

HISTORIC AND DESIGN REVIEW COMMISSION

December 02, 2020

HDRC CASE NO: 2020-524
ADDRESS: 315 SPOFFORD
LEGAL DESCRIPTION: NCB 1275 BLK 7 LOT 10 N 26.25 FT OF 11
ZONING: R-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Government Hill Historic District
APPLICANT: Rusty Beanland/Tuff Shed
OWNER: CORDOVA HENRY E & TEENA G
TYPE OF WORK: Garage installation
APPLICATION RECEIVED: November 05, 2020
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Huy Pham

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a 576 square feet rear accessory structure.

APPLICABLE CITATIONS:

4. Guidelines for New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.

v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.

ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Standard Specifications for Windows in Additions and New Construction

- **GENERAL:** New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes

must be equal in size unless otherwise approved.

- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Wood windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The primary historic structure at 315 Spofford was constructed circa 1925, first appears on the 1951 Sanborn map, and contributes to the Government Hill Historic District. The two-story structure features primary hipped roof flanked by a front-facing gable with Folk Victorian gable brackets, and a centered covered porch with Folk Victorian turned columns with spindle brackets.
- b. REAR ACCESSORY STRUCTURE – The applicant has proposed to install a 24' by 24' rear accessory structure with a concrete foundation, a 16' wide garage door, 9 transom windows and 4' x 3' sliding window, composition single roofing material, and T1-11 panel siding with SilverTech protective coating.
- c. MASSING AND FORM – The proposed accessory structure features a primary gable form with 24' in width, 24' in depth, and a maximum height of 12'. Per the Guidelines for New Construction 5.A.i., applicants should design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form. Staff finds the proposed massing and form is consistent with the Guidelines.
- d. BUILDING SIZE – The proposed accessory structure features a footprint of 567 square feet. Per the Guidelines for New Construction 5.A.ii., new outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint. Staff finds the proposed footprint is consistent with Guidelines.
- e. CHARACTER – The proposed accessory structure features a concrete foundation, a 16' wide garage door, 9 transom windows and 4' x 3' sliding window, composition single roofing material, and T1-11 panel siding with SilverTech protective coating. Per the Guidelines for New Construction 5.A.iii., applicants should relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details. Staff finds that the architectural details of the T1-11 siding profile with faux wood grain does not relate to historic character of the primary structure and should be avoided. Staff finds a board-and-batten siding profile with 10-inch width constructed with wood or smooth Hardie more appropriate.
- f. WINDOWS AND DOORS – The proposed accessory structure features 9 transom windows and 4' x 3' sliding window, and a traditional six-panel door. Per the Guidelines for New Construction 5.A.iv., applicants should design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principal historic structure in terms of their spacing and proportions. Staff finds that the sliding window and transom windows do not relate to the historic structure and should instead feature one-over-one sash windows. Additionally, final window products should adhere to the *Standard Specifications for Windows in New Construction* and should be submitted to staff prior to purchase and installation.
- g. GARAGE DOOR – The proposed accessory structure features a single 16' wide garage door. Per the

Guidelines for New Construction 5.B.v., applicants should incorporate garage doors with similar proportions and materials as those traditionally found in the district. Staff finds that the garage door should be separated into two garage bays between 8-10 feet each and feature wood material in a traditional panel design. ‘

- h. **ORIENTATION AND SETBACK** – The proposed accessory structure will be located in the southeast corner of the rear yard with a 10-foot setback from the alley and a 5-foot setback from the neighboring property line. Staff finds that the proposed orientation and setback is consistent with Guidelines for New Construction 5.B.i and ii. The applicant is responsible for meeting all setback requirements to obtain a permit.

RECOMMENDATION:

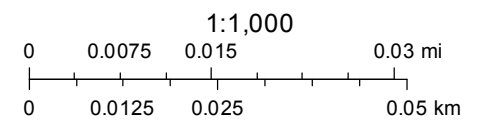
Staff recommends approval based on the findings with the following stipulations:

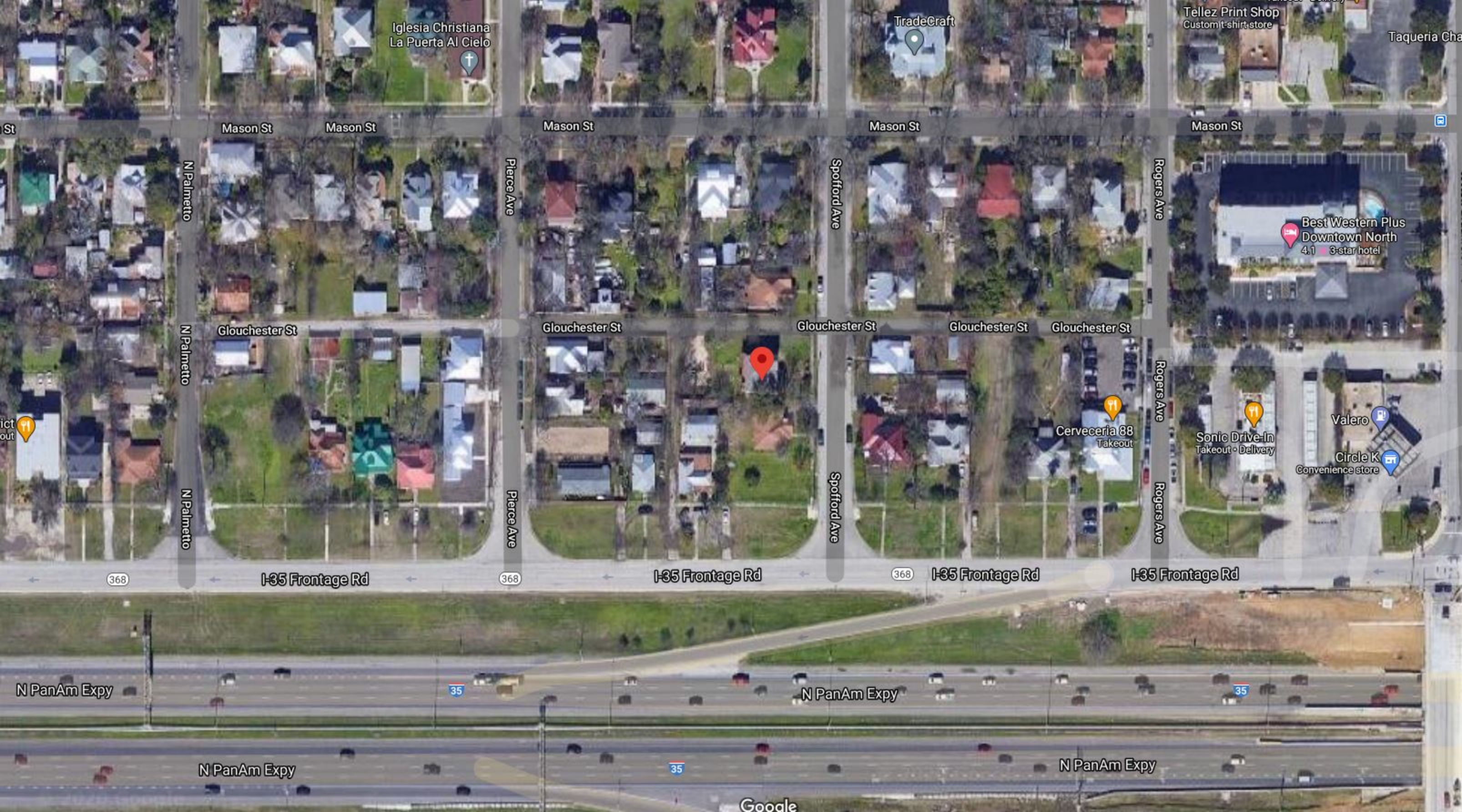
- i. That the structure features a board-and-batten siding profile with 10-inch width constructed with wood or smooth Hardie plank.
FENESTRATION– That the structure features one-over-one sash windows instead of the proposed sliding and transom windows
- ii. **WINDOW PRODUCT** – That the final window products should adhere to the *Standard Specifications for Windows in New Construction* and should be submitted to staff prior to purchase and installation.
- iii. **GARAGE DOOR** - That the garage door should be separated into two garage bays between 8-10 feet each and feature wood material in a traditional panel design.

