Requesting a change from RM-4 CD (conditional use for a daycase) to RM-4 CD (conditional use for a caterers and catering shop) GREENHILL \ PASS RIDGE Z-2021-10700008 CD VIEWRIDGE DAWNRIDGE TOREYWOOD GREEN MEADO CRAIGMON SCHMELTZER DRYDEN MARCHMONT

BY

DAWNVEW MARCHMONT DAWNVIEW BURWOOD BURWOOD LOCATION MAP N.T.SPOLSTON PROPERTY, SUBDIVISION PLAT (VOL. 4500, PG. 182) LOT 8, N.C.B. 11690 LOCKNERE LN. N 89°48'06" E 524.75' (F.M.) 59.51' (60.00') EAST 524.75' (PLAT) ______5' NON-ACCESS ESMT. PLAT(PER PLAT) (F.M.) CRESTHAVEN HEIGHTS, UNIT 2 (F.M.) (VOL. 3377, PG. 144) ASPHALT WEST AVENUE (VARIABLE WIDTH R.O.W.-PER ~CHAINLINK BLOCK 26 -COVERED 126.96 FENCEGRAVEL PAVING 126. LOT 11 N.C.B. 11690 о *LOT 6* LOT 7 > 0 ONE STORY 66622 SQ. FT. ASPHALT00°12°11" STEEL & BRICK 1.53 ACRES (COMMERCIAL BLDG.) Catering Facility gr. 5 SPACES5 -COVERED EM WOOD DECK GRAVEL AREA 59.95' (60.00') (60.00') I.R. FND. 1/2" WEST 524.75' (PLAT) S 89°48'06" W 524.75' (F.M.) (15.00')-woodFENCE179.91' (180.00') N 89°48'06" E CONC.-LOT 10 SDWLK. 10. SCHEDULE "B" RESTRICTIVE COVENANTS. C. TERMS, CONDITIONS, AND STIPULATIONS CONTAINED IN THAT CERTAIN HISTORIC DESIGNATION: VERIFIED CERTIFICATE, RECORDED IN VOLUME 16817, PAGE 1967, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS E. EASEMENTS, DEDICATIONS, BUILDING LINES AND ALL OTHER MATTERS SHOWN OR STATED ON THE PLAT OF GRAHAM L. BURRIS PROPERTY F. A BUILDING SETBACK LINE, 50 FEET IN WIDTH, ALONG, ADJACENT AND PARALLEL TO THE FRONT BOUNDARY LINE OF THE LAND AS STATED AND SHOWN ON THE SUBDIVISION PLAT RECORDED IN/UNDER VOLUME 6900, PAGE(S) 127, DEED AND PLAT RECORDS OF BEXAR COUNTY, G. A NON-ACCESS EASEMENT, 5 FEET IN WIDTH, ALONG, ADJACENT AND PARALLEL TO THE SIDE AND REAR BOUNDARY LINE OF THE LAND AS STATED AND SHOWN ON THE SUBDIVISION PLAT RECORDED IN/UNDER VOLUME 6900, PAGE(S) 127, DEED AND PLAT RECORDS OF BEXAR GRAPHIC SCALE At date of this survey, the property is in FEMA designated 100 Year ZONE X as verified by FEMA map Panel No: 48029C 0245 G effective date of SEPTEMBER 29, 2010 COUNTY, TEXAS. (AS SHOWN HEREON) 40' Exact designations can only be determined by a Elevation Certificate. This information is subject to change as a LEGEND FENCE ENCROACHES LOT 10. result of future FEMA map revisions and/or amendments. 1 Inch = 40 FeetThese standard symbols will be found in the drawing. I, <u>JOSE ANTONIO TREVINO</u>, a Registered Professional Land Surveyor in the State of Texas do hereby certify to <u>KEY TITLE GROUP</u> FINAL "AS-BUILT" SURVEY and TOBIN CITY PARTNERS, LLC

that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights—of—way of which I have been advised are shown hereon and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights—of—way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 663.18). BOUNDARY LINE 2008071674 NO. REVISION DA I, Cody Lockwood, the property EASEMENT LINE 08/27/20 owner, acknowledge that this site BUILDING SETBACK LINE RAWN BY: JD/RD CHAINLINK FENCE PROVED BY: JAT plan submitted for the purpose of --//-//--WOOD FENCE rezoning this property is in —— E —— E —— OVERHEAD ELECTRIC Borrower/Owner: TOBIN CITY PARTNERS, LLC
Address: 3838 WEST AVENUE GF No. KTGAHSA-20-1708 accordance with all applicable SET IRON ROD 0 Legal Description of the Land: Lot 11, New City Block 11690, GRAHAM L. BURRIS PROPERTY SUBDIVISION, in the City of San Antonio, Bexar County, Texas, according to plat thereof recorded in Volume 6900, Page 127 of the Deed and Plat Records of Boxar County, Texas provisions of the Unified \circ CALCULATED POINT SURVEYOR'S NOTE(S):
BASIS OF BEARING, TEXAS SOUTH CENTRAL NAD 83. FOUND IRON ROD Development Code. Additionally, I SET "X" ON COLUMN of Bexar County, Texas. OSE ANTONIO TREVIN understand that City Council SUBJECT TRACT IS ZONE AS RESIDENTIAL MIXED DISTRICT. W WATER METER 5552 SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: PROPERTY PHOTOGRAPH: (RM-4 CD)approval of a site plan in conjunction ELECTRIC METER E The survey is hereby accepted with the with a rezoning case does not relieve POWER POLE discrepancies, conflicts, or shortages in area or me from adherence to any/all City boundary lines, encroachments, protrusions, or overlapping of Improvements shown. adopted Codes at the time of plan (PLAT) RECORDED ON PLAT submittal for building permits. PARKING SPACE SUMMARY:
TOTAL NUMBER OF HANDICAP SPACES: (F.M.) FIELD MEASURED **AMERISURVEYORS** DSE ANTO<u>NIO TREVINO</u>, R.P.L.S. 01 SPACE TOTAL NUMBER OF PARKING SPACES:
TOTAL NUMBER OF SPACES: Registered Professional Land Surveyo Registration No. <u>5552</u>