HISTORIC AND DESIGN REVIEW COMMISSION May 19, 2021

HDRC CASE NO: 2021-229 ADDRESS: 311 3RD ST

LEGAL DESCRIPTION: NCB 425 (THREE ELEVEN THIRD), BLOCK 23 LOT 17

ZONING: D CITY COUNCIL DIST.: 1

APPLICANT: Gregory Papay/Lake | Flato Architects

OWNER: David Lake/DCL LLC &

TYPE OF WORK: Repair and maintenance, site work, exterior modifications and Historic Tax

Certification

APPLICATION RECEIVED: April 29, 2021

60-DAY REVIEW: Not applicable due to City Council Emergency Orders

CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

- 1. Perform rehabilitative scopes of work including window repair and masonry cleaning.
- 2. Remove the existing, clay block infill on the west façade and install a new curtain wall storefront system.
- 3. Receive Historic Tax Certification.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- *i. Character-defining features*—Preserve character defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- *ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- *iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- *iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. New features—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block. ii. Historical commercial facades—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

UDC Section 35-618. Tax Exemption Qualification.

(d)Certification.

(1)Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

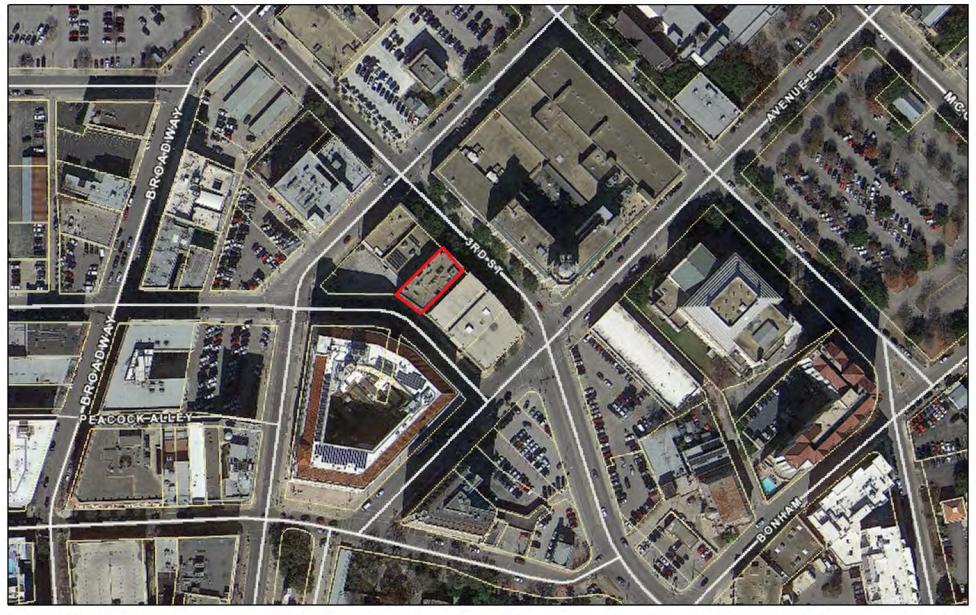
FINDINGS:

- a. The three story structure located at 311 3rd Street was constructed circa 1917 and features reinforced concrete construction with infill clay block tiles. At this time the structure is not a locally designated landmark; however, the applicant has submitted an application for historic designation.
- b. REHABILITATIVE WORK The applicant has proposed to perform rehabilitative scopes of work to include window repair and masonry cleaning. The applicant has noted that the proposed scope of work will be done inkind with like materials. Staff finds the proposed scope of work to be appropriate and consistent with the Guidelines for Exterior Maintenance and Alterations.
- c. CURTAIN WALL STOREFRONT SYSTEM On the west façade, the applicant has proposed to remove the existing, clay block infill on the west façade and install a new curtain wall storefront system. This west wall is currently void of any ornamentation or fenestration. Currently, the façade features exposed concrete structure with infill clay block tiles. The proposed curtain wall storefront system will span from the ground level to the third level. The existing parapet wall will not be modified. Generally, staff finds the proposed modification to be appropriate as it does not modify or negatively impact historic fenestration patterns or ornamentation and is located on a non-primary façade.
- d. HISTORIC TAX CERTIFICATION The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

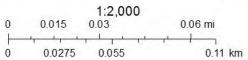
RECOMMENDATION:

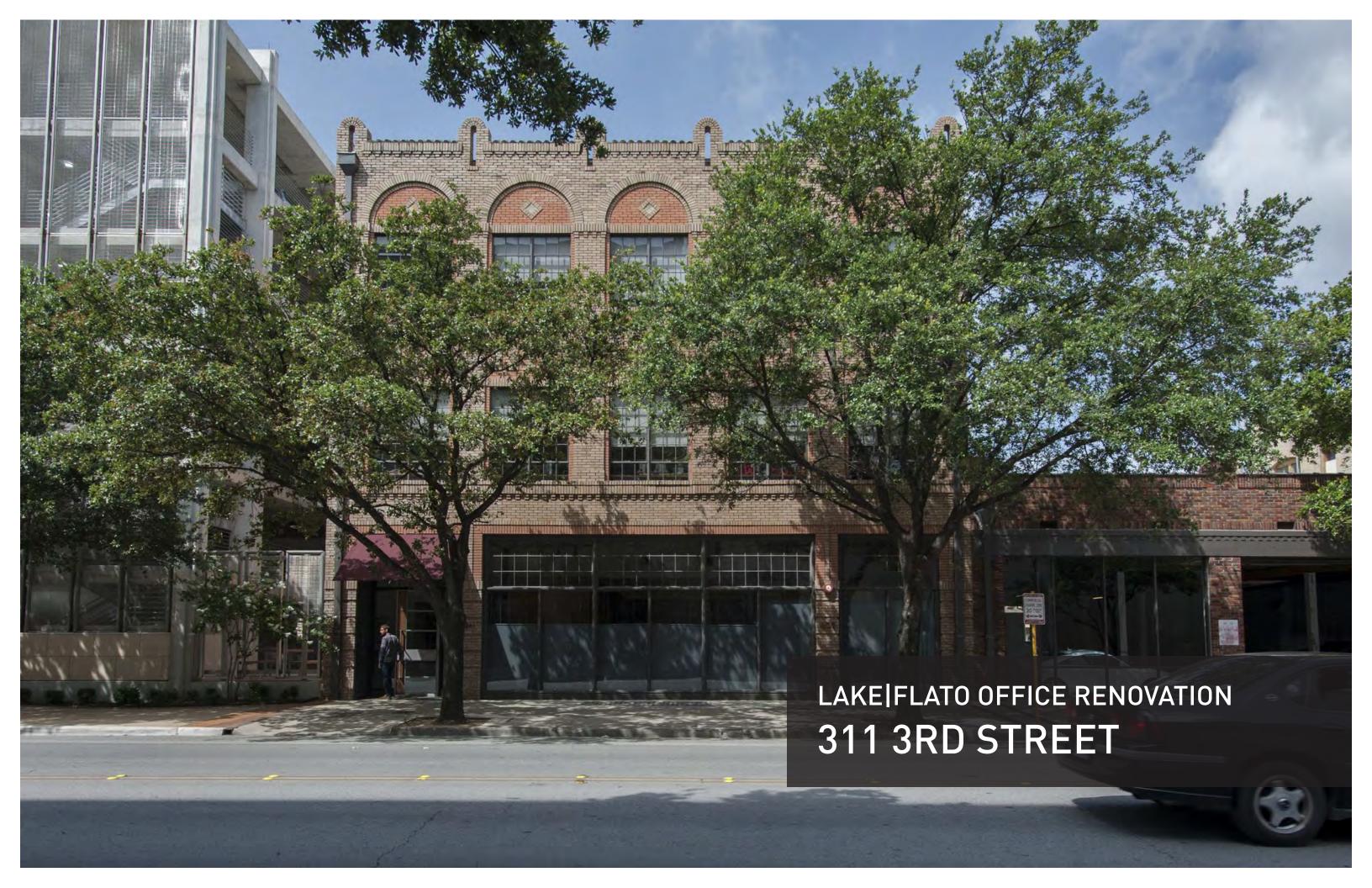
Staff recommends approval of items #1 through #3 based on findings a through d.

City of San Antonio One Stop



May 14, 2021





NARRATIVE

The Applicant, Lake | Flato Architects, has occupied the the 3-story 311 3rd street building and adjacent 1-story 305 3rd street parking garage since 1984, and intends to continue occupying the buildings.

The project is primarily light interior renovation at the 3-story 311 3rd street office building along with necessary repairs and maintenance of the existing facades and adjacent sidewalks.

The Applicant is working with Ann McGlone regarding the proposed improvements which will be submitted to the Texas Historical Commission for approval for Historic Tax Credits.

3-Story 311 3rd street office building:

The building is located mid-block on the south side of 3rd Street between N Alamo Street and Avenue E. The Primary elevation faces northeast (plan north) toward 3rd Street and shares a party wall on the northwest side with the 1-story building mentioned below. To the southeast stands a multi-story parking garage with a narrow alley between it and the 311 3rd building. The Secondary elevation faces southwest to E Travis Street. Built in 1917, the building is of reinforced concrete construction with a combination of clay tile block and brick exterior walls. Painted steel fixed and casement windows dominate the north and south facades, and some limited areas of painted steel windows also occur on the tertiary east and west elevations.

The proposed improvements are primarily interior rehabilitation that will preserve the character-defining volume and open configuration of the space while providing updates to systems and a functional layout. Notably, the historic floor tile at the first floor will remain and be highlighted as part of the entry/lobby experience. The existing concrete structure that is a signature element of the historic building will remain intact and will be prominently featured throughout all three levels.

Exterior improvements for the Primary and Secondary facades are limited to cleaning and routine repairs of the masonry and windows, along with replacement in-kind of any broken glass panes. The tertiary facades at the east and west will be cleaned and repainted so that concrete structure will remain visible. New painted storefront windows and doors will be introduced to 19% of the west facade connecting the interior spaces to the adjacent 305 3rd property. These windows will match the existing windows at the lower level of the Primary facade on 3rd street. Existing street trees (live oaks) will remain along 3rd Street will be replaced in-kind to meet ADA requirements as required by the UDC. The basement skylight will remain.

SCHEDULE

SUBMIT FOR LANDMARK STATUS - APRIL 30TH 2020 SUBMIT FOR HDRC REVIEW - APRIL 30TH 2020 SUBMIT HISTORIC CERTIFICATION PART 1 - APRIL 30TH 2020

DESIGN AUGUST 2020 - JUNE 2021

SUBMIT FOR PERMIT - JUNE 2021 CONSTRUCTION START - AUGUST 2021 CONSTRUCTION COMPLETION - FEBRUARY 2022

ESTIMATED COSTS

\$ 3,600,000.00

EXISTING EXTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - PRIMARY FACADE (NORTH)



311 BUILDING - TERTIARY (WEST) AND SECONDARY (SOUTH) FACADES



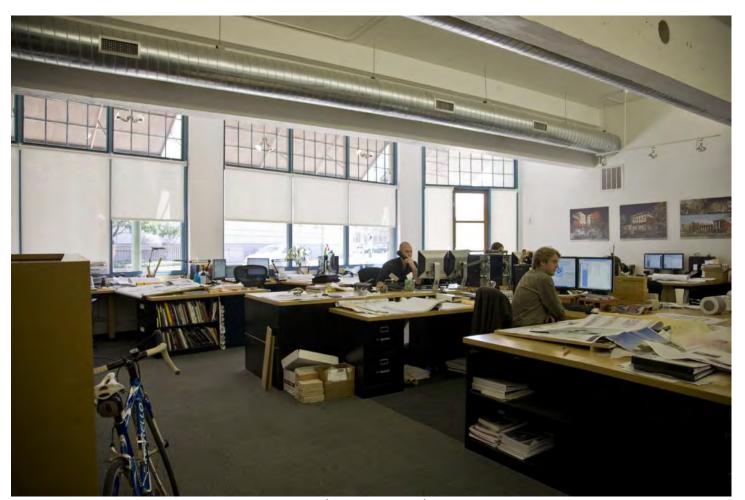
EXISTING INTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - 1ST FLOOR NORTH STUDIO (LOOKING SW)



311 BUILDING - 1ST FLOOR NORTH STUDIO (LOOKING SE



311 BUILDING - 1ST FLOOR SOUTH STUDIO (LOOKING SW)

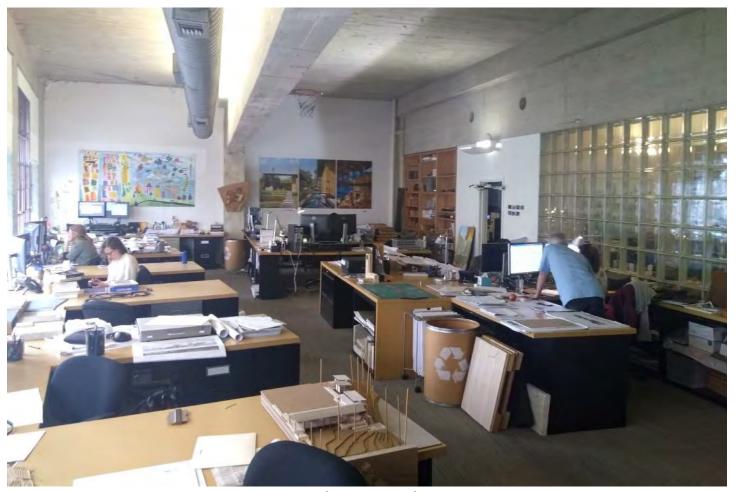
EXISTING INTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - 2ND FLOOR NORTH STUDIO (LOOKING SW)



311 BUILDING - 2ND FLOOR SOUTH STUDIO (LOOKING SW)

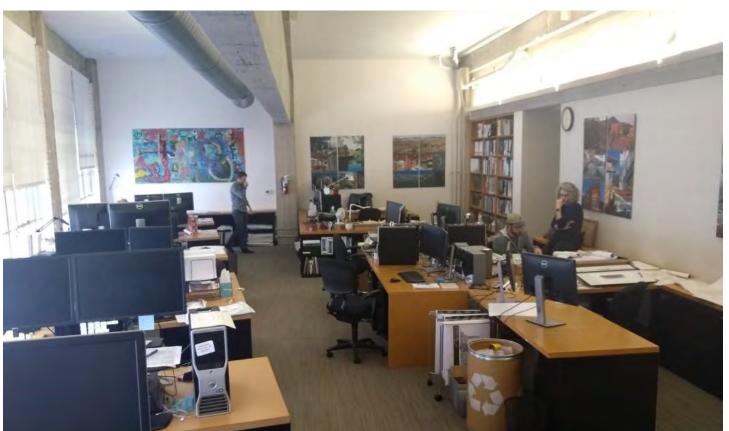


311 BUILDING - 2ND FLOOR SOUTH STUDIO (LOOKING W)

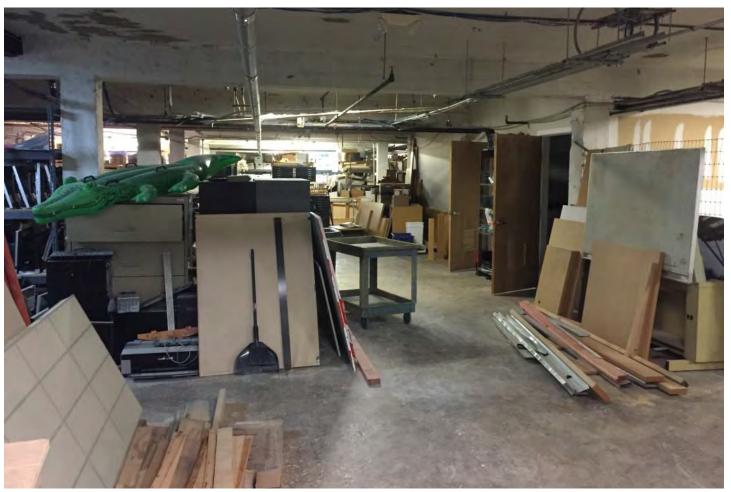
EXISTING INTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - 3RD FLOOR NORTH STUDIO (LOOKING NW)



311 BUILDING - 3RD FLOOR SOUTH STUDIO (LOOKING W)



311 BUILDING - BASEMENT

EXISTING VIEW ALONG 3RD STREET



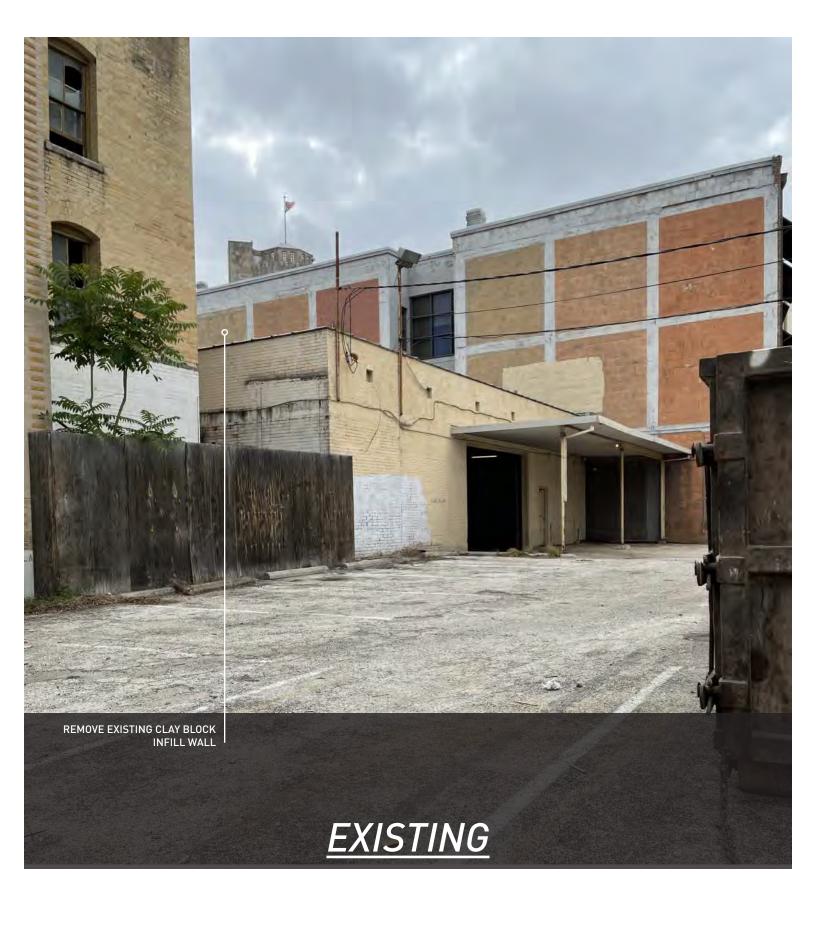
PROPOSED VIEW ALONG 3RD STREET







VIEW ALONG N ALAMO STREET





EXISTING VIEW ALONG TRAVIS STREET





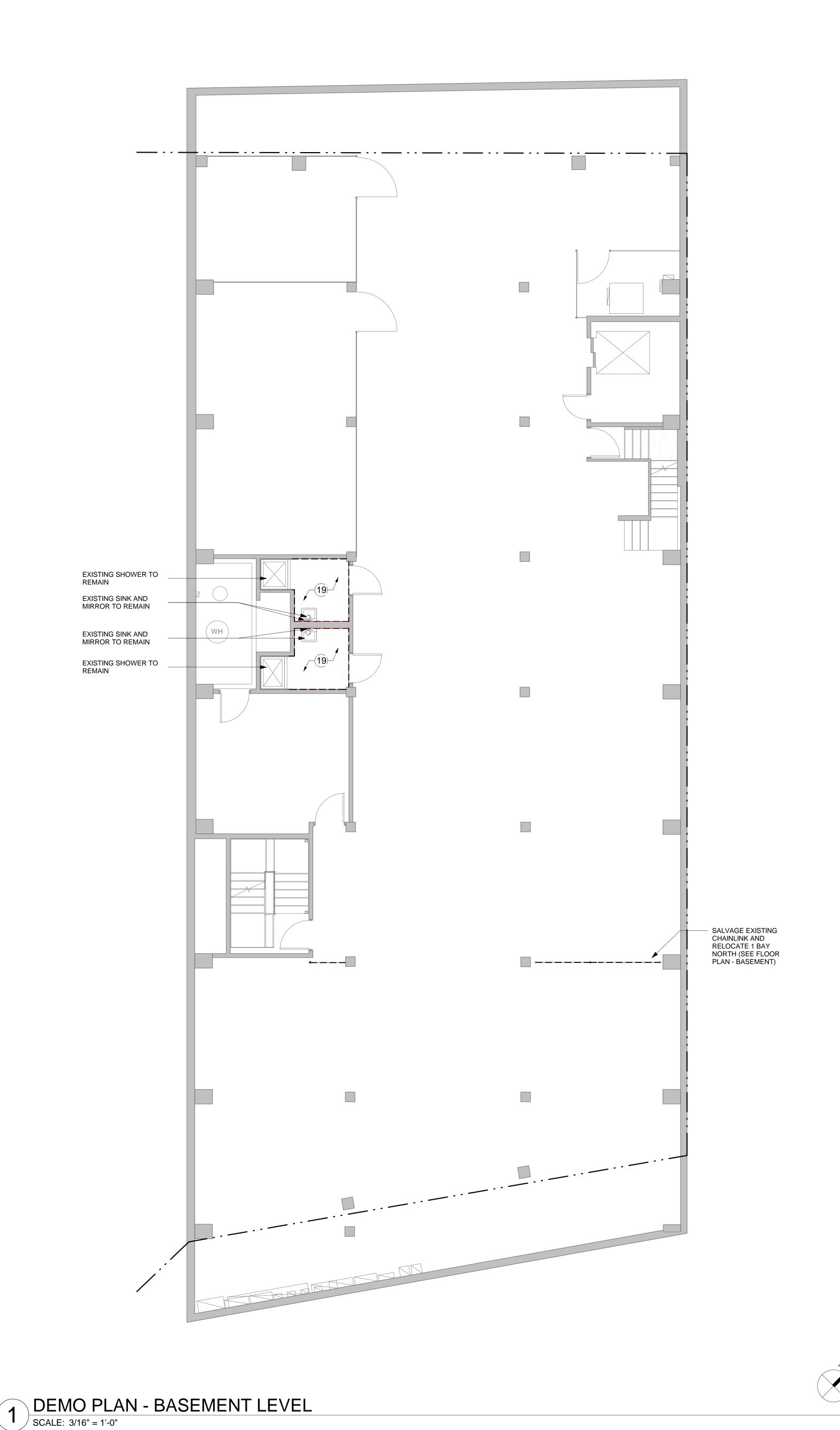
VIEW ALONG TRAVIS STREET 2



SIDE ELEVATION TO BE REPAINTED

REPLACE BROKEN GLASS PANES WITH CLEAR, COLORLESS, AND NON-REFLECTIVE GLASS TO MATCH EXISTING. RESEAL ALL EX-ISTING WINDOW JAMBS, HEADS & SILLS, AND REPAINT EXTERIOR OF WINDOWS TO MATCH EXISTING AT 3-STORY BUILDING

EXISTING BRICK, FENESTRATION, AWINGS TO REMAIN AT 3-STORY BUILDING. CLEAN AND REPAIR AS NEEDED





DEMO PLAN LEGEND

TO REMAIN _______TO DEMOLISH

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE DASHED LINES GENERALLY INDICATE THOSE BUILDING ELEMENTS WHICH MUST BE DEMOLISHED TO COMPLETE THE WORK. CONTRACTOR SHALL REMOVE FINISHES AND COMPONENTS AS REQUIRED TO COMPLETE THE NEW WORK WHETHER OR NOT SUCH

REMOVAL IS SPECIFICALLY NOTED HEREIN.
PROTECT EXISTING ITEMS, MATERIALS, AND / OR FINISHES THAT ARE TO REMAIN FROM DAMAGE.
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DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF PARTITION WALLS, UNLESS OTHERWISE INDICATED.

CONTRACTOR TO REMOVE ALL PAINT FROM EXIST. GARAGE BRICK WALLS.

CONTRACTOR TO REMOVE MORTAR AS REQUIRED FOR TUCKPOINTING OF EXIST. BRICK & CLAY BLOCK WALLS.

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8 CONTRACTOR TO SALVAGE AND CLEAN ENOUGH EXIST. BRICK TO REPAIR EXIST. HOLES IN MASONRY AS NOTED OR INDICATED IN DRAWINGS.

A DEMO & REMOVE EXIST. ROOFTOP MECH UNIT. PATCH EXISTING ROOF PENETRATIONS

(B) DEMO. & REMOVE EXIST. BRICK OR CLAY BLOCK INFILL WALL IN ITS ENTIRETY.

ADD ALTERNATE: 1 EXISTING CONCRETE COLUMNS AND BEAMS SHALL BE SANDBLASTED, PAINT REMOVED

2 EXISTING TILE FLOOR TO REMAIN; PROTECT DURING CONSTRUCTION

3 DEMO EXISTING CARPET FLOORING

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5 CORE DRILL FOR NEW FLOOR BOX

6 DEMO PORTION OF EXISTING CONCRETE SLAB

(7) EXISTING GLAZING SYSTEM TO REMAIN; PROTECT DURING CONSTRUCTION

8 EXISTING SKYLIGHT TO REMAIN; PROTECT DURING CONSTRUCTION

9

(<u>10</u>)

(11) DEMOLISH EXISTING CASEWORK

(12) DEMOLISH EXISTING PLUMBING FIXTURES

EXISTING STAIR TO REMAIN; PATCH AND REPAIR CONCRETE, PREP FOR NEW EPOXY COATING

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(18) SALVAGE EXISTING LIGHT FIXTURES

(19) DEMO EXISTING FRP PANELS

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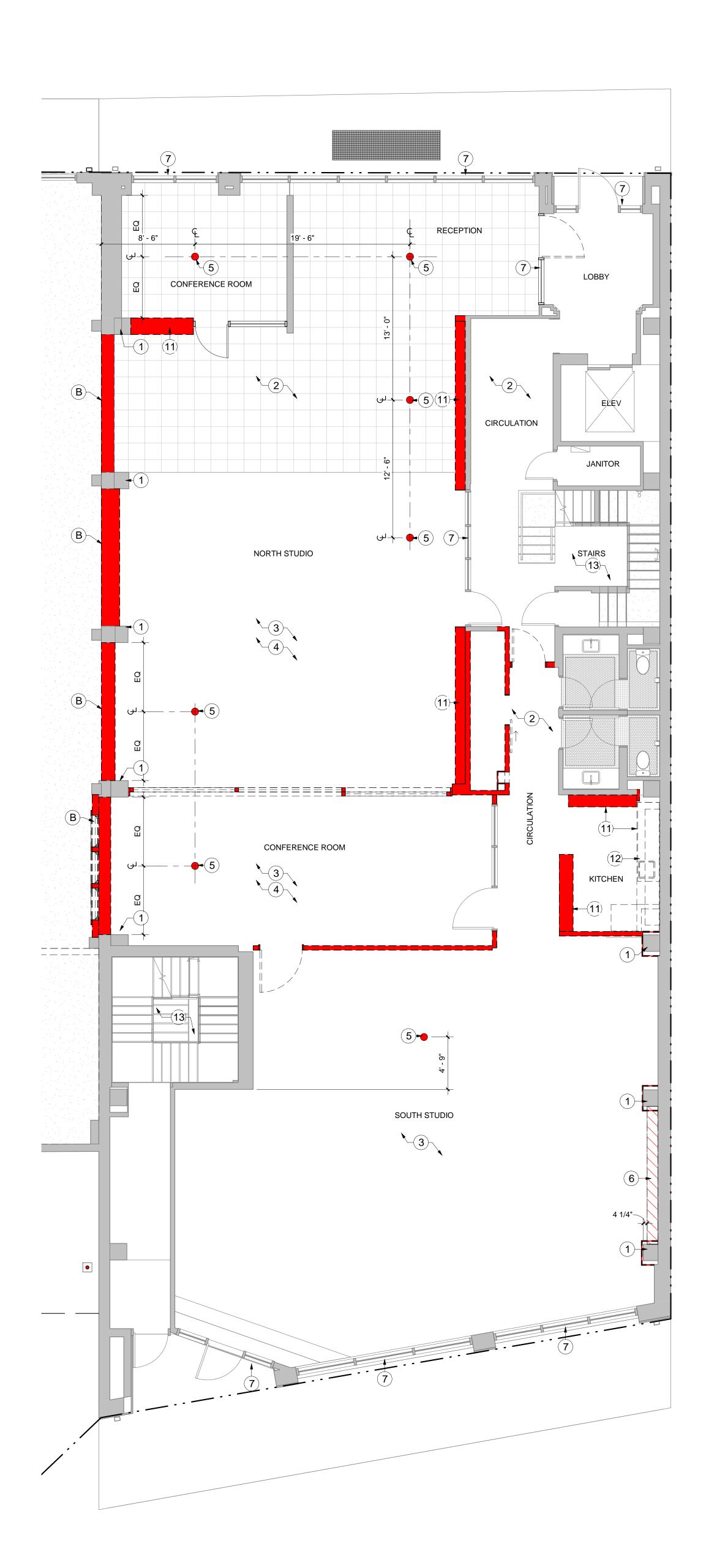
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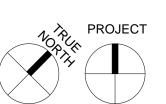
SCHEMATIC DESIGN V2

DEMO PLAN -BASEMENT

AD200



DEMO PLAN - LEVEL 1
SCALE: 3/16" = 1'-0"



DEMOLITION PLAN NOTES

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DEMO PLAN - 1ST FLOOR



DEMO PLAN - LEVEL 2

SCALE: 3/16" = 1'-0"

DEMO PLAN LEGEND

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DEMO PLAN - 2ND FLOOR



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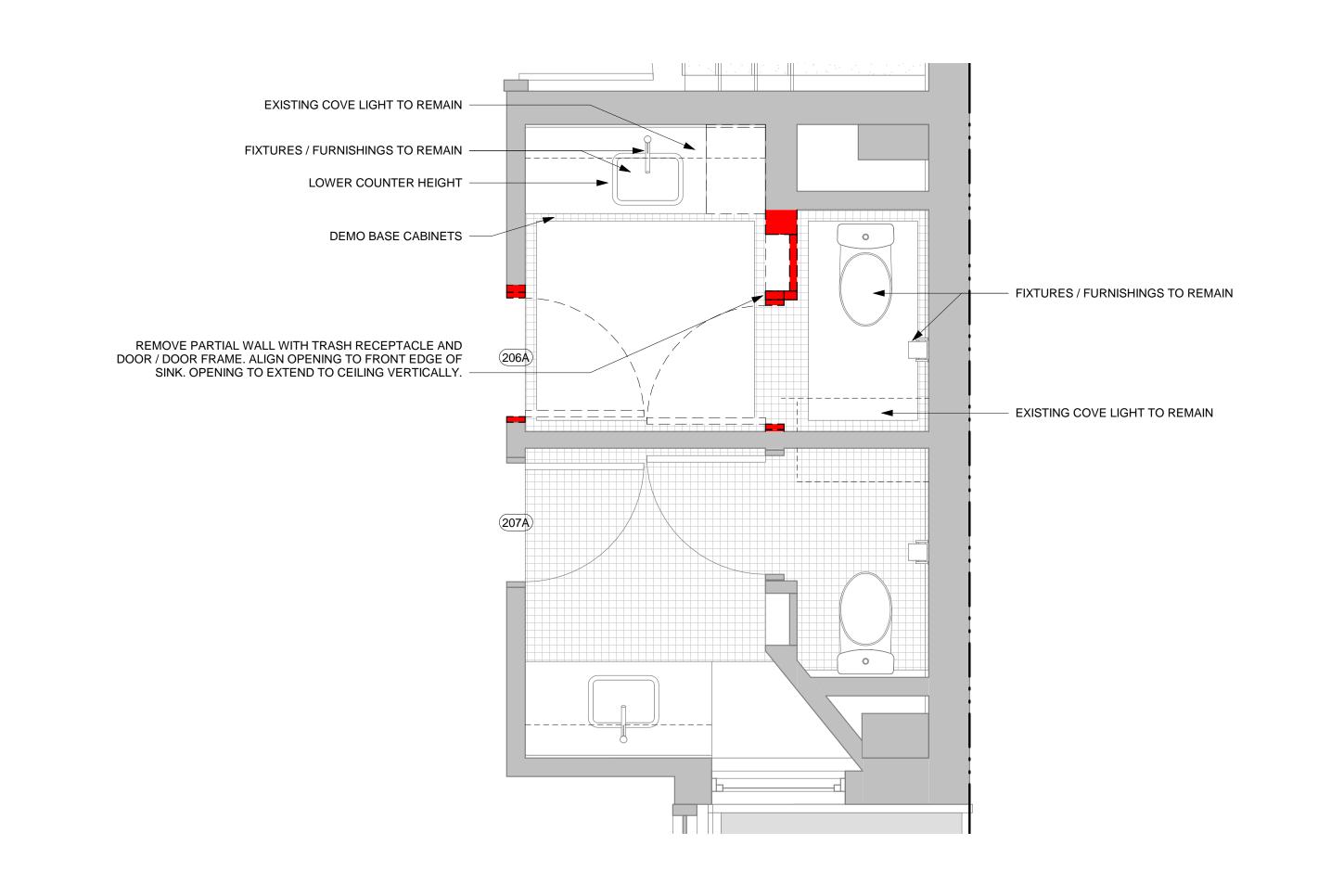
DEMO PLAN - 3RD

FLOOR

AD203

PROJECT

1 DEMO PLAN - LEVEL 3
SCALE: 3/16" = 1'-0"



2 DEMO PLAN - LEVEL 2 WC'S

SCALE: 1/2" = 1'-0"

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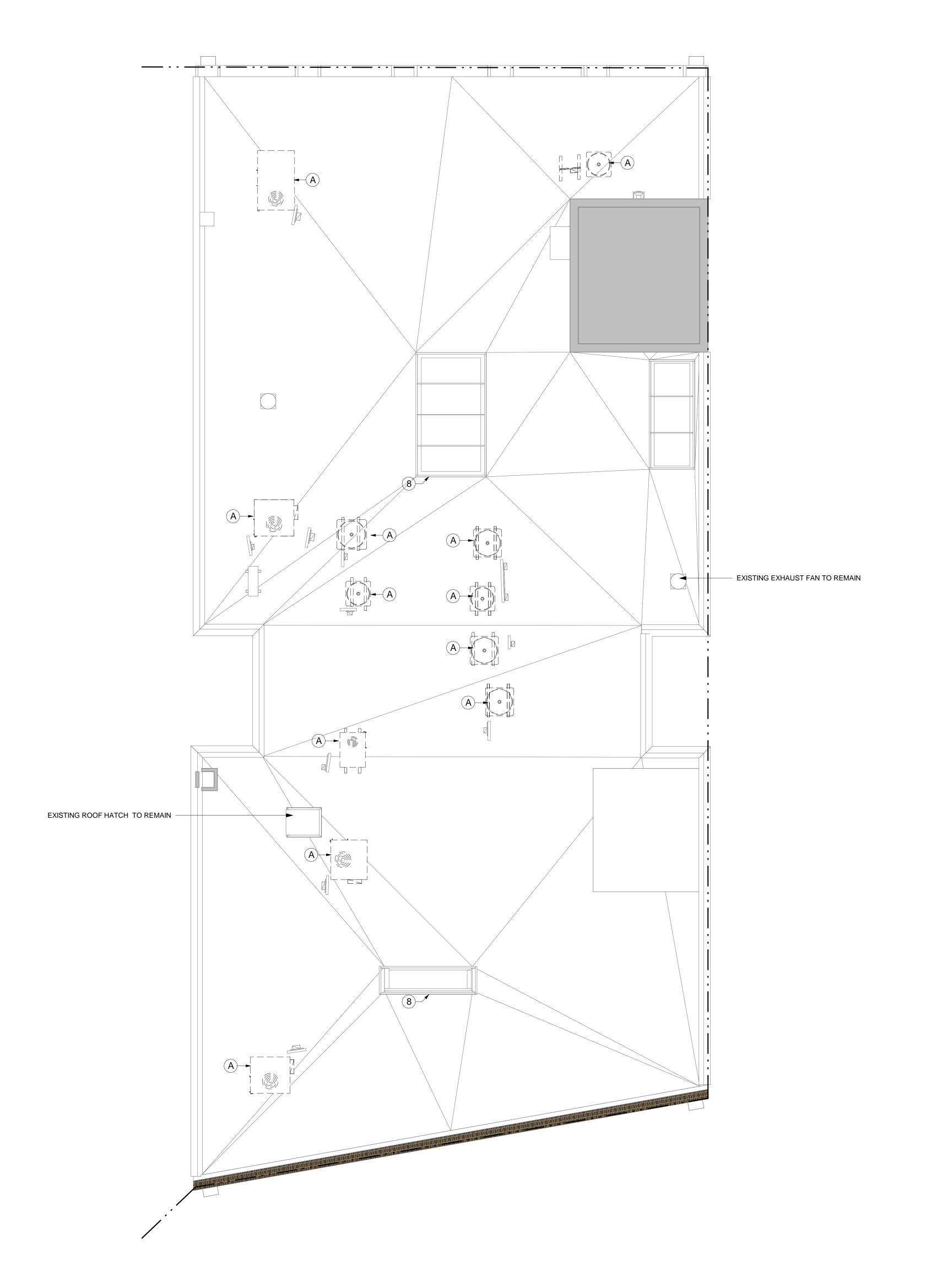
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DEMO PLANS - WC'S

ΔD220



DEMO PLAN - ROOF

SCALE: 3/16" = 1'-0"

DEMO PLAN LEGEND

TO REMAIN TO DEMOLISH

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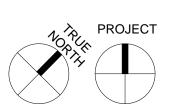
NO. DATE DESCRIPTION

REVISIONS

SCHEMATIC DESIGN V2

DEMO PLAN - ROOF





DEMOLITION PLAN NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE DASHED LINES GENERALLY INDICATE THOSE BUILDING ELEMENTS WHICH MUST BE DEMOLISHED TO COMPLETE THE WORK. CONTRACTOR SHALL REMOVE FINISHES AND COMPONENTS AS REQUIRED TO COMPLETE THE NEW WORK WHETHER OR NOT SUCH REMOVAL IS SPECIFICALLY NOTED HEREIN.
- PROTECT EXISTING ITEMS, MATERIALS, AND / OR FINISHES THAT ARE TO REMAIN FROM DAMAGE. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTING WORK. DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF
- PARTITION WALLS, UNLESS OTHERWISE INDICATED. CONTRACTOR TO REMOVE ALL PAINT FROM EXIST. GARAGE BRICK WALLS.
- CONTRACTOR TO REMOVE MORTAR AS REQUIRED FOR TUCKPOINTING OF EXIST. BRICK & CLAY BLOCK CONTRACTOR TO REMOVE PAINT AS REQUIRED FOR REPAINTING OF EXIST. CLAY BLOCK WALLS AND EXPOSED CONCRETE STRUCTURE.
- CONTRACTOR TO SALVAGE AND CLEAN ENOUGH EXIST. BRICK TO REPAIR EXIST. HOLES IN MASONRY AS NOTED OR INDICATED IN DRAWINGS.
 - DEMO & REMOVE EXIST. ROOFTOP MECH UNIT. PATCH EXISTING ROOF PENETRATIONS
 - (B) DEMO. & REMOVE EXIST. BRICK OR CLAY BLOCK INFILL WALL IN ITS ENTIRETY.
- EXISTING CONCRETE COLUMNS AND BEAMS SHALL BE SANDBLASTED, PAINT ADD ALTERNATE: 1
 - 2 EXISTING TILE FLOOR TO REMAIN; PROTECT DURING CONSTRUCTION
 - 3 DEMO EXISTING CARPET FLOORING
 - 4 CONCRETE SLAB TO REMAIN EXPOSED; PROTECT DURING CONSTRUCTION
 - 5 CORE DRILL FOR NEW FLOOR BOX
 - 6 DEMO PORTION OF EXISTING CONCRETE SLAB
 - 7 EXISTING GLAZING SYSTEM TO REMAIN; PROTECT DURING CONSTRUCTION
 - (8) EXISTING SKYLIGHT TO REMAIN; PROTECT DURING CONSTRUCTION

 - (11) DEMOLISH EXISTING CASEWORK
 - (12) DEMOLISH EXISTING PLUMBING FIXTURES
 - EXISTING STAIR TO REMAIN; PATCH AND REPAIR CONCRETE, PREP FOR NEW EPOXY COATING
 - (14) DEMO EXISTING CEILING / SOFFIT
 - (15) DEMO EXISTING LIGHTING FIXTURE
 - (16) DEMO EXISTING COVE LIGHTING
 - (17) DEMO EXISTING DUCTWORK, DIFFUSERS, GRILLES
 - (18) SALVAGE EXISTING LIGHT FIXTURES
 - (19) DEMO EXISTING FRP PANELS

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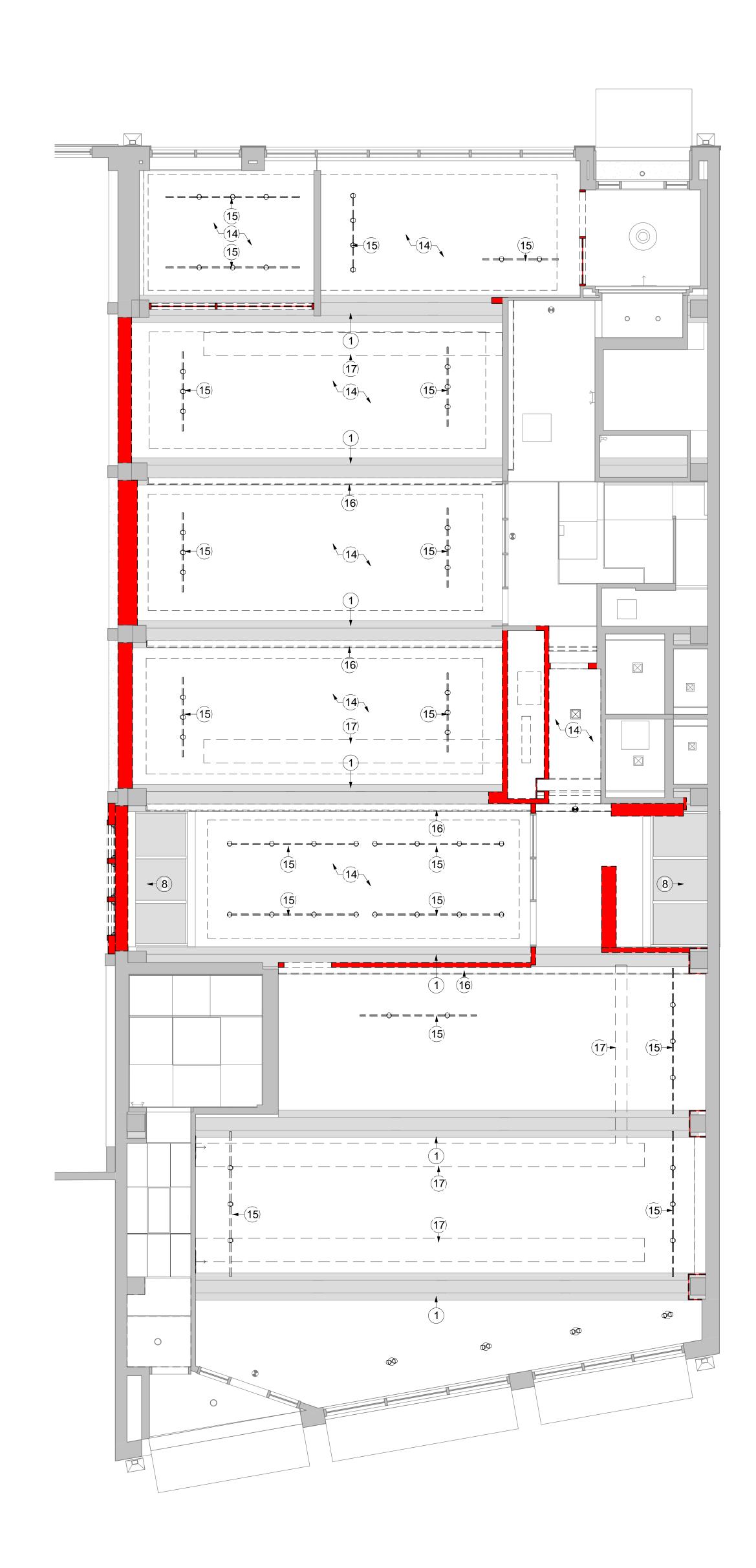
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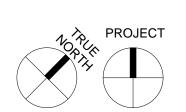
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DEMO RCP -**BASEMENT**





DEMOLITION PLAN NOTES

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 DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF
- 5 CONTRACTOR TO REMOVE ALL PAINT FROM EXIST. GARAGE BRICK WALLS.
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 - PENETRATIONS

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 - REMOVED

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- (18) SALVAGE EXISTING LIGHT FIXTURES
- (19) DEMO EXISTING FRP PANELS

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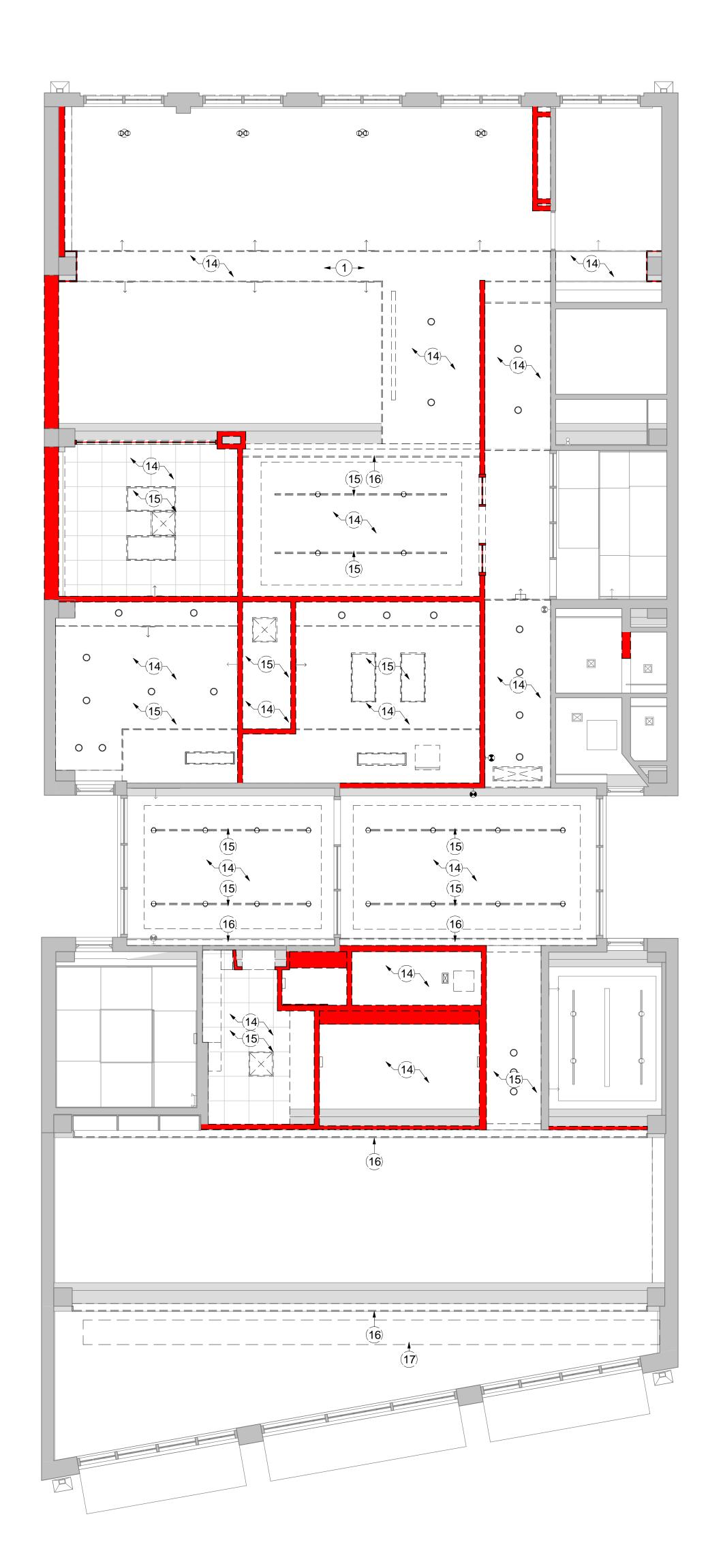
SCHEMATIC DESIGN V2

DEMO RCP - LEVEL 1

AD301

1 DEMO RCP - LEVEL 1
SCALE: 3/16" = 1'-0"

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CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. THESE DEMOLITION PLANS ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE DASHED LINES GENERALLY INDICATE THOSE BUILDING ELEMENTS WHICH MUST BE DEMOLISHED TO COMPLETE THE WORK. CONTRACTOR SHALL REMOVE FINISHES AND COMPONENTS AS REQUIRED TO COMPLETE THE NEW WORK WHETHER OR NOT SUCH REMOVAL IS SPECIFICALLY NOTED HEREIN.