315 Spofford



November 24, 2020





Iglesia Christiana
La Puerta Al Cielo

TradeCraft

Tellez Print Shop
Custom t-shirt store

Taqueria Cha

Mason St

Mason St

Mason St

Mason St

Mason St

N Palmetto

Pierce Ave

Spofford Ave

Rogers Ave

Gloucester St

Gloucester St

Gloucester St

Gloucester St

Gloucester St

N Palmetto

Pierce Ave

Spofford Ave

Rogers Ave

N Palmetto

Pierce Ave

Spofford Ave

Rogers Ave

368

I-35 Frontage Rd

368

I-35 Frontage Rd

368

I-35 Frontage Rd

I-35 Frontage Rd

N PanAm Expy

35

N PanAm Expy

35

N PanAm Expy

35

N PanAm Expy

Google

185

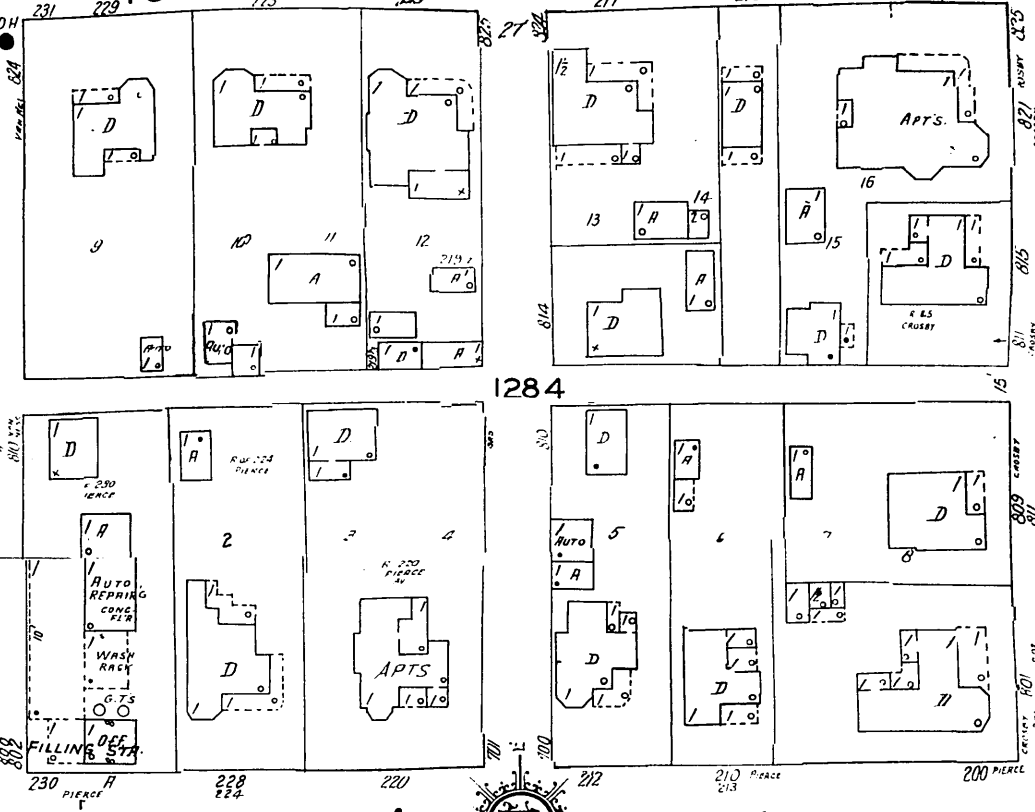
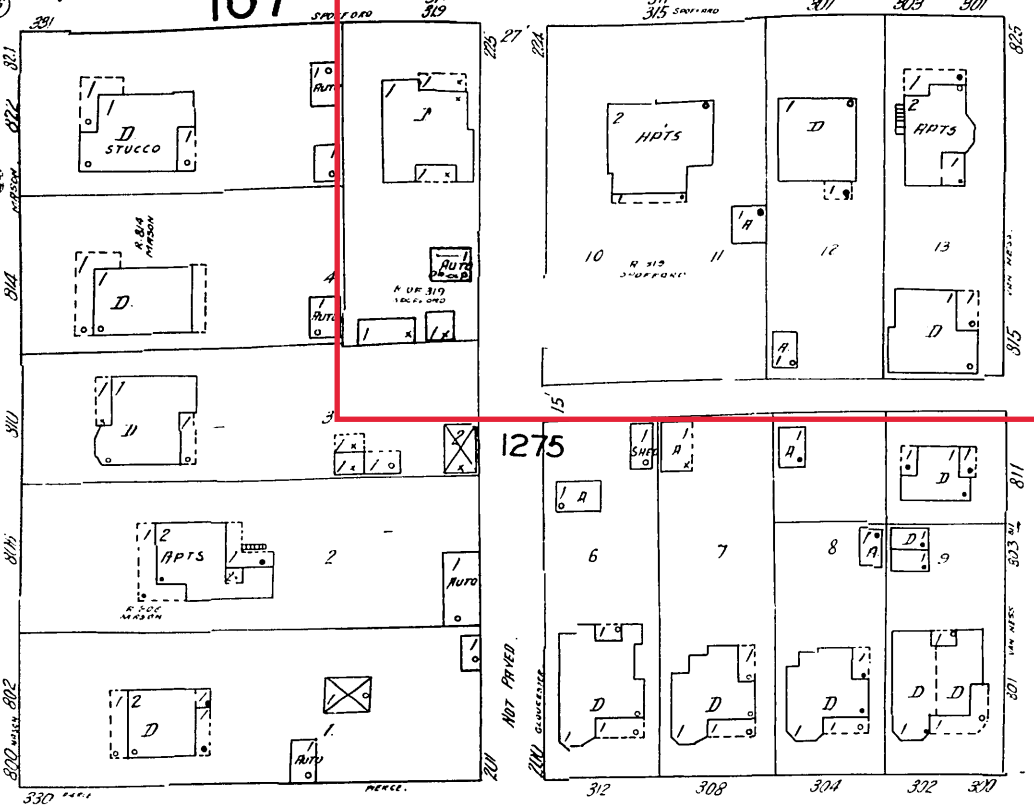
TEX.

