

HISTORIC AND DESIGN REVIEW COMMISSION

May 19, 2021

HDRC CASE NO: 2020-560
ADDRESS: 344 MARY LOUISE
LEGAL DESCRIPTION: NCB 6698 BLK 7 LOT 16
ZONING: R-6, H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Joe Cano/All Pro Services of Texas
OWNER: COH LARA HYE-YOUNG
TYPE OF WORK: Roof modifications
APPLICATION RECEIVED: May 08, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Huy Pham
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to replace a detached wood pergola with an attached rear roof addition for a covered rear patio.

APPLICABLE CITATIONS:

3. Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.

FINDINGS:

- a. The primary historic structure at 344 Mary Louise was constructed circa 1940 and contributes to the Monticello Park Historic District. The one-story, single-family structure features mosaic-cut stone veneer, steel casement windows, and a side-flanking chimney.
- b. COMPLIANCE – On a site visit conducted on December 1, 2020, staff found that a roof structure was framed toward the rear of the property at 344 Mary Louise. The applicant was cooperative to the Stop Work Order and submitted an application on December 2, 2020, to be heard at the next available Historic and Design Review Commission hearing.
- c. DESIGN REVIEW COMMITTEE - At the January 20, 2021 hearing, the HDRC referred the case to a Design Review Committee meeting. The DRC met with the applicant on February 24, 2021. At the meeting, the applicant was able to explain limitations of installing traditional roof forms and slope in the rear of the property that would retain water rather than drain from the roof. The DRC understood the limitation but remained concerned about the asymmetrical gable and introduction of new siding material. The applicant has since revised the side gable profile to feature a fully clad gable with wood lap siding painted to match existing trim.
- d. REAR PATIO COVER -The applicant has proposed to replace a detached wood pergola with an attached rear roof addition for a covered rear patio. The porch cover will feature matching composition shingle, a vertical wood

beadboard turned gabled face, 6-inch square wood posts, will terminate at south rear and west side wall planes. Per the Guidelines for Additions 3.1.A. applicants should site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. Staff finds that setting the roof addition to the rear is appropriate.

- e. ROOF DESIGN – The applicant has proposed for the porch cover to feature matching composition shingle roof with 12-3 slope, a vertical wood beadboard turned gabled face, 6-inch square wood posts, will terminate at south rear and west side wall planes. Per the Guidelines for Additions 1.A.iii., application utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions. While the original design featured an atypical gable-in-gable form, staff finds the continuous wood lap cladding of the gable minimizes the visibility of the rear roof addition. Staff finds the proposed addition as proposed in the latest revision is appropriate considering the limitations of the rear roof forms and the visibility from the front right of way.

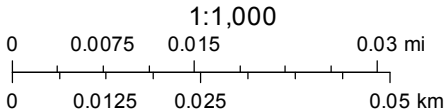
RECOMMENDATION:

Staff recommends approval as proposed in the latest revised rendering (fully clad gable painted to match existing trim) based on the findings.

