

HISTORIC AND DESIGN REVIEW COMMISSION

December 02, 2020

HDRC CASE NO: 2020-522
ADDRESS: 230 ADAMS ST
LEGAL DESCRIPTION: NCB 943 BLK 1 LOT SW 100 FT OF 16
ZONING: RM-4 CD, H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
APPLICANT: Esteban Lopez
OWNER: Esteban Lopez
TYPE OF WORK: Historic Tax Certification
APPLICATION RECEIVED: November 19, 2020
60-DAY REVIEW: Not Applicable Due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Certification for the property at 230 Adams.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The primary structure located at 230 Adams was constructed circa 1895, and first appears on the 1896 Sanborn Map. The structure was originally constructed as a 1-story, single-family residence with a wraparound porch. The structure existing in this form until circa 1950, when a second floor was added, and the original structure and wraparound porch was removed. The home is contributing to the King William Historic District. The applicant is requesting Historic Tax Certification.
- b. CASE HISTORY – The property at 230 Adams was issued a Stop Work Order in February 2020 for window removal and exterior scopes of work that were started prior to receiving OHP approval. Following the Stop Work Order, the owner and contractor cooperated with OHP staff to bring the property into compliance. Work done prior to approval or work performed that does not comply with the Historic Design Guidelines may result in disqualification from the Substantial Rehabilitation Tax Incentive program. All applicable permits, including interior permits, must be pulled from the Development Services Department and all exterior work must be approved by OHP and issued a Certificate of Appropriateness in order for a Historic Tax Verification application (Part 2) to be successfully processed.
- c. The scope of work includes exterior painting, fence installation, foundation repair, landscaping improvements, exterior siding restoration, window and door repair, roof replacement, and porch restoration.
- d. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

RECOMMENDATION:

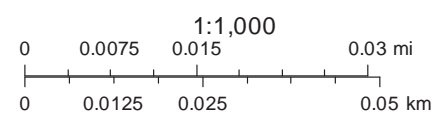
Staff recommends approval based on findings a through d.

