

HISTORIC AND DESIGN REVIEW COMMISSION

September 16, 2020

HDRC CASE NO: 2020-387
ADDRESS: 1135 SHADWELL
LEGAL DESCRIPTION: NCB 8388 BLK 17 LOT P-100 SUTTON PARK
ZONING: R-4
CITY COUNCIL DIST.: 7
APPLICANT: Marc Zak/Terra Design Group
OWNER: Desiree Salmon/CITY OF SAN ANTONIO
TYPE OF WORK: Park improvements
APPLICATION RECEIVED: August 28, 2020
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to perform park improvements.

APPLICABLE CITATIONS:

UDC Section 35-450. General Rules.

(a)Area of Jurisdiction. A certificate of appropriateness is required and shall be secured by a party prior to the issuance of a permit from the department of planning and development services before said party will be allowed to undertake activities affecting a designated historic landmark, property within a designated historic district, a state archaeological landmark, a recorded Texas historical landmark, property within a National Register Historic District, property listed on the National Register of Historic Places, a National Historic Landmark, property within the river improvement overlay district, public property, public rights-of-way, or public art.

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by

attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

FINDINGS:

- a. The property located at 1135 Shadwell is commonly known as Sutton Park. Sutton Park is located on the north side of Shadwell Drive, northwest of downtown. The proposed park improvements are part of the second phase of improvements for Sutton Park and include a playground expansion, swing, picnic tables, and shade canopy installation, and accessibility improvements.
- b. **PLAYGROUND EXPANSION** – The applicant has proposed to expand the existing playground and remove existing concrete pads to install Tot Turf safety surfacing. Staff finds the proposal generally appropriate.
- c. **PARK AMENITIES** – The applicant has proposed to install a new swing and picnic tables. The new park amenities will be beige and green to complement the existing playground equipment. The proposed swing is a Biggo Spia Solo, manufactured by Dynamo or the equivalent, and will be installed to the east of existing equipment. The applicant has proposed to install steel picnic tables, one that is ADA compliant and one non-ADA compliant table. Staff finds the proposal consistent with the UDC.
- d. **SHADE STRUCTURE** – The applicant has proposed to install a shade structure to cover the playground area. The proposed shade canopy is a 50'x50' large hip canopy manufactured by USA shade or an equivalent. The shade structure will be beige and green to complement the existing playground equipment. Staff finds the proposal appropriate.
- e. **SIDEWALK IMPROVEMENTS** – The applicant has proposed to make the playground area accessible by installing a concrete walk from the existing street sidewalk at the corner of Zachry Drive and Shadwell Drive. Staff finds the proposal consistent with the UDC.

RECOMMENDATION:

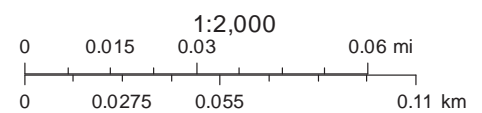
Staff recommends approval based on findings a through e.

City of San Antonio One Stop

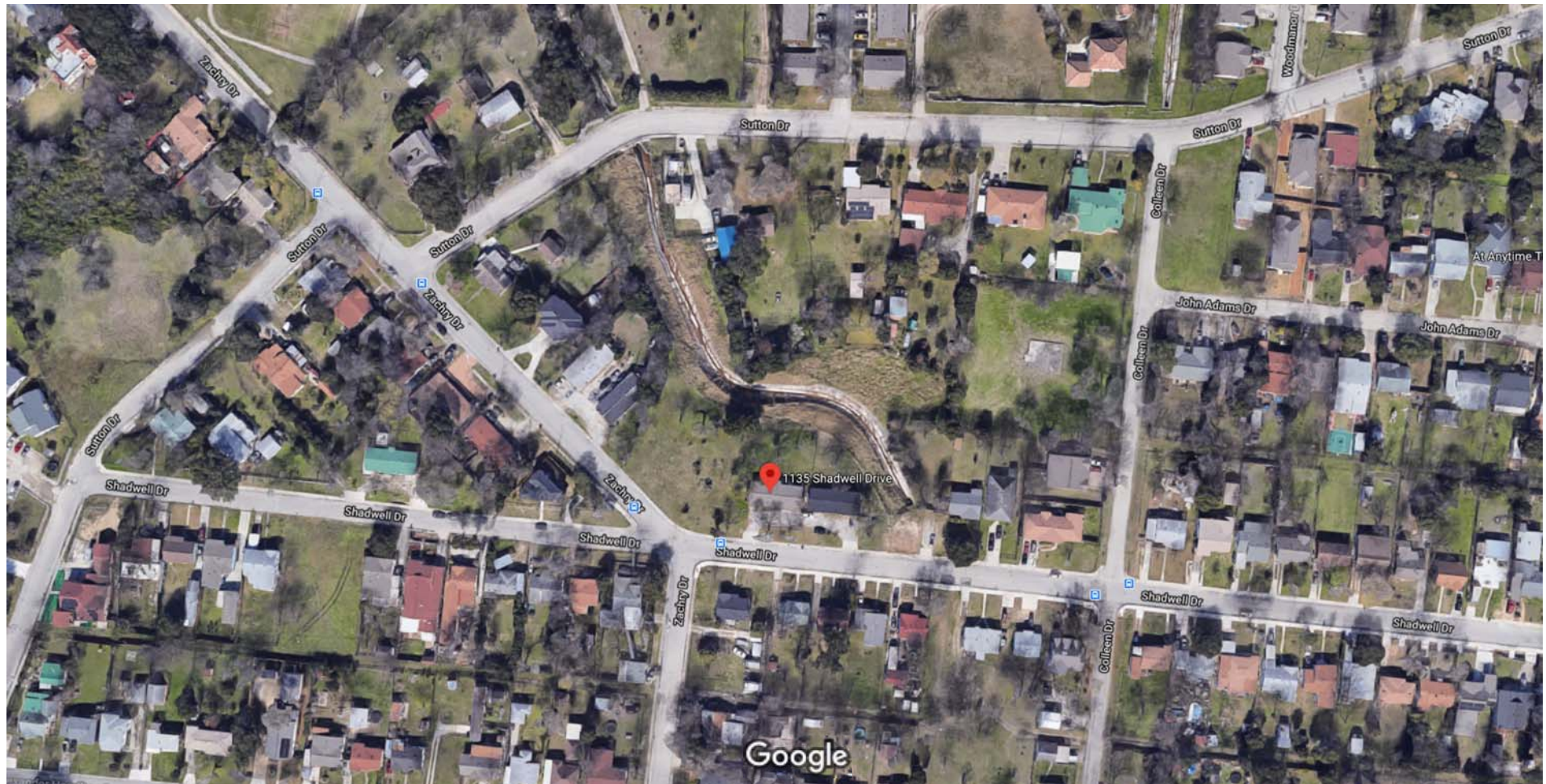


September 8, 2020

— User drawn lines

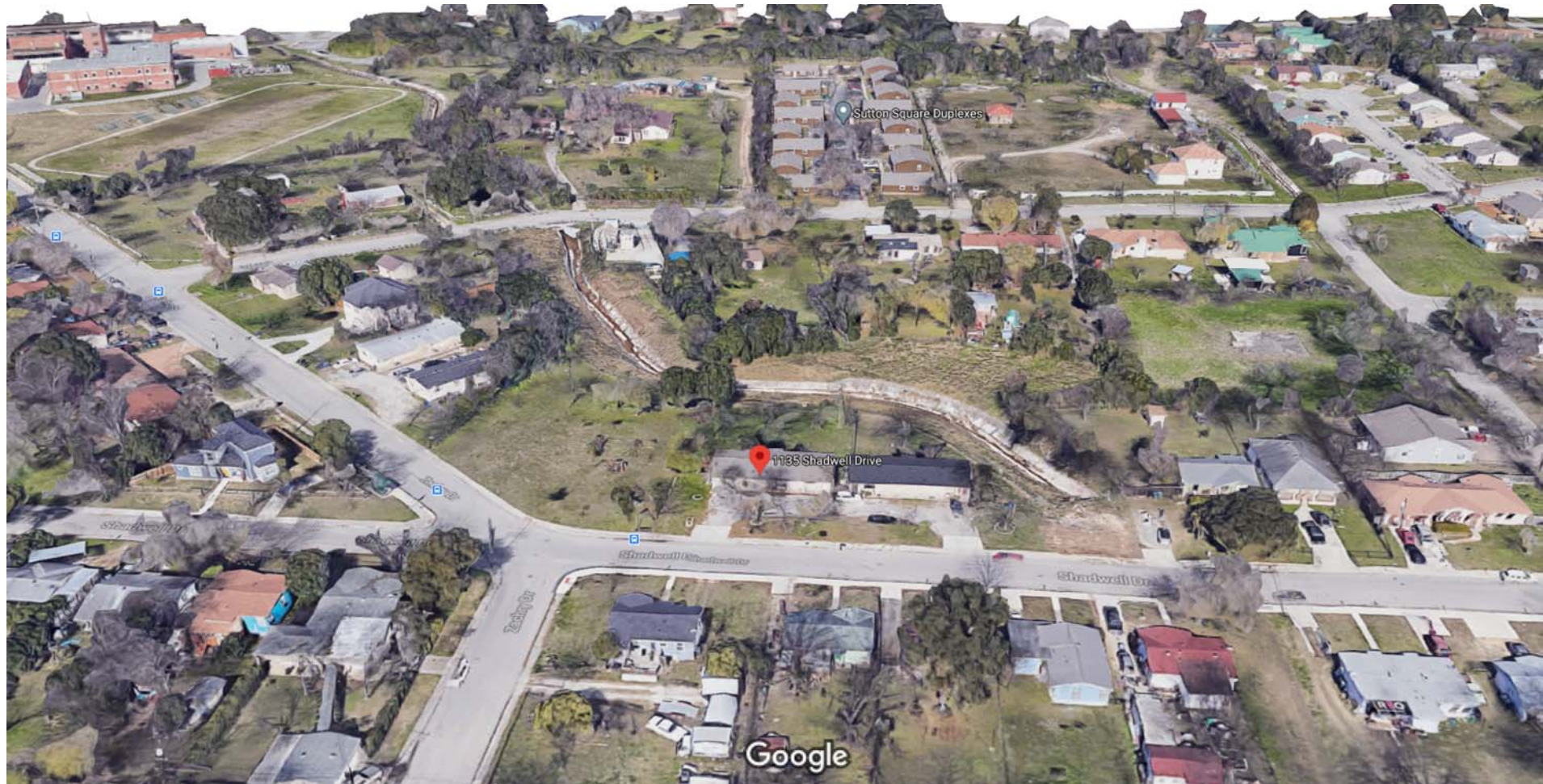


Google Maps 1135 Shadwell Dr



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Google Maps 1135 Shadwell Dr



