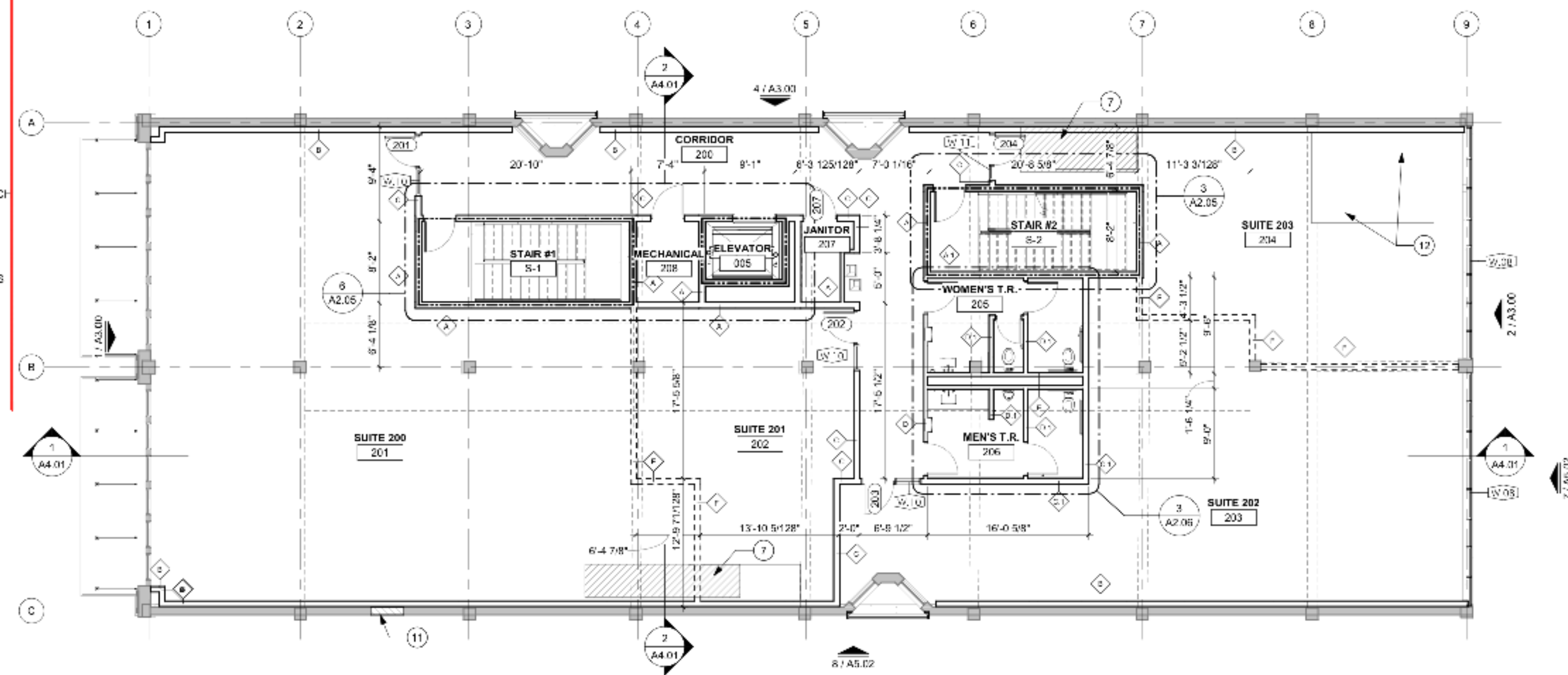
- EXISTING CONSTRUCTION TO REMAIN**
- EXISTING CONSTRUCTION TO BE REMOVED**
- NEW PARTITION**
- FIRE RATED ASSEMBLY PER CODE**
- A** [2] LAYERS 5/8" G.W.B.
2X6 WOOD STUDS AT 12" O.C.
[2] LAYERS 5/8" G.W.B.
- A'** [2] LAYERS 5/8" G.W.B.
2X6 WOOD STUDS AT 12" O.C.
5/8" G.W.B.
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- B** 1" AIR GAP AT EXTERIOR WALL
3 5/8" METAL STUD (VERIFY GAUGE)
5/8" G.W.B.
- C** 5/8" G.W.B. - PAINT
6" METAL CHANNEL
ALTERNATING 3 5/8" METAL STUDS AT 16" O.C.
FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS
5/8" G.W.B. - PAINT
- C.1** 5/8" G.W.B. - PAINT
6" METAL CHANNEL
ALTERNATING 3 5/8" METAL STUDS AT 16" O.C.
FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- D** 5/8" G.W.B. - PAINT
3 5/8" METAL STUD (VERIFY GAUGE)
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- E** CERAMIC TILE AT RESTROOM SIDE OF WALL
5/8" MOISTURE RESISTANT G.W.B. - PAINT
3 5/8" METAL STUD
1" AIR GAP
3 5/8" METAL STUD
5/8" MOISTURE RESISTANT G.W.B. - PAINT
CERAMIC TILE AT RESTROOM SIDE OF WALL
- F** DEDUCT / ALT
5/8" G.W.B. - PAINT
6" METAL CHANNEL
ALTERNATING 3 5/8" METAL STUDS AT 16" O.C.
FULL HEIGHT ACOUSTIC BATT WOVEN BETWEEN STUDS
5/8" G.W.B. - PAINT

WOOD BASE
PAINTED 1X8 FINGER JOINTED POPLAR BASE
AT ALL NEW WALLS EXCEPT FOR RESTROOMS,
JANITOR CLOSETS AND OTHER EQUIPMENT

NOTES:
NEW WOOD FLOOR AT ABANDONED THRU FLOOR VENT TO MATCH EXISTING
PATCH EXISTING TIN CEILING AT NEW STAIR AND ELEVATOR PENETRATIONS
STUCCO CEILING
TILE VESTIBULE
NEW WOOD FLOOR AT DEMOLISHED STAIR TO MATCH EXISTING
NEW CUSTOM MILLWORK
NEW COMMERCIAL WALL MOUNTED MAILBOX SYSTEM
NEW ADA LAVATORY
CUSTOM TOILET PARTITIONS
NEW PLUMBING FIXTURES
INFILL EXISTING MASONRY OPENING WITH NEW MASONRY TO MATCH EXISTING
CENTER PARTITION ON EXISTING CONCRETE COLUMN
NEW METAL CANOPY
NEW PAINTED STEEL C15X33.9 - REFER TO STRUCTURAL DRAWINGS
NEW CONCRETE SLAB PER STRUCTURAL
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2 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1 SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

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REVISIONS

SHEET TITLE
SECOND FLOOR
CONSTRUCTION AND
REFLECTED CEILING PLANS

SHEET NUMBER
A2.02

PRELIMINARY
NOT FOR
CONSTRUCTION

ROOF PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- REMOVE ALL ABANDONED VENTS AND PENETRATIONS IN EXISTING ROOF. PATCH AND REPAIR ALL OPENINGS IN ROOF DECK. PREPARE EXISTING SUBSTRATES TO REMAIN FOR NEW WORK.
- PROVIDED TAPERED RIGID INSULATION AT 1/4" PER FOOT TO PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS.
- PROVIDE SHOP DRAWINGS INCLUDING PLANS, SPECIFICATIONS AND DETAILS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- AT WINDOW TYPE WS, WINDOW FABRICATOR TO FIELD VERIFY EXISTING OPENINGS AND QUANTITIES AND PROVIDE SHOP DRAWINGS INCLUDING QUANTITIES AND DETAILS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.

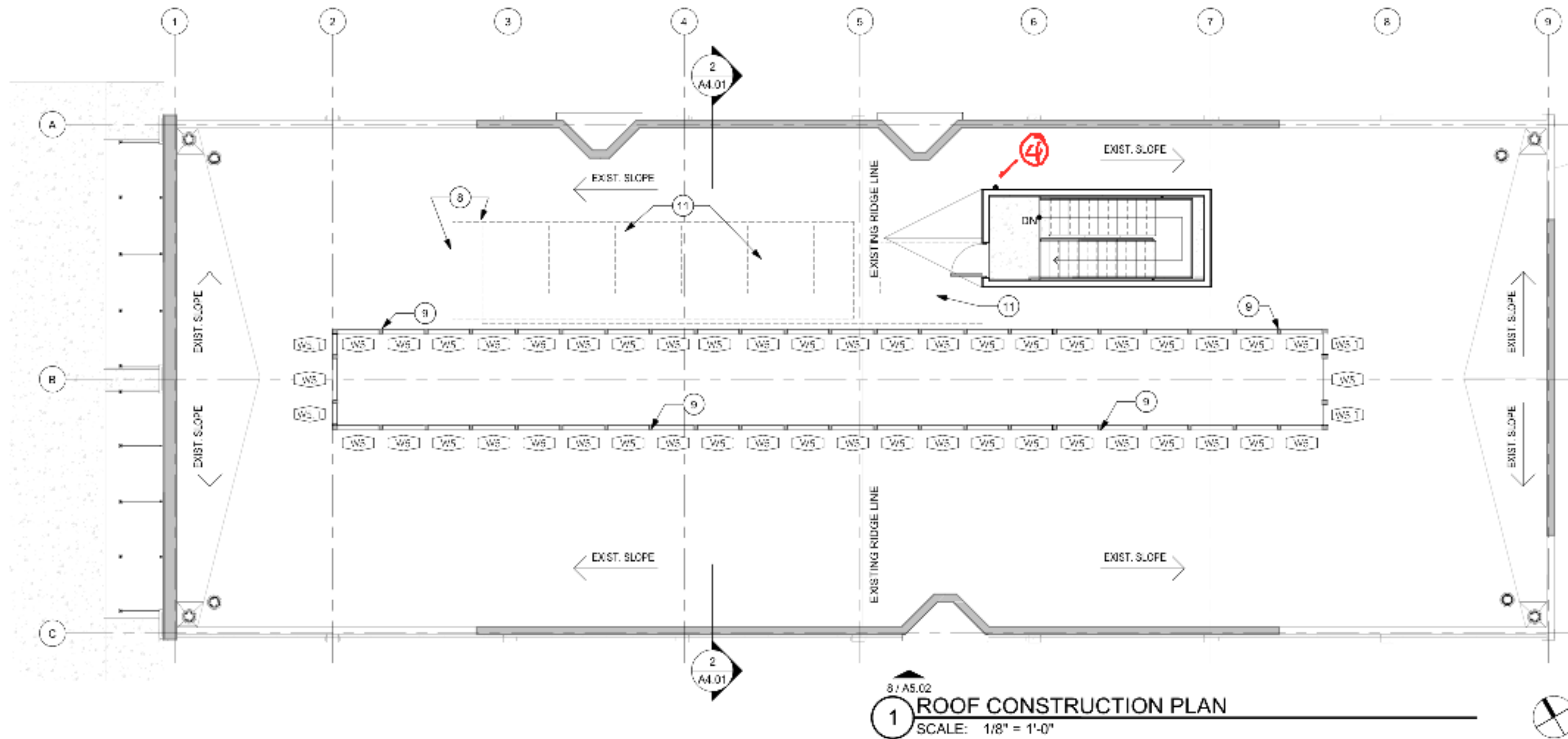
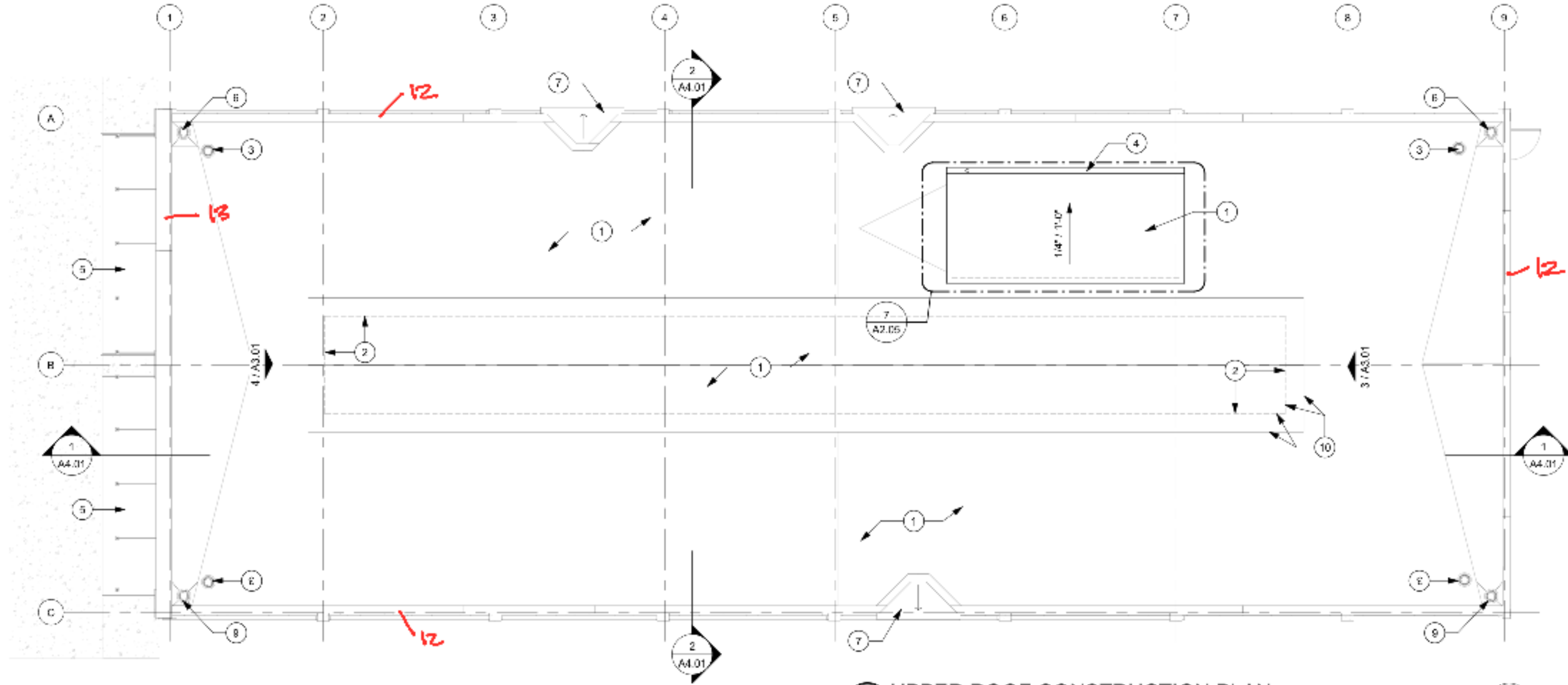
ROOF PLAN KEYNOTES