City of San Antonio One Stop

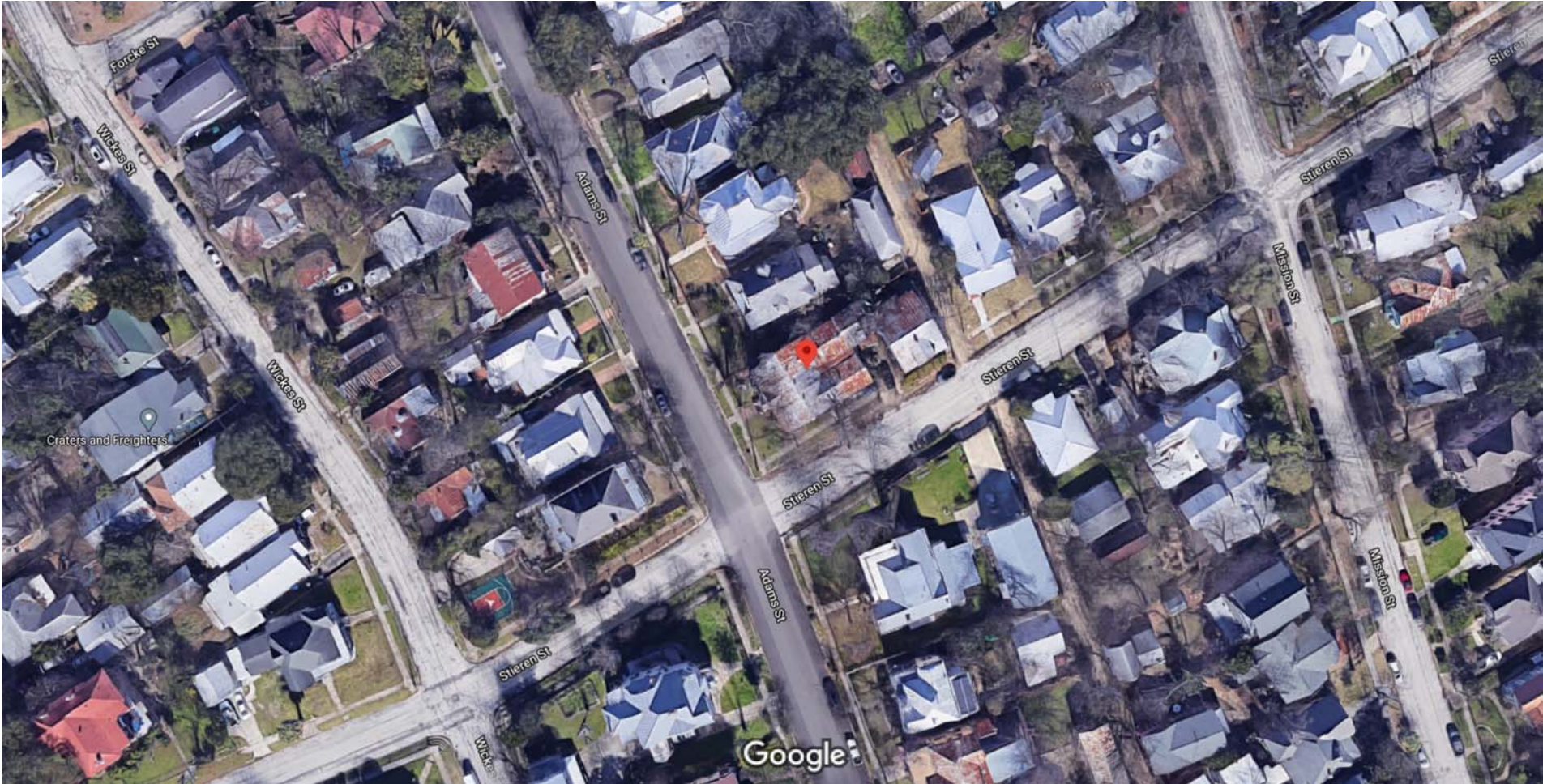


November 18, 2020

— User drawn lines

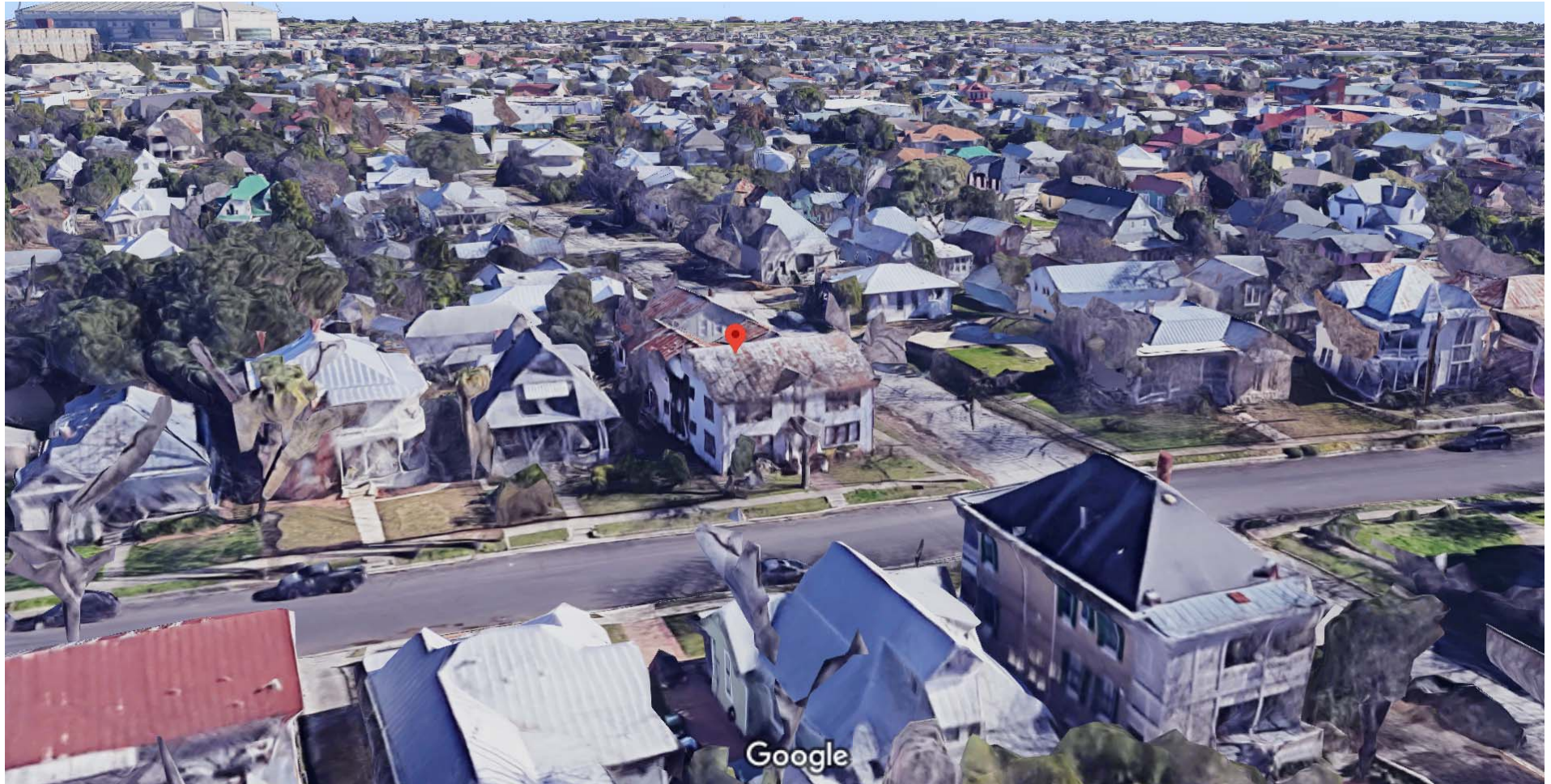


Google Maps 230 Adams St



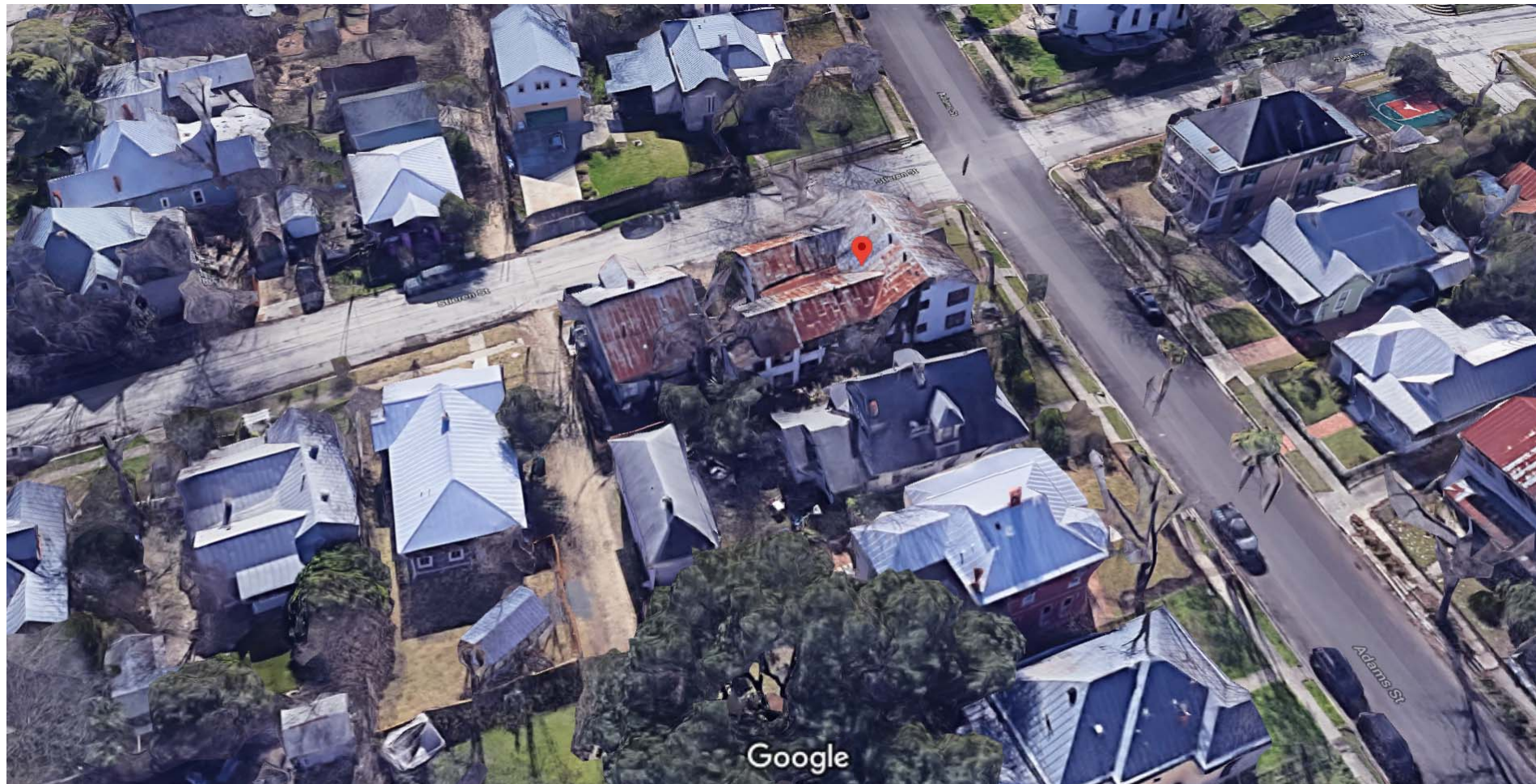
Imagery ©2020 Google, Map data ©2020 50 ft

Google Maps 230 Adams St



Imagery ©2020 Google, Landsat / Copernicus, Data SIO, NOAA, U.S. Navy, NGA, GEBCO, Data LDEO-Columbia, NSF, NOAA, Map data ©2020 20 ft

Google Maps 230 Adams St



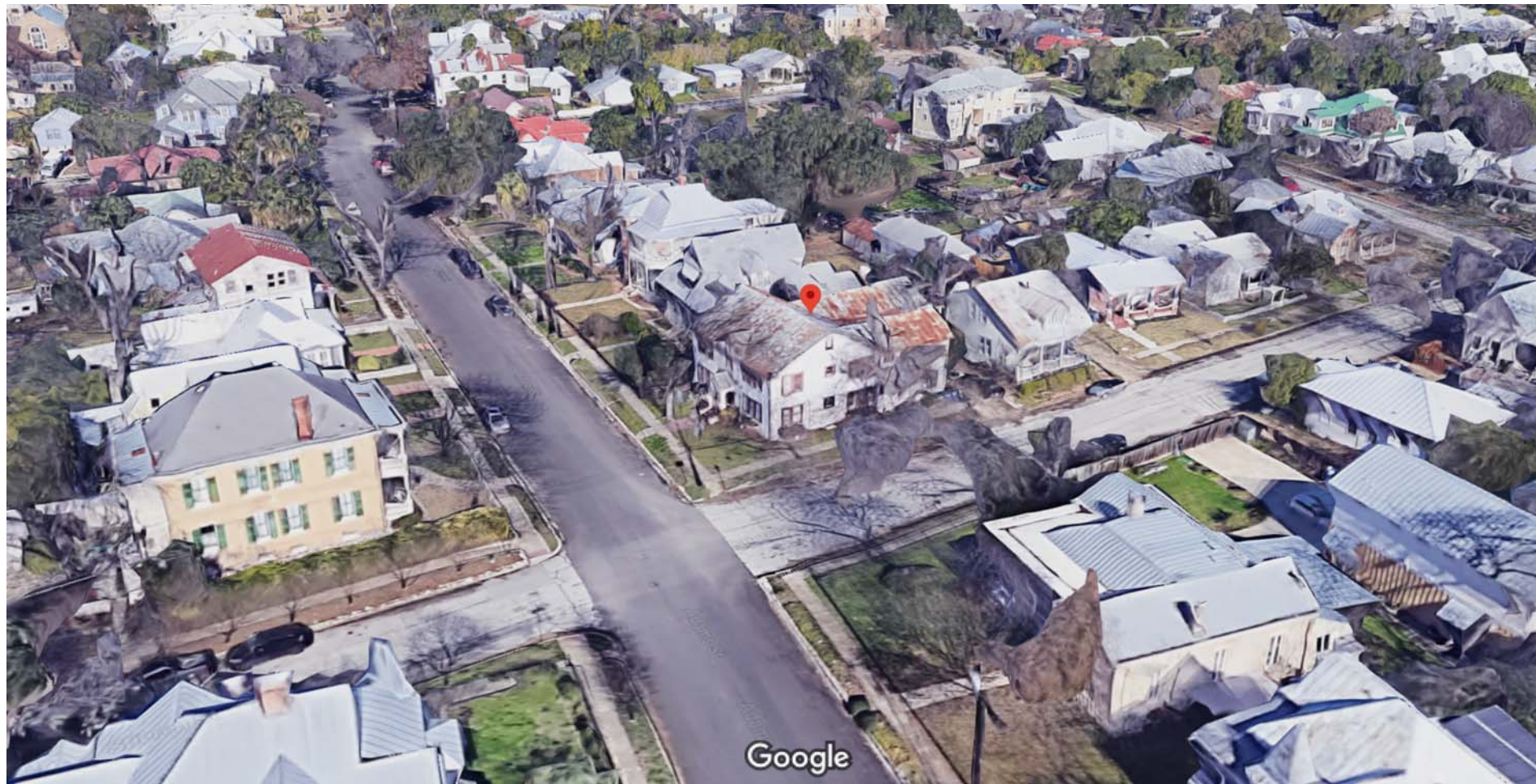
Imagery ©2020 Google, Map data ©2020 20 ft

Google Maps 230 Adams St



Imagery ©2020 Google, Map data ©2020 20 ft

Google Maps 230 Adams St



Imagery ©2020 Google, Map data ©2020 20 ft

BUILD MODERN, LLC

11618 Jones Maltsberger Rd.
San Antonio, TX 78216

David@BuildModern.com
Genevie@BuildModern.com

29 June 2018

Historic and Design Review Commission

Adams Rehab

230 Adams St.
San Antonio, Texas 78210

Re: Adams Rehab – Project Narrative

Dear Historic and Design Review Commission,

The owner of the property located at 230 Adams St. in San Antonio, Texas 78210 has hired the design/build company Build Modern, LLC to undergo a rehabilitation on the exterior and interior of the structure.

The project intent is to keep the original features of the existing structure and update where is needed. Below are the proposed items to undergo rehabilitation.

#1 Replacing Windows

West Elevation

All windows will be replaced with a double hung wood window with insulated glass. The existing framing and window openings will remain the same. Please see sheet A2.01 and A4.02 for the window schedule.

#2 Porches

South and West Elevation

We are proposing to open up the existing porches on the south and west elevation by removing the existing stucco material. We are also proposing to add a brick base to the columns and exposing a new cedar post at the top portion of the columns. Please see sheet A4.02 that shows a colored image as well as exterior elevations. All dimensions will remain the same.

#3 New Fence

South and West Elevation

We are proposing to install a new black metal 4'-0" fence at the south and west elevation. Please see sheet A2.01 that has notes indicating the location and length of the fence.