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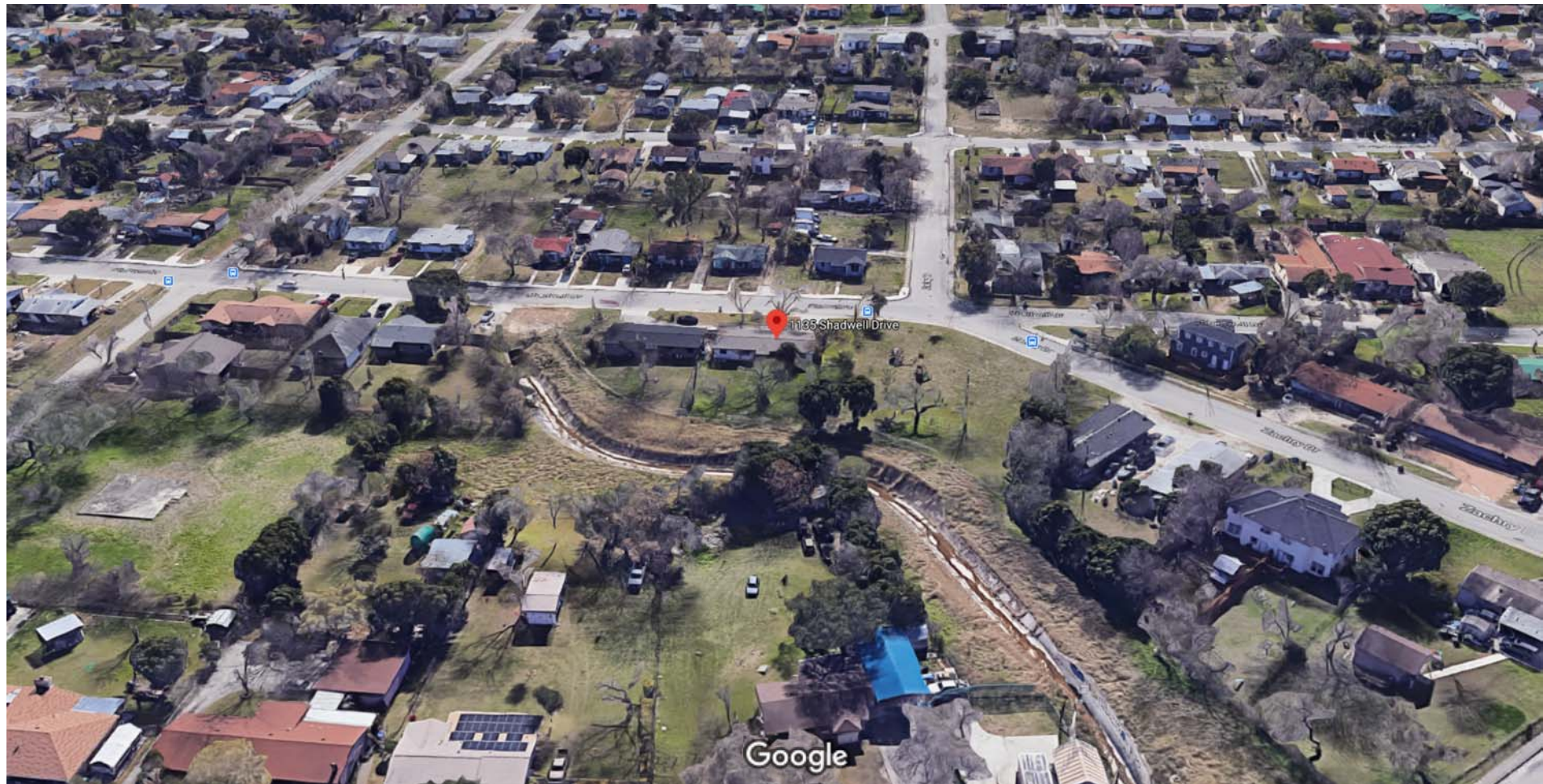
Google Maps 1135 Shadwell Dr



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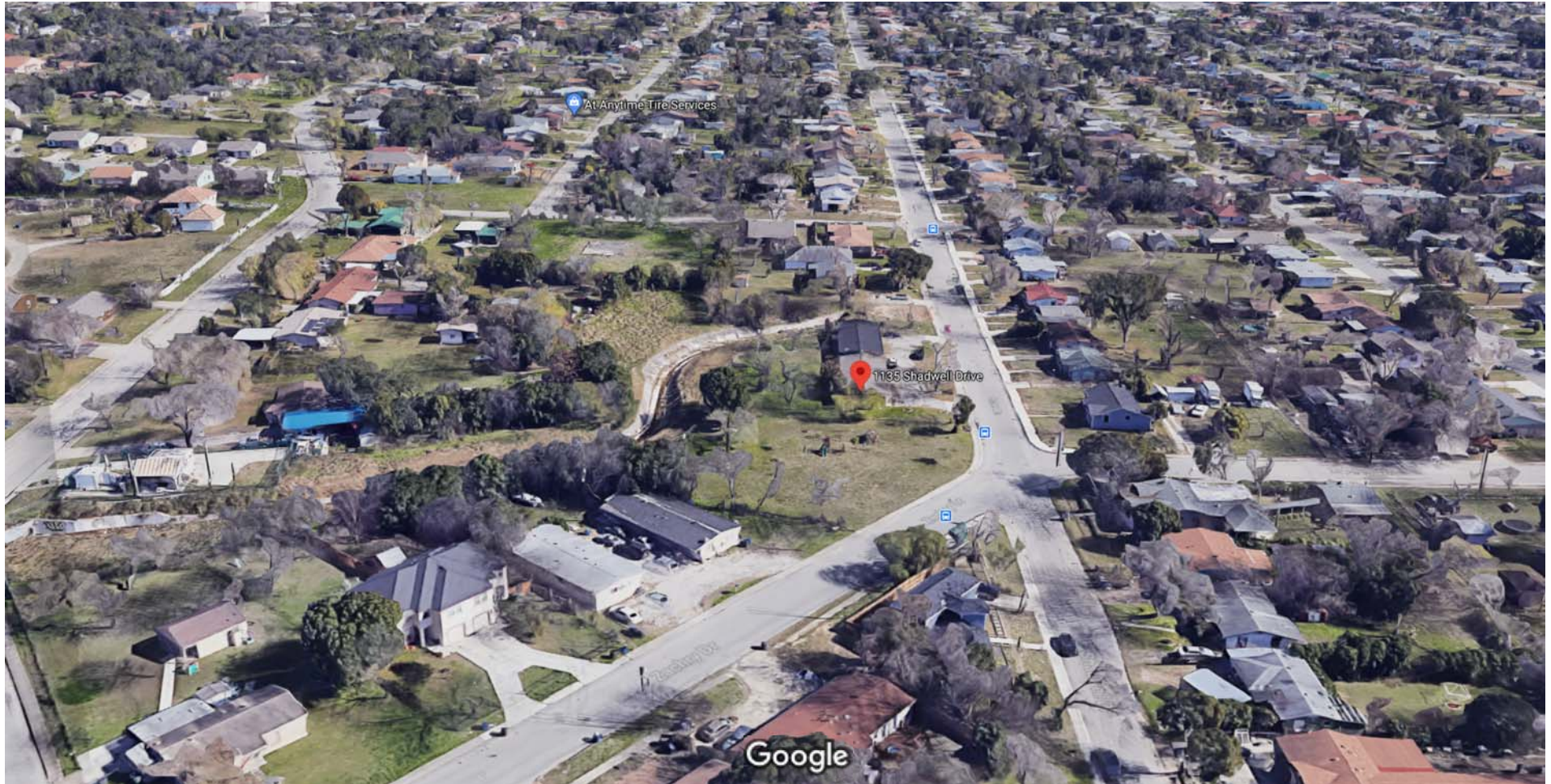
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Google Maps 1135 Shadwell Dr



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50 ft



August 28, 2020

City of San Antonio
Office of Historic Preservation
1901 South Alamo
San Antonio, Texas 78204

To whom it may concern:

The following is a detailed description of the improvements proposed for Sutton Park to be considered appropriate by the Office of Historic Preservation.

1. Playground area expansion to include a swing, picnic table and shade canopy over the play area. The playground area will have poured in place surfacing as the safety surfacing. Colors for the swing, picnic table and shade canopy will be beige and green to complement the existing playground equipment. The playground area will be made accessible via concrete walk from the existing street sidewalk.

Please let us know if you have any questions or comments regarding the proposed improvements at Sutton Park Phase 2.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Marc R. Zak', written over a horizontal line.

Marc R. Zak, PLA

SUTTON PARK IMPROVEMENTS PHASE 2

1135 SHADWELL

PROJECT # 23-03759

CONSTRUCTION DOCUMENTS (90%)



LANDSCAPE ARCHITECT

TERRA DESIGN GROUP

2015 NE LOOP 410
SAN ANTONIO, TX 78217
(210) 220-1400



PARKS & RECREATION
SAN ANTONIO

MAYOR

Ron Nirenberg

CITY COUNCIL

Roberto C. Treviño	District 1
Jada Andrews-Sullivan	District 2
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CITY MANAGER

Erik J. Walsh

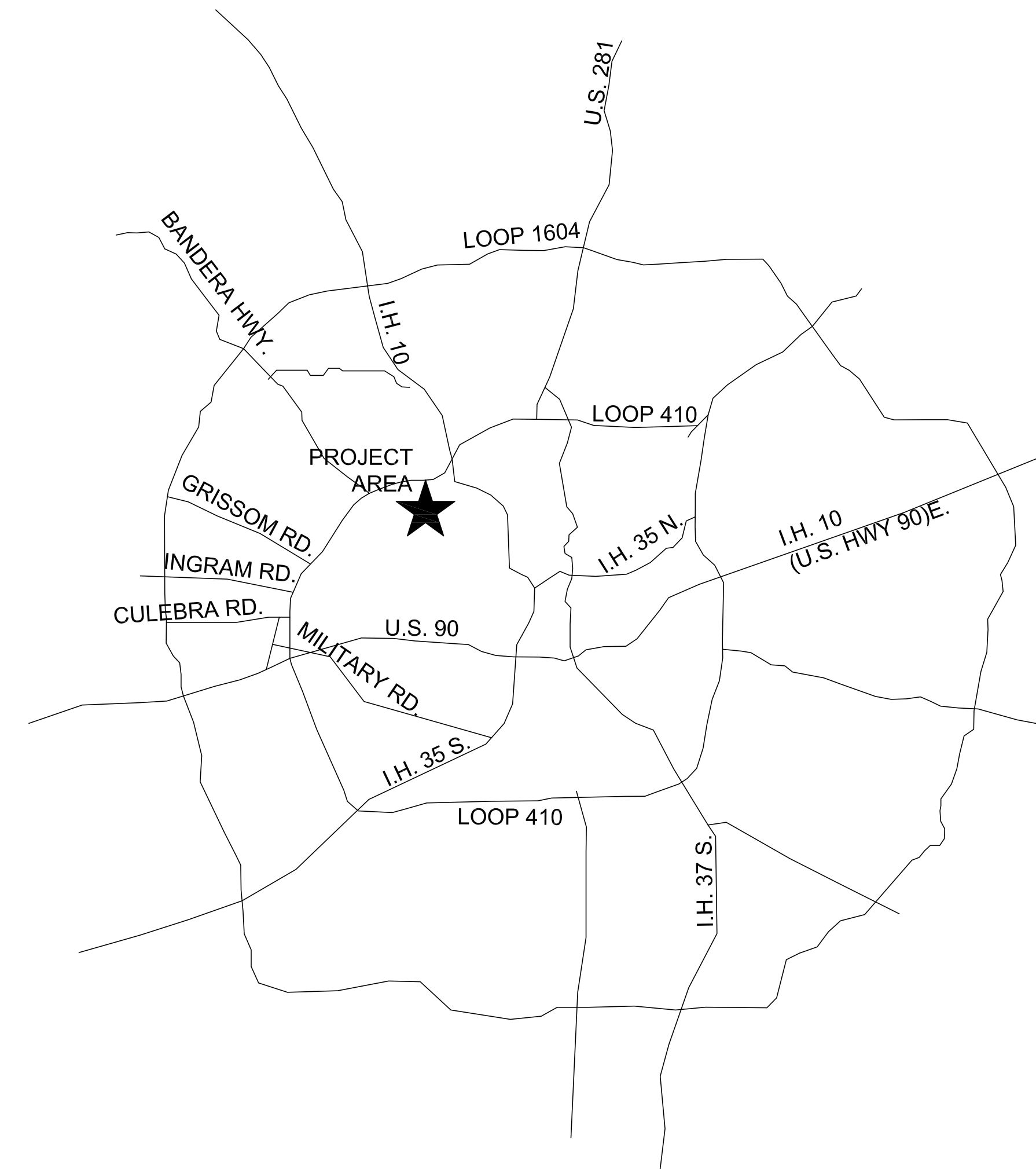
INTERIM DIRECTOR OF PARKS AND RECREATION