- NEW 30 YEAR FULLY ADHERED TPO MEMBRANE ROOF BY GAF OR EQUAL OVER NEW 3/4" PLYWOOD DECK OVER 6" R-30 RIGID INSULATION BOARD OVER EXISTING WOOD DECK.
- LOCATION OF EXTERIOR WALL BELOW ROOF.
- NEW OVER-FLOW ROOF DRAIN TO TIE INTO EXISTING INTERNAL DOWNSPOUT.
- NEW 4" HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT.
- NEW WALL MOUNTED CANOPY BELOW.
- NEW ROOF DRAIN, CONNECT AND TIE-IN WITH EXISTING INTERNAL DOWNSPOUT. COORDINATE NEW DRAIN AND OVER-FLOW DRAIN WITH NEW TPO ROOFING INSTALLATION.
- NEW SHEET METAL ROOF AND FLASHING SLOPED AT 1/4" PER FOOT.
- LOCATE MECHANICAL EQUIPMENT OVER NEW ELEVATOR AND STAIR SHAFT ON NORTH SIDE OF LIGHT MONITOR - RE: STRUCTURAL FOR ROOF REINFORCEMENT.
- NEW PAINTED WOOD 1X TRIM AT HEAD SILL AND JAMB OF NEW WINDOWS AT EXISTING 4X4 FRAMING.
- NEW PAINTED CEMENTITIOUS SOFFIT BOARD AND EAVE TRIM OVER EXISTING SOFFIT FRAMING. REPAIR FRAMING AS REQUIRED.
- PROVIDE ROOF PROTECTION AT EQUIPMENT WALKWAYS AS REQUIRED EQUAL TO JOHN MANVILLE TPO WALKPAD.

12 PATCH, REPAIR EXISTING PARAPET CAP

AS REQUIRED

13 NEW SHEET METAL PARAPET CAP - 2 PART
CUSTOM PROFILE



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SHEET TITLE
ROOF CONSTRUCTION
PLANS

SHEET NUMBER

A2.04

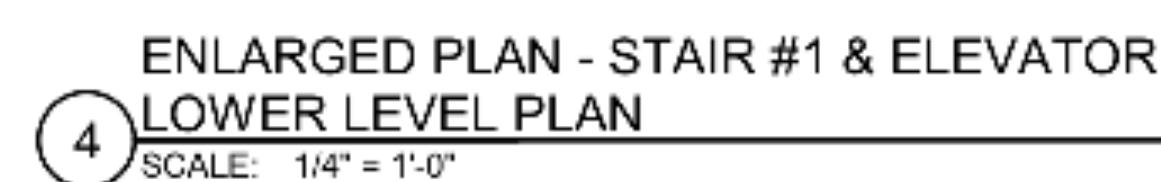
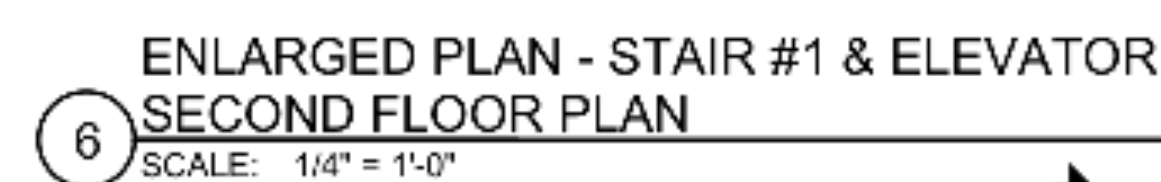
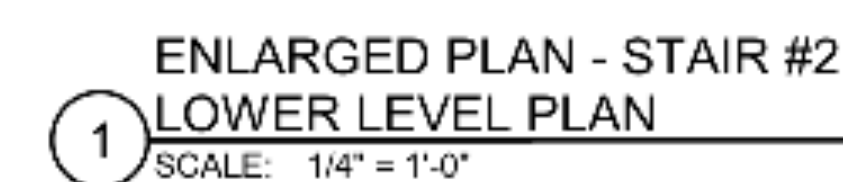
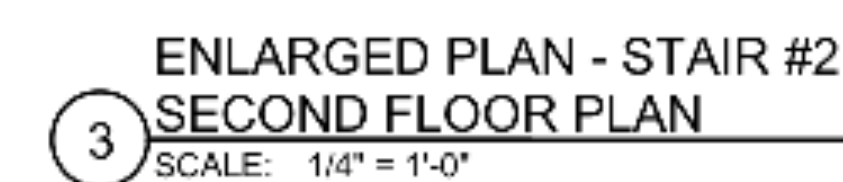
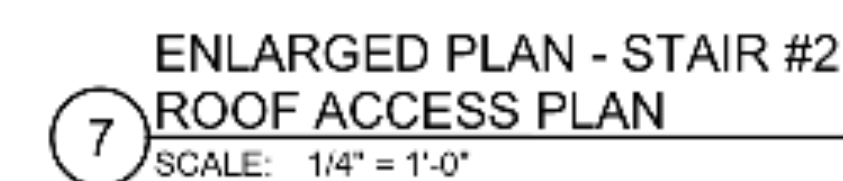


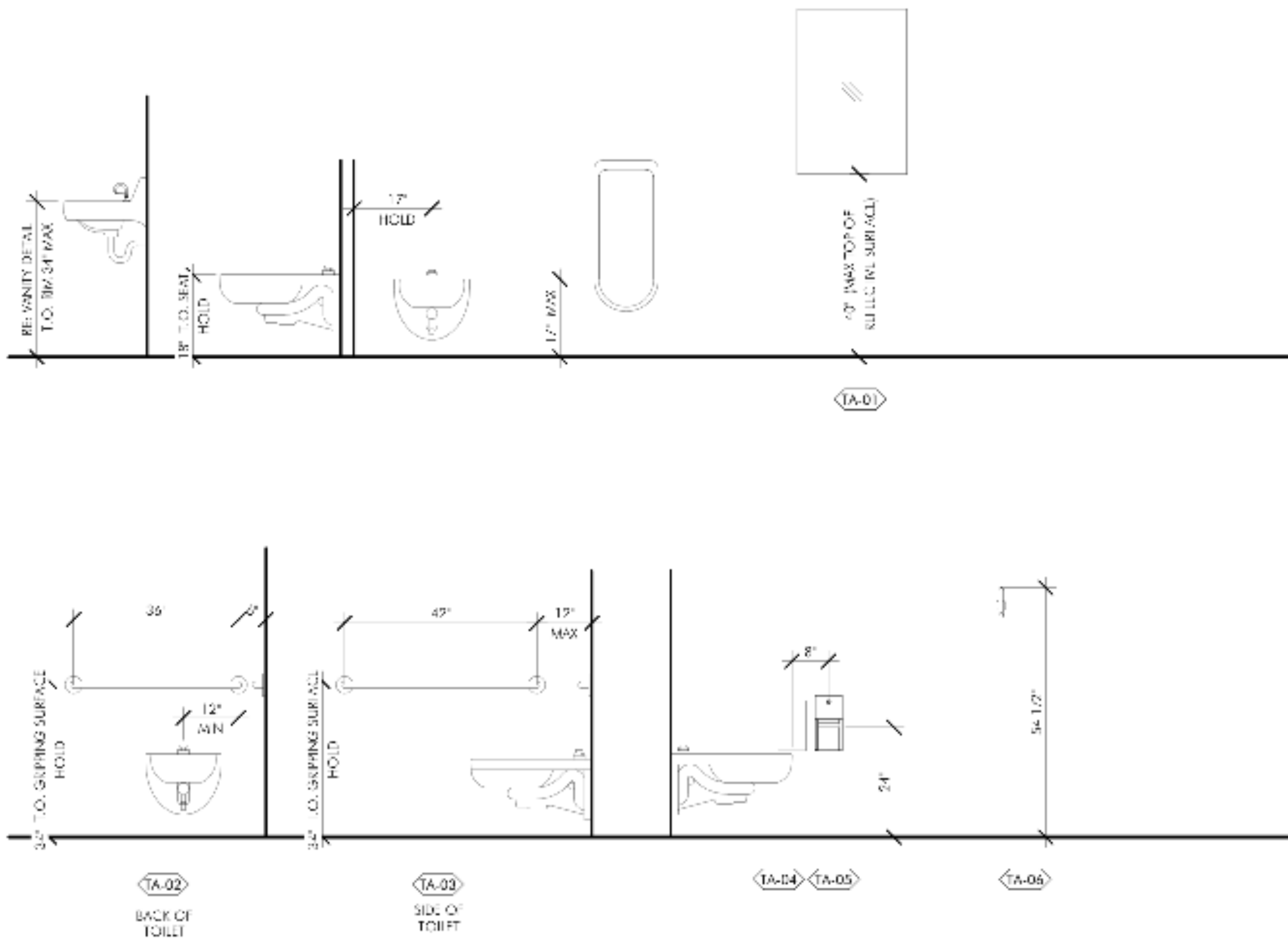
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BROADWAY