344 Mary Louise

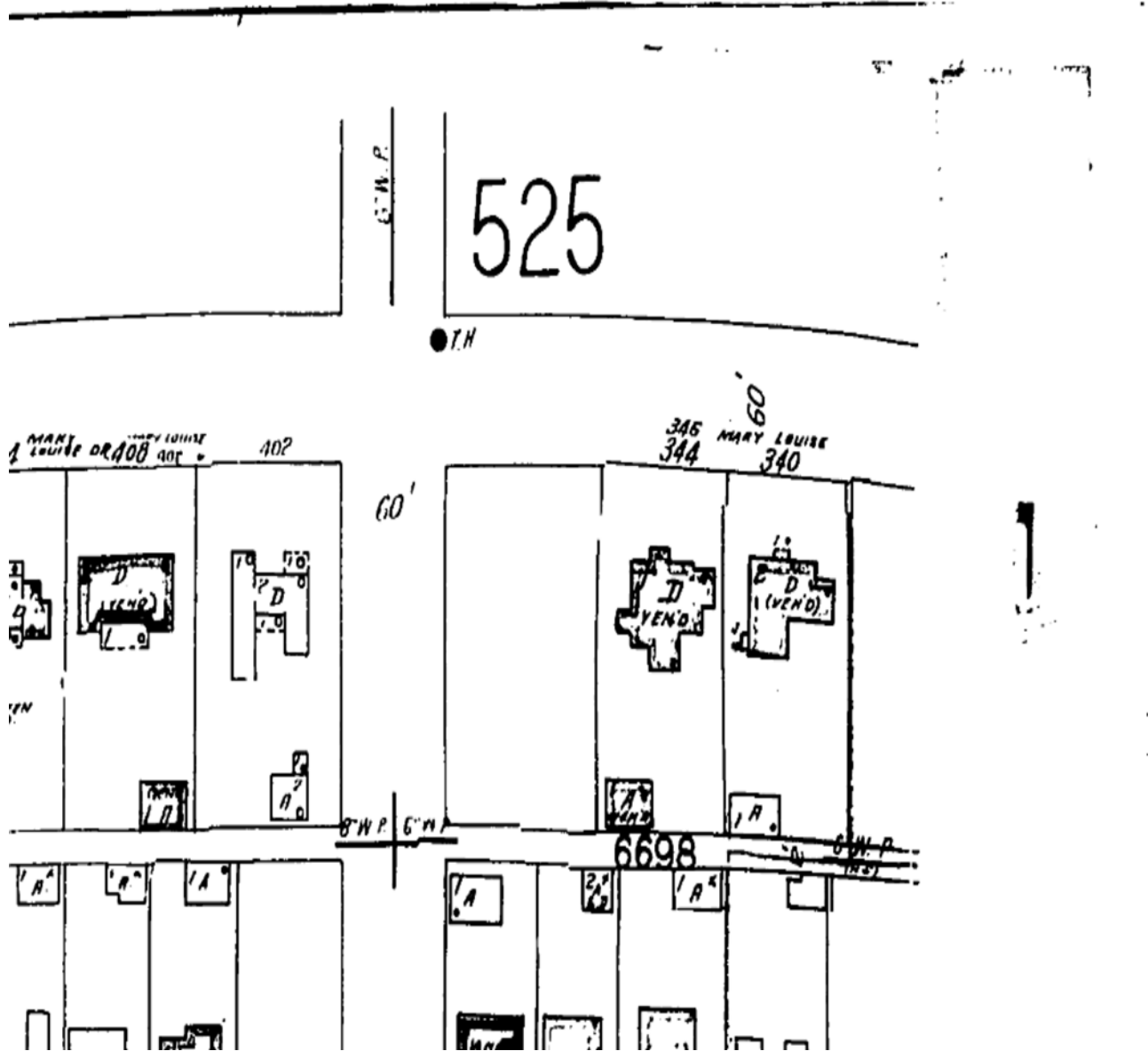


January 13, 2021



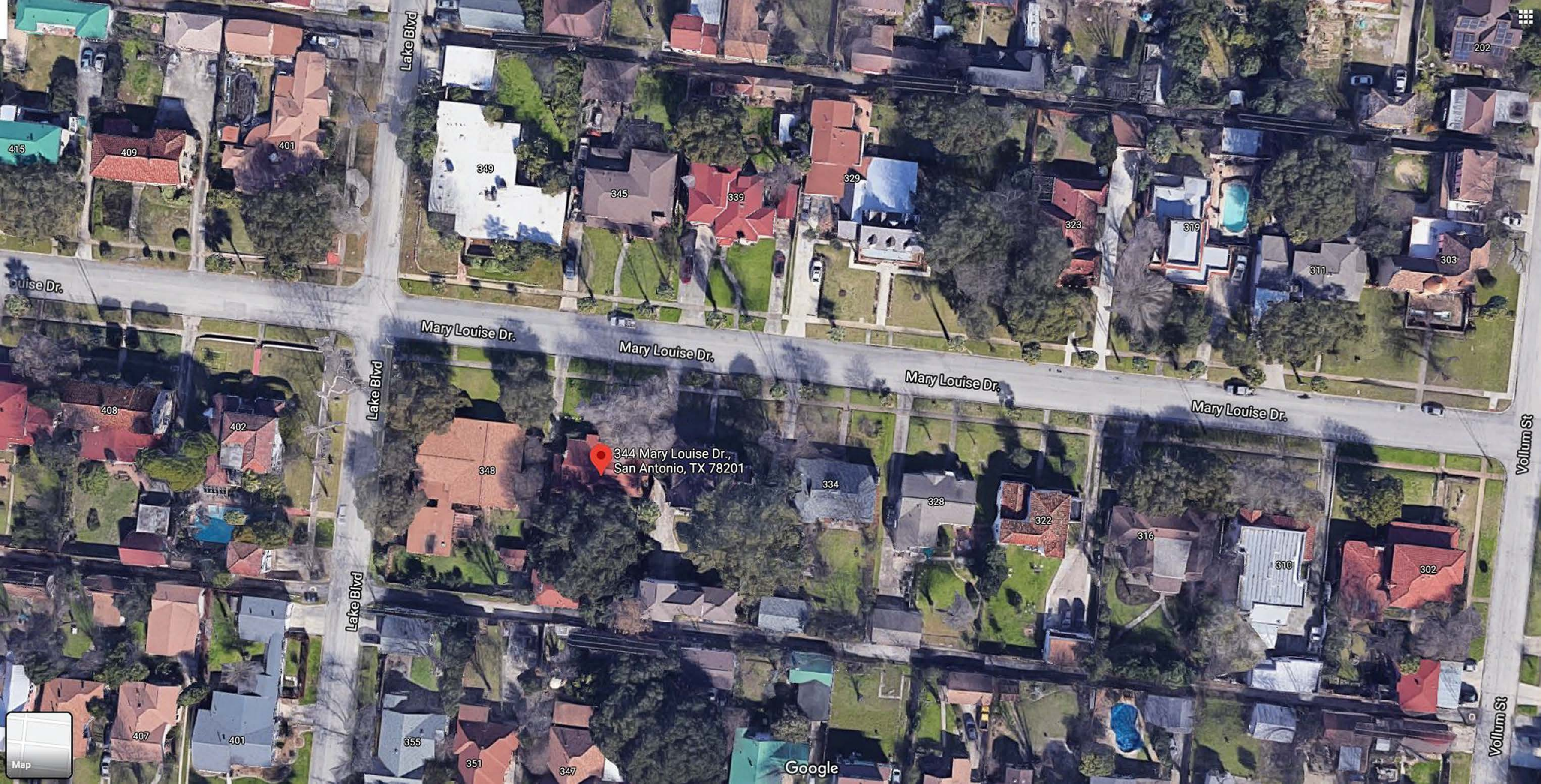
ProQuest® Digital Sanborn Maps, 1867-1970

San Antonio 1911-Mar. 1951 vol. 5, 1924-June 1950, Sheet 541



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202

303

311

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401

409

415

Lake Blvd

Mary Louise Dr.

Mary Louise Dr.

Mary Louise Dr.

Mary Louise Dr.

Vollum St

Vollum St

344 Mary Louise Dr.,
San Antonio, TX 78201

348

334

328

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Lake Blvd

355

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401

407

Google

Map



344 Mary Louise Dr.,
San Antonio, TX 78201



Google





348 Mary Louise Dr.
San Antonio, Texas

Google

Street View



Google

GENERAL NOTES

1.01 Examine the site

All workman shall examine the site and site conditions, verify all dimensions and grade of existing and new work, and notify the architect in writing of any errors, discrepancies, or conflicts prior to proceeding with the work.

1.02 Dimensions

Numerical dimensions shall take precedence over scaled dimensions. All dimensions are to face of studs or other structural materials or surfaces unless otherwise shown or noted.

1.03 Survey

Before construction the contractor shall have the building, property lines, corners and setbacks located and staked out by a registered public survey engineer.

1.04 Observe Codes

All workmen shall observe all local, state, and national governing codes and ordinances and shall seek in a timely fashion all permits, inspections, and approvals required for the work.

All work and materials are to comply in every respect with the latest requirements of all applicable city, county, and state codes, local regulations and the direction of the building inspector. Regulations and directions are to be considered as part of these specifications and drawings except where exceeded herein. If the project is outside of the jurisdiction of a building official, all work must comply with the latest edition of the International Building Code.

1.05 Installation of Manufactured Materials

All manufactured items, materials and equipment shall be installed in strict accordance with manufacturer's written specifications and instructions.

1.06 Substitutions

No substitutions of materials for those specified shall be made without the architect's written approval.

1.07 Changes

The Architect shall be held harmless for any unapproved variances to these drawings and specifications.

1.08 General Workmanship

All workmen shall be held responsible for the execution of a complete piece of first class workmanship.

1.09 Shop Drawings and Samples

The contractor shall submit shop drawings and or sample panels to the architect for approval prior to fabrication of any appearance item such as paint, stucco texture and finish, masonry work, iron work, cabinet panels, roofing, etc. and as called for specifically in the specifications. Allow one week from the date of receipt of the shop drawings by the architect for approval.

1.10 Guarantee

The contractor shall guarantee all work and materials and shall be responsible for and make good any and all defects for a period of one year minimum from the date of final acceptance of the work by the owner.

1.11 Cleaning

The contractor shall maintain neat premises and shall thoroughly clean all finished surfaces inside and outside of the project. Contractor shall control construction debris and prevent debris from going on to public right of way or adjacent properties. All subcontractors shall clean and haul away all debris occasioned by the subcontract work, and will leave the project clean insofar as the subcontractor work is concerned. In the event subcontractor fails to so clean the project, the Contractor may do the same and deduct the cost thereof from the subcontract sum, or if the cost thereof exceeds the amount of the subcontract sum remaining to be paid to the Subcontractor, charge the excess thereof to Subcontractor.

1.12 Existing Trees

All preservable trees that do not interfere with the new construction shall remain and shall be protected throughout the construction period. Protect with fencing and rebars as close to dripline as possible.

1.13 Perform a Complete Job

All subcontractors are responsible for a complete job within their discipline and shall notify the contractor and the architect of any items normally required for the proper execution of their work that may not be specifically identified in the drawings or specifications prior to submitting bid proposals.

1.14 Utilities

The contractor shall be responsible for the location of all utilities and services. Locate meters, panels, outlets, through the roof flue pipes and vent pipes, and other such undesirable visual elements out of easy view. Locations shall be submitted to the architect for review and approval.

1.15 Geotechnical Engineer's Review

The contractor shall have the geotechnical engineer review all of the construction documents for this project and give approval stamp.

1.16 Foundation Elevations

Foundation elevations shall be established by the contractor and shall be approved by the architect prior to construction.

1.17 Footings

All footings shall be founded into natural undisturbed soil as per code.

1.18 Location of Built In Fixtures

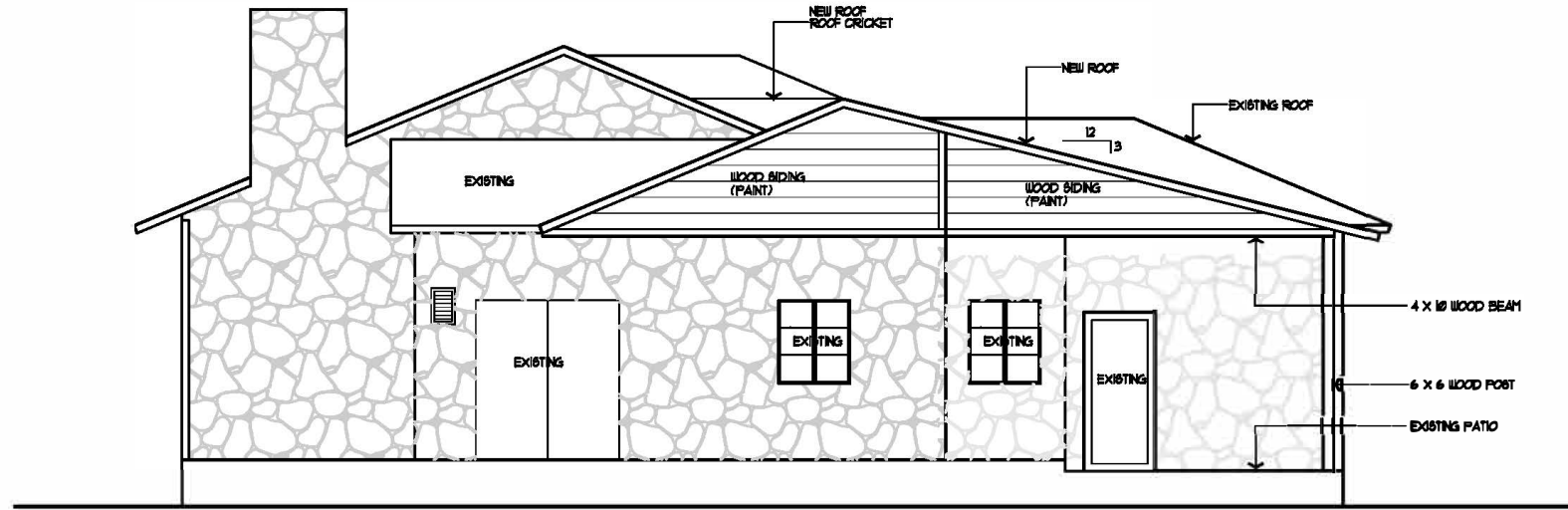
The Contractor shall locate all a/c ducts, grilles, registers, light fixtures, and other such features as per plan and shall adjust framing as required for installation of such fixtures in their designed location. Notify the architect of any conflicts. Moving of any structural members shall be approved in writing by the structural engineer.

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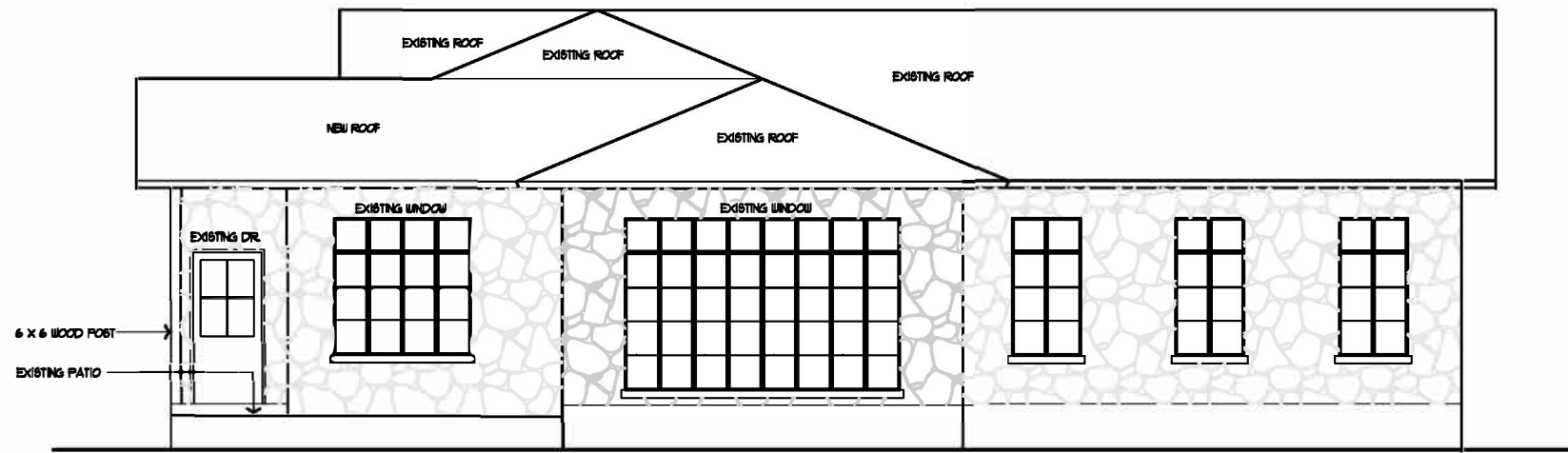
A1.0 SITE PLANS / GENERAL NOTES AND SYMBOLS / ROOF PLAN

AREA TABULATION

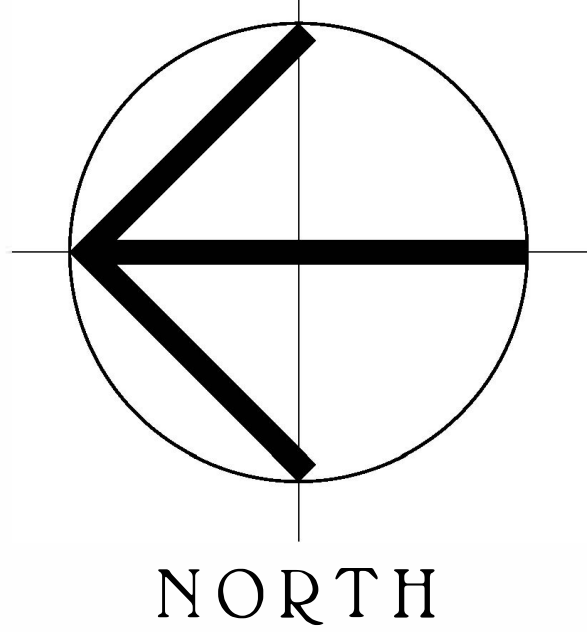
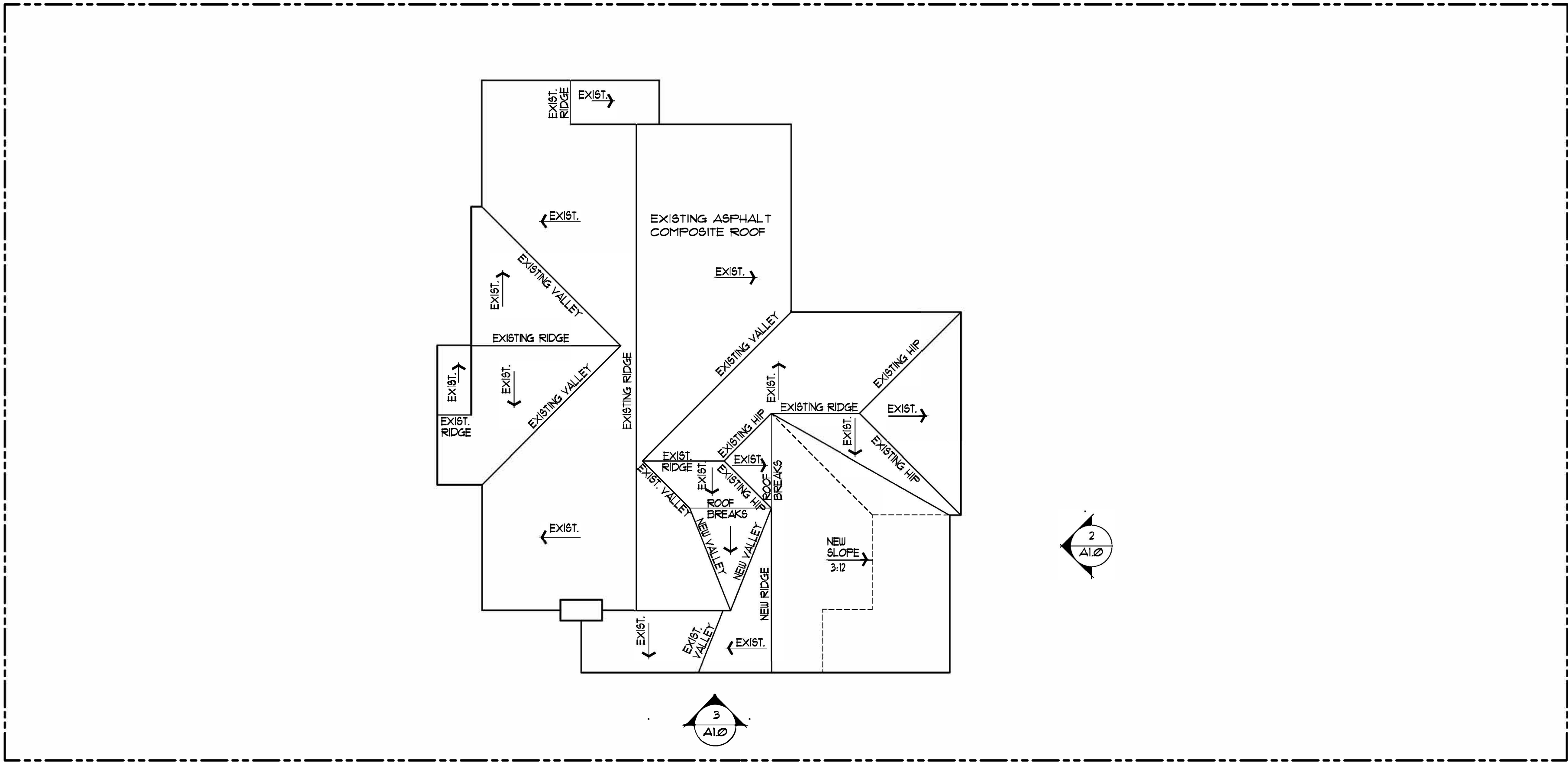
AREA OF EXISTING ROOF	2,253 S.F.
AREA OF NEW ROOF	504 S.F.