187

SPOFFORD

AV. 188

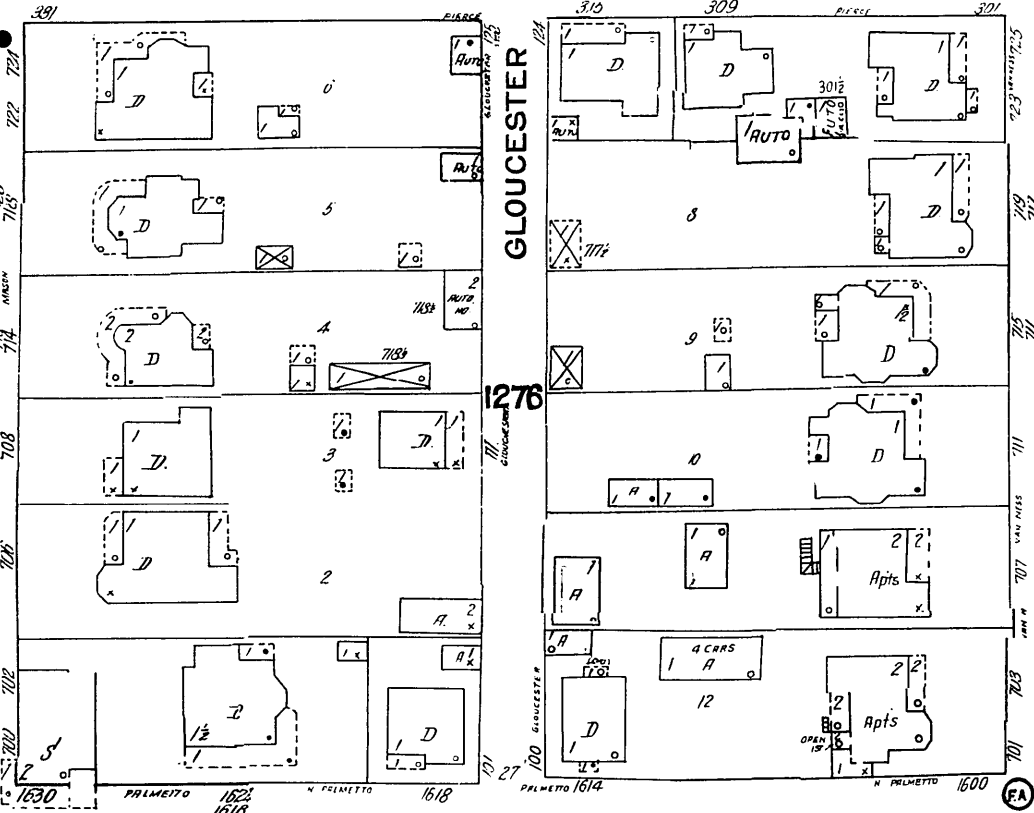
GRAVELLED



182

PIERCE

AV.





368

Spofford Ave

Spofford Ave

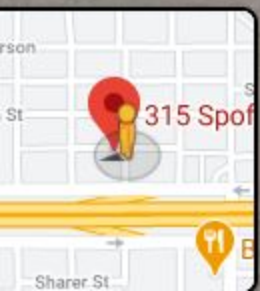
Gloucester St

Gloucester St

Spofford Ave

Google





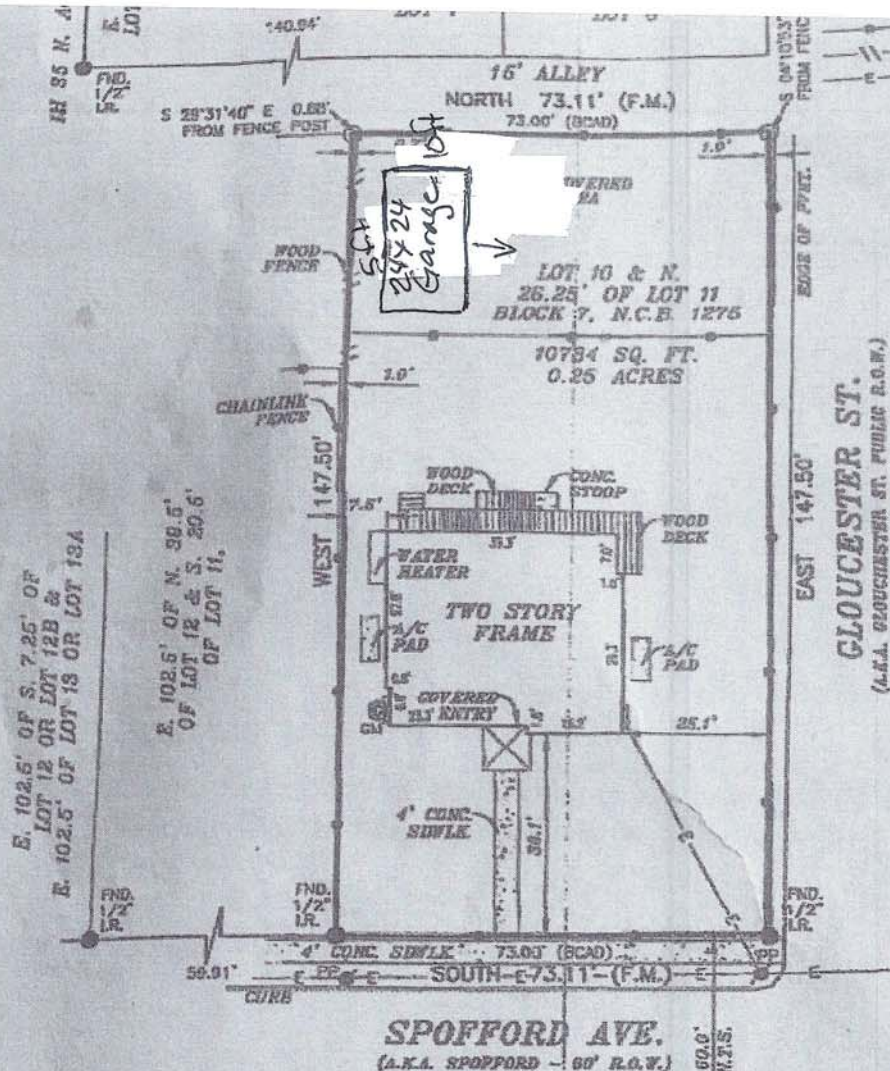












- WOOD FENCE
- OVERHEAD ELECTRIC
- POINT OF REFERENCE
- FOUND IRON ROD
- GAS METER
- POWER POLE
- BEXAR COUNTY APPRAISAL
- DISTRICT
- (F.M.) FIELD MEASURED