REVISIONS

SHEET NUMBER

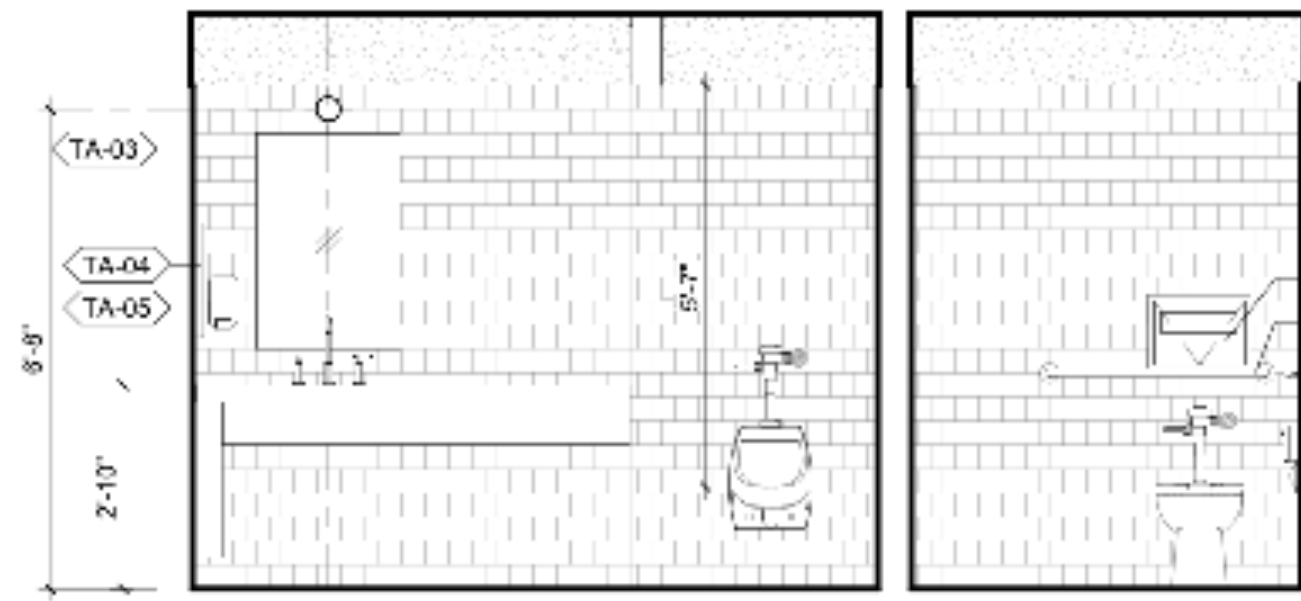
A2.05
SHEET NUMBER



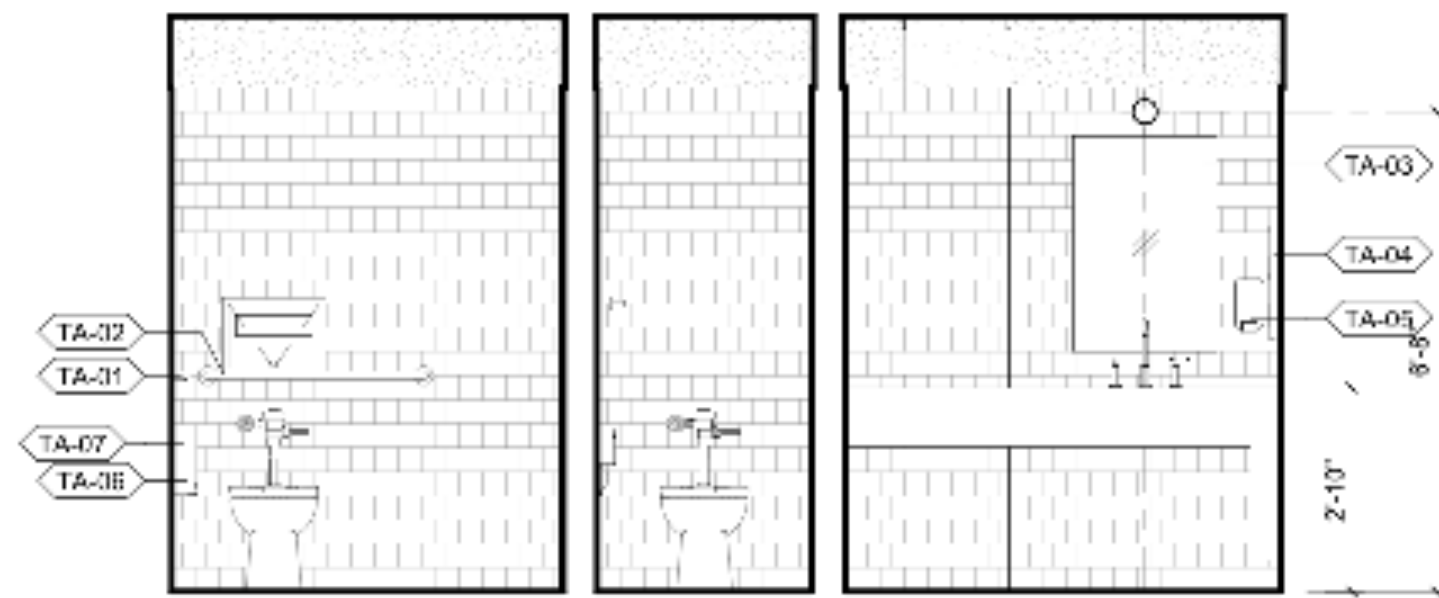
TAS STANDARDS

| TOILET ACCESSORY SCHEDULE | | | | |
|---------------------------|--------------|-----------|---|-----------------|
| MARK | MANUFACTURER | MODEL | DESCRIPTION | COMMENTS |
| TA-01 | BORRICK | B-5806X42 | 42 INCH GRAB BAR | |
| TA-02 | BORRICK | B-5806X36 | 36 INCH GRAB BAR | |
| TA-03 | BORRICK | B-165 | MIRROR 24" X 48" | |
| TA-04 | BORRICK | B-43844 | PAPER TOWEL DISPENSER / RECEPTACLE | |
| TA-05 | BY VENDOR | BY VENDOR | SOAP DISPENSER | |
| TA-06 | BORRICK | B-270 | SURFACE MOUNTED NAPKIN DISPOSAL | Surface-Mounted |
| TA-07 | BORRICK | B-4388 | RECESSED MULTIROLL TOILET TISSUE DISPENSER | |
| TA-08 | BORRICK | B-301 | SEAT COVER DISPENSER | |
| TA-09 | BORRICK | B-548 | COAT HOOK AT EACH FIXTURE | |
| TA-10 | - | - | NEUTRAL SOLID SURFACE TOP OVER PLYWOOD OVER STEEL CANTILEVER BRACKETS | |

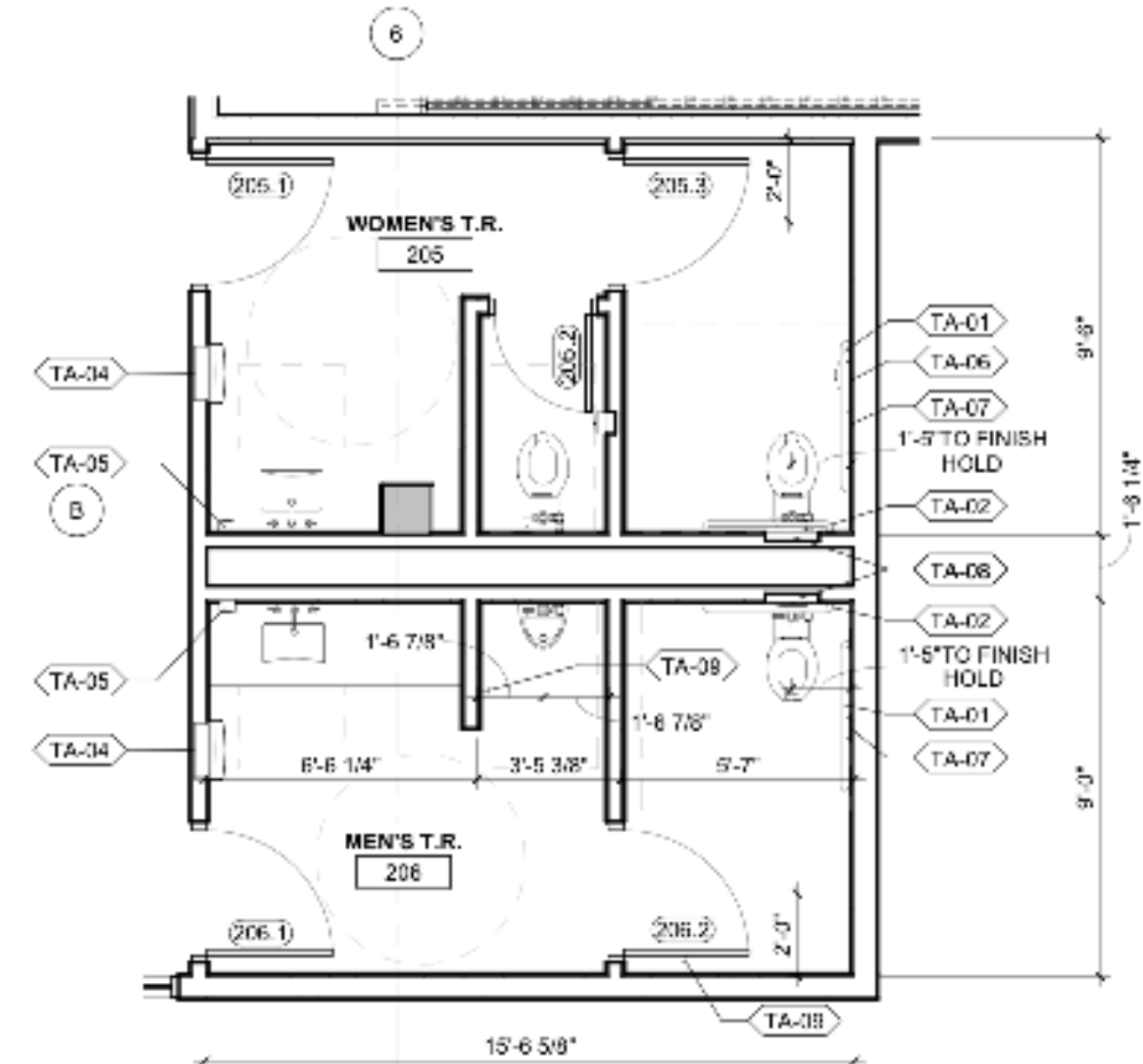
| PLUMBING FIXTURE SCHEDULE | | | |
|---------------------------|--------------|---|----------|
| TYPE | Manufacturer | DESCRIPTION | COMMENTS |
| FAUCET | KOHLER | PURIST WIDESPREAD BATHROOM SINK FAUCET K-14406-4-CP | |
| FLUSH VALVE | KOHLER | MANUAL FLUSHOMETER VALVE K-13517 - CP | |
| LAVATORY | KOHLER | LADENA BATHROOM SINK K-2214 | |
| TOILET | KOHLER | HIGHCLIFF ADA TOILET AND MATCHING SEAT - K-96357-0 | |
| URINAL | Kohler | DEXTER URINAL - K-6016 | |



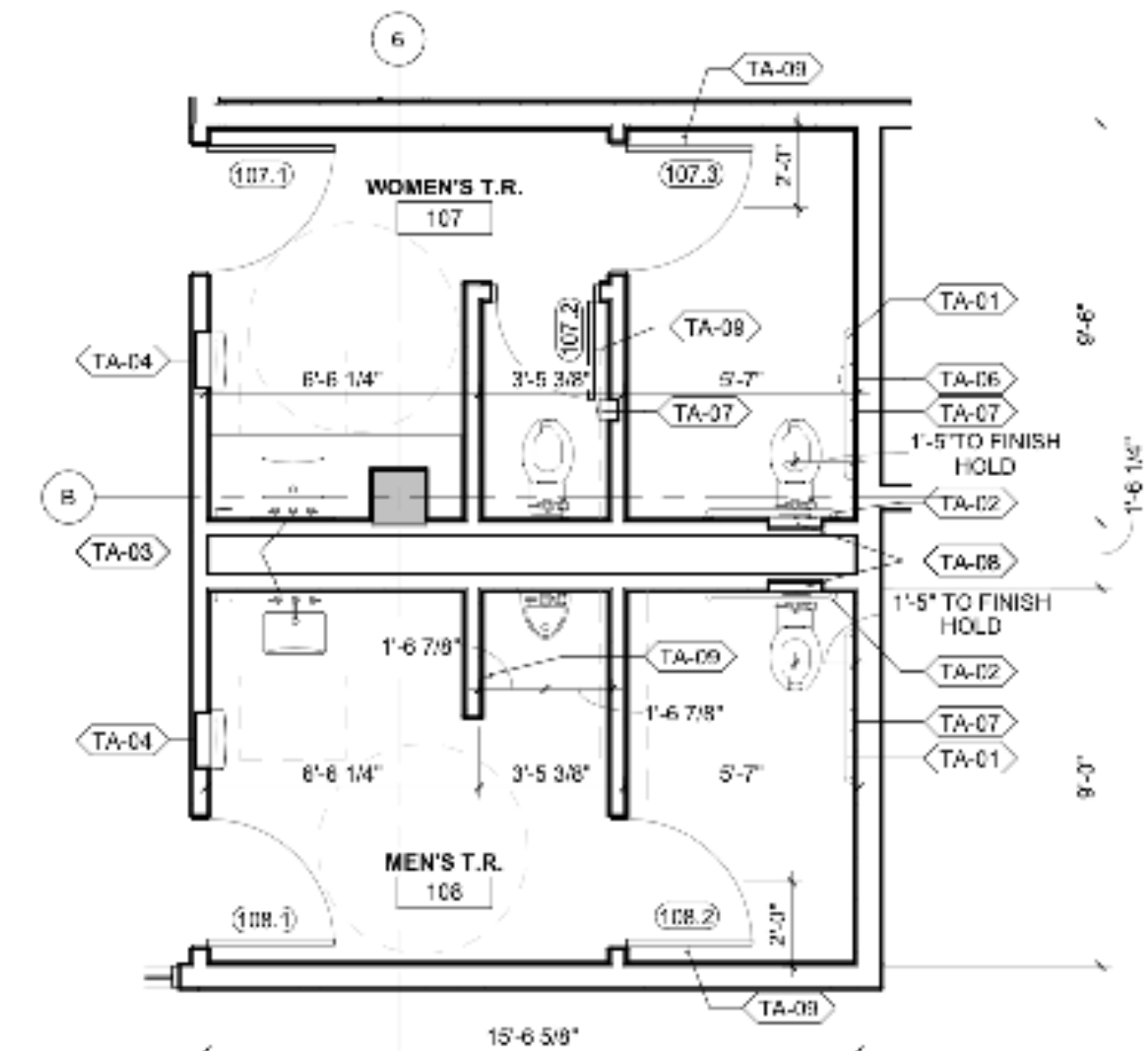
5 MEN'S RESTROOM NORTH, TYP.
SCALE: 3/8" = 1'-0"