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(19) DEMO EXISTING FRP PANELS

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SCHEMATIC DESIGN V2

DEMO RCP - LEVEL 2

AD302

PROJECT



DEMOLITION PLAN NOTES

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REVISIONS

NO. DATE DESCRIPTION

SCHEMATIC DESIGN V2

DEMO RCP - LEVEL 3

AD303

PROJECT

1 DEMO RCP - LEVEL 3
SCALE: 3/16" = 1'-0"



DEMO ELEVATION - NORTH

SCALE: 3/16" = 1'-0"



2 DEMO ELEVATION - SOUTH SCALE: 3/16" = 1'-0"

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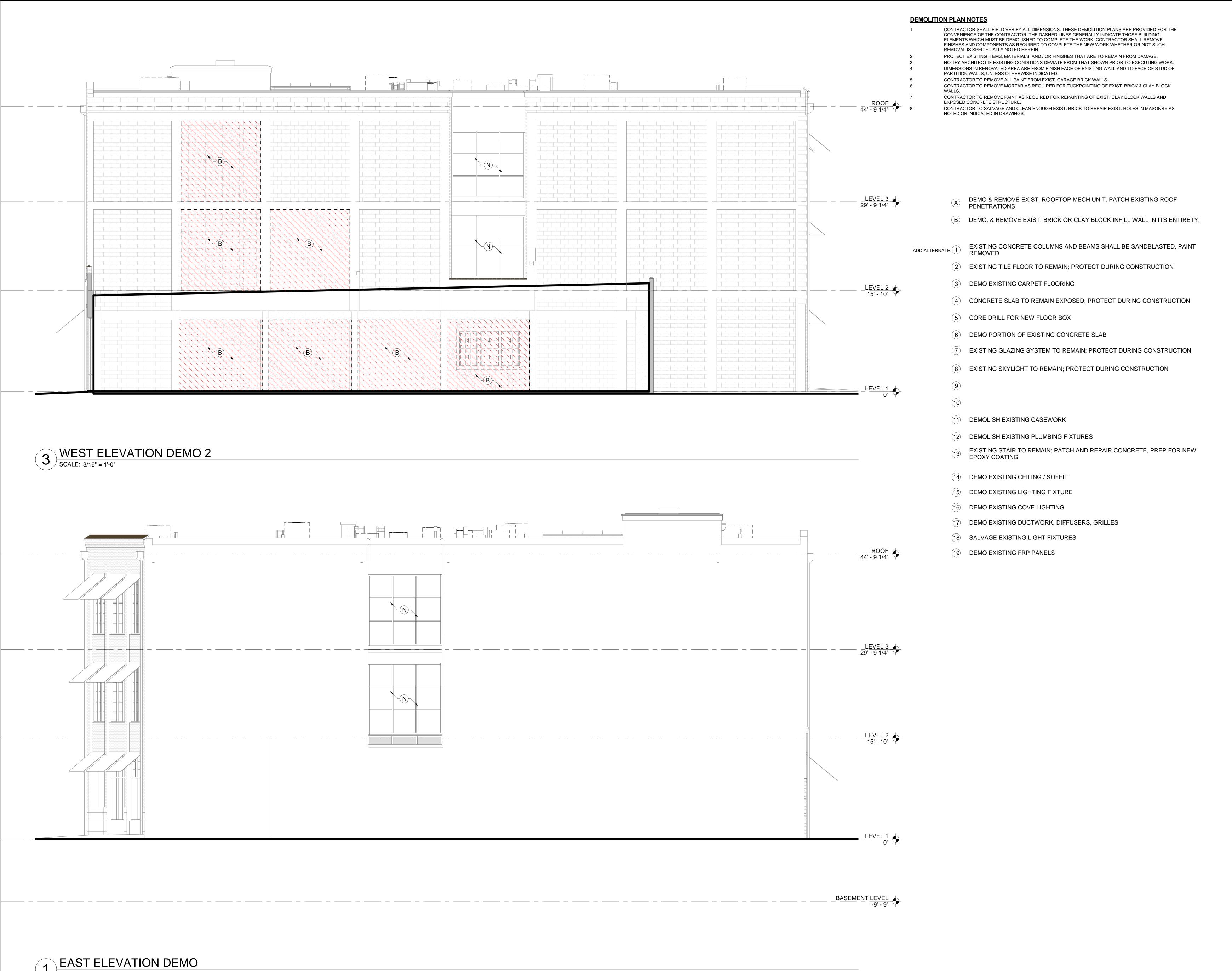
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DEMO ELEVATIONS

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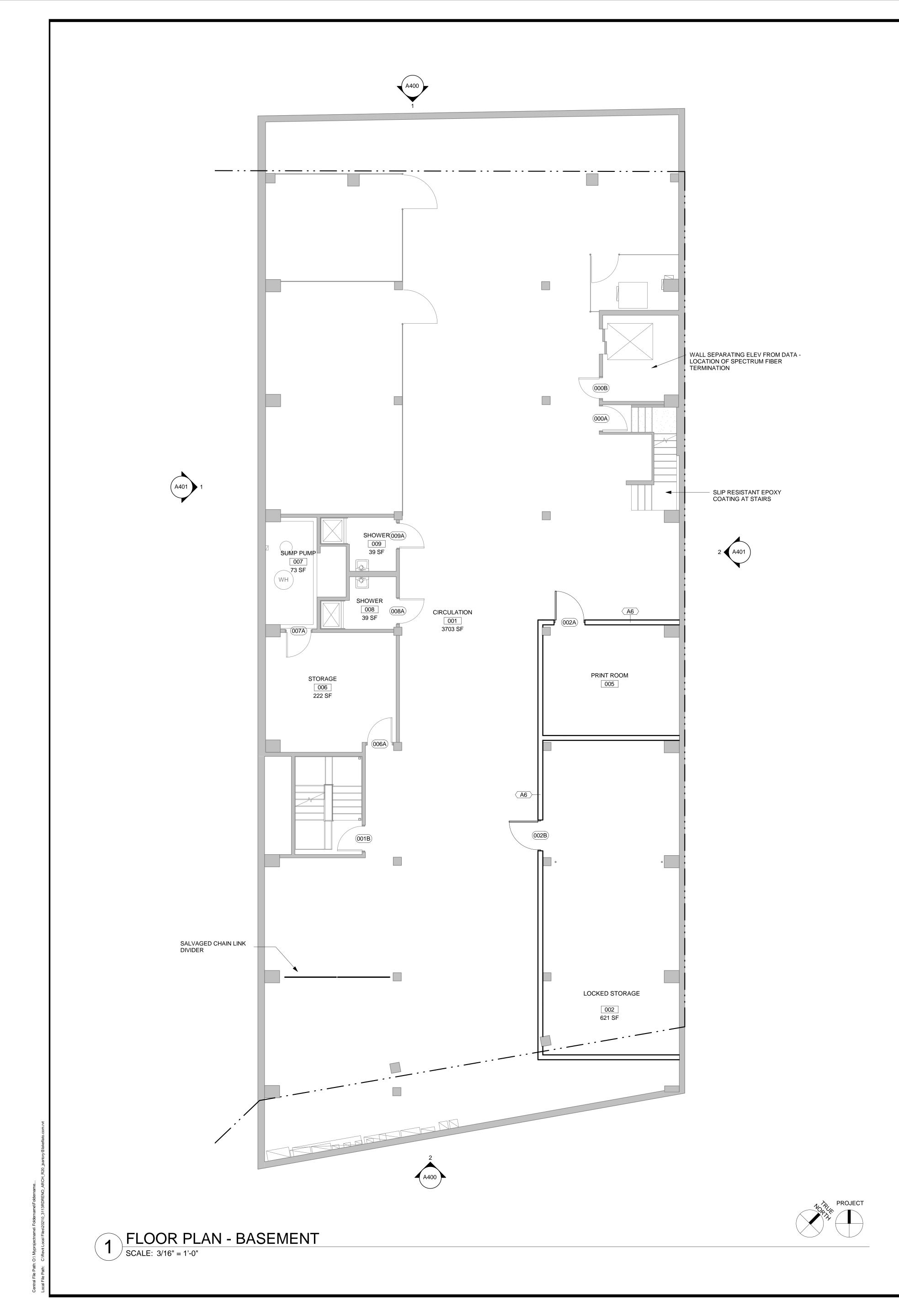
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REVISIONS

SCHEMATIC DESIGN V2

DEMO ELEVATIONS

AD401



- 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "+/-". VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- 2 REFERENCE AXXX FOR PARTITION TYPES. ALL PARTITIONS ARE TYPE xx UNLESS OTHERWISE
- NOTED. ADD FULL, ACOUSTICAL INSULATION TO ALL PARTITION TYPES ENCLOSING THESE SPACES: OFFICE, CONFERENCE ROOM, TOILET ROOMS, AND MECHANICAL ROOMS.
- 3 REFERENCE GXXX SERIES FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- 4 REFERENCE A001 FOR ADDITIONAL GENERAL NOTES. 5 REFERENCE AXXX FOR FINISH SCHEDULES.
- 6 FURNITURE LAYOUT IS FOR "REFERENCE" ONLY.

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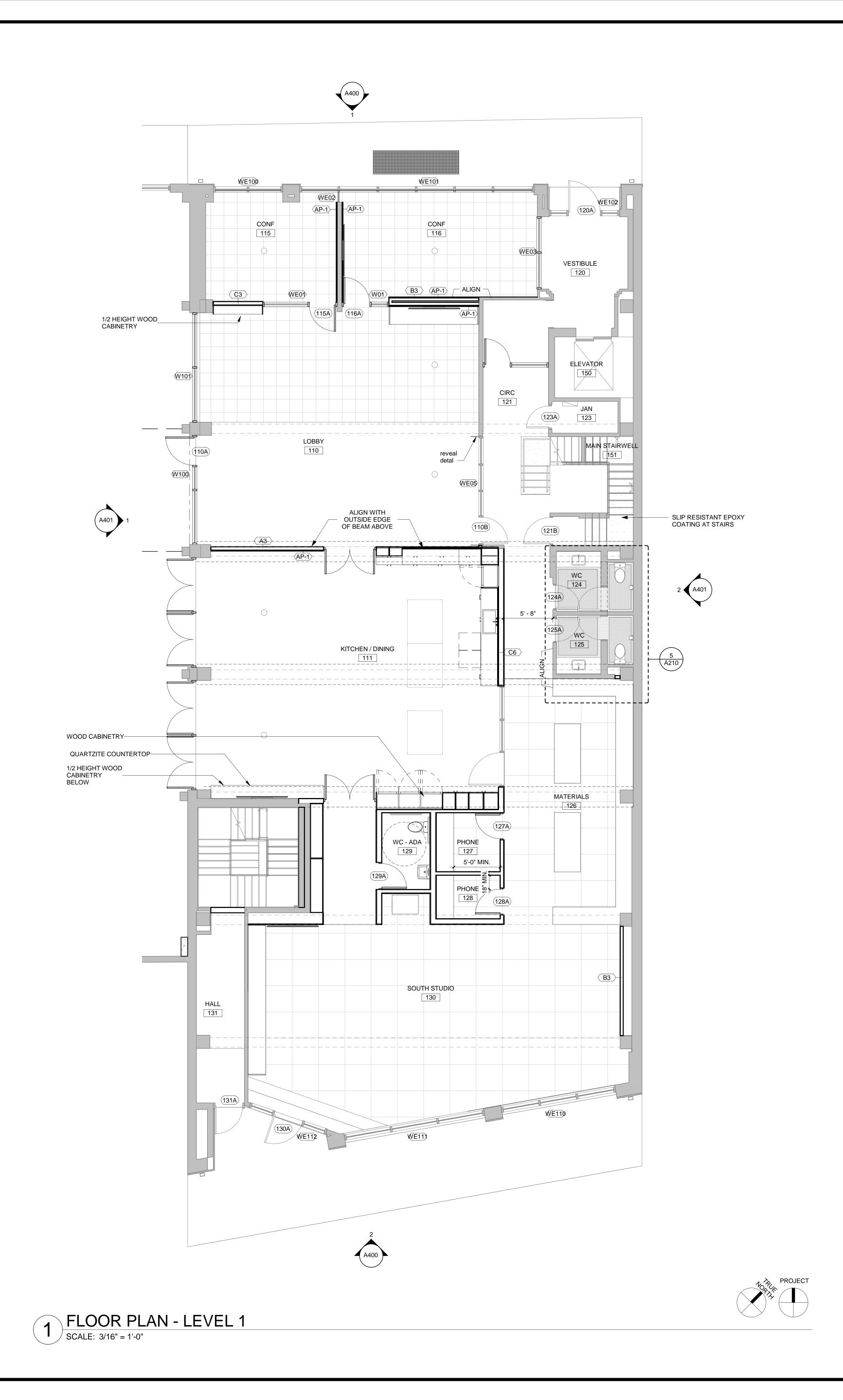
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REVISIONS

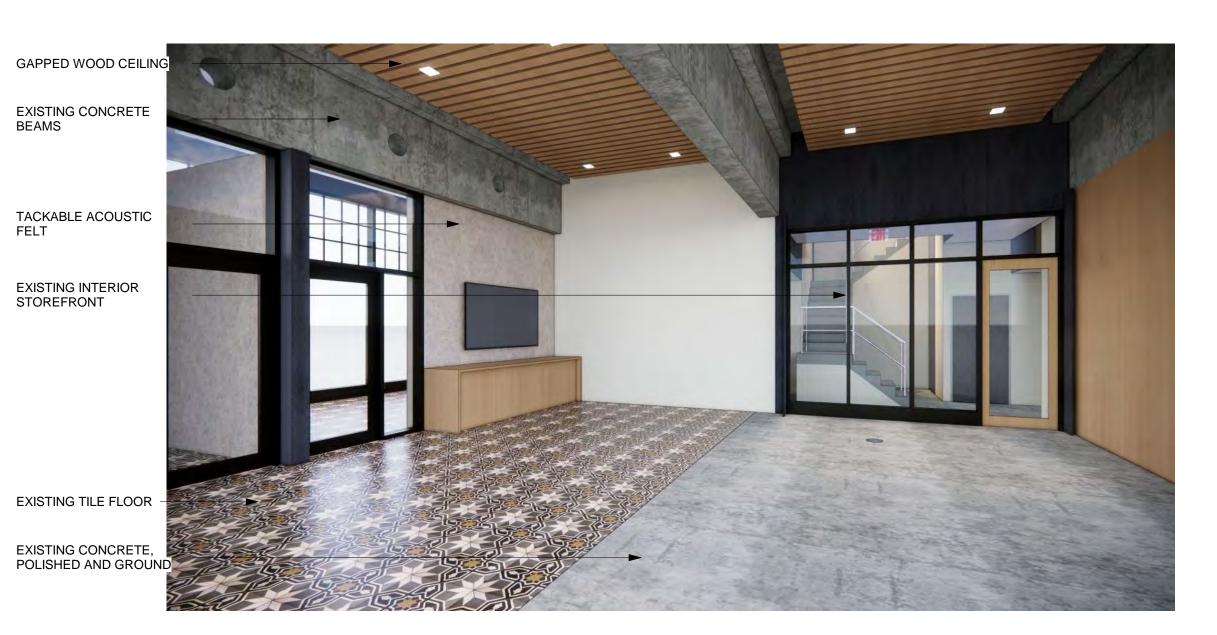
DESCRIPTION

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FLOOR PLAN -BASEMENT



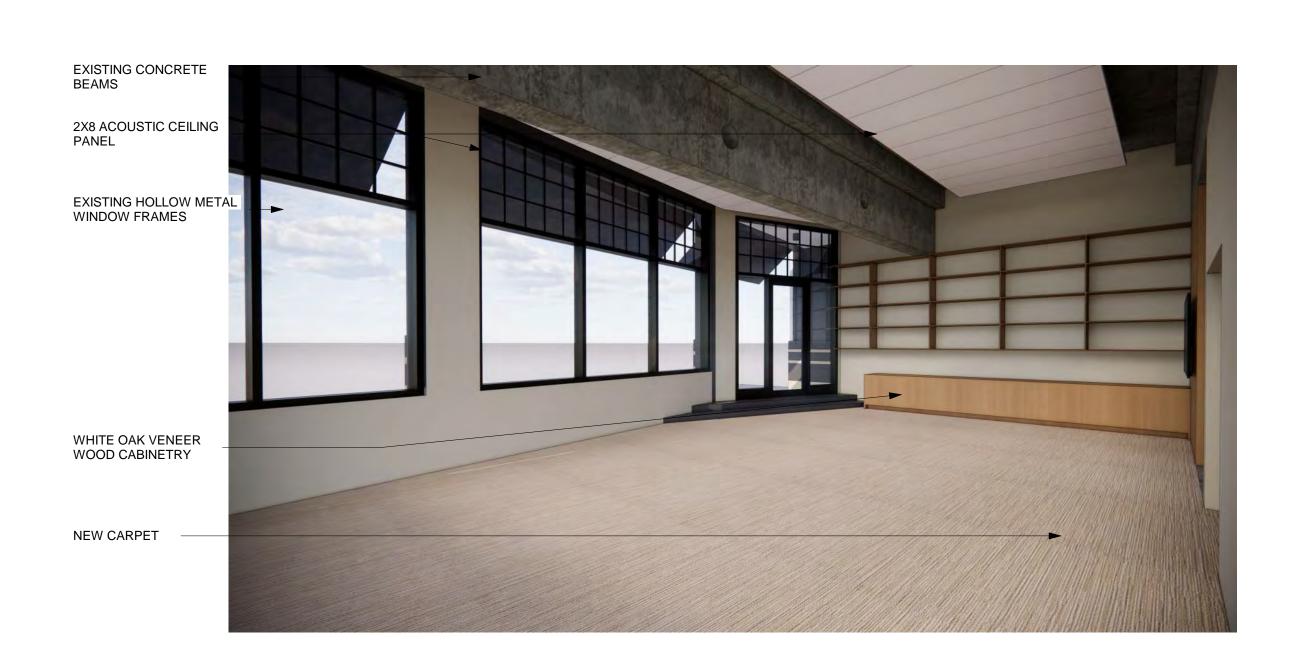
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LOBBY ENTRY VIEW



KITCHEN VIEW



1ST FLOOR SOUTH STUDIO

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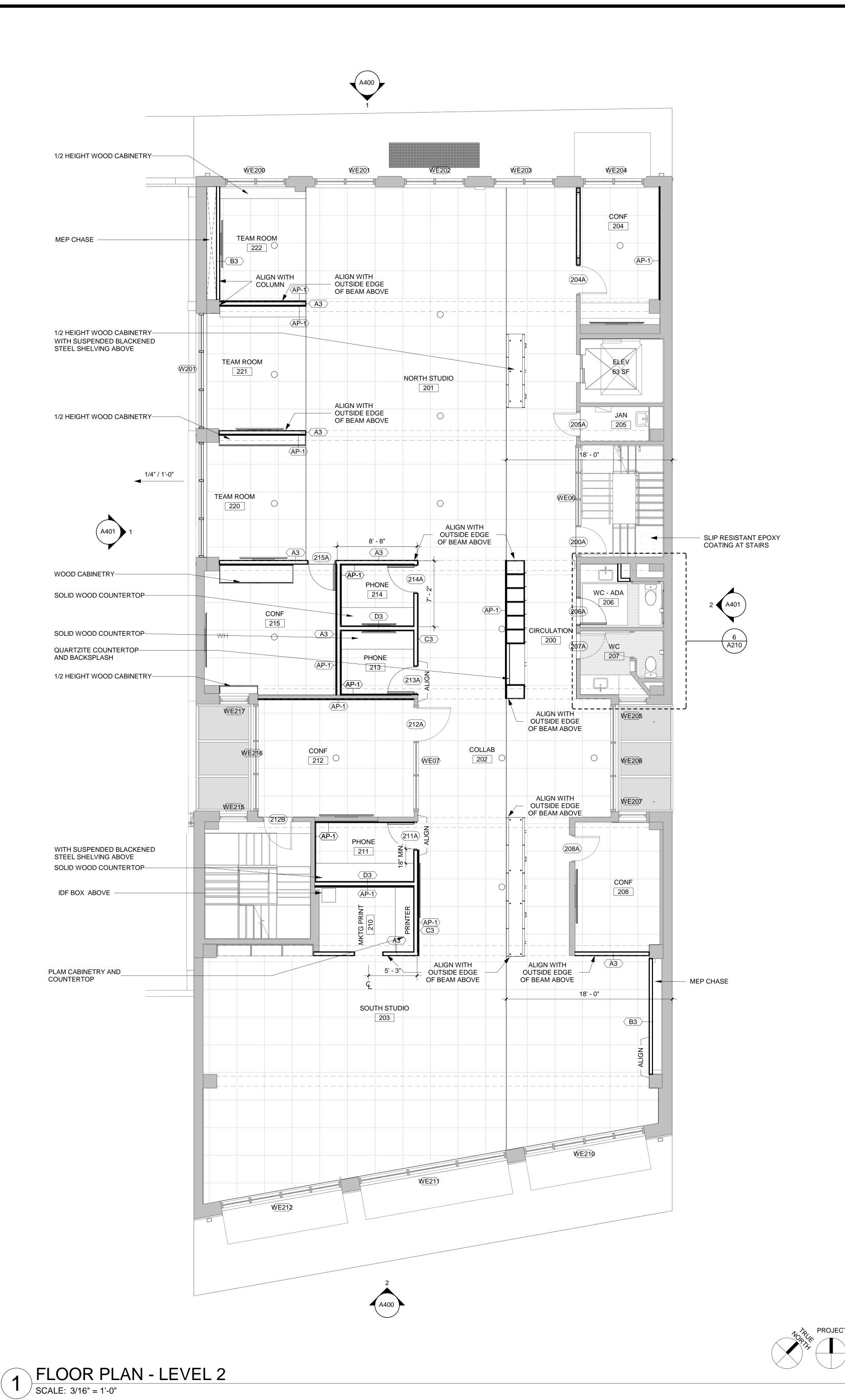
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FLOOR PLAN - 1ST FLOOR

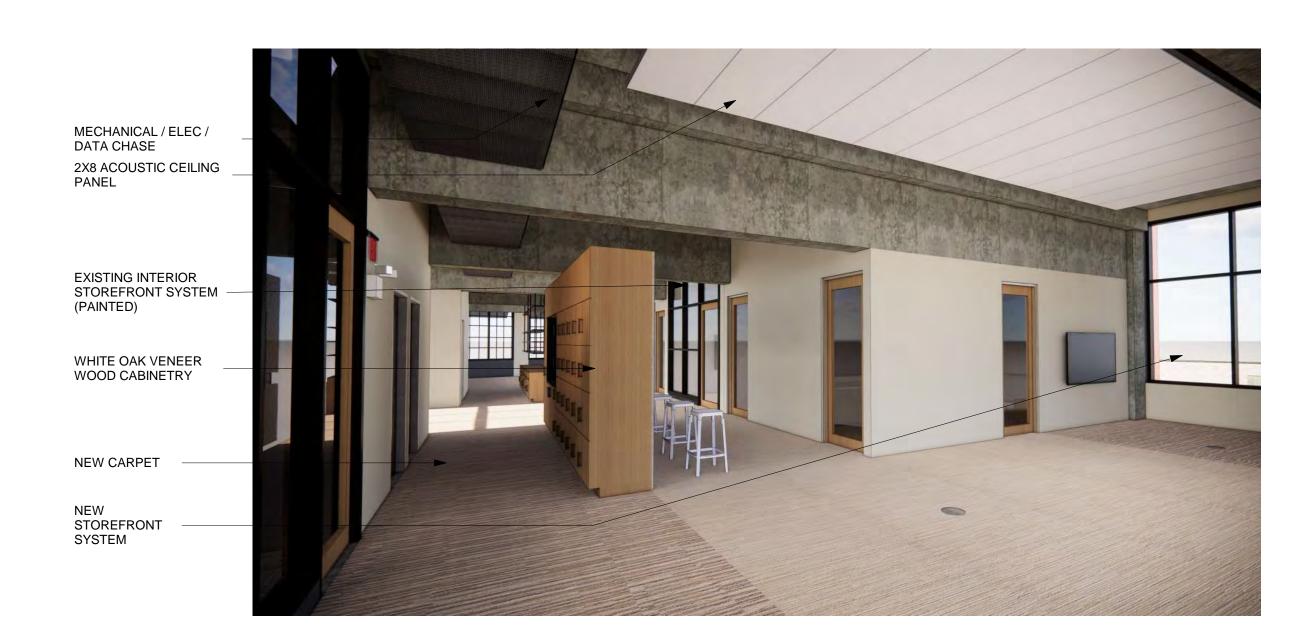


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2ND FLOOR NORTH STUDIO



2ND FLOOR LOOKING SOUTH

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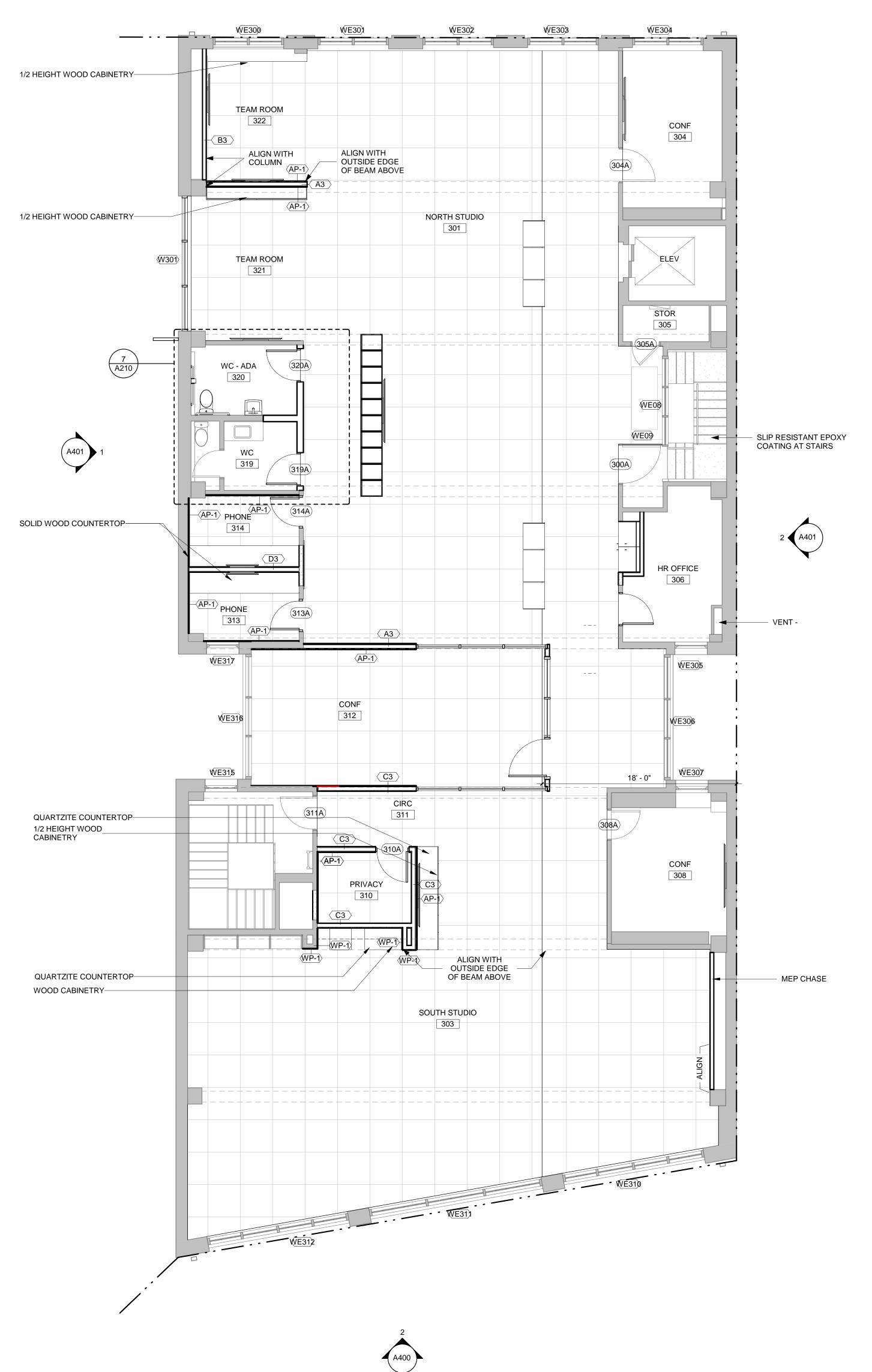
NO. DATE DESCRIPTION

SCHEMATIC DESIGN V2

FLOOR PLAN - 2ND

FLOOR





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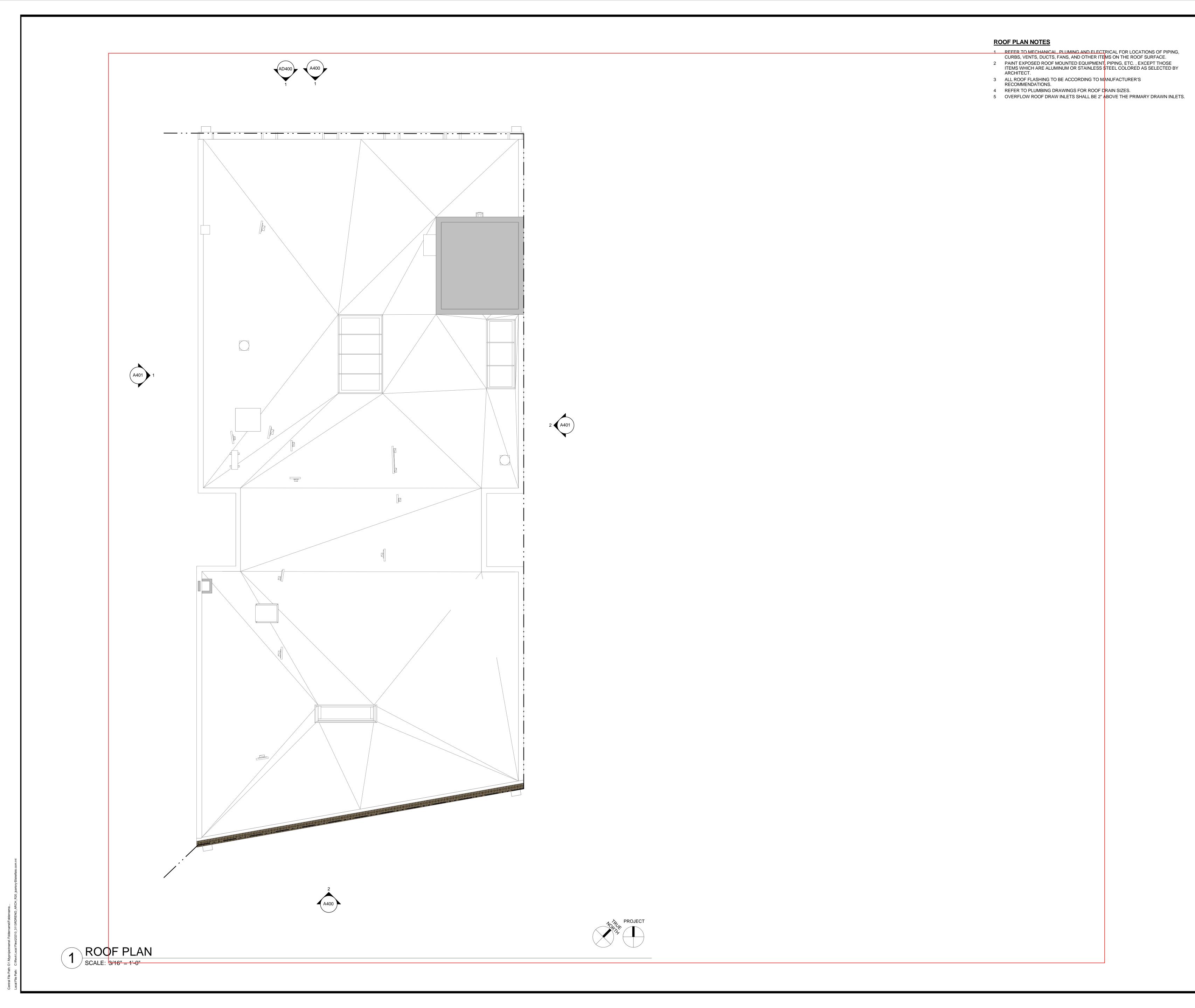
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FLOOR PLAN - 3RD FLOOR



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ROOF PLAN

					ROOM FINISH SCHED					
			BASE		WALL MATER	IAL		CEILING		
ROOM NO.	ROOM NAME	FLOOR MATERIAL	MATERIAL	NORTH	EAST	SOUTH	WEST	FINISH HEIGHT	REMARKS	ROOM NO
01	CIRCULATION	EXISTING	RB-2	-	PT-1	PT-1	PT-1	O.T.S.		001
002	SERVER + BOX FARM + UPS	EXISTING	RB-2	PT-1		PT-1	PT-1	O.T.S.		002
005	PRINT ROOM									005
006	STORAGE	EXISTING	EB-1	PT-1	PT-1	PT-1		O.T.S.		006
007	SUMP PUMP	EXISTING	EB-1	PT-1	PT-1	PT-1		O.T.S.		007
008	SHOWER	EXISTING	RB-1	PT-1	PT-1	PT-1	PT-1	PT-1		008
009	SHOWER	EXISTING	RB-1	PT-1	PT-1	PT-1	PT-1	PT-1		009
110	LOBBY	CONC-1, ET-1	SB-1	GS-3, CAB-1, AP-1	PT-2	SP-1, CAB-1	GS-1, PT-1	WC-1A, WC-1B, O.T.S.		110
111	KITCHEN / DINING	CONC-1, L1-1	WB-1		CAB-1, WP-1,QZ-1	· · · · · · · · · · · · · · · · · · ·	GG-1, F 1-1			111
				CAB-1,WP-1, QZ-1		CAB-1, WP-1	OC 4 DT 4	WC-1A, WC-1B, O.T.S.		
112	DINING / CONF	CONC-1	WB-1	PT-1, AP-1	GS-3, AP-1, PT-1	CAB-1, PT-1	GS-1, PT-1	WC-1A, WC-1B, WC-2, O.T.S.		112
115	CONF	ET-1	EB-1	GS-1, PT-1	AP-1	GS-3, WP-1	AP-1	APC-1, O.T.S.		115
116	CONF	ET-1	SB-1	GS-1, PT-1	GS-3	GS-3, AP-1	AP-1	APC-1, O.T.S.		116
120	VESTIBULE	ET-1	EB-1	GS-1, PT-1	PT-1	PT-1	GS-3, PT-1	PT-1		120
121	CIRC	ET-1	EB-1	PT-1	PT-1	GS-3, PT-1	GS-3, PT-1	PT-1		121
123	JAN	EXISTING	EB-1	PT-1	PT-1	PT-1	PT-1	-		123
124	WC	ET-1	EB-1	PT-1	PT-1	PT-1	PT-1	PT-1		124
125	WC	ET-1	EB-1	PT-1	PT-1	PT-1	PT-1	PT-1		125
126	MATERIALS	CPT-1	WB-1	CAB-, PT-1	-	-	CAB-1, PT-1	PT-1		126
127	PHONE	ET-1	EB-1	GS-1, PT-1	PT-1	-	PT-1	PT-1		127
128	PHONE	<u> </u>		33 1,1 1 1	1		1 1 1			128
	WC - ADA									129
129		CDT 4	DD 4	WD 4 CAD 4 DT 4	DT 4	CC 4 DT 4		ADC 4 O T C DT 4		
130	SOUTH STUDIO	CPT-1	RB-1	WP-1, CAB-1, PT-1	PT-1	GS-1, PT-1	PT-1,CAB-1	APC-1, O.T.S., PT-1		130
131	HALL	EXISTING	EB-1	PT-1	PT-1	PT-1	PT-1	-		131
150	ELEVATOR		EB-1	PT-1	PT-1	PT-1	PT-1	-		150
151	MAIN STAIRWELL	EP-1	-	PT-1	PT-1	PT-1	PT-1	-		151
200	CIRCULATION	CPT-1	RB-1, WB-1	-	PT-1,CAB-1, GS-1, GS-3	3 -	CAB-1	PT-1		200
201	NORTH STUDIO	CPT-2	RB-1	PT-1	-	PT-1	-	APC-1, O.T.S.		201
202	COLLAB	CPT-2	RB-1	-	AP-1	-	AP-1, PT-1	APC-1, O.T.S., PT-1		202
203	SOUTH STUDIO	CPT-1, CPT2	RB-1	PT-1, CAB-1	PT-1	PT-1, GS-1	PT-1	APC-1, O.T.S., PT-1		203
204	CONF	CPT-1	RB-1	PT-1	PT-1	AP-1	AP-1			204
205	JAN	EXISTING	EB-1	PT-1	PT-1	PT-1	PT-1			205
206	WC - ADA	ET-1 (PATCH FT-1)		PT-1	PT-1	PT-1	PT-1	PT-1		206
207	WC	ET-1	EB-1	PT-1	PT-1	PT-1	PT-1	PT-1		207
208	CONF	CPT-1	EB-1	PT-1	1 1-1	PT-1	PT-1	1 1-1		208
			+		CAD 2 DT 4			DT 4		
210	MKTG PRINT	CPT-1	RB-1	PT-1	CAB-2, PT-1	PT-1	PT-1	PT-1		210
211	PHONE	CPT-2	RB-1	AP-1	PT-1	PT-1	AP-1	PT-1		211
212	CONF	CPT-1	RB-1	AP-1	PT-1, GS-3	PT-1	PT-1, GS-1	APC-1, O.T.S.		212
213	PHONE	CPT-2	RB-1	PT-1	PT-1	AP-1	AP-1	PT-1		213
214	PHONE	CPT-2	RB-1	AP-1	PT-1	PT-1	AP-1	PT-1		214
215	CONF	CPT-1	WB-1	CAB-1, WP-1	AP-1	CAB-1,PT-1, GS-3	PT-1	APC-1, O.T.S.		215
220	TEAM ROOM	CPT-1	WB-1	CAB-1, AP-1	-	PT-1	WP-1, GS-1	APC-1, O.T.S.		220
221	TEAM ROOM	CPT-1	WB-1	CAB-1, AP-1	-	PT-1	WP-1, GS-1	APC-1, O.T.S.		221
222	TEAM ROOM	CPT-1	WB-1	CAB-1, GS-1	-	PT-1	AP-1	APC-1, O.T.S.		222
300	CIRCULATION	CPT-1	RB-1, WB-1	-	PT-1,CAB-1, GS-1, GS-3	3 -	CAB-1	PT-1		300
301	NORTH STUDIO	CPT-2	RB-1	PT-1	-	PT-1	-	APC-1, O.T.S.		301
302	COLLAB	CPT-2	RB-1	_	AP-1	_	AP-1, PT-1	APC-1, O.T.S., PT-1		302
				DT 4 CAD 4 W/D 4		DT 1 CC 1	PT-1			303
303	SOUTH STUDIO	CPT-1, CPT2	RB-1	PT-1, CAB-1, WP-1	PT-1	PT-1, GS-1		APC-1, O.T.S., PT-1		
304	CONF	EXISTING	RB-1	PT-1		PT-1	PT-1			304
305	STOR	EXISTING	EB-1	PT-1	PT-1	PT-1	PT-1	-		305
306	HR OFFICE	FT-2	TB-1	PT-1	PT-1	PT-1	PT-1	PT-1		306
307	WC	FT-2	TB-1	PT-1	PT-1	PT-1	PT-1	PT-1		307
308	CONF	EXISTING	EB-1	GS-1, CAB-1, PT-1	PT-1	PT-1	PT-1			308
310	PRIVACY	CPT-2	RB-1	AP-1	PT-1	PT-1	AP-1	PT-1		310
311	CIRC	CPT-2	RB-1	PT-1	-	PT-1	PT-1	PT-1		311
312	CONF	CPT-1	RB-1	AP-1		PT-1	PT-1, GS-1	APC-1, O.T.S.		312
313	PHONE	CPT-2	RB-1	PT-1	PT-1	AP-1	AP-1	PT-1		313
314	PHONE	CPT-2	RB-1	AP-1	PT-1	PT-1	AP-1	PT-1		314
				PT-1						
315	HR OFFICE	CPT-1	RB-1		PT-1	PT-1, GS-1	AP-1	AP-1		315
319	WC	EXISTING	RB-1	PT-1	PT-1	PT-1	PT-1	PT-1		319
320	WC - ADA	EXISTING	RB-1	PT-1	PT-1	PT-1	PT-1	PT-1		320
321	TEAM ROOM	CPT-1	WB-1	CAB-1, AP-1	-	PT-1	WP-1, GS-1	APC-1, O.T.S.		321
322	TEAM ROOM	CPT-1	WB-1	CAB-1, GS-1	-	PT-1	AP-1	APC-1, O.T.S.		322

FINISH REMARKS

- ALL CLASSROOMS TO RECIEVE ACOUSTIC PANELS AND MARKER BOARDS, REFER TO PLANS AND ELEVATIONS FOR QUANTITIES.
 CONC-2 TO RUN THROUGHOUT ENTIRE CLASSROOM, INCLUDING BELOW CARPET TILE, TYP.
 REFER TO FINISH LEGEND, FINISH PLANS, AND ELEVATIONS FOR LOCATION & EXTENTS OF FINISHES.
 ALL WALLS THROUGHOUT TO BE PT-1, U.N.O.
 WHERE PLYWOOD IS REFERRED TO AS FINISH MATERIAL OR IN CASEWORK, PROVIDE FSC GRADE A-1 WHITE OAK.
 EACH CLASSROOM TO RECEIVE DIFFERENT ACCENT COLORS IN CARPET TILE, ACOUSTIC PANEL, WALL PAINT, AND CEILING PAINT.
 PROVIDE STAINLESS STEEL TRANSITION STRIP AT ALL TRANSITIONS BETWEEN CARPET AND TILE. FLOAT FLOOR AS REQUIRED WITH LEVELING COMPOUND IN ORDER TO ACHIEVE SMOOTH TRANSITION BETWEEN FLOORING MATERIALS.
 PAINT ALL WALLS WITH (1) COAT OF PRIMER AND (2) FINISH COATS, AS REQUIRED, TO ACHIEVE UNIFORM COVERAGE AND FINISH.
 PROVIDE PAINT DRAW DOWNS FOR ALL PAINT SHOWING COLORS & FINISH.
 CARPET SUPPLIERS SHALL SUBMIT A LAYOUT DIAGRAM TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
 ALL HOLLOW METAL DOORS, FRAMES, WINDOW SILLS AND MOP BASE, TO BE FINISHED WITH MANUFACTURER'S ENAMEL SEMI GLOSS PAINT TO MATCH ADJACENT WALL COLOR, U.N.O.
 ALL GYPSUM BOARD CEILINGS AND UNDERSIDE OF SOFFITS TO BE PAINTED PT-2, FLAT FINISH, U.N.O.
 ALL CEILINGS IN RESTROOMS TO BE PAINTED PT-2. SEMI-GLOSS FINISH.
 PROVIDE GROUT COLOR SAMPLES TO ARCHITECT FOR APPROVAL FOR ALL ITLE APPLICATIONS.
 PROVIDE GROUT COLOR SAMPLES TO ARCHITECT FOR APPROVAL FOR ALL ITLE APPLICATIONS.
 PROVIDE GROUT COLOR SAMPLES TO ARCHITECT FOR APPROVAL FOR BE DETERMINED WITH ARCHITECT IN FIELD.
 ALL LELOOR FINISHES SHALL RUN COMPLETELY UNDER ALL MILLWORK, CASEWORK, EQUIPMENT AND LOCKERS.

- 16. ALL FLOOR FINISHES SHALL RUN COMPLETELY UNDER ALL MILLWORK, CASEWORK, EQUIPMENT AND LOCKERS.

 17. ALL TRANSITIONS BETWEEN CARPET AND CONCRETE TO RECEIVE 2-1/2" RUBBER TRANSITION STRIP, COLOR TO BE SELECTED FROM MFR'S FULL OFFERINGS.

 18. AT ALL THRESHOLDS AND FLOORING TRANSITION, CHANGES IN LEVEL ARE NOT TO EXCEED 1/4" MAXIMUM IN HEIGHT, PER ANSI 302.2 SECTION.
- 19. PROVIDE LEVEL FINISH AS SPECIFIED IN PROJECT MANUAL, U.N.O.

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			FINISH LEGEND		
KEY	TYPE	MFR	DESCRIPTION	LOCATION	COMMENTS
FLOOR CONC-1	CONCRETE, POLISHED & GROUND				
CONC-2	CONCRETE, SEALED				
CPT-1	CARPET TILE	INTERFACE	GLOBAL CHANGE COLLECTION, PATTERN: TBD, COLOR: TBD, FORMAT: 9.845"x39.38", INSTALLATION: ASHLAR	REF FLOOR PLANS CONTAC FORD.SA	T: FORD SAVAGE, AVAGE@INTERFACE.COM, 210.612.2892
CPT-2	CARPET TILE	INTERFACE	GLOBAL CHANGE COLLECTION, PATTERN: TBD, COLOR: TBD, FORMAT: 9.845"x39.38", INSTALLATION: ASHLAR	REF FLOOR PLANS CONTAC	T: FORD SAVAGE, AVAGE@INTERFACE.COM, 210.612.2892
EP-1	EPOXY		SLIP RESISTANT EPOXY COATING	MAIN STAIRWELL	
ET-1	EXISTING TILE	VARIES			
FT-1	PORCELAIN FLOOR TILE - HEX	DALTILE	DALTILE KEYSTONES, HEXAGON, COLOR:	WC'S	
FT-2	PORCELAIN FLOOR TILE - 2X2	DALTILE	DALTILE KEYSTONES, 2X2, COLOR: BLACK MATTE	WC'S	
BASE					
EB-1	EXISTING BASE	VARIES			
RB-1	RUBBER BASE	JOHNSONITE	2-1/2" TOELESS, COLOR: TBD		
SB-1	BLACKENED STEEL BASE	LOCALLY FABRICATED			
TB-1	TILE BASE	DALTILE	DALTILE KEYSTONES, 2X2, COLOR: BLACK MATTE	WC'S	
WB-1	SOLID WOOD BASE		SPECIES:GRADE 1A, WHITE OAK, RIFT CUT		
WALL				·	
AP-1	ACOUSTIC FELT WALL PANEL	FILZFELT * OR OTHER MANUFACT.	TACKABLE WALL PANEL		
GS-1	GLAZING SYSTEM, EXTERIOR	VARIES	PAINTED HM GLAZING SYSTEM		
GS-3	GLAZING SYSTEM , INTERIOR HM	VARIES	PAINTED HM GLAZING SYSTEM		
PT-1	PAINT	BENJAMIN MOORE	PRODUCT: ULTRA SPEC 500, FINISH: EGGSHELL, COLOR: TBD	STANDARD THROUGHOUT U.N.O.	
PT-2	PAINT	BENJAMIN MOORE	PRODUCT: ULTRA SPEC 500, FINISH: EGGSHELL, COLOR: TBD	ACCENT	
SP-1	BLACKENED STEEL PANEL	LOCALLY FABRICATED			
WP-1	WOOD PANELING		VENEER PLYWOOD, SPECIES: GRADE 1A, WHITE OAK, RIFT CUT		
CEILING					
APC-1	ACOUSTIC CEILING PANEL, 2X8	ARMSTRONG	OPTIMA SQUARE TEGULAR, 24"x96"x1" PANELS WITH 9/16" INTERLUDE XL HRC, PANEL COLOR: WHITE, GRID COLOR: WHITE, PERIMTER TRIM: 3-7/8" HEIGHT		
APC-2	ACOUSTIC CEILING PANEL, 2X8	ARMSTRONG	ULTIMA SQUARE TEGULAR, 24"x96"x1" PANELS WITH 9/16" INTERLUDE XL HRC, PANEL COLOR: WHITE, GRID COLOR: WHITE, PERIMETER TRIM: 3-7/8" HEIGHT		
O.T.S.	OPEN TO STRUCTURE				
WC-1A	WOOD SLAT CEILING		2X6 WHITE OAK VENEER, CLEARSEALED		
WC-1B	WOOD SLAT CEILING - BATTING	MBI	BLACKOUT THEATER BOARD		
WC-2	WOOD CEILING FLUSH		2X6 WHITE OAK VENEER, CLEARSEALED		
MISC					
CAB-1	CABINETRY, WOOD		VENEER PLYWOOD, SPECIES:GRADE 1A WHITE OAK, RIFT CUT		
CAB-2	CABINETRY, PLAM	FORMICA	PLASTIC LAMINATE MILLWORK,PRIMARY PLASTIC LAMINATE: FORMICA COLORCORE		
QZ-1	QUARTZITE COUNTERTOP + BACKSPLASH	CEASARSTONE	COLOR: TBD		

PROJ. ARCHITECT GP DRAWN BY: Author NO. DATE DESCRIPTION SCHEMATIC DESIGN V2

02.24.2021 LIF PROJ. NO. 20158TX

ROOM SCHEDULE



REFERENCE ELECTRICAL FOR NEW LIGHTING

REFLECTED CEILING PLAN NOTES

- 1 DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
- 2 LIGHT FIXTURES ARE INDICATED FOR LOCATION ONLY, SEE ELECTRICAL FOR
- 3 NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELEC DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS. 4 THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH
- ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCES TO THE ARCHITECT.
- 5 RELOCATE SUPPLY DRAIN AND VENT PIPES TO MAINTAIN SCHEDULED CEILING HEIGHTS. COORDINATE RELOCATIONS WITH MEP ENGINEERS.
- 6 ***ACCESS PANELS IN GYP CEILINGS TO BE CONCEALED HARDWARE WITH GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO_ 7 ***ACCESS PANELS IN WOOD SLAT CEILINGS TO BE CONCEALED SUSPENSION GRID (REF: LIFT AND LOCK GRID SYSTEM BY 9WOOD OR SIMILAR)

CEILING FINISH LEGEND

GYPSUM BOARD RE: ROOM SCHEDULE FOR PAINT APC-1 2'X8' ACOUSTIC CEILING TILE APC-2 2'X8' ACOUSTIC CEILING TILE WC-1A/B WOOD SLAT CEILING WITH BLACK ACOUSTIC SOUNDBOARD ABOVE WC-2 SALVAGED T+G WOOD CEILING

EIFS SOFFIT

4" DUCT LINER

SUPPLY GRILL, REF MECH RETURN GRILL, REF MECH

METAL DECK

ACCCESS PANEL, PAINT TO MATCH CEILING U.N.O.

PENDENT LIGHTING, REF ELEC

RECESSED LIGHTING, REF ELEC

UNDERCOUNTER LIGHTING, REF ELEC

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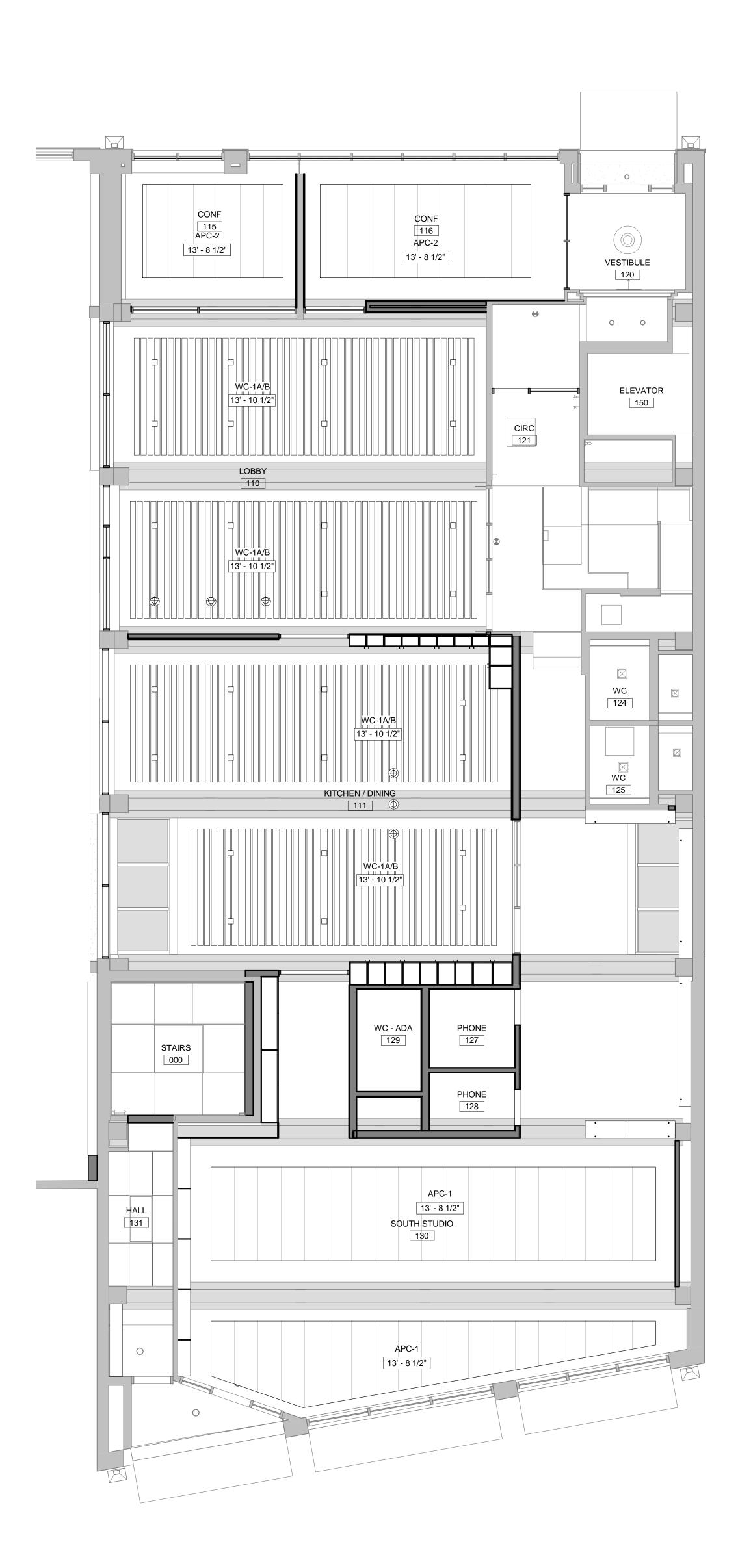
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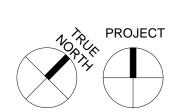
REFLECTED CEILING

A300

1 REFLECTED CEILING PLAN - BASEMENT SCALE: 3/16" = 1'-0"

PLAN - BASEMENT





REFLECTED CEILING PLAN NOTES

- DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
 LIGHT FIXTURES ARE INDICATED FOR LOCATION ONLY, SEE ELECTRICAL FOR
- TYPES.

 NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELEC DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.
- DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.

 4 THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST
- PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCES TO THE ARCHITECT.

 5 RELOCATE SUPPLY DRAIN AND VENT PIPES TO MAINTAIN SCHEDULED CEILING
- HEIGHTS. COORDINATE RELOCATIONS WITH MEP ENGINEERS.

 6 ***ACCESS PANELS IN GYP CEILINGS TO BE CONCEALED HARDWARE WITH GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO_
- GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO_

 7 ***ACCESS PANELS IN WOOD SLAT CEILINGS TO BE CONCEALED SUSPENSION
 GRID (REF: LIFT AND LOCK GRID SYSTEM BY 9WOOD OR SIMILAR)

CEILING FINISH LEGEND

GYPSUM BOARD
RE: ROOM SCHEDULE FOR PAINT
FINISH

APC-1 2'X8' ACOUSTIC CEILING TILE

APC-2 2'X8' ACOUSTIC CEILING TILE

WC-1A/B WOOD SLAT CEILING WITH BLACK ACOUSTIC SOUNDBOARD ABOVE

WC-2 SALVAGED T+G WOOD CEILING

EIFS SOFFIT

METAL DECK

4" DUCT LINER

SUPPLY GRILL, REF MECH

RECESSED LIGHTING, REF ELEC

RETURN GRILL, REF MECH

ACCCESS PANEL, PAINT TO MATCH CEILING U.N.O.