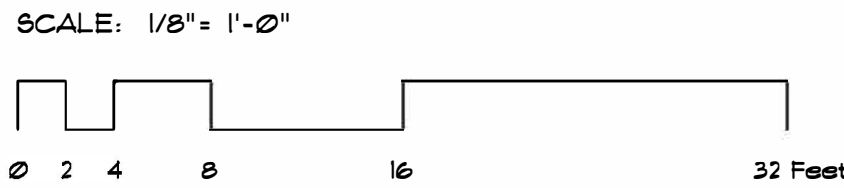
3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 EXISTING AND PROPOSED ROOF PLAN



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SHEET HISTORY :



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Architecture & Planning

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San Antonio, Texas 78209
Tel: 210-289-5079

www.BALDG.com
geneluna@baldg.com
roberttramos@baldg.com

NEW ROOF ADDITION
344 MARY LOUISE DRIVE
SAN ANTONIO, TX 78201



SIGNATURE:

DATE: FEBRUARY 23, 2021

EXISTING SITE PLAN &
PROPOSED SITE PLAN

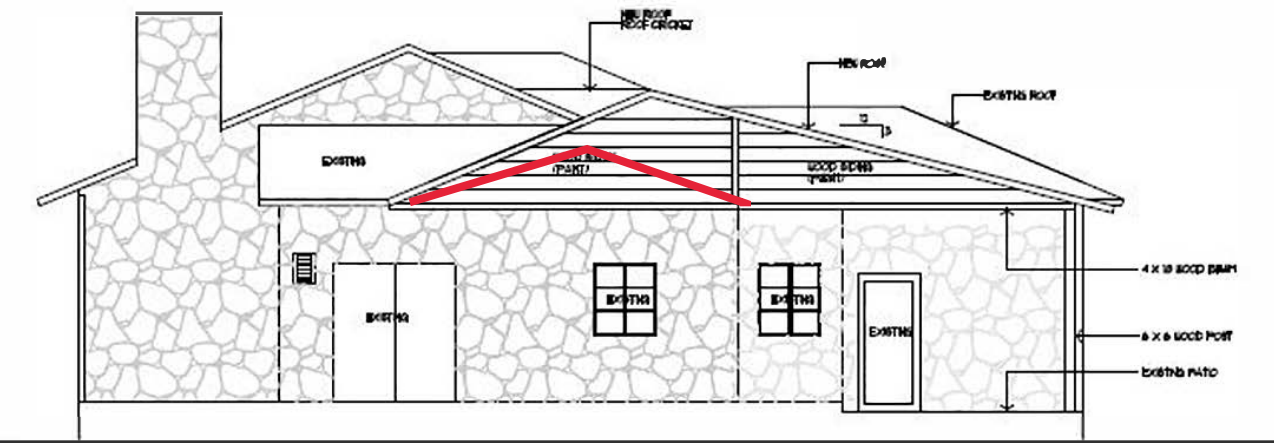
PROJECT NO : 2021-04

DRAWN BY : ERL

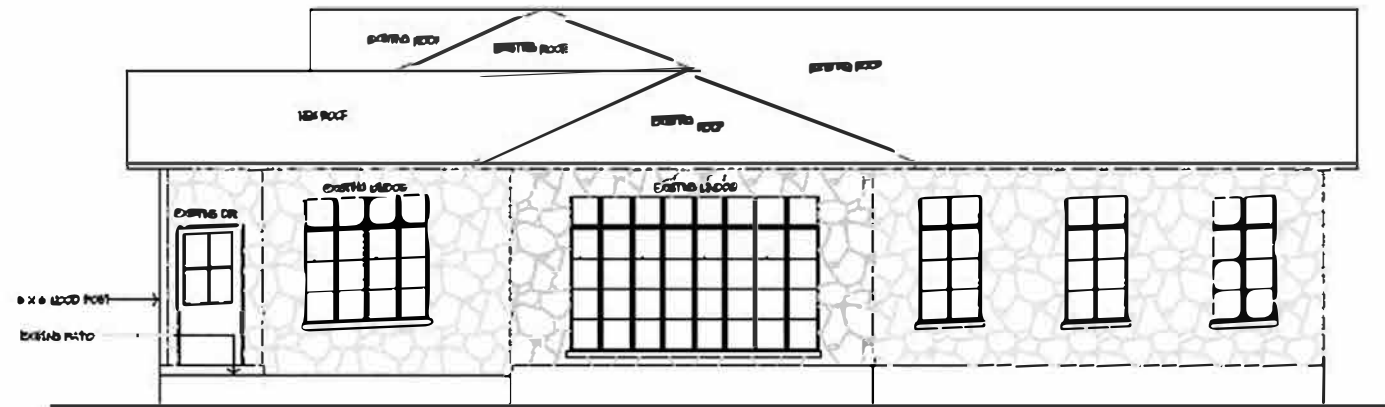
CHECKED BY : ERL

A1.0

SHEET :



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PHOTOSIM SUBMITTED 4/23/2021
TO ADDRESS GABLE APPEARANCE



CURRENT CONDITION,
NO WORK SINCE
STOP WORK ORDER

January 14, 2021 at 2:32 PM
344 Mary Louise Dr
San Antonio TX 78201
United States









January 14, 2021 at 2:34 PM
344 Mary Louise Dr
San Antonio TX 78201
United States



January 14, 2021 at 2:32 PM
344 Mary Louise Dr
San Antonio TX 78201
United States



January 14, 2021 at 2:32 PM
344 Mary Louise Dr
San Antonio TX 78201
United States



January 14, 2021 at 2:31 PM
344 Mary Louise Dr
San Antonio TX 78201
United States



Re: [EXTERNAL] Roof re 344 Mary Louise Dr 78201



Joe R <@gmail.com> To: Huy Pham
(OHP)

[↩ Reply](#) [↩ Reply All](#) [→ Forward](#) [...](#)

Tue 5/11/2021 5:51 PM

[i](#) If there are problems with how this message is displayed, click here to view it in a web browser.

These are some neighbors that support the application for a variance for 344 Mary Louise :

Kate Mangold on W. Russell

Leticia Ramirez on Babcock Rd

Paula Orozco on Donaldson Ave

Mary Alice Ledesma on W. Kings Hwy

Joseph Rivera on W. Summit Ave

We are all in support of maintaining the integrity of the neighborhood but we feel that this variance will allow Ms Coe to maintain the structural integrity of the house while supporting the integrity of the historic neighborhood.

In Support

Neighbors in support