GLoucester ST.
(A.K.A. GLOUCESTER ST. PUBLIC R.O.W.)

SPOFFORD AVE.
(A.K.A. SPOFFORD - 60' R.O.W.)

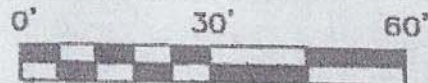
N. 47' OF LOT 9
& LOT 10
BLOCK 6, N.C.B. 1274

SURVEYOR'S NOTE:
THE BEARING SHOWN HERE ARE ASSUMED. THIS REPRESENTATION IS SURVEYOR'S BEST INTERPRETATION OF RECORD INFORMATION.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 48029C-0405 G, effective date of SEPTEMBER 29, 2010. Exact designations can only be determined by a Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

The survey is hereby accepted with the exceptions, omissions, or changes to area or boundary lines, encroachments, projections, or overlapping of improvements shown.

GRAPHIC SCALE



I, **ROY JOHN RONNFELDT**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **ALAMO TITEL COMPANY**

and that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown herein or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown herein and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 663.18).

Borrower/Owner: **MANUEL VASQUEZ**
Address: **315 SPOFFORD AVE.** GF No. **4903001853**

Legal Description of the Land:
Lot 10 and the North 26.25 feet of Lot 11, Block 7, New City Block 1275, in the City of San Antonio, Bexar County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN:

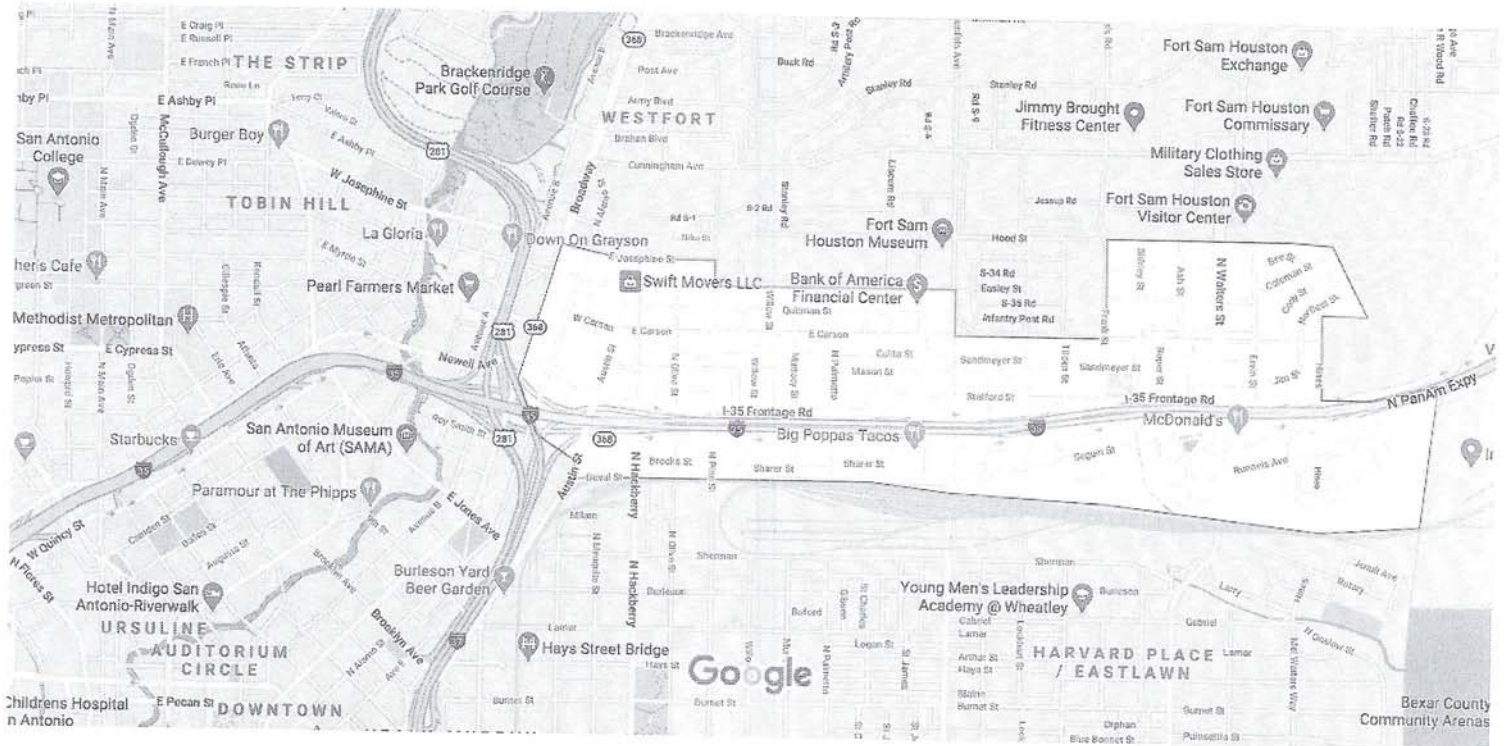
PROPERTY PHOTOGRAPH:

FINAL "AS-BUILT" SURVEY

JOB NO.:	1301013274	NO.	REVISION	DATE
DATE:	01/15/13			
DRAWN BY:	MN/SD			
APPROVED BY:	RJR			



Google Maps Government Hill



Map data ©2020 Google 1000 ft



Government Hill

San Antonio, TX



Directions



Save



Nearby

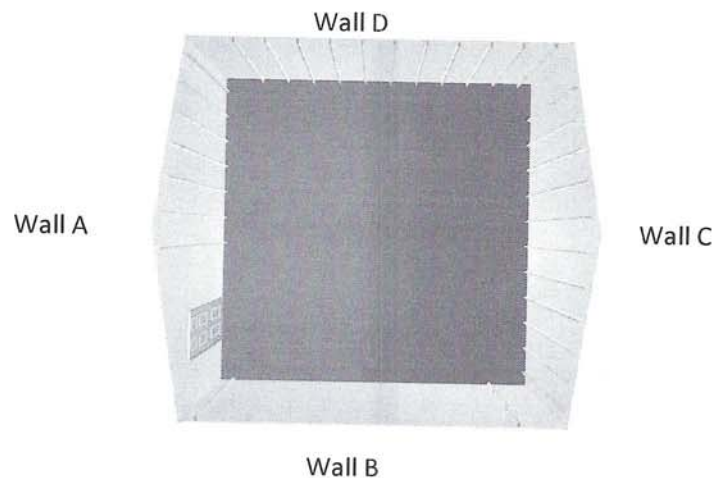
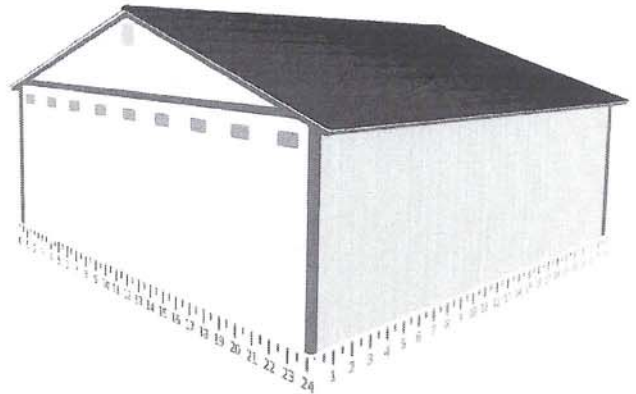
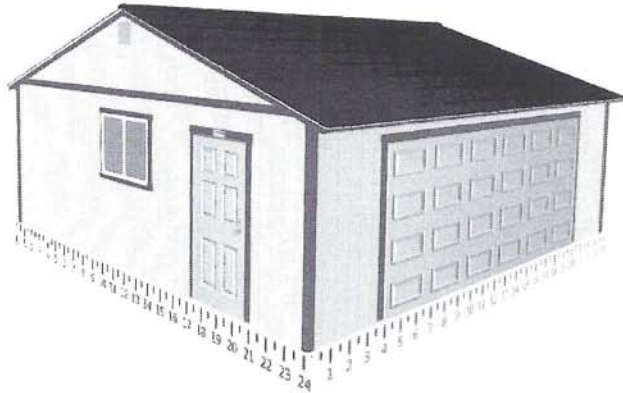


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Share

Photos



Base Details

Building Size & Style

Premier Ranch Garage - 24' wide by 24' long

Door

6-Panel Residential Door (Left Hand Inswing),

Door

Overhead Garage Door (16' x 7'),

Paint Selection

Base: Delicate White, Trim: Black Magic

Roof Selection

Charcoal 3 Tab

Drip Edge

White

Options Details

Windows

4'x3' Insulated Horizontal Sliding Window

Transoms

9 Ea Transom Window (16"x8")

Roof

24 Lin Ft Ridge Vent

Vents

2 Ea 12"x12"Gable End Vent, White

Jobsite/Installer Details

Do you plan to insulate this building after Tuff Shed installs it?

No

Is there a power outlet within 100 feet of installation location?

Yes

The building location must be level to properly install the building. How level is the install location?

Slab provided by customer will be within 1/2" tolerance on square, level, exterior dimensions to match the building size (per customer agreement).

Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

Substrate Shed will be installed on?

Concrete without Shed Floor

Signature: _____ Date: _____

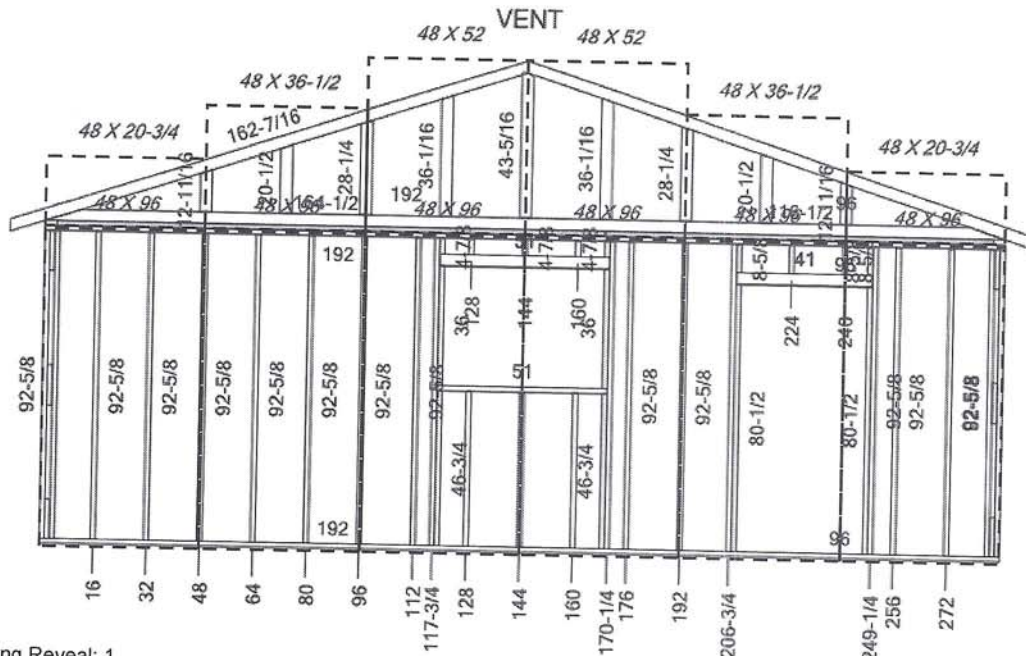


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Premier Ranch Garage
 24' X 24'
 Roof Pitch: 4/12
 Customer: Hank Cordova