PENDENT LIGHTING, REF ELEC

UNDERCOUNTER LIGHTING, REF ELEC

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DATE DESCRIPTION

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REFLECTED CEILING PLAN - 1ST FLOOR

A301



REFLECTED CEILING PLAN NOTES

1 DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.

2 LIGHT FIXTURES ARE INDICATED FOR LOCATION ONLY, SEE ELECTRICAL FOR TYPES.
 3 NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELECTRICAL FOR TYPES.

NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELEC DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.
 THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS MECHANICAL SUPPLY RETURN AND EXHAUST

ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCES TO THE ARCHITECT.

5 RELOCATE SUPPLY DRAIN AND VENT PIPES TO MAINTAIN SCHEDULED CEILING HEIGHTS. COORDINATE RELOCATIONS WITH MEP ENGINEERS.

***ACCESS PANELS IN GYP CEILINGS TO BE CONCEALED HARDWARE WITH GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO_
 ***ACCESS PANELS IN WOOD SLAT CEILINGS TO BE CONCEALED SUSPENSION GRID (REF: LIFT AND LOCK GRID SYSTEM BY 9WOOD OR SIMILAR)

CEILING FINISH LEGEND

GYPSUM BOARD
RE: ROOM SCHEDULE FOR PAINT
FINISH

APC-1 2'X8' ACOUSTIC CEILING TILE

APC-2 2'X8' ACOUSTIC CEILING TILE

WC-1A/B WOOD SLAT CEILING WITH BLACK ACOUSTIC SOUNDBOARD ABOVE

WC-2 SALVAGED T+G WOOD CEILING

EIFS SOFFIT

METAL DECK

SUPPLY GRILL, REF MECH
RETURN GRILL, REF MECH

4" DUCT LINER

ACCCESS PANEL, PAINT TO MATCH CEILING U.N.O.

• RECESSED LIGHTING, REF ELEC

PENDENT LIGHTING, REF ELEC

UNDERCOUNTER LIGHTING, REF ELEC

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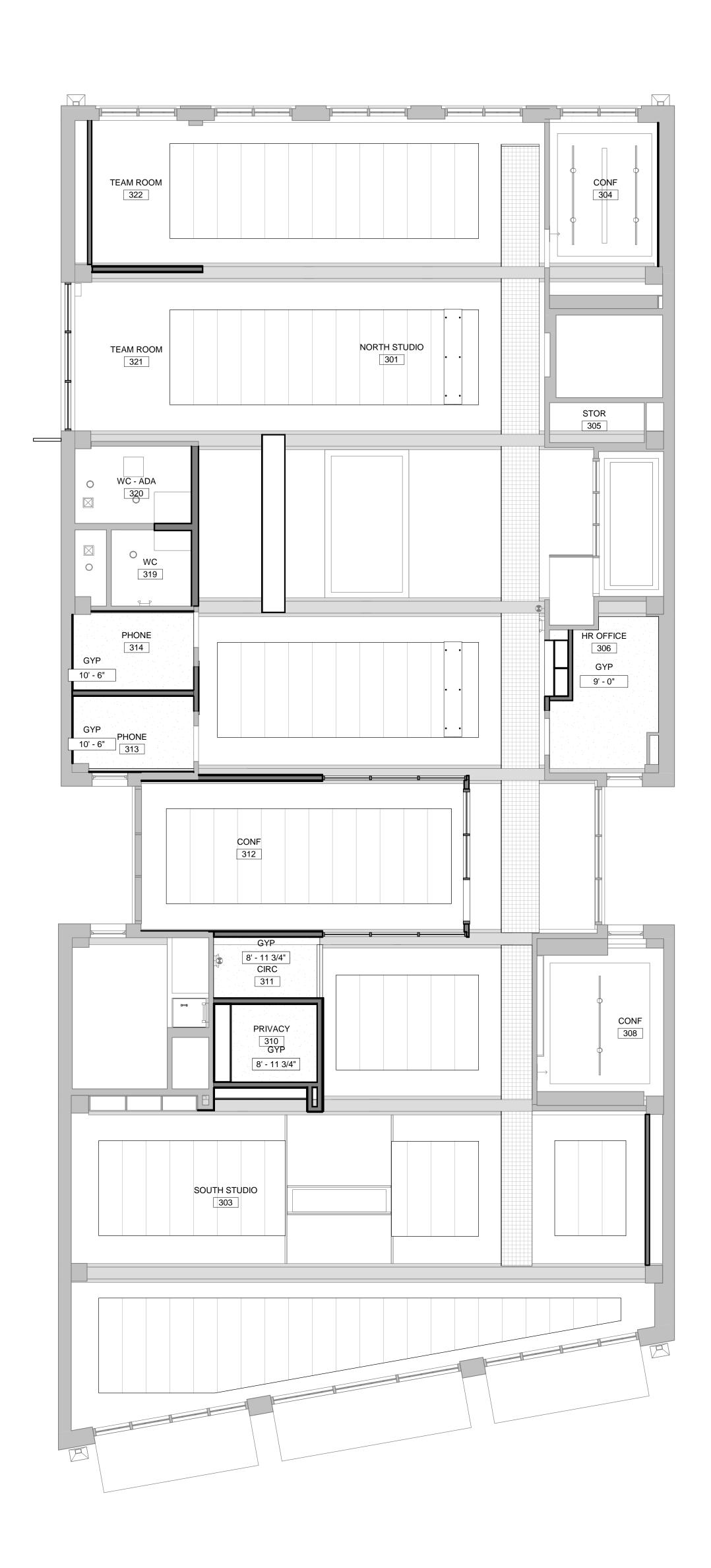
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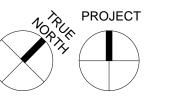
SCHEMATIC DESIGN V2

REFLECTED CEILING PLAN - 2ND FLOOR

A302

PROJECT





REFLECTED CEILING PLAN NOTES

1 DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.

2 LIGHT FIXTURES ARE INDICATED FOR LOCATION ONLY, SEE ELECTRICAL FOR

3 NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELEC DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.

4 THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCES TO THE ARCHITECT.

5 RELOCATE SUPPLY DRAIN AND VENT PIPES TO MAINTAIN SCHEDULED CEILING HEIGHTS. COORDINATE RELOCATIONS WITH MEP ENGINEERS.

6 ***ACCESS PANELS IN GYP CEILINGS TO BE CONCEALED HARDWARE WITH GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO_ 7 ***ACCESS PANELS IN WOOD SLAT CEILINGS TO BE CONCEALED SUSPENSION GRID (REF: LIFT AND LOCK GRID SYSTEM BY 9WOOD OR SIMILAR)

CEILING FINISH LEGEND

GYPSUM BOARD RE: ROOM SCHEDULE FOR PAINT APC-1 2'X8' ACOUSTIC CEILING TILE APC-2 2'X8' ACOUSTIC CEILING TILE WC-1A/B WOOD SLAT CEILING WITH BLACK ACOUSTIC SOUNDBOARD ABOVE WC-2 SALVAGED T+G WOOD CEILING

> METAL DECK 4" DUCT LINER SUPPLY GRILL, REF MECH RETURN GRILL, REF MECH

EIFS SOFFIT

ACCCESS PANEL, PAINT TO MATCH CEILING U.N.O. RECESSED LIGHTING, REF ELEC PENDENT LIGHTING, REF ELEC

UNDERCOUNTER LIGHTING, REF ELEC

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311 3RD RENO

311 3RD STREET

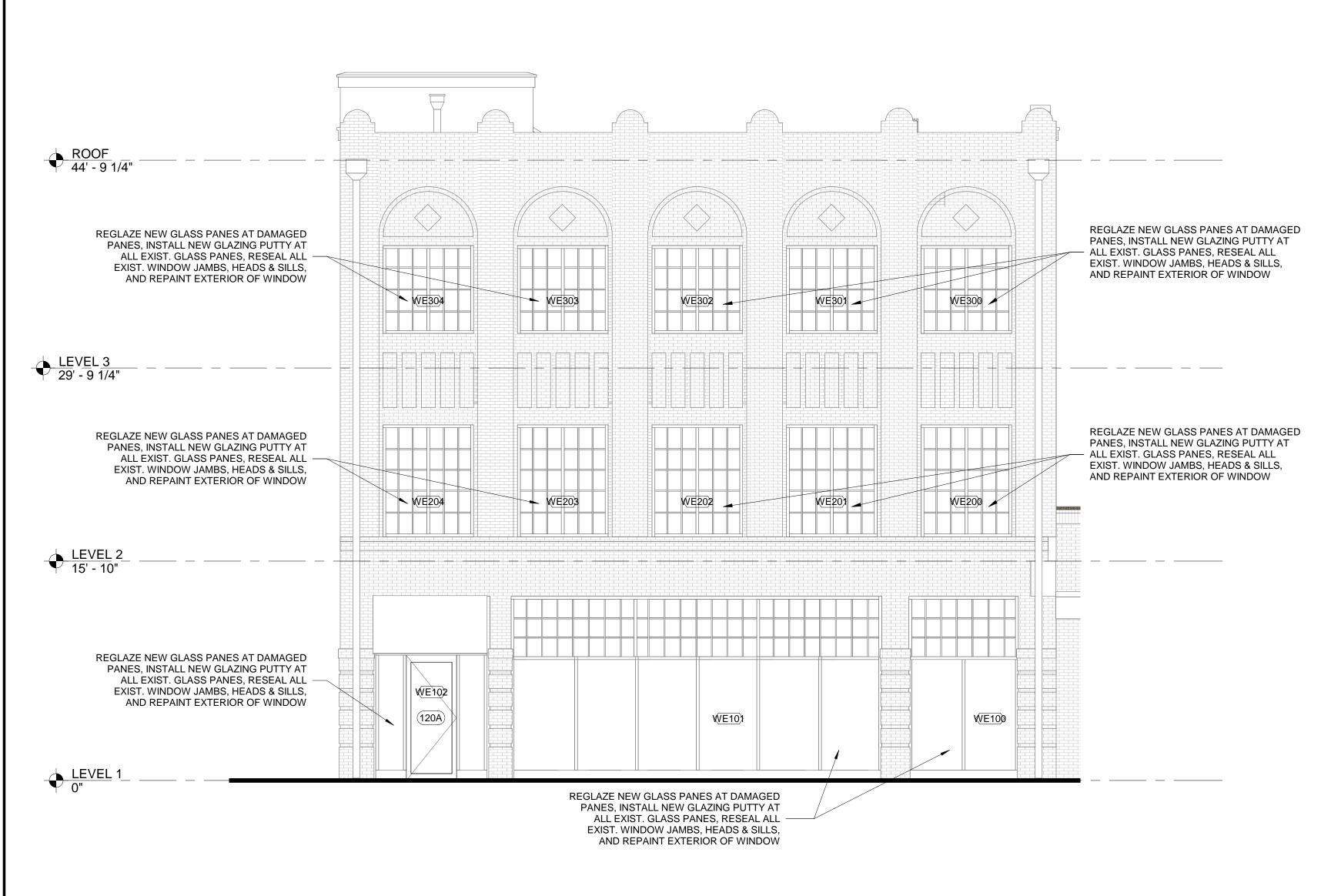
SAN ANTONIO, TX 78205

REVISIONS DESCRIPTION

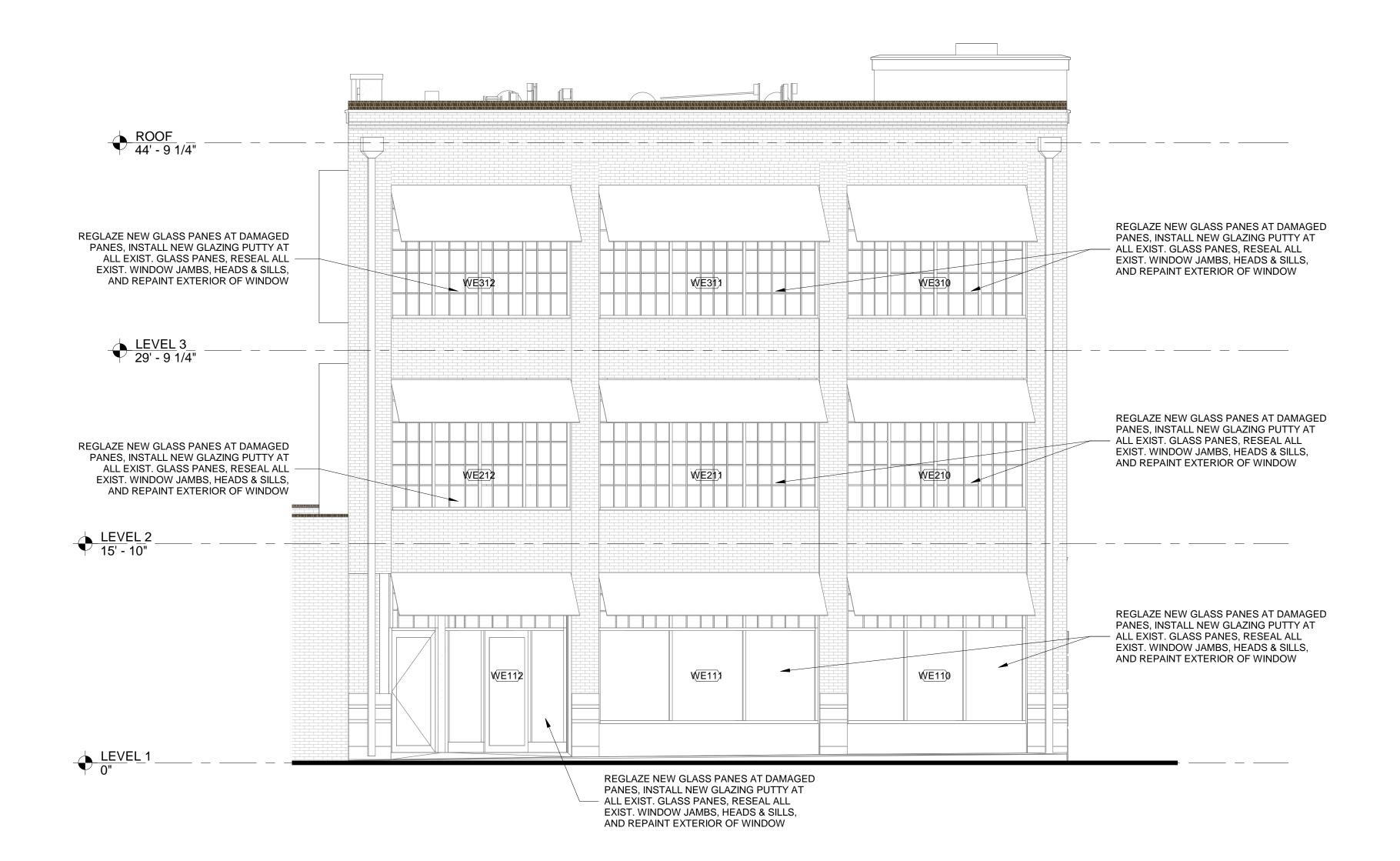
SCHEMATIC DESIGN V2

REFLECTED CEILING PLAN - 3RD FLOOR

A303



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- PROTECT EXISTING ITEMS, MATERIALS, AND / OR FINISHES THAT ARE TO REMAIN FROM DAMAGE.
 NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO
- EXECUTING WORK.

 4 DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF PARTITION WALLS, UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO TUCKPOINT AND REPAIR ALL DAMAGED OR DETERIORATING MORTAR AT EXIST. BRICK, CLAY BLOCK, & ALL OTHER MASONRY CONDITIONS.
 CONTRACTOR TO FILL MISSING BRICKS IN EXIST. MASONRY WITH SALVAGED BRICKS FROM DEMOLITION.
- 7 CONTRACTOR TO REGLAZE NEW GLASS PANES AT DAMAGED PANES, INSTALL NEW GLAZING PUTTY AT ALL EXIST. GLASS PANES, RESEAL ALL EXIST. WINDOW JAMBS, HEADS & SILLS, AND REPAINT EXTERIOR OF WINDOW AT ALL EXTERIOR WINDOWS NOT SHOWN IN EXTERIOR ELEVATIONS. (EXCLUDING SKYLIGHTS)
- 8 CONTRACTOR TO PROVIDE APPROPRIATE MASONRY ANCHORS FOR ALL CONSTRUCTION FASTENED TO EXIST MASONRY
- CONSTRUCTION FASTENED TO EXIST. MASONRY.

 ALL EXTERIOR PAINTING TO INCLUDE ARCHITECT'S SELECTION OF FULL RANGE OF
- ALL EXTERIOR PAINTING TO INCLUDE ARCHITECT'S SELECT COLORS AND PATTERNS.
- REPAINT ALL EXIST. EXTERIOR HM DOORS.

 CONTRACTOR TO CARRY AN ALLOWANCE FOR SUBGRADE WATERPROOFING AT EXIST.

 BUILDING AT AREA OF NEW WORK IN THE COURTYARD.

LAKE | FLAT | 311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P210.227.3335 F210.224.9515
www.lakeflato.com

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

311 3RD RENO

311 3RD STREET SAN ANTONIO, TX 78205

02.24.2021 LIF PROJ. NO. 20158TX
PROJ. ARCHITECT GP DRAWN BY: Author

NO. DATE DESCRIPTION

SCHEMATIC DESIGN V2

EXTERIOR ELEVATIONS

A400

MECHANICAL SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used. <u>Abbreviations</u> ABOVE FINISHED FLOOR ACCESS DOOR AIR CONDITION(ED) AIR HANDLING UNIT BDD BACKDRAFT DAMPER BFP BACKFLOW PREVENTER BFF BELOW FINISHED FLOOR BOILER BRAKE HORSEPOWER CEILING DIFFUSER CENTERLINE CHECK VALVE CV CH CHILLER COP COEFFICIENT OF PERFORMANCE CW COLD WATER CD CONDENSATE DRAIN CONDENSING UNIT CONTINUATION CONT. COOLING TOWER DB DECIBEL DEW POINT, DIFFERENTIAL PRESSURE DIA DIAMETER DIRECT EXPANSION DOOR GRILLE DG DROP DB DRY BULB EFF **EFFICIENT** ELECT ELECTRICAL **ELEVATION** ENERGY EFFICIENCY RATING ENTERING AIR TEMPERATURE **EWT** ENTERING WATER TEMPERATURE EXH **EXHAUST FAN** EXISTING FACE AREA FAHRENHEI1 FAN COIL FEET FPM FEET PER MINUTE FPS FEET PER SECOND FINS PER INCH FIRE DAMPER FD FLEXIBLE CONNECTOR FLA FULL LOAD AMPS GALLONS GPH GALLONS PER HOUR GPM GALLONS PER MINUTE HD HEAD HP HEAT PUMP HTR HEATER HTG HEATING HORSEPOWER HOT WATER COIL INCHES INSIDE DIAMETER INVERT ELEVATION KW KILOWATT LATENT HEAT LEAVING AIR TEMPERATURE LEAVING WATER TEMPERATURE MAKE-UP WATER MAXIMUM MAX MIN MINIMUM MIXED AIR MOTOR STARTER MOTORIZED DAMPER MOUNTING HEIGHT NEW NOISE CRITERIA NOT APPLICABLE NOT IN CONTRACT NTS NOT TO SCALE NUMBER ON CENTER OPPOSED BLADE DAMPER OA OUTSIDE AIR OD OUTSIDE DIAMETER PH PHASE LBS. POUNDS PSI POUNDS PER SQUARE INCH PD PRESSURE DROP PRESSURE REDUCING VALVE PRV PUMP QUANTITY REFRIGERANT REFRIGERANT LIQUID REFRIGERANT SUCTION RELATIVE HUMIDITY RLD RELIEF DAMPER RELOCATE/RELOCATED LOCATION RET RETURN RETURN AIR REVOLUTIONS PER MINUTE RPM RISE SEER SEASONAL ENERGY EFFICIENCY RATING SENSIBLE HEAT

SOV

T, TEMP

TH

VAV

VEL

WB

SHUT OFF VALVE

STATIC PRESSURE

TEMPERATURE DIFFERENCE

THOUSAND BTU'S PER HOUR

VOLUME DAMPER (HAND OPERATOR)

SQUARE FEET

TEMPERATURE

SUPPLY AIR

TOTAL HEAT

VELOCITY

WET BULB

WITH

VOLT

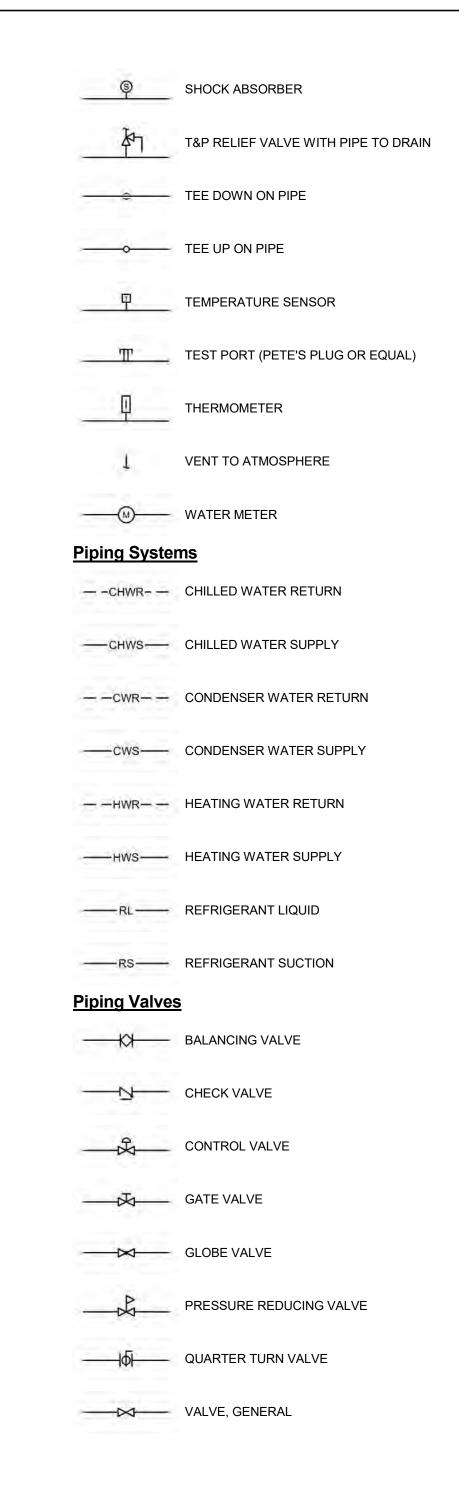
TOTAL PRESSURE

UNDERCUT DOOR

WATER COLUMN

VARIABLE AIR VOLUME

Control Symbols SYMMETRICAL WYE AIR TEMPERATURE SENSOR MITERED ELBOW WITH TURNING VANES CARBON DIOXIDE SENSOR RADIUSED ELBOW ROOM THERMOSTAT **Dampers** LIMIT OF DEMOLITION FIRE DAMPER —X—X— DEMOLISH FIRE/SMOKE DAMPER EXISTING WORK MOTORIZED DAMPER NEW WORK SMOKE DAMPER RECTANGULAR DUCT SIZING VOLUME DAMPER ROUND DUCT SIZING **Diffusers and Grilles Piping Fittings, Appurtenances and Equipment** 12x12 CD-1 DIFFUSER OR GRILLE IDENTIFICATION AIR SEPARATOR AUTOMATIC AIR VENT RETURN AIR BACKFLOW PREVENTER SUPPLY AIR **Ductwork Fittings** ACOUSTICALLY LINED DUCT (SIZES SHOWN ARE NET INSIDE) CONTINUATION BELLMOUTH EXPANSION JOINT CONCENTRIC SQUARE TO ROUND EXPANSION LOOP CONCENTRIC TRANSITION, RECTANGULAR OR ROUND **EXPANSION TANK** ECCENTRIC TRANSITION, RECTANGULAR OR ROUND FLOW SWITCH FLEXIBLE CONNECTION HEAT EXCHANGER NON-SYMMETRICAL WYE HOSE BIBB RECTANGULAR DUCT DROP MANUAL AIR VENT RECTANGULAR DUCT RISER PIPE BELOW GRADE RECTANGULAR MAIN WITH RECTANGULAR BRANCH PIPE DROP RECTANGULAR MAIN WITH ROUND BRANCH - X X PIPE REMOVED IN DEMOLITION RECTANGULAR OFFSET LESS THAN 15%%d PIPE RISE RECTANGULAR OFFSET MORE THAN 15%%d PIPE TO DRAIN C ROUND DUCT DROP PRESSURE GAUGE WITH COCK ROUND DUCT RISER PRESSURE RELIEF VALVE ROUND DUCT WITH ROUND BRANCH PRESSURE SENSOR



GENERAL MECHANICAL NOTES

- A. PROVIDE MISCELLANEOUS METALS AND MATERIALS FOR A COMPLETE INSTALLATION (IE. SUPPORT, BRACING, ETC.)
- B. PROVIDE EQUIPMENT SUBMITTAL, FOR REVIEW, IN ACCORDANCE WITH THE SPECIFICATIONS. DO NOT DELIVER TO THE JOB SITE ANY PRODUCTS WITHOUT PRIOR REVIEW BY THE ARCHITECT. SUBMIT ALL REQUIRED SUBMITTALS AT ONE TIME. AT CONTRACTOR'S OPTION. 3 SEPARATE SUBMITTALS MAY BE SUMBITTED, CONSISTING OF: UNDERGROUND WORK, BUILDING WORK, AND BUILDING AUTOMATION SYSTEM - DEVIATIONS WILL BE RETURNED WITHOUT REVIEW. INCOMPLETE SUBMITTALS WILL BE RETURNED WITHOUT REVIEW. ENGINEER WILL PROVIDE MAXIMUM OF TWO REVIEWS OF SUBMITTAL PACKAGE. ARRANGE FOR ADDITIONAL REVIEWS AND/OR EARLY REVIEW OF LONG-LEAD ITEMS AND BEAR COSTS OF THESE ADDITIONAL REVIEWS AT ENGINEER'S STANDARD HOURLY RATES. SUBSTITUTION REQUESTS WILL NOT BE REVIEWED AFTER AWARD OF CONTRACT.
- C. PROVIDE SMOKE DETECTORS IN MAIN SUPPLY AIR DUCT OF ANY SUPPLY AIR SYSTEM WITH AIR QUANTITY OF MORE THAN 2000 CFM OR OF SUPPLY AIR SYSTEM(S) WHERE THE COMBINED SUPPLY AIR QUANTITY OF SUPPLY AIR SYSTEM(S) SUPPLYING AIR INTO ONE ZONE EXCEED 2000 CFM.
- D. WHERE COMBINATION FIRE AND SMOKE DAMPER IS SHOWN IMMEDIATELY BEHIND A WALL MOUNTED GRILLE AND THERE IS INSUFFICIENT ACCESS AT DUCTWORK, ENLARGE THE WIDTH OF THE GRILLE AND FSD BY A MINIMUM OF 6 INCHES, OR AS OTHERWISE REQUIRED BY FSD MANUFACTURER, AND PROVIDE A "FRONT ACCESS" FSD FOR ACCESS TO FSD COMPONENTS FROM FACE OF GRILLE. INSTALL GRILLE FLUSH WITH WALL SURFACE AND LOCATE DAMPER ACTUATOR OUTSIDE OF THE AIRSTREAM. FSD'S SHALL BE RUSKIN FSD-60FA
- E. AT ELEVATOR CONTROL/MACHINERY ROOMS/CLOSETS LOCATE ALL APPURTENANCES FOR FCU AND FSD'S OUTSIDE OF THE ROOM AND PROVIDE DUCT ACCESS DOORS FOR ACCESS TO FSD COMPONENTS OUTSIDE THE SPACE SERVED. CONTROL FCU FROM DUCT MOUNTED RETURN AIR TEMPERATURE SENSOR.
- F. PRIOR TO SUBMISSION OF BID. REVIEW A COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING ALL OTHER TRADES). INCLUDE ADDITIONAL PIPE OR DUCT OFF-SETS THAT MAY BE REQUIRED TO CLEAR STRUCTURE, FINISHES OR WORK OF OTHER TRADES. FIELD VERIFY EXACT LOCATION AND SIZES OF EXISTING UTILITIES, THE PROPOSED POINT OF CONNECTIONS TO EXISTING SYSTEMS, AND NEW ROUTINGS. EXTRA PAYMENT WILL NOT BE ALLOWED FOR WORK RESULTING FROM LACK OF APPRAISAL OF ENTIRE SCOPE OF WORK PRIOR TO BID. SYSTEM LAYOUTS AS INDICATED ON DRAWINGS ARE GENERALLY DIAGRAMMATIC BUT SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION WILL PERMIT.
- G. PROVIDE DUCT ACCESS DOORS FOR EQUIPMENT AND DEVICES REQUIRING ACCESS OR RESETTING (IE. FIRE AND SMOKE DAMPERS, SMOKE DAMPERS, SENSORS, ETC.) INDICATE SIZE AND LOCATION ON COORDINATED SHOP DRAWINGS.
- H. FLASH AND COUNTER FLASH ALL ROOF PENETRATIONS TO SEAL WEATHER TIGHT (SEE ARCHITECTURAL ROOFING DETAILS AND SPECIFICATIONS).
- I. INSTALL EQUIPMENT AND CURBS LEVEL. PROVIDE DUNNAGE, MISCELLANEOUS METALS, AND/OR PRESSURE TREATED LUMBER, AS REQUIRED TO INSTALL EQUIPMENT AND CURBS LEVEL.
- J. PROVIDE DUCTWORK AND TRANSITIONS EQUAL TO DUCT FREE AREA SHOWN ON DRAWINGS, TO PREVENT A SPATIAL CONFLICT. AT CONTRACTOR'S OPTION AND IF SPATIAL CONSTRAINTS ALLOW IT, ROUND SPIRAL DUCTWORK, OF EQUAL CROSS-SECTIONAL AREA OR LARGER, MAY BE USED IN LIEU OF RECTANGULAR DUCTWORK WHERE SHOWN ON PLANS.
- K. PROVIDE FIELD INSTALLED OR MANUFACTURER'S REFRIGERANT LINE SETS BETWEEN THE SPLIT SYSTEMS' INDOOR AND OUTDOOR COMPONENTS. SIZING, QUANTITY, AND INSTALLATION OF PIPES SHALL BE PER MANUFACTURER'S RECOMMENDATIONS BASED ON ACTUAL FIELD INSTALLED LENGTH. PROVIDE HARD WIRED THERMOSTATS AND CONTROL WIRING IN CONDUIT BETWEEN INDOOR AND OUTDOOR UNITS.
- L. EQUIPMENT, HVAC DUCTS, PIPING AND OTHER DEVICES AND MATERIALS INSTALLED OUTDOORS OR EXPOSED TO WEATHER SHALL BE WEATHER
- M. USE FLEXIBLE DUCTS ONLY FOR THE LAST 5 FEET MAXIMUM AT AIR OUTLETS. EXCEPT FOR OSHPD PROJECTS WHERE A MAXIMUM OF 10 FEET MAY BE USED. PER 2019 CMC-603.4.1, EXCEPT FOR RESIDENTIAL OCCUPANCIES AND EXCEPT AT AIR OUTLETS DO NOT USE FLEXIBLE DUCTWORK IN LIEU OF ELBOWS OR
- N. PROVIDE MANUAL VOLUME DAMPERS AT EACH GRILLE, REGISTER, AND DIFFUSER, AND LOCATE EQUIDISTANCE BETWEEN BRANCH TAKEOFF AND AIR INLET/OUTLET. DO NOT USE VOLUME DAMPERS INTEGRAL WITH GRILLES, DIFFUSERS AND REGISTERS FOR AIR BALANCING.
- O. INSTALL EQUIPMENT WITH SUFFICIENT ACCESS TO PANELS, CONTROLS, FILTERS, MOTORS, ETC. COORDINATE ACCESS TO ALL DAMPERS, VALVES, AND OTHER SERVICEABLE EQUIPMENT. REVIEW CEILING HEIGHTS AND COORDINATE ACCESS PANEL LOCATIONS.
- P. COORDINATE EQUIPMENT PLATFORMS, AND CUTTING AND PATCHING. OBTAIN WRITTEN PERMISSION FROM THE ARCHITECT PRIOR TO ANY STRUCTURAL MODIFICATIONS, CUTTING OR PATCHING WORK. KEEP SAW CUTTING TO A
- Q. VERIFY DIFFUSERS, GRILLES, AND REGISTER MOUNTING FRAME TYPES WITH CONSTRUCTION TYPE AND CONFIGURATION.
- R. PAINT FLAT BLACK ALL VISIBLE INTERIOR PORTIONS OF DUCTWORK.
- S. PROTECT AND ISOLATE DUCTS STORED ON CONSTRUCTION SITE FROM DUST CONTAMINATION.
- T. COORDINATE LOCATION OF SENSORS AND THERMOSTATS WITH ARCHITECT. COMPLY WITH ADA REQUIREMENTS.
- U. "DEMOLISH" OR "REMOVE" MEAN: REMOVE AND RETURN TO OWNER FOR ACCEPTANCE, AND DISPOSE OF ANY ITEMS NOT ACCEPTED BY THE OWNER.
- V. SEE EQUIPMENT SCHEDULES FOR BRANCH PIPE SIZES TO EQUIPMENT,
- WHERE PIPE SIZES ARE NOT SHOWN ON PLANS.
- REGULATOR COMPANY, MODEL 315 AND 270-275, OR EQUAL, FOR DAMPERS ABOVE INACCESSIBLE CEILINGS (SUCH AS GYPBORAD). X. COORDINATE WITH DIVISION 26 FOR LOCATION OF POWER AND LOCAL

W. PROVIDE REMOTE DAMPER OPERATORS AS MANUFACTURED BY YOUNG

- DISCONNECTS FOR MECHANICAL EQUIPMENT DEVICES. PROVIDE STARTERS FOR EQUIPMENT WITHOUT VFD'S, ECM MOTORS, OR EQUIPMENT WITHOUT INTEGRAL STARTERS.
- Y. INSTALL PRODUCT CONVEYING DUCTS, AS DEFINED BY 2019-CMC-505.8, WITH CLEARANCES TO CONSTRUCTION AND MATERIALS AS DEFINED IN 2019-CMC-506.10. WHERE SPACES PROVIDED ARE NOT ADEQUATE, PROVIDE CLEARANCE REDUCTION MATERIAL AND SYSTEMS AS REQUIRED BY 2019-CMC-506.11, AND AS REQUIRED TO ALLOW INSTALLATION OF DUCTWORK WITHIN SPACES PROVIDED. PROTECT PRODUCT CONVEYING DUCTS SUBJECT TO DAMAGE WITH GUARDS SUITABLE TO WITHSTAND THE POSSIBLE DAMAGE.
- Z. INSTALL GREASE EXHAUST DUCTS, AS DEFINED BY 2019-CMC-507, WITH CLEARANCES TO CONSTRUCTION AND MATERIALS AS DEFINED IN 2019-CMC-506.10. WHERE SPACES PROVIDED ARE NOT ADEQUATE, PROVIDE CLEARANCE REDUCTION MATERIAL AND SYSTEMS AS REQUIRED BY 2019-CMC-506.11, AND AS REQUIRED TO ALLOW INSTALLATION OF DUCTWORK
- AA. ENCLOSE PORTIONS OF A NEGATIVE PRESSURE GAS FLUE WHICH ARE LOCATED IN A NEGATIVE PRESSURE AIR PLENUM/SPACE, IN A CONDUIT OR ENCLOSURE WITH JOINTS BETWEEN THE INTERIOR OF THE ENCLOSURE AND THE CEILING SPACE SEALED.
- BB. MAINTAIN MINIMUM ELECTRICAL CODE AND UNIT MANUFACTURER'S CLEARANCES TO ADJACENT CONSTRUCTION OR EQUIPMENT, PER CEC OR

WITHIN SPACES PROVIDED.

THE FOLLOWING TABLE:	ON OR EQUIPM	ENI, PER CE	
	<u>0-150 VOLT</u>	<u>150-600</u>	
NO LIVE OR GROUNDED PARTS ON OPPOSITE SIDE	36 INCH	36 INCH	
GROUNDED PARTS ON OPPOSITE SIDE	36 INCH	42 INCH	
LIVE PARTS ON OPPOSITE SIDE	36 INCH	48 INCH	

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ARCHITECTS INC.

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Lake Flato -**Live the Dream**

311 3rd Street

SHEET INDEX SYMBOL LIST AND GENERAL NOTES - MECHANICAL SCHEDULES - MECHANICAL

M100 ZONING PLAN - BASEMENT - MECHANICAL M101 ZONING PLAN - 1ST FLOOR - MECHANICAL M102 ZONING PLAN - 2ND FLOOR - MECHANICAL

M103 ZONING PLAN - 3RD FLOOR - MECHANICAL

TITLE 24 - MECHANICAL

M003

MD100 DEMOLITION FLOOR PLAN - BASEMENT - MECHANICAL MD101 DEMOLITION FLOOR PLAN - 1ST FLOOR - MECHANICAL MD102 DEMOLITION FLOOR PLAN - 2ND FLOOR - MECHANICAL MD103 DEMOLITION FLOOR PLAN - 3RD FLOOR - MECHANICAL

MD104 DEMOLITION FLOOR PLAN - ROOF - MECHANICAL

M200 FLOOR PLAN - BASEMENT - MECHANICAL FLOOR PLAN - 1ST FLOOR - MECHANICAL M202 FLOOR PLAN - 2ND FLOOR - MECHANICAL M203 FLOOR PLAN - 3RD FLOOR - MECHANICAL

M204 FLOOR PLAN - ROOF - MECHANICAL

M300 PIPING PLAN - BASEMENT - MECHANICAL M301 PIPING PLAN - 1ST FLOOR - MECHANICAL M302 PIPING PLAN - 2ND FLOOR - MECHANICAI M303 PIPING PLAN - 3RD FLOOR - MECHANICAI

M304 PIPING PLAN - ROOF - MECHANICAL M600 DETAILS - MECHANICAL

LIF PROJ. NO. 20158TX PROJ. ARCHITECT DRAWN BY: Author NO. DATE DESCRIPTION **Project Status**

> SYMBOL LIST AND **GENERAL NOTES -**MECHANICAL

3/12/2021 2:25:38 PM

							DE	DIC	ATE	D Ol	JTD	OOF	RAII	R S'	YS	ΓEΝ	I UN	VIT S	SCHE	EDUL	E.	,		•						
		BASIS OF	DESIGN				SI	UPPLY FA	۸N	,					,	COOLIN	NG CAP	ACITY				ELE	CTRIC	٩L	,					
					MIN		FILTER		BHP				TOTAL	SENS					FACE							EMERG.		APPROX.	MAX	
				TOTAL	OSA	TSP	PD	ESP	PER	FAN	MAX	VFD	CAP	CAP	EDB	EWB	LDB	LWB \	/ELOCITY	APD						POWER	CONTROLS	DIMS	WT	
SYMBOL	LOCATION	MFR	MODEL	CFM	CFM	(IN H2O)	(IN H2O)	(IN H2O)	FAN	RPM	RPM	(Y/N)	(MBH)	(MBH)	(°F)	(°F)	(°F)	(°F)	(FPM)	(IN H2O)	VOLTS	PH F	Z MCA	A FLA	MFS	(Y/N)	REF	(LxWxH)	(LBS)	NOTES
DOAS-1	ROOF	TRANE	OABE072F3	2000	1387	1.89	0.25	1.5				Υ	79.2	53.6	99	78					208	3 6	0 40.2	35.1	60				1291	1
DOAS-2	ROOF	TRANE	OABE072F3	2000	1387	1.89	0.25	1.5				Υ	79.2	53.6	99	78					208	3 6	0 40.2	35.1	60				1291	1
NOTES:		•	•	•				•	•	•	•			•			•	•					•	•	•					

1 PROVIDE VIBRATION ISOLATION ROOF CURB BY MICROMETL CORP.

					CC	NDENSING UNI	T S	CHEDU	JLE										
		BASIS	OF DESIGN			AIR SOURCE HEAT	RECOVE	RY CONDENSE	R					ELE	ECTRICAL	<u> </u>			
				TONS	QTY			COOLING			HEATING							MAX	
				NOM	OF	COMPRESSOR	CAP	AMBIENT	EER/IEER	CAP	AMBIENT	COP OR	1					WT	
SYMBOL	UNIT/AREA SERVED	MFR	MODEL	TONS	COMPRESSORS	TYPE	(MBH)	DB (°F)	OR SEER	(MBH)	WB (°F)	HSPF	VOLTS	PH	HZ	MCA	MOCP	(LBS)	NOTES
CU-1	1ST FLOOR	MITSUBISHI	TURYE2403AN40A	20	1	INVERTER SCROLL HERMETIC	240		19.6	250		3.2	208	3	60	79	125	887	1 THRU 5
CU-2	2ND FLOOR	MITSUBISHI	TURYE2403AN40A	20	1	INVERTER SCROLL HERMETIC	240		19.6	250		3.2	208	3	60	79	125	887	1 THRU 5
CU-3	3RD FLOOR	MITSUBISHI	TURYE2403AN40A	20	1	INVERTER SCROLL HERMETIC	240		19.6	250		3.2	208	3	60	79	125	887	1 THRU 5
NOTES:				•						•		•			•	•		•	

PROVIDE COIL WITH CORROSION RESISTANT COATING.

PROVIDE ALL CONTROL WIRING AND CONDUIT INTERCONNECTING COIL, CONDENSING UNIT, AND PROGRAMMABLE THERMOSTATS.

PROVIDE SUCTION AND LIQUID REFRIGERANT LINES BETWEEN COIL AND CONDENSING UNIT. SIZE PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE REFRIGERANT PIPE INSULATION PIPING PER IMC AND MANUFACTURER'S RECOMMENDATIONS. UNIT SHALL BE MOUNTED ON PLATFORM PAD AND ISOLATED WITH NEOPRENE PAD ISOLATORS

				VF	RF-FAN C	OIL S	CHEC	ULE	(DX)									
		BASIS	OF DESIGN				SUPPLY FAN		<u>, </u>	COOLING C	OIL	F	FILTER		ELEC	TRICAL		
SYMBOL	AREA SERVED	MFR	MODEL	UNIT TYPE	ASSOCIATED CU	TOTAL CFM	MIN OSA CFM	ESP (IN H2O)	NOM TONS	TOTAL CAP (MBH)	SENS CAP (MBH)	HTG CAP	EEE	VOLTS	PH	MCA	МОСР	MAX WT NOTES (LBS)
FCU-B-1	UPS ROOM	MITSUBISHI	PEFY-P36NMAU	DUCTED CONCEALED	CU-1	1100			3	36			13	208	1	3.32	15	1 THRU 8
FCU-1-1	OPEN OFFICE	MITSUBISHI	PEFY-P18NMAU	DUCTED CONCEALED	CU-1	500			1.5	18			13	208	1	1.56	15	1 THRU 8
FCU-1-2	OPEN OFFICE	MITSUBISHI	PEFY-P15NMAU	DUCTED CONCEALED	CU-1	450			1.25	15			13	208	1	1.45	15	1 THRU 8
FCU-1-3	OPEN OFFICE/CONF. ROOMS	MITSUBISHI	PEFY-P36NMAU	DUCTED CONCEALED	CU-1	1000			3	36			13	208	1	3.32	15	1 THRU 8
FCU-1-4	BREAK AREA	MITSUBISHI	PEFY-P18NMAU	DUCTED CONCEALED	CU-1	500			1.5	18			13	208	1	1.56	15	1 THRU 8
FCU-1-5	KITCHEN	MITSUBISHI	PEFY-P18NMAU	DUCTED CONCEALED	CU-1	500			1.5	18			13	208	1	1.56	15	1 THRU 8
FCU-1-6	RECEPTION	MITSUBISHI	PEFY-P18NMAU	DUCTED CONCEALED	CU-1	600			1.5	18			13	208	1	1.56	15	1 THRU 8
FCU-1-7	CONF. ROOM	MITSUBISHI	PEFY-P18NMAU	DUCTED CONCEALED	CU-1	600			1.5	18			13	208	1	1.56	15	1 THRU 8
FCU-1-8	ENTRY CORRIDOR	MITSUBISHI	PEFY-P12NMAU	DUCTED CONCEALED	CU-1	300			1	12			13	208	1	1.2	15	1 THRU 8
FCU-1-9	CONF. ROOM	MITSUBISHI	PEFY-P15NMAU	DUCTED CONCEALED	CU-1	400			1.25	15			13	208	1	1.45	15	1 THRU 8
FCU-1-10	CONF. ROOM	MITSUBISHI	PEFY-P15NMAU	DUCTED CONCEALED	CU-1	450			1.25	15			13	208	1	1.45	15	1 THRU 8
FCU-2-1	OPEN OFFICE	MITSUBISHI	PEFY-P24NMAU	DUCTED CONCEALED	CU-2	650			2	24			13	208	1	2.73	15	1 THRU 8
FCU-2-2	OPEN OFFICE	MITSUBISHI	PEFY-P48NMAU	DUCTED CONCEALED	CU-2	1200			4	48			13	208	1	3.41	15	1 THRU 8
FCU-2-3	CONF. ROOM	MITSUBISHI	PEFY-P15NMAU*	DUCTED CONCEALED	CU-2	380			1.25	15			13	208	1	1.45	15	1 THRU 8
FCU-2-4	CONF. ROOM	MITSUBISHI	PEFY-P12NMAU	DUCTED CONCEALED	CU-2	350			1	12			13	208	1	1.2	15	1 THRU 8
FCU-2-5	OPEN OFFICE	MITSUBISHI	PEFY-P24NMAU	DUCTED CONCEALED	CU-2	650			2	24			13	208	1	2.73	15	1 THRU 8
FCU-2-6	CONF. ROOM	MITSUBISHI	PEFY-P15NMAU*	DUCTED CONCEALED	CU-2	400			1.25	15			13	208	1	1.45	15	1 THRU 8
FCU-2-7	OPEN OFFICE	MITSUBISHI	PEFY-P48NMAU	DUCTED CONCEALED	CU-2	1200			4	48			13	208	1	3.41	15	1 THRU 8
FCU-2-8	CONF. ROOM	MITSUBISHI	PEFY-P06NMAU	DUCTED CONCEALED	CU-2	180			0.5	6			13	208	1	1.05	15	1 THRU 8
FCU-2-9	OPEN OFFICE	MITSUBISHI	PEFY-P24NMAU	DUCTED CONCEALED	CU-2	667			2	24			13	208	1	2.73	15	1 THRU 8
FCU-3-1	OPEN OFFICE	MITSUBISHI	PEFY-P36NMAU	DUCTED CONCEALED	CU-3	900			3	36			13	208	1	3.32	15	1 THRU 8
FCU-3-2	OPEN OFFICE	MITSUBISHI	PEFY-P54NMAU	DUCTED CONCEALED	CU-3	1300			4	48			13	208	1	3.31	15	1 THRU 8
FCU-3-3	CONF. ROOM	MITSUBISHI	PEFY-P15NMAU*	DUCTED CONCEALED	CU-3	400			1.25	15			13	208	1	1.45	15	1 THRU 8
FCU-3-4	CONF. ROOM	MITSUBISHI	PEFY-P12NMAU	DUCTED CONCEALED	CU-3	350			1	12			13	208	1	1.2	15	1 THRU 8
FCU-3-5	OPEN OFFICE	MITSUBISHI	PEFY-P24NMAU	DUCTED CONCEALED	CU-3	650			2	24			13	208	1	2.73	15	1 THRU 8
FCU-3-6	CONF. ROOM	MITSUBISHI	PEFY-P12NMAU	DUCTED CONCEALED	CU-3	350			1	12			13	208	1	1.2	15	1 THRU 8
FCU-3-7	OPEN OFFICE	MITSUBISHI	PEFY-P54NMAU	DUCTED CONCEALED	CU-3	1250			4	48			13	208	1	3.31	15	1 THRU 8
FCU-3-8	CONF. ROOM	MITSUBISHI	PEFY-P06NMAU	DUCTED CONCEALED	CU-3	200			0.5	6			13	208	1	1.05	15	1 THRU 8
FCU-3-9	OPEN OFFICE	MITSUBISHI	PEFY-P24NMAU	DUCTED CONCEALED	CU-3	667			2	24			13	208	1	2.73	15	1 THRU 8

1. PROVIDE FAN COIL UNITS WITH LOW PRESSURE MERV FILTER BOX

2. PROVIDE WITH INTERNAL CONDENSATE PUMP 3. PROVIDE WITH WIRED PROGRAMMABLE THERMOSTAT

4. PROVIDE ALL CONTROL WIRING AND CONDUIT INTERCONNECTING FCU, BRANCH CONTROLLER, CONDENSING UNIT, AND PROGRAMMABLE THERMOSTATS

5. PROVIDE SUCTION AND LIQUID REFRIGERANT LINES BETWEEN FAN COIL UNIT, BRANCH CONTROLLER, AND CONDENSING UNIT. SIZE PER MANUFACTURER'S RECOMMENDATIONS

6. PROVIDE REFRIGERANT PIPING INSULATIONS TO MEET IMC AND MANUFACTURER'S RECOMMENDATIONS. 7. FAN COIL UNITS SHALL BE RESILIENTLY MOUNTED ON NEOPRENE MOUNTS, SUSPENDED FROM SLAB.

8. FAN COIL UNITS SHALL BE PROVIDED WITH BIPOLAR IONIZATION ACCESORIES AT EACH UNIT.

				AIR COOL	ED COND	ENS	ER S	SCHI	EDUL	.E - [ATAC	CE	NTEF	₹					
SYMBOL	LOCATION	AREA SERVED	MFR	MODEL	RELATED FCU		AIR COO	DLED CON	IDENSER			ELEC	TRICAL DA	ATA		EMERGENCY POWER		TW XAM	NOTES
STINIDOL	LOCATION	AREA SERVED	IVIFK	WIODEL	RELATED FCO	NOM TONS	CAP (MBH)	AMB TEMP	TYPE	IEER	VOLTS	PH	HZ	MCA	МОСР	POWER AF	PROX. DIN	lS.(LBS)	NOTES
CU-DC-1	ROOF	SERVER/BOX FARM	MITSUBISHI	TUHYP1203AN40AN	FCU-DC-1 THRU 3	10	120	95	SCROLL	26.2	208	3	60	41	60	Υ	71x48	594	1 THRU 5
CU-DC-2	ROOF	SERVER/BOX FARM	MITSUBISHI	TUHYP1203AN40AN	FCU-DC-4 THRU 6	10	120	95	SCROLL	26.2	208	3	60	41	60	Υ	71x48	595	1 THRU 5

1. CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING AND CONDUIT INTERCONNECTING INDOOR UNIT AND AIR COOLED CONDENSER

2. AIR COOLED CONDENSER SHALL BE MOUNTED ON A PLATFORM PAD AND ISOLATED WITH NEOPRENE PAD ISOLATORS 3. PROVIDE SUCTION AND LIQUID REFRIGERANT LINES BETWEEN INDOOR UNITS AT BASEMENT AND AIR COOLED CONDENSER

4. PROVIDE REFRIGERANT PIPE INSULATION PER IMC REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS

5. PROVIDE LOCKING DISCONNECT SWITCH.

			EXHAL	JST FA	N SC	HEC	ULE						
		BASIS OF	DESIGN							ELECTF	RICAL		
				7		AIR			MOTOR			MAX	'
						FLOW	TSP	FAN	SIZE			WT	
SYMBOL	AREA SERVED	MFR	MODEL	TYPE	DRIVE	(CFM)	(IN H2O)	RPM	(HP)	VOLTS	PH	(LBS)	NOTES
EF-1	RESTROOMS	GREENHECK	CUE-101-VG	EXHAUST	DIRECT	1030	1	1725	0.25	208	1	50	NOTES 1 THRU 3
EF-2	JANITOR'S ROOM	GREENHECK	CUE-080-D	EXHAUST	DIRECT	200	0.5	1550	0.05	120	1	35	NOTES 1 THRU 3
NOTES:				-	-								

PROVIDE FACTORY ROOF CURB AND FOAM SEAL. PROVIDE GRAVITY BACKDRAFT DAMPER.

PROVIDE WITH BIRDSCREEN.