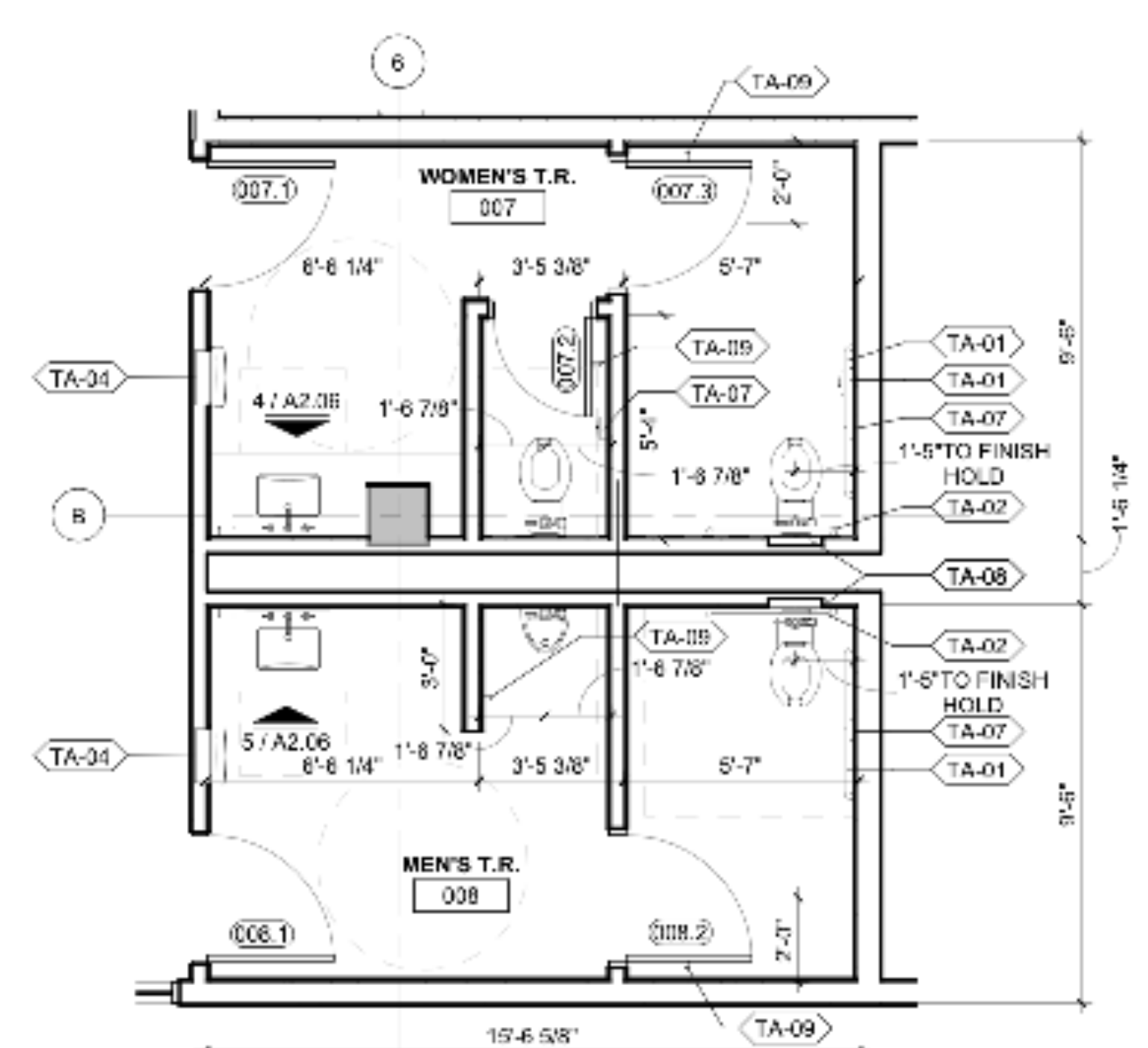
4 WOMEN'S SOUTH, TYP.
SCALE: 3/8" = 1'-0"



3 ENLARGED PLAN - SECOND FLOOR RESTROOM
SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - FIRST FLOOR RESTROOM
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - BASEMENT RESTROOM
SCALE: 1/4" = 1'-0"

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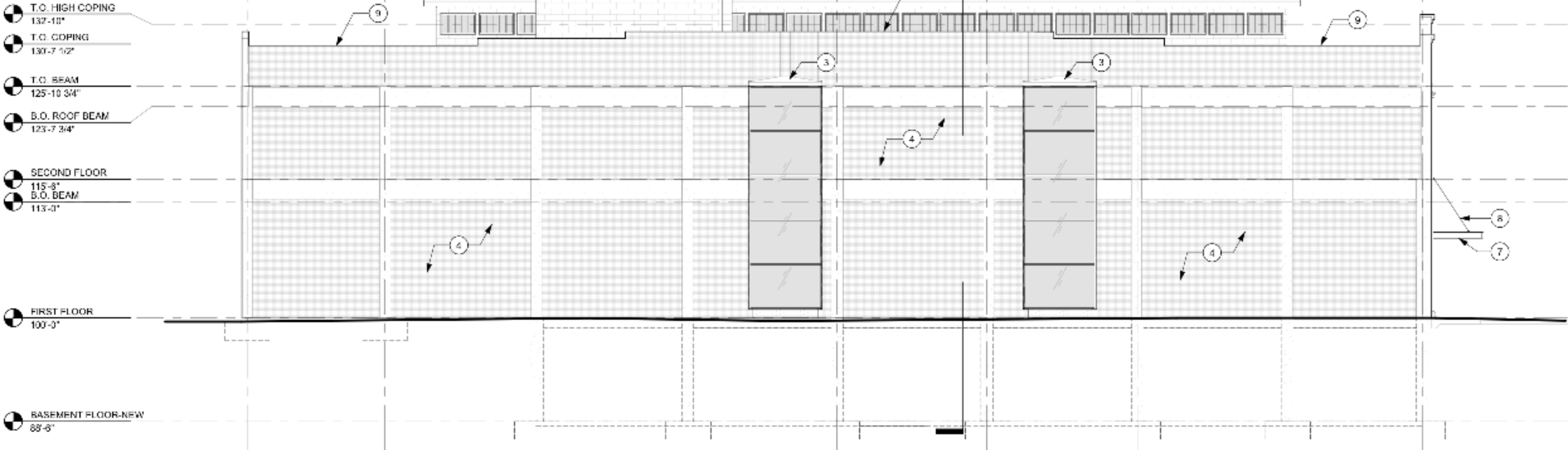
ISSUED DATE

REVISIONS

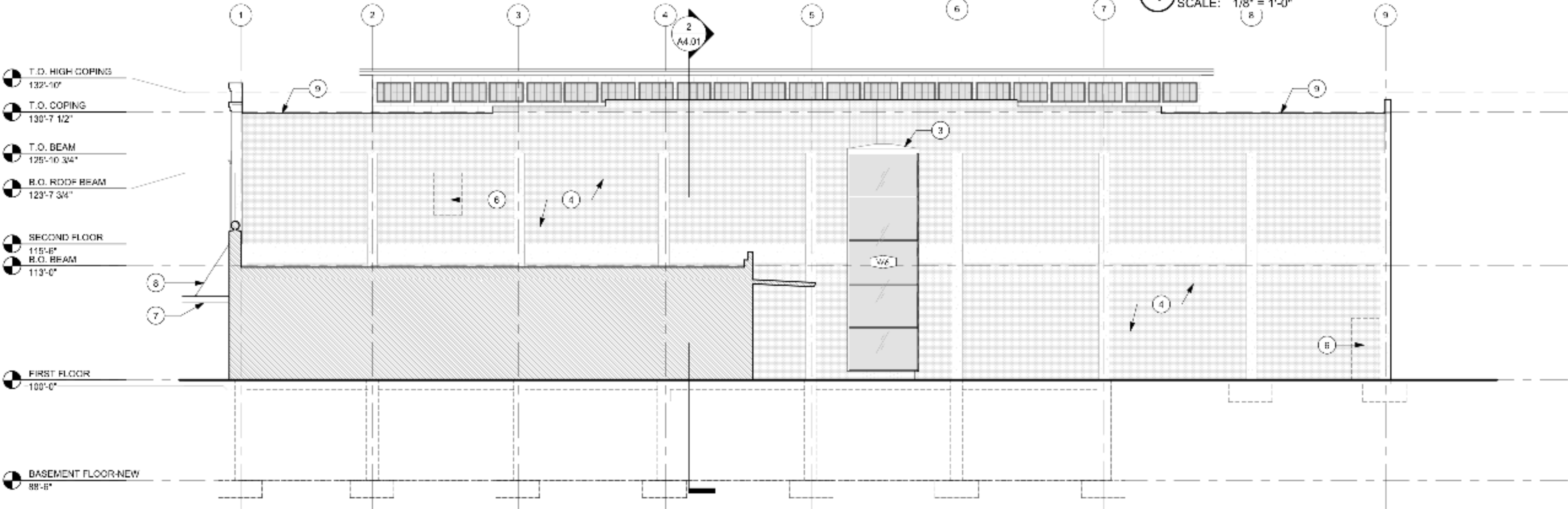
SHEET TITLE
ENLARGED PLANS -
RESTROOMS
SHEET NUMBER
A2.06

EXTERIOR ELEVATION KEY NOTES

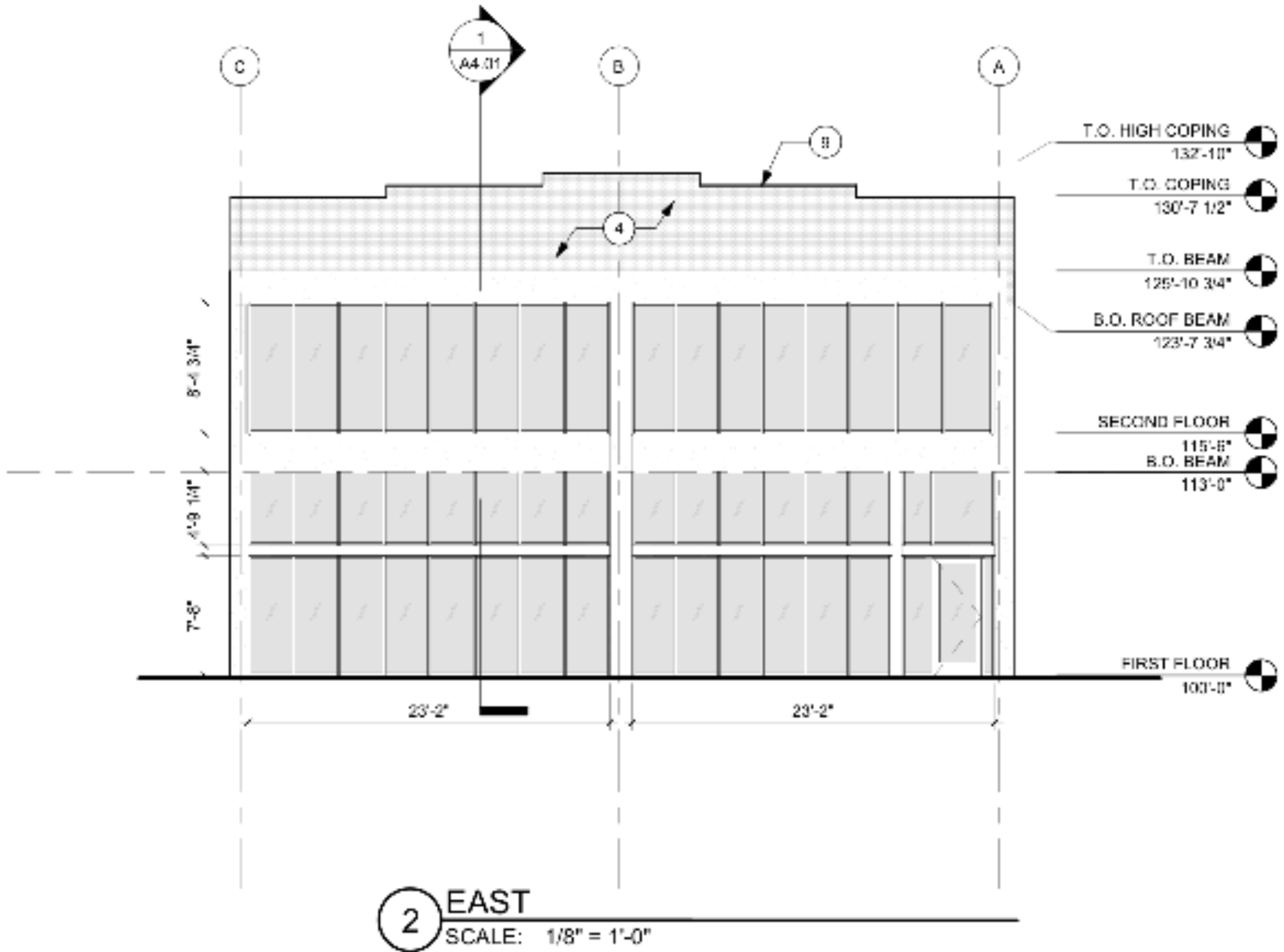
- 1 NEW FLAT SEAM GALVALUME METAL SIDING OVER LIQUID APPLIED WATERPROOFING
2 NEW 4" HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT
3 NEW SHEET METAL ROOF AND FLASHING SLOPED AT 1/4" PER FOOT
4 CLEAN AND REPOINT EXISTING MASONRY. CONCRETE COLUMNS AND BEAMS AS REQUIRED - PREP FOR SEALER - SEAL WITH CLEAR GRAFITI SEALER SIMILAR TO PROSO-CO - WWW.PROSO-CO.COM
5 CAULK JOINTS AT EXISTING TERRA COTTA COPING AS REQUIRED
6 INFILL EXISTING MASONRY TO MATCH EXISTING
7 NEW CANOPY
8 NEW CANOPY BRACE
9 NEW SHEET METAL PARAPET CAP
10 CEMENT TILE KNEE WALL
11 POWER FOR FUTURE SIGN AT BACK OF CANOPY
12 NEW SMOOTH TROWELED STUCCO - LAJARRA MISSION FINISH
13 WRAP STUCCO AT CORNERS
14 PAINTED STEEL CHANNEL
15 PAINTED STEEL JAMBS
16 NEW CANOPY BRACE
17 NEW METAL CANOPY
18 NEW WALL MOUNTED LIGHT SCONCE
19 NEW CONCRETE STEPS AND RAMP
20 NEW METAL PANEL FASCIA
21 NEW SOFFIT, PAINT