Homer Garcia

PROJECT MANAGER

Desiree Salmon

Transportation & Capital Improvements
P.O.Box 839966 | San Antonio, TX 78283-3966
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TP 1.01 - Tree Preservation Layout

SITE

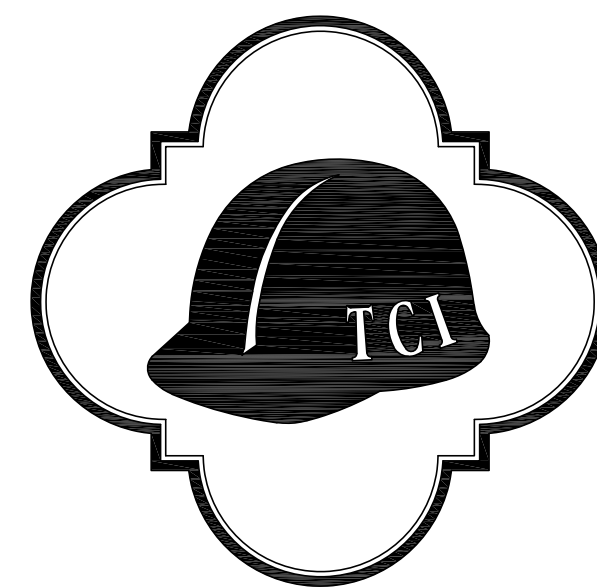
DL 1.01 - Demolition Layout

SL 1.01 - Site Layout

SL 1.02 - Site Layout

SL 1.03 - Shade Canopy Layout

GL 1.01 - Grading Layout



CITY OF SAN ANTONIO

TRANSPORTATION & CAPITAL IMPROVEMENTS

GENERAL NOTES:

1. CONTRACTOR TO LAYOUT, USING COORDINATE DATA PROVIDED, AND STAKE ALL HARDSCAPE ELEMENTS PRIOR TO ANY CONSTRUCTION TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKING FOR THE ENTIRE PROJECT. THE OWNER SHALL PROVIDE HORIZONTAL AND VERTICAL CONTROL POINTS. PRELIMINARY HARDSCAPE LAYOUT SHALL BE ACCOMPLISHED UTILIZING A GPS SYSTEM AND PROVIDING STAKING AS NECESSARY TO UNDERSTAND THE LAYOUT IN THE FIELD. THE LAYOUT WILL BE REVIEWED BY THE OWNER AND LANDSCAPE ARCHITECT FOR ADJUSTMENTS AND FINAL APPROVAL. THE CONTRACTOR WILL BE PROVIDED THE SITE LAYOUT IN AUTOCAD FORMAT. FAILURE TO REVIEW THE LAYOUT IN THE FIELD PRIOR TO INSTALLATION WITH THE OWNER'S PROJECT MANAGER AND/OR LANDSCAPE ARCHITECT IS AT THE CONTRACTOR'S RISK AND MAY REQUIRE REPLACEMENT OF WORK IF DEEMED NECESSARY BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
3. THE CITY OF SAN ANTONIO SHALL PROVIDE ALL CONSTRUCTION MATERIAL TESTING. OWNER WILL PAY FOR ALL NECESSARY TESTING SELECTED BY LANDSCAPE ARCHITECT AND THE ENGINEER, BUT RE-TESTING SHALL BE CHARGED TO THE CONTRACTOR FROM THEIR MONTHLY ESTIMATES, AND NO ADDITIONAL COMPENSATION WILL BE MADE OR ALLOWED FOR REWORKING THE NECESSARY DEFECTIVE WORK NOT MEETING THE SPECIFIED WORK OF THE PLANS AND SPECIFICATIONS. ANY RE-TESTING REQUIRED BY NO-PASSING RESULTS SHALL BE PAID FOR BY THE CONTRACTOR AND SHALL BE DEDUCTED FROM THE CONTRACT AMOUNT.
4. THE CONTRACTOR SHALL DO ALL NECESSARY EXCAVATION, TRENCHING, DEWATERING, DEMOLITION, GRADING, BACKFILL, ETC., TO COMPLETE THE PROJECT. SUCH COSTS SHALL BE SUBSIDIARY TO THE BID ITEMS IN THE PROPOSAL. ALL EXCAVATION IS UNCLASSIFIED.
5. ALL TREES, PLANTS, GRASS AND SHRUBS, EXCEPT THOSE WHICH WILL BE AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AT ALL TIMES. THE AREAS IN AND ADJACENT, TO THE CONSTRUCTION SITE SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS AFTER NECESSARY FINE GRADING IS COMPLETED. THE CONTRACTOR SHALL PROVIDE NEW GRASS AND/OR VEGETATION OF THE SAME TYPE REMOVED TO RESTORE DAMAGED AREAS. ONLY TOPSOIL APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE USED FOR FILLING THE TOP FOUR INCHES OF THOSE AREAS DAMAGED OR FILLED.
6. DAMAGES DONE TO EXISTING UTILITIES, POWER POLES, FENCES, SIGNS, MAILBOXES, DRIVEWAYS, CULVERTS, PAVEMENT, DRAINAGE SYSTEMS, ETC. SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER, AND SUCH COSTS SHALL BE SUBSIDIARY TO THE VARIOUS BID ITEMS IN THE PROPOSAL.
7. THE CONTRACTOR SHALL BE LIMITED ONLY TO EXISTING ROW FOR OPERATIONS AND/OR EASEMENTS PROVIDED BY THE CITY OF SAN ANTONIO. THE CONTRACTOR AT NO EXTRA COST TO THE OWNER WILL CORRECT ANY DAMAGES DONE TO PROPERTY OUTSIDE THESE DESIGNATED WORK AREAS TO ITS ORIGINAL OR BETTER CONDITIONS. IT IS IMPORTANT THAT THE CONTRACTOR BE AWARE OF THE WORK LIMITS SO THAT NO DAMAGE CAN RESULT TO THOSE AREAS OUTSIDE THESE LIMITS.
8. THE CONTRACTOR SHALL FURNISH THE SITE INSPECTOR AND OBSERVER, OWNER, AND LANDSCAPE ARCHITECT THE NAMES, ADDRESS AND TELEPHONE NUMBERS OF ALL PERSONNEL RESPONSIBLE FOR THE WORK IN CASE OF EMERGENCIES.
9. THE PLANS SHOW APPROXIMATE LOCATIONS OF EXISTING UTILITIES INCLUDING GAS LINES, TELEPHONE LINES, POWER LINES, WATER LINES, SEWER LINES, STORM SEWERS AND IRRIGATION LINES WITHIN THE VICINITY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL EXERCISE EXTREME CARE IN WORKING IN THE VICINITY OF THESE LINES.
10. ALL EXISTING LINES, WHETHER BELONGING TO THE CITY OF SAN ANTONIO OR PRIVATE SHALL REMAIN IN OPERATION AT ALL TIMES. SWITCH OVER TIME, RE-CONNECTING NEW SERVICE FROM EXISTING LINES OR SERVICES (IF ANY) SHALL BE KEPT TO A MINIMUM. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RE-CONNECTS, TEMPORARY OR OTHERWISE, OF ALL WATER AND SANITARY SEWER LINES REQUIRED TO COMPLETE THE PROJECT. UNLESS OTHERWISE SPECIFIED IN THE BID PROPOSAL FORM, PAYMENT FOR SUCH ITEMS SHALL BE SUBSIDIARY TO ALL THE VARIOUS BID ITEMS IN THE PROPOSAL.
11. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES WHILE WORKING IN THE VICINITY OF THE CORRESPONDING PRIVATE OR PUBLIC UTILITY.
12. THE OWNER RESERVES THE RIGHT TO ADD OR DELETE QUANTITIES OF BID ITEMS IN THE PROPOSAL AT THE UNIT PRICES GIVEN, PROVIDED HOWEVER THAT SUCH ADDITIONS OR REDUCTIONS ARE WITHIN THE AGGREGATE LIMITS SPECIFIED IN THE GENERAL CONDITIONS OF THE AGREEMENT.
13. THE CONTRACTOR IS EXPECTED TO CONDUCT HIS WORK IN SUCH A MANNER AS TO MINIMIZE ANY SOIL EROSION OR SEDIMENT RUNOFF FROM THE CONSTRUCTION SITE. EARTH CUTS AND FILLS SHALL HAVE SMOOTH, FLAT SIDE SLOPES, AS GENERALLY INDICATED ON THE PLANS, TO PRECLUDE EROSION OF THE SOIL. SUCH OPERATIONS SHOULD BE TIMES CONSISTENT WITH THE ACTUAL NEED FOR DOING THE WORK AND ONLY TO LEAVE RAW, UNPROTECTED SURFACES FOR A MINIMUM OF TIME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY EROSION THAT OCCURS AT HIS COST WITHOUT CLAIM FOR EXTRA COMPENSATION.
14. UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OF ANY PART OR ALL OF THE MATERIAL, AS PROVIDED FOR IN THESE SPECIFICATIONS, IT SHALL BE UNDER THE CHARGE AND CARE OF THE CONTRACTOR, AND HE SHALL TAKE EVERY NECESSARY PRECAUTION AGAINST INJURY OR DAMAGE TO ANY PART OF THE MATERIAL BY ACTION OF THE ELEMENTS OR FROM THE NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD, AT HIS OWN EXPENSE, ALL INJURIES OR DAMAGE TO ANY PORTION OF THE MATERIAL OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE ITS COMPLETION AND ACCEPTANCE.