		BASIS	OF DESIGN		Е	LEC	TRICAL	_			
SYMBOL	AREA SERVED	MFR	MODEL	ASSOC CU	VOLTS	PH	MCA	МОСР	APPROX. DIMS	MAX WT	
									(LxWxH)	(LBS)	NOTES
BC-1-1	LEVEL1	MITSUBISHI	TCMBM0108JA11N1	CU-1	208	1	0.83	15	9-7/8 x 35-7/8 x 21-1/2	110	1 THRU 3
BC-1-2	LEVEL 1	MITSUBISHI	TCMBM0108JA11N0	CU-1	208	1	0.83	15	9-7/8 x 35-7/8 x 21-1/2	110	1 THRU 3
BC-2-1	LEVEL 2	MITSUBISHI	TCMBM0108JA11N1	CU-2	208	1	0.83	15	9-7/8 x 35-7/8 x 21-1/2	110	1 THRU 3
BC-2-2	LEVEL 2	MITSUBISHI	TCMBM0108JA11N2	CU-2	208	1	0.83	15	9-7/8 x 35-7/8 x 21-1/2	110	1 THRU 3
BC-3-1	LEVEL 3	MITSUBISHI	TCMBM0108JA11N3	CU-3	208	1	0.83	15	9-7/8 x 35-7/8 x 21-1/2	110	1 THRU 3
BC-3-2	LEVEL 3	MITSUBISHI	TCMBM0108JA11N4	CU-3	208	1	0.83	15	9-7/8 x 35-7/8 x 21-1/2	110	1 THRU 3

3 PROVIDE SPRING ISOLATION WITH 1" MIN DEFLECTION

	DIFFUS	SER, REC	SISTER	AND GR	ILLE SC	HEDUL		
CVMDOL	TYPE	ГЛОГ	ГРАМЕ	DAMPED	FINISH	BASIS O	F DESIGN	NOTE
SYMBOL	ITPE	FACE	FRAME	DAMPER	FINISH	MFR	MODEL	- NOTE
CD-1	CEILING SUPPLY DIFFUSER	PERFORATED	24x24	NONE	BY ARCH.	TITUS	OMNI	1 THRI
SG-1	RECT. SUPPLY GRILLE	LOUVERED	SEE PLAN	NONE	BY ARCH.	TITUS	272	1 THR
SG-2	ROUND SUPPLY GRILLE	LOUVERED	SEE PLAN	NONE	BY ARCH.	TITUS	R-301	1 THRI
CRG-1	CEILING RETURN GRILLE	PERFORATED	SEE PLAN	NONE	BY ARCH.	TITUS	PAR	1 THRI
RG-1	RETURN WALL GRILLE	LOUVERED	SEE PLAN	NONE	BY ARCH.	TITUS	23R	1 THRI
CEG-1	CEILING EXHAUST GRILLE	EGGCRATE	12x12	NONE	BY ARCH.	TITUS	PAR	1 THRI

1. PROVIDE VOLUME DAMPER AT ALL DUCTWORK CONNECTED TO INLETS AND OUTLETS

2. PROVIDE REMOTE ACCESS VOLUME DAMPERS TO EACH DIFFUSER TO ANY INACCESSIBLE CEILING AREA.

3. COORDINATE WITH ARCHITECT FOR CEILING TYPE AND DIFFUER/GRILLE COLOR REQUIREMENTS.

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L|F PROJ. NO. **20158TX** PROJ. ARCHITECT DRAWN BY: Author

DESCRIPTION

Project Status

SCHEDULES -**MECHANICAL**



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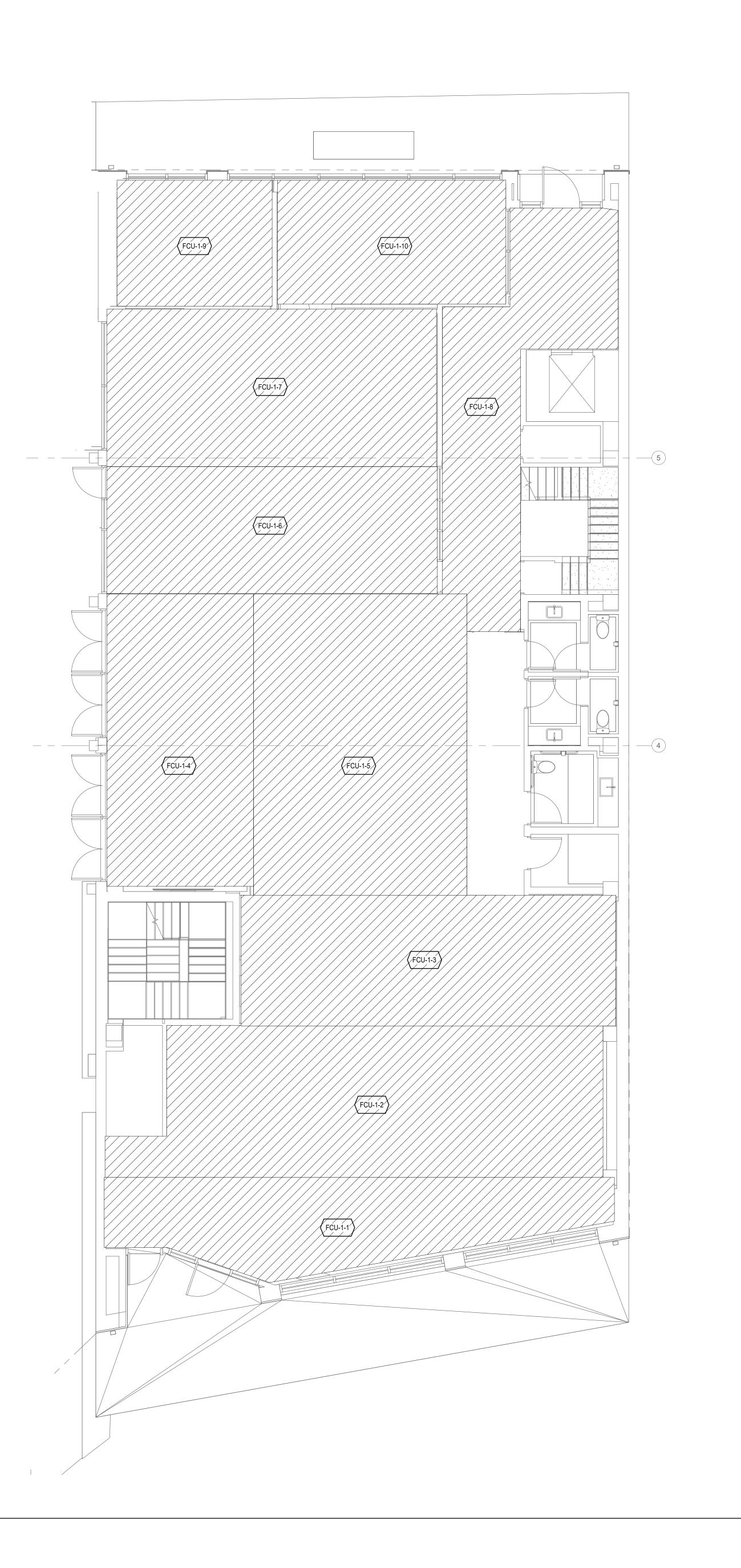
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Project Status

ZONING PLAN -BASEMENT -MECHANICAL



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Project Status

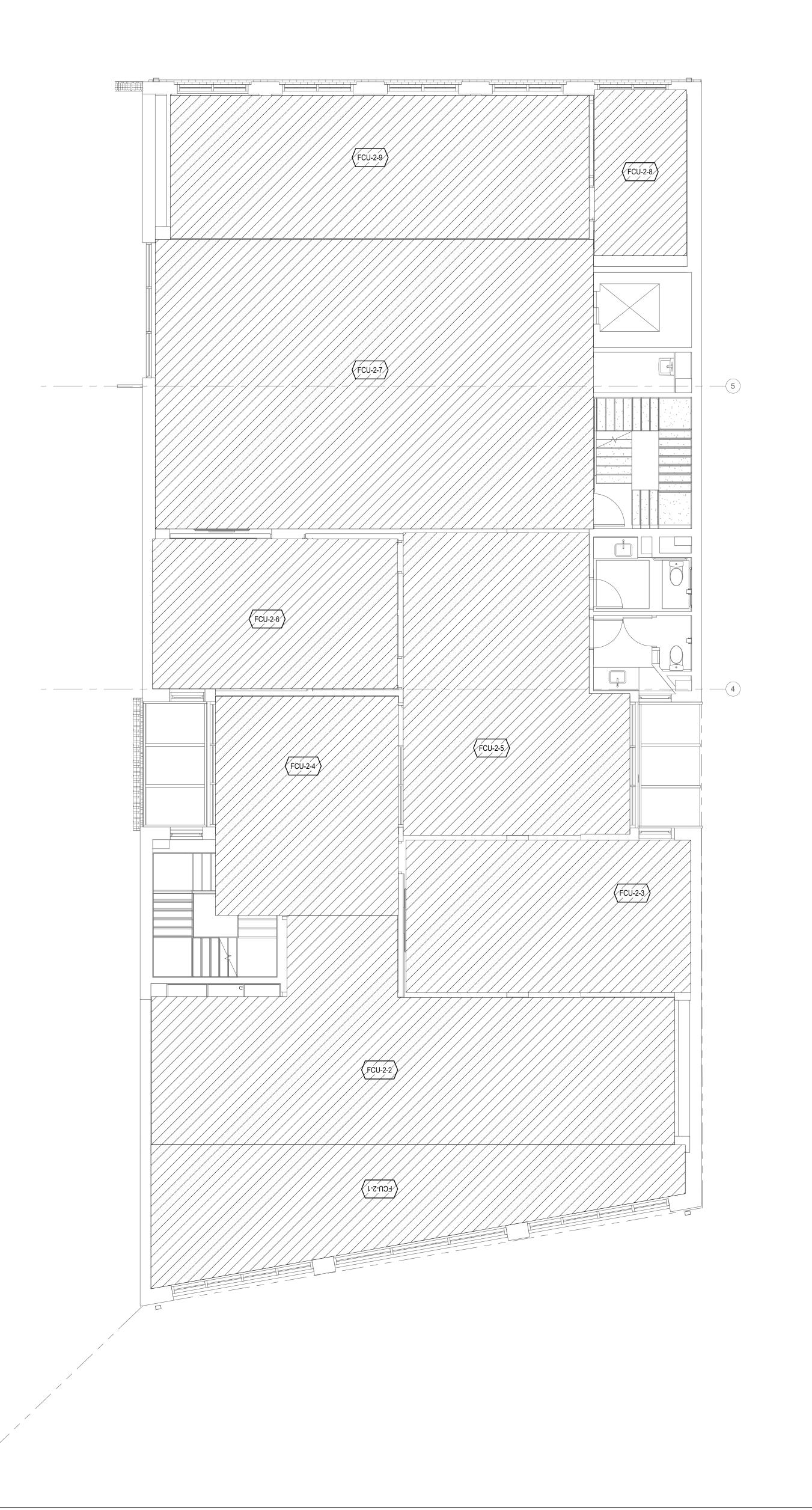
ZONING PLAN - 1ST FLOOR - MECHANICAL

M101

N 1

ZONING PLAN - 1ST FLOOR - MECHANICAL

3/16" = 1'-0"



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ZONING PLAN - 2ND FLOOR - MECHANICAL



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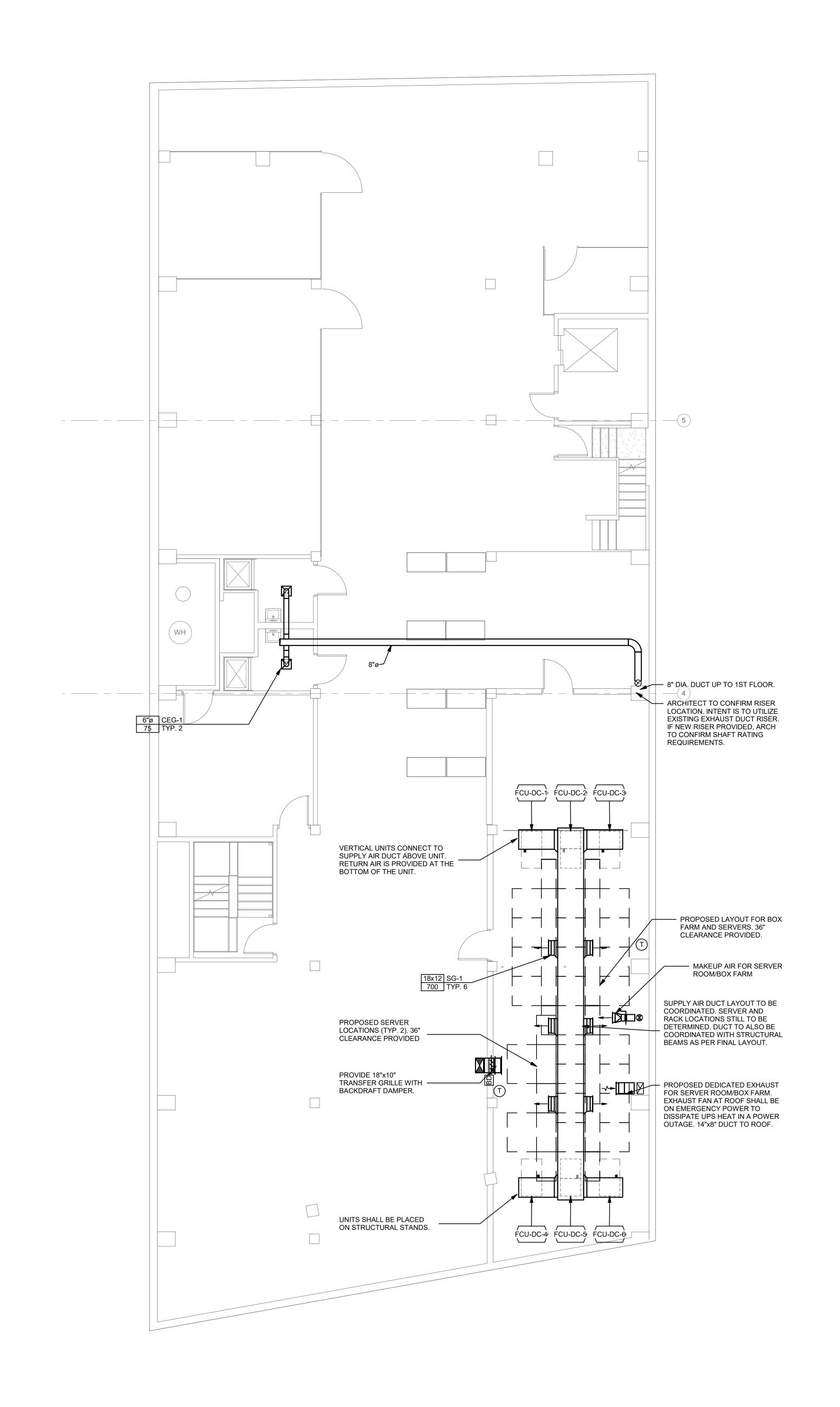
ZONING PLAN - 3RD FLOOR - MECHANICAL

M103

1 ZONING PLAN - 3RD FLOOR - MECHANICAL

O' 4' 8' 12'

3/16" = 1'-0"



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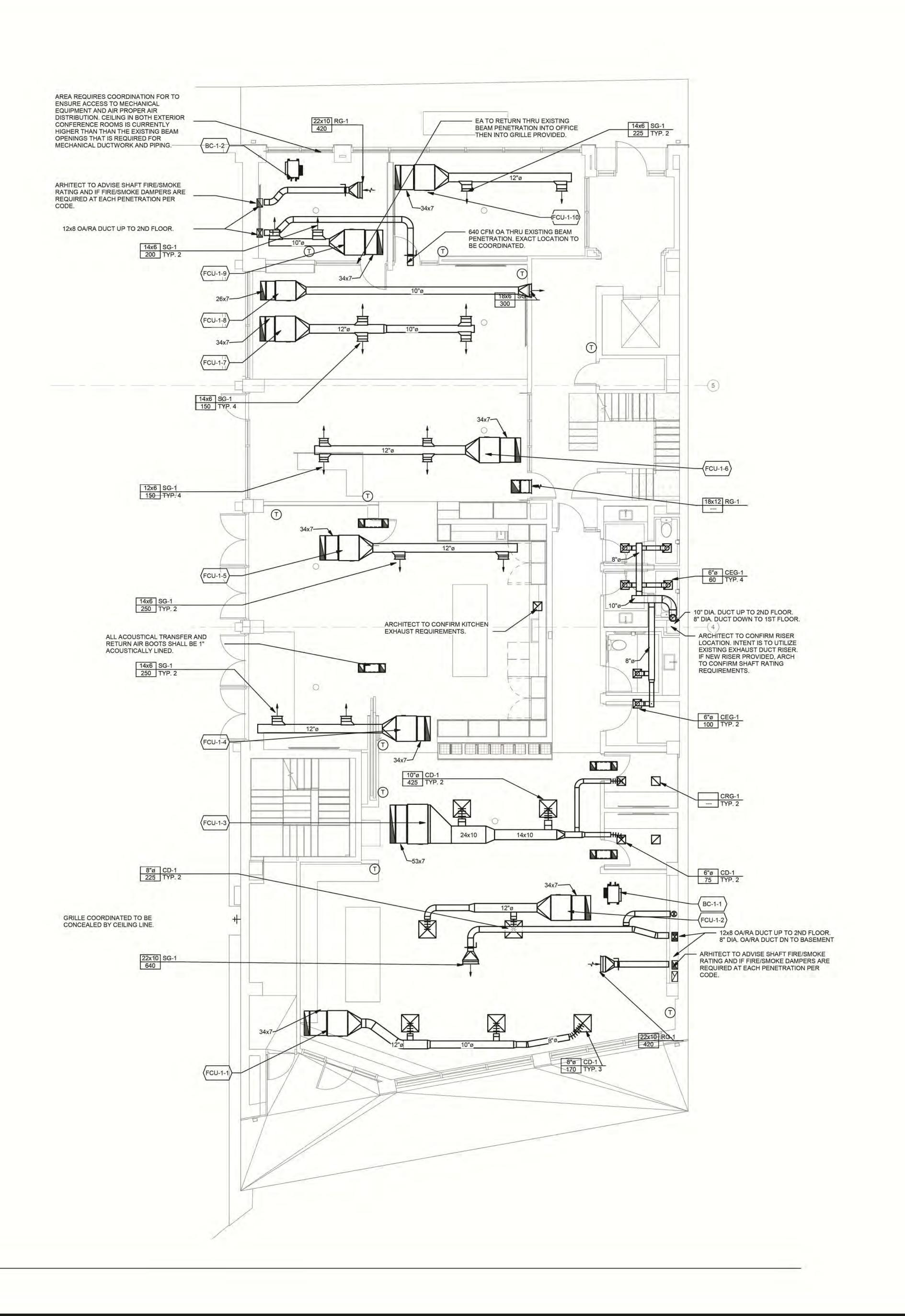
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FLOOR PLAN -BASEMENT -MECHANICAL



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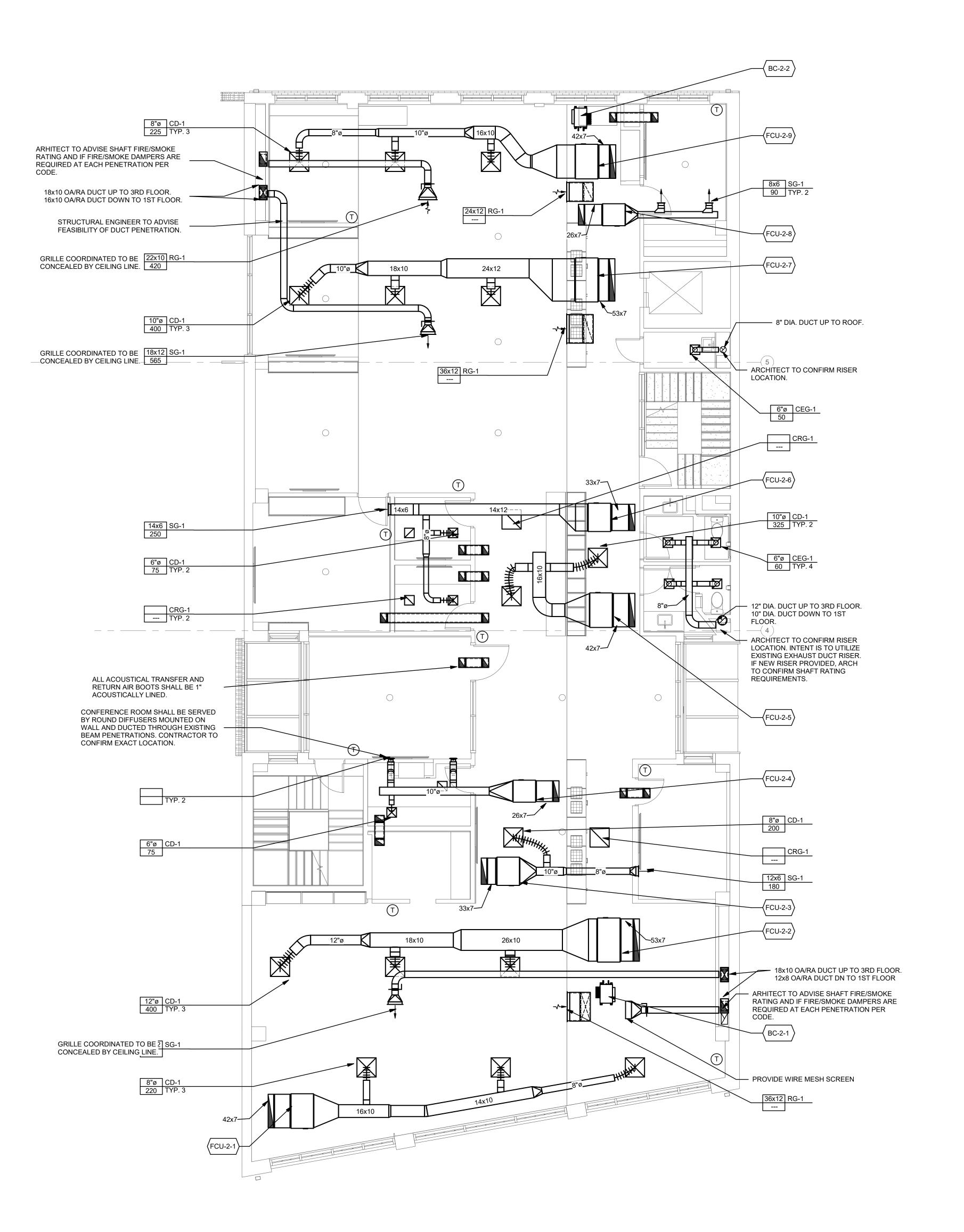
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D. DATE DESCRIPTION

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FLOOR PLAN - 1ST FLOOR - MECHANICAL



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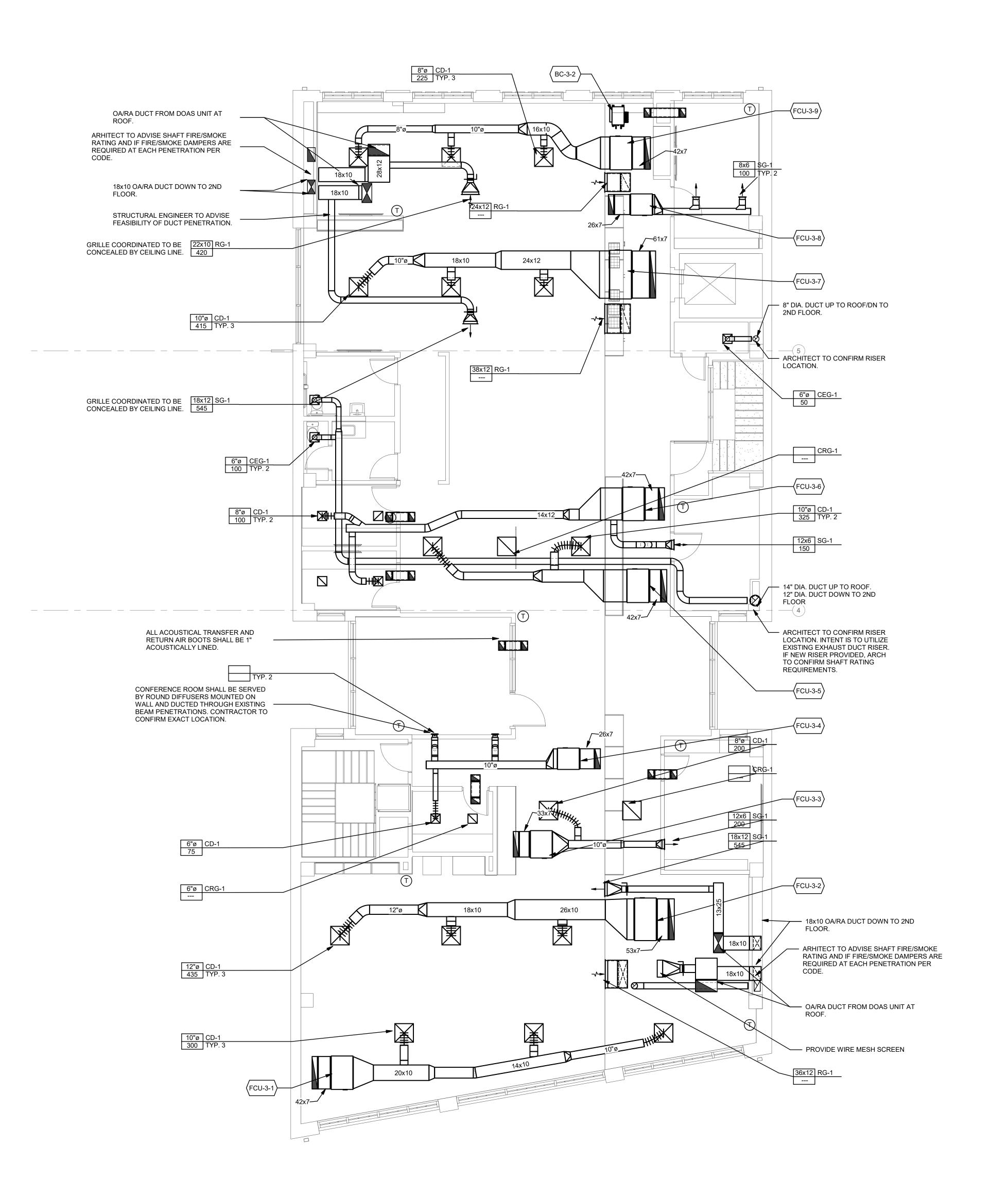
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FLOOR PLAN - 2ND FLOOR - MECHANICAL

M202

1 FLOOR PLAN - 2ND FLOOR - MECHANICAL



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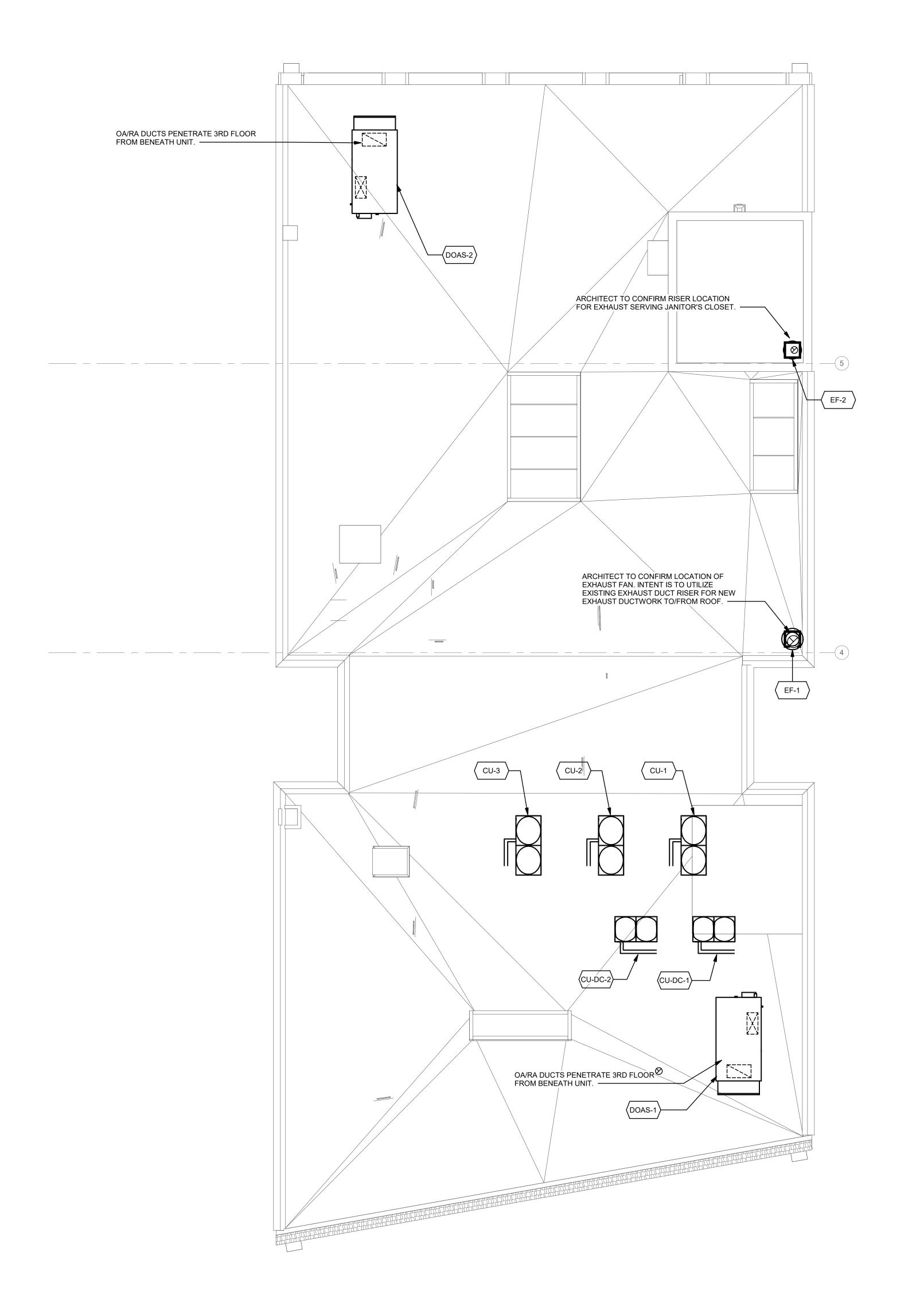
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Project Status

FLOOR PLAN - 3RD FLOOR - MECHANICAL

M203

1 FLOOR PLAN - 3RD FLOOR - MECHANICAL



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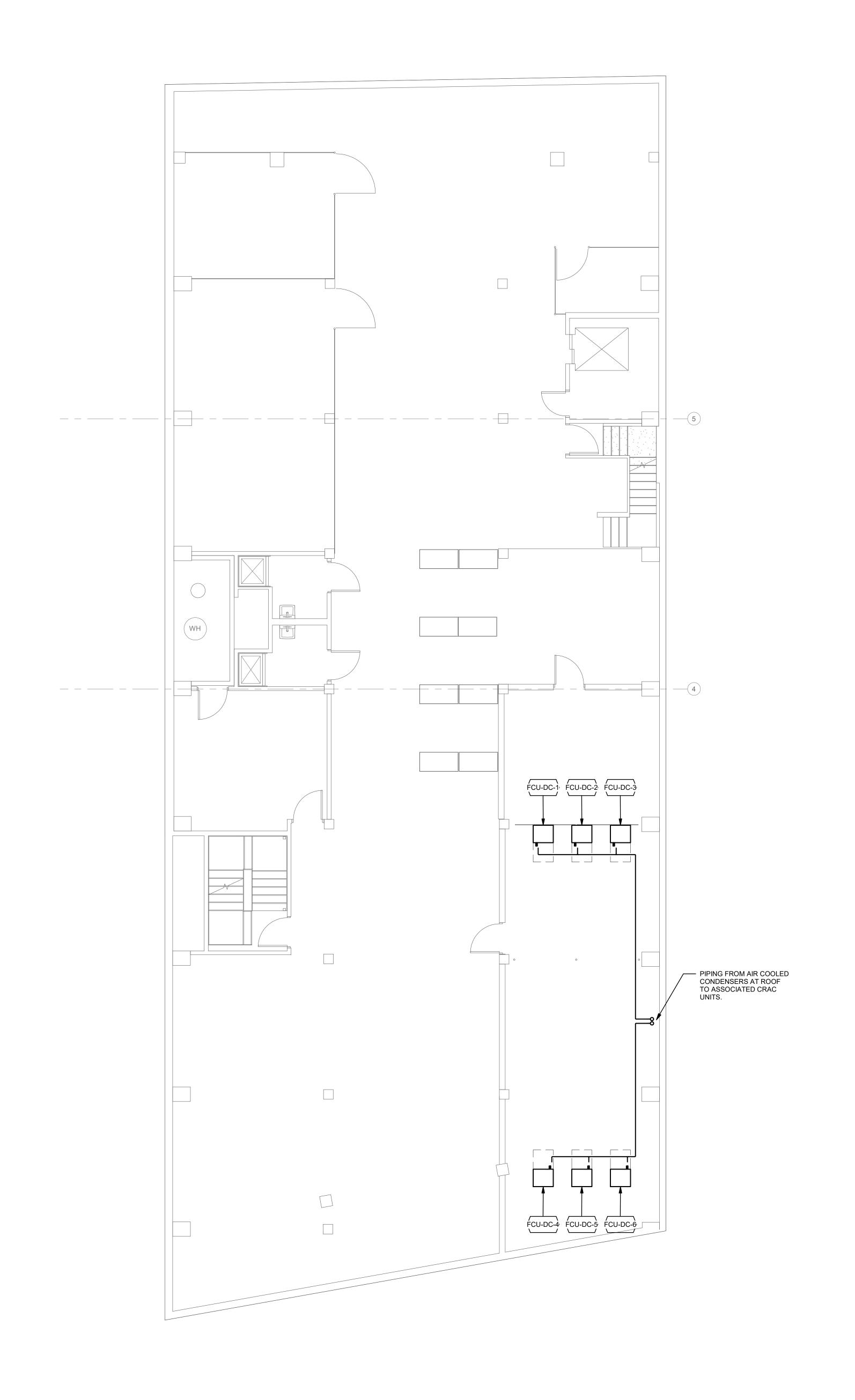
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FLOOR PLAN - ROOF - MECHANICAL



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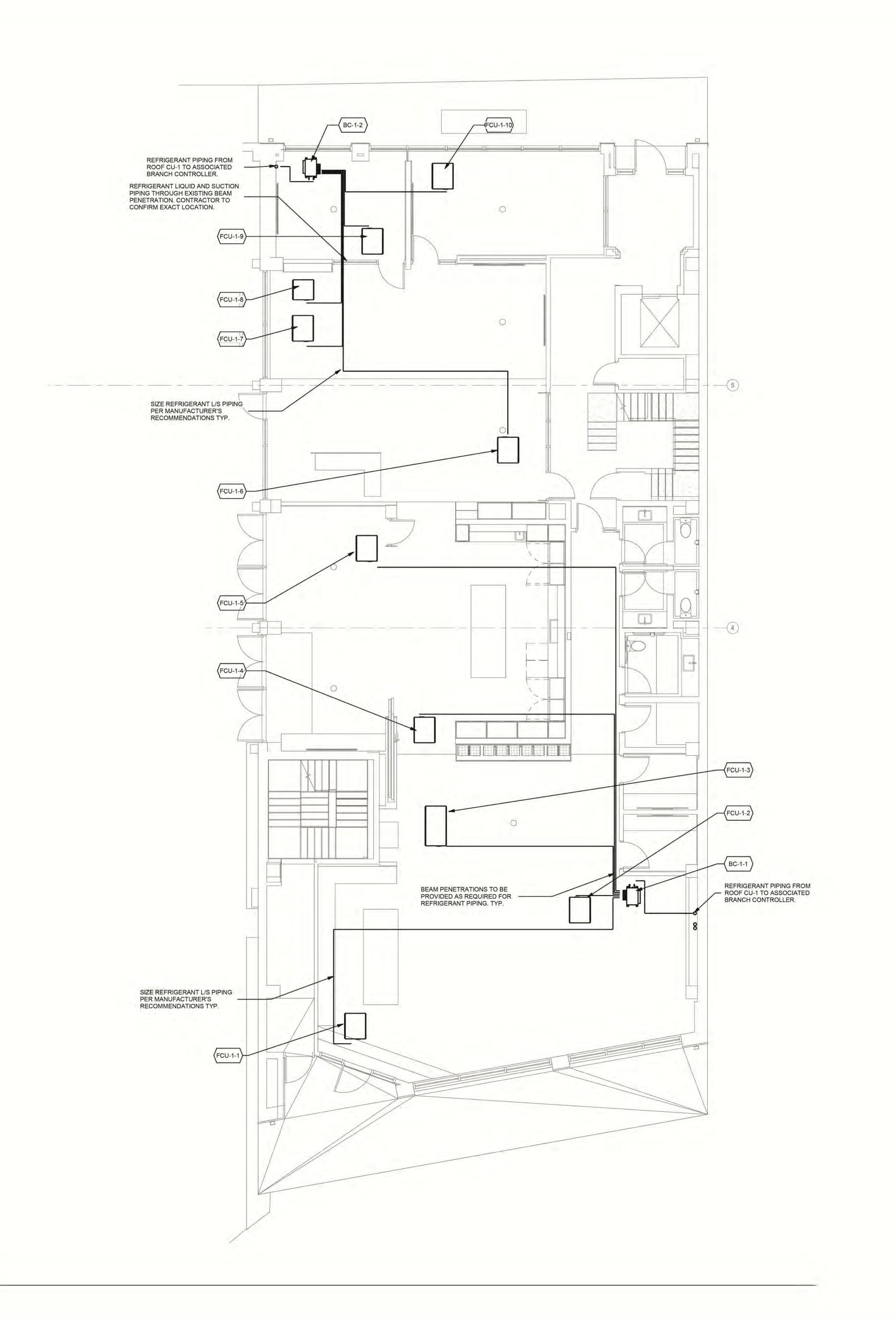
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PIPING PLAN -BASEMENT -MECHANICAL



PIPING PLAN - 1ST FLOOR - MECHANICAL

O' 4' 8' 12'

3/16" = 1'-0"

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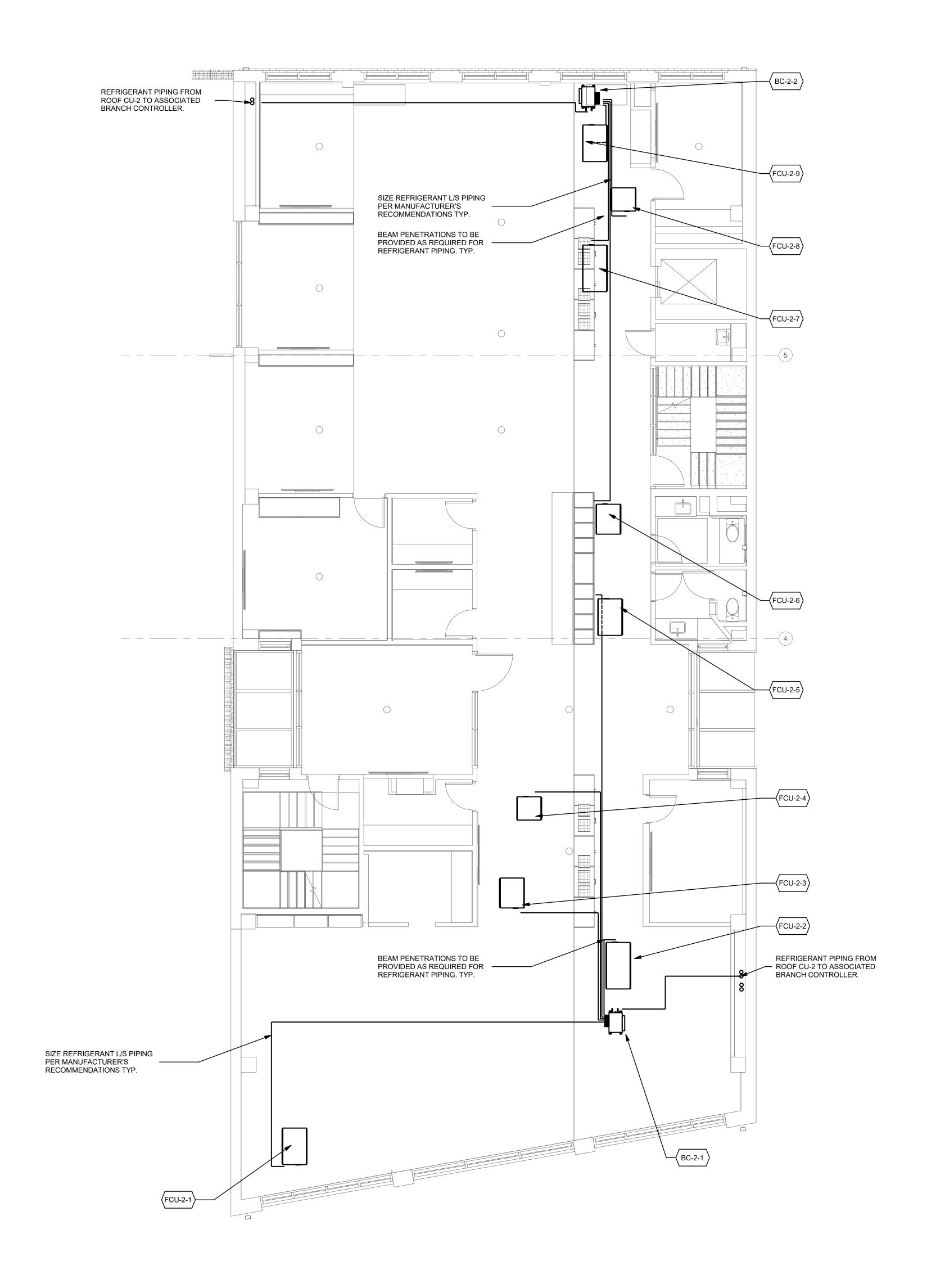
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PIPING PLAN - 1ST FLOOR - MECHANICAL



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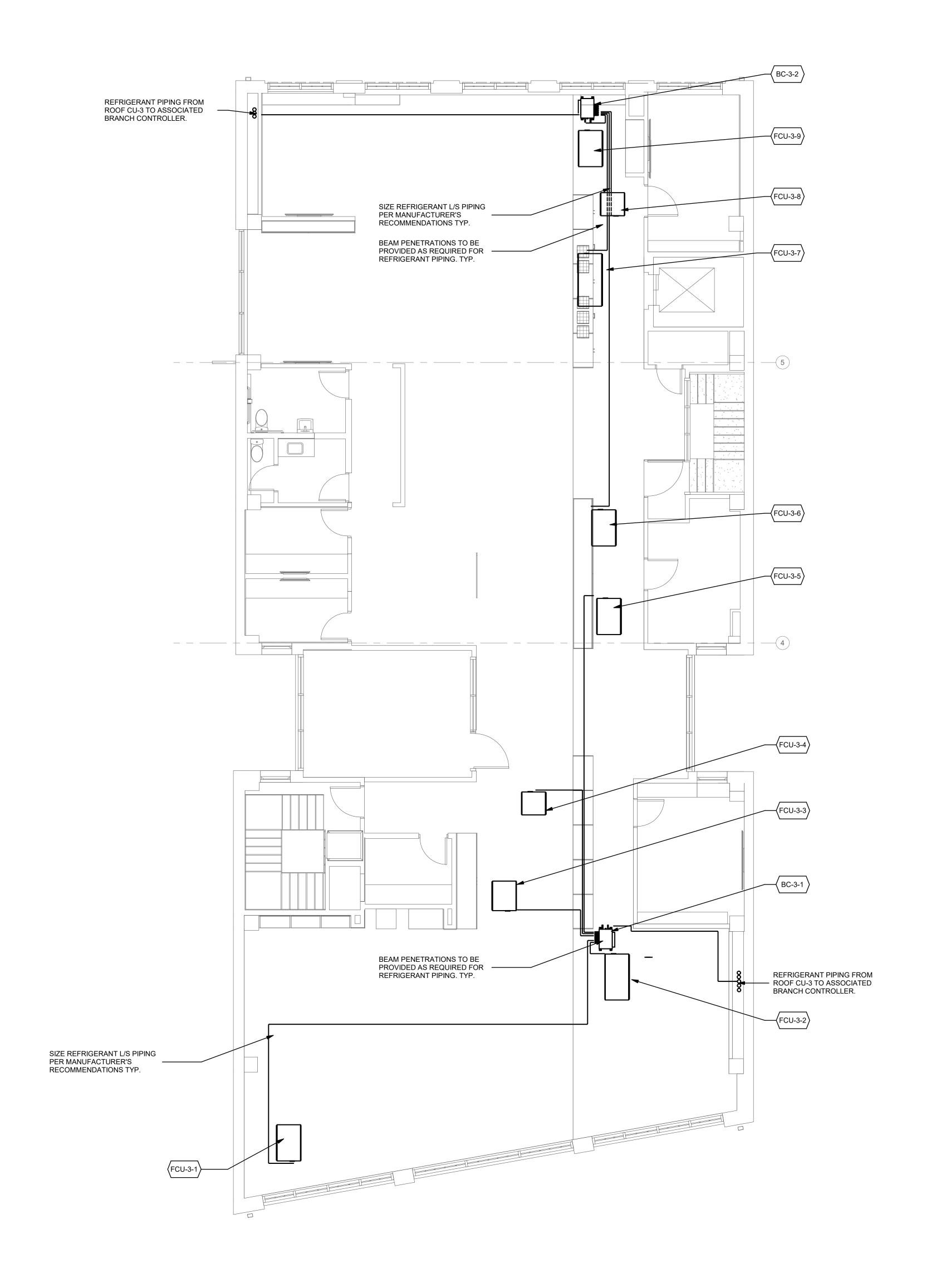
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PIPING PLAN - 2ND FLOOR - MECHANICAL



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DATE ISSUE

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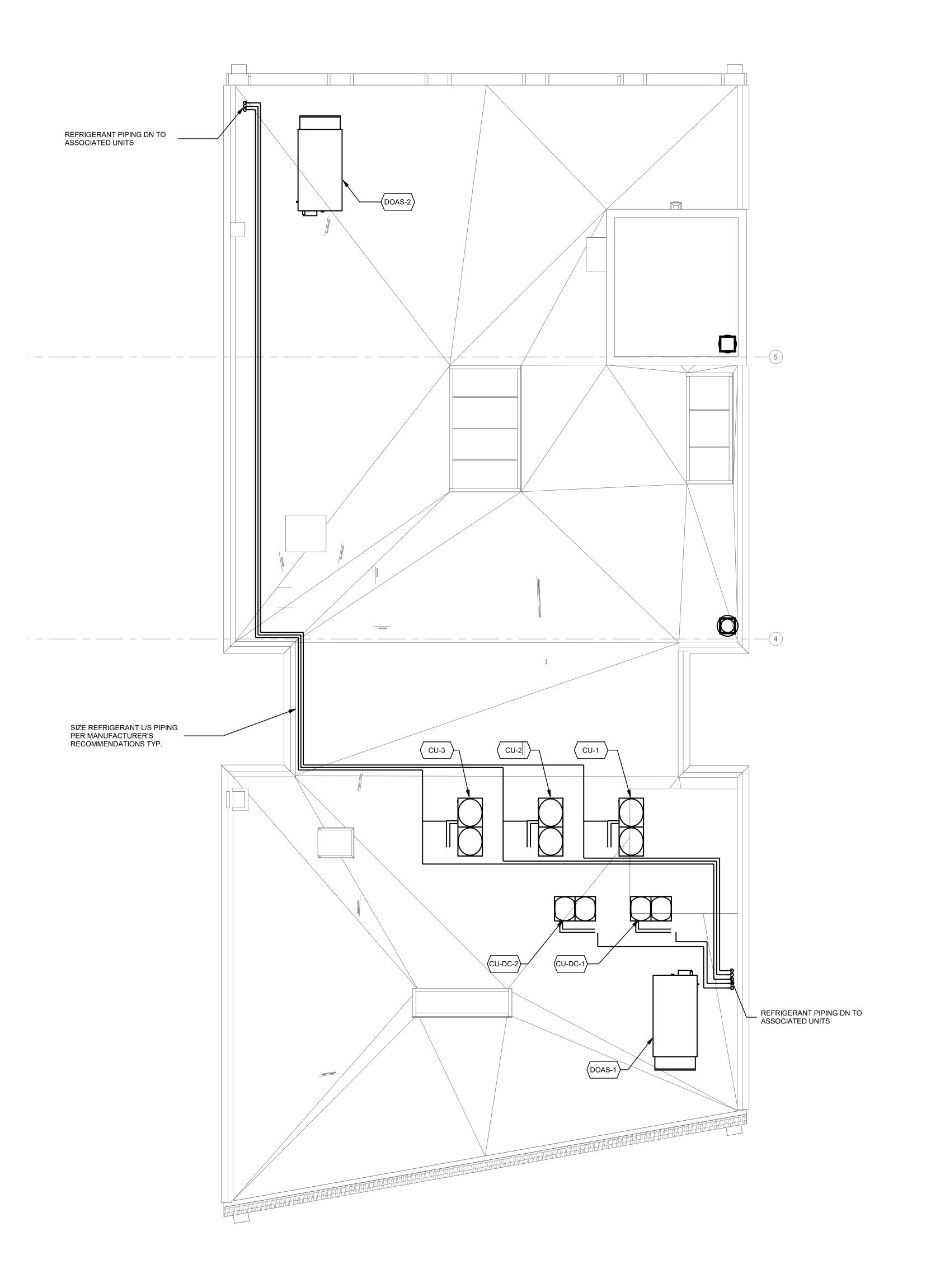
PIPING PLAN - 3RD FLOOR - MECHANICAL

M303

1 PIPING PLAN - 3RD FLOOR - MECHANICAL

0' 4' 8' 12'

3/16" = 1'-0"



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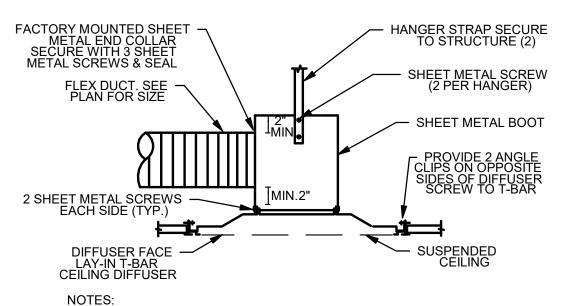
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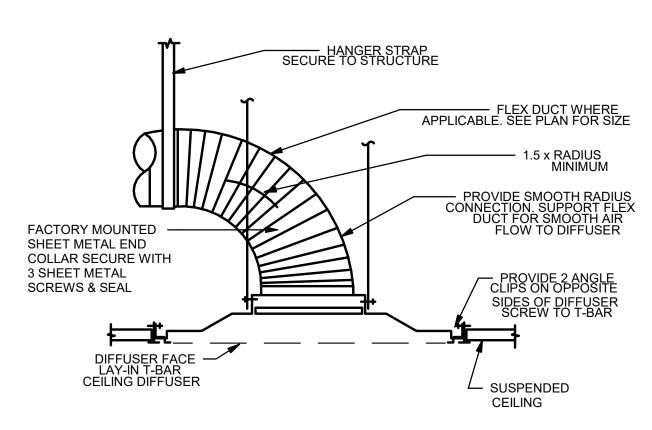
PROJ. ARCHITECT DRAWN BY: Author

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PIPING PLAN - ROOF -MECHANICAL



1. USE THIS DETAIL WHERE 1.5 x RADIUS ON FLEXIBLE DUCT IS NOT POSSIBLE 2. SIMILAR FOR GYP BOARD CEILING.

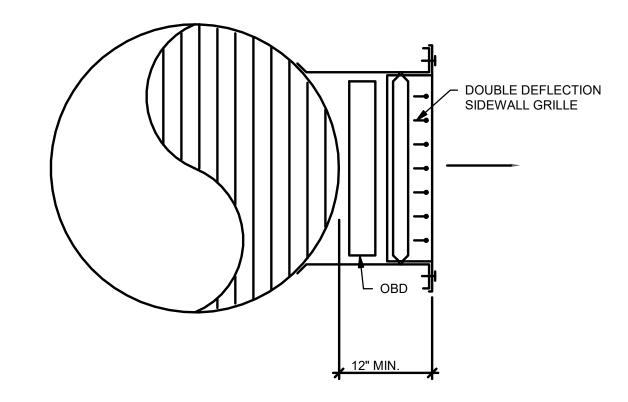


NOTES:

1. USE MOUNTING DETAIL WHERE SPACE PERMITS. WHERE SPACE DOES NOT PERMIT FOLLOW DETAIL ABOVE. 2. SIMILAR FOR GYP BOARD, SPLINE CEILING.