#4 Small Addition To Rear of Building

Southeast Elevation

We are proposing to remove the existing porch at the southeast elevation of the building and rebuild a new enclosed structure. The exterior material and roof will match the existing structure. We have included 2 new windows that face the south elevation. We used a window size that matches the existing 2'-8" W x 3'-0" H window. The foundation will be pier and beam to match the existing structure.

Please contact me if you have any questions.

Sincerely,

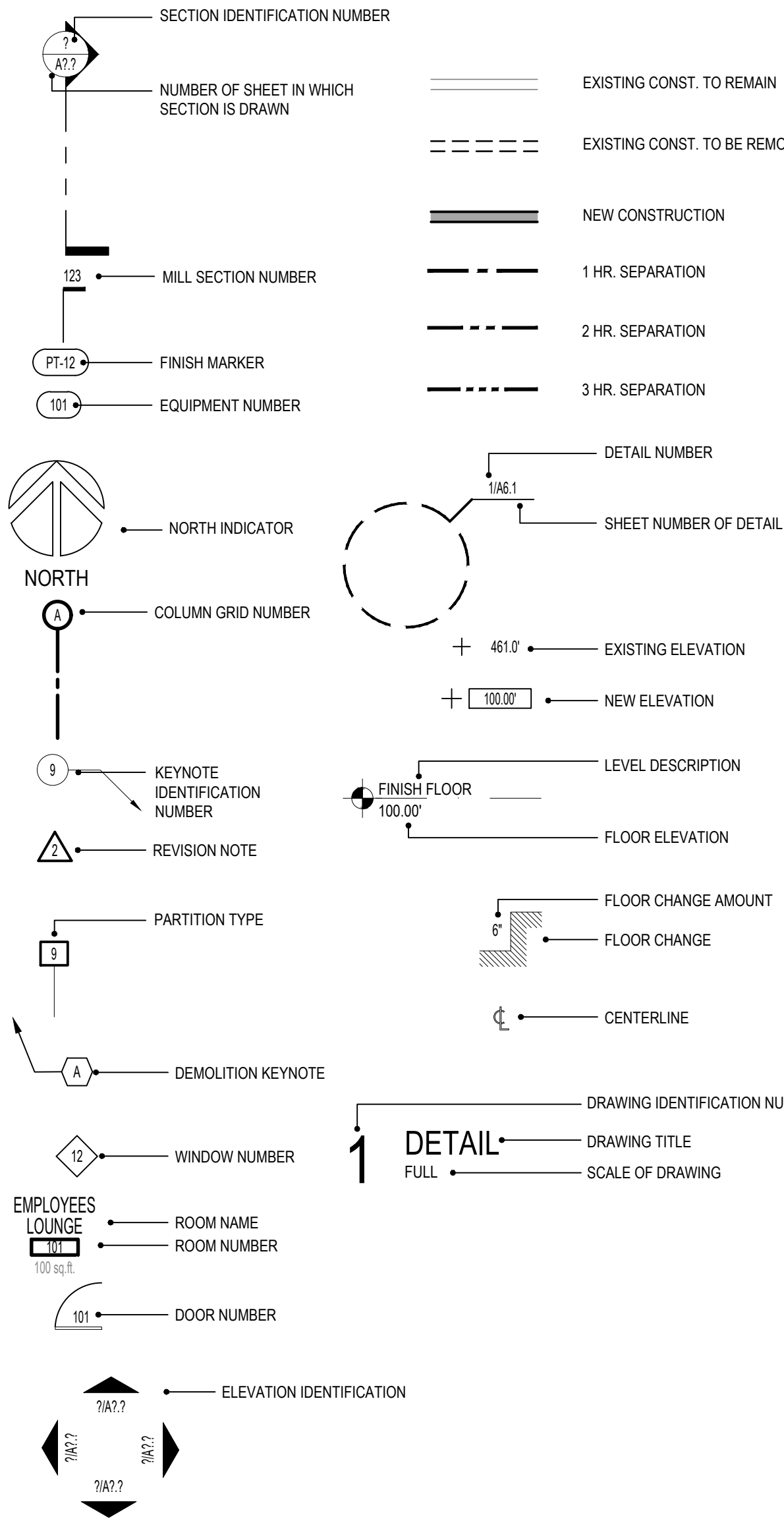
A handwritten signature in black ink that reads "Genevieve Ramirez". The script is cursive and fluid, with the first name and last name clearly legible.

Genevieve Ramirez
Authorized Agent for Owner
210-421-8890
Genevieve@BuildModern.com

GENERAL NOTES

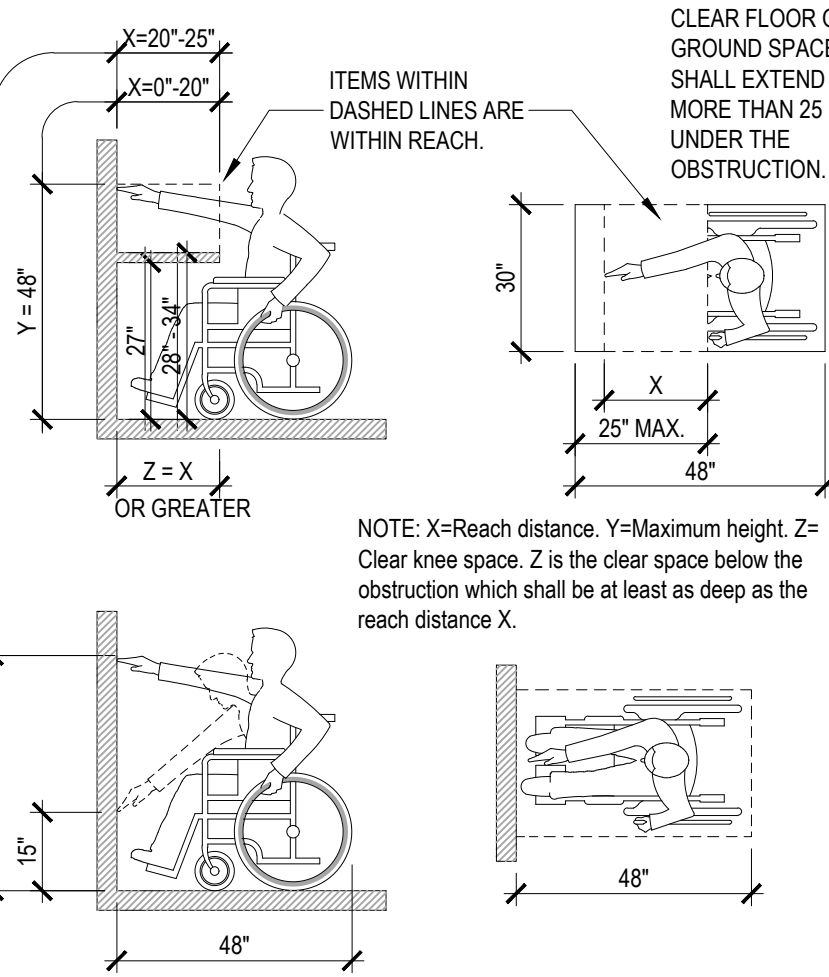
1. CONTRACTOR IS TO EXECUTE ALL DETAILS UTILIZED IN THIS PROJECT. IF IT IS NOT CLEAR WHERE A SPECIFIC DETAIL IS TO BE UTILIZED, SEND RFI TO ARCHITECT FOR CLARIFICATION.
2. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK, SUPPLY ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH LOCAL AND NATIONAL GOVERNING CODES.
3. THE GENERAL CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, REPORTING ANY DISCREPANCIES, IN WRITING, TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF CONSTRUCTION. THIS IS THE SAME FOR LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS UNDER WHICH THE CONTRACTOR WILL BE OBLIGATED TO OPERATE. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED BY THE OWNER.
4. DIMENSIONS ARE TYPICALLY TO A FINISHED SURFACE OR TO AN ASSEMBLY, FIXTURE, CENTERLINE, ETC. REPORT ALL DISCREPANCIES IN DIMENSIONS IN WRITING TO THE ARCHITECT PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. WORK SHALL BE TRUE AND LEVEL AS INDICATED. ALL WORK SHALL RESULT IN AN ORDERLY AND WORKMAN-LIKE APPEARANCE. WHERE FIGURES OR DIMENSIONS HAVE BEEN OMITTED FROM THE DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL IMMEDIATELY REQUEST DIMENSIONS IN WRITING FROM THE ARCHITECT.
5. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY LIGHT, TELEPHONE, FAXING, CLEAN-UP SERVICE, AND TOILETS. ALL TEMPORARY WORK IS TO BE REMOVED PRIOR TO COMPLETION.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE OTHER TRADES INCLUDING WORK NOT IN CONTRACT.
7. THE GENERAL CONTRACTOR IS TO FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
8. THE GENERAL CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS INCLUDING ADDENDA, FIELD SKETCHES, CLARIFICATIONS AND SUPPLEMENTS AVAILABLE AT THE JOB SITE AT ALL TIMES.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS NECESSARY FOR COMPLETION OF WORK AND FOR PROTECTION OF WORKERS, VISITORS AND THE PUBLIC.
10. THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE BARRICADES AS PER LOCAL BUILDING CODES AND ORDINANCES TO ENSURE THE SAFETY OF PERSONS AND PROPERTY ON THE SITE OCCUPIED BY THE OWNER AND IN THE ADJACENT PUBLIC RIGHT OF WAY.
11. CARBON MONOXIDE EMISSIONS ARE PROHIBITED FROM ALL INTERIOR WORK. IF FUME HAZARDS OCCUR, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MONITORING AND TESTING OF AFFECTED AREAS.
12. THE GENERAL CONTRACTOR IS TO REPAIR, REPLACE, PATCH AND MATCH ANY MATERIALS, AREAS OR SYSTEMS AS REQUIRED AND CALLED FOR TO ENSURE PROPER INSTALLATION AND NEAT APPEARANCE OF THE WORK.
13. SPECIFIED ITEMS HAVE BEEN SELECTED BECAUSE THEY REFLECT THE STANDARDS OF QUALITY DESIRED, OR POSSESS FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT. THE ARCHITECT, THEREFORE, RESERVES THE RIGHT TO REQUIRE THE USE OF THE SPECIFIED ITEMS. ANY REQUESTS FOR SUBSTITUTIONS FOR THE SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT, IN WRITING, ALONG WITH SAMPLE AND PROOF OF EQUALITY OF SUCH ITEMS. IN ALL CASES, THE BURDEN OF PROOF OF EQUALITY SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.
14. THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS.
15. ALL SCRAP MATERIALS ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE.
16. THE GENERAL CONTRACTOR IS TO NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT UPON FINDING CONDITIONS NOT IDENTIFIED ON DRAWINGS.
17. THE ADJACENT PROPERTIES SHALL IN NO WAY BE INCONVENIENCED OR DISTURBED BY VEHICLES, DEBRIS, SIGNS, ODORS, UNSIGHTLY CONDITIONS, OR NON-CONSTRUCTION NOISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDUCT OF ALL PERSONS ON SITE AT ALL TIMES AND FOR THE BEHAVIOR OF INDIVIDUALS WITH RESPECT TO THE ADJACENT AREAS. THE PROJECT SITE SHALL BE DRUG AND ALCOHOL FREE.
18. REFER TO ADDITIONAL NOTES BY STRUCTURAL AND MEP DISCIPLINES. WHERE VARIOUS DISCIPLINES INDICATE WORK FOR DIFFERING DISCIPLINES (FOR EXAMPLE, MECHANICAL WORK WHICH WOULD REQUIRE STRUCTURAL MODIFICATIONS), THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK.