15. IN CASES WHERE THE CONTRACTOR DEEMS EXTRA COMPENSATION IS DUE TO HIM FOR MATERIALS NOT CLEARLY COVERED IN THE CONTRACT, OR NOT ORDERED BY THE LANDSCAPE ARCHITECT AS AN EXTRA ITEM, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF HIS INTENTION TO MAKE CLAIM FOR SUCH EXTRA COMPENSATION BEFORE HE BEGINS THE WORK. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER, LANDSCAPE ARCHITECT, AND CONTRACTOR APPROVES A WRITTEN CHANGE ORDER. FAILURE ON THE PART OF THE CONTRACTOR TO GIVE SUCH NOTIFICATION OR TO AFFORD THE LANDSCAPE ARCHITECT PROPER FACILITIES FOR KEEPING STRICT ACCOUNT OF ACTUAL COST SHALL CONSTITUTE A WAIVER OF THE CLAIM FOR SUCH EXTRA COMPENSATION. THE FILING OF SUCH NOTICE BY THE CONTRACTOR AND THE KEEPING OF COSTS BY THE LANDSCAPE ARCHITECT SHALL NOT IN ANY WAY BE CONSTRUED TO PROVE THE VALIDITY OF THE CLAIM. WHEN THE WORK HAS BEEN COMPLETED, THE CONTRACTOR SHALL, WITHIN 10 DAYS, FILE HIS CLAIM FOR EXTRA COMPENSATION WITH THE LANDSCAPE ARCHITECT .
16. UPON THE FAILURE OF THE CONTRACTOR TO REPAIR SATISFACTORILY OR TO REMOVE AND REPLACE, IF SO DIRECTED, REJECTED, UNAUTHORIZED, OR CONDEMNED MATERIALS IMMEDIATELY AFTER RECEIVING FORMAL NOTICE FROM THE LANDSCAPE ARCHITECT, THE OWNER MAY RECOVER FOR SUCH DEFECTIVE MATERIALS ON THE CONTRACTOR'S BOND, OR BY ACTION IN A COURT HAVING PROPER JURISDICTION OVER SUCH MATTERS, OR MAY EMPLOY LABOR AND EQUIPMENT AND SATISFACTORILY REPAIR OR REMOVE AND REPLACE SUCH WORK AND CHARGE THE COST OF THE SAME TO THE CONTRACTOR, WHICH COST WILL BE DEDUCTED FROM ANY MONEY DUE HIM.
18. SAW CUTTING OF EXISTING ASPHALT OR CONCRETE FOR CONSTRUCTION JOINTS WILL BE THE ONLY ACCEPTED METHOD.
19. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF AND FOLLOWING ALL TxDOT AND THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR THOSE ITEMS LISTED IN PROJECT SPECIFICATIONS.
20. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS INCLUDING GOVERNING BODIES AND GUIDELINES.
21. RELOCATIONS OF EXISTING FENCES, MAILBOXES, DRIVEWAYS, CULVERTS, PAVEMENT, DRAINAGE SYSTEMS, ETC. (WHERE NOT INDICATED ON PLANS) SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER, AND SUCH COSTS SHALL BE SUBSIDIARY TO THE VARIOUS BID ITEMS IN THE PROPOSAL.
22. DEWATERING AND TRENCH PROTECTION SHALL BE CONSIDERED AS INCIDENTAL WORK, AND THE COST THEREOF SHALL BE SUBSIDIARY TO THE VARIOUS BID ITEMS IN THE PROPOSAL.
23. SUBMITTALS AND/OR SHOP DRAWINGS FOR ALL BID ITEMS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
24. THERE ARE TREES, ROCKS AND TERRAIN THAT MAY MAKE SURVEYING DIFFICULT. THESE CONDITIONS SHOULD BE CONSIDERED BY THE CONTRACTOR.
25. BECAUSE OF THE SPECIAL CONDITIONS ASSOCIATED WITH CONSTRUCTION OPEN TRENCHES OR HAZARDS MAY NOT BE LEFT OPEN AFTER DARK UNLESS BARRICADING IS IN PLACE.
26. CONTRACTOR SHALL CONFIRM EXISTING GRADES IN ALL AREAS PRIOR TO ANY CONSTRUCTION. NOTIFY OWNER OR OWNER'S REPRESENTATIVE IF ANY CONFLICTS ARE REVEALED.
27. ALL CURVES INDICATED ON THE PLANS TO BE CONSTRUCTED WITH TRUE RADIUS AND TANGENTS AS DRAWN AND LABELED.
28. ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH. SAMPLE PANEL TO BE COMPLETED BY THE CONTRACTOR AND APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
29. PROVIDE HAND TOOLED SCORED JOINTS 1/2" DEPTH WITH 1/2" RADIUS EACH SIDE. SPACE JOINTS AT A DISTANCE THAT MATCHES THE WIDTH OF THE WALK OR AS INDICATED ON THE PLANS. JOINTS THAT OCCUR ON CURVES IN THE WALK TO RADIATE FROM CENTER POINT OF CURVE. SAWCUT JOINTS WILL NOT BE PERMITTED.
30. PROVIDE 1/2" EXPANSION JOINTS, SEALED, AT 100' O.C. OR AS INDICATED ON THE PLANS AND AT ALL POINTS WHERE NEW CONCRETE MEETS EXISTING WALKS, BUILDINGS AND CURBS.
31. OUTSIDE EDGE OF CONCRETE WALK TO BE FORMED TO FULL 8" DEPTH WHERE DEEPER TOE DOWNS ARE NOT BEING IMPLEMENTED.
32. THE CONTRACTOR SHALL SEED AND ESTABLISH ALL DISTURBED AREAS WITH 20 BULK POUNDS OF 'DAM SLOPE MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY, 20 BULK POUNDS OF 'DRAINFIELD MIX' AS PROVIDED BY NATIVE AMERICAN SEED COMPANY AND 0.5 POUNDS OF PURE LIVE SEED OF SWITCHGRASS, ALL PER ACRE. IF THIS SEEDING OCCURS BETWEEN OCTOBER-FEBRUARY, THE CONTRACTOR SHALL ADD 50 BULK POUNDS OF CEREAL RYE PER ACRE TO THE MIX (COOL SEASON COVER CROP).
33. ALL STEEL STRUCTURES ARE TO GALVANIZED AFTER FABRICATION OF THE STEEL STRUCTURE UNLESS OTHERWISE NOTED IN THE PLANS. SITE WELDING AND COLD GALVANIZING WILL NOT BE PERMITTED.
34. ALL STEEL STRUCTURES, STONE WALLS, STONE MONOLITHS, BOULDERS, KIOSKS, AND SIGNS INCLUDING MILE MARKER SIGNS AND FRAMES LOCATED AT TRAILHEADS, TRAIL NODES, AND ALONG THE TRAIL ARE TO BE COATED IMMEDIATELY AFTER INSTALLATION WITH TRU-NANO GRAFFITI ARMOR BY "EVOLUTION SURFACE SOLUTIONS" OR GRAFFITI PROOFER/NANO BASED BY "SEI CHEMICAL" OR APPROVED EQUAL.

35. THE PARK IS TO BE CLOSED DURING CONSTRUCTION AND UNDER THE GENERAL CONTRACTOR'S CARE. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE SECURE DURING CONSTRUCTION.
36. EXCAVATED MATERIALS OR OTHER MATERIALS REMOVED FROM THE SITE (NOT USED ON SITE) SHALL BE TESTED AND PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL PROVIDE A RECEIPT FROM LANDFILL COMPANY UPON REQUEST.
37. CONTRACTOR TO USE A CITY CERTIFIED TREE ARBORIST.
38. CONTRACTOR IS TO STAY WITHIN LIMITS OF CONSTRUCTION AND APPROVED ACCESS CORRIDORS. ALL SITE DISTURBANCE TO BE RESTORED TO PRE-EXISTING CONDITIONS AT THE CONTRACTOR'S EXPENSE. LIMITS OF CONSTRUCTION ARE WITHIN THE PROPERTY LINE(S) AND/OR A MAXIMUM OF 5'-0" AWAY FROM ANY PROPOSED IMPROVEMENTS, INCLUDING PROPOSED GRADING IMPROVEMENTS, WHICHEVER ONE IS LESS INVASIVE TO THE SITE.
39. A PORTION OF THE SITE IS WITHIN THE FLOODPLAIN. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND MACHINERY STORED ONSITE WITHIN THE FLOODPLAIN. DAMAGE TO MATERIALS AND EQUIPMENT WITHIN THE FLOODPLAIN DUE TO WEATHER AND FLOODING ARE TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.
40. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AT MINIMUM A ZERO NET FILL WITHIN THE FLOODPLAIN. ALL FILL PLACED IN THE FLOODPLAIN IS TO BE BALANCED WITH AT LEAST AN EQUAL AMOUNT OF SOIL MATERIAL REMOVED.
41. THE CONTRACTOR IS TO LIMIT THEIR IMPACT ONTO THE SITE. THE CONTRACTOR IS TO STAY WITHIN THE LIMITS OF CONSTRUCTION AS IDENTIFIED IN THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR PRE-CONSTRUCTION STATE.
42. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY AND ALL NECESSARY INSPECTION FEES.
43. CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A STORM WATER POLLUTION PROTECTION PLAN TO COMPLY WITH THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) REQUIREMENTS.
44. ALL EXPANSION JOINTS ARE TO BE SEALED WITH ELASTOMERIC JOINT SEALER TO MATCH PAVEMENT COLOR.
45. ALL SITE AMENITIES THAT ARE SURFACE MOUNTED ARE TO BE SECURED WITH LOCTITE.
46. ALL STONE USED FOR LIMESTONE VENEER IS TO BE A MINIMUM OF 3" THICK.

ACCESSIBILITY REQUIREMENTS:

1. ALL CONSTRUCTION AS PART OF THIS PROJECT SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE DESIGN GUIDELINES ESTABLISHED BY THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. THE GENERAL CONTRACTOR SHALL REPORT TO THE OWNER/ARCHITECT ANY AND ALL DISCREPANCIES BETWEEN, OR WITHIN, THE CONTRACT DOCUMENTS AND THE DESIGN GUIDELINES ESTABLISHED BY THE ADA AND THE TAS PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL UTILIZE EXTREME CARE TO INSURE THAT ALL TOLERANCES, DIMENSIONS AND CLEARANCES ARE CONSTRUCTED ACCURATELY AND WITHOUT DEVIATION.
4. THE GENERAL CONTRACTOR IS REQUIRED TO TAKE ANY AND ALL ACTIONS NECESSARY TO CORRECT CONDITIONS WHICH ARE IN THE OPINION OF THE STATE ACCESSIBILITY INSPECTOR IN VIOLATION OF TAS GUIDELINES AS THE DIRECT RESULT OF DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS OR INADEQUATE CONSTRUCTION CONTROL AND/OR TOLERANCES.
5. NO SIDEWALK OR WALKWAY SHALL HAVE A LONGITUDINAL SLOPE EXCEEDING 1:20 (5%).
6. NO SIDEWALK OR WALKWAY SHALL HAVE A CROSS SLOPE EXCEEDING 1:50 (2%).
7. NO SIDEWALK OR WALKWAY SHALL HAVE A VERTICAL CHANGE IN LEVEL GREATER THAN 1/2" WITHOUT THE USE OF A RAMP.
8. CHANGES IN LEVEL ALONG SIDEWALKS AND WALKWAYS UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT.
9. CHANGES IN LEVEL ALONG SIDEWALKS AND WALKWAYS BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 (50%).
10. SIDEWALKS, WALKWAYS AND RAMPS SHALL BE CONSTRUCTED SO THAT WATER WILL NOT ACCUMULATE ON THE WALKWAY SURFACE.
11. GRADES SURROUNDING SIDEWALKS, WALKWAYS AND RAMPS SHALL BE BROUGHT EVEN WITH THE PAVED SURFACE WHERE NO EDGE CURB OR RAILING IS INDICATED.
12. SIDEWALKS AND WALKWAYS SHALL HAVE A SLIP RESISTANT SURFACE WITH A MINIMUM STATIC COEFFICIENT OF FRICTION OF 0.6.
13. RAMPS AND CURB RAMPS SHALL HAVE A SLIP RESISTANT SURFACE WITH A MINIMUM STATIC COEFFICIENT OF FRICTION OF 0.8.
14. CURB RAMPS SHALL CONFORM TO THE DIMENSIONS AND SLOPE AS INDICATED IN THE DETAILS.
15. REFERENCE SHEET DT 1.01 FOR ADA ACCESSIBILITY DETAILS.
16. ALL INTERSECTIONS AND GATHERING AREAS (TRAIL NODES, TRAILHEADS, INTERPRETIVE NODES, ETC.) ARE TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

THESE SHEETS ARE FOR PRELIMINARY REVIEW ONLY. THESE ARE NOT FOR CONSTRUCTION DOCUMENTS.



terra design group, inc.