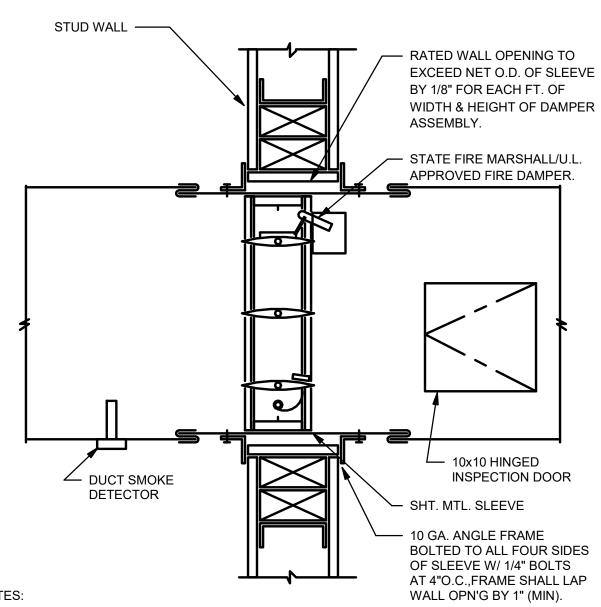
CEILING DEFFUSER CONNECTION DETAIL

0' 4' 8' NO SCALE



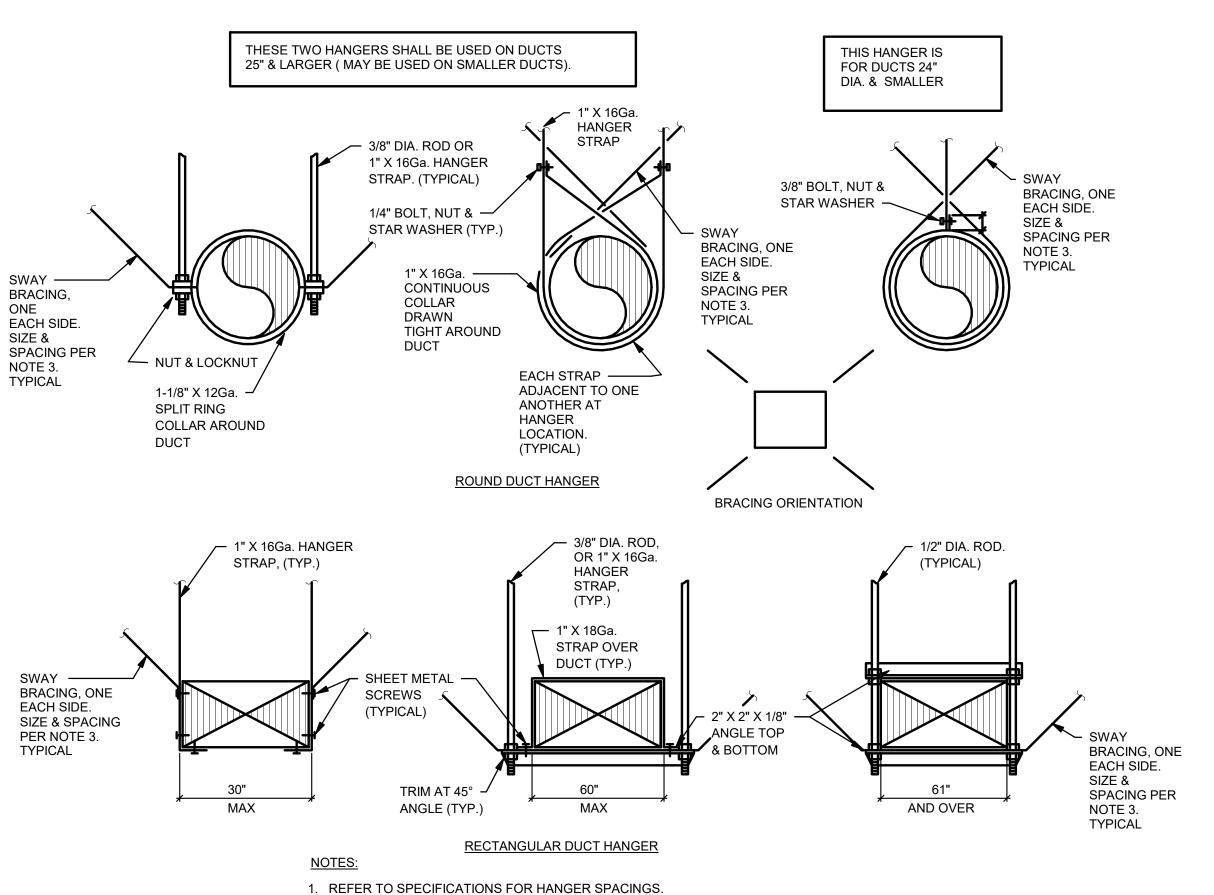
2 CEILING DEFFUSER CONNECTION DETAIL

0' 4' 8' NO SCALE

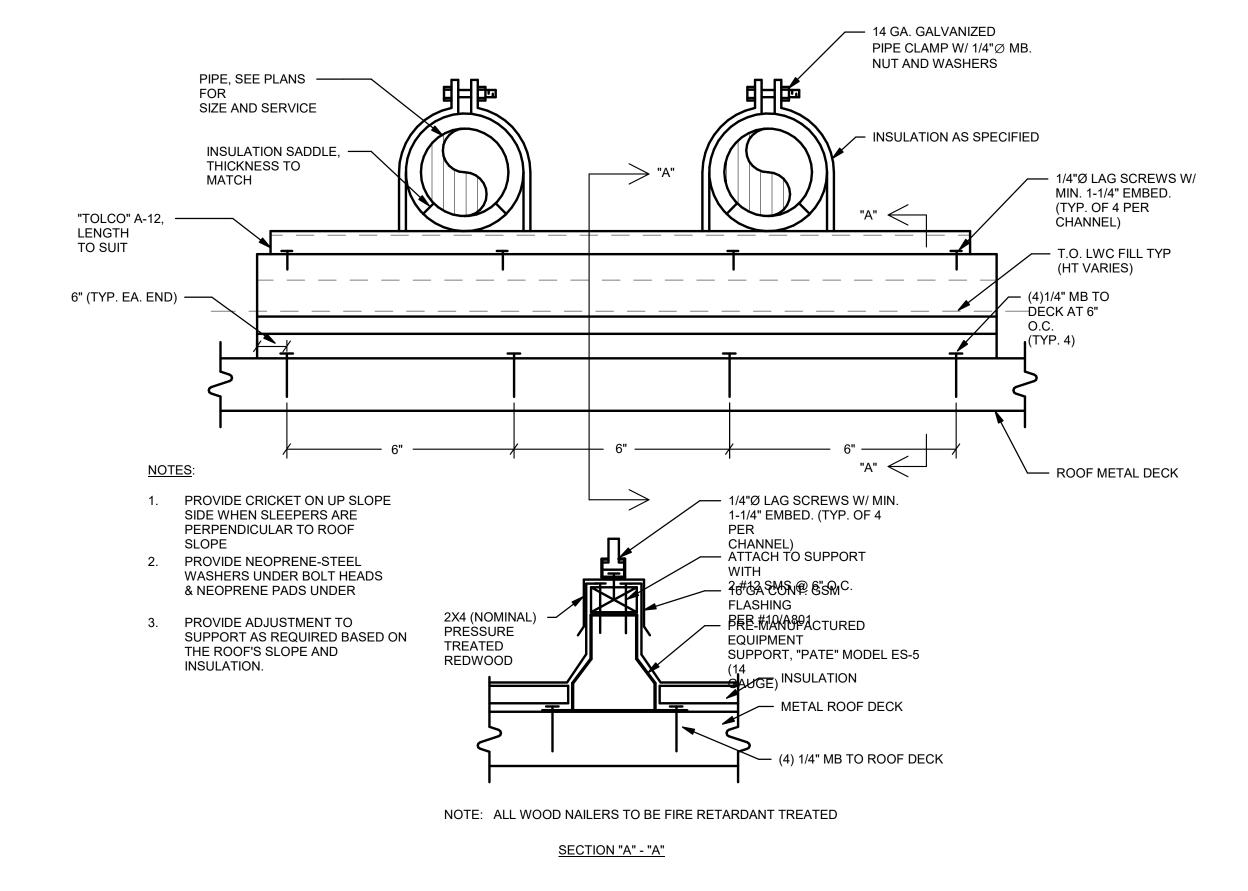


- 1. USE "UNITED DUCT SEALER" OR EQUAL WHERE DUCTS CONNECT TO SLEEVE.
- 2. IF ROUND DUCT, PROVIDE WELDED ROUND DUCT COLLAR ON BOTH SIDES. SIMILAR TO HIGH VELOCITY FIRE DAMPER. OPENING SIZE = DUCT SIZE + 1".
- a. FSD SHALL CLOSE AT ANY OF THE FOLLOWING CONDITIONS: b. DETECTION OF SMOKE BY LOCAL DUCT SMOKE DETECTOR.
- c. LOSS OF POWER. d. SIGNED FROM FACP.
- 3 FD_FIRE & SMOKE DAMPER

0' 4' 8' 16 12" = 1'-0"



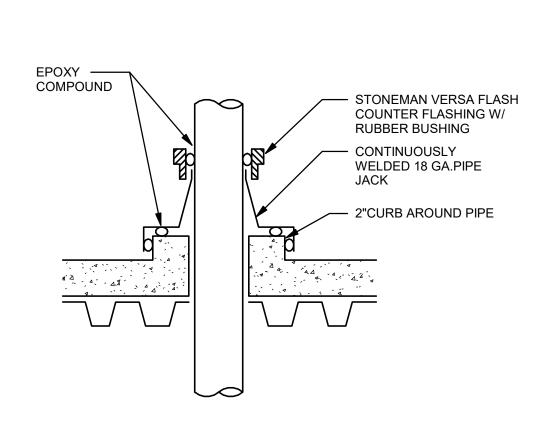
- 2. ATTACHMENTS TO OVERHEAD STRUCTURE SHALL BE MADE IN ACCORDANCE WITH STRUCTURAL ENGINEERS REQUIREMENTS AND WEIGHT LIMITATIONS. ALL ATTACHMENT METHODS TO STRUCTURE SHALL BE SUBMITTED TO ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW.
- 3. PROVIDE SWAY & SEISMIC BRACING PER THE LATEST EDITION OF CALIFORNIA BUILDING CODE. INDICATE LOCATIONS OF SEISMIC
- BRACING ON THE SHOP DRAWING SUBMITTALS. 4. HANGER MATERIAL SUPPORTING FLEXIBLE DUCT SHALL IN NO CASE BE LESS THAN 1 1/2 INCHES WIDE. FLEXIBLE DUCT SHALL BE SUPPORTED PER MANUFACTURER'S RECOMMENDED MATERIALS, BUT AT NO DISTANCE THAN 4 FEET MAX. PERMISSIBLE SAG IS MAX. 1/2 INCHES PER FOOT OF SPACING BETWEEN SUPPORTS.



DUCT SUPPORT DETAIL

NO SCALE

NO SCALE



5 PENS_PIPE PENETRATION THRU ROOF

- TACK WELD CLAMP TO PIPE - ANGLE CLIP. BOLT TO PIPE INSULATION -CHANNEL AND CLAMP AT EACH SIDE UNISTRUT P-5000 CHANNEL TO SPAN OPENING. TWO PER PIPE STRUCTURE - 3/8"Ø CAST IN ANCHOR BOLT. TWO PER CHANNEL SHAFT OPENING -

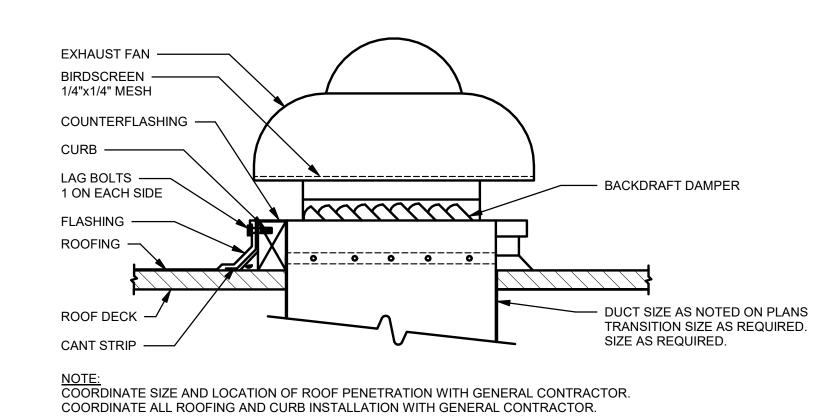
- NOTES: 1. TYPICAL SUPPORT AT EACH FLOOR. 2. FOR MULTIPLE PIPES INSTALL CHANNELS IN PARALLEL AND PROVIDE ADDITIONAL FRAMING. SIZES OF FRAMING MEMBERS AS REQUIRED TO SUPPORT TOTAL WEIGHT OF PIPE.
- 6 PIPE RISER SUPPORT

3. INSULATE CLAMP AT CHILLED WATER PIPE ONLY.

0' 4' 8' 16' **NO SCALE**

PIPE SUPPORT ON ROOF DETAIL

NO SCALE



8 ROOF EXHAUST FAN

0' 4' 8' 16 NO SCALE

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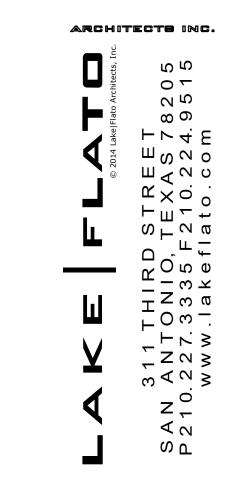
REVISIONS NO. DATE DESCRIPTION

Project Status

DETAILS -**MECHANICAL**

3/12/2021 2:26:01 PM

- REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



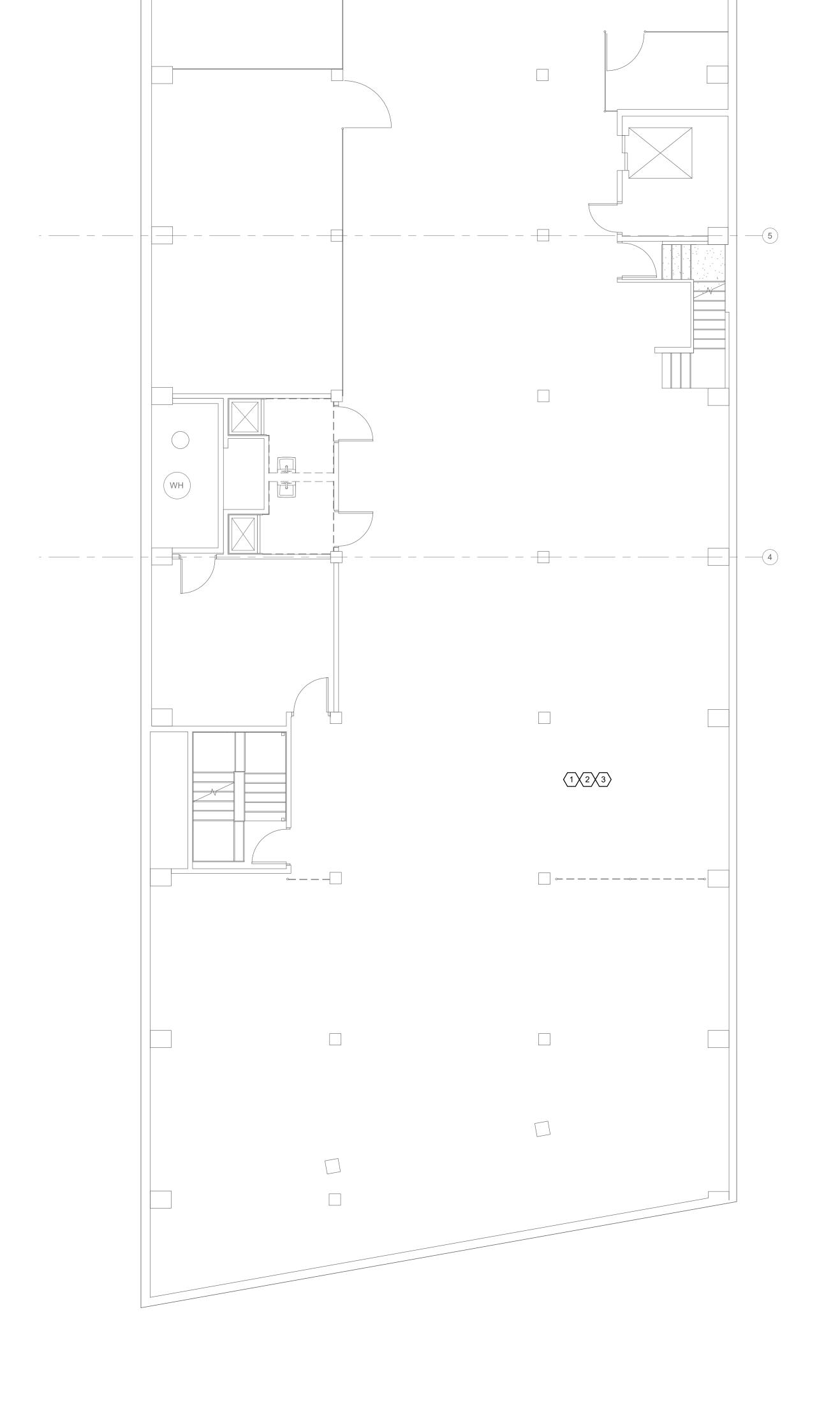


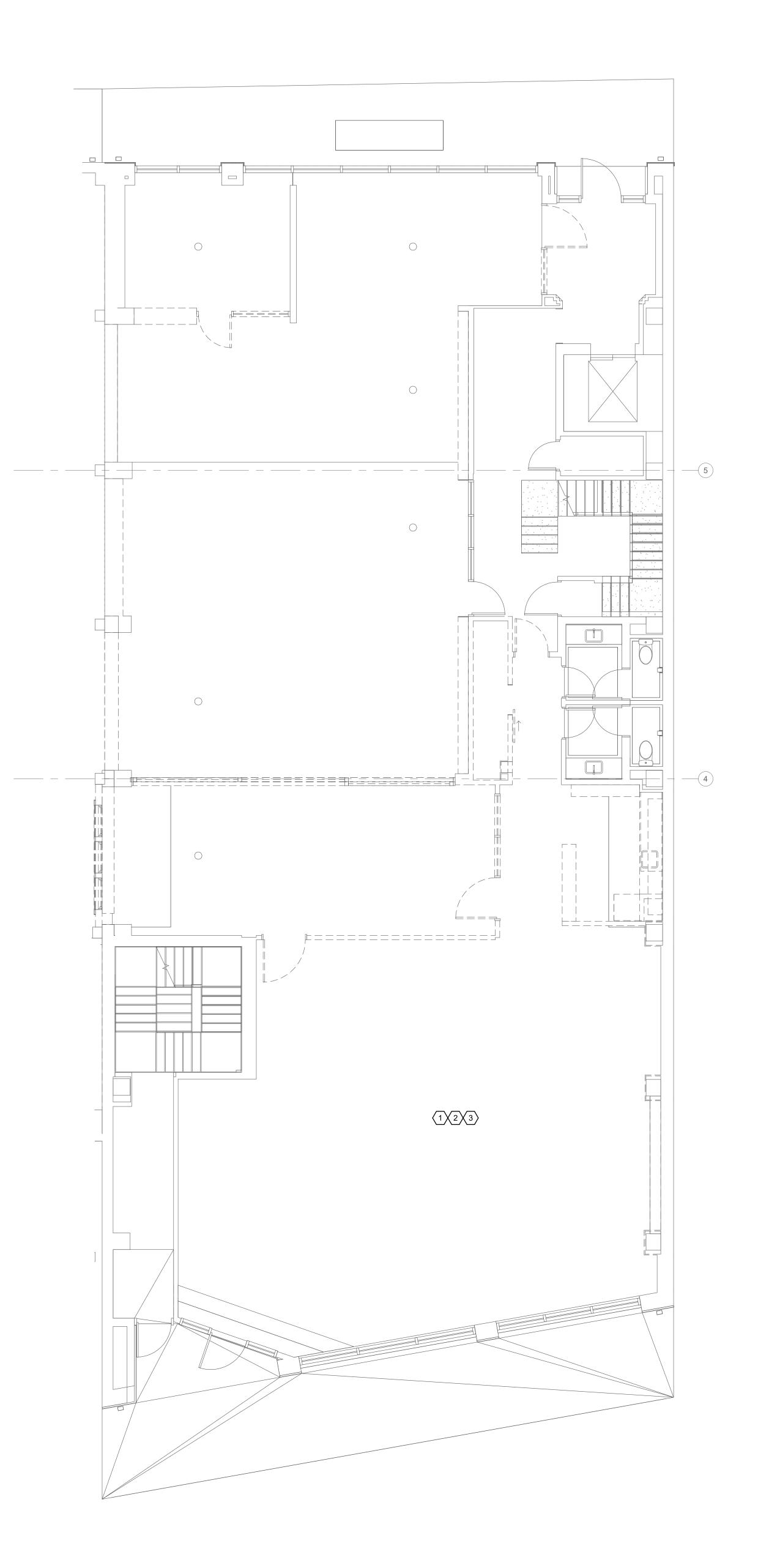
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Project Status

DEMOLITION FLOOR PLAN - BASEMENT -MECHANICAL





- REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



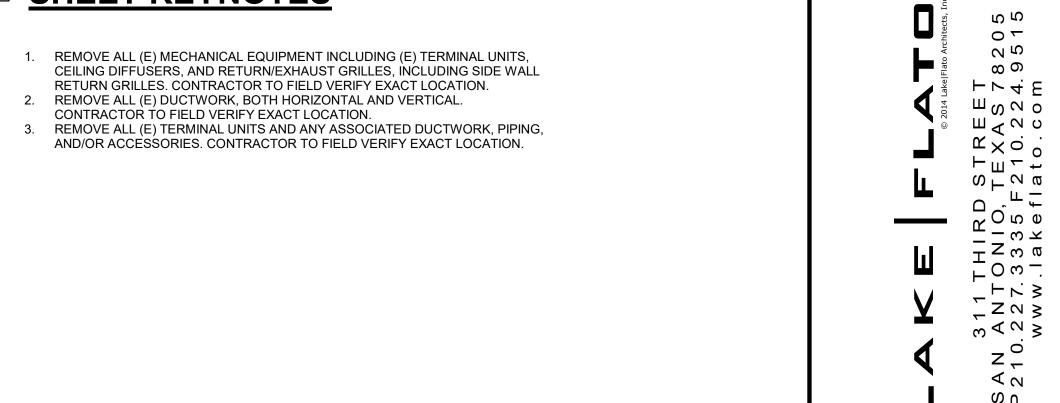
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Project Status

DEMOLITION FLOOR PLAN - 1ST FLOOR -MECHANICAL

DEMOLITION FLOOR PLAN - 1ST FLOOR - MECHANICAL



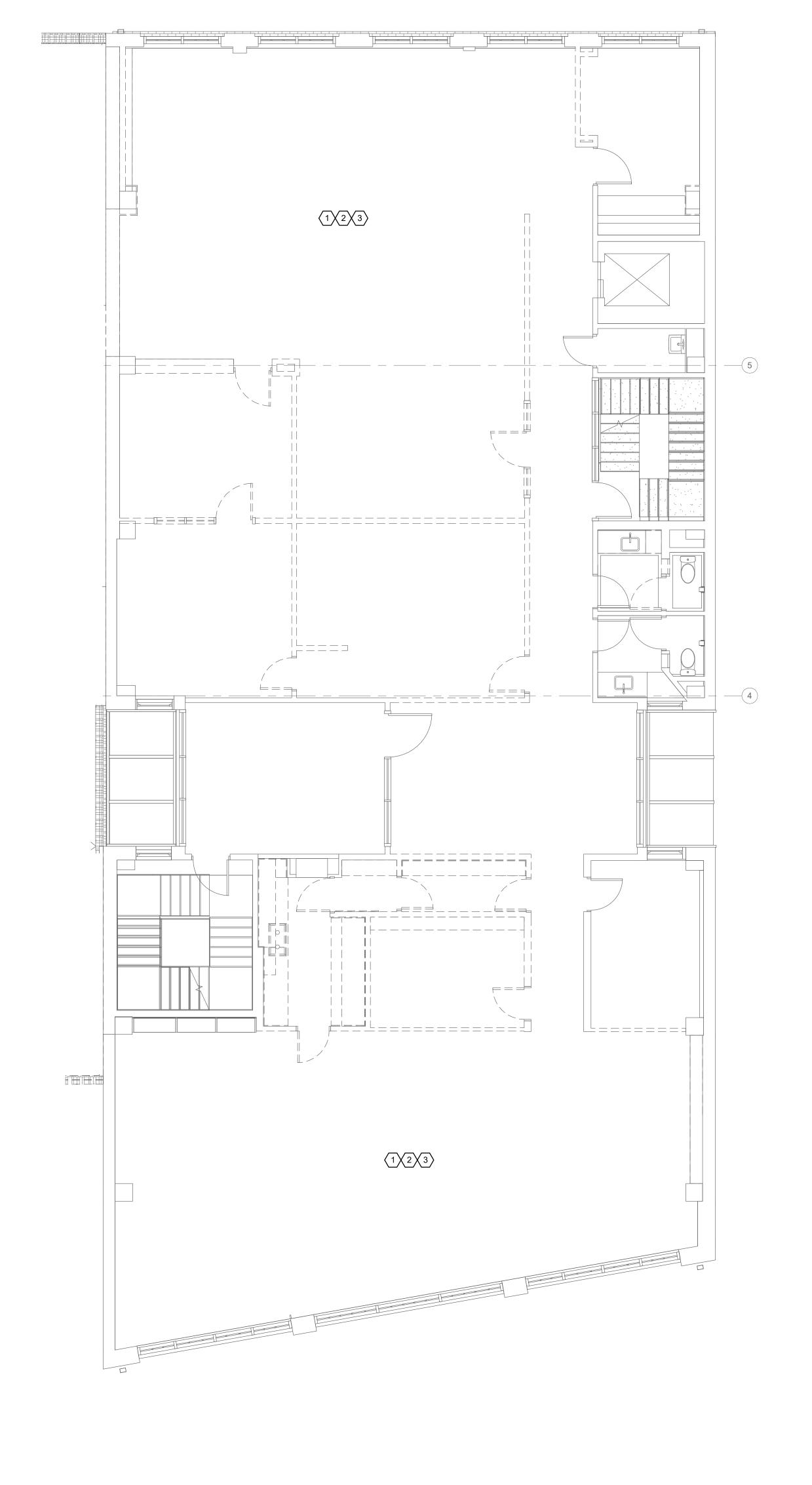


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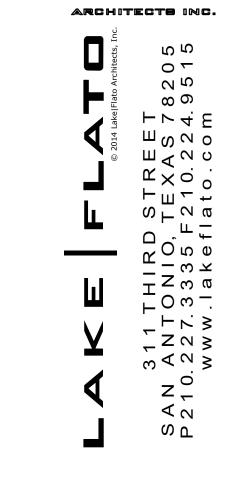
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DEMOLITION FLOOR PLAN - 2ND FLOOR -MECHANICAL



- REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



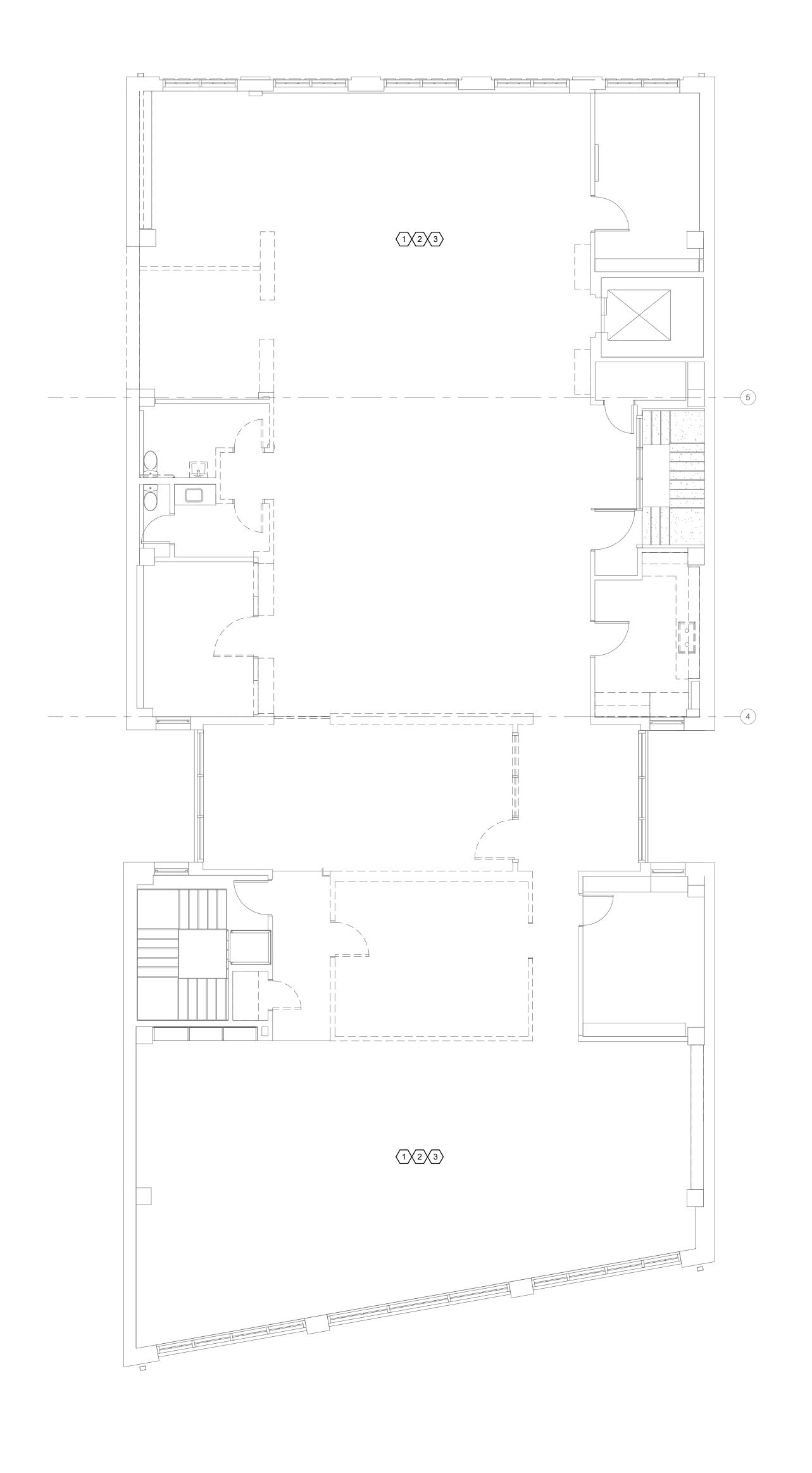
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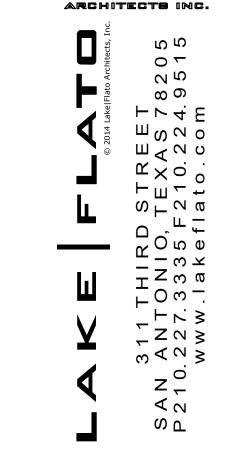
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Project Status

DEMOLITION FLOOR PLAN - 3RD FLOOR -**MECHANICAL**



- REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
 REMOVE ALL (E) ROOFTOP MOUNTED EQUIPMENT, INCLUDING ROOF TOP UNITS, EXHAUST FANS, AND ALL ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



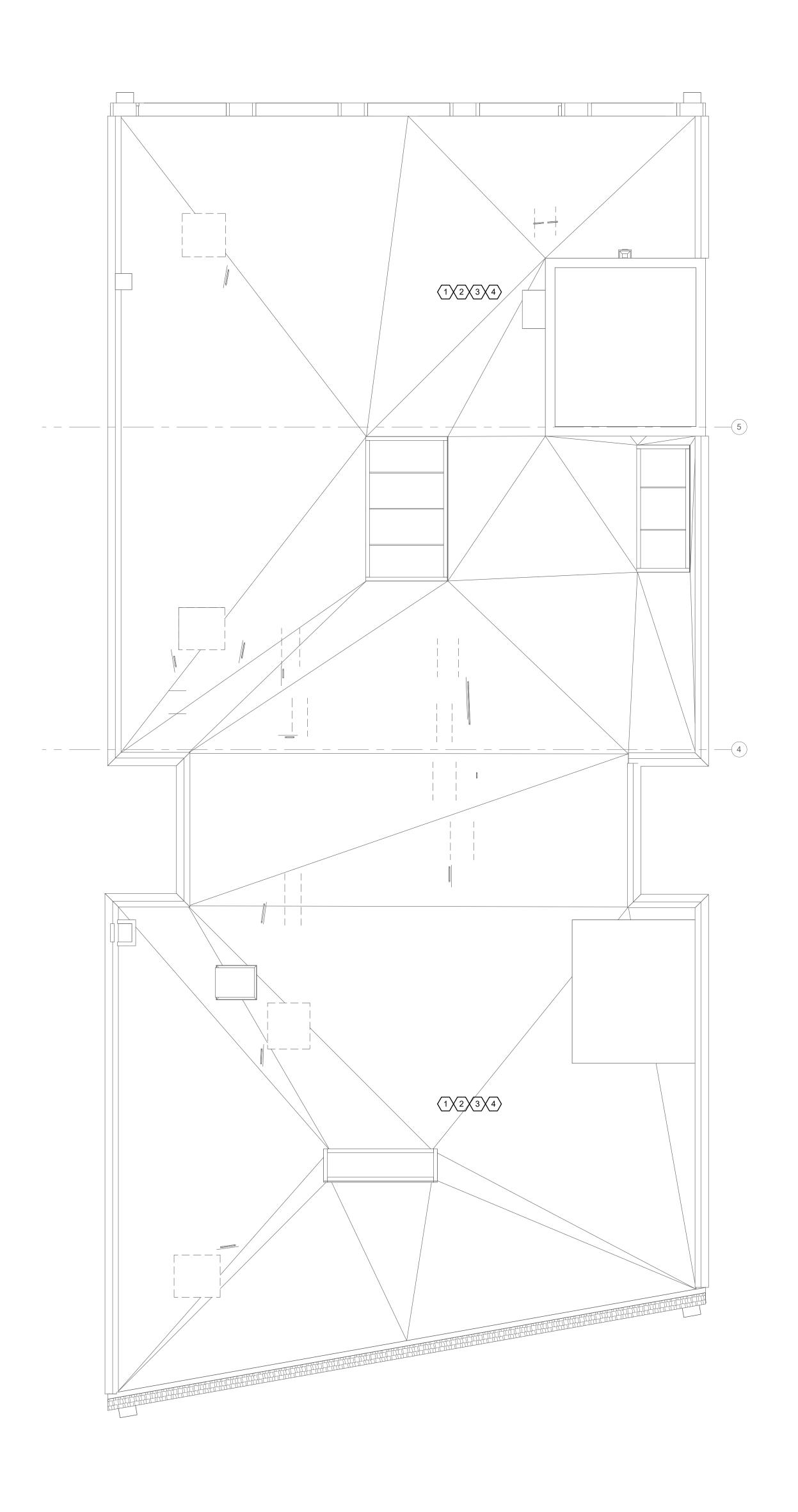


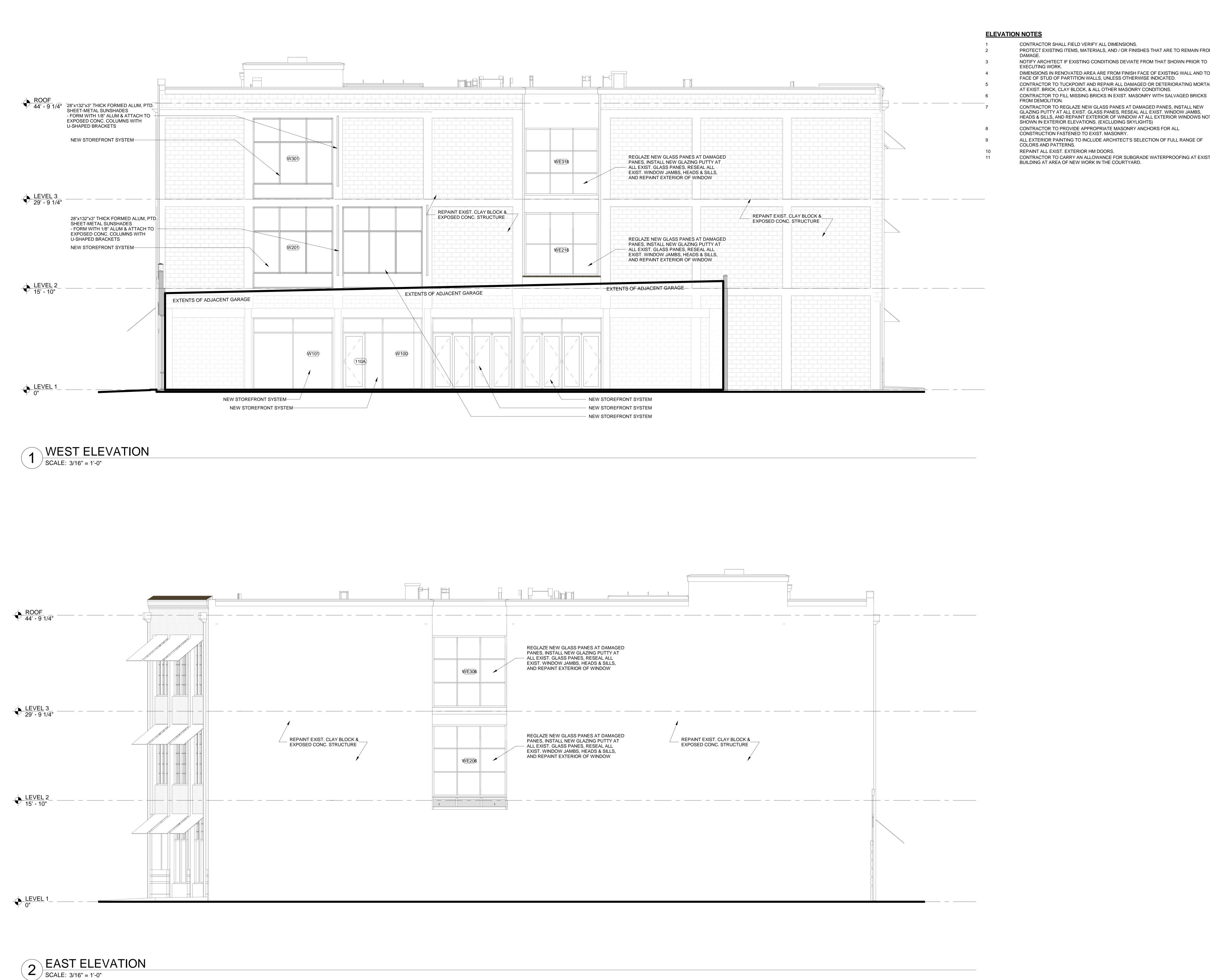
Lake Flato -**Live the Dream**

311 3rd Street

Project Status

DEMOLITION FLOOR PLAN - ROOF -MECHANICAL





ELEVATION NOTES

CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

PROTECT EXISTING ITEMS, MATERIALS, AND / OR FINISHES THAT ARE TO REMAIN FROM NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTING WORK.

DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF PARTITION WALLS, UNLESS OTHERWISE INDICATED. CONTRACTOR TO TUCKPOINT AND REPAIR ALL DAMAGED OR DETERIORATING MORTAR AT EXIST. BRICK, CLAY BLOCK, & ALL OTHER MASONRY CONDITIONS.

FROM DEMOLITION. CONTRACTOR TO REGLAZE NEW GLASS PANES AT DAMAGED PANES, INSTALL NEW GLAZING PUTTY AT ALL EXIST. GLASS PANES, RESEAL ALL EXIST. WINDOW JAMBS,

HEADS & SILLS, AND REPAINT EXTERIOR OF WINDOW AT ALL EXTERIOR WINDOWS NOT SHOWN IN EXTERIOR ELEVATIONS. (EXCLUDING SKYLIGHTS)

CONTRACTOR TO PROVIDE APPROPRIATE MASONRY ANCHORS FOR ALL CONSTRUCTION FASTENED TO EXIST. MASONRY.

ALL EXTERIOR PAINTING TO INCLUDE ARCHITECT'S SELECTION OF FULL RANGE OF COLORS AND PATTERNS.

REPAINT ALL EXIST. EXTERIOR HM DOORS. CONTRACTOR TO CARRY AN ALLOWANCE FOR SUBGRADE WATERPROOFING AT EXIST. BUILDING AT AREA OF NEW WORK IN THE COURTYARD.

> NOT FOR REGULATORY APPROVAL, PERMITTING CONSTRUCTION

ARCHITECTS INC.

311 3RD RENO

311 3RD STREET SAN ANTONIO, TX 78205

LJF PROJ. NO. 20158TX PROJ. ARCHITECT GP DRAWN BY: Author

REVISIONS NO. DATE DESCRIPTION

SCHEMATIC DESIGN V2

EXTERIOR ELEVATIONS

ELECTRICAL SYMBOL LIST

breviati	ions	Connections	/ Equipment
AFC		Connections	7 Equipment
AFC	ABOVE FINISHED CEILING ABOVE FINISHED FLOOR	[orn]	COMBINATION ADJUSTABLE FREQUENCY DRIVE WITH SAFETY
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	VED	DISCONNECT SWITCH
AWG	AMERICAN WIRE GAUGE		
AWG	AMPERES, AMBER	571	COMPINIATION MOTOR OTARTER/ELIGER RICCOMMENT OM/ITOLI
AHJ	AUTHORITY HAVING JURISDICTION	⊠h	COMBINATION MOTOR STARTER/FUSED DISCONNECT SWITCH
AIC	AVAILABLE INTERRUPTING CAPACITY		
BAS	BUILDING AUTOMATION SYSTEM	-	
CLG	CEILING	F	HEAVY DUTY FUSED DISCONNECT SWITCH
C	CONDUIT, CLOSE, CONTROL		
COORD	COORDINATE	1,0.1	
CU	COPPER	Ø	MOTOR CONNECTION
(X)	DEMOLISH		
(^) DTL	DETAIL	dian's	
DIM	DIMENSION		NON-FUSED DISCONNECT SWITCH
DIV	DIVISION		
		145-4	
DWG	DRAWING	Ţ	TRANSFORMER
EA	EACH		
EL	ELEVATION		
EM	EMERGENCY LIGHT	M	UTILITY METER BASE
EF (E)	EXHAUST FAN		
(E)	EXISTING		
FA	FIRE ALARM	0	CEILING MOUNTED JUNCTION BOX
FT	FOOT, FEET	· ·	CEILING MODIVIED CONCINCTION BOX
G, GND	GROUND		
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	ETT.	ELOOP MOUNTED HINGTION DOV
GFI	GROUND FAULT INTERRUPTER	J	FLOOR MOUNTED JUNCTION BOX
HT	HEIGHT		
ID	IDENTIFICATION	0	
IN	INCH, INCHES	$\underline{\Phi}$	WALL-MOUNTED JUNCTION BOX
IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS		
KVA	KILOVOLT AMPERES	General	
KW	KILOWATT		
LED	LIGHT EMITTING DIODE	(x)	DETAIL NUMBER AND SHEET LOCATION
LFMC	LIQUIDTIGHT FLEXIBLE METAL CONDUIT	(x)	DETAIL NOMBLICAND STILLT ESSATISM
LV	LOW VOLTAGE		
MSB	MAIN SWITCHBOARD	(xx-x)	EQUIPMENT IDENTIFICATION
MOCP	MAXIMUM OVERCURRENT PROTECTION	LOCATION	EQUIPMENT IDENTIFICATION
MIN	MINIMUM	LOCATION	
MCA	MINIMUM CIRCUIT AMPS		
MCC	MOTOR CONTROL CENTER	(1)	KEYED NOTE
NEC	NATIONAL ELECTRIC CODE		
NESC	NATIONAL ELECTRIC SAFETY CODE		
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION	—X—X—	DEMOLISH
N	NEUTRAL		
N/A	NOT APPLICABLE		
N.I.C.	NOT IN CONTRACT	_	EXISTING WORK
NTS	NOT TO SCALE		
OFCI			
PNL	OWNER FURNISHED, CONTRACTOR INSTALLED PANEL		NEW WORK
	PANEL PHASE		
PH PVC	POLY-VINYL-CHLORIDE	Lighting	
		<u>g</u>	
PWR	POWER	-	EXIT SIGN CEILING MOUNTED, ARROW(S) INDICATES DIRECTION
QTY	QUANTITY	8	SHOWN
(R)	RELOCATE		
RFI	REQUEST FOR INFORMATION		EXIT SIGN WALL MOUNTED, ARROW(S) INDICATES DIRECTION IF
REQD	REQUIRED	፟	SHOWN
RM	ROOM	-	
SHT	SHEET		
STD	STANDARD		RECESSED 1' X 4' LUMINAIRE
SPD	SURGE PROTECTION DEVICE		
SWBD	SWITCHBOARD		
TBD	TO BE DETERMINED		RECESSED LUMINAIRE
XFMR	TRANSFORMER	154	-
TYP	TYPICAL		
UG	UNDERGROUND		SUDENCE OF DENDANT MOUNTED LUMINARDE
UL	UNDERWRITERS LABORATORIES	0	SURFACE OR PENDANT MOUNTED LUMINAIRE
UPS	UNINTERRUPTIBLE POWER SUPPLY		
UON	UNLESS OTHERWISE NOTED		
V	VOLTS, VOLTAGE		SURFACE OR PENDANT MOUNTED STRIPLIGHT
	·		
WP W/	WEATHERPROOF WITH		
	VVIID		WALL MOUNTED 6" WIDE LUMINAIRE