LEGEND



GENERAL NOTES

19. REFER TO MEP SITE PLANS FOR NEW ELECTRIC SERVICE, SITE LIGHTING AND OTHER UTILITIES.
20. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS. THE LOCATION OF UTILITIES IS BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
21. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
22. ALL WOOD BLOCKING TO BE FIRE RETARDANT.
23. CONTROLS AND OPERATING MECHANISMS:
(A) GENERAL- ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH DETAILS PROVIDED. SUCH MECHANISMS MAY INCLUDE, BUT ARE NOT LIMITED TO THERMOSTATS, LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS, ELECTRICAL OUTLETS, ETC.



- (B) HEIGHT. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES PROVIDED IN THE DETAILS. EXCEPT WHERE OTHERWISE NOTED, ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR.
- (C) OPERATION. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE LBS.

24. SIGNAGE: SIGNS AT ALL DESIGNATED HANDICAPPED TOILET ROOMS SHALL COMPLY WITH THIS PARAGRAPH.
(A) CHARACTER PROPORTION. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10, UTILIZING AN UPPER-CASE "X" FOR MEASUREMENT.
(B) COLOR CONTRAST. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. LIGHT COLORED CHARACTERS ON DARK BACKGROUNDS ARE REQUIRED.
(C) TACTILE CHARACTERS AND SYMBOLS. CHARACTERS, SYMBOLS, OR PICTOGRAPHS ON SIGNS REQUIRED TO BE TACTILE. SHALL BE RAISED 1/32 INCH MINIMUM. LETTERS AND NUMBERS SHALL BE SANS SERIF CHARACTERS, SHALL BE AT LEAST 5/8 INCH HIGH, BUT SHALL BE NO HIGHER THAN TWO INCHES AND SHALL BE PROPORTIONED IN ACCORDANCE WITH SUB-PARAGRAPH (B) OF THIS PARAGRAPH. NOTE: BRAILLE CHARACTERS MAY BE USED IN ADDITION TO STANDARD ALPHABET CHARACTERS AND NUMBERS, BUT MAY NOT BE USED EXCLUSIVELY. IF USED, BRAILLE CHARACTERS SHALL BE PLACED TO THE LEFT OF STANDARD CHARACTERS. RAISED BORDERS AROUND RAISED CHARACTERS ARE DISCOURAGED.
(D) MOUNTING HEIGHT AND LOCATION. TACTILE SIGNAGE USED FOR ROOM IDENTIFICATION SHALL BE MOUNTED ON THE WALL ON THE LATCH (STRIKE) SIDE OF DOORS AT A HEIGHT OF 80" ABOVE FINISHED FLOOR TO CENTERLINE OF SIGN.
(E) SYMBOLS OF ACCESSIBILITY. IF ACCESSIBLE TOILETS ARE IDENTIFIED, THEN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE USED. THE SYMBOL SHALL BE DISPLAYED AS SHOWN BELOW.
25. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS STEEL OR DECORATIVE STEEL SHOWN ON ARCHITECTURAL SHEETS WHETHER SHOWN OR DETAILED ON STRUCTURAL SHEETS. FOR MEMBERS SHOWN BUT NOT SIZED THE FOLLOWING APPLIES:
(A) LOOSE ANGLES: 4" X 4" X 3/8"
(B) TUBE STEEL: 5" X 5" X 1/4"
(C) WIDE FLANGE: W12 X 16
(D) LOOSE CHANNELS: C8 X 13.75

26. ALL SUBCONTRACTORS AND CONSTRUCTION WORKERS MUST READ THE WRITTEN SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL. THE SPECIFICATIONS CONTAIN ADDITIONAL SURFACE PREPARATION OR INSTALLATION REQUIREMENTS FOR THE BUILDING MATERIALS, PRODUCTS OR COMPONENTS THAT ARE BEING PLACED OR INSTALLED.
27. THE INSTALLATION / APPLICATION INFORMATION SHOWN ON THE DRAWINGS IS NOT COMPLETE WITHOUT THE WRITTEN SPECIFICATIONS. IF THE SPECIFICATIONS / PROJECT MANUAL IS NOT WITH THESE DRAWINGS, ASK THE GENERAL CONTRACTOR FOR A COPY TO REVIEW BEFORE BEGINNING YOUR WORK.

APPLICABLE BUILDING CODES & AUTHORITIES

- 2015 International Building Code
 - 2015 International Residential Code
 - 2015 International Existing Building Code
 - 2015 International Mechanical Code
 - 2015 International Plumbing Code
 - 2015 International Fuel Gas Code
 - 2015 International Fire Code
 - 2015 International Energy Conservation Code
 - 2014 National Electric Code
- Local amendments to the above-listed codes may be viewed on the Development Services Department website: www.sanantonio.gov/dsd

CODE REVIEW SUMMARY

LOCATION: 230 Adams St. San Antonio, Texas 78210			
OCCUPANCY CLASSIFICATION			
BUILDING TYPE: RESIDENTIAL MIXED DISTRICT	OCCUPANCY GROUP: R	BUILDING AREA: 2,174 S.F. 1,131 S.F.	