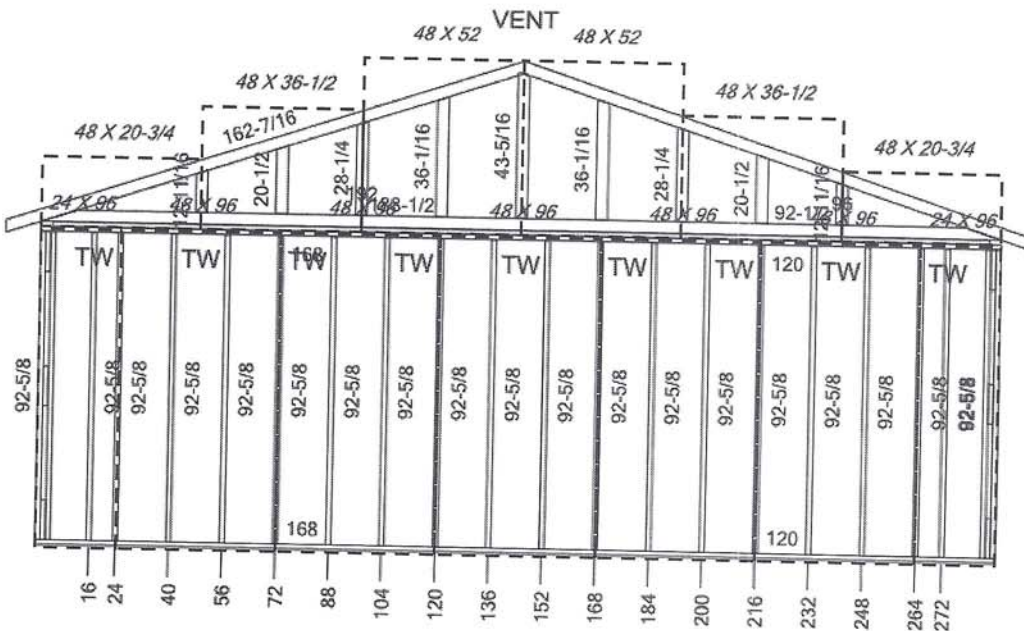
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GABLE END BLOCK DETAILS
 HEAL CUT: 1-1/16"
 ANGLE: 18°
USE TRUSS ENGINEERING FOR GABLE FRAMING MEASUREMENTS



Siding Reveal: 1

GABLE END BLOCK DETAILS
 HEAL CUT: 1-1/16"
 ANGLE: 18°
USE TRUSS ENGINEERING FOR GABLE FRAMING MEASUREMENTS



Siding Reveal: 1

WALL A

DIMENSIONS IN INCHES

Bottom Plate Length: 288

Lumber

Stock	Cut
2x4 x 16' Gnd Cont Treated	(1) 192 X 0°
2x4 x 8' Gnd Cont Treated	(1) 96 X 0°
2x4 x 16'	(1) 192 X 0°
2x4 x 8'	(1) 96 X 0°
2x4 x 14'	(1) 164-1/2 X 0°
2x4 x 10'	(1) 116-1/2 X 0°
2x4 x 92 5/8"	(19) 92-5/8 X 0°
2x4 x 87 3/4"	(2) 80-1/2 X 0°
2x4 x 8'	(5) 46-3/4 X 0°
2x4 x 8'	(2) 36 X 0°
2x4 x 8'	(2) 41 X 0°
2x4 x 8'	(3) 51 X 0°
2x4 x 16'	(1) 192 X 0°
2x4 x 8'	(1) 96 X 72°
2x4 x 14'	(2) 162-7/16 X 18° //
2x4 x 8'	(4) 8-5/8 X 0°
2x4 x 8'	(5) 4-7/8 X 0°
2x4 x 8'	(2) 12-11/16 X 18°
2x4 x 8'	(2) 28-1/4 X 18°
2x4 x 8'	(1) 43-5/16 X 18°
2x4 x 8'	(2) 20-1/2 X 18°
2x4 x 8'	(2) 36-1/16 X 18°
2x4 x 8'	(6) 12 X 0°

Siding

Stock	Cut
SilverTech 4x8'	(6) 96 X 48
4' X 4' SilverTech	(2) 20-3/4 X 48
4' X 4' SilverTech	(2) 36-1/2 X 48

WALL C

DIMENSIONS IN INCHES

Bottom Plate Length: 288

Lumber

Stock	Cut
2x4 x 14' Gnd Cont Treated	(1) 168 X 0°
2x4 x 10' Gnd Cont Treated	(1) 120 X 0°
2x4 x 14'	(1) 168 X 0°
2x4 x 10'	(1) 120 X 0°
2x4 x 16'	(1) 188-1/2 X 0°
2x4 x 92 5/8"	(1) 92-1/2 X 0°
2x4 x 92 5/8"	(22) 92-5/8 X 0°
2x4 x 16'	(1) 192 X 0°
2x4 x 8'	(1) 96 X 72°
2x4 x 14'	(2) 162-7/16 X 18° //
2x4 x 63 3/4"	(2) 12-11/16 X 18°
2x4 x 63 3/4"	(2) 28-1/4 X 18°
2x4 x 63 3/4"	(1) 43-5/16 X 18°
2x4 x 63 3/4"	(2) 20-1/2 X 18°
2x4 x 63 3/4"	(2) 36-1/16 X 18°
2x4 x 63 3/4"	(6) 12 X 0°

Siding

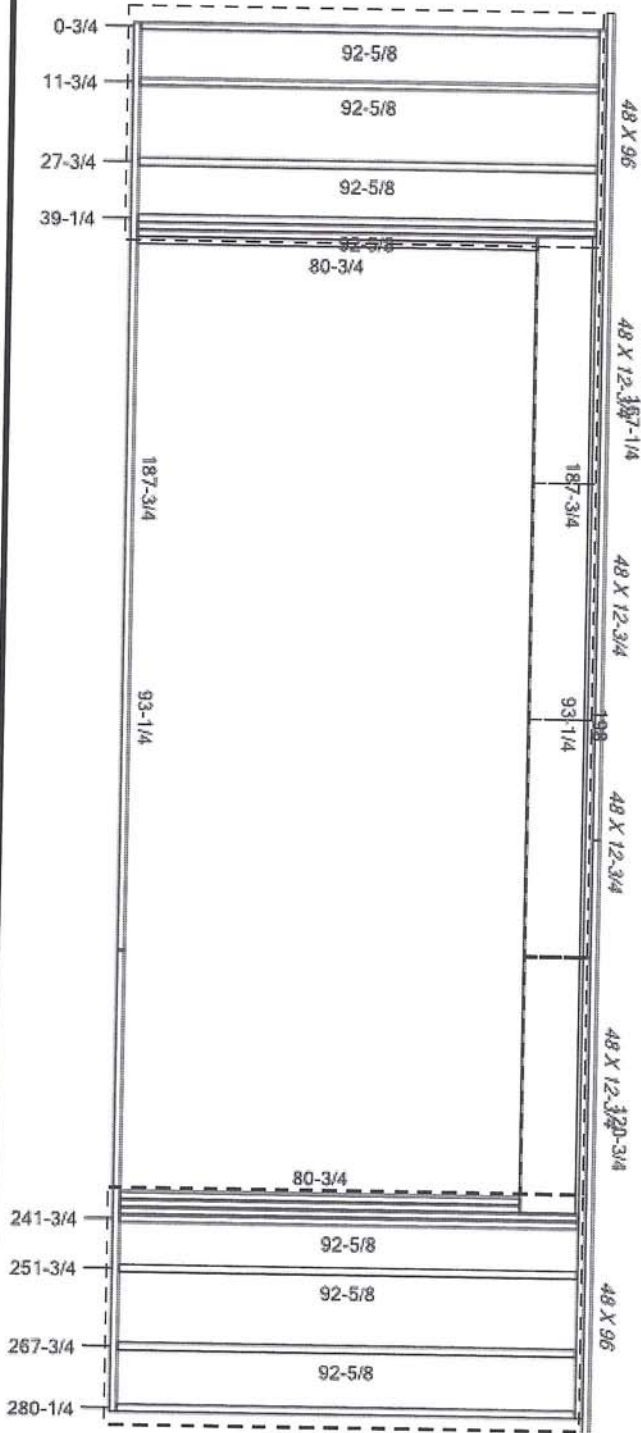
Stock	Cut
SilverTech 4x8'	(2) 96 X 24
SilverTech 4x8'	(5) 96 X 48
4' X 4' SilverTech	(2) 20-3/4 X 48
4' X 4' SilverTech	(2) 36-1/2 X 48
SilverTech 4x7'	(2) 52 X 48