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SUTTON PARK IMPROVEMENTS PHASE 2

1135 Shadwell
San Antonio, Texas 78228

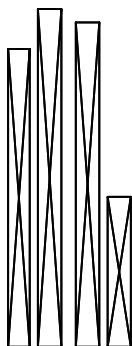
REVISION	DATE
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Project no:
Date: August 28, 2020
Sheet:

GENERAL NOTES

GN 1.00

Construction Documents (90%)



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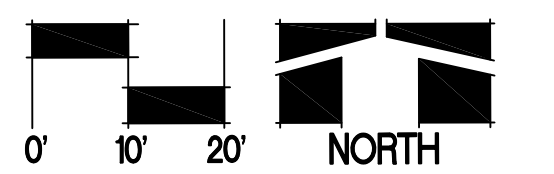


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SUTTON PARK IMPROVEMENTS PHASE 2

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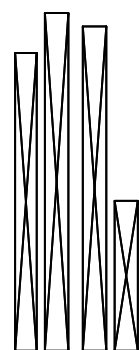
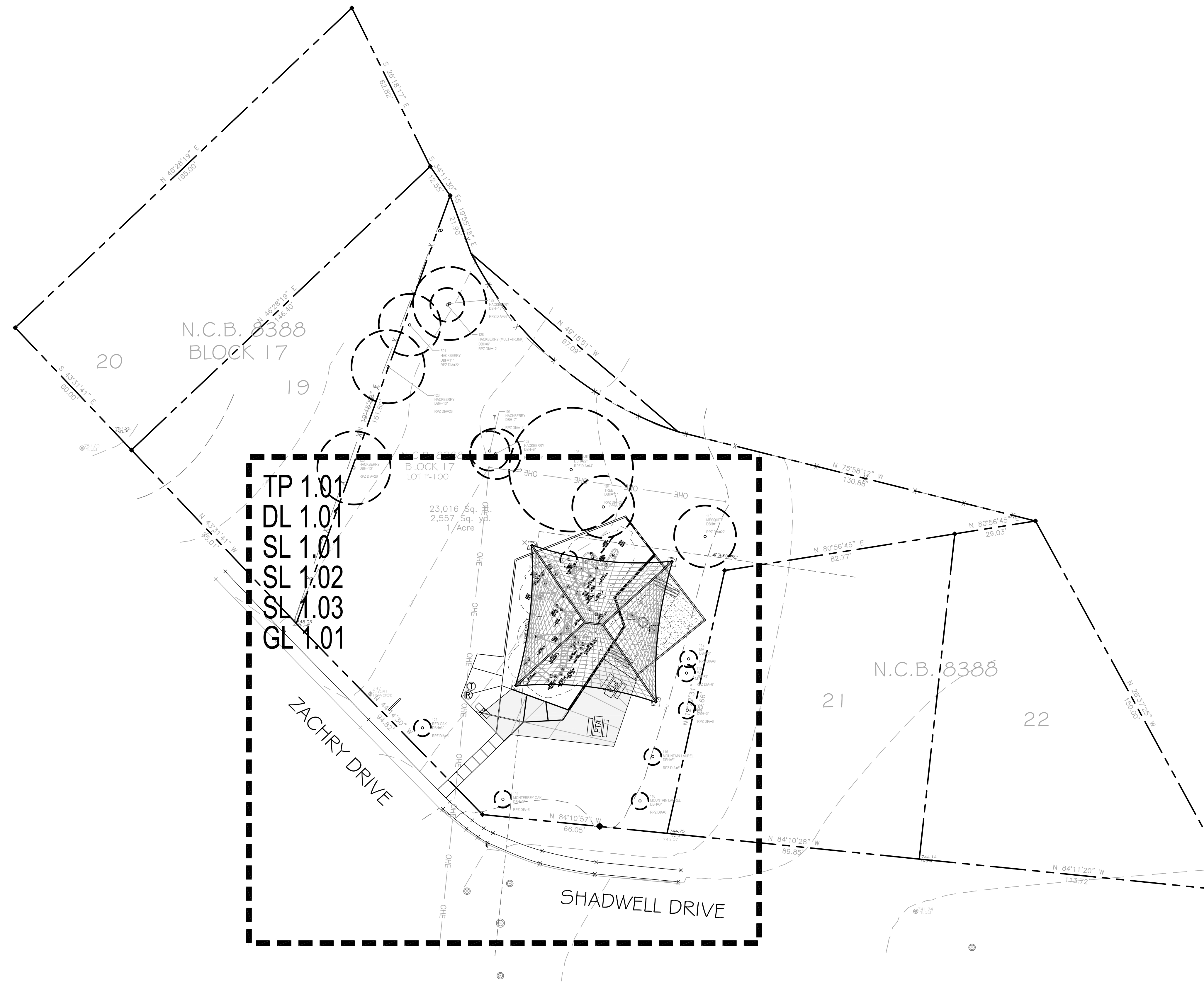
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Project no:
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OVERALL LAYOUT

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Construction Documents (90%)



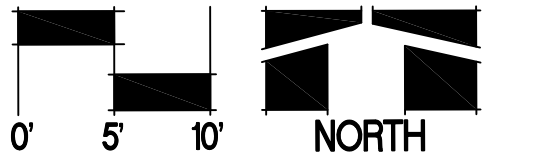
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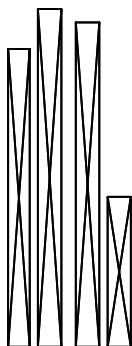
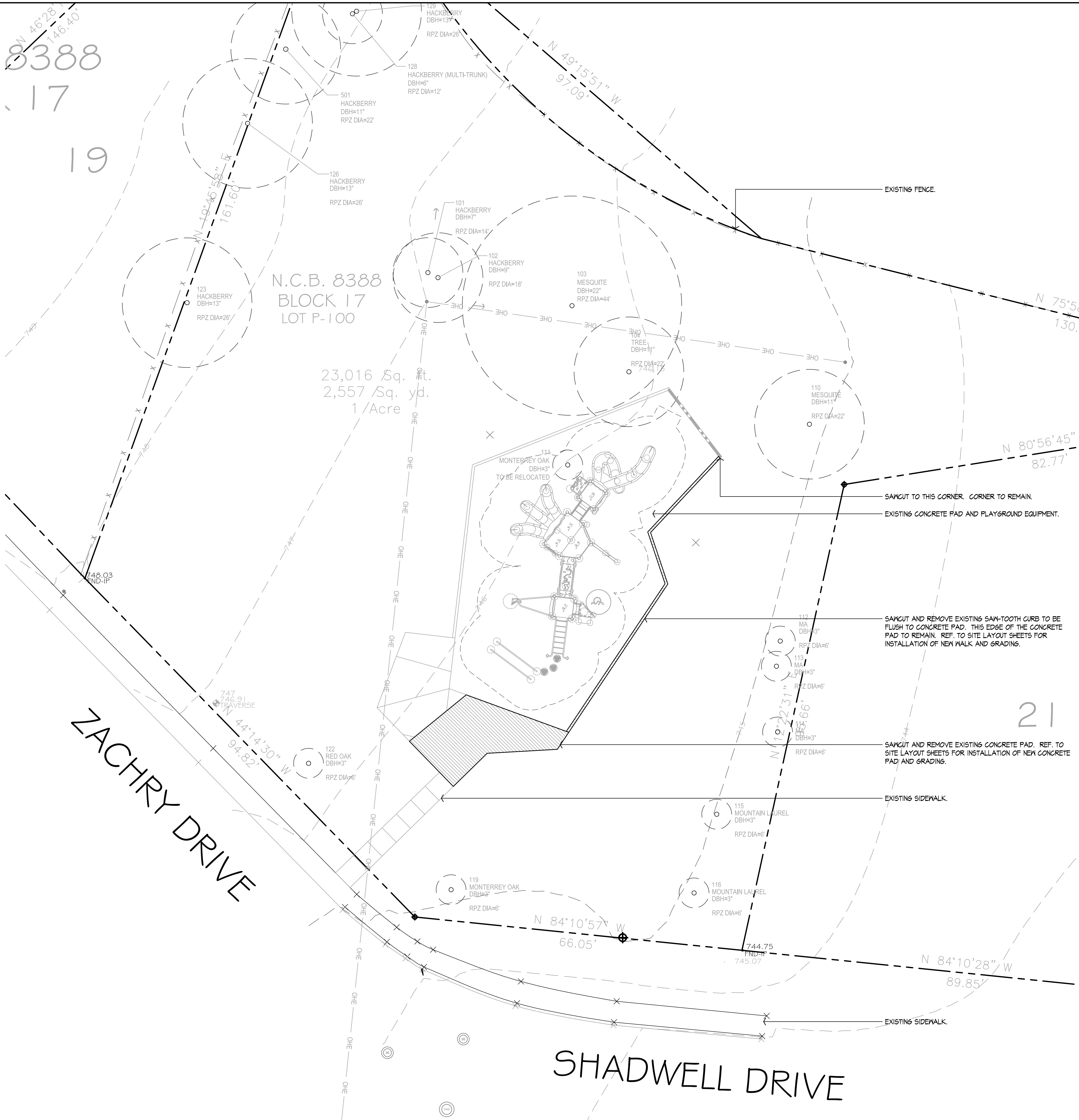
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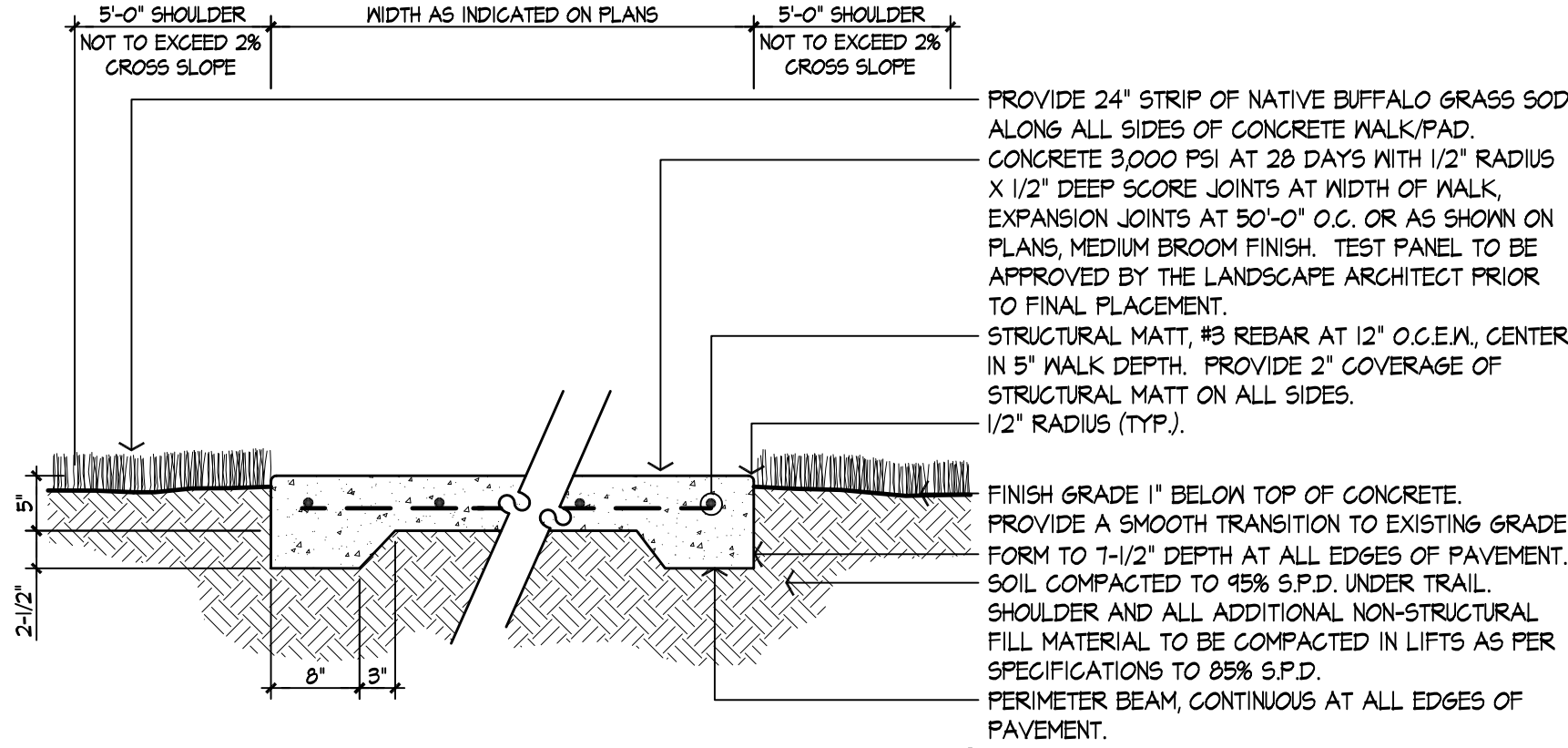
DEMOLITION LAYOUT