DRAWING INDEX

GENERAL

A0.01 COVER SHEET / INDEX/SURVEY

ARCHITECTURAL

A2.01 SITE PLAN/FLOOR PLAN; WINDOW SCHEDULE
A4.01 EXISTING EXTERIOR ELEVATIONS
A4.02 PROPOSED EXTERIOR ELEVATIONS

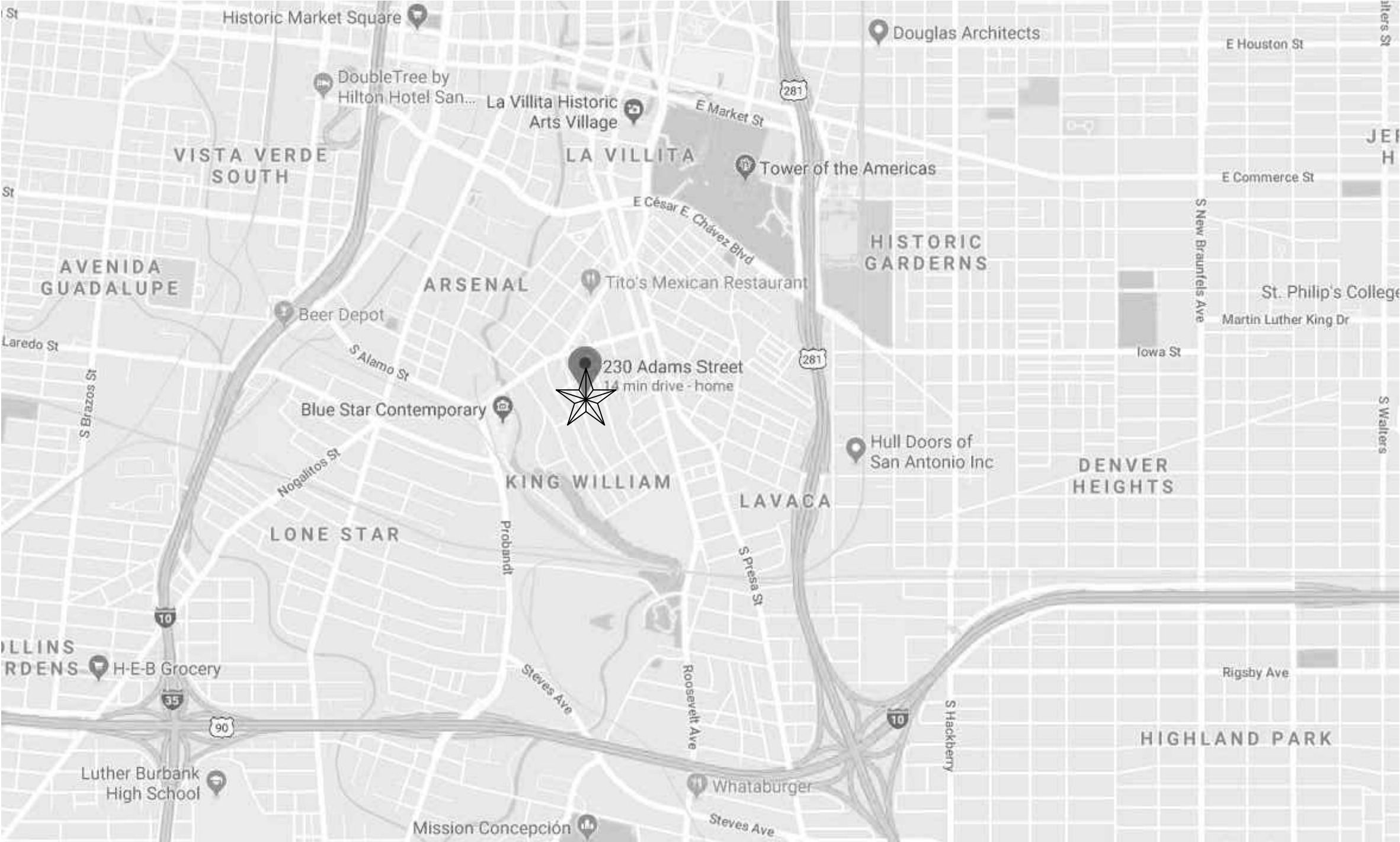
ADAMS REHAB

230 Adams St.
San Antonio, Texas 78210

DESIGN TEAM

BUILD MODERN, LLC
11618 JONES MALTSBERGER RD.
SAN ANTONIO, TX 78216
210.421.8890

LOCATION MAP - CITY



DATE EXP DATE
BUILD MODERN, LLC
11618 JONES MALTSBERGER RD.
SAN ANTONIO, TEXAS 78216
VOICE (210) 421-8890
GENEVIE@BUILDMODERNSA.COM

THIS PLAN AND THE DESIGNS CONTAINED HEREIN ARE THE PROPERTY OF BUILD MODERN AND MAY NOT BE REPRODUCED, ALL OR IN PART, WITHOUT WRITTEN CONSENT FROM GENEVIE RAMIREZ AND DAVID ROBERTSON.
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PROJECT

Adams Remodel

230 Adams Street
San Antonio, TX 78210

OWNER

David
Robertson

11618 Jones Maltsberger Rd.
San Antonio, TX 78216

PROJECT NUMBER

18-Adams