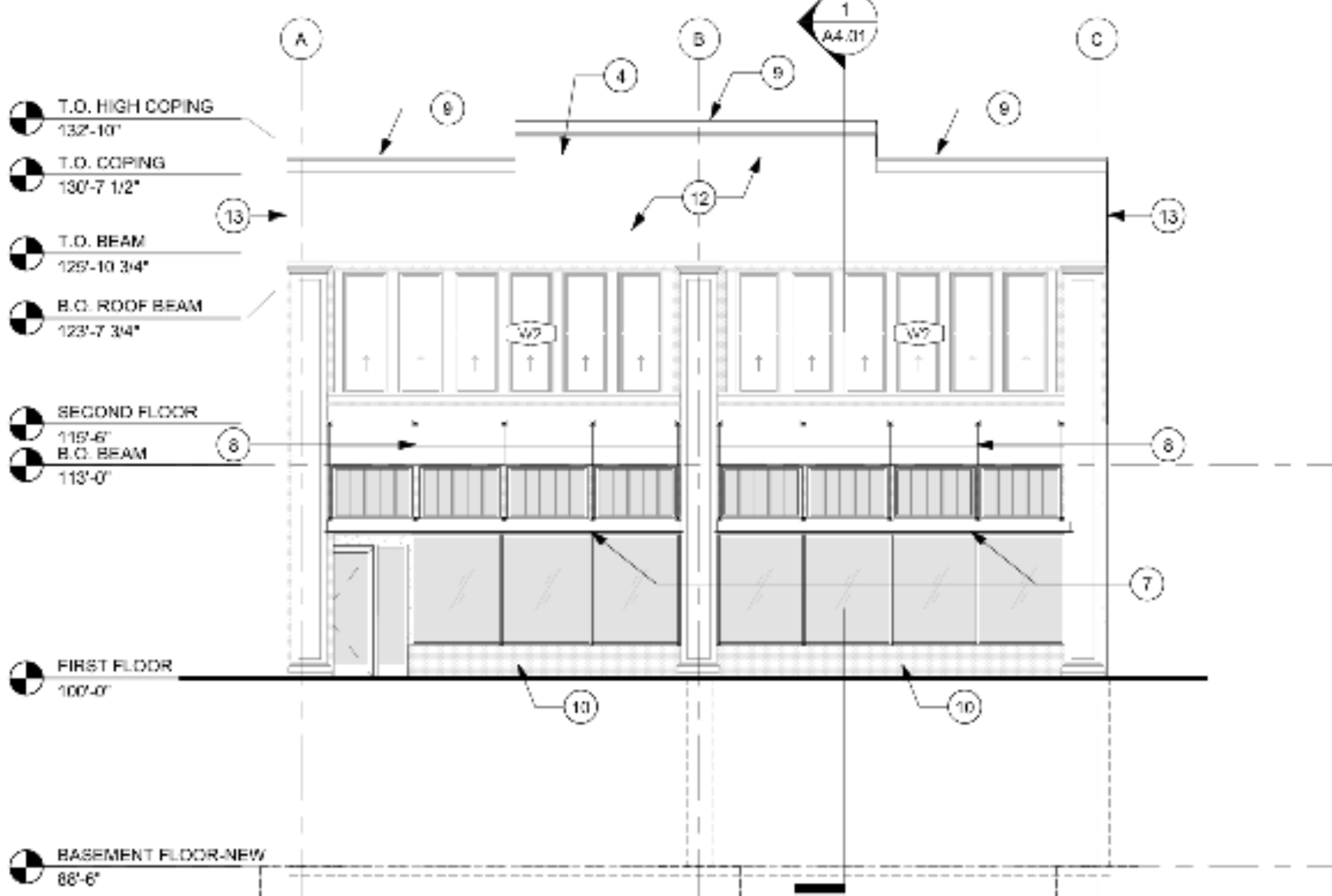
4 NORTH
SCALE: 1/8" = 1'-0"



3 SOUTH
SCALE: 1/8" = 1'-0"



2 EAST
SCALE: 1/8" = 1'-0"



1 WEST
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

SHEET NUMBER
A3.00

EXTERIOR ELEVATION KEY NOTES

- 1 NEW FLAT SEAM GALVALUME METAL SIDING OVER LIQUID APPLIED WATERPROOFING
- 2 NEW 4" HALF ROUND GALVANIZED GUTTER AND DOWNSPOUT
- 3 NEW SHEET METAL ROOF AND FLASHING SLOPED AT 1/4" PER FOOT
- 4 CLEAN AND REPOINT EXISTING MASONRY, CONCRETE COLUMNS AND BEAMS AS REQUIRED - PREP FOR SEALER - SEAL WITH CLEAR GRAFFITI SEALER SIMILAR TO PROSOCO - www.prosoco.com
- 5 CAULK JOINTS AT EXISTING TERRA COTTA COPING AS REQUIRED
- 6 INFILL EXISTING MASONRY TO MATCH EXISTING
- 7 NEW CANOPY
- 8 NEW CANOPY BRACE
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- 15 PAINTED STEEL CHANNEL
- 16 PAINTED STEEL JAMBS
- 17 NEW CANOPY BRACE
- 18 NEW METAL CANOPY
- 19 NEW WALL MOUNTED LIGHT SCONCE
- 20 NEW CONCRETE STEPS AND RAMP
- 21 NEW METAL PANEL FASCIA
- 22 NEW SOFFIT, PAINT



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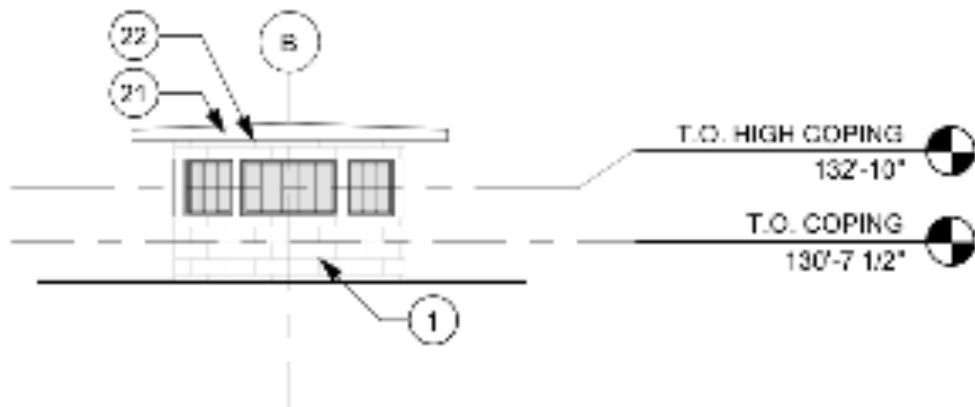
PROJECT NO. 201901

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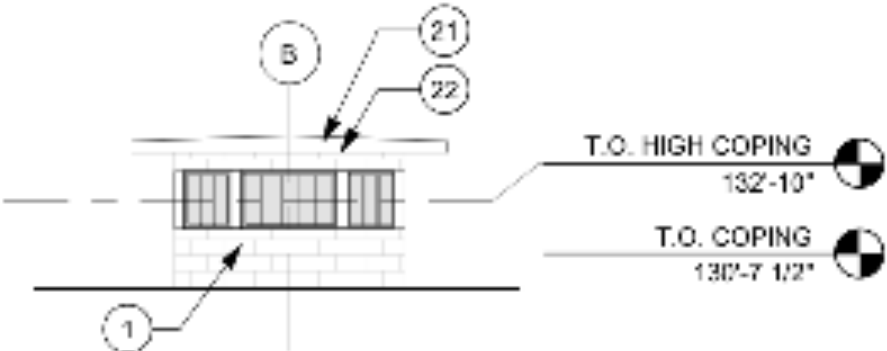
REVISIONS

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EXTERIOR ELEVATIONS

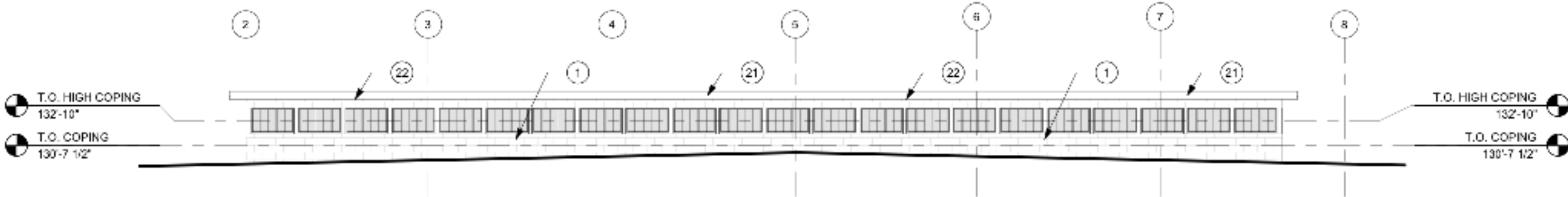
SHEET NUMBER
A3.01



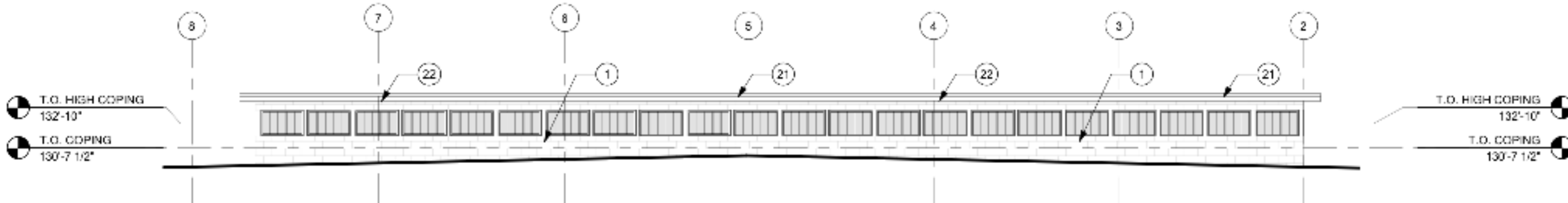
4 WEST CLERESTORY ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST CLERESTORY ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH CLERESTORY ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH CLERESTORY ELEVATION
SCALE: 1/8" = 1'-0"