DL 1.01

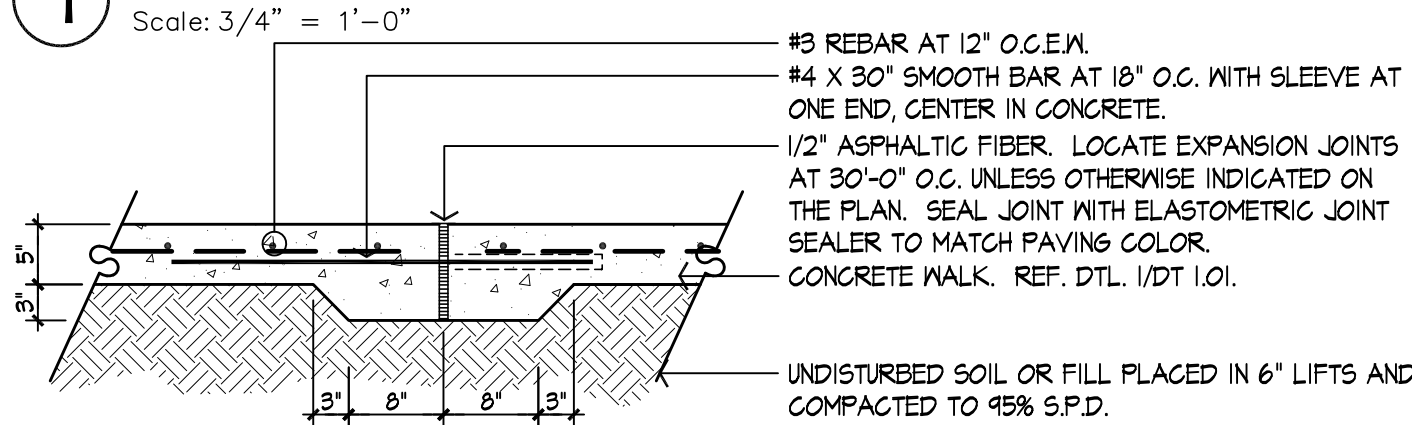
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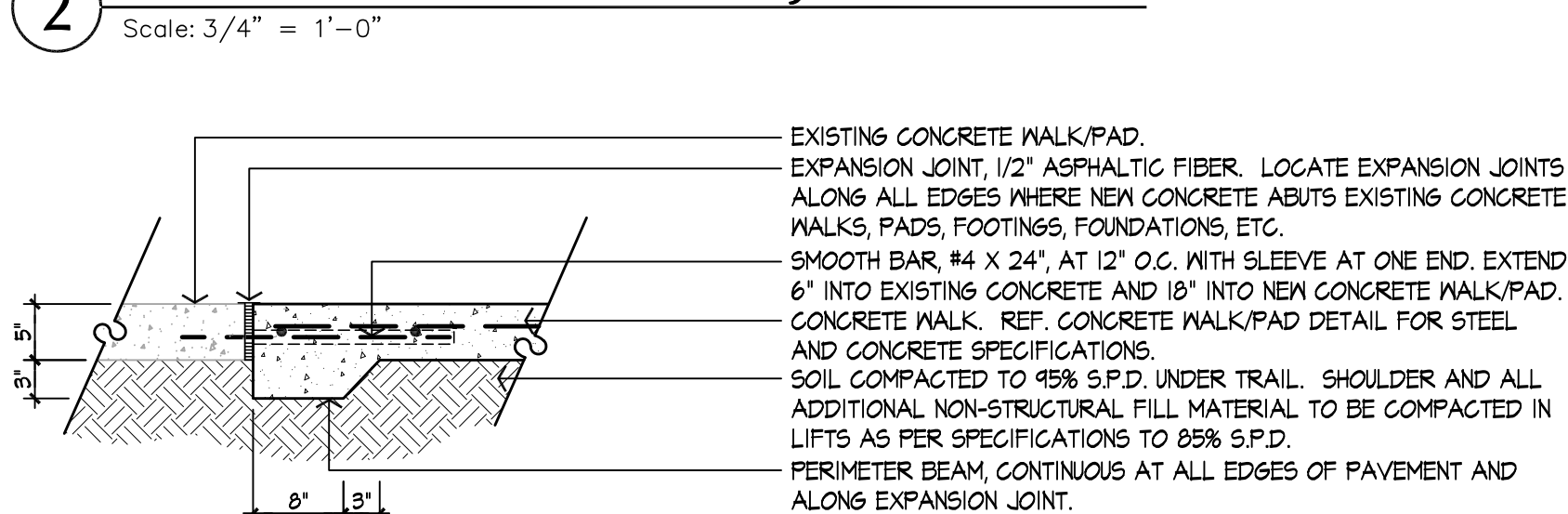
NOTES:
1. ACCEPTABLE MATERIAL FOR FORMS: 2" NOMINAL THICKNESS LUMBER, 1" NOMINAL THICKNESS LUMBER, 3/4" THICKNESS EXTERIOR PLYWOOD OR STEEL FORMS. KERF 2" LUMBER TO FORM SMOOTH CURVES. 1" LUMBER AND 3/4" PLYWOOD MAY NOT NEED TO BE KERFED.
2. MATERIALS NOT ACCEPTED FOR FORMS: MASONITE, PARTICLE BOARD, CHIP BOARD, OR "HARDI" TYPE MATERIAL.
3. SLOPE FOR FINISH GRADE BEYOND THE SHOULDER TO BE AT A MAXIMUM SLOPE OF 3:1 TO EXISTING GRADE, REFER TO PLANS. SLOPE TO BE A SMOOTH AND UNIFORM SLOPE TO EXISTING GRADE.