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Premier Ranch Garage
24' X 24'
Roof Pitch: 4/12
Customer: Hank Cordova

Drawn By: KBMax
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WALL B

DIMENSIONS IN INCHES

Bottom Plate Length:

Lumber

Stock	Cut
2x4 x 16' Gnd Cont Treated	(1) 187-3/4 X 0°
2x4 x 8' Gnd Cont Treated	(1) 93-1/4 X 0°
2x4 x 16'	(1) 187-3/4 X 0°
2x4 x 8'	(1) 93-1/4 X 0°
2x4 x 14'	(1) 167-1/4 X 0°
2x4 x 12'	(1) 120-3/4 X 0°
2x4 x 92 5/8"	(10) 92-5/8 X 0°
2x4 x 87 3/4"	(4) 80-3/4 X 0°
2x12 x 18'	(2) 198 X 0°

Siding

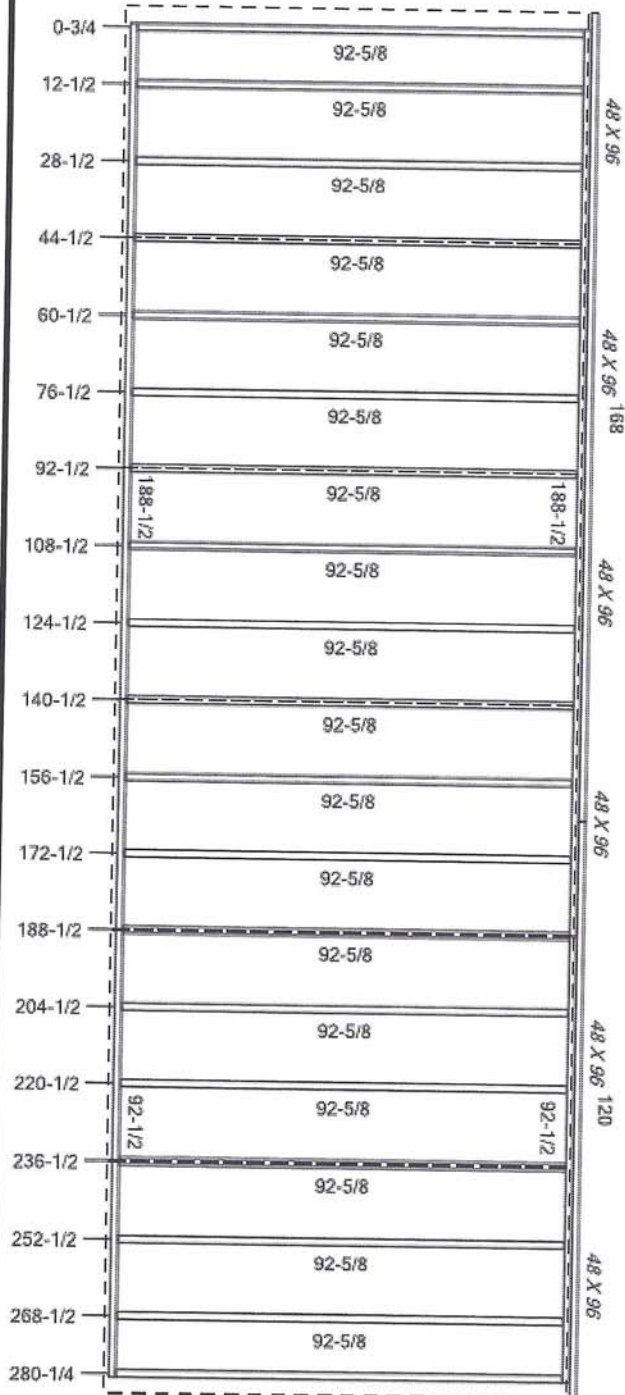
Stock	Cut
SilverTech 4x8'	(2) 96 X 48
4' X 4' SilverTech	(4) 12-3/4 X 48
7/16" OSB 4X8	(1) 198 X 11-1/4



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Premier Ranch Garage

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Siding Reveal: 1

WALL D

DIMENSIONS IN INCHES

Bottom Plate Length:

Lumber

Stock	Cut
2x4 x 16' Gnd Cont	(1) 188-1/2 X 0°
Treated	
2x4 x 8' Gnd Cont	(1) 92-1/2 X 0°
Treated	
2x4 x 16'	(1) 188-1/2 X 0°
2x4 x 92 5/8"	(1) 92-1/2 X 0°
2x4 x 14'	(1) 168 X 0°
2x4 x 10'	(1) 120 X 0°
2x4 x 92 5/8"	(19) 92-5/8 X 0°

Siding

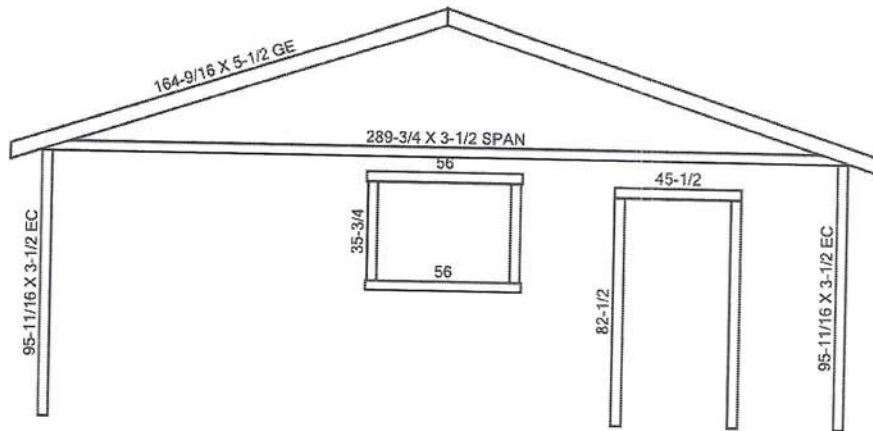
Stock	Cut
SilverTech 4x8'	(6) 96 X 48



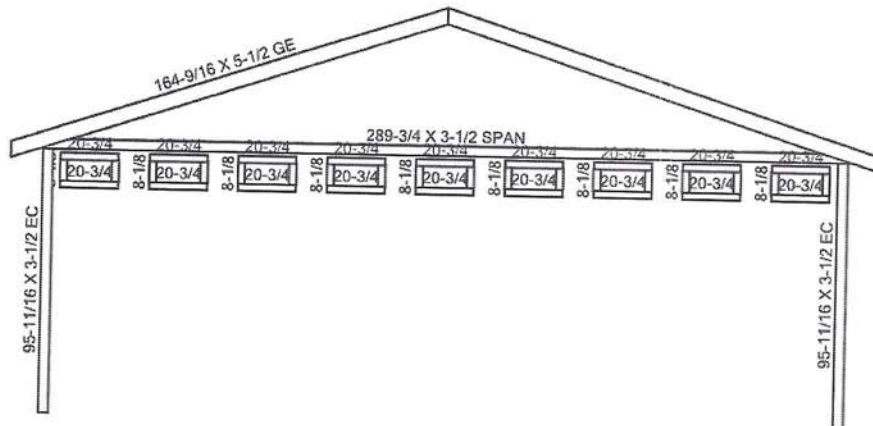
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Roof Pitch: 4/12
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Wall A



Wall C

WALLS A & C

DIMENSIONS IN INCHES

Paint Color: Black Magic

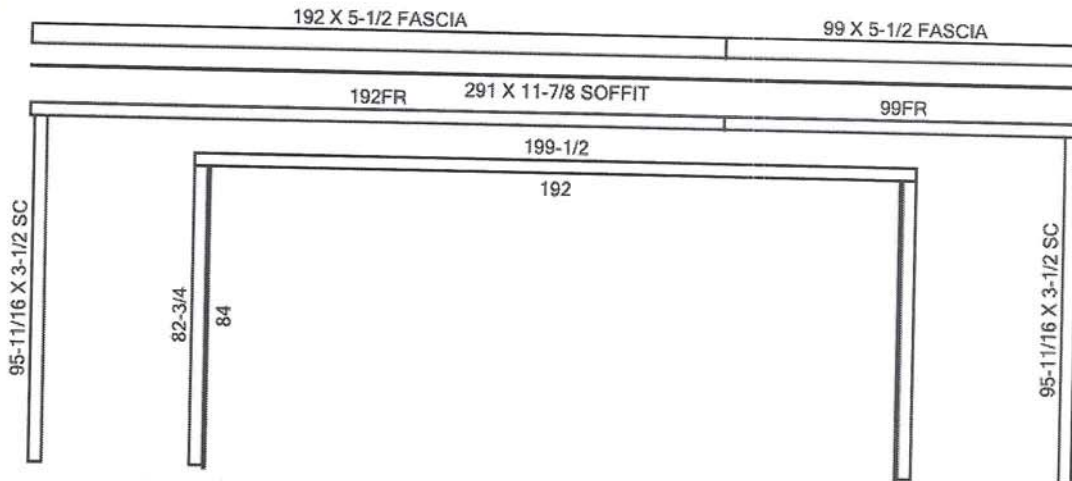
Stock	Lumber	Cut
4" smart-trim	(4) 95-11/16 X 0°	
4" smart-trim	(2) 289-3/4 X 0°	
4" smart-trim	(2) 82-1/2 X 0°	
4" smart-trim	(1) 45-1/2 X 0°	
4" smart-trim	(2) 35-3/4 X 0°	
4" smart-trim	(2) 56 X 0°	
6" smart-trim	(4) 164-9/16 X 18° //	
3" smart-trim	(18) 8-1/8 X 0°	
3" smart-trim	(18) 20-3/4 X 0°	



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Wall B

95-11/16 X 3-1/2 SC

95-11/16 X 3-1/2 SC

Wall D

WALLS B & D
DIMENSIONS IN INCHES

Paint Color:

Lumber

Stock

Cut

4" smart-trim	(4) 95-11/16 X 0°
4" smart-trim	(2) 192 X 0°
4" smart-trim	(2) 99 X 0°
6" smart-trim	(3) 192 X 0°
6" smart-trim	(2) 99 X 0°
No-groove smartside 4 x 74"	(2) 291 X 11-7/8 X 0°
4" smart-trim	(2) 82-3/4 X 0°
4" smart-trim	(1) 199-1/2 X 0°
6" smart-trim	(2) 84 X 0°



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Premier Ranch Garage
24' X 24'
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Customer: Hank Cordova

Drawn By: KBMax
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Floor: null 24 X 24
Joist Matl: No Floor
Joist Spacing (in):

Roof: Silvercrest
Area (sq ft): 655
Truss Spacing (in): 24

No Floor

32-3/4 X 48	32-3/4 X 96	32-3/4 X 96	48 X 48	48 X 96	48 X 48	48 X 96	32-3/4 X 48	32-3/4 X 96
32-3/4 X 96	32-3/4 X 96	32-3/4 X 96	48 X 96	48 X 96	48 X 96	48 X 96	32-3/4 X 96	32-3/4 X 96
32-3/4 X 96	32-3/4 X 96	32-3/4 X 96	48 X 96	48 X 96	48 X 96	48 X 96	32-3/4 X 96	32-3/4 X 96
32-3/4 X 48	32-3/4 X 96	32-3/4 X 96	48 X 48	48 X 96	48 X 48	48 X 96	32-3/4 X 48	32-3/4 X 96

OPTIONS

SHELVING = NONE

LOFT = N/A

WORKBENCH = NONE

PEG BOARD =

Cut Size

Qty



38 Series Application As 4 ft. x 8 ft. Cedar Texture Panel with SilverTech 8 in. OC Siding

by **LP SmartSide** > [Shop the Collection](#) >

★★★★★ (4) > [Write a Review](#) [Questions & Answers \(8\)](#)

\$39⁹⁸

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How to Get It



Store Pickup

Available
(5.1 mi)

FREE



Ship to Home

Not available for this
item



Scheduled Delivery

As soon as
Tomorrow

\$79.00

Not in stock at Cambray

2 in stock at **N San Antonio** (5.1 mi away)

[Curbside pickup available.](#)

[Check Nearby Store](#)



This item may not be available for pickup until **tomorrow**.