DESIGN DEVELOPMENT

NO. DATE DESCRIPTION OF ISSUE

CONSULTANT

SHEET TITLE

Cover Sheet / Index

DATE
22 June 2018

SHEET NUMBER

Set # A0.01



DATE EXP. DATE

BUILD MODERN, LL
11618 JONES MALTSBERGER RD
SAN ANTONIO, TEXAS 7821
VOICE: (210) 421-889
GENEVIE@BUILDMODERN.SA.CO

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OBJECT

Adams Remode

230 Adams Street
San Antonio, TX 78210

David
Robertson

1618 Jones Maltsberger Rd
San Antonio, TX 78216

PROJECT NUMBER

-Adams

DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION OF ISSUE
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CONSULTANT

EET TITLE

Floor Plan

TE

June 2018

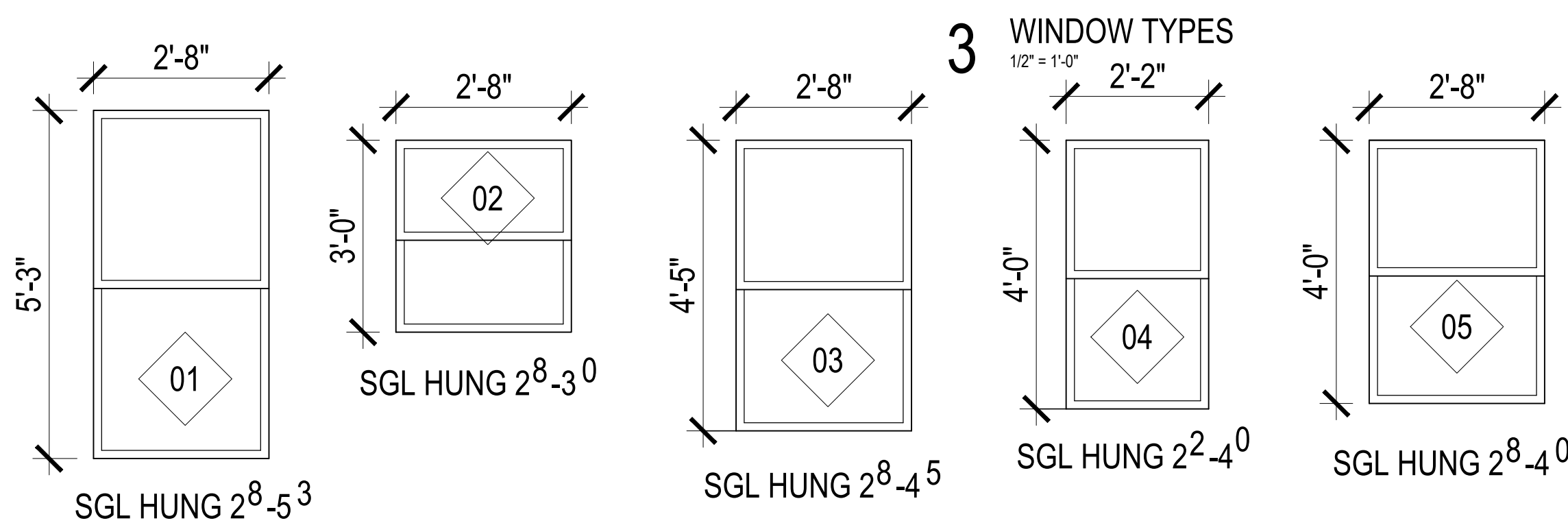
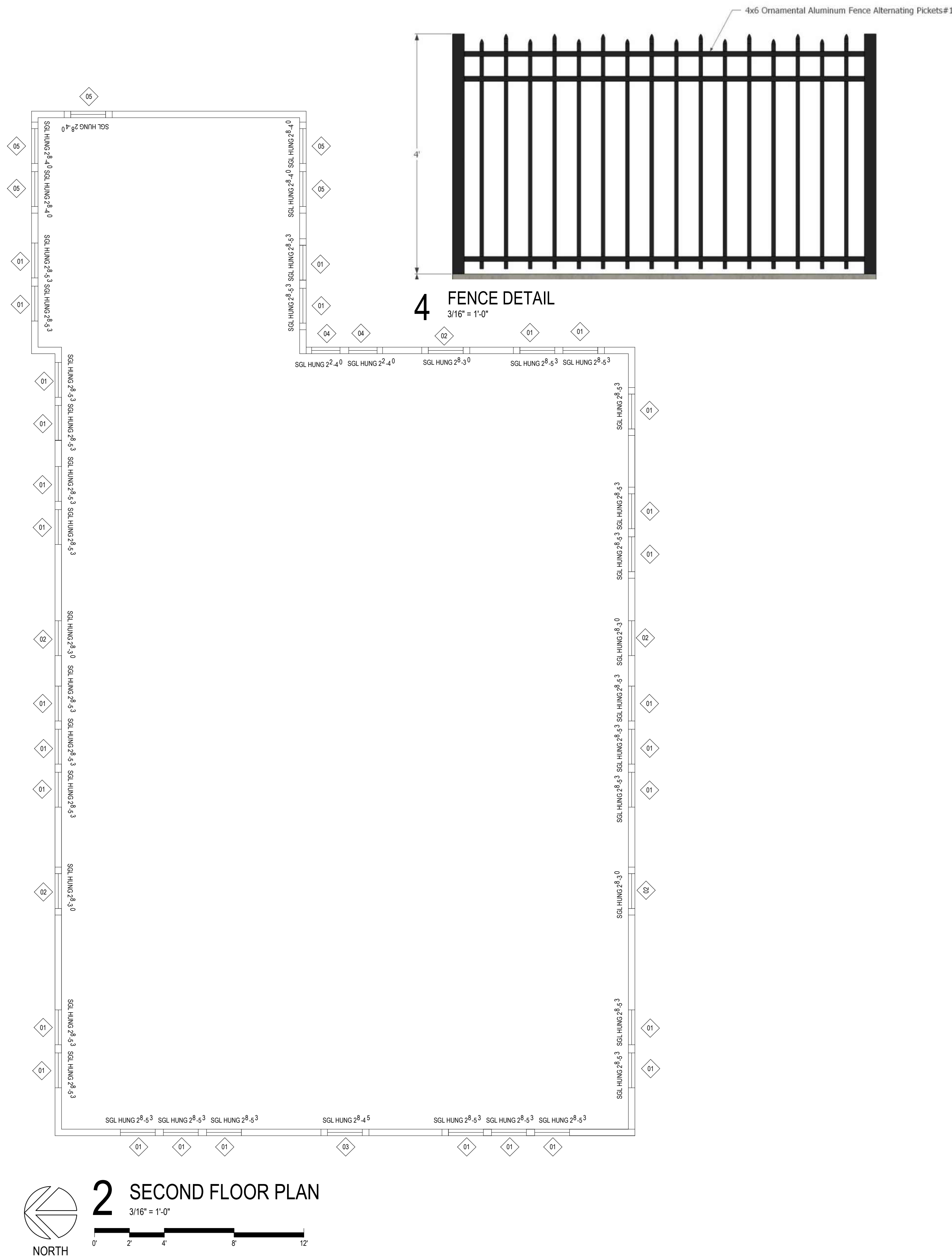
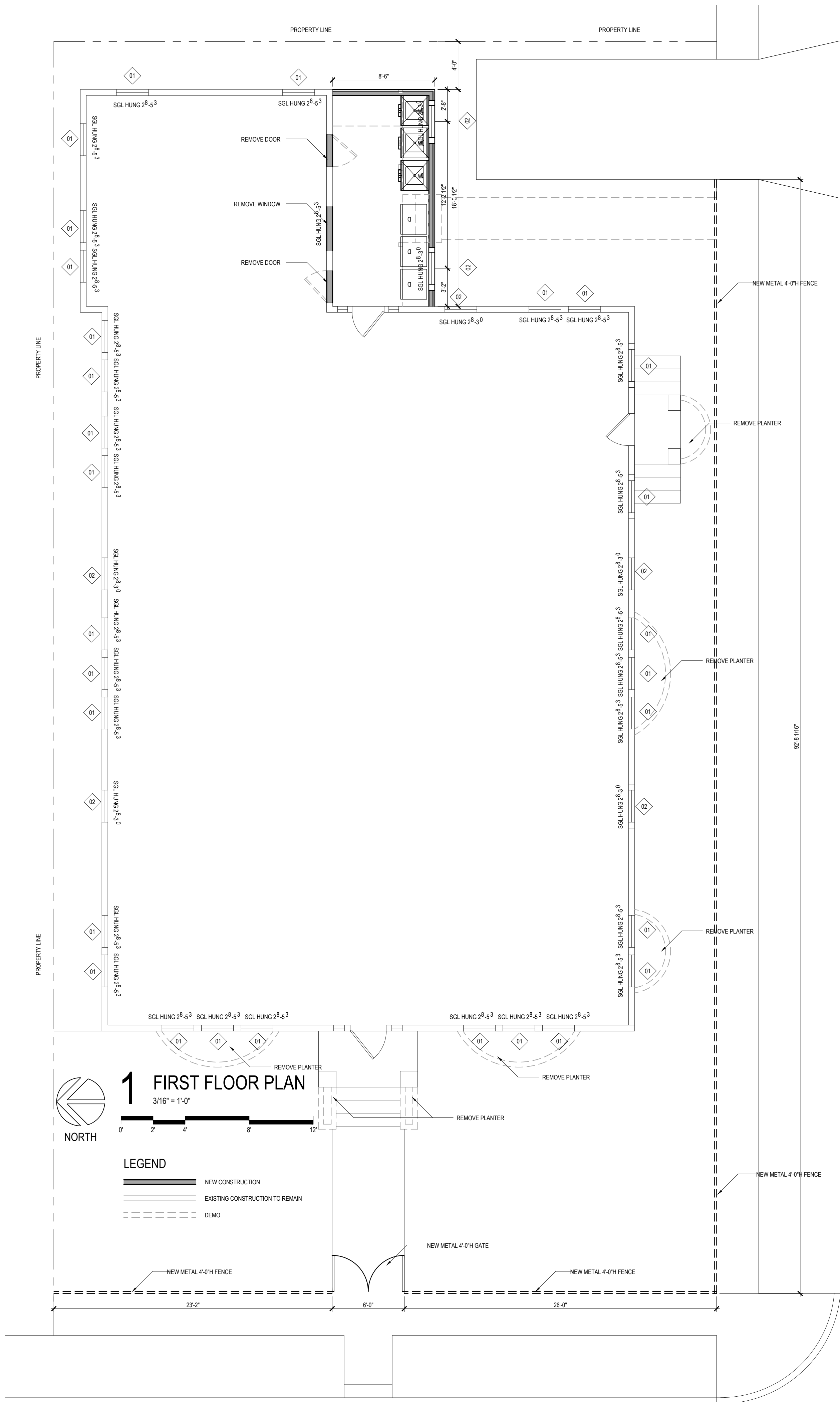
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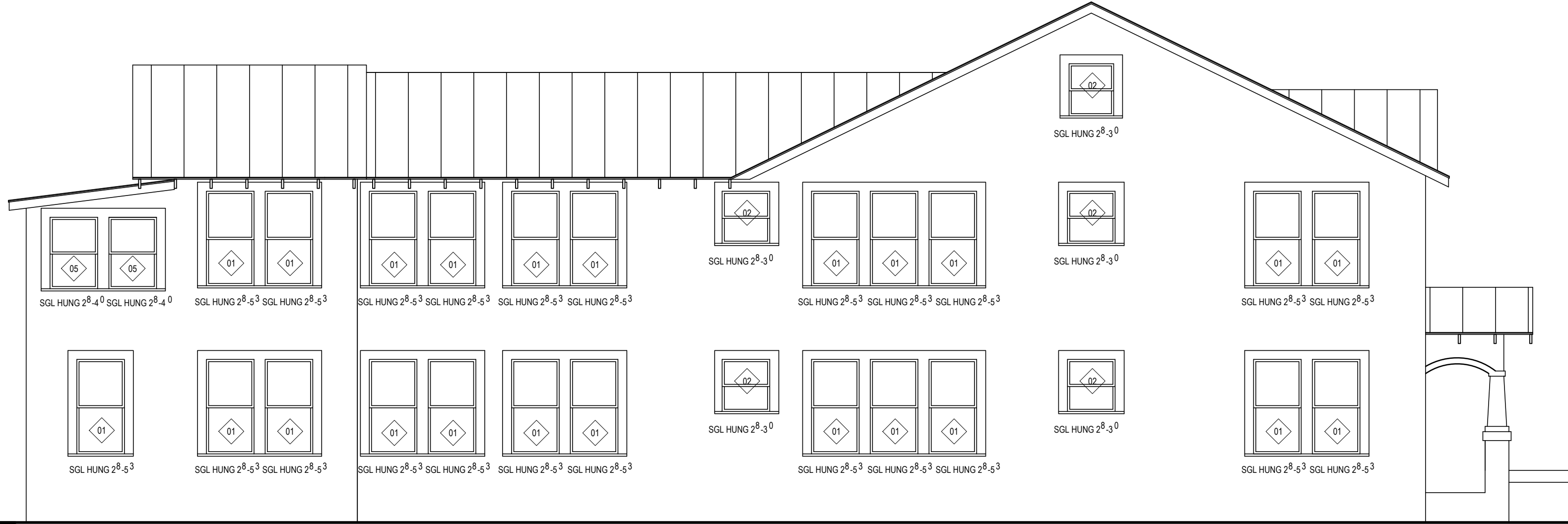
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A2.01