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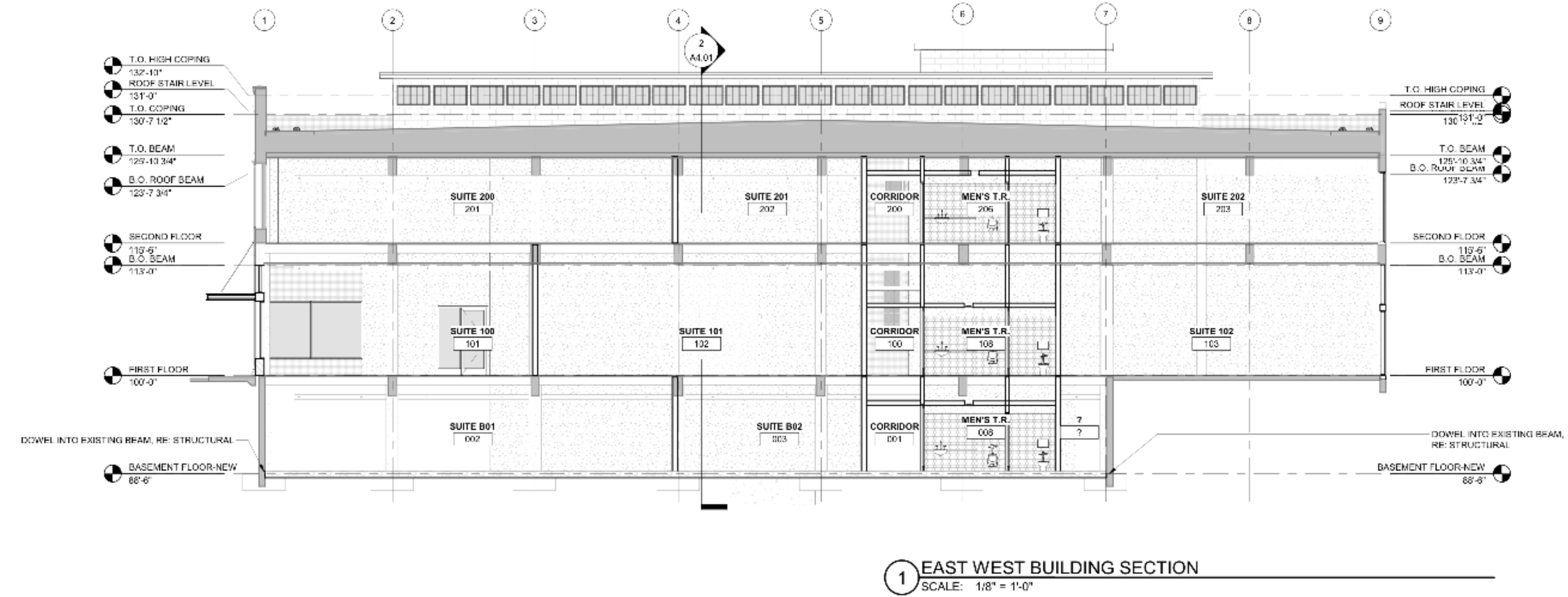
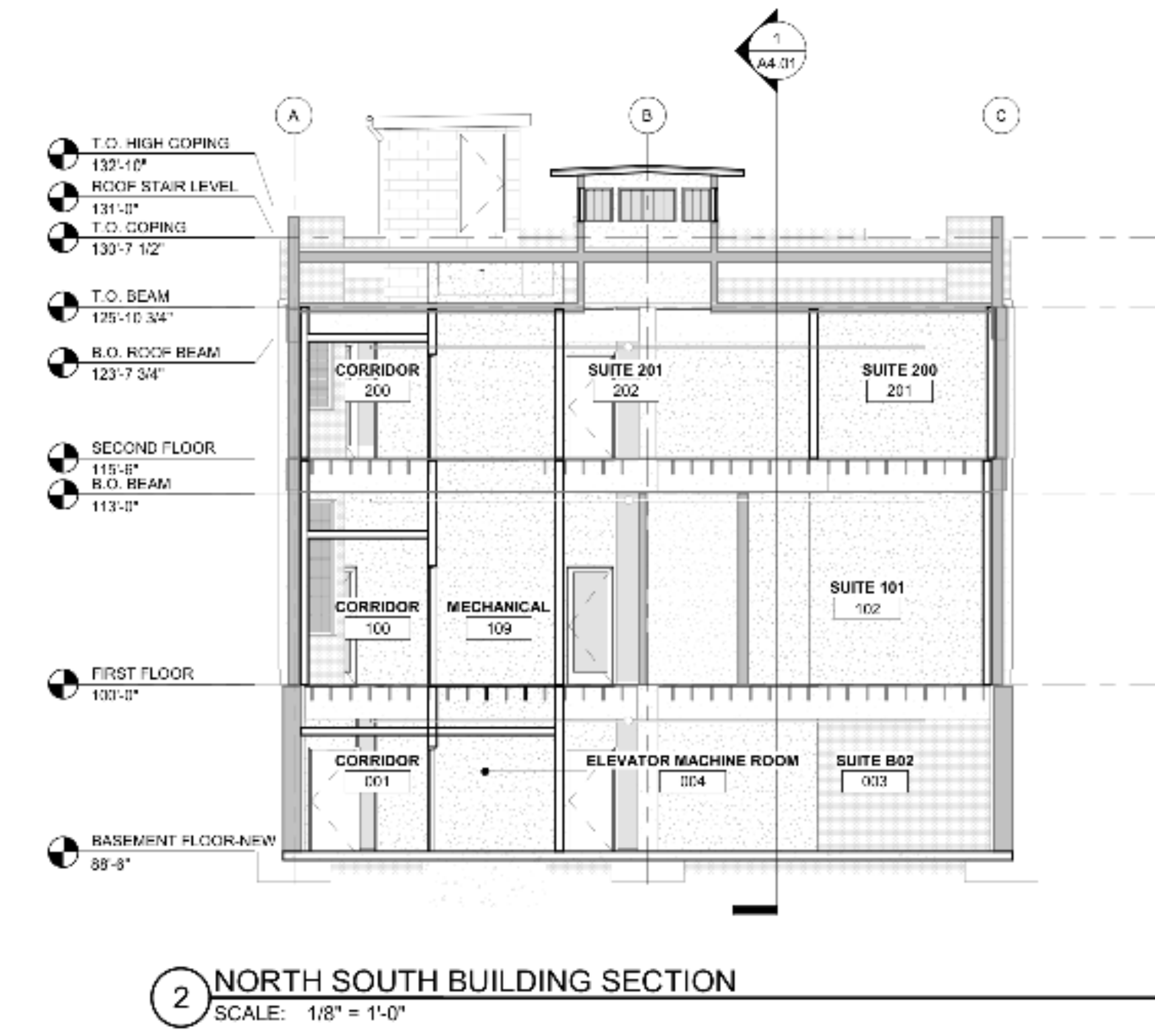
PROJECT NO. 201901

ISSUED DATE

REVISIONS

SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
A4.01





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PROJECT NAME
RENOVATION AND REMODEL FOR

618 BROADWAY

618 BROADWAY STREET
SAN ANTONIO, TEXAS 78215

PROJECT NO. 201901

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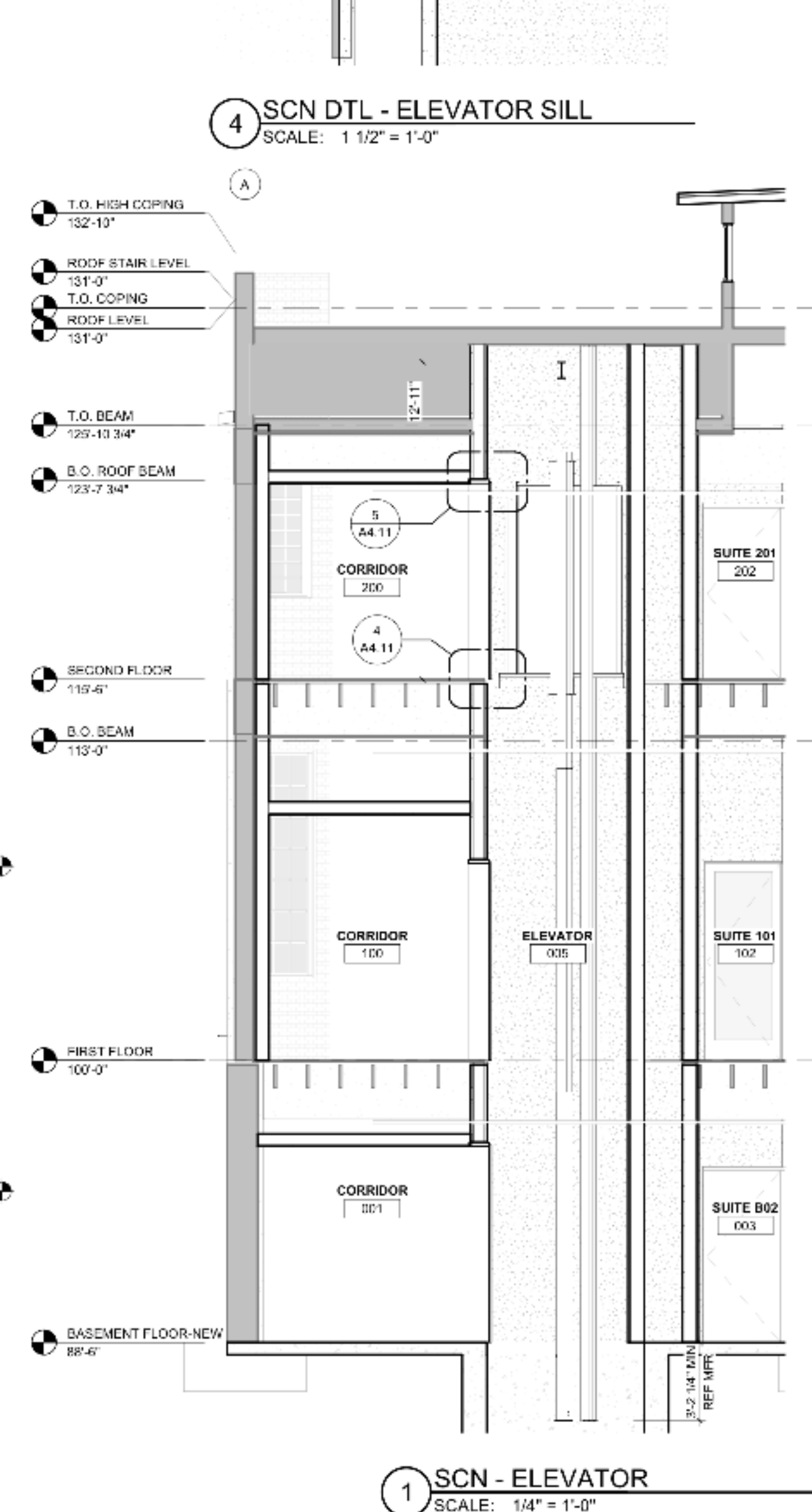
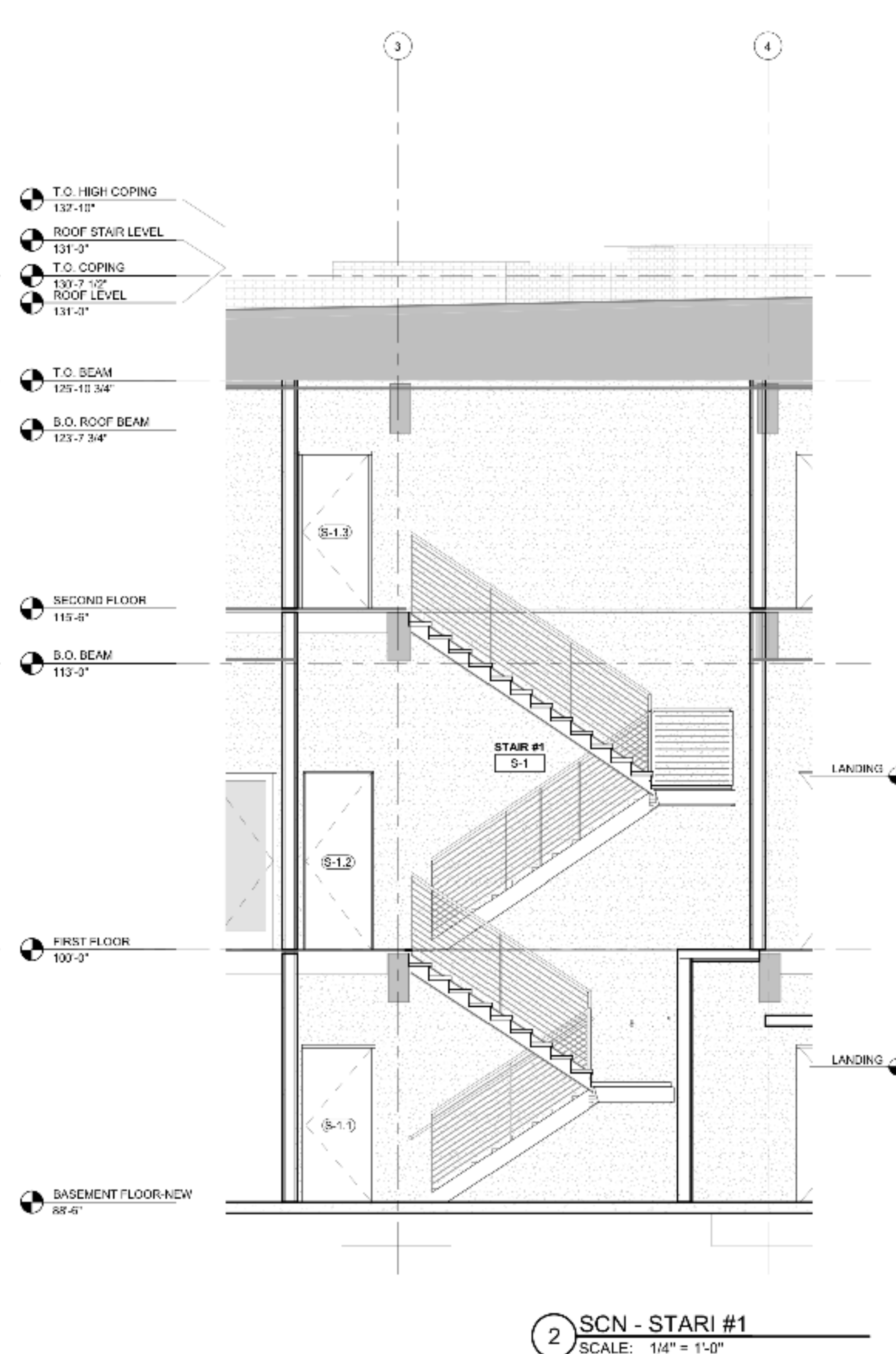
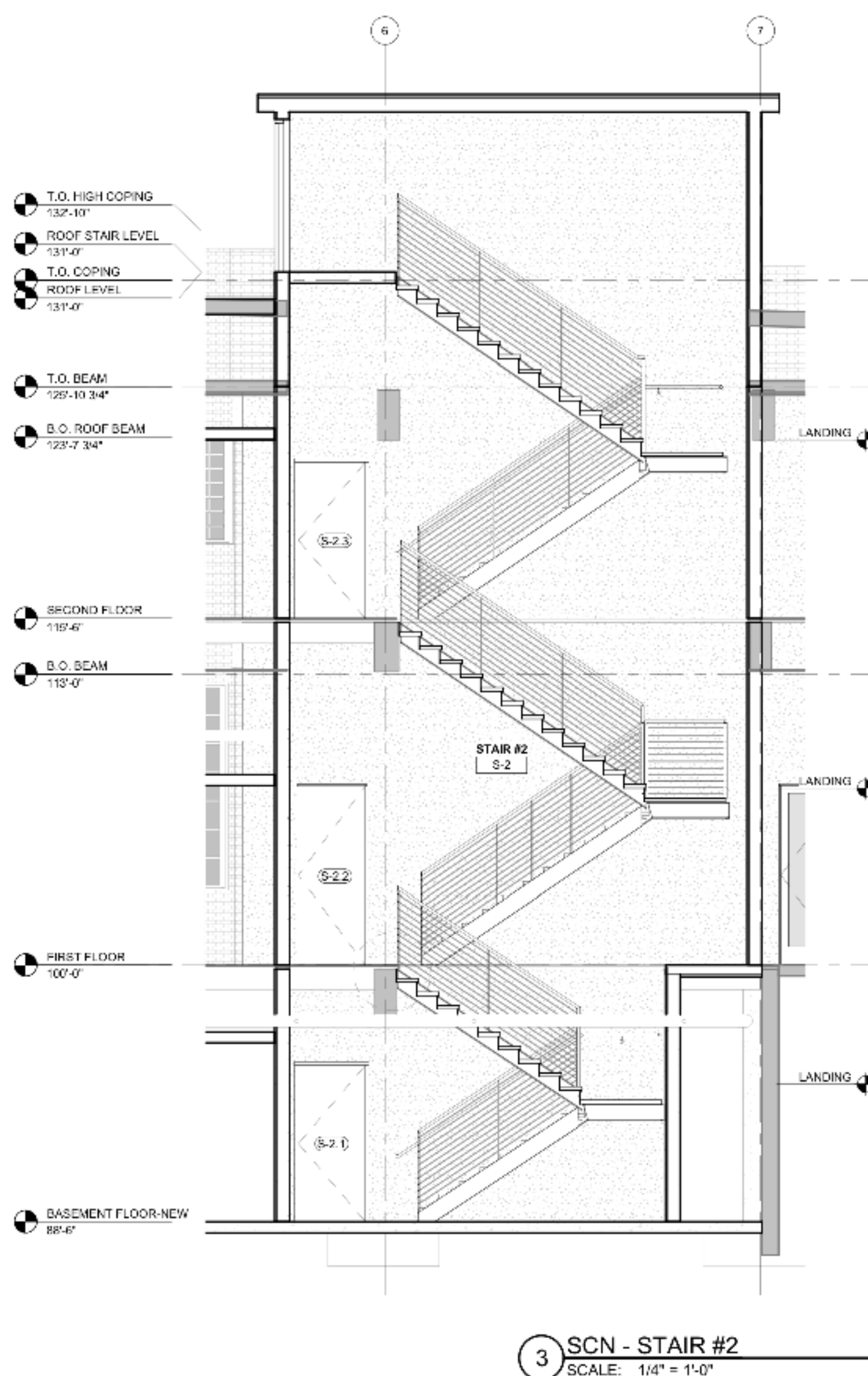
SHEET TITLE
VERTICAL CIRCULATION -
ELEVATOR AND STAIR
SECTIONS

SHEET NUMBER

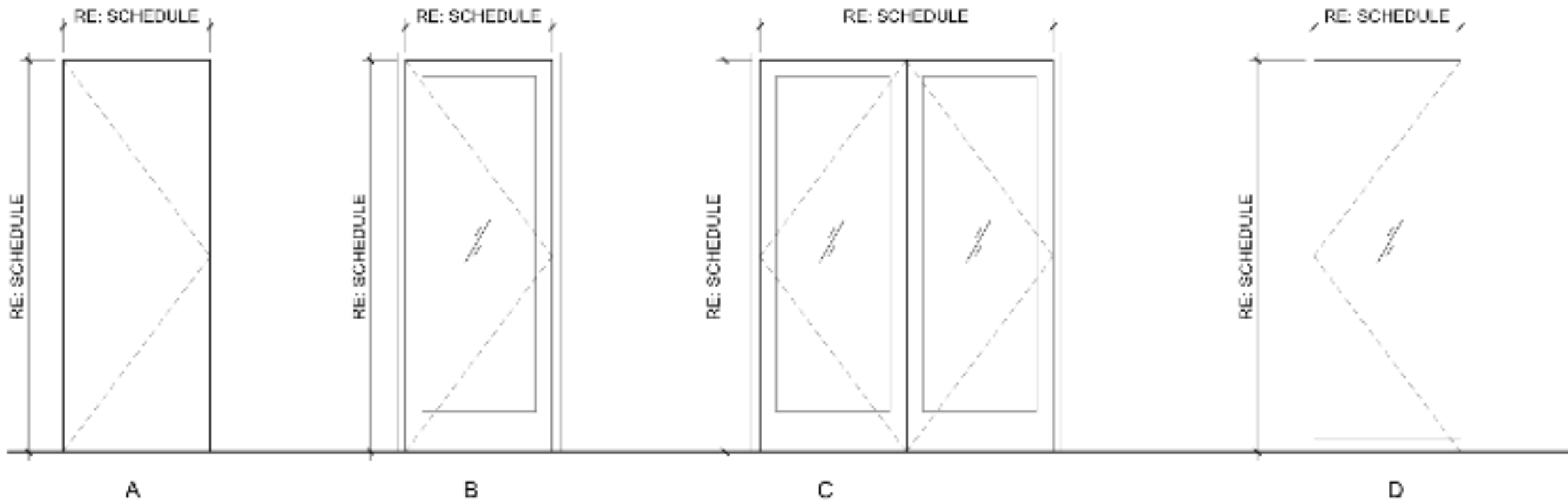
A4.11

5 SCN DTL - ELEV HEAD
SCALE: 1 1/2" = 1'-0"

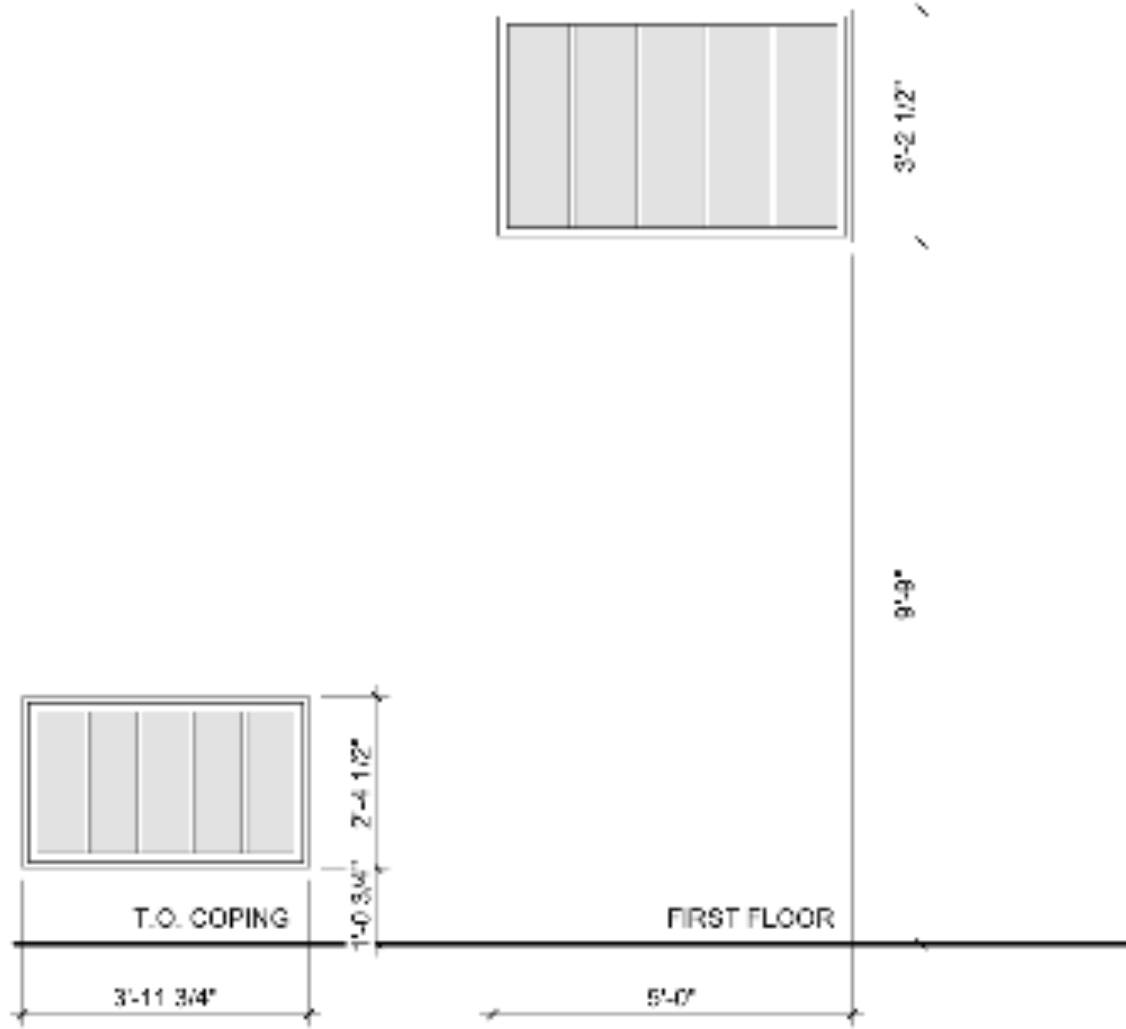
4 SCN DTL - ELEVATOR SILL
SCALE: 1 1/2" = 1'-0"



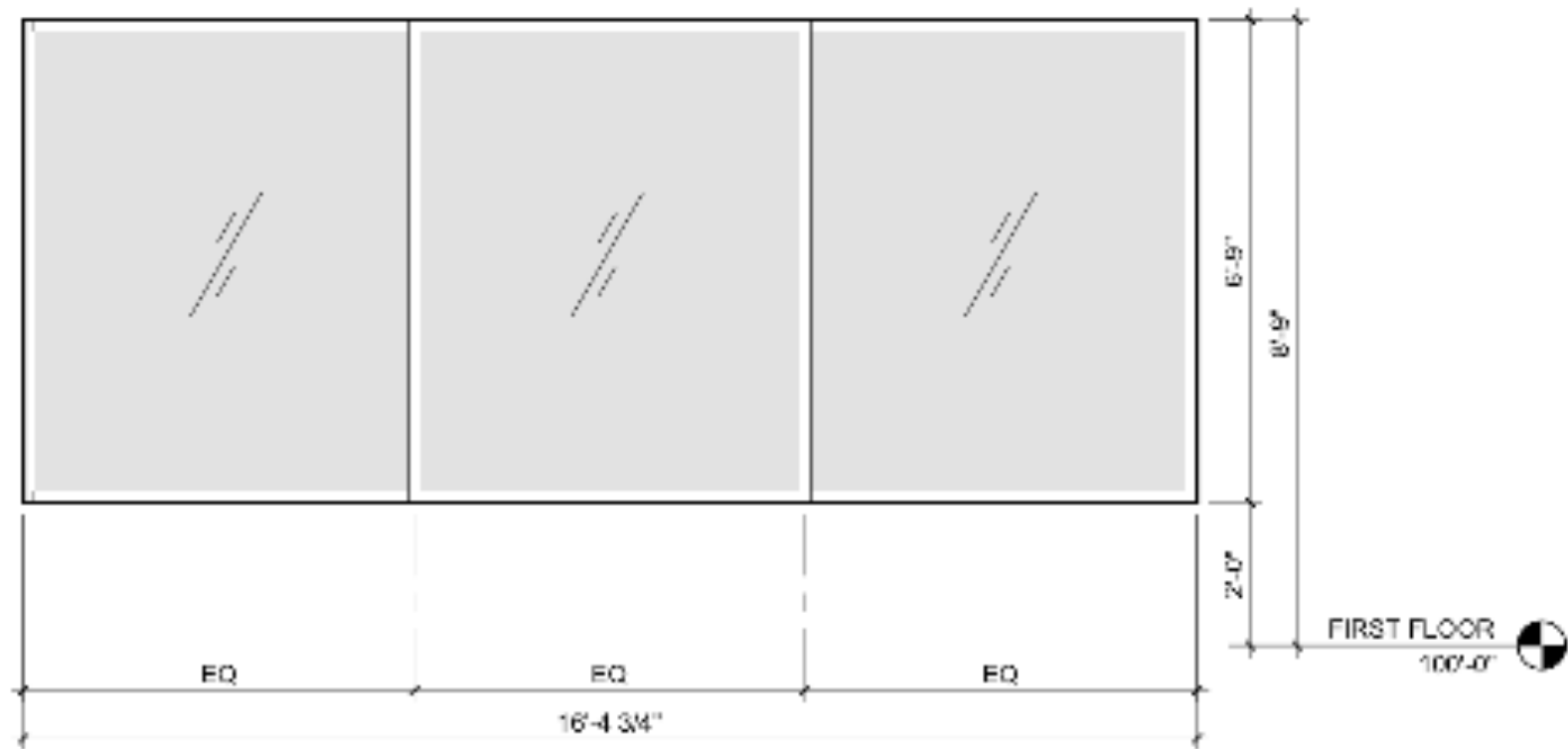
| DOOR SCHEDULE | | | | | | | | | | | | | | | | | | | |
|--------------------|-----------|-------|--------|-----------|-------|-------|---------|------|-----------|-------|------------|-------------|---------|---------|----------|----------------|-------------|---------|-----|
| DOOR MARK | DOOR TYPE | DOOR | | | | FRAME | | | | | GLASS TYPE | FULL GASKET | PRIVACY | LOCKSET | DEADBOLT | PANIC HARDWARE | FIRE RATING | REMARKS | |
| | | SIZE | | THICKNESS | MAT'L | FIN | DETAILS | | | MAT'L | | | | | | | | | FIN |
| | | Width | Height | | | | HEAD | JAMB | THRESHOLD | | | | | | | | | | |
| BASEMENT FLOOR-NEW | | | | | | | | | | | | | | | | | | | |
| 002 | 149 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 003.1 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 003.2 | 149 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 005 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 007 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 007.1 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 007.2 | 150 | 2'-4" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 007.3 | 149 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 008.1 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 008.2 | 149 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 010 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| S-1.1 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| S-2.1 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| FIRST FLOOR | | | | | | | | | | | | | | | | | | | |
| 100 | 152 | 3'-0" | 8'-0" | 1 3/4" | ALUM | | | | | | | | | | | | | | |
| 101 | 153 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 102 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 103 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 104 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 105 | 146 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 106 | 140 | 3'-0" | 8'-0" | 1 3/4" | H.M. | | | | | | | | | | | | | | |
| 107.1 | 146 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 107.2 | 143 | 2'-4" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 107.3 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 108.1 | 148 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 108.2 | 146 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 109 | 140 | 3'-0" | 8'-0" | 1 3/4" | H.M. | | | | | | | | | | | | | | |
| 205 | 148 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| S-1.2 | 140 | 3'-0" | 8'-0" | 1 3/4" | H.M. | | | | | | | | | | | | | | |
| S-2.2 | 140 | 3'-0" | 8'-0" | 1 3/4" | H.M. | | | | | | | | | | | | | | |
| SECOND FLOOR | | | | | | | | | | | | | | | | | | | |
| 108.6 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 201 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 202 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 203 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 204 | 153 | 3'-0" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 205.1 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 205.2 | 143 | 2'-4" | 8'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 205.3 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 206.1 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 206.2 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| 207 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| S-1.3 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| S-2.3 | 139 | 3'-0" | 7'-0" | 1 3/4" | WOOD | | | | | | | | | | | | | | |
| ROOF STAIR LEVEL | | | | | | | | | | | | | | | | | | | |
| S-2.4 | 151 | 3'-0" | 8'-0" | 1 3/4" | | | | | | | | | | | | | | | |



