

## HISTORIC AND DESIGN REVIEW COMMISSION

May 19, 2021

**HDRC CASE NO:** 2021-221  
**ADDRESS:** 420 E HOUSTON ST  
**LEGAL DESCRIPTION:** NCB 416 BLK 23 LOT 7 OR A9  
**ZONING:** D, H, RIO-3  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Alamo Plaza Historic District  
**APPLICANT:** Terry Corless/Ticket Sports Pubs Inc.  
**OWNER:** Todd Koym/TSP 420 LLC  
**TYPE OF WORK:** Patio furniture  
**APPLICATION RECEIVED:** April 26, 2021  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Huy Pham

### REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a three (3) foot tall aluminum railing to feature steel posts to enclose the outdoor patio at 420 E Houston and to furnish with unbranded tables, chairs, and umbrellas.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

#### 2. Fences and Walls

##### A. HISTORIC FENCES AND WALLS

##### B. NEW FENCES AND WALLS

*i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

*ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

*iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

*iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

*v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure.

*vi. Screening incompatible uses*—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

#### 6. Non Residential and Mixed Use Streetscapes

##### A. STREET FURNITURE

*i. Historic street furniture*—Preserve historic site furnishings, including benches, lighting, tree grates, and other features.

*ii. New furniture*—Use street furniture such as benches, trash receptors, tree grates, and tables that are simple in design and are compatible with the style and scale of adjacent buildings and outdoor spaces when historic furnishings do not exist.

##### B. STREET TREES

*i. Street trees*—Protect and maintain existing street trees. Replace damaged or dead trees with trees of a similar species, size, and growth habit.

### FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to install a three (3) foot tall aluminum railing

to feature steel posts to enclose the outdoor patio at 420 E Houston. The applicant has noted that the proposed railing will extend approximately 6'-10" toward Losoya St and 36'-6" toward Houston St, effectively creating a 248.5 square foot patio area adjacent to the Losoya St entrance. The applicant has noted that a clearance of 6' – 0" will be present on each sidewalk. Additionally, the proposed railing, metal chairs and table, and monochromatic umbrellas will match the existing patio elements of the business set closer to Houston St on the same façade area.

- b. Staff finds the proposed railing design and location and patio furniture to be appropriate; however, the applicant is to coordinate with Center City Development & Operations Department as well as Transportation & Capital Improvements staff to ensure that appropriate pedestrian and ADA access is provided. A clearance of at least six (6) feet shall be provided at all times. This must be accomplished prior to the issuance of a Certificate of Appropriateness.

**RECOMMENDATION:**

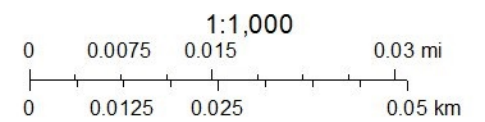
Staff recommends approval based on findings a and b with the following stipulation:

- i. That the applicant coordinate with Center City Development & Operations Department as well as Transportation & Capital Improvements staff to ensure that appropriate pedestrian and ADA access is provided. A clearance of at least six (6) feet shall be provided at all times. This must be accomplished prior to the issuance of a Certificate of Appropriateness

# City of San Antonio One Stop



July 31, 2019











420 E Houston St

Pease St

E Travis St

Alamo Plaza

Compton





420 E Houston St

Peacock Alley

Alamo Plaza













# LEASE EXTENSION APPLICATION



420 EAST HOUSTON SAN ANTONIO  
TEXAS 78205







## NEW PATIO FURNITURE

1. Aluminum chairs
2. Green canvas umbrellas
3. Concrete topped table

No logos





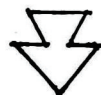
← 10' 0" 10' 0" →

MADDY McMURPHY'S IRISH SPORTS BAR  
PATIO LEASE APPLICATION

ENTRANCE

↑  
HOUSTON  
STREET  
↓

NEW PATIO



ENTRANCE

ENTRANCE

PATIO  
WIDTH

12' 8"

6' 0"

4 x 4 TOP TABLES  
4 x UMBRELLAS

Patio Railing

City  
Planter

City  
Planter

← LOSOYA STREET →

PATIO LENGTH

36' 5"