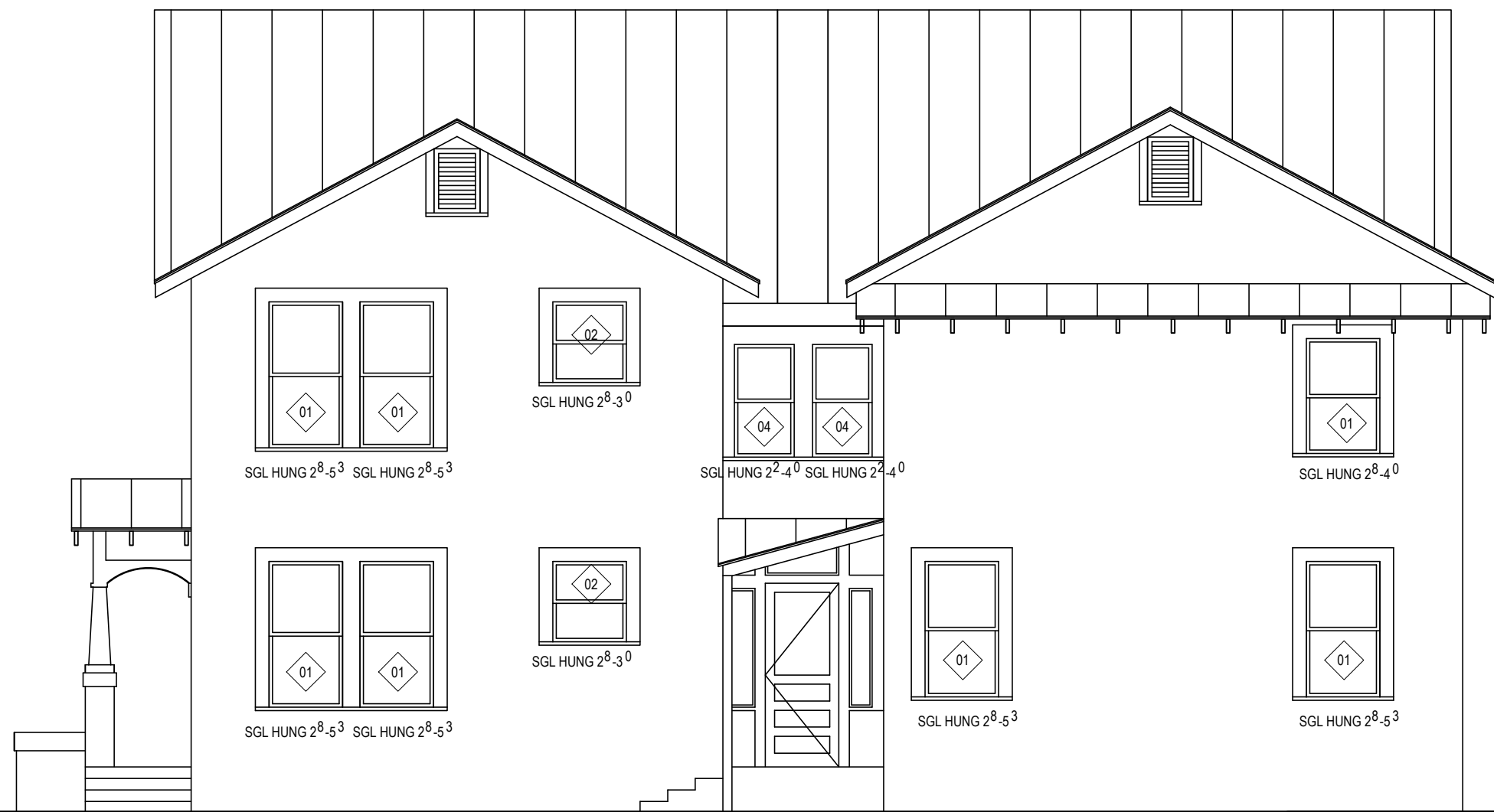




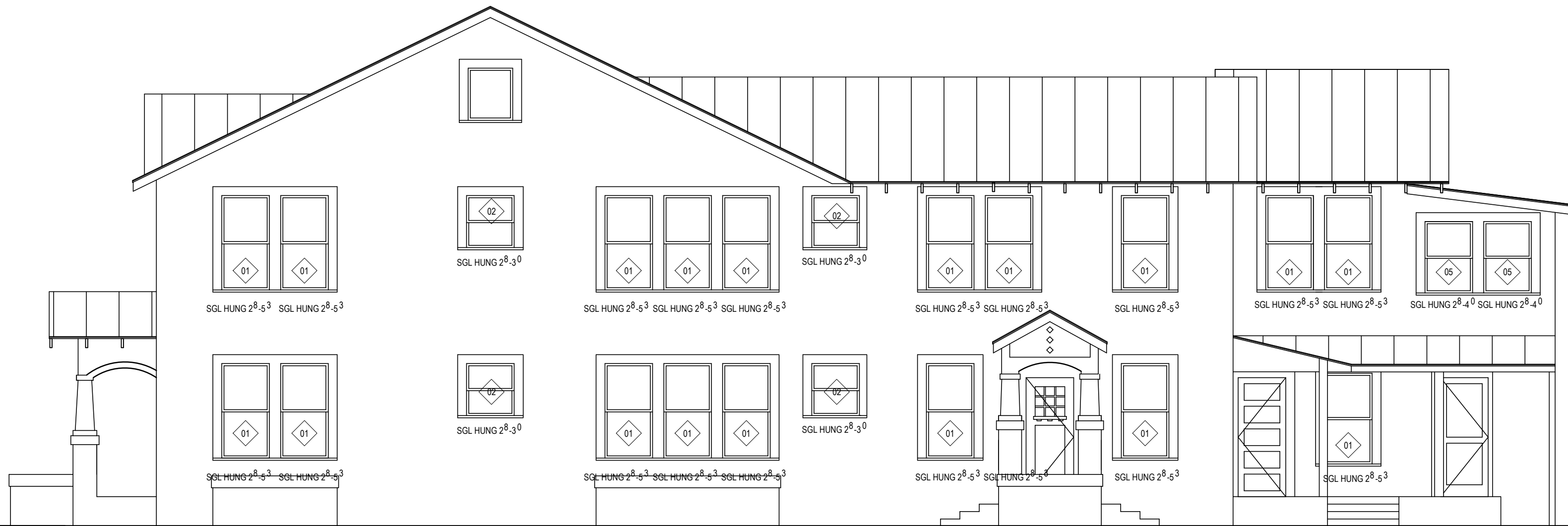
W EXISTING EXTERIOR ELEVATION
3/16" = 1'-0"



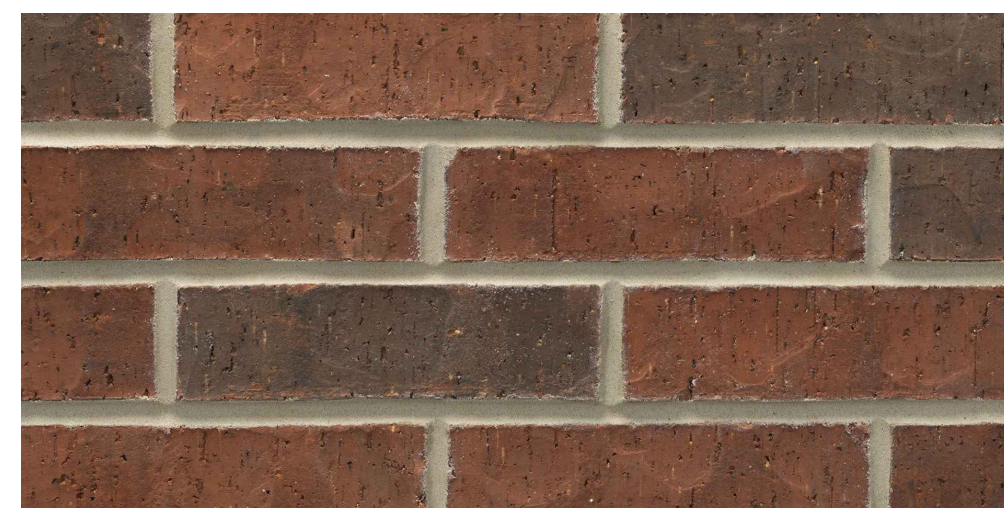
N EXISTING EXTERIOR ELEVATION
3/16" = 1'-0"



E EXISTING EXTERIOR ELEVATION
3/16" = 1'-0"



S EXISTING EXTERIOR ELEVATION
3/16" = 1'-0"



BUILD MODERN

DATE: _____ EXP. DATE: _____

BUILD MODERN, LLC
1618 JONES MALTSBERGER RD.
SAN ANTONIO, TEXAS 78216
VOICE: (210) 421-8890
GENEVIE@BUILDMODERNSA.COM

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PROJECT

Adams Remodel

230 Adams Street
San Antonio, TX 78210

NER

David
Robertson

1618 Jones Maltsberger Rd.
San Antonio, TX 78216

PROJECT NUMBER

4-Adams

DESIGN DEVELOPMENT

NO.	DATE	DESCRIPTION OF ISSUE
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CONSULTANT

EET TITLE

Existing Exterior Elevations

2 June 2018

EET NUMBER

LENGTH ON ORIGINAL
DRAWING EQUALS 1 INCH

A4.01



CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

HISTORIC AND DESIGN REVIEW COMMISSION
COMMISSION ACTION

This is not a Certificate of Appropriateness and cannot be used to acquire permits

August 1, 2018

HDRC CASE NO: 2018-328

ADDRESS: 230 ADAMS ST

LEGAL DESCRIPTION: NCB 943 BLK 1 LOT SW 100 FT OF 16

HISTORIC DISTRICT: King William

APPLICANT: Genevie Ramirez/Build Modern - 11618 Jones Maltsberger

OWNER: David Roberson/Build Modern - 11618 Jones Maltsberger

TYPE OF WORK: Addition, Exterior alterations, Fencing, Porch/Patio, Window replacement/fenestration changes

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove the existing, non-original stucco from each façade to expose the original wood siding.
2. Replace the existing standing seam metal roof with a new standing seam metal roof.
3. Install a four (4) foot tall wrought iron fence in the front yard and side yards.
4. Construct an addition of approximately 150 square feet at the rear of the historic structure.
5. Replace the existing, wood windows with new, double hung wood windows.
6. Perform modifications to the existing porches on the west and south elevations to include modifications to form and material.

FINDINGS:

- a. The historic structure at 230 Adams was constructed circa 1895 and is found on the 1896 Sanborn Map. The structure was originally constructed as a one story, single family residential structure with a wraparound porch. The structure existed in this form until circa 1950 when a second floor was added and the original structure and the wraparound front porch was removed.
- b. STUCCO REMOVAL – As noted in finding a, the original, one story structure did not feature a stucco façade. Evidence of the original siding exists on the first floor; however, one portions of the structure modified circa 1950, siding that matches that of the original 1896 is likely to not exist. Staff finds that the existing stucco should remain until accurate evidence of existing siding is obtained.
- c. ROOFING – The applicant has proposed to replace the existing, standing seam metal roof with a new standing seam metal roof. Staff finds this request to be appropriate and consistent with the Guidelines. The proposed replacement roof should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches tall, a crimped ridge seam and a standard galvalume finish. An inspection is to be scheduled with OHP staff prior to the installation of roofing materials to insure an inappropriate ridge cap is not installed.
- d. FENCING – The applicant has proposed to install an aluminum fence to feature four (4) feet in height to be located parallel to the property line on both the Adams and Stieren sides of the property. The applicant has proposed a sidewalk gate and has proposed for the fence to stop at the driveway on Stieren. Staff finds the proposed fence on this block of Adams to be appropriate. The proposed fence should align with those featured on neighboring properties.
- e. REAR ADDITION – At the rear of the historic structure, the applicant has proposed construct an addition to

replace an existing, rear porch., The applicant has proposed for the addition to feature a shed roof to match that of the existing porch roof, two, one over one wood windows and wood siding. Staff finds the proposed addition to be appropriate; however, the siding material should be stucco to match that of the existing structure, per finding b.

f. WINDOW REPLACEMENT – The historic structure currently features historic, one over one wood windows. Many of the existing windows feature damage or are missing sashes. In some instances windows are completely missing. The Guidelines for Exterior Maintenance and Alterations 6.A.iii. notes that historic windows should be repaired. Staff performed a site visit on July 10, 2018, and found that many of the existing windows are in repairable condition. Staff has indicated these windows on elevation drawings located within the exhibits. Regarding window replacement, staff finds the proposed wood, one over one windows to be an appropriate replacement for windows that are deteriorated beyond repair.

g. PORCH MODIFICATIONS – The applicant has proposed to modify the existing porches and porch roofs by removing the existing plaster and stucco facades, columns and column pediments and installing brick pediments as well as opening the existing porch walls. Per the Guidelines, porches should be preserved as they exist. Reconstruction and modifications should only be performed if based on evidence of a previous design. Staff finds that the installation of new cedar columns and the proposed modifications including the removing of both roof and sidewall structure are inconsistent with the Guidelines.