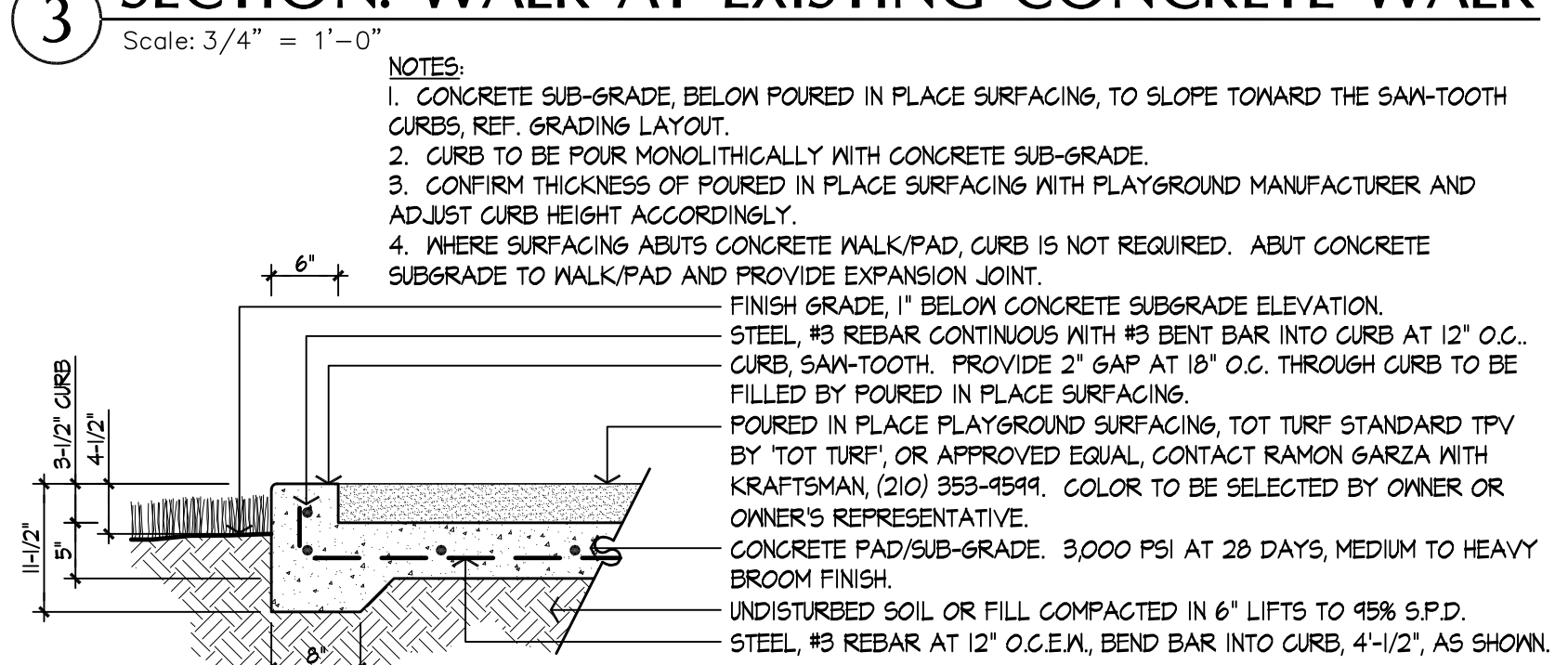
1 SECTION: CONCRETE WALK/PAD



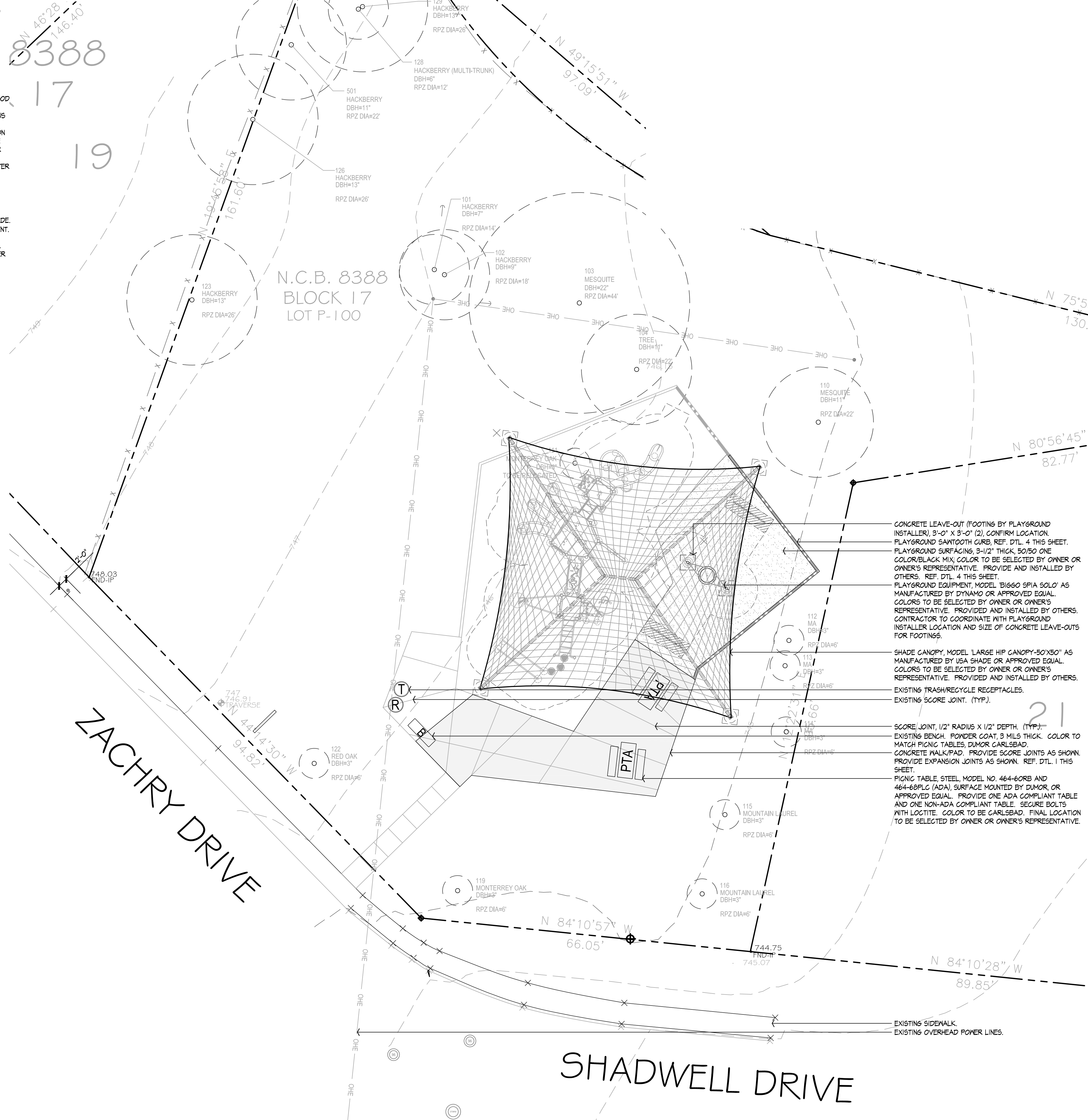
2 SECTION: EXPANSION JOINT



3 SECTION: WALK AT EXISTING CONCRETE WALK



4 SECTION: PLAYGROUND SURFACING



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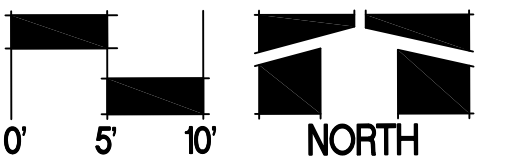


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SITE LAYOUT

SL 1.01

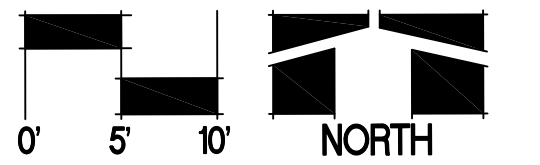
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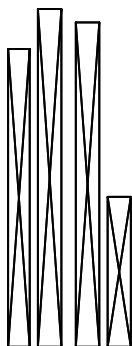
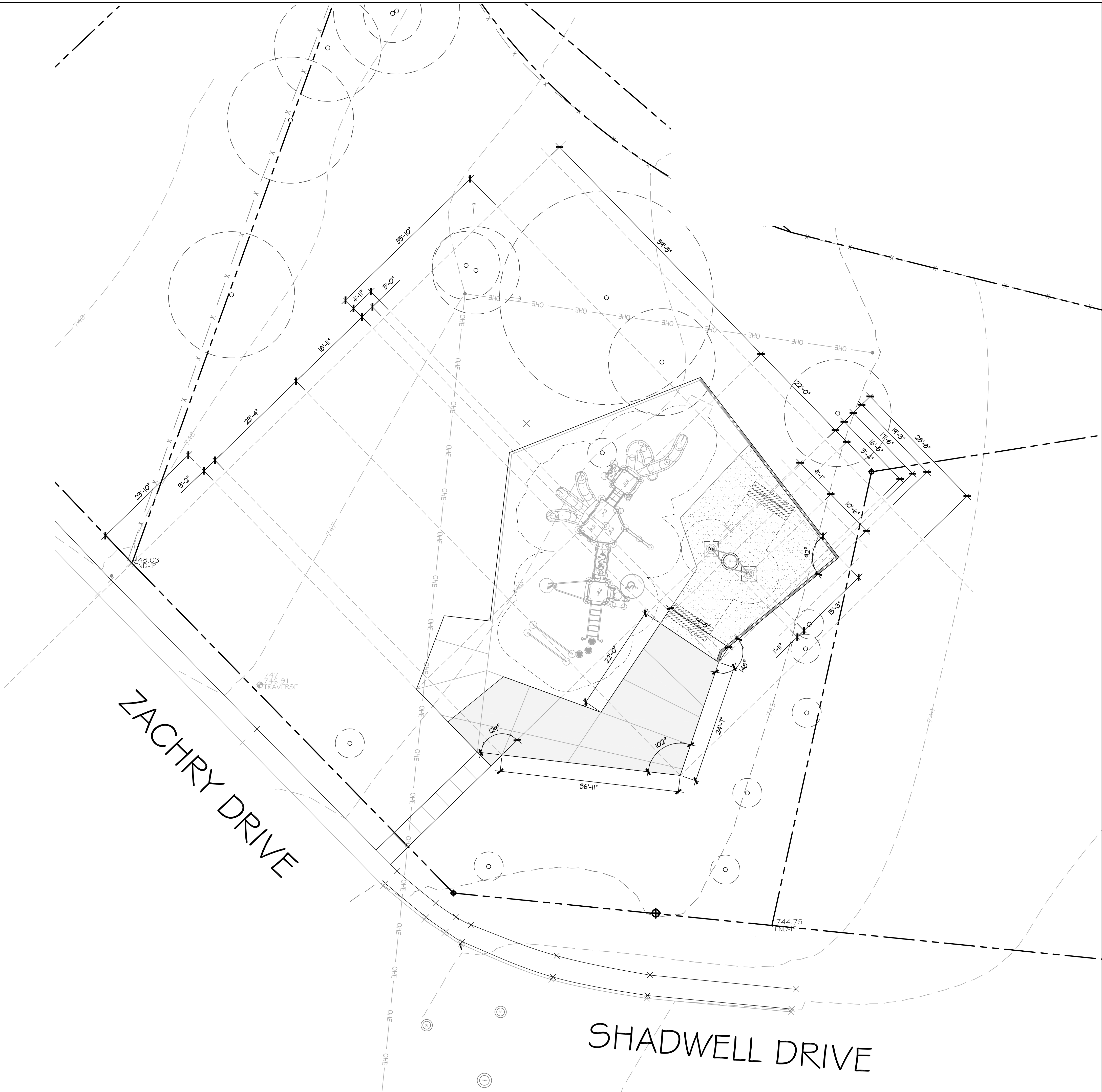
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SITE
LAYOUT

SL 1.02

Construction Documents (90%)

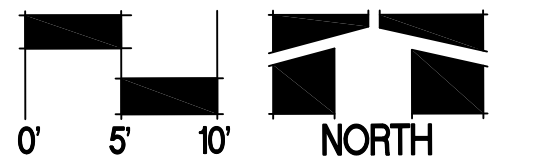




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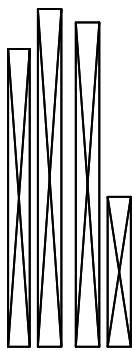
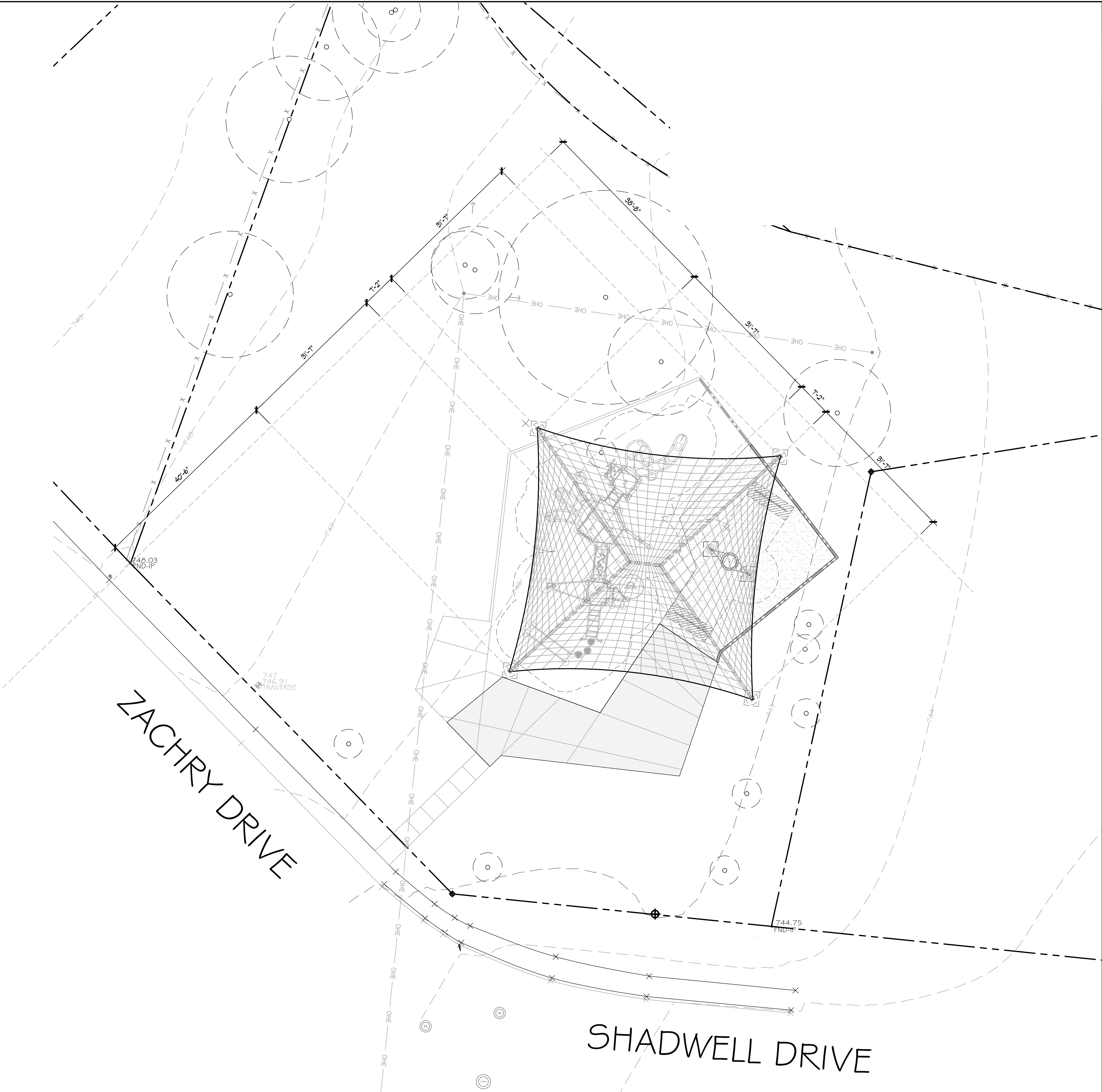
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SHADE CANOPY
LAYOUT

SL 1.03

Construction Documents (90%)



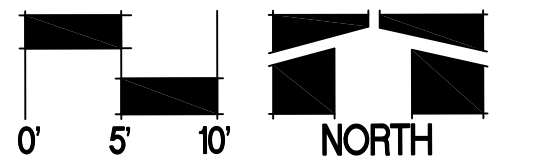
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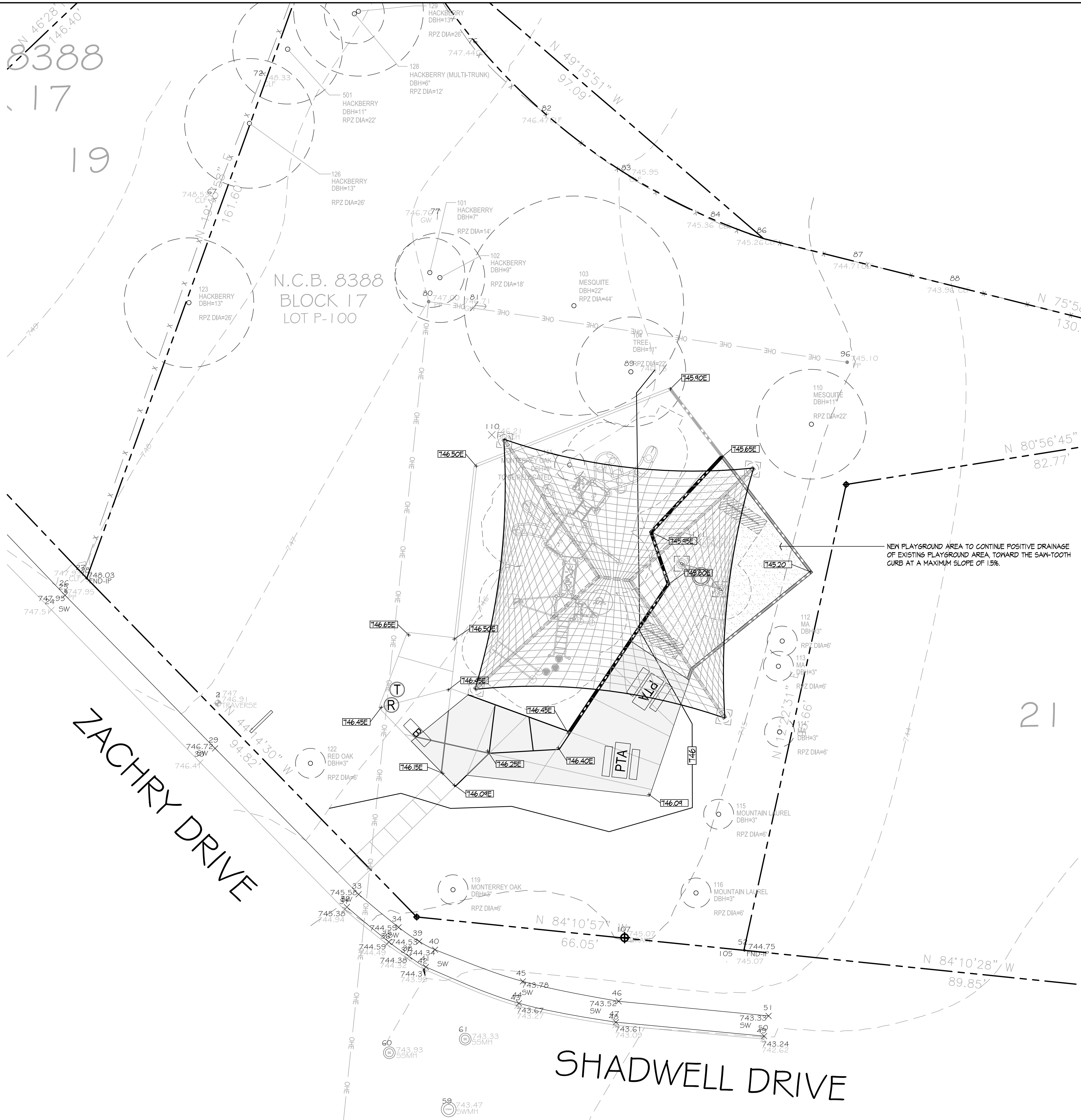
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GRADING
LAYOUT

GL 1.01

Construction Documents (90%)





Product Name	Biggo Solo™
Product Number	DX-3100
Size -- Width	3.82 m / 12' 6"
Size -- Height	3.11 m / 10' 2"
Shipping Weight	420 kg / 925.9 lb
Shipping Volume	2.80 m³ / 98.9 ft³
Foundations	2
Concrete Volume	0.53 m³ / 18.7 ft³

	ASTM F-1487	CSA Z614	EN 1176
Ages	2 years - 12 years	18 months - 12 years	2 years - 12 years
Capacity	4	4	4
Use Zone -- Length	9.55 m / 31' 4"	8.17 m / 26' 10"	8.04 m / 26' 5"
Use Zone -- Width	7.47 m / 24' 6"	7.47 m / 24' 6"	2.34 m / 7' 8"
Use Zone -- Area	42.39 m² / 456.3 ft²	41.52 m² / 446.9 ft²	Not Available
Fall Height	2.39 m / 7' 10"	2.39 m / 7' 10"	1.51 m / 4' 11"
No-Encroachment Zone	Not Applicable	1.80 m / 5' 11"	Not Applicable

*Note: Concrete must be minimum 3500 PSI / 25MPa



To verify product certification, visit www.ipema.org



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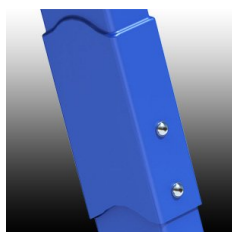
Product Features:

SUPPORT POST:	This will be 3" x 6" (75mm x 150mm) rectangular steel tubing, 3/16" (5mm) thick, embedded in concrete footings.
FRAME JUNCTION:	This will involve a rectangular tubular steel over-sleeve, welded fully around its upper perimeter, which sleeves over the top end of each leg on its lower end. The junction will be secured in place with stainless steel bolts, and finished with polyester powder coating.
SWIVEL CONNECTOR:	This will be an aluminum swivel connector with a low friction and high abrasion resistant UHMWPE bushing and tamper-resistant attachments. The aluminum swivel will have a smooth machine finish.
SUSPENSION CHAIN:	This will be either 5/16" (8 mm) galvanized steel chain. Each chain will have independent connections at seat and pivot.
SEAT CONNECTION:	The seat will be connected to the chain at four points, each by a one-piece machined stainless steel sleeve. (Patent Pending)
SEAT BUMPER:	This will be 3 1/2" (90mm) OD textile reinforced high-pressure rubber hose, containing no external dye markings and covered with a wear and soil resistant surface.
BIGGO™ SEAT:	This will be a one-piece aluminum bowl, weighing with its bumper and pieces no more than 42 lbs (19 kg) empty.

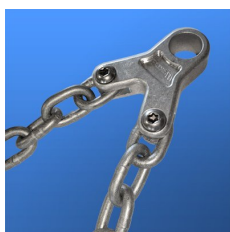
BASIC FASTENERS:	All fasteners for component attachments are stainless steel.
PAINT PROCESS:	All exposed steel will be finished with polyester powder coating unless otherwise specified. Prior to the powder coating application, the surface will undergo sand blasting and will be treated with a zinc rich epoxy primer having a minimum thickness of 1.5 mils.
INSTALLATION:	This should be installed only by a licensed playground installer, trained and certified on the relevant playground standards in place in the region of installation, e.g., NPSI, CPSI or similar certified.
NO-ENCROACHMENT ZONE:	Where required, this will be an obstacle-free zone that does not necessarily meet the requirements of the protective surfacing zone. See applicable standard for more information.
COMPLIANT WITH:	CAN/CSA-Z614 ASTM F-1487 EN-1176 CPSC Handbook for Public Playground Safety
TÜV CERTIFIED:	Certified to EN 1176:2008 TÜV SÜD Certificate N° Z1 13 08 84504 002
IPEMA CERTIFIED:	The DX-3100 identified in this specification sheet is IPEMA certified. The use and layout of the DX-3100 conforms to the requirements of ASTM F1487 and CSA Z614. To verify product certification visit www.ipema.org .



† Where proper surfacing is used, this product meets the ADAAG guidelines for accessibility, allowing the same play possibilities for people of all abilities.



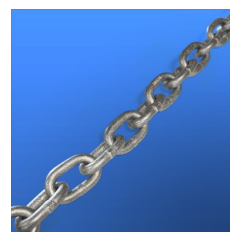
Frame Junction



Swivel Connector



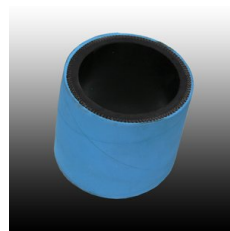
UHMWPE Bushing



Galvanized Steel Chain



Biggo Seat Connector



Biggo Bumper