오	WALL MOUNTED LUMINAIRE
<u>Miscellaneou</u>	S
#10 	BRANCH CIRCUIT WIRING. ARROW INDICATES HOME RUN TO PANEL WITH CIRCUITS AS NOTED. WIRE SIZE IS #12 AWG MINIMU UNLESS NOTED OTHERWISE. SHORT TICK MARKS INDICATE PHAT CONDUCTORS. LONG TICK MARKS INDICATE NEUTRAL CONDUCTORS. A SINGLE CURVED TICK MARK INDICATES INSULATED GREEN GROUND CONDUCTOR. SECOND CURVED TICK MARK INDICATES "ISOLATED GROUND" (GREEN INSULATION WITH YELLOW STRIPE) CONDUCTOR.
_	BRANCH PANEL
<u> </u>	CIRCUIT BREAKER
***	DRY TYPE TRANSFORMER
4	FLUSH WALL MOUNTED BRANCH PANEL
GB	GROUND BAR
	MAIN DISTRIBUTION PANEL / SUB DISTRIBUTION PANEL
€ (M)	METER WITH CONNECTION
Raceways	
РВ	PULL BOX
	CONDUIT CONCEALED IN WALL OR CEILING SPACE
; 5 5 5 5 5 5	CONDUIT ROUTED BELOW FLOOR / GRADE
	CONDUIT ELLED DOWN
o	CONDUIT ELLED UP
\longrightarrow	CONDUIT/WIRING CONTINUATION
	CONDUIT/WIRING STUBBED OUT WITH END CAP OR INSULATED PLASTIC BUSHING
~~~~~	FLEXIBLE CONDUIT
Switches and	l Receptacles
	DUPLEX RECEPTACLE (MULTIPLE LETTERS INDICATE MULTIPLE OPTIONS)  A = ABOVE COUNTER

L = ISOLATED GROUND

S = SPLIT WIRED

U = USB PORT(S)

K = CHILD RESISTANT COVER

P = PENDANT MOUNTED WITH CORD GRIPS. VERIFY PENDANT

W = WEATHERPROOF CONTINUOUS USE COVER, GFCI PROTECTED,

R1 = HALF SWITCHED BY OCCUPANCY SENSOR RELAY

R2 = FULLY SWITCHED BY OCCUPANCY SENSOR RELAY

T = TAMPER RESISTANT SHUTTERED RECEPTACLE

WITH WEATHER-RESISTANT RECEPTACLE

	0	DUPLEX RECEPTACLE, FLUSH FLOOR
OME RUN TO 12 AWG MINIMUM	<b>•</b>	DOUBLE DUPLEX RECEPTACLE, FLUSH FLOOR
S INDICATE PHASE TRAL DICATES	<b>#</b>	DOUBLE DUPLEX RECEPTACLE. SEE LETTER CODE LIST AT DUPLEX RECEPTACLE FOR OPTIONS
ND CURVED TICK NSULATION WITH	0	SPECIAL PURPOSE RECEPTACLE. LETTER CODE DENOTES RECEPTACLE CONFIGURATION LX-XXR = NEMA CONFIGURATION TWIST-LOCK RECEPTACLE X-XXR = NEMA CONFIGURATION STRAIGHT BLADE RECEPTACLE P = PENDANT MOUNT WITH CORD GRIPS. VERIFY PENDANT LENGTH X = COORDINATE RECEPTACLE CONFIGURATION WITH EQUIPMENT BEING SUPPLIED
	os	CEILING MOUNTED OCCUPANCY SENSOR P = PASSIVE INFRARED D = DUAL TECHNOLOGY U = ULTRASONIC, 360 DEG RANGE H = ULTRASONIC, HALLWAY PATTERN v (LOWERCASE) = VACANCY CONTROL DESIGNATION
	os-H	WALL MOUNTED OCCUPANCY SENSOR P = PASSIVE INFRARED D = DUAL TECHNOLOGY v (LOWERCASE) = VACANCY CONTROL DESIGNATION
PANEL	ssH	WALL MOUNTED OCCUPANCY SENSOR/SWITCH S = PASSIVE INFRARED WITH INTEGRAL "OFF" SWITCH T = DUAL RELAY PASSIVE INFRARED WITH TWO INTEGRAL "OFF" SWITCHES D = PASSIVE INFRARED WITH INTEGRAL DIMMER TO OFF. v (LOWERCASE) = VACANCY CONTROL DESIGNATION
	<del>mumma</del>	MULTIPLE CHANNEL SURFACE METAL RECEPTACLE RACEWAY WITH LOW VOLTAGE DIVIDERS, LENGTH AND RECEPTACLES AS INDICATED
	0	PHOTO ELECTRIC SWITCH D = CONTINUOUS DIMMING PHOTOCELL S = SWITCHED PHOTOCELL
CE	\$	SINGLE POLE SWITCH 2 = DOUBLE POLE SWITCH 3 = THREE-WAY SWITCH 4 = FOUR-WAY SWITCH a THRU z (LOWERCASE) = LUMINAIRE CONTROL DESIGNATION D = DIMMER F = FAN SPEED CONTROL K = KEY OPERATED SWITCH L = LIGHTED HANDLE M = MANUAL MOTOR STARTER WITH THERMAL OVERLOAD P = SWITCH WITH PILOT LIGHT S = SENTRY SWITCH T = INTERVAL TIMER W = WEATHERPROOF SWITCH

V = LOW VOLTAGE SWITCH

# **SHEET INDEX**

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ED104 DEMOLITION FLOOR PLAN - ROOF - ELECTRICAL

E101 SITE PLAN - ELECTRICAL

E200 REFLECTED CEILING PLAN - BASEMENT - LIGHTING E201 REFLECTED CEILING PLAN - 1ST FLOOR - LIGHTING E202 REFLECTED CEILING PLAN - 2ND FLOOR - LIGHTING E203 REFLECTED CEILING PLAN - 3RD FLOOR - LIGHTING

E300 FLOOR PLAN - BASEMENT - POWER E301 FLOOR PLAN - 1ST FLOOR - POWER E302 FLOOR PLAN - 2ND FLOOR - POWER

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E501 SINGLE LINE DIAGRAMS - ELECTRICAL E502 SINGLE LINE DIAGRAMS - ELECTRICAL E503 SINGLE LINE DIAGRAMS - ELECTRICAL

E504 SINGLE LINE DIAGRAMS - ELECTRICAL

E601 SCHEDULES - ELECTRICAL

**GENERAL ELECTRICAL NOTES** 

A. DO NOT COMMENCE INSTALLATION OF ELECTRICAL SYSTEMS AND EQUIPMENT WITHOUT RELATED SHOP DRAWING APPROVALS.

B. ELECTRICAL CIRCUITS SHALL BE INTERRUPTED ONLY WITH PRIOR WRITTEN CONSENT. SUCH INTERRUPTIONS SHALL BE PRECEDED BY ALL POSSIBLE PREPARATIONS BY THE CONTRACTOR WHICH ARE NECESSARY TO KEEP THE ELECTRICAL CIRCUITS OFF FOR A MINIMUM PERIOD IN AN EXPEDITIOUS MANNER PURSUANT WITH GOOD WORKMANSHIP. THIS INCLUDES CIRCUIT TRACING

TO IDENTIFY THE ELECTRICAL LOAD BEING SERVED AND THE ORIGIN OF THE CIRCUIT. C. COORDINATE WITH OWNER SO THAT WORK CAN BE SCHEDULED NOT TO INTERRUPT OPERATIONS, NORMAL ACTIVITIES, BUILDING ACCESS, ACCESS TO DIFFERENT AREAS, THE OWNER WILL COOPERATE TO THE BEST OF THEIR ABILITY TO ASSIST IN A COORDINATED SCHEDULE, BUT WILL REMAIN THE FINAL AUTHORITY AS TO TIME OF WORK PERMITTED.

D. COORDINATE THE EXACT LOCATION OF EXISTING UTILITIES AND EQUIPMENT PRIOR TO COMMENCEMENT OF WORK. COMPENSATE THE OWNER FOR DAMAGES CAUSED BY THE FAILURE TO LOCATE AND PRESERVE UTILITIES. REPLACE DAMAGED ITEMS WITH NEW MATERIAL TO MATCH

REMOVE EXISTING LUMINAIRES, SWITCHES, RECEPTACLES, AND OTHER ELECTRICAL EQUIPMENT AND DEVICES AND ASSOCIATED WIRING FROM WALLS, CEILINGS, FLOORS, AND OTHER SURFACES SCHEDULED FOR REMODELING, RELOCATION, OR DEMOLITION UNLESS SHOWN AS RETAINED OR RELOCATED ON DRAWINGS.

MAINTAIN ELECTRICAL CONTINUITY OF EXISTING SYSTEMS. REMOVE OR RELOCATE ELECTRICAL BOXES, CONDUIT, WIRING, EQUIPMENT, LUMINAIRES, AND THE LIKE, AS REQUIRED IN REMOVED OR

REMODELED AREAS IN THE EXISTING CONSTRUCTION AFFECTED BY THIS WORK. G. REMOVE AND RESTORE WIRING WHICH SERVES USABLE EXISTING OUTLETS CLEAR OF THE CONSTRUCTION OR DEMOLITION.

H. IF EXISTING JUNCTION BOXES WILL BE MADE INACCESSIBLE. OR IF ABANDONED OUTLETS SERVE AS FEED THROUGH BOXES FOR OTHER EXISTING ELECTRICAL EQUIPMENT WHICH IS BEING RETAINED, PROVIDE NEW CONDUIT AND WIRE TO BYPASS THE ABANDONED OUTLETS.

IF EXISTING CONDUITS PASS THROUGH PARTITIONS OR CEILING WHICH ARE BEING REMOVED OR REMODELED, PROVIDE NEW CONDUIT AND WIRE TO REROUTE CLEAR OF THE CONSTRUCTION OR DEMOLITION AND MAINTAIN SERVICE TO THE EXISTING LOAD.

J. CONCEALED CONDUIT LOCATED IN CONCRETE WALLS OR HARDBOARD CEILING SPACES MAY BE ABANDONED IN PLACE. REMOVE CONDUCTORS AND TAG ABANDONED CONDUITS WITH CORRESPONDING SYSTEM AND TERMINATION POINT. CUT AND CAP ABANDONED CONDUIT. DO NOT EXTEND STUBS ABOVE FINISHED FLOOR.

K. EXTEND CIRCUITING AND DEVICES IN EXISTING WALLS TO BE FURRED OUT.

L. PROVIDE TEMPORARY SUPPORT FOR ELECTRICAL SYSTEMS THAT REMAIN IN PLACE.

M. VERIFY EXACT LOCATION AND NUMBER OF EXISTING ELECTRICAL OUTLETS AND LUMINAIRES IN THE FIELD. LOCATIONS OF ITEMS SHOWN ON DRAWINGS AS EXISTING ARE PARTIALLY BASED ON RECORD AND OTHER DRAWINGS WHICH MAY CONTAIN ERRORS. VERIFY THE ACCURACY OF THE INFORMATION SHOWN PRIOR TO BIDDING AND PROVIDE SUCH LABOR AND MATERIAL AS IS NECESSARY TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS.

N. REMOVE ABANDONED WIRING TO LEAVE SITE CLEAN.

O. PROVIDE BLANK COVER PLATE FOR ABANDONED FLUSH OUTLETS.

P. EXISTING LIGHTING WHICH IS TO REMAIN OR BE RELOCATED IS TO BE RELAMPED, REBALLASTED, AND CLEANED. LEAVE ALL LUMINAIRES IN PROPER WORKING ORDER. REPLACE DAMAGED OR BROKEN LENS AND/OR COMPONENTS.

Q. MAINTAIN ACCESS TO EXISTING ELECTRICAL INSTALLATIONS WHICH REMAIN ACTIVE. MODIFY INSTALLATION OR PROVIDE ACCESS PANEL AS APPROPRIATE.

R. WHERE DRAWINGS INDICATE EXISTING ELECTRICAL EQUIPMENT OR DEVICES TO BE RELOCATED AND/OR REUSED, REFURBISH THEM. THOROUGHLY CLEAN SUCH ITEMS. NOTIFY ARCHITECT OF ANY DEFECTS IN SUCH INSTALLATIONS. REPAIR ANY DAMAGE CAUSED BY DEMOLITION OR CONSTRUCTION PERFORMED UNDER THIS CONTRACT.

S. PROVIDE UPDATED PANEL SCHEDULES AND DIRECTORIES THAT IDENTIFY EXISTING CIRCUITS AND

NUMBER OF SPARE CIRCUITS AVAILABLE UPON COMPLETION OF DEMOLITION WORK. T. OFFER REMOVED LUMINAIRES, WIRING DEVICES, PANELBOARDS AND EQUIPMENT TO THE OWNER. IF OWNER CHOOSES TO RETAIN THESE ITEMS, RETURN SUCH ITEMS TO OWNER. CAREFULLY

REMOVE AND DISPOSE OF ITEMS REJECTED BY OWNER FROM PROJECT SITE AND IN A LEGAL

U. RECONNECT EXISTING LUMINAIRES NOT SHOWN ON DRAWINGS AND AFFECTED DUE TO DEMOLITION TO NEAREST AVAILABLE EXISTING LIGHTING CIRCUIT ABLE TO TAKE THE ADDITIONAL

V. PROVIDE SUITABLE ANCHORAGE AND SUPPORT FOR ELECTRICAL EQUIPMENT IN RATED WALLS, SLABS AND CEILINGS. MOUNT DEVICES AND RACEWAYS IN ACCORDANCE WITH ESTABLISHED CODES AND SPECIFICATIONS.

W. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

X. DRAWINGS AND SPECIFICATIONS COMPLIMENT EACH OTHER. REQUIREMENT BY EITHER INFERS REQUIREMENT BY BOTH.

Y. CONNECT EQUIPMENT AND DEVICES FURNISHED UNDER OTHER DIVISIONS OF THIS CONTRACT, BY OWNER OR BY OTHER CONTRACTS.

AA. PROVIDE SEPARATE EQUIPMENT GROUNDING CONDUCTOR IN 120 VOLT, MULTI-WIRE CIRCUITS.

Z. UNLESS OTHERWISE NOTED, PROVIDE CONCEALED AND FLUSH MOUNTED INSTALLATION OF

DEVICES AND EQUIPMENT IN AREAS.

BB. FOR 120 VOLT, 20 AMP CIRCUITS, WHERE CIRCUIT DISTANCE FROM PANELBOARD TO FARTHEST DEVICE/FIXTURE EXCEEDS 75 FEET, PROVIDE #10 SIZE CONDUCTOR.

CC. RUN ELECTRICAL CONDUIT CONCEALED AND PARALLEL TO BUILDING LINES. VERIFY WITH

DD. RECEPTACLE OUTLETS SHALL COMPLY WITH CEC SECTION 210.7.

EE. LIGHTS, SWITCHES AND CONTROL MECHANISMS SHALL COMPLY WITH CEC SECTION 404.

FF. BRACE ELECTRICAL EQUIPMENT TO RESIST A HORIZONTAL FORCE THAT ACT IN ANY DIRECTION. COMPLY WITH TITLE 24 REQUIREMENTS.

GG. INSTALL COMPLETE SYSTEM OF CONDUCTORS IN RACEWAY SYSTEM THROUGHOUT BUILDING FOR FEEDERS, BRANCH CIRCUITS, ETC.

HH. PROVIDE UNSWITCHED HOT CONDUCTOR TO EMERGENCY BALLAST/DRIVER OF SWITCHED LUMINAIRES TO PREVENT SWITCHOVER TO BATTERY OPERATION WHEN LUMINAIRES ARE SWITCHED TO THE OFF POSITION.

ALL WORK ON SERVICE CONDUCTORS, FEEDERS, AND OTHER SUCH EQUIPMENT SHALL BE DONE ONLY WHEN SUCH CONDUCTORS, FEEDERS, AND EQUIPMENT ARE DE-ENERGIZED. THE CONTRACTOR SHALL HAVE AN "ELECTRICAL SAFETY AND LOCK-OUT/TAG-OUT PROCEDURE" IN

PLACE PRIOR TO COMMENCEMENT OF WORK. JJ. MINIMUM SIZE FOR EXTERIOR BELOW GRADE CONDUIT SHALL BE 1".

KK. OCCUPANCY SENSOR NOTES:

WALL SENSORS

a. SENSOR MUST HAVE CLEAR "VIEW" OF OCCUPANTS. WHERE SENSOR WILL BE BLOCKED, SUBSTITUTE WITH SMALL-ROOM CEILING SENSOR.

2. SEE MANUFACTURER'S SPECIFICATION REGARDING PLACING SENSORS AWAY FROM STRONG AIR-FLOW. INDICATE PRECISE LOCATION OF EACH CEILING SENSOR WHERE DRAWINGS

3. IN INDIVIDUAL ROOMS WITH CEILING SENSORS AND DUAL-LEVEL LIGHTING, ASSUME TWO TOGGLE SWITCH OVERRIDES PER ROOM.

4. PRIOR TO INSTALLATION, RECEIVE FACTORY-TRAINING AND LAYOUT-ASSISTANCE. IF LOCAL

AGENT CHANGES LIGHTING DRAWINGS, CONTACT FACTORY REPRESENTATIVE. LL. PROVIDE DEFERRED APPROVAL AND DESIGN BUILD FOR ANY REQUIRED MODIFICATION TO THE EXISTING FIRE ALARM SYSTEM. SUBMIT COMPLETE DRAWINGS TO THE FIRE MARSHAL FOR

APPROVAL AND ASSUME FULL RESPONSIBILITY OF THE SYSTEM, DEVICE QUANTITY AND LOCATION, WIRING, PROGRAMMING AND CONTROL PANELS. COORDINATE FINAL DEVICE LOCATIONS WITH THE ARCHITECT PRIOR TO ROUGH-IN.

MM. PROVIDE ALL BACKBOXES, FLOOR BOXES, FLOOR TRENCH DUCT, GROUNDING SYSTEM, PULL BOXES, CONDUITS, CABLING, AND CABLE TRAYS PER TELECOM/AV/SECURITY DRAWINGS AND SPECIFICATIONS. REFER TO TELECOM/AV/SECURITY DRAWINGS FOR QUANTITY AND LOCATIONS. PROVIDE ALL APPURTENANCES FOR A COMPLETE INSTALLATION.

NN. ALL AIC RATINGS SHOWN ARE MINIMUM REQUIREMENTS. COORDINATE AND UPGRADE RATINGS FOR ALL DISTRIBUTION EQUIPMENT AS PER SHORT CIRCUIT ANALYSIS RECOMMENTATIONS.

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ARCHITECTS INC.

NOT FOR CONSTRUCTION

311 3rd Street

LJF PROJ. NO. **20158TX** PROJ. ARCHITECT DRAWN BY: Author REVISIONS DESCRIPTION

ELECTRICAL

**Project Status** 

SYMBOL LIST AND

**GENERAL NOTES -**

					LUMINAII	RE SC	HEDULE				
						UL/IP	DRIVER/		INPUT		
TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	RATING	POWER SUPPLY	LIGHT SOURCE	WATTS	MFG/CATALOG #	NOTES
А	BACK OF HOUSE 4FT LED STRIP LIGHT	STEEL	ACRYLIC LENS	SURFACE OR SUSPENDED AT 8 FEET	WHITE	DAMP	0-10V DIMMABLE/120V	LED, 3500K, 3500 LUMENS, 90CRI	30W	LITHONIA ZL1D L48 SMR 3500LM FST UNV 35K 90CRI OR APPROVED EQUIVALENT	
В	LINEAR DIRECT/INDIRECT PENDANTS AT WORKSTATIONS	REFER TO DRAWINGS FOR LENGTHS		SUSPENDED			120V	LED, 90 CRI		PRUDENTIAL BIO2 OR APPROVED EQUIVALENT	
С	RECESSED 4 INCH DOWNLIGHT	STEEL	POLYCARBONATE LENS	RECESSED	TO BE ADVISED BY ARCHITECT	DAMP	0-10V DIMMABLE/120V	LED, 3500K, 2000 LUMENS, 90CRI	23.5W	GOTHAM EVO 35/20-4WR-WD-LSS-120-GZ1 CRI 90 OR APPROVED EQUIVALENT	
D	RECESSED 4 INCH WALL WASHER						120V	LED, 90 CRI		GOTHAM EVO4WW OR EQUIVALENT	
F	WALL MOUNTED VANITY SCONCE AT BATHROOMS						120V	LED, 90 CRI			
G	SUSPENDED SQUARE LED 'CAN' LIGHT MOUNTED BETWEEN WOOD SLAT CEILING				BLACK		120V	LED, 90 CRI		USAI BEVELED MINI CYLINDER OR EQUIVALENT	
L	UNDERCOUNTER LED STRIP	ALUMINUM LENGTHS TO SUIT	LENS	SURFACE MOUNTED AT FRONT OF COUNTER BEHIND LIP	WHITE	DAMP	STANDARD/120V	LED, 3500K, 90 CRI, 527 LUMENS/FT	8.5W/FT	TECH LIGHTING 700UCF X 9 5 W -LED OR APPROVED EQUIVALENT	
P1	KITCHEN PENDANT						120V			KUZCO CHROMA PD1706	
P2	COLLABORATION PENDANT						120V			KUZCO CORTANA PD82724	
P3	LOBBY PENDANT						120V			SONNEMAN STIX OR APPROVED EQUIVALENT	
S1	STRING LIGHTS FOR EXTERIOR COURTYARD	THERMAL PLASTIC	SHATTERPROOF UV STABILIZED POLYCARBONATE CLEAR GLOBE	SUSPENDED @ 14'-0"	TO BE SELECTED BY ARCHITECT	WET	REMOTE LED DRIVER, 0-10V DIMMING/120V	LED - 90 LUMENS / FT, 3000K	0.96W / FT	TIVOLI LIGHITNG "LIGHTSPHERE" #LSL-B-12-V-30-C-12 OR APPROVED EQUIVALENT	1. PROVIDE ALL NECESSARY APPURTENUNCES FOR A COMPLETE SYSTEM. 2. COORDINATE EXACT LOCATION OF REMOTE DRIVE WITH ARCHITECT PRIOR TO PROCUREMENT.
S2	EXTERIOR BOLLARD LIGHT						120V				
S3	TREE UPLIGHTS				TO BE ADVISED BY ARCHITECT	WET LISTED	120V	LED		LUMASCAPE LS782LED OR APPROVED EQUIVALENT	
S4	UPLIGHTS AT COLUMNS				7		120V				
S5	MONOPOINT SURFACE MOUNTED ADJUSTABLE EXTERIOR DOWNLIGHT	EXTRUDED ALUMINUM	UV STABILIZED POLYCARBONATE	SURFACE MOUNTED TO STRUCTURAL BEAM, ALL CONDUIT TO BE CONCEALED ALONG BEAM	TO BE ADVISED BY ARCHITECT	WET	0-10V DIMMABLE/120V	LED, 3500K, 761 LUMENS, 60 DEGREE BEAM, CRI 90	7.5W	ECOSENSE RISE F080 IS MO 35 9 60 X X B OR APPROVED EQUIVALENT	
S6	ASSYMETRICAL EXTERIOR WALL WASHER IN PLANTING						120V				
X1	EXIT SIGN - SINGLE SIDE	DIE CAST ALUMINUM HOUSING	LASER FORMED ACRYLIC WITH MIRROR BACKGROUND	UNIVERSAL	WHITE	DRY	STANDARD/120V	GREEN LED	3.8W MAX	EVENLITE SOVERIGN SOV AC G 1M X X X OR APPROVED EQUIVALENT	PROVIDE DIRECTIONAL ARROWS AS SHOWN ON DRAWINGS
X2	EXIT SIGN - DOUBLE SIDE	DIE CAST ALUMINUM HOUSING	LASER FORMED ACRYLIC WITH MIRROR BACKGROUND	UNIVERSAL	WHITE	DRY	STANDARD/120V	GREEN LED	3.8W MAX	EVENLITE SOVERIGN SOV AC G 2M X X X OR APPROVED EQUIVALENT	PROVIDE DIRECTIONAL ARROWS AS SHOWN ON DRAWINGS

1 THIS LUMINAIRE SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING THE ELECTRICAL SPECIFICATIONS.

DIMMING CONTROL PROTOCOL (0-10VDC, LINE VOLTAGE, DALI, ETC.) COMPATIBLE WITH LIGHTING CONTROL SYSTEM AS SPECIFIED AND SHOWN ON DRAWINGS.

PROVIDE +/- 12 INCH ADJUSTABILITY IN AIRCRAFT CABLE LENGTH WHERE USED.

4 COORDINATE ALL CEILING TYPES WITH LUMINAIRE LOCATIONS PRIOR TO ORDERING LUMINAIRES. COORDINATE INSTALLATION WITH REFLECTED CEILING PLAN.

5 SPECIFIED MANUFACTURERS ARE APPROVED TO SUBMIT BID. INCLUSION DOES NOT RELIEVE MANUFACTURER FROM SUPPLYING PRODUCT AS DESCRIBED.

PROVIDE SUBMITTALS THAT INCLUDE THE LUMINAIRE, LAMP AND DIMMABLE LED DRIVER INFORMATION OF EACH LUMINAIRE, WITH APPLICABLE OPTIONS CLEARLY CHECKED OR HIGHLIGHTED. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECORD.

7 REMOTE DRIVERS: UL LISTED FOR THEIR APPLICATION. DRIVERS MARKED AS UL RECOGNIZED COMPONENT BUT NOT UL LISTED ARE SUBJECT TO REMOVAL AND REPLACEMENT AT NO COST TO OWNER.

8 REFER TO FLOOR PLANS FOR LOCATION, CIRCUITING, AND SWITCH LEG FOR EACH REMOTE DRIVER. LABEL ALL REMOTE DRIVERS TO SHOW LUMINAIRE TYPE IDENTIFICATION AND SOURCE CIRCUIT. PROVIDE WIRING BETWEEN REMOTE DRIVER AND LUMINAIRE AS RECOMMENDED BY MANUFACTURER BETWEEN DRIVER AND FURTHEST LUMINAIRE.

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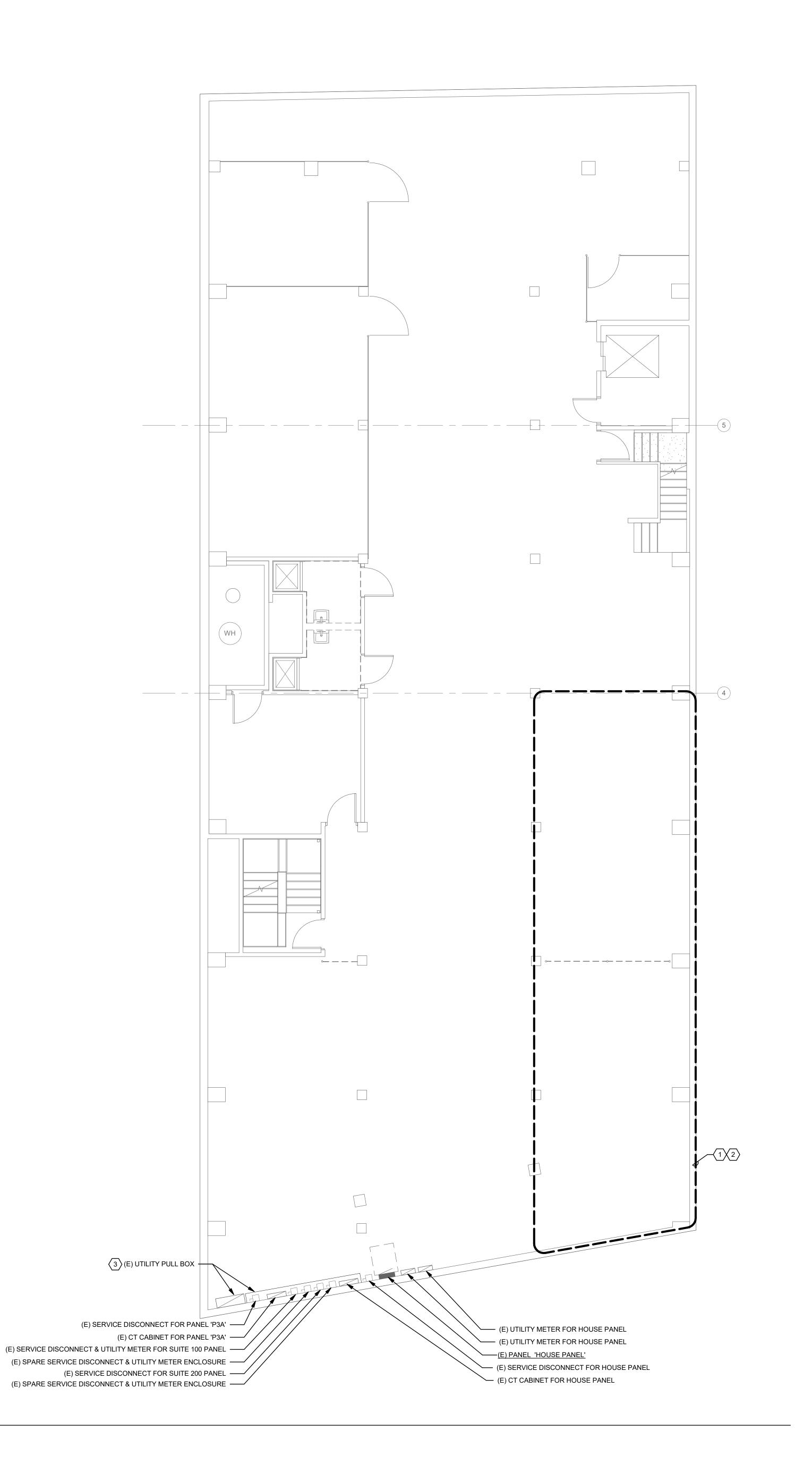
REVISIONS

NO. DATE DESCRIPTION

**Project Status** 

LUMINAIRE SCHEDULE

002



**DEMOLITION FLOOR PLAN - BASEMENT - ELECTRICAL** 

### ○ SHEET KEYNOTES

- DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION, REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
- SEE SINGLE LINE DIAGRAM ON SHEET E501 FOR ADDITIONAL INFORMATION. SEE SHEET E503 FOR ADD ALTERNATE SCOPE.

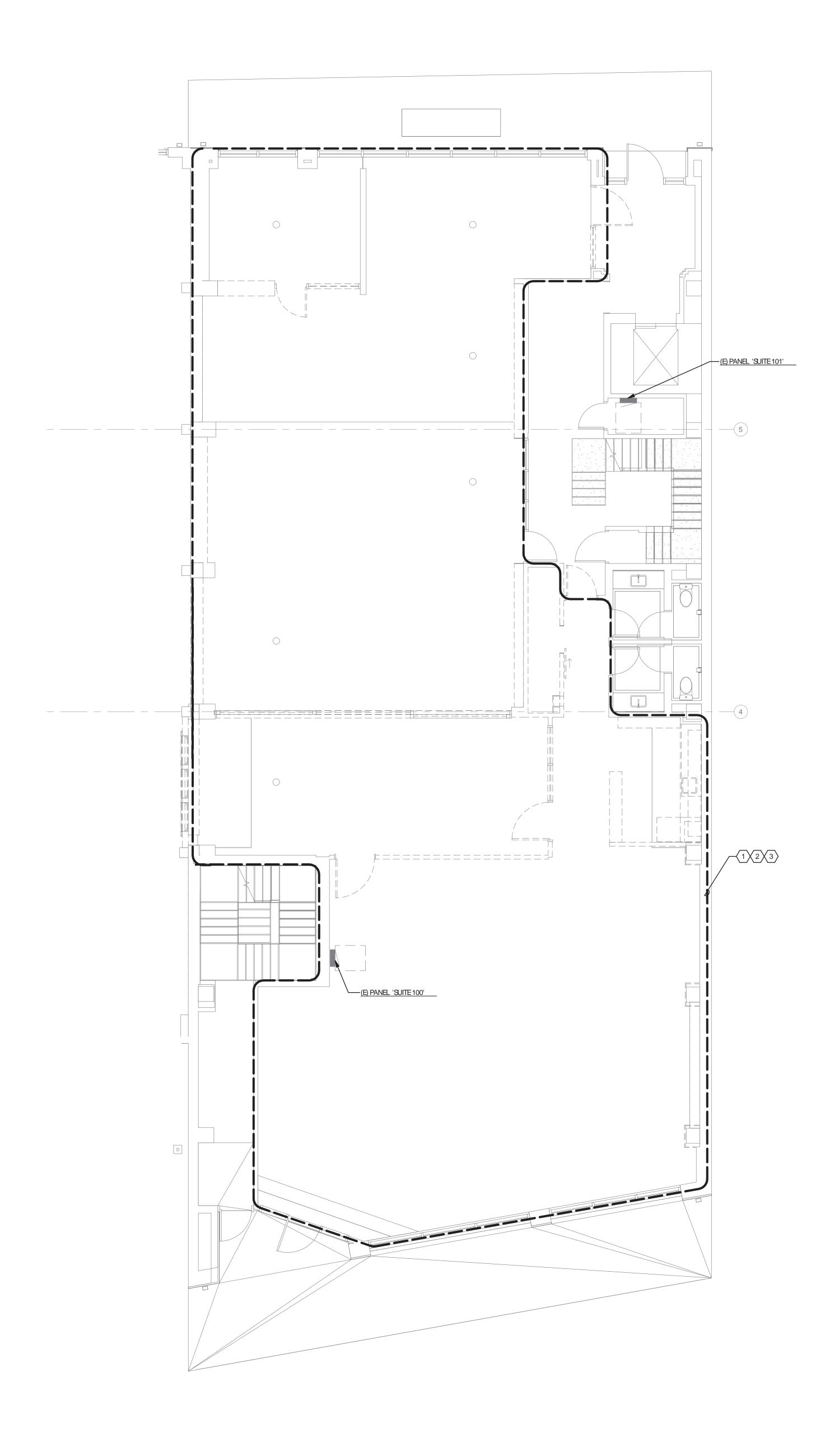
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DEMOLITION FLOOR PLAN - BASEMENT -ELECTRICAL



- DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- DEMOLISH EXISTING RECEPTACLES, JUNCTION BOXES, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- 3. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION, REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
- SEE SINGLE LINE DIAGRAM ON SHEET E501 FOR ADDITIONAL INFORMATION. SEE SHEET E503 FOR ADD ALTERNATE SCOPE.

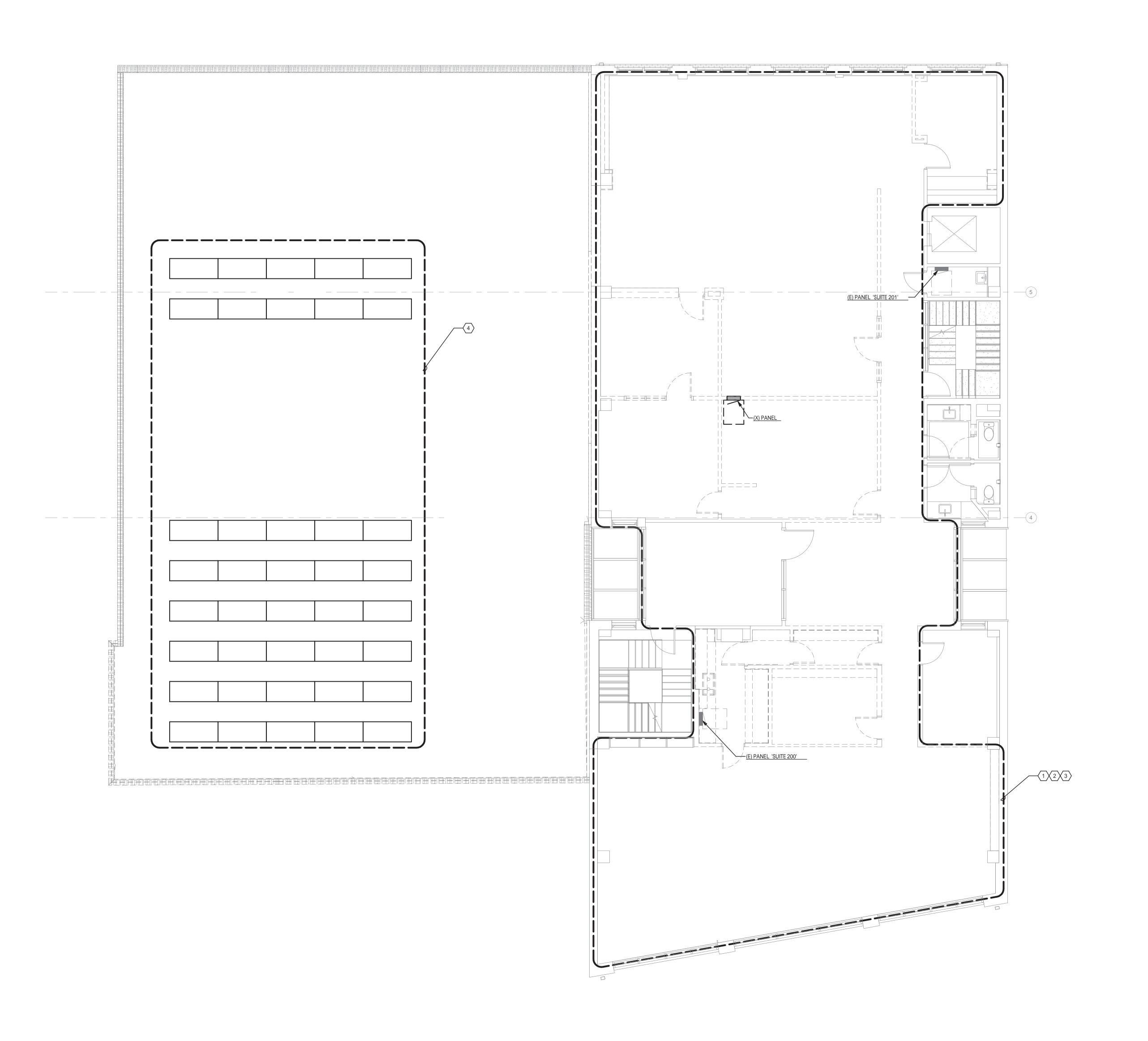
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DEMOLITION FLOOR PLAN - 1ST FLOOR -ELECTRICAL



- DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- DEMOLISH EXISTING RECEPTACLES, JUNCTION BOXES, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- 3. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION, REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
- EXISTING PV SYSTEM AND ASSOCIATED EQUIPMENT AND DEVICES TO BE RELOCATED.

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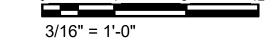
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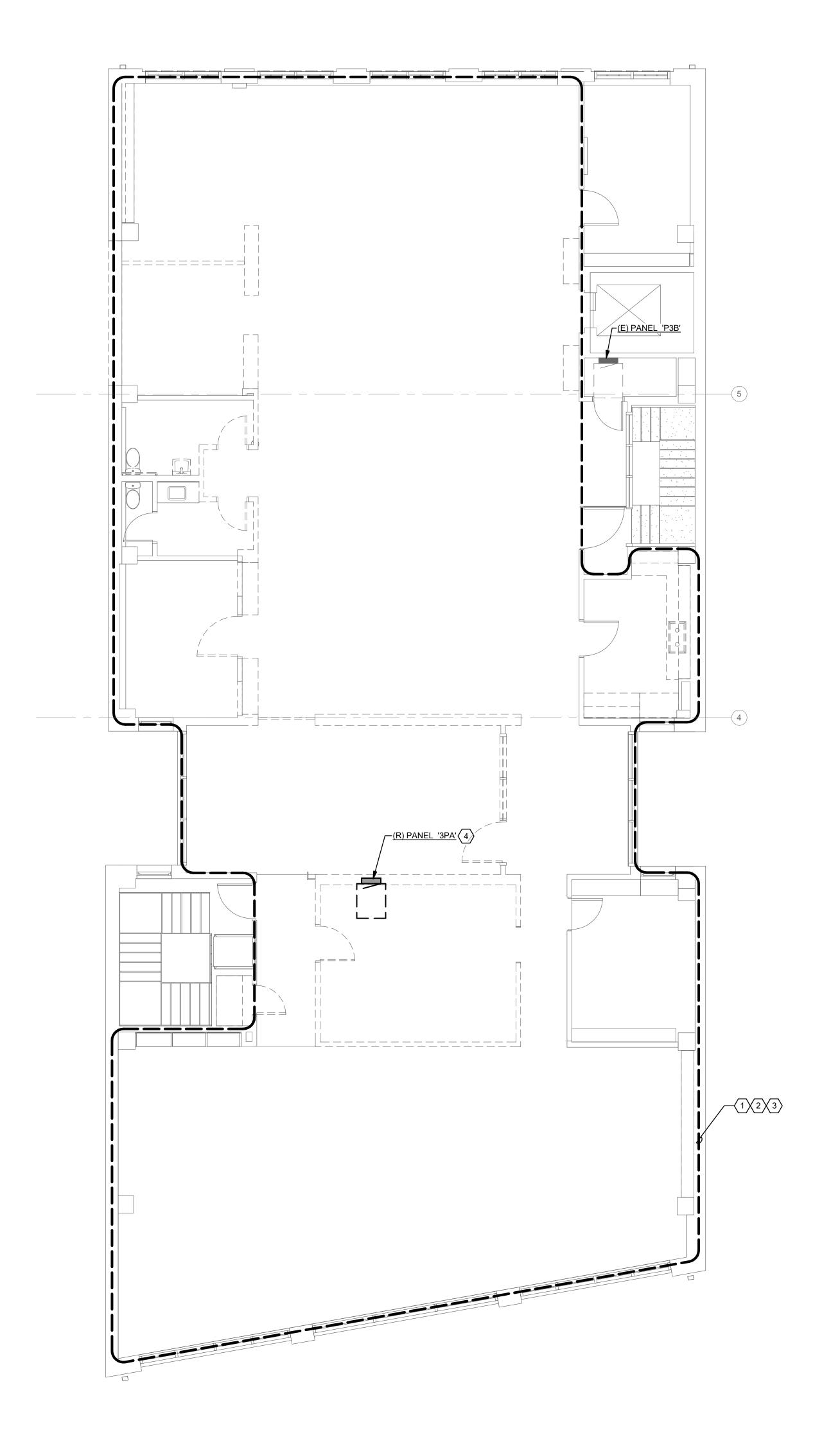
REVISIONS

NO. DATE DESCRIPTION

**Project Status** 

DEMOLITION FLOOR PLAN - 2ND FLOOR -ELECTRICAL





- DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- DEMOLISH EXISTING RECEPTACLES, JUNCTION BOXES, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
- 3. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION, REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
- 4. EXISTING PANEL TO BE RELOCATED.

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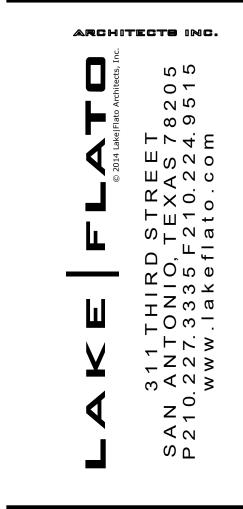
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DEMOLITION FLOOR PLAN - 3RD FLOOR -ELECTRICAL

 DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION, REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.





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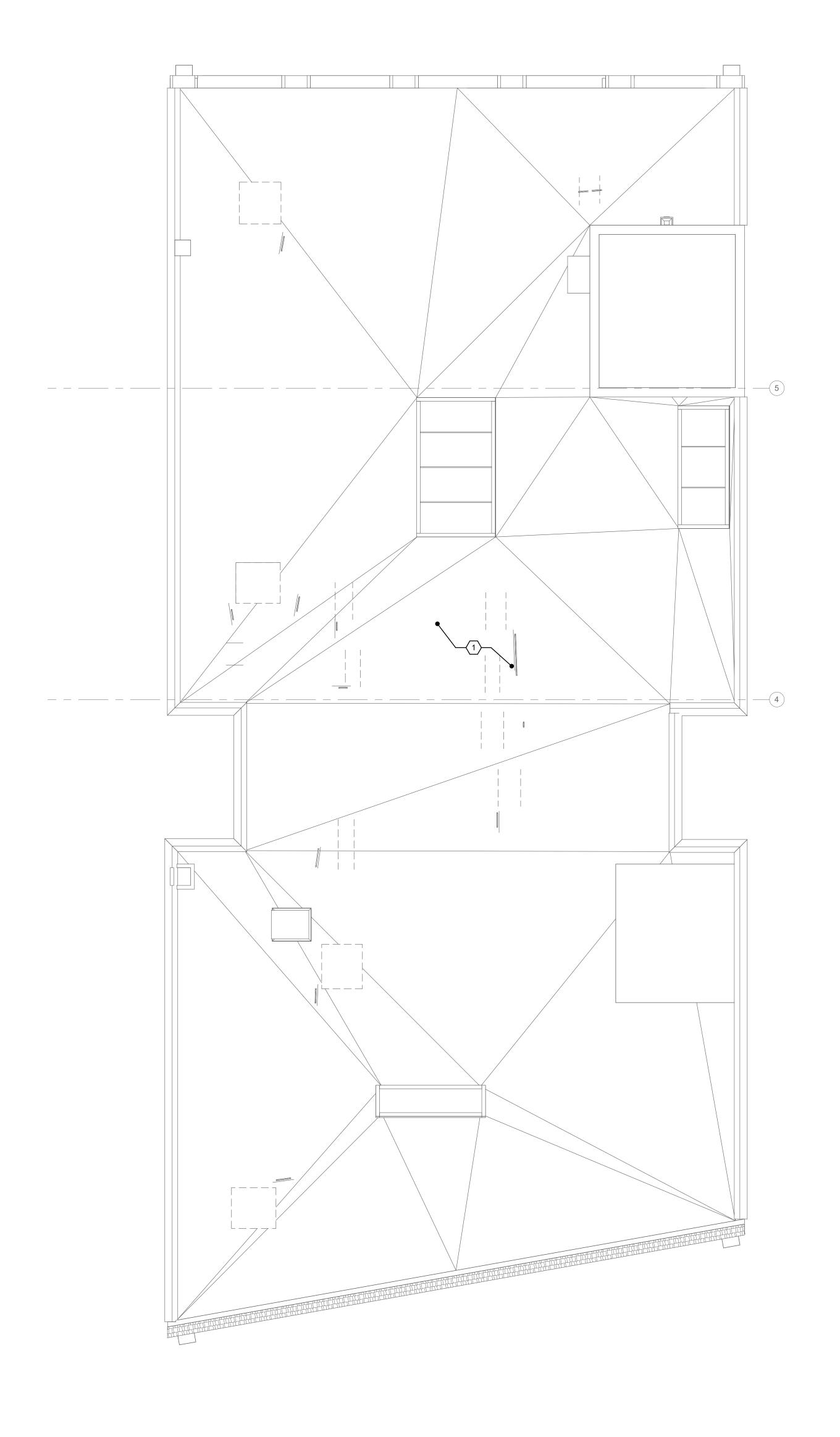
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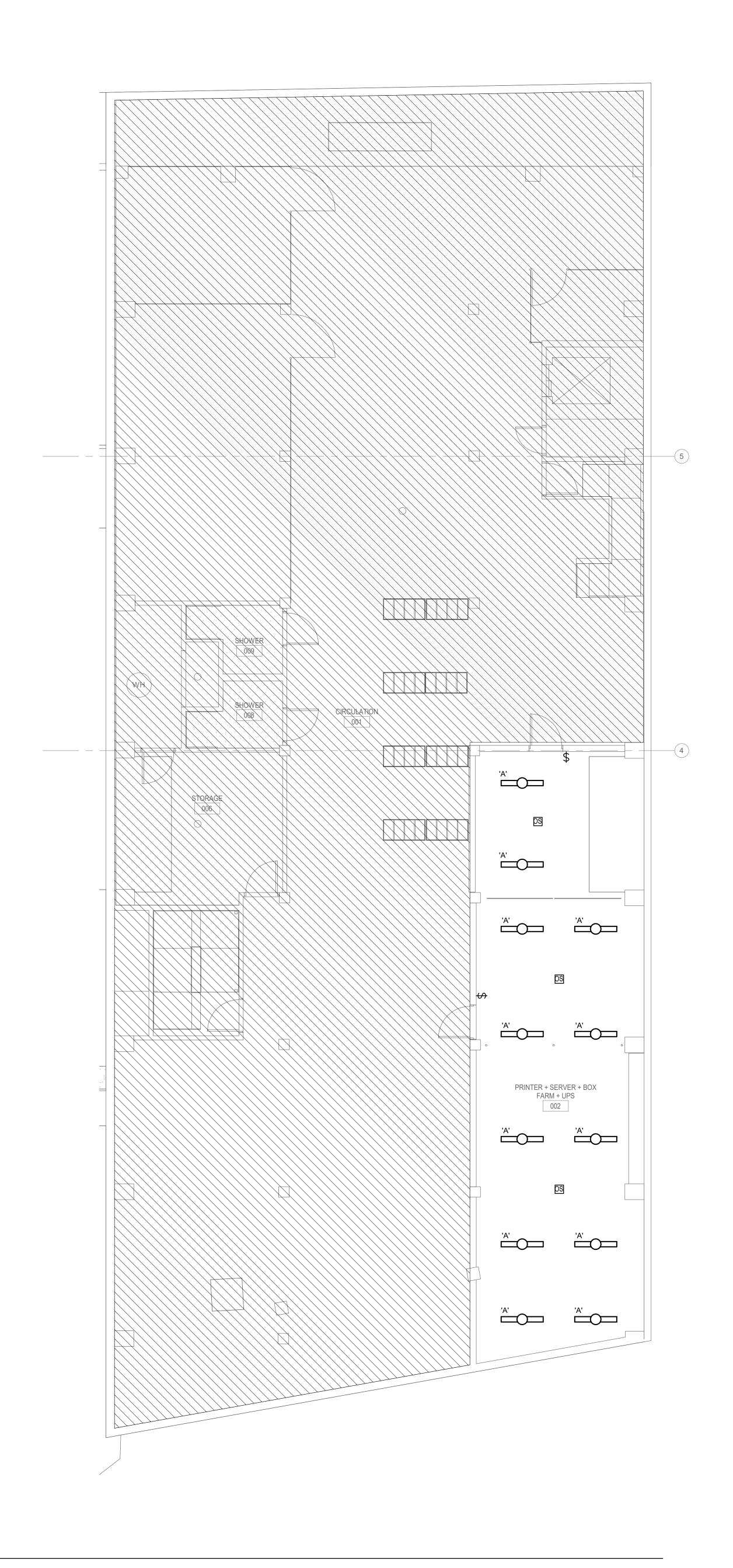
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DEMOLITION FLOOR PLAN - ROOF -ELECTRICAL





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REFLECTED CEILING
PLAN - BASEMENT LIGHTING

E200

1 REFLECTED CEILING PLAN - BASEMENT - LIGHTING



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REFLECTED CEILING PLAN - 1ST FLOOR -LIGHTING

E201

1 REFLECTED CEILING PLAN - 1ST FLOOR - LIGHTING



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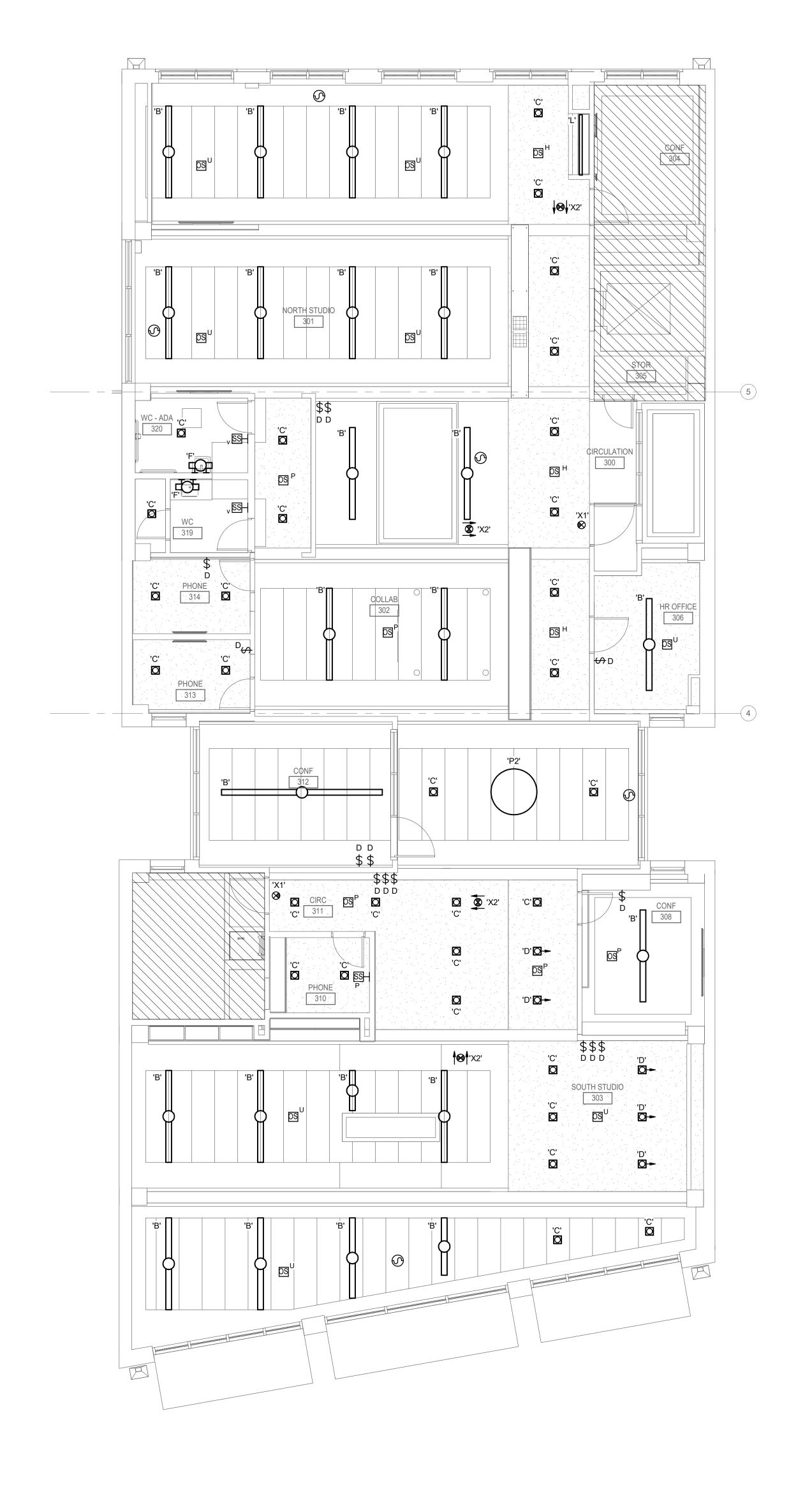
SET ISSUE DATES

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REFLECTED CEILING PLAN - 2ND FLOOR -LIGHTING



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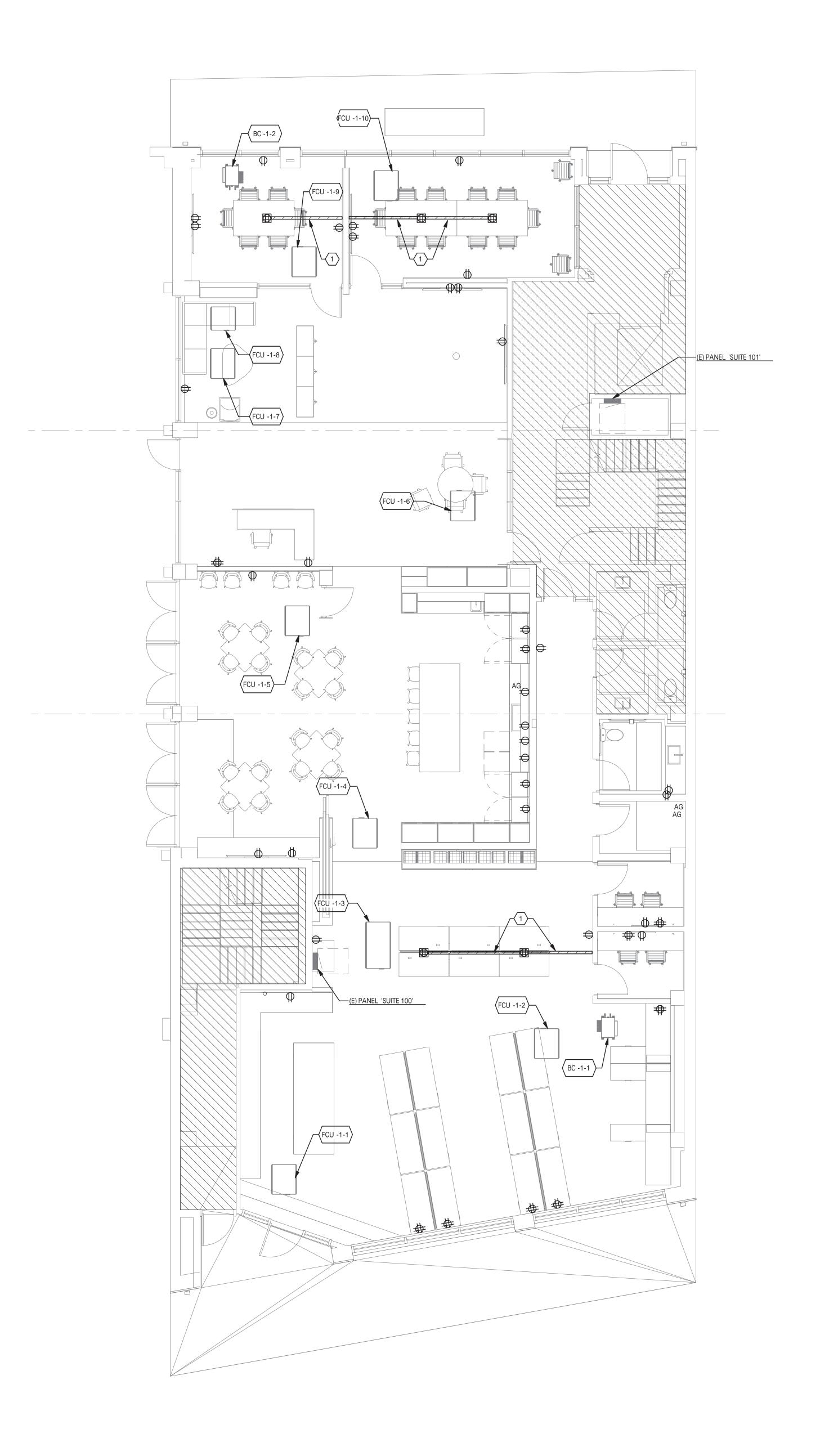
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REFLECTED CEILING

PLAN - 3RD FLOOR -LIGHTING



SHEET KEYNOTES

1. PROVIDE SURFACE MOUNED RACEWAY, CONNECTRAC FLEX SERIES OR EQUAL.

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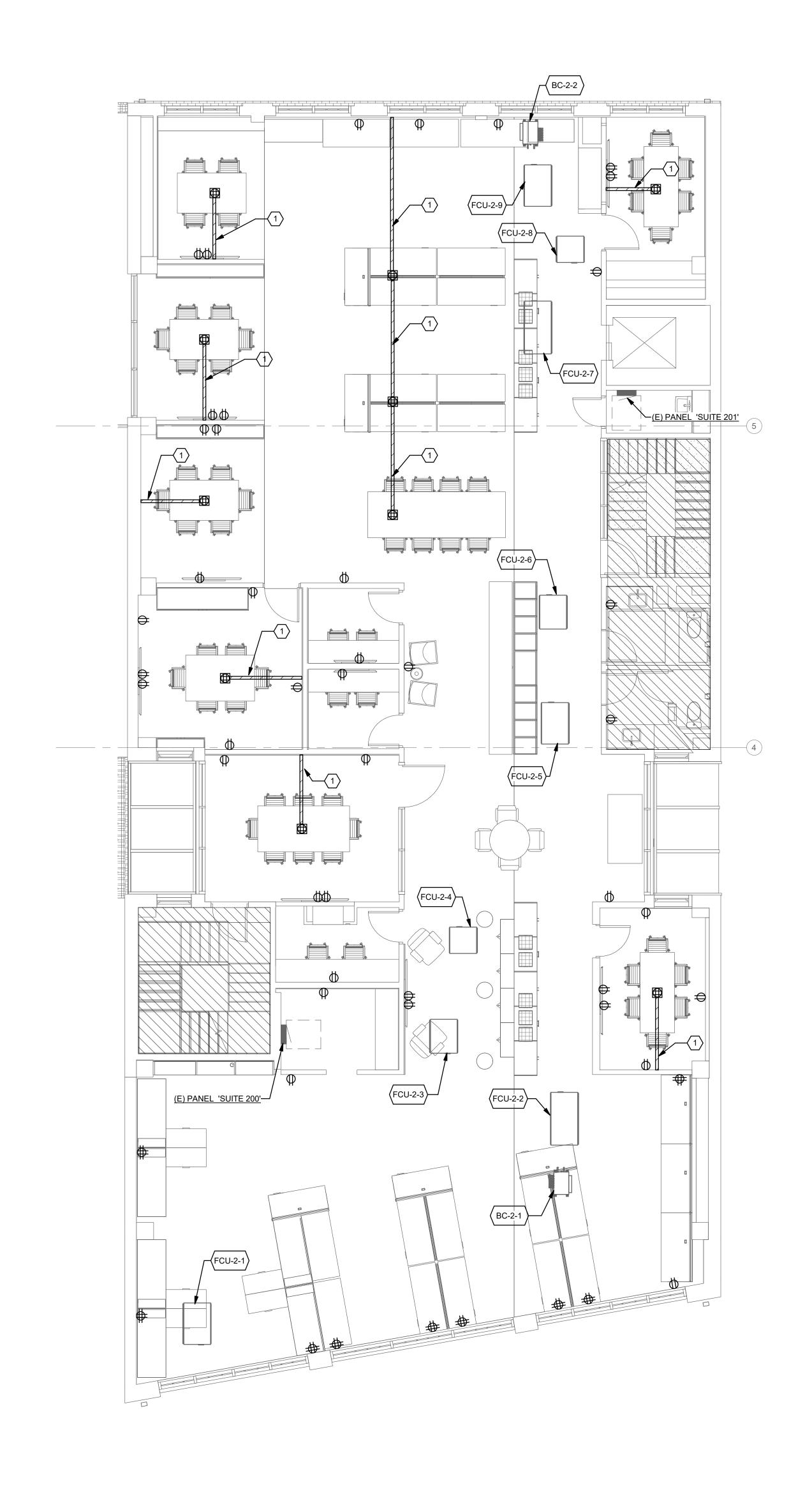
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FLOOR PLAN - 1ST FLOOR - POWER



SHEET KEYNOTES

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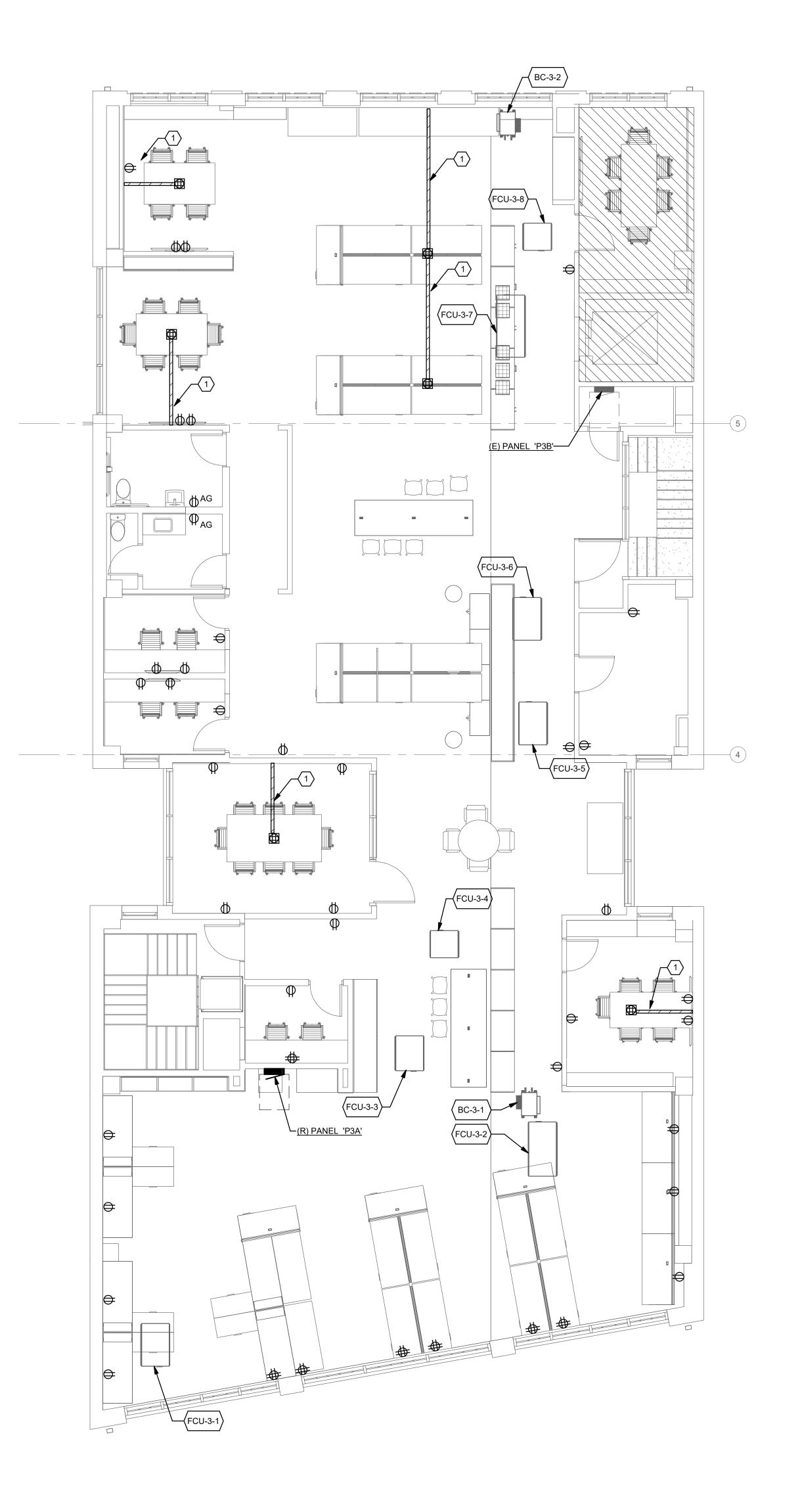
**Project Status** 

FLOOR PLAN - 2ND FLOOR - POWER

E302

1 FLOOR PLAN - 2ND FLOOR - POWER

3/16" = 1'-0"



SHEET KEYNOTES

1. PROVIDE SURFACE MOUNED RACEWAY, CONNECTRAC FLEX SERIES OR EQUAL.

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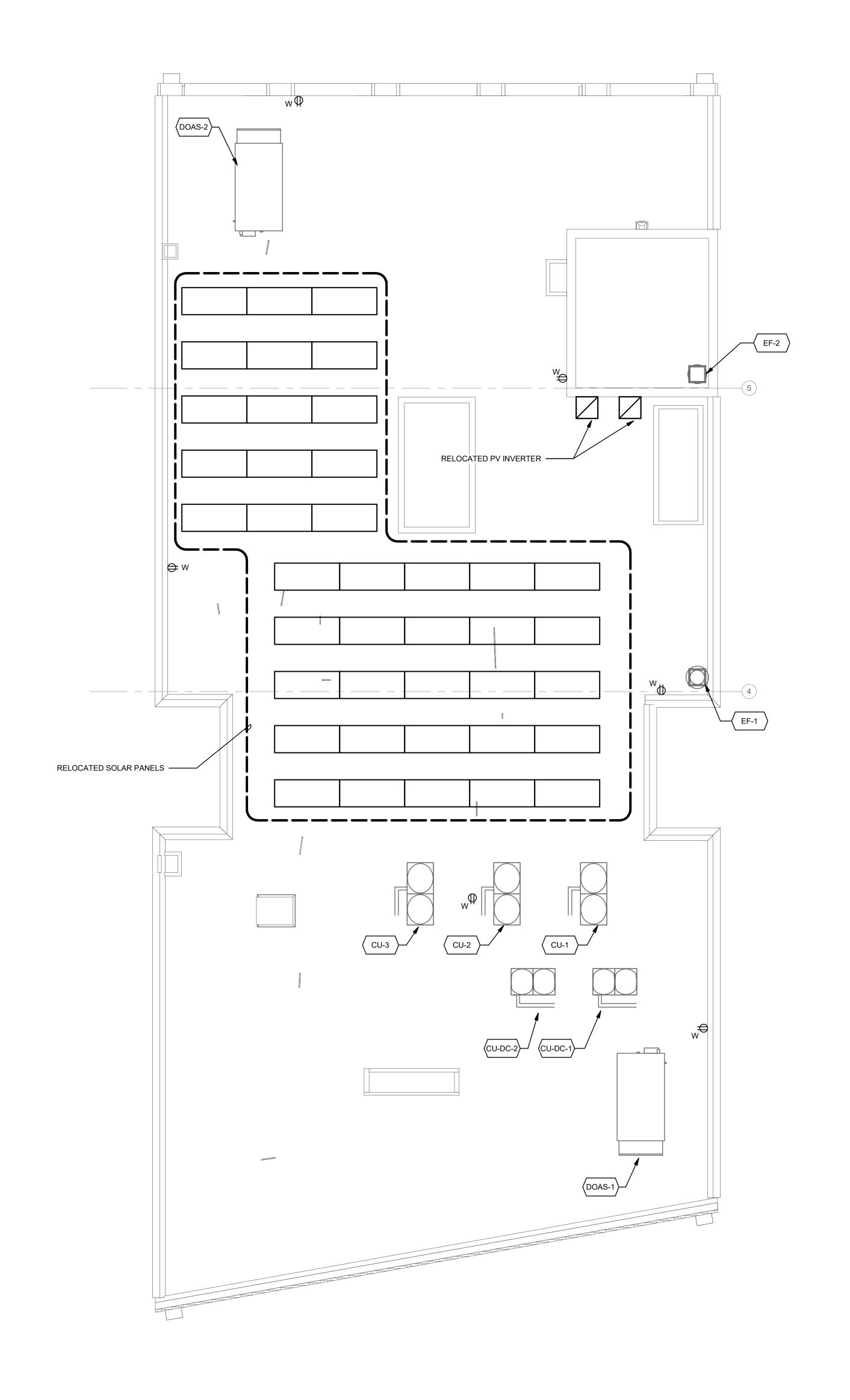
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FLOOR PLAN - 3RD FLOOR - POWER



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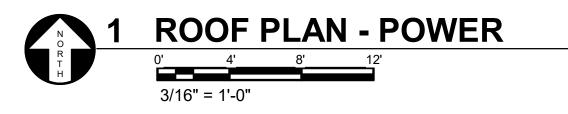
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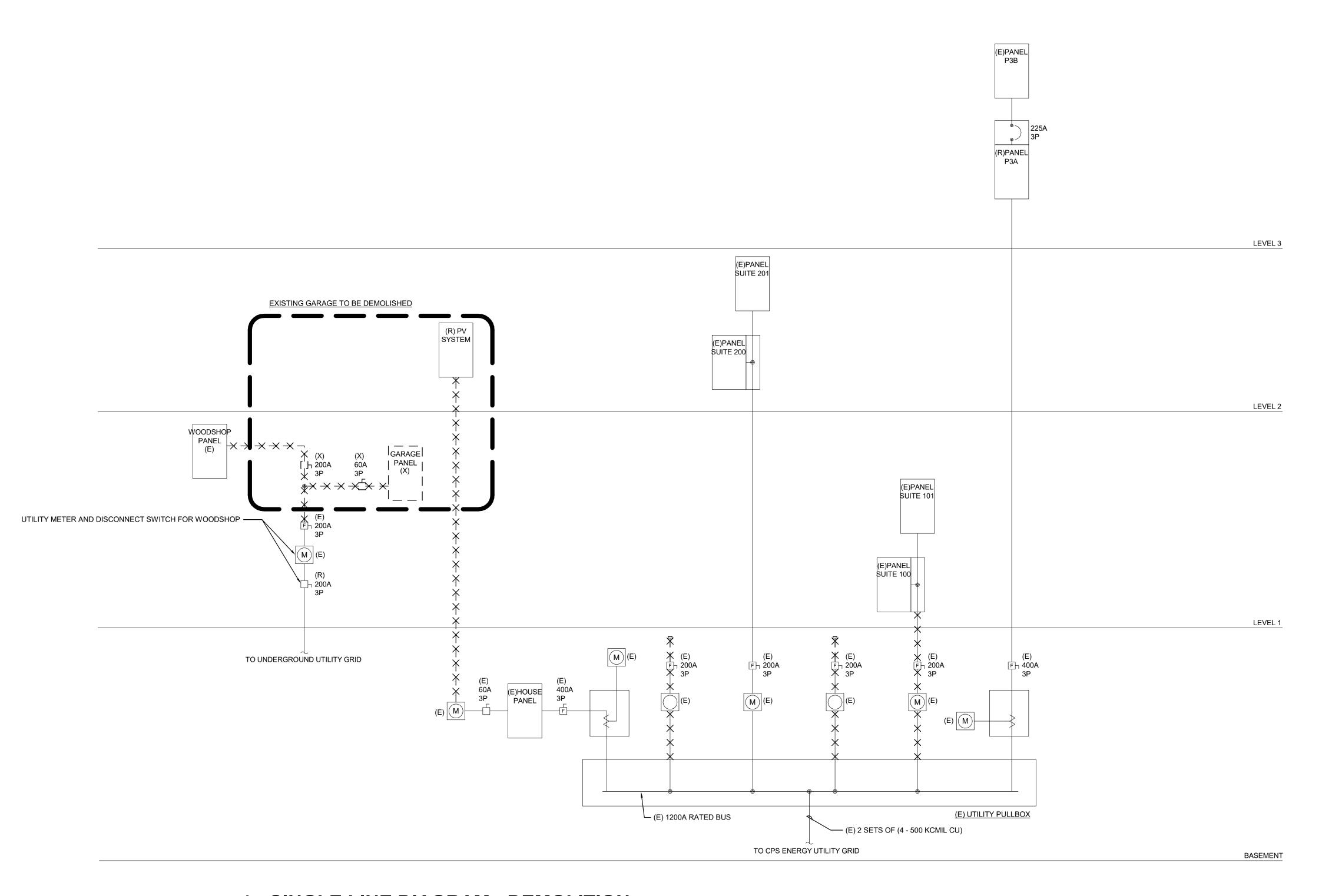
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ROOF PLAN - POWER





1 SINGLE LINE DIAGRAM - DEMOLITION

NO SCALE

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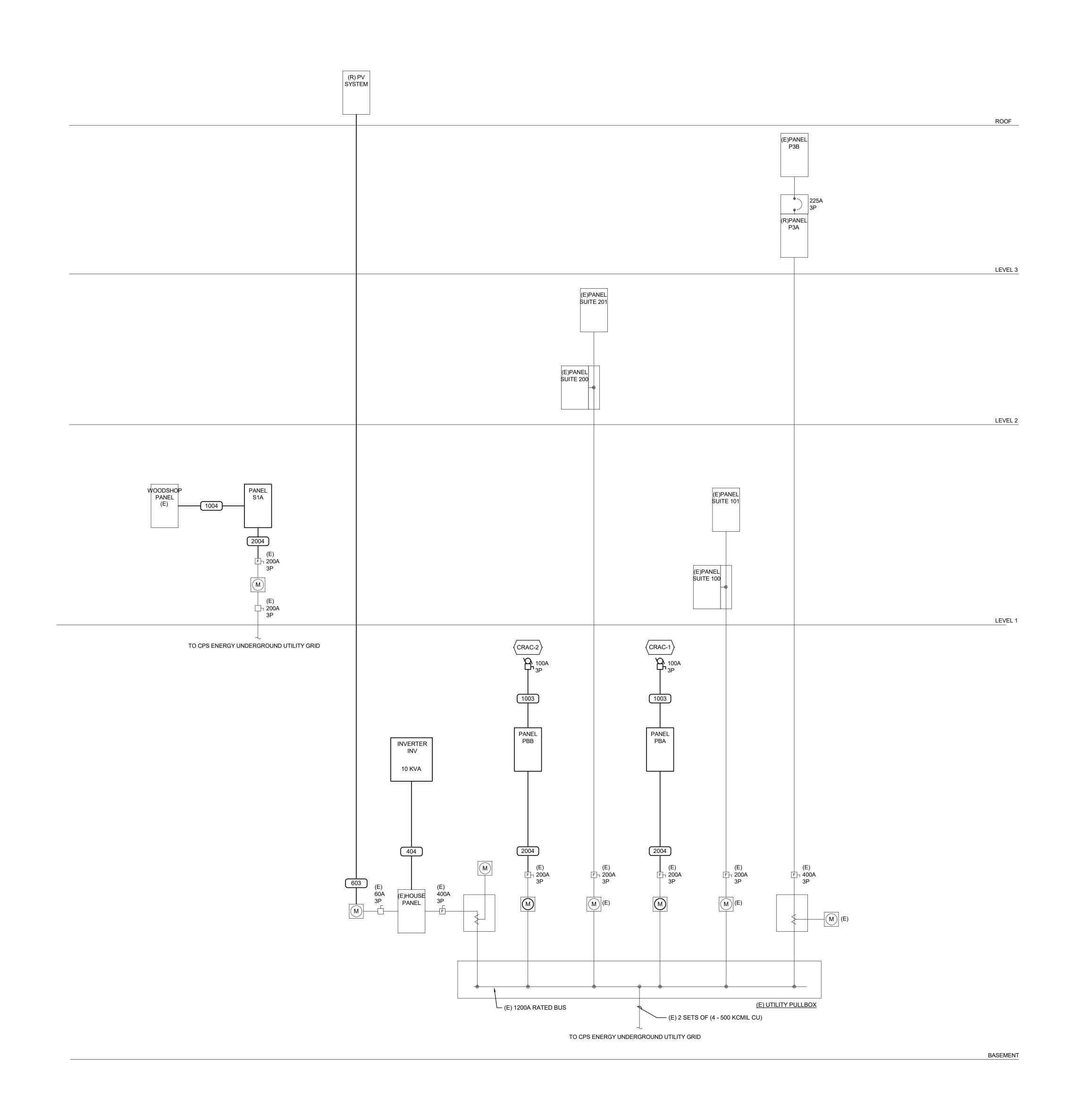
PROJ. ARCHITECT

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NO. DATE DESCRIPTION

**Project Status** 

SINGLE LINE DIAGRAMS -ELECTRICAL



#### FEEDER SCHEDULE

# <u>Key</u>

A, C, S, X

A = Aluminum

C = Conduit only

S = Service secondary

X = Separately derived

2 #8 CU, 1 #10 CU GND., IN 3/4" C.

4 #1 CU, 1 #6 CU GND., IN 1-1/2" C.

4 #3/0 CU, 1 #6 CU GND., IN 2" C.

3004 4 - 350 kcmil CU, 1 #4 CU GND., IN 3" C.

4 - 500 kcmil CU, 1 #2 CU GND., IN 3-1/2" C.

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DESCRIPTION

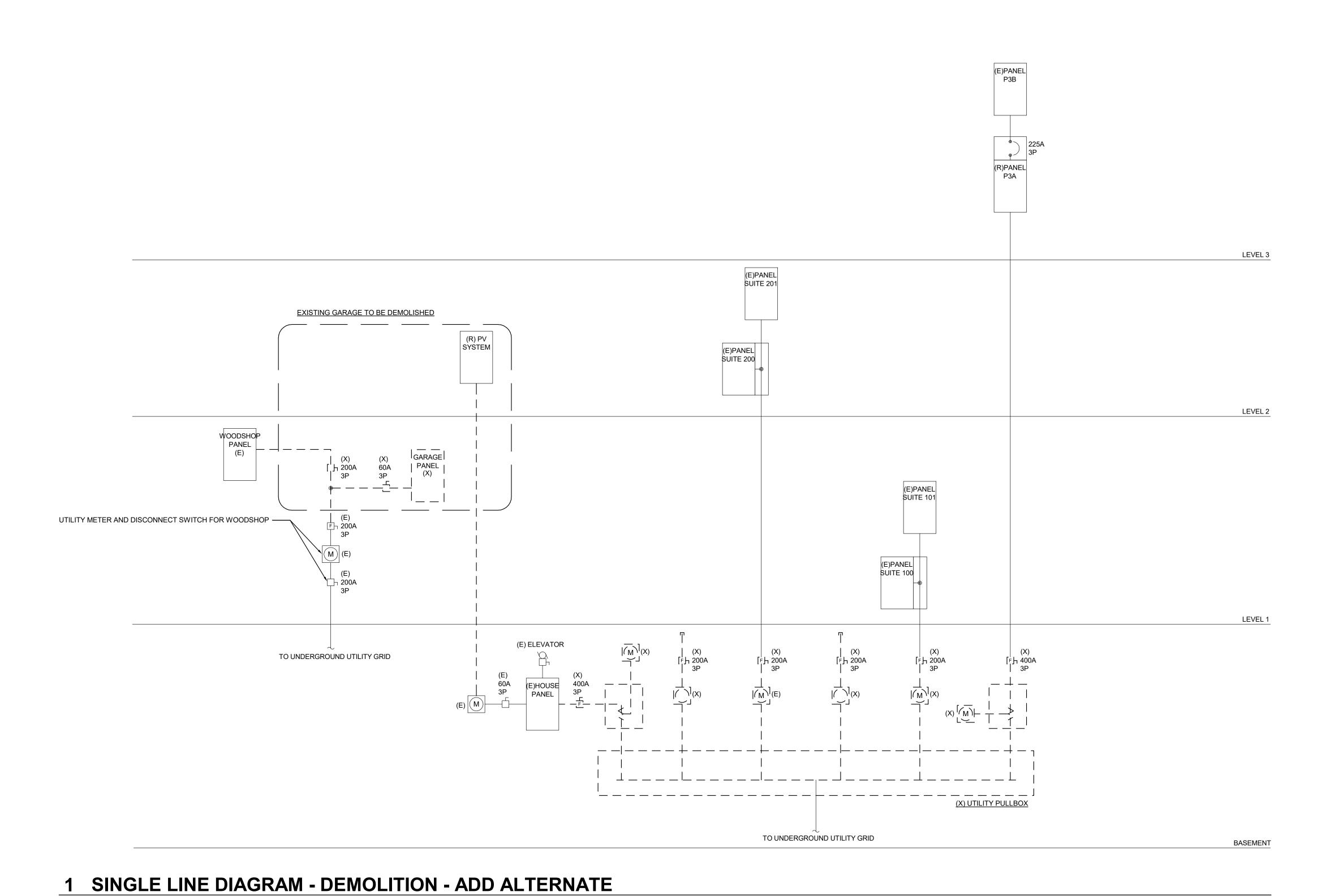
**Project Status** 

SINGLE LINE DIAGRAMS -ELECTRICAL

E502

SINGLE LINE DIAGRAM - NEW

NO SCALE



NO SCALE

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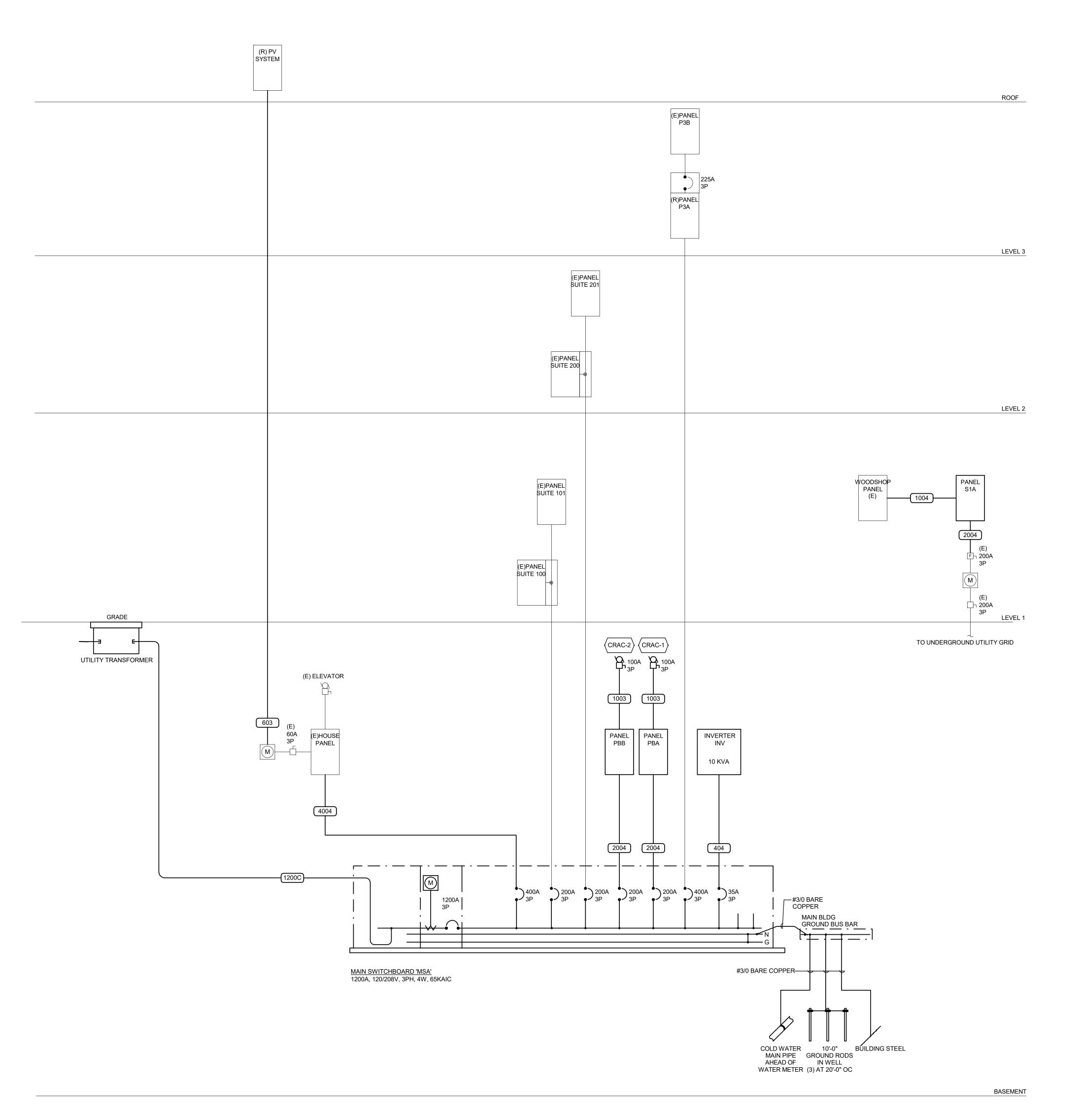
REVISIONS

**Project Status** 

SINGLE LINE DIAGRAMS -ELECTRICAL

**503** 

2/24/2021 6:15:59 PN



#### FEEDER SCHEDULE

## <u>Key</u>

A, C, S, X

A = Aluminum
C = Conduit only
S = Service secondary X = Separately derived

2 #8 CU, 1 #10 CU GND., IN 3/4" C.

4 #2 CU, 1 #8 CU GND., IN 1-1/2" C.

4 #3/0 CU, 1 #6 CU GND., IN 2" C.

4 - 350 kcmil CU, 1 #4 CU GND., IN 3" C.

4 - 500 kcmil CU, 1 #2 CU GND., IN 3-1/2" C.

1200C

4 #8 CU, 1 #10 CU GND., IN 3/4" C.

4 #1 CU, 1 #6 CU GND., IN 1-1/2" C.

2 SETS OF (4 #3/0 CU, 1 #2 CU GND., IN 2" C.)

2 SETS OF (4 - 350 kcmil CU, 1 #1 CU GND., IN 3" C.) (6004)

THREE 4" DIAMETER EMPTY CONDUIT WITH PULL CORD

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SINGLE LINE DIAGRAMS -ELECTRICAL

SINGLE LINE DIAGRAM - NEW - ADD ALTERNATE

NO SCALE

#### PLUMBING SYMBOL LIST NOTE: This is a standard symbol list and not all items listed may be used. <u>General</u> <u>Abbreviations</u> ─────── UNION ABANDON IN PLACE ABOVE FINISHED FLOOR ACCESS PANEL VACUUM RELIEF AMERICANS WITH DISABILITIES ACT DETAIL NUMBER AND SHEET LOCATION AQUASTAT, ARCHITECT, ANCHOR, AMPHERE VENT THROUGH ROOF AREA DRAIN, AIR DRYER ( xx-x ) **EQUIPMENT IDENTIFICATION** ATMOSPHERIC VACUUM BREAKER WCO WALL CLEANOUT BACKFLOW PREVENTER BALANCING VALVE EXTENT OF DEMOLITION BELOW FINISHED FLOOR Piping Systems BTUH BRITISH THERMAL UNITS PER HOUR BLDG BUILDING FIXTURE TAG (LEVEL BELOW FIXTURE) COLD WATER PIPING CENTERLINE CHECK VALVE CIRCULATION PUMP FOOD SERVICE EQUIPMENT / CALCULATION TAG CONDENSATE / INDIRECT DRAIN PIPING CO CLEANOUT CW COLD WATER CD CONDENSATE DRAIN KEYED NOTE FIRE PROTECTION PIPING CONT. CONTINUATION CFH CUBIC FEET PER HOUR DEMOLISH (X) PIPE BELOW GRADE ----GR- GLYCOL RETURN DIAMETER DISHWASHER, DOMESTIC WATER DCVA DOUBLE CHECK VALVE ASSEMBLY POINT OF CONNECTION --- GS- GLYCOL SUPPLY DN DOWN DS DOWNSPOUT DSN DOWNSPOUT NOZZLE SECTION NUMBER AND SHEET LOCATION GREY SANITARY WASTE DRAIN DRAINAGE FIXTURE UNIT DWV DRAINAGE, WASTE AND VENT —X—X— DEMOLISH HARVESTED RAIN WATER DRINKING FOUNTAIN ELECTRIC WATER COOLER ELECTRIC WATER HEATER EWH EXISTING WORK HOT WATER PIPING ELECT ELECTRICAL ELEVATION EXISTING FEET NEW WORK HOT WATER RETURN PIPING FEET PER SECOND FINISHED FLOOR ELEVATION FIRE, FAHRENHEIT PIPE OR CONDUIT BELOW GRADE FLOOR FLOOR CLEANOUT **Piping Fittings** FD FLOOR DRAIN MATURAL GAS PIPING, 7" WC PRESSURE FLOOR SINK, FLOW SWITCH **ACCESS PANEL** FLUSH VALVE FOOT, FEET FUTURE AQUASTAT GALLONS GALLONS PER HOUR GPH OVERFLOW DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR GPM GALLONS PER MINUTE GARBAGE DISPOSER, GARAGE DRAIN GAS WATER HEATER PD PUMPED DISCHARGE **GREASE WASTE** HAND SINK HEAD, HUB DRAIN ----- SANITARY VENT PIPING HEAT PUMP, HORSE POWER, HOUSEKEEPING PAD COTG CLEANOUT TO GRADE HEATING, VENTILATING AND AIR CONDITIONING HELIUM SANITARY WASTE OR SOIL PIPING ABOVE GRADE OR FINISHED HERTZ CONCENTRIC REDUCER HOSE BIBB SANITARY WASTE OR SOIL PIPING BELOW GRADE OR FINISHED FLOOR HOT WATER HOT WATER FIXTURE UNIT DSN DOWNSPOUT NOZZLE HOT WATER RETURN HWR INCHES EXPANSION JOINT INDIRECT WASTE INSIDE DIAMETER ----SHWR: SOLAR HOT WATER RETURN INVERT ELEVATION KILOWATT FCO FLOOR CLEANOUT LAVATORY SD STORM DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR MAKE-UP WATER MAXIMUM ⊕ FD FLOOR DRAIN MERCURY - SD - STORM DRAIN PIPING BELOW GRADE OR FINISHED FLOOR MINIMUM MIXING VALVE ▼ FLOOR SINK MOP SINK MOUNTING HEIGHT, MANHOLE TW—TW—TEMPERED WATER PIPING NEW FLOW DIRECTION NON-POTABLE NON-POTABLE COLD WATER TP—TP—TRAP PRIMER PIPING NORTH HOSE BIBB / WALL HYDRANT NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE O HD HUB DRAIN BACKFLOW PREVENTER NUMBER NUMBER OVERFLOW DRAIN, OUTSIDE DIAMETER BACKWATER VALVE ——M—— METER OWNER FURNISHED, CONTRACTOR INSTALLED OFOI OWNER FURNISHED, OWNER INSTALLED BALANCING VALVE OVERFLOW ROOF DRAIN PLUMBING PLUMBING, PUMP POINT OF CONNECTION PIPE DROP ——— CHECK VALVE LBS. POUNDS POUNDS PER SQUARE INCH PRESSURE DROP, PLUMBING DEMOLITION, PUMPED DISCHARGE EARTHQUAKE GAS VALVE — PIPE RISE PRESSURE REDUCING VALVE QUANTITY RAINWATER LEADER PRESSURE GAUGE WITH COCK ELECTRONIC SOLENOID VALVE REDUCED PRESSURE BACKFLOW PREVENTER RELOCATE / RELOCATED LOCATION REVOLUTIONS PER MINUTE ——— PUMP GLOBE VALVE ROOF DRAIN SANITARY SERVICE SINK © ROOF DRAIN SEWAGE EJECTOR HOSE END DRAIN VALVE SHOWER SOV SHUT OFF VALVE SHOCK ABSORBER / WATER HAMMER ARRESTOR MOTORIZED, 2-WAY VALVE S, SK SINK SQUARE FEET STORM DRAIN T&P RELIEF VALVE WITH PIPE TO DRAIN NATURAL GAS PIPING CONNECTION ASSEMBLY SUMP PUMP, STATIC PRESSURE TEMPERATURE PRESSURE REDUCING VALVE TEMPERATURE AND PRESSURE TEE DOWN ON PIPE TEMPERATURE, THERMOMETER THOUSAND BTU'S PER HOUR TRAP PRIMER, TOTAL PRESSURE TEE UP ON PIPE SHUTOFF VALVE, GENERAL TRENCH DRAIN TYP **TYPICAL** U, UR TEMPERATURE SENSOR VACUUM, VENT, VOLT VALVE BOX, VACUUM BREAKER VARIABLE FREQUENCY DRIVE THERMOMETER VENT THRU ROOF WCO WALL CLEANOUT TRAP PRIMER MANIFOLD WATER COLUMN WATER COLUMN, WATER CLOSET WATER HAMMER ARRESTOR TRENCH DRAIN WATER HEATER, WALL HYDRANT WSFU WATER SUPPLY FIXTURE UNIT W/ WITH

W/O

WITHOUT

#### **GENERAL PLUMBING NOTES**

- A. ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO THE CURRENT STATE, COUNTY AND NATIONAL CODES AND STANDARDS ADOPTED BY THE LOCAL JURISDICTIONS INCLUDING APPLICABLE AMENDMENTS.
- B. CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE AND SUBJECT TO VERIFICATION. VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES TO BE CROSSED OR CONNECTED. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER OF CONDITION IN CONFLICT WITH THE DETAILS/PLANS.
- C. COORDINATE INSTALLATION OF PIPING, FIXTURES, EQUIPMENT AND THE LIKE BELOW AND ABOVE GRADE WITH STRUCTURAL COMPONENTS AND OTHER SYSTEMS INSTALLATION.
- D. COORDINATE FIXTURES, EQUIPMENT, PIPE ROUGH-IN/CONNECTION LOCATIONS AND DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- E. VALVES FOR SERVICE ACCESSIBILITY. VALVES INSTALLED ABOVE CEILING SHALL BE WITHIN 18" OF CEILING.
- F. ALL WASTE PIPE TO SLOPE MINIMUM OF 1/4" PER FOOT.
- G. ROVIDE WATER HAMMER ARRESTERS TO DOMESTIC WATER LINES SERVING QUICK ACTING VALVES SUCH AS THE FOLLOWING:
  1. FLUSH VALVES.
  2. SOLENOID VALVES TO ICEMAKERS AND DISHWASHER.
  3. SENSOR FAUCETS.
- 4. SINGLE HANDLE FAUCETS.5. SINGLE HANDLE SHOWER VALVES.
- 5. SINGLE HANDLE SHOWER VALVES.6. SINGLE HANDLE TUB.SHOWER VALVES.
- H. EXCEPT FOR SHOWER DRAINS, ALL FLOOR DRAINS, FLOOR SINKS, AND OTHER INDIRECT WASTE RECEPTORS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM SHALL BE PROVIDED WITH AN AUTOMATIC TRAP PRIMER
- I. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED IN ALL HOSE BIBS.
- J. INSTALLATION OF THE DOMESTIC HOT WATER SYSTEM SHALL COMPLY WITH THE MANDATORY REQUIREMENTS OF SECTION 1103.3 OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
- K. DRAINAGE PIPING SERVING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL BE PROVIDED WITH A BACKWATER VALVE. FIXTURES ABOVE THAT LEVEL SHALL NOT DISCHARGE THROUGH THIS VALVE.
- L. SEWER VENTS SHALL TERMINATE AT LEAST 10 FEET HORIZONTALLY (25 FEET FOR OSHPD PROJECTS) FROM AND AT LEAST 3 FEET ABOVE OPENABLE WINDOW, DOOR OPENING, AIR INTAKE OR VENT SHAFT. VENT MUST BE AT LEAST 3 FEET FROM PROPERTY LINE.
- M. PRIOR TO BEING CONCEALED, PIPING PENETRATIONS AT THE FIRE RESISTIVE ASSEMBLIES SHALL BE INSPECTED TO VERIFY COMPLIANCE WITH THE FIRE RESISTANCE RATING.
- N. INDIRECT WASTE SHALL DISCHARGE TO THE BUILDING DRAINAGE THROUGH AN APPROVED AIR GAP OR AIR BREAK WITH A MINIMUM 1" DISTANCE FROM THE LOWEST POINT OF INDIRECT PIPE TO THE FLOOD LEVEL RIM OF THE RECEPTOR.

#### **SHEET INDEX**

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P202 FLOOR PLAN - 2ND FLOOR - PLUMBING
P203 FLOOR PLAN - 3RD FLOOR - PLUMBING

P204 ROOF PLAN - PLUMBING

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311 3rd Street

REVISIONS

NO. DATE DES

Issue Date

DATE DESCRIPTION

LIF PROJ. NO. 20158TX

PROJ. ARCHITECT DRAWN BY: Author

**Project Status** 

SYMBOL LIST AND GENERAL NOTES -PLUMBING

				E	BASIS OF DESIGN		CONNE	ECTION		
SYMBOL	FIXTURE TYPE	DESCRIPTION	MFR	MODEL	ACCESSORIES	W	V	CW	HW	NOTES
(E) HB	EXISTING HOSE BIBB	EXISTING HOSE BIBB	(E)	(E)				(E)		
(E) SH	EXISTING SHOWER	EXISTING SHOWER	(E)	(E)		(E)	(E)	(E)	(E)	
L-1	LAVATORY	UNDERCOUNTER MOUNTED, VITREOUS CHINA, OVAL, FRONT OVERFLOW	AMERICAN STANDARD	497.221	FAUCET (SENSOR - BATTERY, 0.35 GPM): CHICAGO E80-A11D-11ABCP. PROVIDE WITH MIXING VALVE. SEE PLUMBING DEVICES SCHEDULE FOR MIXING VALVE(S).	1-1/2"	1-1/2"	1/2"	1/2"	
(E) L	EXISTING LAVATORY	EXISTING LAVATORY SINK W/ NEW THERMOSTATIC MIXING VALVE	(E)	(E)	PROVIDE WITH MIXING VALVE. SEE PLUMBING DEVICES SCHEDULE FOR MIXING VALVE(S).	(E)	(E)	(E)	(E)	
S-1	SINK	COUNTERTOP, SINGLE BOWL, 18 GAUGE STAINLESS STEEL, 15-INCHES X 22-INCHES X 6-INCHES DEEP, 18-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH, BARRIER FREE	ELKAY	LRAD152260	KITCHEN FAUCET (SINGLE LEVER HANDLE, 1.5GPM): CHICAGO 431-ABCP	2"	1-1/2"	3/4"	3/4"	
S-2	SINK	COUNTERTOP, DOUBLE BOWL, 18 GAUGE STAINLESS STEEL, 33-INCHES X 19-1/2-INCHES X 6-INCHES DEEP, 36-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH	ELKAY	LRAD331960	KITCHEN FAUCET (SINGLE LEVER HANDLE, 1.5GPM): CHICAGO 431-ABCP	2"	1-1/2"	3/4"	3/4"	
(E) WC	EXISTING WATER CLOSET	EXISTING WATER CLOSET	(E)	(E)		(E)	(E)	(E)		
WC-1	WATER CLOSET	TANK TYPE, VITREOUS CHINA, ELONGATED, PRESSURE ASSIST, 1.1 GPF	AMERICAN STANDARD	2467.100	SEAT (COMMERCIAL WEIGHT, HEAVY-DUTY SOLID PLASTIC WITH STAINLESS STEEL CHECK HINGE): CHURCH 9400SSCT	4"	2"	3/4"		

	Р	LUME	SING E	EV	ICE	SS	CHE	EDULE
		BASIS OF	DESIGN		CONNE	CTION		
SYMBOL	DESCRIPTION	MFR	MODEL	W	V	CW	HW	NOTES
TMV-1	THERMOSTATIC MIXING VALVE	WATTS	LFG480	-	-	1/2"	1/2"	PROVIDE AT PUBLIC LAVATORIES. SET OUTLET TEMPERATURE TO 110°F.
NOTES:		•		•				

			EXISTING V	WATER	HEATER	RSCH	EDUL	E		
			BASIS OF D	DESIGN	TANK		ELEC ⁻	TRICAL		
SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	MFR	MODEL	CAPACITY (GALLONS)	VOLTS	PH	AMPS	KW	COMMENTS
(E) WH	ELECTRIC, TANK-TYPE WATER HEATER	BASEMENT	RHEEM	82V120-2	120	208	1	21.7	4500	MODIFY OUTLET TEMPERATURE TO 140 DEG F.
NOTES:			•		•					•

				PUMF	SCH	EDULI	<b>=</b>						
			BASIS OF DI	ESIGN						ELECTRICA	_		
SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	MFR	MODEL	FLOW RATE (GPM)	HEAD (FT H2O)	RPM	VOLTS	PH	AMPS	WATTS	HP	COMMENTS
CDP-1	CONDENSATE PUMP	SERVER ROOM FAN COIL UNITS	LITTLE GIANT	VCMX-20ULS	60 GPH	10	-	115	1	1.5	1/30		
NOTES:													

SANITARY WASTE & VENT (ABOVE GRADE)	"NO-HUB" CAST IRON SOIL PIPE AND FITTINGS WITH HEAVY-DUTY COUPLINGS HUSKY SD4000 OR CLAMP. ALL HI-TORQ-125, FM 1680, CLASS 1.
SANITARY WASTE & VENT (BELOW GRADE)	"NO-HUB" CAST IRON SOIL PIPE AND FITTINGS WITH HEAVY-DUTY COUPLINGS HUSKY SD4000 OR CLAMP. ALL HI-TORQ-125, FM 1680, CLASS 1.
DOMESTIC WATER (ABOVE GRADE)	TYPE "L" COPPER TUBING, WROGHT COPPER OR CAST BRONZE SWEAT FITTINGS L PIPING 2-1/2 INCHES AND SMALLER. SOLDERED (95/5 SOLDER) JOINTS.
DOMESTIC WATER (BELOW GRADE)	TYPE "K" COPPER TUBING WITH BRAZED JOINTS.
PRIMER PIPING (ABOVE & BELOW GRADE)	TYPE "L" HARD-DRAWN COPPER TUBING WITH WROUGHT SWEAT FITTINGS AND SOLDERED JOINTS.
CONDENSATE DRAIN PIPING	TYPE "M" COPPER TUBING AND WROUGHT COPPER OR CAST BRONZE SWEAT FITTINGS (95/5 SOLDERED JOINTS). ON SIZES 1-1/4 INCHES OR LARGER, PROVIDE "DWV" PATTERN DRAINAGE FITTINGS.
ΓES:	
SEE SPECS FOR ADDITIONAL INFO	RMATION. SED FITTING CONNECTIONS ARE NOT PERMITTED.

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Project Status

SCHEDULES -PLUMBING

P002

2/24/2021 1:29:59 PM

(E) CW TO (E) 1-1/2" WATER METER AT STREET (E) CW, HW, HWR, SAN UP TO (E) MOP SINKS (E) CW, HW, HWR UP TO (E) RESTROOMS (E) SUMP PUMP TO REMAIN — - (E) SAN UP TO (E) RESTROOMS _ -----(E) BUILDING DRAIN TO SEWER MAIN AT STREET

○ SHEET KEYNOTES

 (E) 4.5KW, 120 GALLON ELECTRIC, TANK-TYPE WATER HEATER AND CIRCULATION PUMP TO REMAIN. SAN ANTONIO, TEXAS 78205 www.lakeflato.com

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LIF PROJ. NO. 20158TX