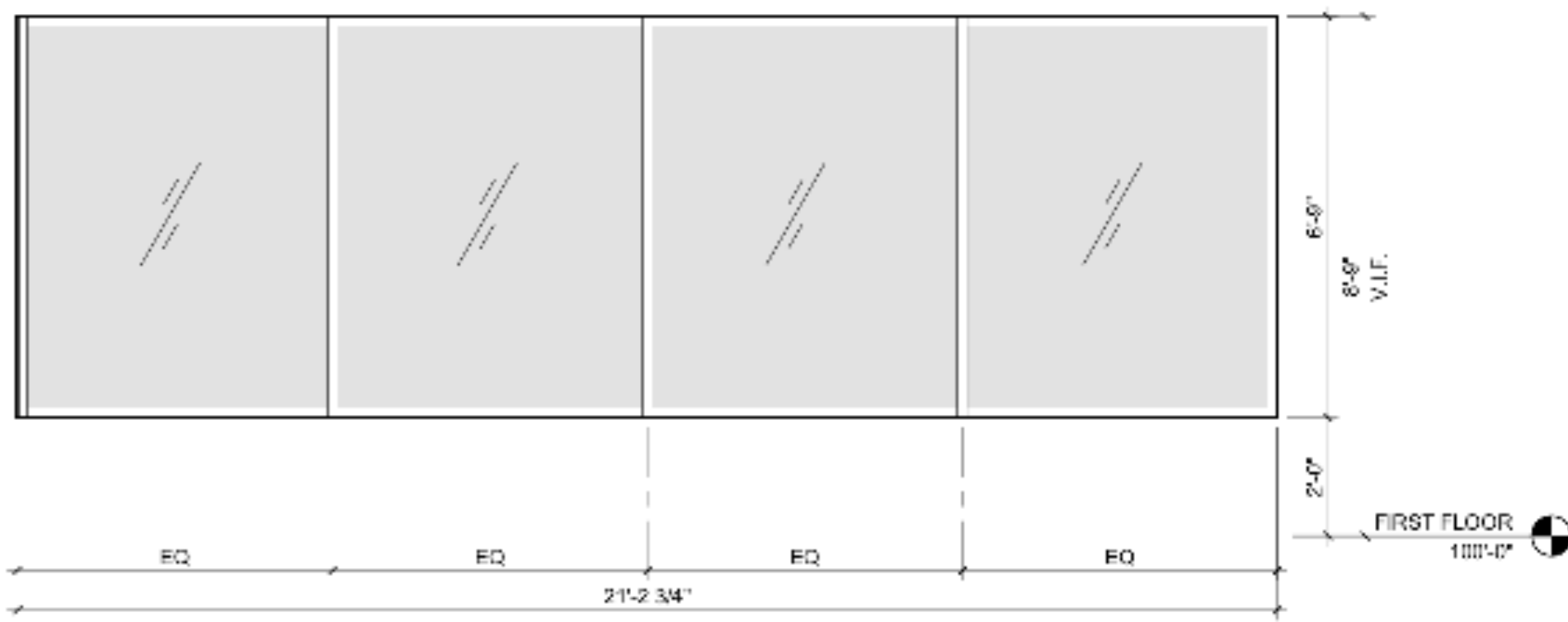
DOOR TYPES



WINDOW TYPES



W.02



W.01

| MATERIAL LEGEND | | | | | | | | | |
|-----------------|---|----------------|--|----------------|--|-------------------|---|--|--|
| FLOOR MATERIALS | | BASE MATERIALS | | WALL MATERIALS | | CEILING MATERIALS | | | |
| F-1 | NEW SEALED CONCRETE | B-1 | NO BASE | W-1 | EXISTING STUCCO WALLS - SEAL WITH BLOCK GUARD PER MFG | C-1 | PAINTED 5/8" DRYWALL - LEVEL 4 IMPERFECT FINISH | | |
| F-2 | NEW CERAMIC TILE FLOOR OVER HARDI BACKER AT EXIST WOOD FLOORS | B-2 | PAINTED 1X8 FINGER JOINTED POPLAR BASE | W-2 | PAINTED 6X7 DRYWALL - LEVEL 4 IMPERFECT FINISH | C-2 | RATED DRYWALL ASSEMBLY - FINISH EQUAL TO C-1 | | |
| F-3 | SQUAREBLOCK FLOOR TILES | B-3 | CERAMIC TILE | W-3 | CERAMIC TILE TO 84" AFF - PAINTED DRYWALL - W-2 FINISH ABOVE | C-3 | EXISTING WOOD JOIST TO REMAIN | | |
| F-4 | CREMENT TILE | B-4 | 4" RUBBER BASE - MFG STANDARD COLORS | W-4 | EXTERIOR STUCCO - CLEAR SEAL | C-4 | EXISTING PRESSED TIN TO REMAIN - CLEAR SEAL | | |
| F-5 | EXISTING WOOD FLOOR | | | | | C-5 | PAINTED BEAD BOARD | | |

| ROOM FINISH SCHEDULE | | | | | | | | | | |
|----------------------|-----------------------|-----------------|----------------|------------|-----------|------------|-----------|-----------|-----------------|---------|
| NUMBER | ROOM NAME | FLOOR MATERIALS | BASE MATERIALS | WALL | | | | CEILING | | REMARKS |
| | | | | NORTH WALL | EAST WALL | SOUTH WALL | WEST WALL | MATERIALS | CEILING HEIGHT | |
| BASEMENT FLOOR-NEW | | | | | | | | | | |
| 001 | CORRIDOR | FL-1 | FL-1 | W-1 | W-2 | W-2 | W-2 | C-1, C-2 | 8'-0" | |
| 002 | SUITE R01 | FL-1 | R-1, R-2 | W-1, W-2 | W-2 | W-1 | W-1 | C-3 | EXISTING | |
| 003 | SUITE R02 | FL-1 | R-1, R-2 | W-2 | W-1, W-2 | W-1 | W-2 | C-3 | EXISTING | |
| 004 | ELEVATOR MACHINE ROOM | FL-1 | R-4 | W-2 | W-2 | W-2 | W-2 | C-1 | 8'-0" | |
| 005 | ELEVATOR | N/A | D-1 | W-2 | W-2 | W-2 | W-2 | N/A | N/A | |
| 006 | JANITOR | FL-1 | D-4 | W-2 | W-2 | W-2 | W-2 | C-1 | 8'-0" | |
| 007 | WOMEN'S T.R. | FL-2 | R-3 | W-3 | W-3 | W-3 | W-3 | C-1 | 8'-0" | |
| 008 | MEN'S T.R. | FL-2 | R-3 | W-3 | W-3 | W-3 | W-3 | C-1 | 8'-0" | |
| 009 | SERVICE ROOM | FL-1 | D-1, D-4 | W-1 | W-1 | W-1 | W-1 | C-1, C-2 | 8'-0", EXIST | |
| S-1 | STAIR #1 | FL-3 | D-4 | W-2 | W-2 | W-2 | W-2 | C-1 | - | |
| S-2 | STAIR #2 | FL-3 | D-4 | W-2 | W-2 | W-2 | W-2 | C-1 | - | |
| FIRST FLOOR | | | | | | | | | | |
| 100 | CORRIDOR | FL-5 | D-1, D-2 | W-2, W-4 | W-2 | W-2 | W-2 | C-1, C-4 | VARIES REF PLAN | |
| 101 | SUITE 100 | FL-5 | D-2 | W-2 | W-2 | W-2 | W-4 | C-4 | EXISTING | |
| 102 | SUITE 101 | FL-5 | D-2 | W-2 | W-2 | W-2 | W-2 | C-4 | EXISTING | |
| 103 | SUITE 102 | FL-5 | R-1, R-2 | W-2 | W-4 | W-2, W-4 | W-2 | C-4 | EXISTING | |
| 104 | SUITE 103 | FL-5 | R-2 | W-2 | W-4 | W-2 | W-2 | C-4 | EXISTING | |
| 105 | CORRIDOR | FL-5 | D-2 | W-2 | W-2 | W-2 | W-2 | C-4 | TO DECK | |
| 106 | JANITOR | FL-2 | D-3 | W-2 | W-2 | W-2 | W-2 | C-4 | 8'-0" | |
| 107 | WOMEN'S T.R. | FL-2 | D-3 | W-3 | W-3 | W-3 | W-3 | C-1 | 8'-0" | |
| 108 | MEN'S T.R. | FL-2 | D-3 | W-3 | W-3 | W-3 | W-3 | C-1 | 8'-0" | |
| 109 | MECHANICAL | FL-5 | R-2 | W-2 | W-2 | W-2 | W-2 | C-4 | TO DECK | |
| 110 | VESTIBULE | FL-4 | N/A | W-1 | W-4 | W-4 | N/A | C-5 | TO DECK | |
| SECOND FLOOR | | | | | | | | | | |
| 200 | CORRIDOR | FL-5 | R-1, R-2 | W-2, W-4 | W-2 | W-2 | W-2 | C-1, C-4 | VARIES REF PLAN | |
| 201 | SUITE 200 | FL-5 | D-2 | W-2 | W-2 | W-2 | W-2 | C-4 | EXISTING | |
| 202 | SUITE 201 | FL-5 | R-2 | W-2 | W-2 | W-2 | W-2 | C-4 | EXISTING | |
| 203 | SUITE 202 | FL-5 | R-1, R-2 | W-2 | W-2 | W-2 | W-2 | C-4 | EXISTING | |
| 204 | SUITE 203 | FL-5 | D-1, D-2 | W-2 | W-2 | W-2, W-4 | W-4 | C-4 | EXISTING | |
| 205 | WOMEN'S T.R. | FL-2 | D-3 | W-3 | W-3 | W-3 | W-3 | C-1 | 8'-0" | |
| 206 | MEN'S T.R. | FL-2 | D-3 | W-3 | W-3 | W-3 | W-3 | C-1 | 8'-0" | |
| 207 | JANITOR | FL-2 | R-2 | W-2 | W-2 | W-2 | W-2 | C-4 | 8'-0" | |
| 208 | MECHANICAL | FL-5 | R-3 | W-2 | W-2 | W-2 | W-2 | C-4 | TO DECK | |

| WINDOW SCHEDULE | | | | | |
|-----------------|-------------|-------|----------|------|----------|
| TYPE | HEAD HEIGHT | FRAME | | TRIM | COMMENTS |
| | | TYPE | MATERIAL | | |
| - | 12'-11 1/2" | | | | |
| W5 | | | | | |
| W5.1 | 1'-2 3/4" | | | | |

| STOREFRONT SCHEDULE | | | |
|---------------------|------|------------|----------|
| MARK | TYPE | FRAME MATL | COMMENTS |
| W.01 | W1 | | |
| W.02 | W1 | | |
| W.04 | W3 | | |
| W.05 | W3 | | |
| W.06 | W3 | | |
| W.07 | W3 | | |
| W.08 | W3 | | |
| W.09 | W6 | | |
| W.10 | | | |
| W.11 | W1 | | |
| W.12 | W3 | | |
| W.13 | W3 | | |
| W.14 | | | |

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