RECOMMENDATION:

1. Staff does not recommend approval of item #1, the removal of the existing stucco façade based on finding b. Staff finds that the existing stucco should remain until accurate evidence of historical siding used throughout the building is provided.
2. Staff recommends approval of item #2, the replacement of the exiting standing seam metal roof with the following stipulation:
 - i. That the proposed replacement roof should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches tall, a crimped ridge seam and a standard galvalume finish. An inspection is to be scheduled with OHP staff prior to the installation of roofing materials to insure an inappropriate ridge cap is not installed.
3. Staff recommends approval of item #3, the installation of a front and side yard fence based on finding d with the following stipulation:
 - i. That the proposed fence not exceed four (4) feet in height and that it align with neighboring fences.
4. Staff recommends approval of item #4, the construction of a rear addition with the following stipulations:
 - i. That the proposed façade material be stucco to match as close to that of the historic structure as possible.
 - ii. That the proposed windows feature a depth that matches those found in the historic structure.
5. Staff recommends partial approval of item #5, window replacement, only where windows are non-repairable as noted by staff in the exhibits. Staff does not recommend approval of wholesale window replacement. The applicant may present additional information to staff regarding the replacement of windows that are deteriorated beyond repair that were not accessible to staff during the site visit.
6. Staff does not recommend approval of item #6, porch modifications, based on finding g.

COMMISSION ACTION:

Items #1 and #6 were referred to the Design Review Committee.

Items #2 through #5 were approved with staff's stipulations.



Shanon Shea Miller
Historic Preservation Officer

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20 June 2018

Office of Historic Preservation

ATTN: Katie Totman

1901 South Alamo

San Antonio, Texas 78204

Re: 230 Adams – Administrative COA

Dear Katie,

These are the following items we are proposing for the rehabilitation of 230 Adams St. SATX 78210.

1. Paint Color

Option 1

SW 6244
Naval
Interior / Exterior
Locator Number: 253-C6

SW 6196
Frosty White
Interior / Exterior
Locator Number: 258-C4

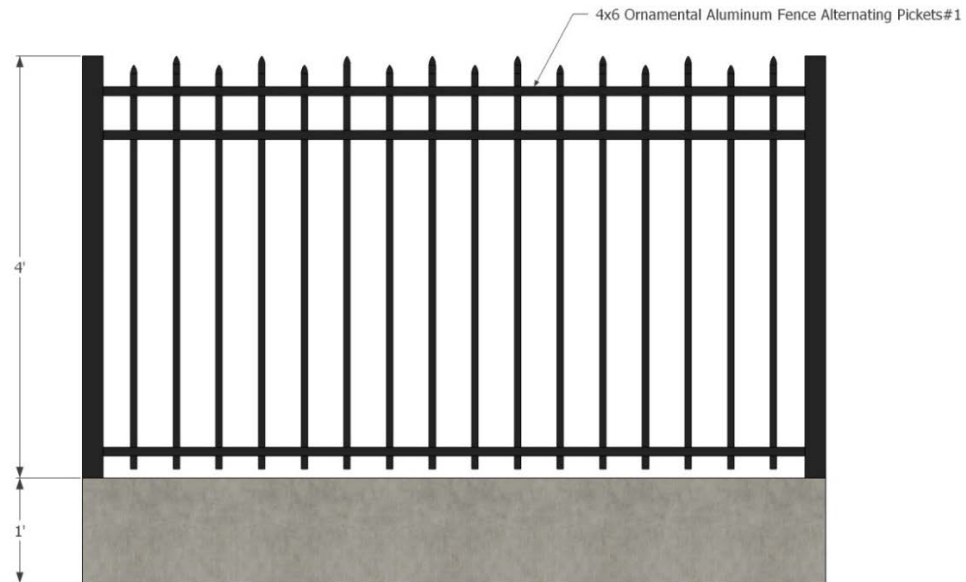
Main Body

Trim



2. Fence Design

New 4'-0" metal fence to be installed at the front and side of the property on Adams and Stieren St.



3. Foundation Repair

New foundation supports are needed to level the house. We will be adding a skirting to the house that will be a smooth side hardi board. Color to match main body.

4. Landscaping

All grass will remain with minor Texas native vegetation to be planted at front of house and side yard.

5. Restore Siding

All synthetic stucco siding to be removed and existing wood siding will be restored. Areas that are damaged will be replaced with the same wood siding as existing.



6. Window and Door Repair

All windows and doors will be replaced/repaired with existing materials

7. Replace Roof

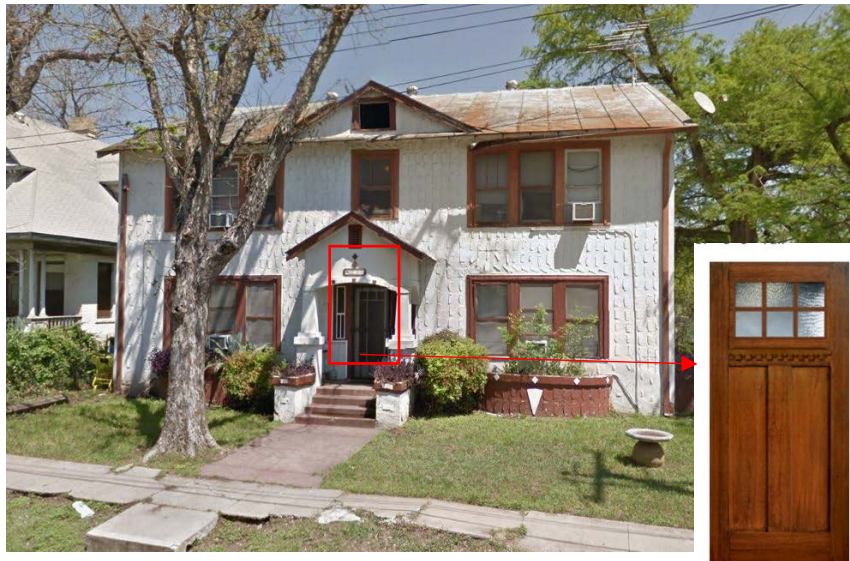
The existing metal roof will be placed with a new galvanized standing seam metal roof. The roof line will remain the same.

8. Open Porch and Add Brick Base Columns

We would like to remove the plaster planters to add minor landscaping at the front of the house. At the front porch we are proposing on using traditional red brick at the base of the porch columns and exposing the top portion out of natural oak wood.



ACME BRICK
Quorum
Heritage Texture, King Size
DTP136, 439646

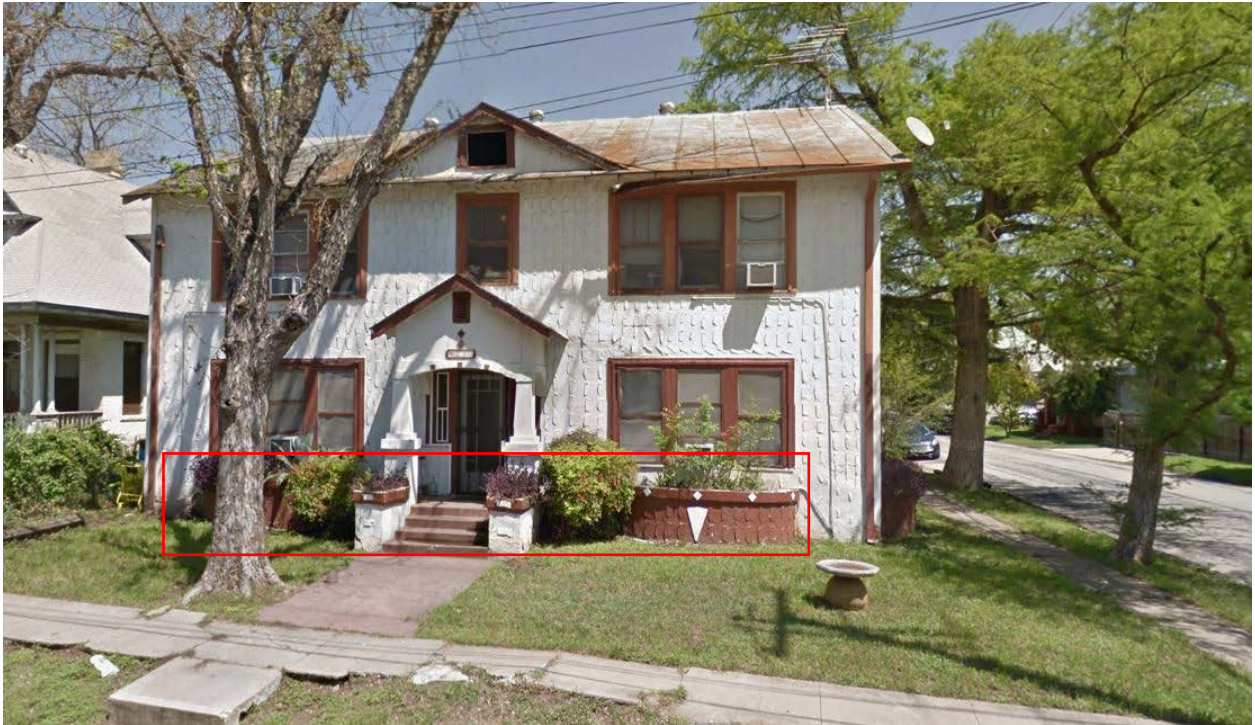


Existing Condition



Proposed Condition

Existing Structure



Front Elevation Facing Adams St.



Side Elevation Facing Stieren St.

ROAD
WORK
AHEAD

GOOD
NEIGHBOR
PROGRAM
AHEAD