PROJ. ARCHITECT

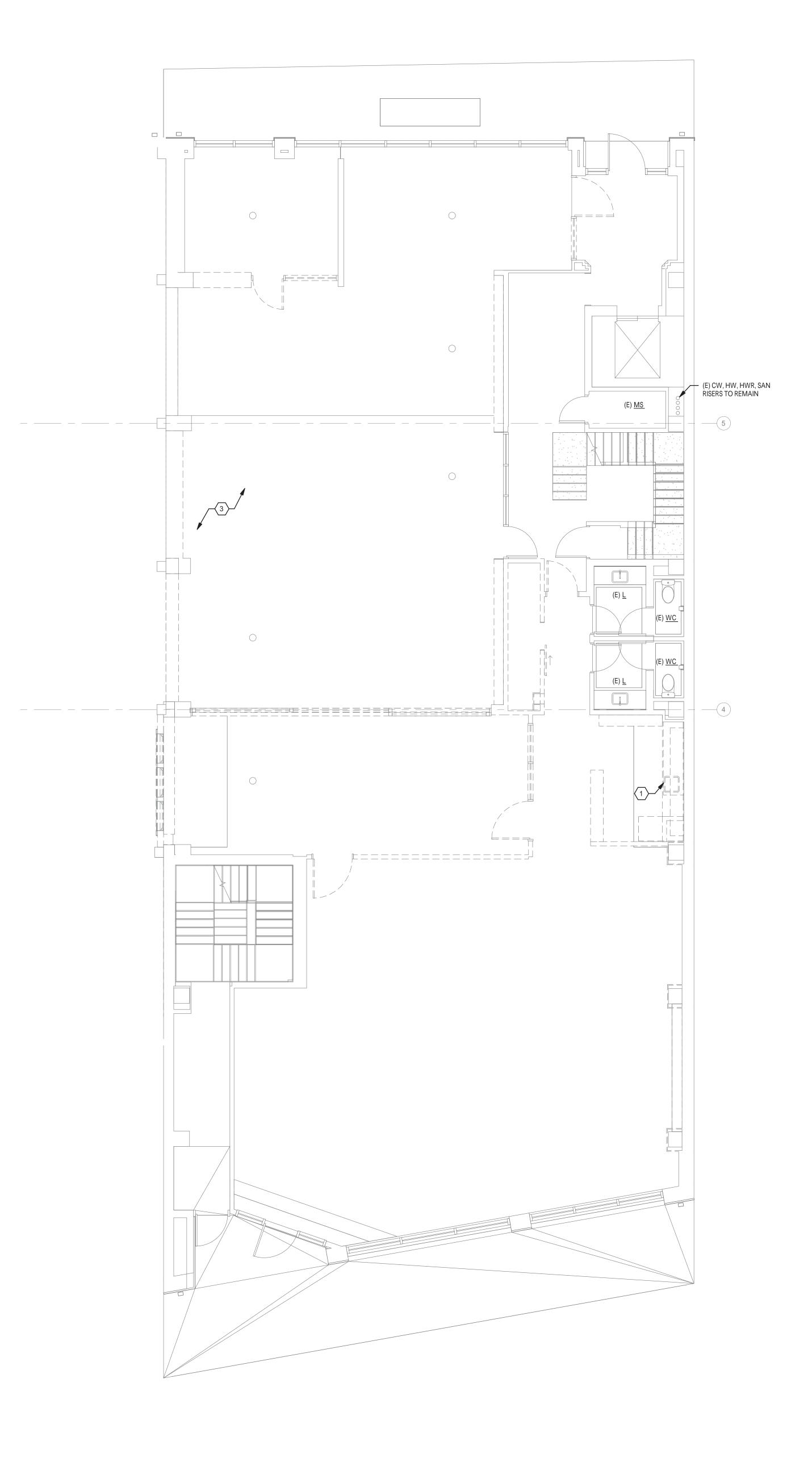
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D. DATE DESCRIPTION

**Project Status** 

DEMOLITION FLOOR PLAN - BASEMENT -PLUMBING

**PD200** 



- REMOVE ALL (E) PLUMBING FIXTURES IN (E) BREAK ROOM. REMOVE (E)
  PLUMBING SERVICES AND CAP AND SEAL BEHIND ARCHITECTURAL FINISHES.
- (E) HOSE BIBB IN (E) PARKING GARAGE TO BE REMOVED AND RE-INSTALLED AT OFFICE BUILDING. REMOVE (E) PLUMBING SERVICES AS REQUIRED AND CAP FOR RE-CONNECTION. SEE P201.
- 3. FIELD VERIFY EXACT LOCATIONS OF (E) PLUMBING RISERS SERVING (E) 3RD FLOOR RESTROOMS. REMOVE (E) PLUMBING RISERS AS REQUIRED FOR DEMOLITION OF (E) WALLS AND CAP FOR RE-CONNECTION. SEE P201.
- COORDINATE W/ LOCAL GAS COMPANY TO REMOVE (E) GAS METER AT (E) WOOD SHOP BUILDING. REMOVE ALL GAS PIPING AND GAS EQUIPMENT IN (E) WOOD SHOP BUILDING.
- 5. REMOVE ALL (E) PIPING ABOVE GRADE IN (E) PARKING GARAGE. CAP AND ABANDON (E) PIPING BELOW GRADE AS REQUIRED.

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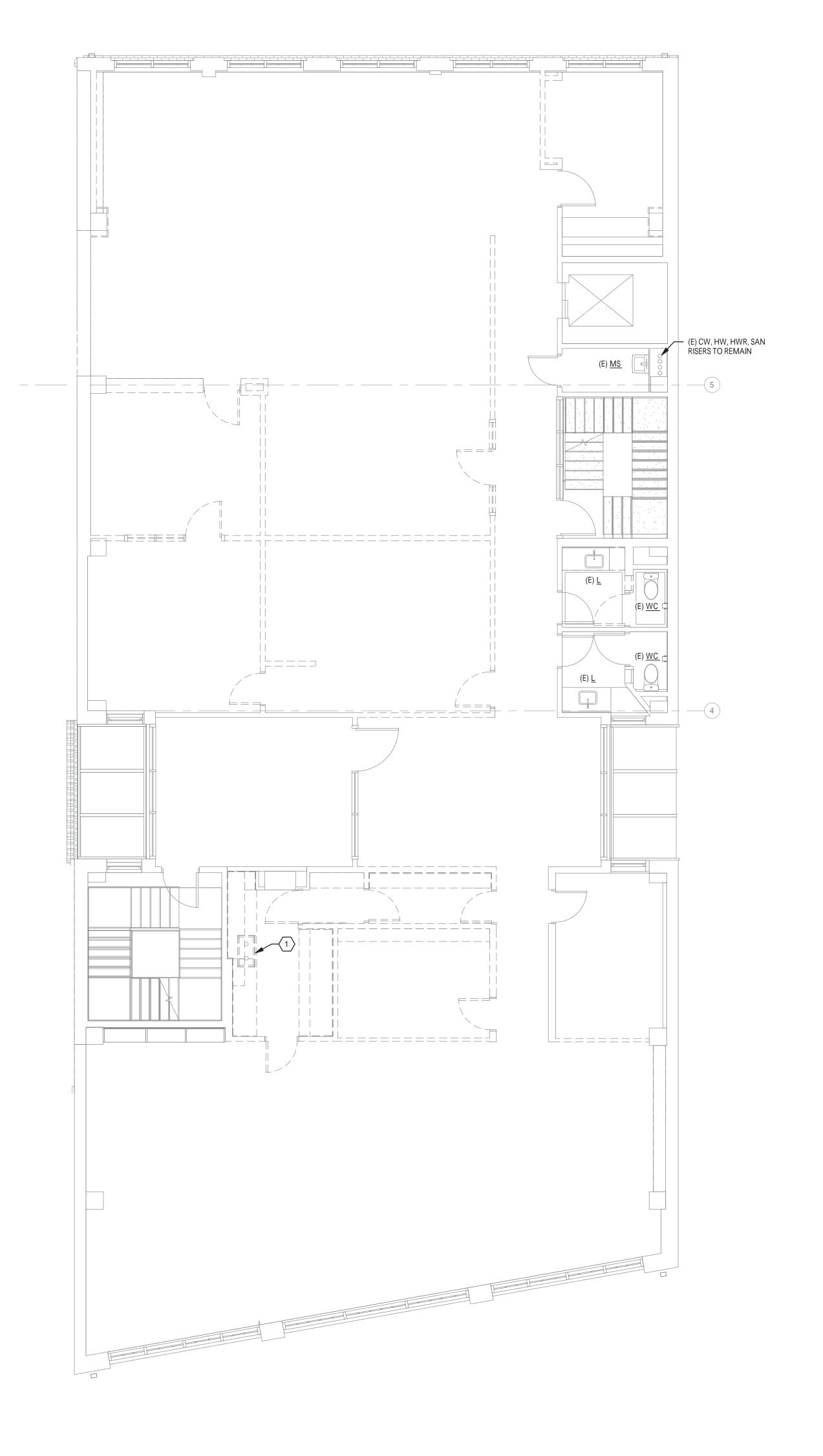
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**Project Status** 

DEMOLITION FLOOR PLAN - 1ST FLOOR -PLUMBING

PD201

 REMOVE ALL (E) PLUMBING FIXTURES IN (E) BREAK ROOM. REMOVE (E) PLUMBING SERVICES AND CAP AND SEAL BEHIND ARCHITECTURAL FINISHES.



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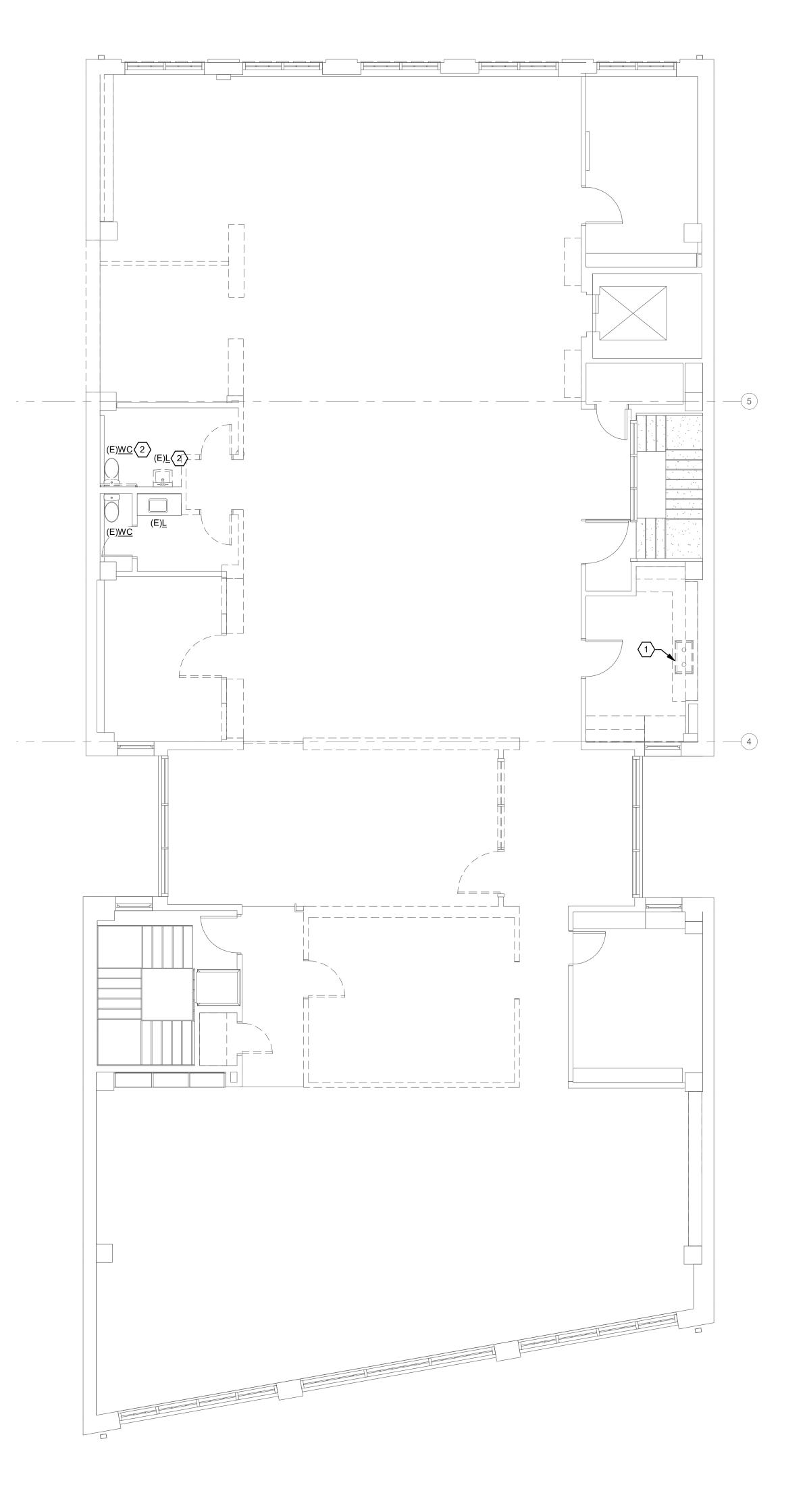
DEMOLITION FLOOR PLAN - 2ND FLOOR -PLUMBING

**PD202** 

1 DEMOLITION FLOOR PLAN - 2ND FLOOR - PLUMBING

2/24/2021 1:30:0

- REMOVE ALL (E) PLUMBING FIXTURES IN (E) BREAK ROOM. REMOVE (E) PLUMBING SERVICES AND CAP AND SEAL BEHIND ARCHITECTURAL FINISHES.
- (E) PLUMBING FIXTURES IN (E) RESTROOM TO BE REMOVED AND RE-INSTALLED FOR ADA CLEARANCES. CAP (E) PLUMBING SERVICES FOR RE-CONNECTION. SEE P203.



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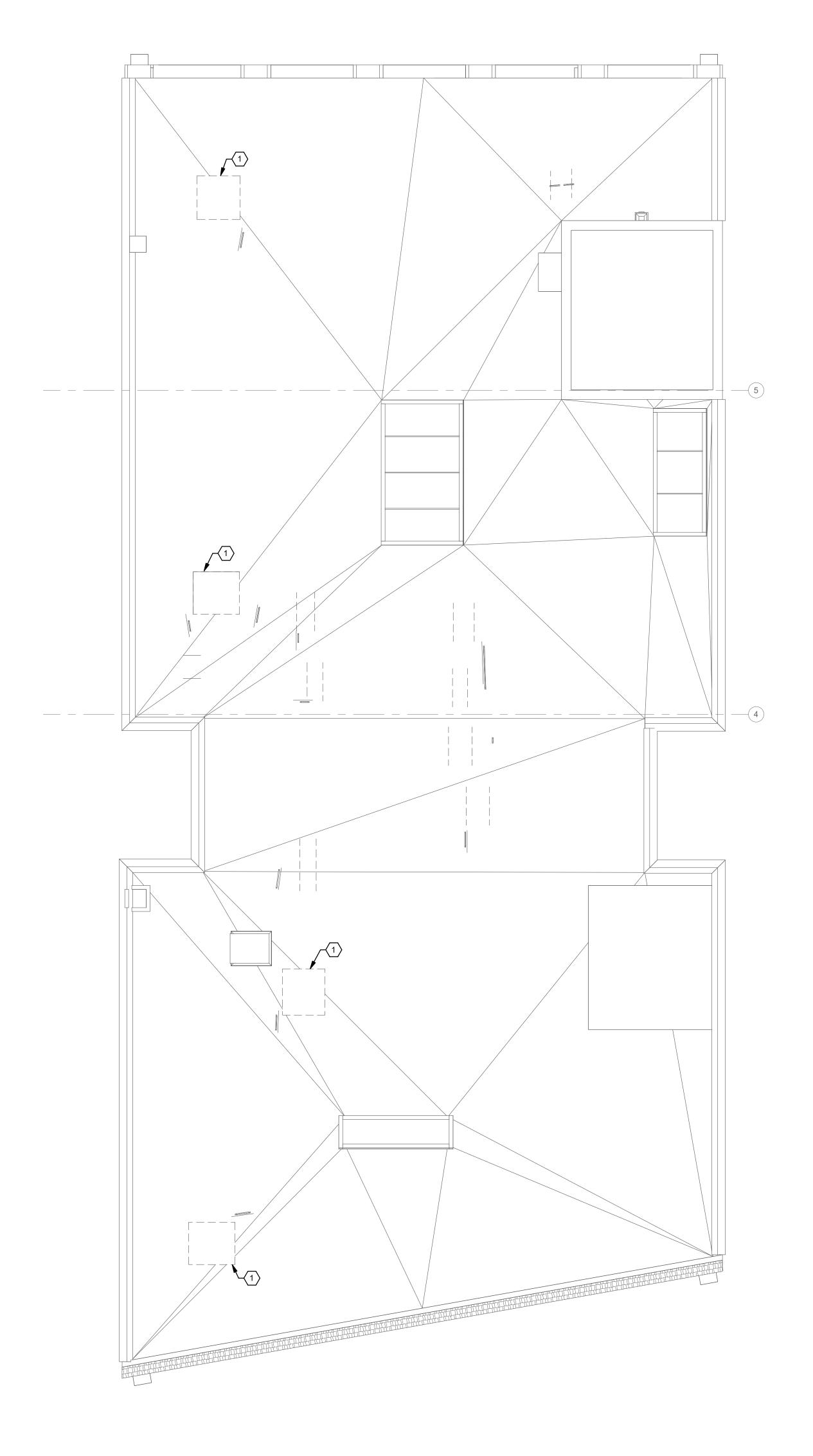
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DEMOLITION FLOOR PLAN - 3RD FLOOR -PLUMBING

**PD203** 

1. REMOVE (E) CONDENSATE PIPING AT (E) ROOFTOP HVAC UNITS.



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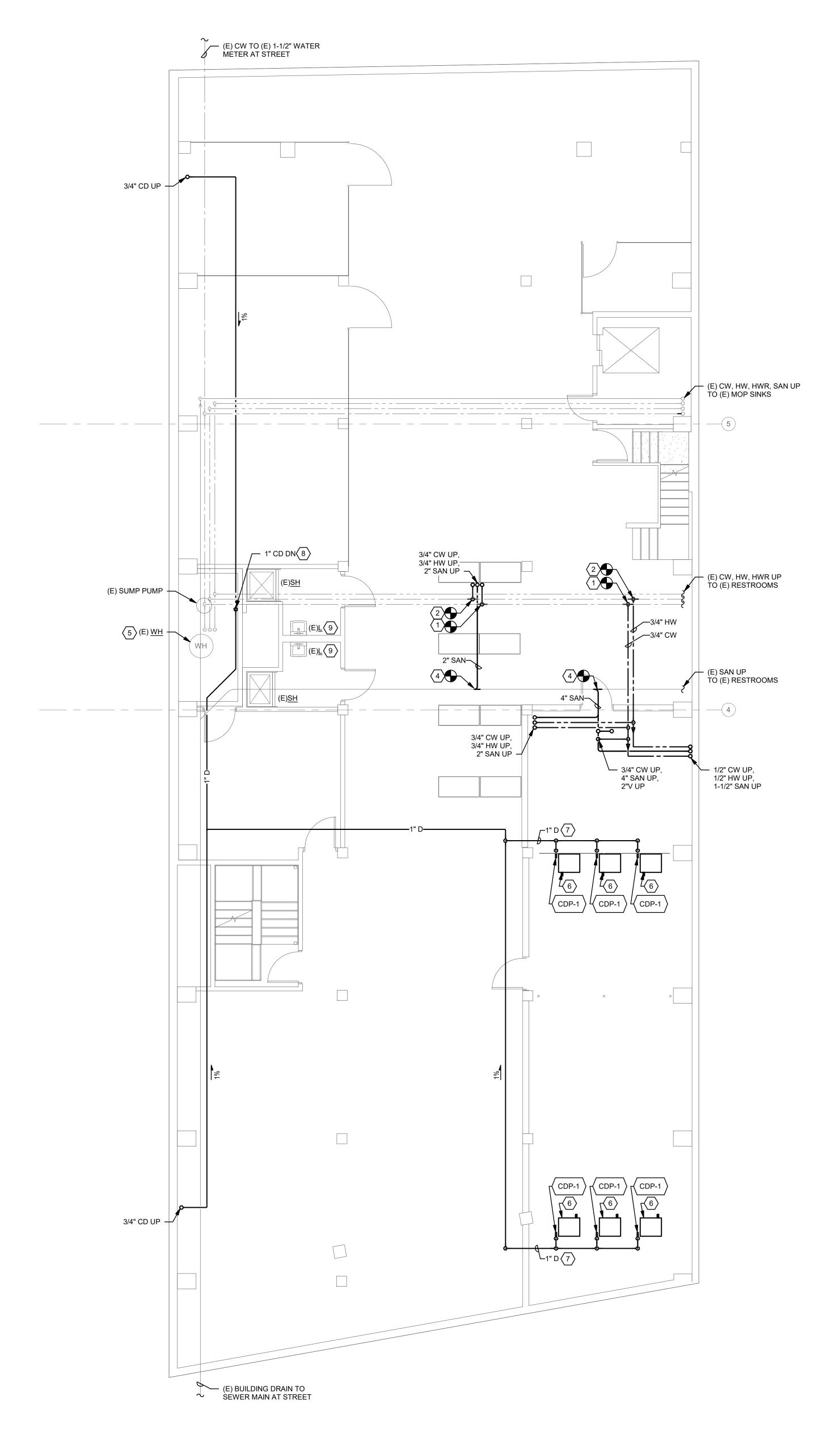
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**Project Status** 

DEMOLITION ROOF PLAN - PLUMBING

**PD204** 



- CONNECT (N) COLD WATER, SIZE AS SHOWN, TO (E) COLD WATER LINE. FIELD VERIFY EXACT SIZE, LOCATION, AND ROUTING.
- CONNECT (N) HOT WATER, SIZE AS SHOWN, TO (E) HOT WATER LINE. FIELD VERIFY EXACT SIZE, LOCATION, AND ROUTING.
- 3. CONNECT (N) HOT WATER RETURN, SIZE AS SHOWN, TO (E) HOT WATER RETURN LINE. FIELD VERIFY EXACT SIZE, LOCATION, AND ROUTING.
- 4. CONNECT (N) SANITARY WASTE, SIZE AS SHOWN, TO (E) SANITARY WASTE LINE. FIELD VERIFY EXACT SIZE, LOCATION, AND ROUTING.
- 5. (E) 4.5KW, 120 GALLON ELECTRIC, TANK-TYPE WATER HEATER AND CIRCULATION PUMP TO REMAIN. ADJUST WATER HEATER OUTLET TEMPERATURE TO 140 DEG F.
- CONNECT 3/4" CD TO FLOOR-MOUNTED FANCOIL UNIT AND ROUTE TO ADJACENT CONDENSATE PUMP. SEE MECHANICAL FOR EXACT LOCATION OF FANCOIL UNIT.
- 7. ROUTE PIPING ABOVE SERVER ROOM W/ DRAIN PAN. ROUTE 1" DRAIN FROM DRAIN PAN TO TIE INTO CONDENSATE DRAIN DOWNSTREAM.
- 8. DROP CD, SIZE AS SHOWN, DN ON FACE OF WALL AND SPILL TO (E) SUMP PUMP W/ AIR GAP. FIELD VERIFY EXACT LOCATION AND ROUTING.
- PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.

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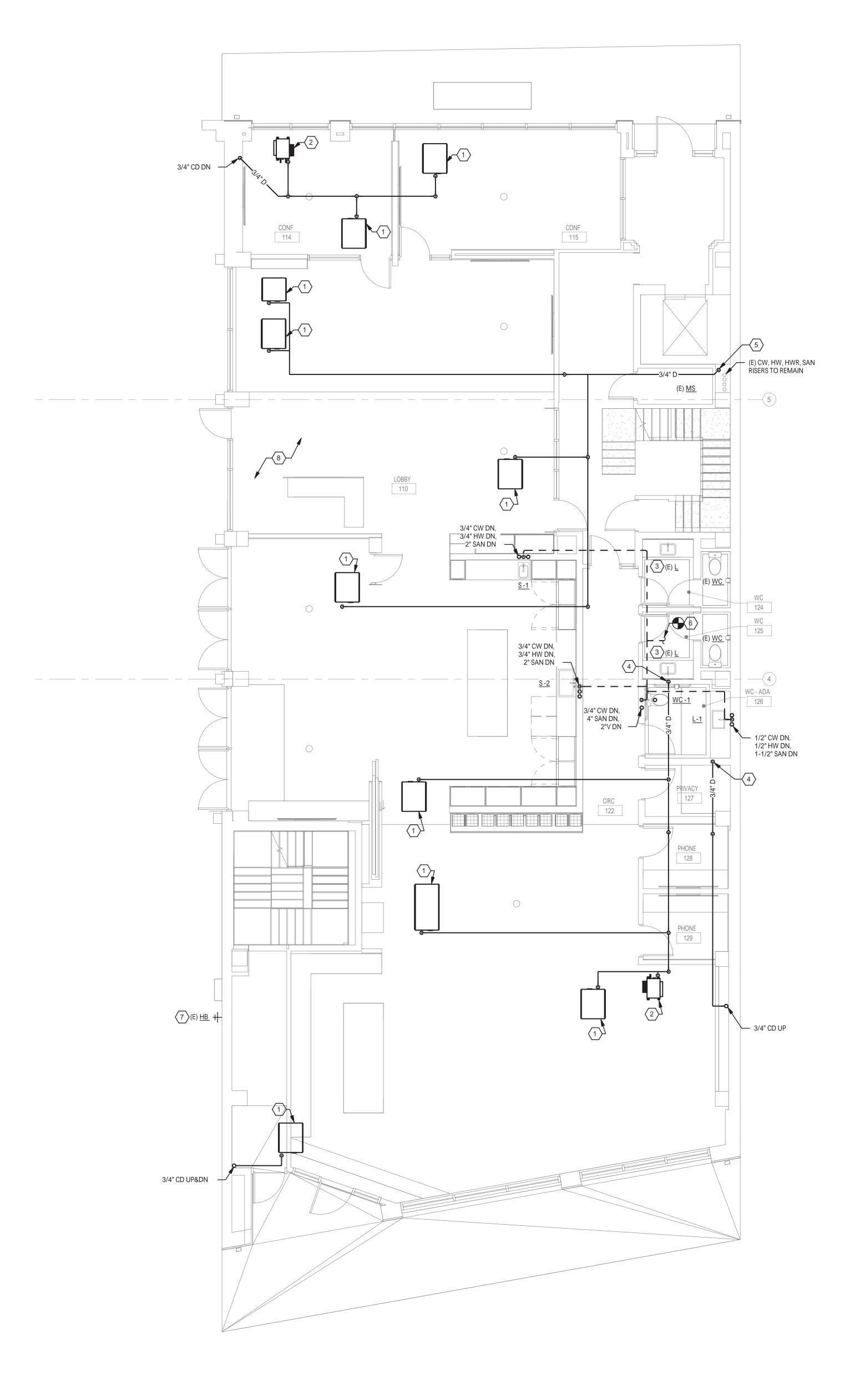
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FLOOR PLAN -BASEMENT -PLUMBING



- FANCOIL UNIT W/ INTEGRAL CONDENSATE LIFT. CONNECT 3/4" CD TO FANCOIL UNIT AND RUN IN CEILING SPACE. SEE MECHANICAL FOR EXACT LOCATION OF FAN COIL UNIT.
- VRF BRANCH CONTROLLER W/ CONDENSATE PUMP. RUN 1/4" TUBING FROM CONDENSATE PUMP AND ROLL INTO TOP OF 3/4" CD. SEE MECHANICAL FOR EXACT LOCATION OF BRANCH CONTROLLER.
- 3. PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.
- 4. DROP 3/4" CD DN IN WALL AND CONNECT TO TAILPIECE AT SINK.
- 5. DROP 3/4" CD DN IN CHASE AND SPILL TO (E) MOP SINK W/ AIR GAP.
- 6. CONNECT (N) 2" VENT TO (E) VENT IN (E) RESTROOM. FIELD VERIFY EXACT SIZE AND LOCATION OF (E) VENT.
- RE-INSTALL (E) HOSE BIBB AT OFFICE BUILDING. MODIFY (E) PLUMBING SERVICES AS REQUIRED FOR RE-CONNECTION. FIELD VERIFY EXACT LOCATION. SEE PD201.
- FIELD VERIFY EXACT LOCATIONS OF (E) PLUMBING RISERS AND RE-LOCATE AS REQUIRED FOR DEMOLITION OF (E) WALLS. SEE PD201.

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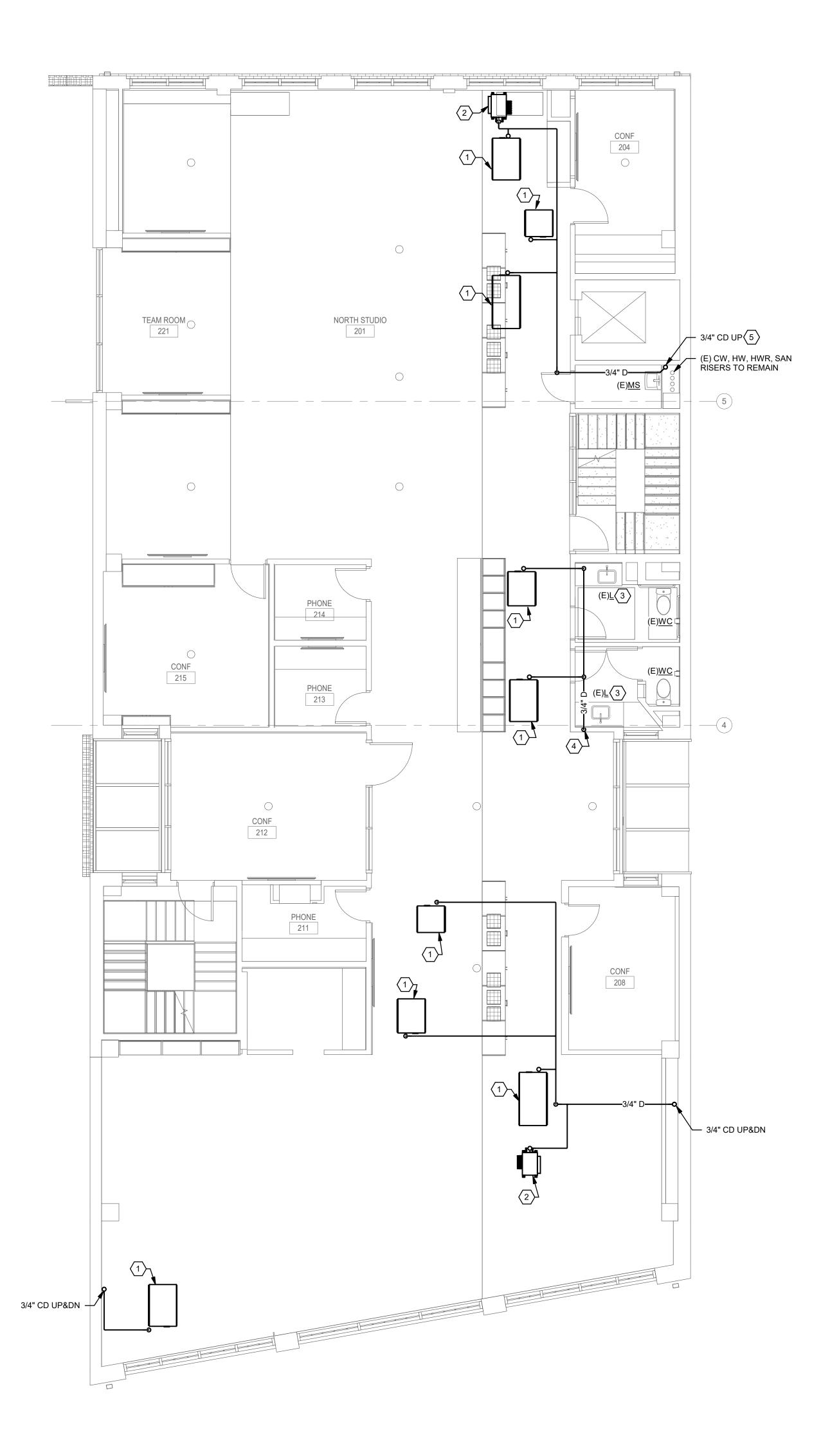
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FLOOR PLAN - 1ST FLOOR - PLUMBING



- FANCOIL UNIT W/ INTEGRAL CONDENSATE LIFT. CONNECT 3/4" CD TO FANCOIL UNIT AND RUN IN CEILING SPACE. SEE MECHANICAL FOR EXACT LOCATION OF FAN COIL UNIT.
- VRF BRANCH CONTROLLER W/ CONDENSATE PUMP. RUN 1/4" TUBING FROM CONDENSATE PUMP AND ROLL INTO TOP OF 3/4" CD. SEE MECHANICAL FOR EXACT LOCATION OF BRANCH CONTROLLER.
- PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.
- 4. DROP 3/4" CD DN IN WALL AND CONNECT TO TAILPIECE AT SINK.
- 5. DROP 3/4" CD DN IN CHASE AND SPILL TO (E) MOP SINK W/ AIR GAP.

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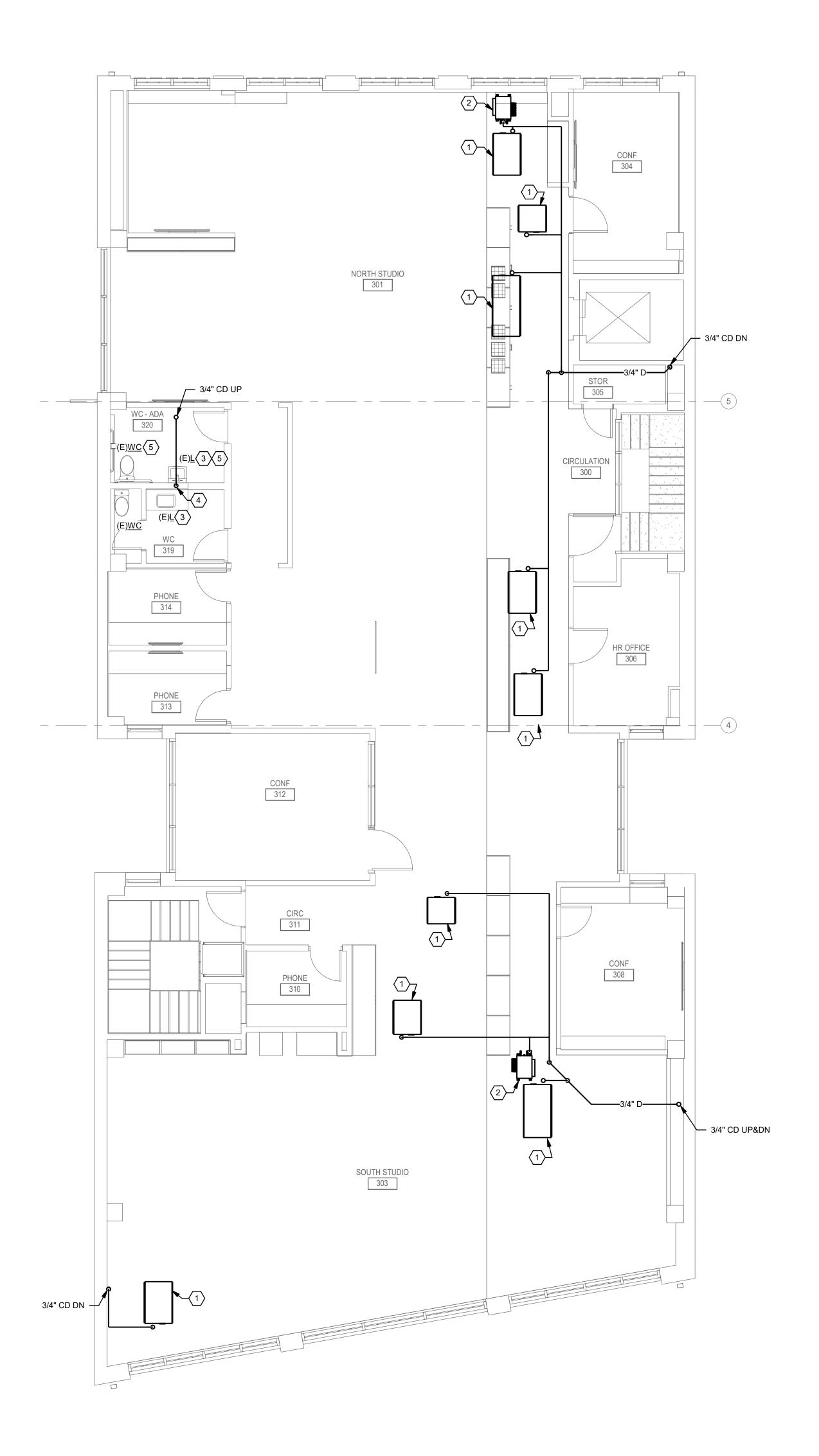
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FLOOR PLAN - 2ND FLOOR - PLUMBING



- FANCOIL UNIT W/ INTEGRAL CONDENSATE LIFT. CONNECT 3/4" CD TO FANCOIL UNIT AND RUN IN CEILING SPACE. SEE MECHANICAL FOR EXACT LOCATION OF FAN COIL UNIT.
- VRF BRANCH CONTROLLER W/ CONDENSATE PUMP. RUN 1/4" TUBING FROM CONDENSATE PUMP AND ROLL INTO TOP OF 3/4" CD. SEE MECHANICAL FOR EXACT LOCATION OF BRANCH CONTROLLER.
- PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.
- 4. DROP 3/4" CD DN IN WALL AND CONNECT TO TAILPIECE AT SINK.
- RE-INSTALL (E) PLUMBING FIXTURES IN (E) RESTROOM FOR ADA CLEARANCES. MODIFY (E) PLUMBING SERVICES AS REQUIRED FOR RE-CONNECTION. SEE PD203.

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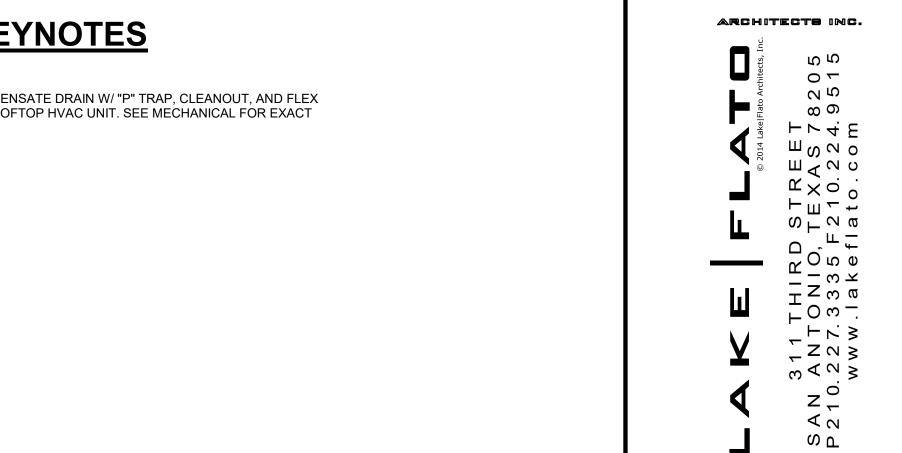
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**Project Status** 

FLOOR PLAN - 3RD FLOOR - PLUMBING

CONNECT 3/4" CONDENSATE DRAIN W/ "P" TRAP, CLEANOUT, AND FLEX CONNECTION TO ROOFTOP HVAC UNIT. SEE MECHANICAL FOR EXACT LOCATION.



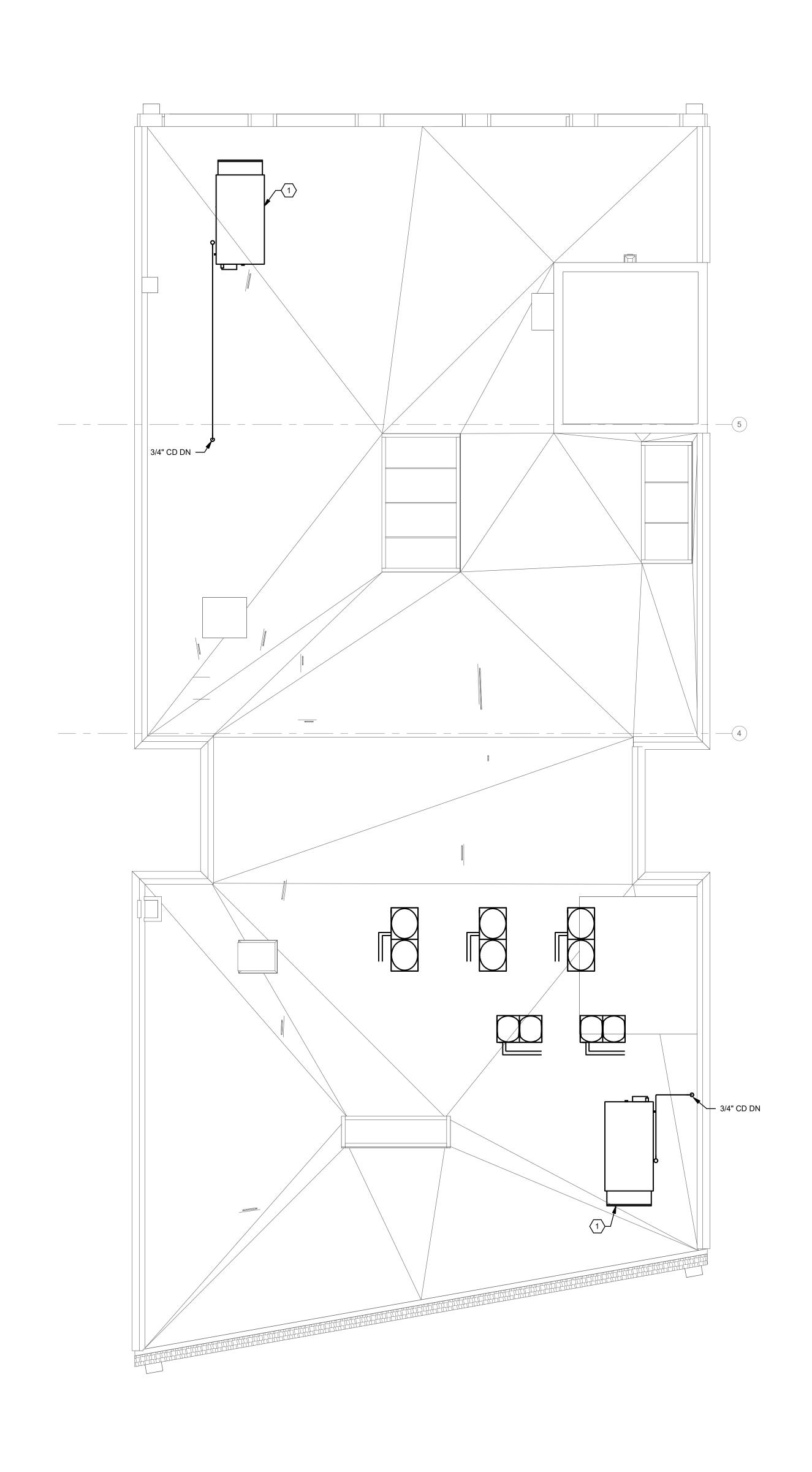


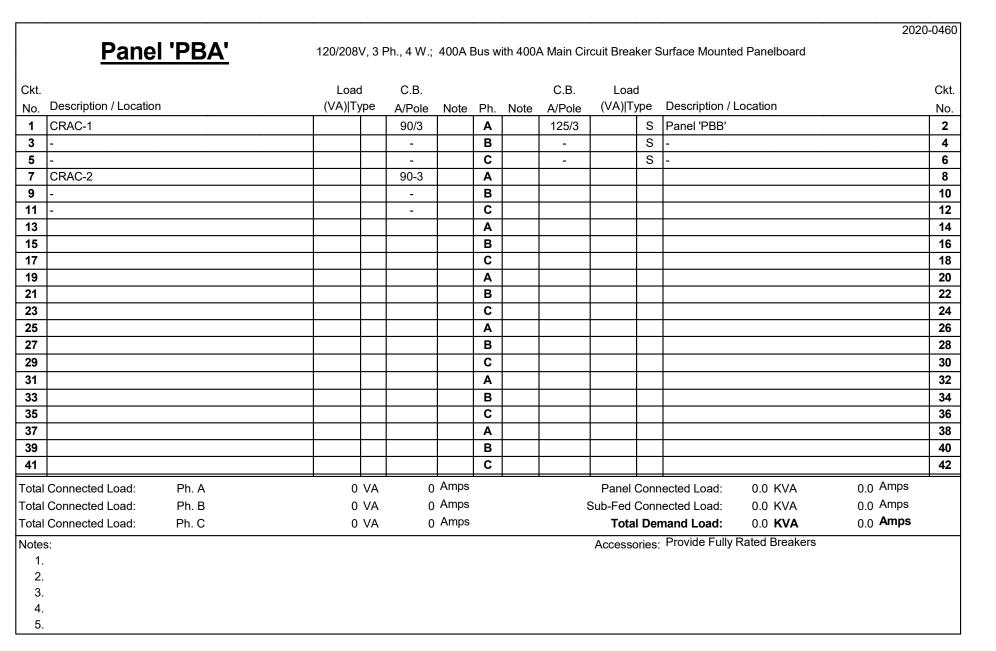
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**Project Status** 

**ROOF PLAN -PLUMBING** 





(E) Panel 'Sui	te 200' 120/208	3V, 3	Ph., 4 W.;	225A I	Bus w	rith 225	A Main Cir	cuit Breaker	Surface Mount	ed Panelboard	202	20-046
												01
Ckt.	Loa		C.B.				C.B.	Load	Description /	Location		Ckt
No. Description / Location	(VA) T	уре	A/Pole	Note		Note	A/Pole	(VA) Type	Description /	Location		No
1		4			A							2
3		-			В							4
5					С							6
7		-			A							8
9		+			В							10
11		-			C							12
13		+		-	A							14
15		+		-	В							16
17		+				-						18
19 21		+			A B							20
23					С							24
25		+										26
27					B							28
29		+			С							30
31		+										32
		+			A							
33 <b>35</b>		+			В							34
		+			-							_
37		+			A							38
39					В							40
41					L							42
Total Connected Load: Ph. /	Α (	) VA	0	Amps				Panel Co	nnected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. I	3 (	) VA	0	Amps				Sub-Fed Co	nnected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. 0		) VA	0	Amps				Total D	emand Load:	0.0 <b>KVA</b>	0.0 Amps	
Notes:								Accessorie	s: Provide Fully	Rated Breakers		
1.												
2.												
3.												
4.												
5.												

Ckt.	Load	C.B.				C.B.	Load				Ckt.
No. Description / Location	(VA) Type	A/Pole	Note	Ph			(VA) Type	Description /	Location		No.
1		7 (1 0.0	T	Α	11010 7	VI OIC		1			2
3				В				+			4
5				С							6
7				Α				1			8
9				В							10
11				С							12
13				Α							14
15				В							16
17				С							18
19				Α							20
21				В							22
23				С							24
25				Α							26
27				В							28
29				С							30
31				Α							32
33				В							34
35				С							36
37				Α							38
39				В							40
41				С							42
Total Connected Load: Ph. A	0 VA	0	Amps				Panel Conr	nected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. B	0 VA	0	Amps			5	Sub-Fed Conr	nected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. C	0 VA	0	Amps				Total De	mand Load:	0.0 <b>KVA</b>	0.0 <b>Amps</b>	
Notes: 1. 2. 3. 4. 5.							Accessories	Provide Fully	Rated Breakers		

Ckt.	Load	C.B.				C.B.	Load			
No. Description / Location	(VA) Type	A/Pole	Note	Ph.	Note	A/Pole	(VA) Type	Description /	_ocation	
1				Α						
3				В						
5				С						
7				Α						
9				В						
11				С						
13				Α						
15				В						
17				С						
19				Α						
21				В						
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25				Α						
27				В						
29				С						
31				Α						
33				В						
35				С						
37				Α						
39				В						
41				С				1		
Fotal Connected Load: Ph. A	0 VA	0	Amps				Panel Con	nected Load:	0.0 KVA	0.0 Amps
otal Connected Load: Ph. B	0 VA		Amps				Sub-Fed Conr		0.0 KVA	0.0 Amps
Fotal Connected Load: Ph. C	0 VA		Amps					mand Load:	0.0 <b>KVA</b>	0.0 <b>Amps</b>
	0 770		•						Rated Breakers	
lotes:							Accessories	: Provide rully	Nated Dieakers	
1.										
2.										
3. 4.										

Ckt.	Load	C.B.				C.B.	Load				CI
No. Description / Location	(VA) Type	A/Pole	Note	Dh	Note	A/Pole	(VA) Type	Description / I	ocation		N
1	(7,1)1,150	Arrole	TNOLE	Α	Note	Arrole	(7,1)[1,1][0		200411011		T
3			1	В				+			+
5			1	C							+
7		1	<del> </del>	A							+
9				В							+
11			1	С				1			+
13		1	1	A							+
15				В							Τ.
17				С							┪.
19				Α							1:
21				В							
23				С							1
25				Α							7
27				В							2
29				С							1
31				Α							T :
33				В							1
35				С							7
37				Α							;
39				В							4
41				С							4
Total Connected Load: Ph. A	0 VA	0	Amps				Panel Con	nected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. B	0 VA	0	Amps			5	Sub-Fed Con	nected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. C	0 VA	0	Amps				Total De	mand Load:	0.0 <b>KVA</b>	_{0.0} Amps	
Notes: 1. 2. 3. 4.							Accessories	: Provide Fully	Rated Breakers		

N.A	لمما	<b>C</b> D				0 D	اممما				O.L.
Ckt.	Load	C.B.				C.B.	Load	o Desemble of /	Laatian		Ck
No. Description / Location	(VA) Type	A/Pole	Note		Note	A/Pole	(VA) Type	Description /	Location		No
1				Α							2
3				В							4
5				С							6
7				Α							8
9				В							10
11				С							12
13				Α							14
15				В							16
17				С							18
19				Α							20
21				В							22
23				С							24
25				Α							26
27				В							28
29				С							30
31				Α							32
33				В							34
35 (E) SPACE				С				(E) SPACE			30
(E) SPACE				Α				(E) SPACE			38
(E) SPACE				В				(E) SPACE			40
(E) SPACE				С				(E) SPACE			42
otal Connected Load: Ph. A	0 VA	0	Amps				Panel Co	nnected Load:	0.0 KVA	0.0 Amps	
otal Connected Load: Ph. B	0 VA		Amps			5		nnected Load:	0.0 KVA	0.0 Amps	
otal Connected Load: Ph. C	0 VA		Amps					emand Load:	0.0 <b>KVA</b>	0.0 Amps	
otes:			•					es: Provide Fully			
1.							Accessorie	95. 1 10 vido 1 dily	rated Breakers		

(E) Panel 'Suite 1	<u></u>							Surface Mounte			
Ckt.	Load	C.B.				C.B.	Load				Ck
No. Description / Location	(VA) Type	A/Pole	Note	Ph.	Note	A/Pole	(VA) Type	Description / I	_ocation		No
1				Α							2
3				В							4
5				С							6
7				Α							8
9				В							10
11				С							1:
13				Α							14
15				В							10
17				С							18
19				Α							20
21				В							2
23				С							24
25				Α							20
27				В							28
29				С							3
31				Α							3:
33				В							3,
35				С							30
37				Α							3
39				В							4
41				С							42
Total Connected Load: Ph. A	0 VA	0	Amps				Panel Cor	nnected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. B	0 VA	0	Amps			(	Sub-Fed Cor	nnected Load:	0.0 KVA	0.0 Amps	
Total Connected Load: Ph. C	0 VA	0	Amps				Total D	emand Load:	0.0 <b>KVA</b>	_{0.0} Amps	
Notes: 1. 2. 3.							Accessorie	S: Provide Fully	Rated Breakers		

<u>(E) Par</u>	nel 'P3B'	120/208V, 3	Ph., 4 W.;	225A E	Bus wi	th 225/	A Main Cir	cuit Brea	ker S	Surface Mounte	d Panelboard	202	0-046
kt.		Load	C.B.				C.B.	Load	d				Ckt
lo. Description / Location	n	(VA) Type	A/Pole	Note	Ph.	Note	A/Pole	(VA) T		Description / L	_ocation		No
1					Α				<u> </u>				2
3					В								4
5					С								6
7					Α								8
9					В								10
1					С								12
3					Α								14
5					В								16
7					С								18
9					Α								20
1					В								22
3					С								24
5					Α								26
7					В								28
9					С								30
1					Α								32
3					В								34
5					С								36
7					A								38
39					В								40
11					С								42
otal Connected Load:	Ph. A	0 VA	0	Amps				Panel	Conr	nected Load:	0.0 KVA	0.0 Amps	
tal Connected Load:	Ph. B	0 VA	0	Amps			;	Sub-Fed	Conr	nected Load:	0.0 KVA	0.0 Amps	
tal Connected Load:	Ph. C	0 VA	0	Amps				Tota	l Dei	mand Load:	0.0 <b>KVA</b>	0.0 Amps	
otes:								Accesso	ories:	Provide Fully	Rated Breakers		
1.													
2.													
3.													

MECHANICAL EQUIPMENT CONNECTION SCHEDULE									
ITEM	DESCRIPTION	LOCATION	VOLTS / PHASE	LOAD	MCA	MOCP	WIRE / CONDUIT	CIRCUIT	NOTES
DOAS-1	DEDICATED OUTDOOR AIR SYSTEM		208/3	35.1 A	40.2	60	603		
DOAS-2	DEDICATED OUTDOOR AIR SYSTEM		208/3	35.1 A	40.2	60	603		
CU-1	CONDENSING UNIT		208/3		79	125	1253		
CU-2	CONDENSING UNIT		208/3		79	125	1253		
CU-3	CONDENSING UNIT		208/3		79	125	1253		
CU-DC-1	AIR COOLED CONDENSER		208/3		41	60	603		
CU-DC-2	AIR COOLED CONDENSER		208/3		41	60	603		
FCU-DC-1	FAN COIL UNIT		208/3		5.63	15	203		
FCU-DC-2	FAN COIL UNIT		208/3		5.63	15	203		
FCU-DC-3	FAN COIL UNIT		208/3		5.63	15	203		
FCU-DC-4	FAN COIL UNIT		208/3		5.63	15	203		1
FCU-DC-5	FAN COIL UNIT		208/3		5.63	15	203		
FCU-DC-6	FAN COIL UNIT		208/3		5.63	15	203		
FCU-1-1	FAN COIL UNIT		208/1		1.56	15	202		
FCU-1-2	FAN COIL UNIT		208/1		1.45	15	202		
FCU-1-3	FAN COIL UNIT		208/1		3.32	15	202		
FCU-1-4	FAN COIL UNIT		208/1		1.56	15	202		1
FCU-1-5	FAN COIL UNIT		208/1		1.56	15	202		
FCU-1-6	FAN COIL UNIT		208/1		1.56	15	202		
FCU-1-7	FAN COIL UNIT		208/1		1.56	15	202		
FCU-1-8	FAN COIL UNIT		208/1		1.2	15	202		
FCU-1-9	FAN COIL UNIT		208/1		1.45	15	202		
FCU-1-10	FAN COIL UNIT		208/1		1.45	15	202		
FCU-2-1	FAN COIL UNIT		208/1		2.73	15	202		1
FCU-2-2	FAN COIL UNIT		208/1		3.41	15	202		
FCU-2-3	FAN COIL UNIT		208/1		1.05	15	202		
FCU-2-4	FAN COIL UNIT		208/1		1.2	15	202		
FCU-2-5	FAN COIL UNIT		208/1		2.73	15	202		
FCU-2-6	FAN COIL UNIT		208/1		2.73	15	202		1
FCU-2-7	FAN COIL UNIT		208/1 208/1		3.41 1.05	15 15	202 202		
FCU-2-8 FCU-2-9	FAN COIL UNIT				2.73				
	FAN COIL UNIT		208/1		+	15 15	202		
FCU-3-1 FCU-3-2	FAN COIL UNIT FAN COIL UNIT		208/1 208/1		3.32	15	202 202		
FCU-3-2 FCU-3-3	FAN COIL UNIT		208/1		1.05	15	202		
FCU-3-3 FCU-3-4	FAN COIL UNIT		208/1		1.03	15	202		
FCU-3-4 FCU-3-5	FAN COIL UNIT		208/1		2.73	15	202		
FCU-3-6	FAN COIL UNIT		208/1		2.73	15	202		
FCU-3-7	FAN COIL UNIT		208/1		3.31	15	202		
FCU-3-8	FAN COIL UNIT		208/1		1.05	15	202		
FCU-3-9	FAN COIL UNIT		208/1		2.73	15	202		
BC-1-1	BRANCH CONTROLLER		208/1		0.83	15	202		
BC-1-1	BRANCH CONTROLLER		208/1		0.83	15	202		
BC-1-2 BC-2-1	BRANCH CONTROLLER		208/1		0.83	15	202		
BC-2-1 BC-2-2	BRANCH CONTROLLER		208/1		0.83	15	202		
BC-2-2 BC-3-1	BRANCH CONTROLLER		208/1		0.83	15	202		
BC-3-2	BRANCH CONTROLLER		208/1		0.83	15	202		
EF-1	EXHAUST FAN		208/1	0.3 HP	1.00	15	202		1
EF-2	EXHAUST FAN		120/1	0.1 HP		15	202		
CDP-1	CONDENSATE PUMP		120/1	1.5 A		15	202		1
-						1	<u>-</u>		
									1
									1
									1
									1
									1
				1					1
	I					1			

GENERAL MECHANICAL EQUIPMENT CONNECTION SCHEDULE NOTES

A. THE ABOVE INFORMATION IS FOR A SPECIFIC MANUFACTURER. ACTUAL MANUFACTURER FOR EQUIPMENT MAY BE DIFFERENT. COORDINATE WITH MECHANICAL EQUIPMENT SUBMITTALS FOR LOADS AND OVER CURRENT PROTECTION REQUIREMENTS PRIOR TO INSTALLATION OF WIRING.

- B. MOCP = MAXIMUM OVER CURRENT PROTECTION
- MCA = MINIMUM CIRCUIT AMPACITY
- C. PROVIDE DISCONNECTING MEANS FOR EACH ITEM OF EQUIPMENT LISTED IN THE SCHEDULE ABOVE, EXCEPT AS SPECIFICALLY NOTED OTHERWISE IN SCHEDULE NOTES, BELOW.

#### WIRE / CONDUIT SCHEDULE

- 202 2 #12 CU, 1 #12 CU GND., IN 3/4" C.
- 203 3 #12 CU, 1 #12 CU GND., IN 3/4" C.
- 603 3 #4 CU, 1 #10 CU GND., IN 1" C. 1253 3 #1 CU, 1 #6 CU GND., IN 1-1/4" C.

Issue Date

LIF PROJ. NO. 20158TX

PROJ. ARCHITECT

DRAWN BY: Author

SET ISSUE DATES

DATE ISSUE

**NOT FOR** 

REGULATORY
APPROVAL,
PERMITTING

CONSTRUCTION

**Live the Dream** 

Lake Flato -

311 3rd Street

NO. DATE DESCRIPTION

Project Status

SCHEDULES -ELECTRICAL

E601

2/24/2021 6:15:59 PN

Central File Path: