

HISTORIC AND DESIGN REVIEW COMMISSION

June 02, 2021

HDRC CASE NO: 2021-239
ADDRESS: 106 PARKVIEW DR
LEGAL DESCRIPTION: NCB 6919 BLK LOT 5 & 6
ZONING: R-5, H
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Matthew Longoria/LONGORIA MATTHEW JACOB
OWNER: Matthew Longoria/LONGORIA MATTHEW JACOB
TYPE OF WORK: New construction
APPLICATION RECEIVED: May 10, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 1-story, single-family residential structure on the vacant lot at 106 Parkview Drive, located within the Mission Historic District.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

- i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

- i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS

- i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Façade configuration*— The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. *Building to lot ratio*— New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

B. REUSE OF HISTORIC MATERIALS

Salvaged materials—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING

i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.

ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

Standard Specifications for Windows in Additions and New Construction

- **GENERAL:** New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a 1-story, single-family residential structure on the vacant lot at 106 Parkview Drive, located within the Mission Historic District.
- b. **CONTEXT & DEVELOPMENT PATTERN** – This block of Parkview Drive consists of all 1-story structures located on the south side of the block. Houses primarily feature a front facing gabled roof with both Craftsman and traditional architectural elements.
- c. **SETBACKS & ORIENTATION** – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. The applicant has submitted a setback diagram noting that the proposed new construction will feature a setback from Parkview Drive that matches that of the majority of structures on the block. Staff finds the proposed setback to be appropriate. The setback will be confirmed via an on-site setback inspection prior to the installation of foundation materials.
- d. **ENTRANCES** – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has proposed to orient the proposed new construction and its entrance toward Parkview Drive. This is consistent with the Guidelines.
- e. **SCALE & MASS** – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed for the new construction to feature one story in height. Staff finds this to be appropriate and consistent with the Guidelines.
- f. **FOUNDATION & FLOOR HEIGHTS** – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure's foundation and floor heights. Primarily, the majority of the structures on this block feature foundation heights of approximately one (1) foot. Per the applicant's construction documents, the proposed new construction will feature a foundation height of more than one (1) foot. Staff finds this to be appropriate and consistent with the Guidelines.

- g. ROOF FORM – The applicant has proposed roof forms that include both front and side gabled roofs. Generally, staff finds the proposed roof forms to be consistent with the Guidelines for New Construction; however, staff finds that all gable returns should be eliminated from the proposed roof forms.
- h. LOT COVERAGE – The applicant has proposed a footprint of approximately 2, 300 square feet. The proposed building to lot ratio is consistent with the Guidelines.
- i. MATERIALS – The applicant has proposed materials that include wood siding and trim and a standing seam metal roof. Staff finds the use of wood siding and trim to be appropriate. The proposed standing seam metal roof should feature panels that are smooth and 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume finish. A darker gray color may also be approved by the Commission.
- j. WINDOW MATERIALS – The applicant has proposed Anderson 100 Series windows, which feature composite materials. The proposed windows will feature a nailing fin and dimensions that are not consistent with staff's standards for windows in new construction. Staff finds that windows that are consistent with staff's standards for windows in new construction be installed. The Commission may motion to approve a specific window product.
- k. WINDOW & DOOR OPENINGS – Per the submitted documents, the applicant has proposed window profiles and fenestration patterns that are generally consistent with those found historically within the district and the Guidelines for New Construction.
- l. ARCHITECTURAL DETAILS – The applicant's proposed design generally feature architectural details that are found historically within the Mission Historic District and are consistent with the Guidelines for New Construction. Staff finds that columns should be six (6) inches square and feature capital and base trim as well as chamfered corners.
- m. DRIVEWAY – The applicant has proposed a driveway of approximately fifteen (15) feet in width. The Guidelines for Site Elements note that driveways within historic districts should feature no more than ten (10) feet in width. Driveways on this block are located on the west side of each structure and are generally eight to ten feet in width. Staff finds that the proposed driveway width should be reduced to be consistent with the Guidelines.
- n. FRONT WALKWAY – Walkways found historically within the Mission Historic District feature a straight connection from the front porch to the sidewalk at the public right of way. The applicant has proposed a front walkway; however, the proposed walkway features an atypical configuration. Staff finds that the proposed walkway should feature a straight profile and a width of three to four feet, per the Guidelines for Site Elements.
- o. MECHANICAL EQUIPMENT – The applicant has not noted the location of mechanical equipment at this time. Staff finds that all mechanical equipment should be screened from view from the public right of way.
- p. LANDSCAPING – At this time the applicant has not provided information regarding landscaping. A detailed landscaping plan should be submitted to OHP staff for review and approval. Landscaping should be consistent with the Guidelines for Site Elements.

RECOMMENDATION:

Staff recommends approval based on findings a through p with the following stipulations:

- i. That the applicant eliminate all gable returns from the proposed roof structure in favor of a sloped soffit.
- ii. That the proposed standing seam metal roof feature panels that are smooth and 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume finish. A darker gray color may also be approved by the Commission. Additionally, staff recommends that columns be six (6) inches square and feature capital and base trim as well as chamfered corners. A column detail is to be submitted to staff for review and approval.
- iii. That the applicant install a wood or aluminum clad wood windows that is consistent with staff's standard specifications for windows in new construction, as noted in finding j.
- iv. That the applicant reduce the driveway width to no more than ten (10) feet in width as noted in finding m, and that a solid front walkway with a straight profile be added as noted in finding n.
- v. That all mechanical equipment be screened from view from the public right of way, and that a detailed landscaping plan be submitted to staff as noted in findings o and p.

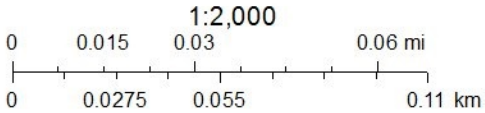
A foundation inspection must be scheduled with OHP staff to ensure that appropriate setbacks are being installed. The foundation inspection shall be scheduled prior to the pouring of the foundation.

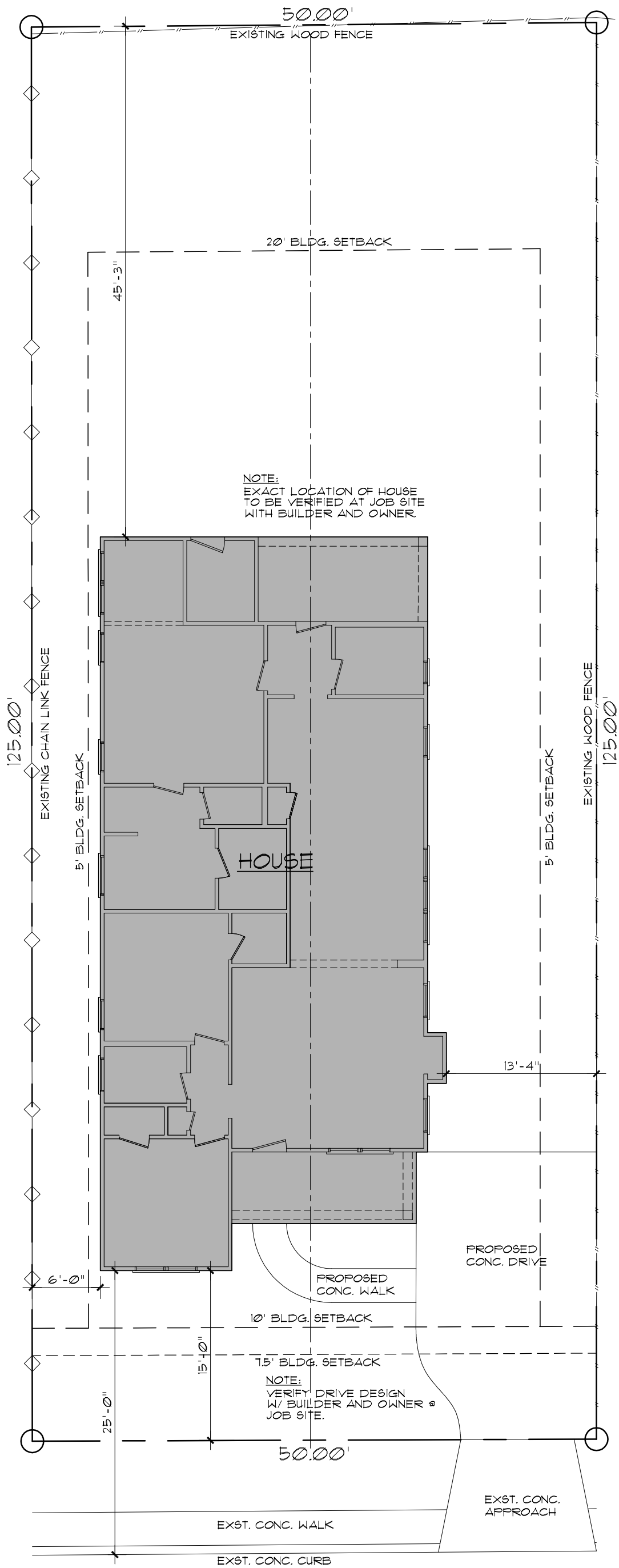
A roofing inspection must be scheduled with OHP staff to ensure that an industrial or large ridge cap is not installed. The roofing inspection shall be scheduled prior to the installation of roofing materials.

City of San Antonio One Stop



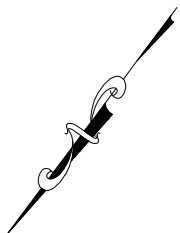
May 28, 2021





106 PARKVIEW DR

PARKVIEW SUB.
LOT - 5#6
N.C.B. - 6919



SITE PLAN

SCALE: 1/8" = 1'-0"









Parkview Dr

Avon Ct

Parkview Dr

Parkview Dr

Parkview Dr

25.14 ft

106 Parkview Dr, San Antonio, TX 78210

104

102

108

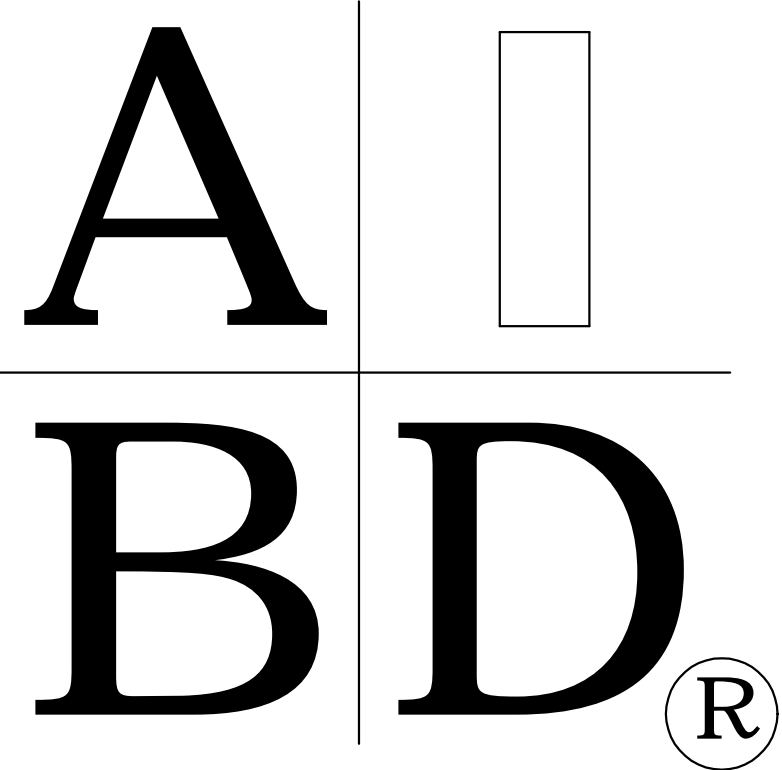
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MATTHEW LONGORIA

106 PARKVIEW DR



STANDARD ABBREVIATIONS

@	AT	JT.	JOINT
#	POUND(S)	JST.	JOIST
		JSTS.	JOISTS
APPROX. APPROXIMATELY			
BASE.	BASEMENT	LT.	LIGHT
B/T	BETWEEN	LIN.	LINEN
BLK.	BLOCK	MANUF.	MANUFACTURER
BLK'G	BLOCKING	MAS.	MASONRY
BD.	BOARD	MAX.	MAXIMUM
BRD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING		
		N.I.C.	NOT IN CONTRACT
CAB.	CABINET	O.C.	ON CENTER
CLG.	CEILING	O/C	ON CENTER
CLR.	CLEAR	OPT.	OPTIONAL
CLOS.	CLOSET	O.S.B.	ORIENTED STRAND BOARD
COL.	COLUMN	OTS	OWNER TO SELECT
COLS.	COLUMNS	O.T.S	OWNER TO SELECT
CONC.	CONCRETE		
CMU	CONCRETE MASONRY UNIT	PG.	PAGE
C.U.	CONDENSOR UNIT	PAN.	PANTRY
CONN.	CONNECTION	PL.	PLATE
CONT.	CONTINUOUS	P	PLATE
COVER'G	COVERING	PLY'WD	PLYWOOD
CS	CRAWL SPACE	PLYWD	PLYWOOD
DECO.	DECORATIVE	POLY.	POLYETHYLENE
DET.	DETAIL	PSI	POUNDS PER SQUARE INCH
DIA.	DIAMETER	PRE-FAB	PREFABRICATED
DW.	DISHWASHER		
DBL.	DOUBLE	RE.	REFERENCE
DF.	DOUGLAS FIR	REF.	REFRIGERATOR
D	DRYER	REINF.	REINFORCED
		R	RESISTANCE
EA.	EACH	R.A.	RETURN AIR
ELEV.	ELEVATION	R.A.G.	RETURN AIR GRILLE
ENG.	ENGINEER	REQ'D	REQUIRED
		SCR.	SCREEN
FT.	FEET	SHLVS.	SHELVES
F.F.L.	FINISHED FLOOR LINE	SHR.	SHOWER
FIN.	FINISH	SHWR.	SHOWER
F.C.	FIRE CODE	SST.	SIMPSON STRONG TIE
FLR.	FLOOR	SP	SOUTHERN PINE
FTG.	FOOTING	SPECS.	SPECIFICATIONS
FOUND.	FOUNDATION	SQ.	SQUARE
FND.	FOUNDATION	S.F.	SQUARE FOOTAGE
FR.	FREEZER	STL.	STEEL
		THK.	THICK
GA.	GAUGE	THK.	THICKNESS
GALV.	GALVANIZED	TBD.	TO BE DETERMINED
GYP.	GYPSUM	TR.	TRANSOM
		TYP.	TYPICAL
HDR.	HEADER	U.T.C.	UNDER THE COUNTER
HVAC	HEATING, VENTILATION & AIR CONDITIONING	UTIL.	UTILITY
HT.	HEIGHT		
HTS.	HEIGHTS	VAN.	VANITY
HORIZ.	HORIZONTAL	VERT.	VERTICAL
		WH	WATER HEATER
IN.	INCHES	W	WASHER
INCL.	INCLUDE	WT.	WEIGHT
INSUL.	INSULATION	WIN.	WINDOW
		W.M.	WIRE MESH
		W/	WITH
		WD.	WOOD
		WFCM	WOOD FRAME CONSTRUCTION MANUAL

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- 3 FLOOR PLAN & ELECTRICAL
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- 6 CROSS SECTION & CABINETS
- 7 ROOF PLAN



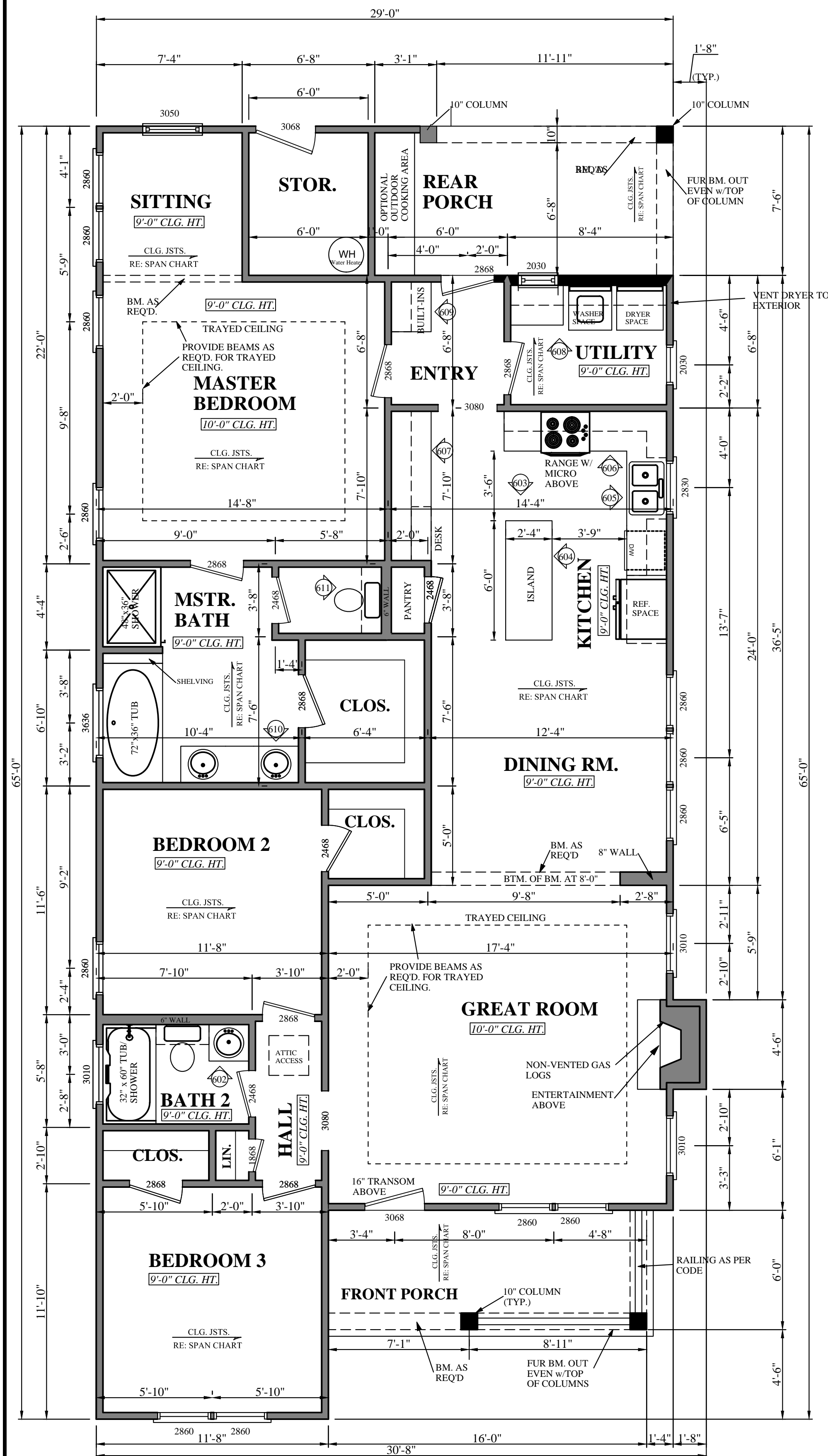
CODE DISCLAIMER:
1. THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2015 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

Date:
06.16.11




























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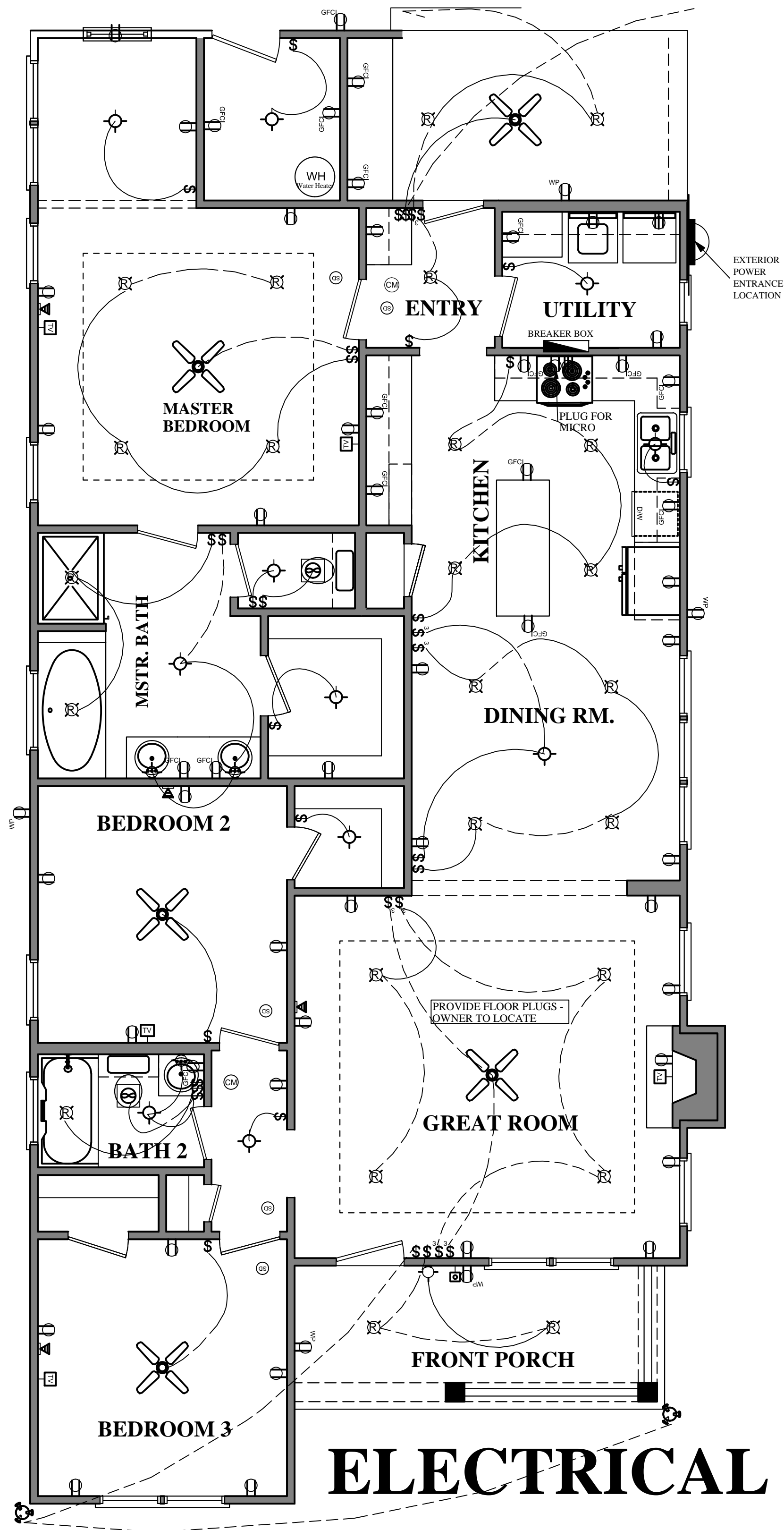
SHEET NUMBER

1



AREAS:	1550	S.F. HEATED
	96	S.F. UNHEATED - FRONT PORCH
	113	S.F. UNHEATED - REAR PORCH
	45	S.F. UNHEATED - STORAGE
	496	S.F. UNHEATED - GARAGE
	750	S.F. TOTAL UNHEATED
	2300	S.F. TOTAL UNDER ROOF

ELECTRICAL SYMBOLS LEGEND		
SYMBOL	110 VOLT	DESCRIPTION
	GROUND FAULT PROTECTED OUTLET	
	WEATHERPROOF OUTLET	
	RECEPTACLE (OWNER TO LOCATE)	
	CEILING HUNG FIXTURE	
	OVERHANG MOUNTED FLOODLIGHTS	
	WALL MOUNTED FLOODLIGHTS	
	RECESSED CEILING FIXTURE	
	FLUORESCENT LIGHT	
	CARBON MONOXIDE DETECTOR	
	SMOKE DETECTOR	
	SWITCH	
	THREE WAY SWITCH	
	POWER SWITCH (OWNER TO LOCATE)	
	POP ACTIVATED SWITCH	
	DATA NETWORK JACK (OWNER TO LOCATE)	
	TELEPHONE OUTLET (OWNER TO LOCATE)	
	TELEVISION OUTLET (OWNER TO LOCATE)	
	PULL BUTTON (CONTRACTOR TO LOCATE)	
	PHONE STAT (CONTRACTOR TO LOCATE)	
	CEILING EXHAUST FAN, VENT TO EXTERIOR	
	CEILING EXHAUST FAN w/LIGHT, VENT TO EXT.	
	AUDIO SPEAKERS	
	CEILING FAN w/LIGHT	
	TRACK LIGHTING (OWNER TO LOCATE)	
	WALL SCONCE (OWNER TO LOCATE)	
	CHANDELIER	
	UNDER COUNTER LIGHTING	





1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.

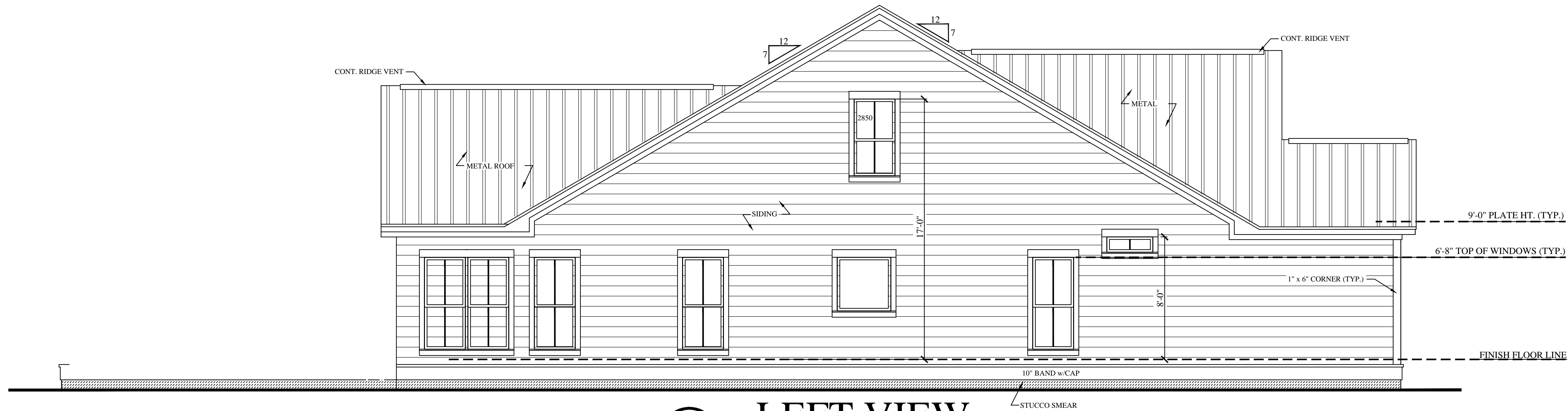




501 RIGHT VIEW
SCALE----- 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. BASED ON SITE CONDITIONS.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.



502 LEFT VIEW
SCALE----- 1/4" = 1'-0"

Plan ID:



House Plan Zone, LLC

House Plan Zone, LLC.

Fax: 1-800-574-1387

Email: HPZplans@comcast.net

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans assumes all responsibility for any damages, including structural failures, resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.

A B D

MATTHEW LONGORIA

106 PARKVIEW DR

SAN ANTONIO TEXAS 78210

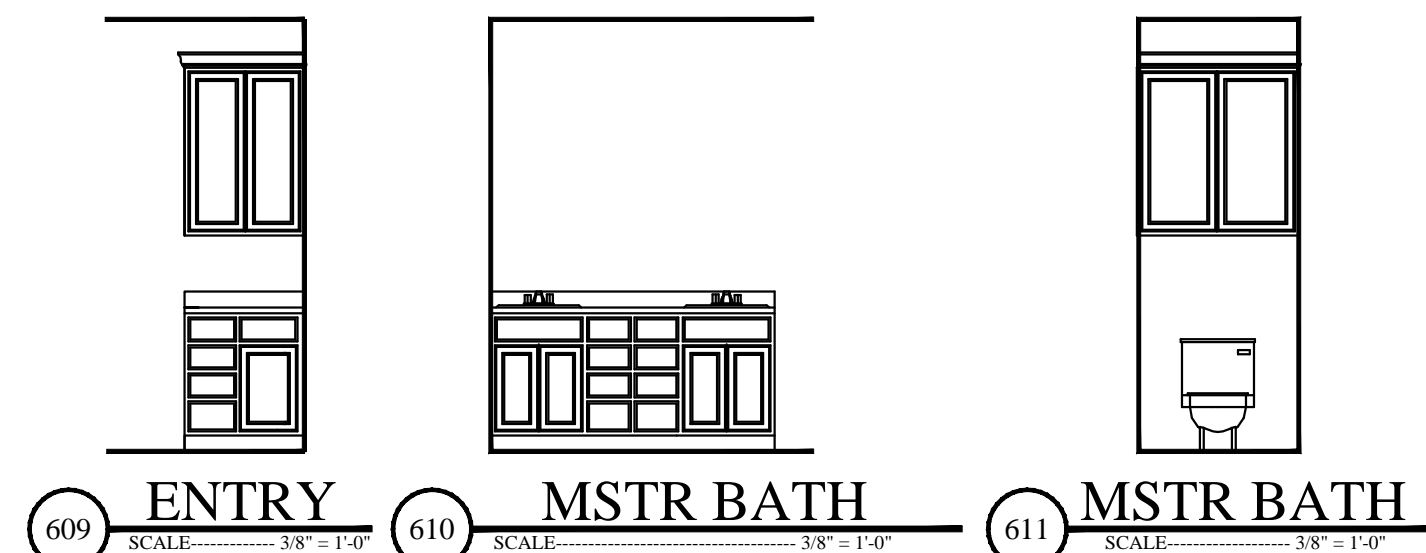
Date: 3/5/2021

Drawn By: C.T.B.

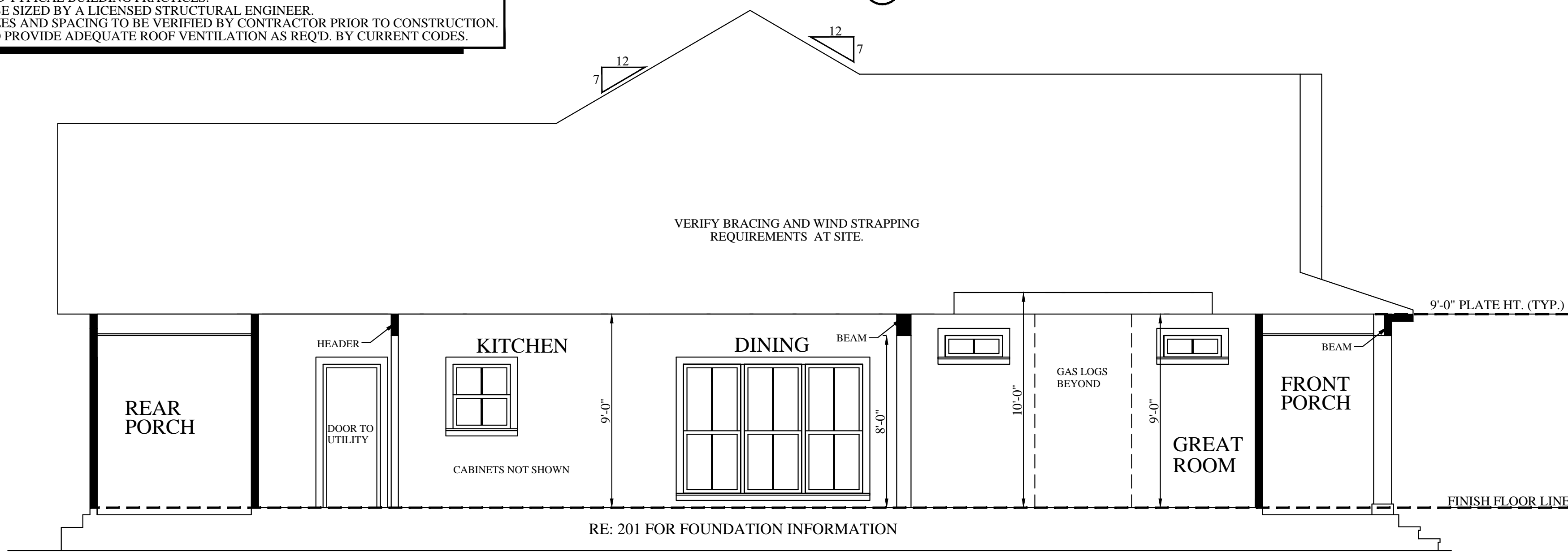
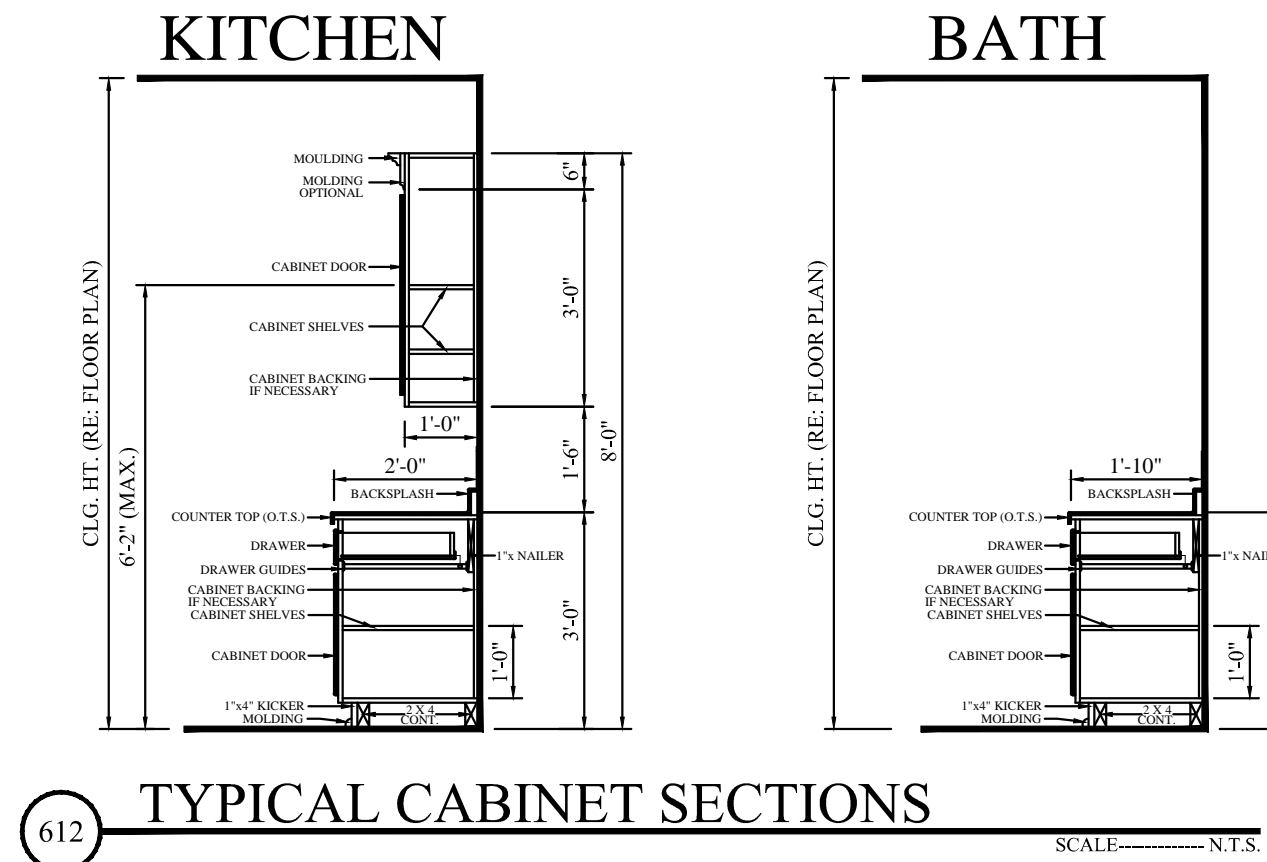
PLAN BB-1550-2

SHEET NUMBER

5



- CROSS SECTION NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
 3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
 4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
 5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
 6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



601 CROSS SECTION SCALE: 3/8" = 1'-0"

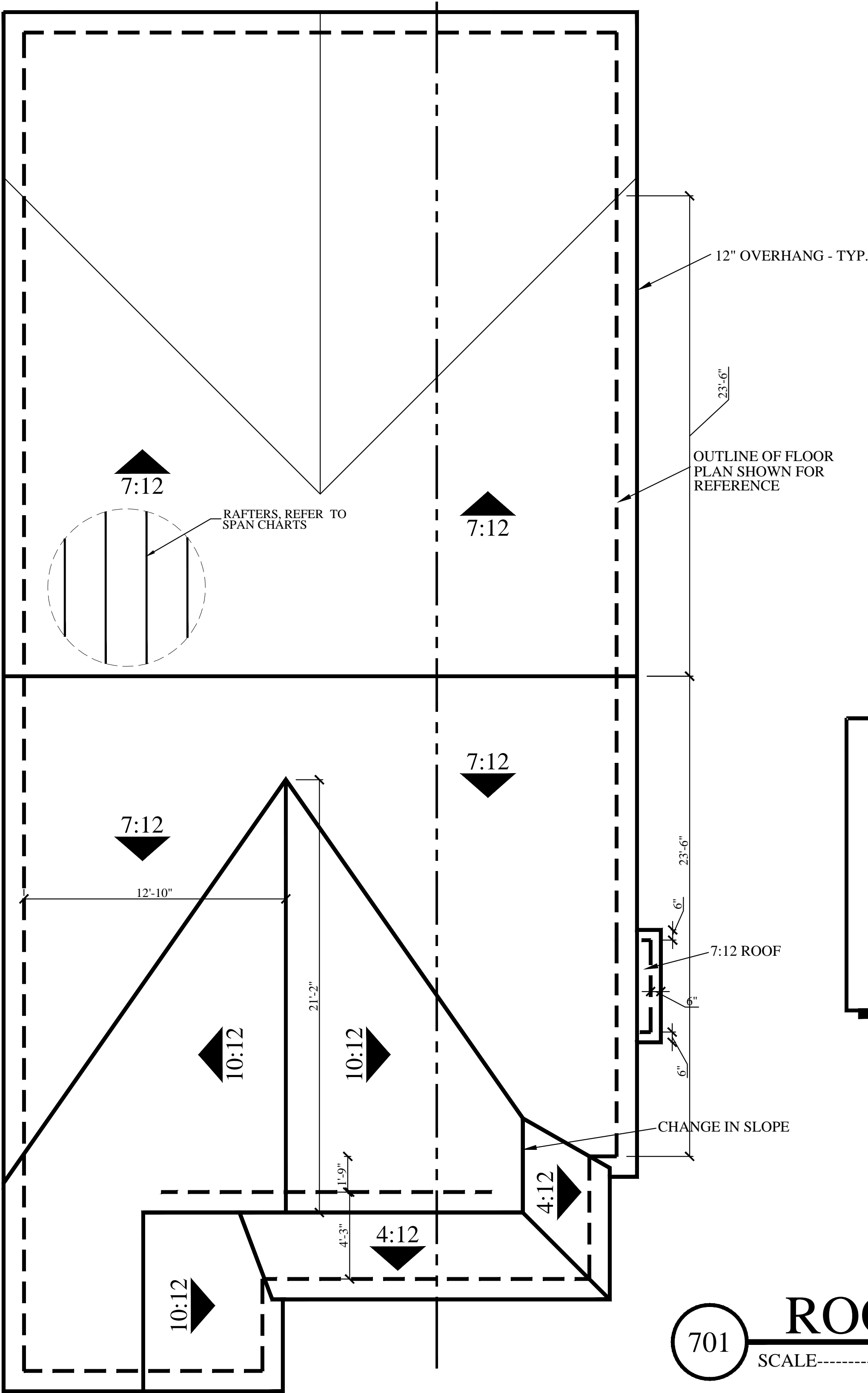


House Plan Zone, LLC.
Email: Sales@HPZplans.com Fax: 1-800-574-1387

MATTHEW LONGORIA
106 PARKVIEW DR
SAN ANTONIO TEXAS

Date: 06.16.12
Drawn By: C.T.B.

SHEET NUMBER
6



RAFTER LENGTH CHART		
ROOF PITCH		FACTOR
3/12		1.05
4/12		1.07
5/12		1.10
6/12		1.14
7/12		1.17
8/12		1.20
9/12		1.25
10/12		1.30
11/12		1.35
12/12		1.40
14/12		1.54
16/12		1.70
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR. CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.		

HIP/ VALLEY CONVERSION				
IF COMMON RAFTER ROOF PITCH IS...			THEN HIP/ VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/ RUN	SLOPE		RISE/ RUN	SLOPE
1/12	5°		1/17	3°
2/12	10°		2/17	7°
3/12	14°		3/17	10°
4/12	18°		4/17	13°
5/12	23°		5/17	16°
6/12	27°		6/17	19°
7/12	30°		7/17	22°
8/12	34°		8/17	25°
9/12	37°		9/17	28°
10/12	40°		10/17	30°
11/12	42°		11/17	33°
12/12	45°		12/17	35°
CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.				

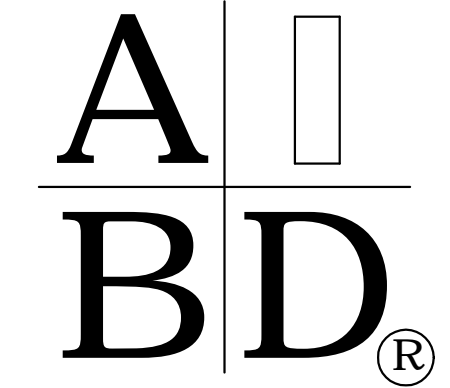
ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES LIVE LOAD=30psf, DEAD LOAD = 10psf		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2
NOTES: The above tables are based on the IRC 2015 TABLE R802.5.1(3)		

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 20psf, DEAD LOAD = 10psf) =240)		
IF HABITABLE ATTIC SPACE OR STORAGE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9
NOTES: The above tables are based on the IRC 2015 TABLE R802.4(2)		

House Plan Zone, LLC.
Email: HPZplans@comcast.net Fax: 1-800-574-1387



MATTHEW LONGORIA
106 PARKVIEW DR
SAN ANTONIO TEXAS 78210

Date: 06.16.11
Drawn By: C.T.B.

SHEET NUMBER
7

FOUNDATION GENERAL NOTES:

1. GENERAL: THE CODE BASIS FOR THIS FOUNDATION DESIGN IS IRC 2018.
- A. THIS FOUNDATION HAS BEEN DESIGNED AS A SOIL SUPPORTED STIFFENED GRID TYPE BEAM AND SLAB FOUNDATION, AND AS SUCH, WILL MOVE WITH THE SOILS UPON WHICH IT BEARS.
- B. CONTRACTOR IS TO VERIFY ALL DIMENSIONS, DROP AREAS, FLOOR PENETRATIONS, AND BLOCK OUT LOCATIONS WITH THE ARCHITECT'S FLOOR PLAN. THE CONTRACTOR SHALL VERIFY ANY DEVIATION FROM THE INFORMATION ON THIS FOUNDATION DESIGN WITH GE REAVES ENGINEERING.
- C. THE CONTRACTOR/ARCHITECT SHALL NOTIFY GE REAVES ENGINEERING OF ANY INCONSISTENCIES, OMISSIONS, OR ERRORS IN THESE PLANS, AND THE ENGINEER'S DECISION AS TO REVISIONS SHALL BE FINAL.
- D. THE CONTRACTOR SHALL NOT PLACE ANY CONCRETE UNTIL GE REAVES ENGINEERING HAS CONDUCTED A PRE-POUR INSPECTION AND HAS GIVEN APPROVAL TO PLACE THE CONCRETE. PLEASE CONTACT THE GE REAVES ENGINEERING OFFICE 24 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.
- E. CONTRACTOR IS TO CALL GE REAVES ENGINEERING STRUCTURAL DEPT. IF FOUNDATION REQUIRES MULTIPLE CONCRETE POURS OF THREE (3) OR MORE.
- F. CONTRACTOR SHALL FURNISH THE LABOR, MATERIALS, EQUIPMENT AND SUPERVISION NECESSARY TO PERFORM ALL WORK SHOWN ON PLANS AND SPECIFICATIONS.
- G. IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO NOTIFY THE HOMEOWNER OF THE IMPORTANCE OF ITEMS 2C AND 2D BELOW AND OF THE LIMITATIONS AS EXPRESSED IN ITEM NO. 1 ABOVE. NO OTHER WARRANTIES ARE EXPRESSED OR IMPLIED.
2. FOUNDATION SITE PREPARATION & FINISH:
- A. AREA OF FOUNDATION IS TO BE CLEARED AND GRUBBED OF ALL DELETERIOUS AND ORGANIC MATERIALS DOWN TO A SOLID BASE.
- B. PROVIDE A VAPOR BARRIER BENEATH THE FLOOR SLAB BY USING A WATERPROOFING MEMBRANE OF 6 MIL POLYETHYLENE. THE MEMBRANE SHALL BE TAPED AT ALL SPICES AND TEARS. THE MEMBRANE SHALL EXTEND TO WITHIN 6-INCHES OF THE BOTTOM OF THE BEAM TRENCHES.
- C. POSITIVE DRAINAGE AWAY FROM THE PERIMETER OF THE FINISHED FOUNDATION MUST BE PROVIDED. THE TOP OF THE FOUNDATION SLAB SHOULD BE A MINIMUM OF 8-INCHES ABOVE THE FINISHED GRADE. THE GROUND ADJACENT TO THE FOUNDATION SHOULD SLOPE AWAY A MINIMUM OF 6-INCHES IN THE FIRST 5-FEET.
- D. FOUNDATION FORMS ARE TO BE SITUATED SUFFICIENTLY HIGH ENOUGH ABOVE GRADE TO ALLOW FOR FINAL GRADES TO PROVIDE DRAINAGE TO CONFORM TO THE CURRENT IRC SPECIFICATIONS. GRE INC. PRE-POUR OBSERVATIONS WILL INCLUDE A PASS/FAIL COMMENT ISSUED BY THE FIELD INSPECTOR. FIELD INSPECTION WILL INCLUDE MEASUREMENTS FROM THE PROPOSED TOP OF CONCRETE TO EXISTING GRADE AT A MINIMUM OF FOUR (4) EXTERIOR CORNERS. THE MINIMUM FORM HEIGHT ABOVE CONSTRUCTION GRADE IS TO BE 12 INCHES. PROPER DRAINAGE IS THE RESPONSIBILITY OF THE BUILDER.
- E. ALL TREES PLANTED AFTER PLACEMENT OF THE FOUNDATION SHOULD BE PLANTED NO CLOSER TO THE FOUNDATION THAN ONE-HALF THE POTENTIAL HEIGHT OF THE TREE.
- F. ALL AIR CONDITIONING CONDENSER DRAIN LINES SHOULD DISCHARGE A MINIMUM OF 5-FEET FROM THE PERIMETER OF THE FOUNDATION.
- G. FILL MATERIAL SHALL MEET TxDOT TYPE A, GRADE 1 OR 2 FLEXIBLE BASE REQUIREMENTS. A MINIMUM OF 6" OF SELECT FILL MATERIAL IS REQUIRED.
3. CONCRETE:
- A. CONCRETE IS TO BE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, AND SHALL BE IN ACCORDANCE ACI 301. CEMENT SHALL BE TYPE I AND FLY ASH (IF USED) SHALL BE MONEX RESOURCES CLASS C. IF FLY ASH IS USED, IT SHALL NOT EXCEED 20% OF THE TOTAL AMOUNT OF FLY ASH AND CEMENT USED BY WEIGHT. CONTRACTOR SHALL SATISFY HIMSELF THAT THE MIX DESIGN IS ACCEPTABLE FOR ITS INTENDED PURPOSE.
- B. CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH ACI 302.1R. FINISH TOLERANCE SHALL BE IN ACCORDANCE WITH ACI 117. A MINIMUM SET OF TWO TEST CYLINDERS FOR 28-DAY COMPRESSIVE STRENGTH TESTS ARE RECOMMENDED TO BE PERFORMED IN ACCORDANCE WITH ASTM C39.
4. GRADE BEAMS:
- A. GRADE BEAM DEPTHS MAY BE REDUCED TO A MINIMUM OF 14-INCHES IF THE BEAM IS BEARING ON SOLID ROCK. REDUCED BEAM LENGTHS ARE LIMITED TO A MAXIMUM OF 5'-0" IN ANY 20'-0" RUN. IF ADDITIONAL REDUCED LENGTHS ARE NEEDED, CONTACT THE ENGINEER FOR ADDITIONAL REQUIREMENTS.
- B. FOR GRADE BEAMS WITH DEPTHS EQUAL TO OR IN EXCESS OF 36-INCHES, INCREASE THE AMOUNT OF REINFORCING STEEL BY ADDING TWO-#4 BARS HORIZONTALLY EVERY 18-INCHES OF VERTICAL. IF THE EXTERIOR GRADE BEAMS EXCEED 8-FEET IN DEPTH, SEE DETAIL 15 PER THIS DRAWING.
5. REINFORCING STEEL:
- A. REINFORCING BARS SHALL BE NEW BILLET STEEL, DEFORMED BARS, CONFORMING TO ASTM A615-03 GRADE 60.
- B. LAPS AND SPICES: MINIMUM 40 BAR DIAMETERS.
- C. ALL BEAM AND SLAB REINFORCING BARS SHALL BE SUPPORTED WITH PLASTIC CHAIRS OR CONC. BRICKS IN ACCORDANCE WITH IRC CHAPTER 19, SECTIONS 1907.5 THROUGH 1907.7, AND ACI 318 SECTION 7.6. CHAIRS FOR SLAB REINFORCING SHALL BE PLACED AT BAR INTERSECTIONS AT A RATE OF NO LESS THAN ONE (1) CHAIR PER 4 SQUARE FEET OF SLAB AREA. THE USE OF CLAY BRICK CHAIRS IS EXPRESSLY PROHIBITED.
- D. ALL BARS SHALL HAVE A MINIMUM CLEAR COVER OF 3-INCHES FROM THE BOTTOM AND SIDES OF THE BEAMS. SLAB REINFORCEMENT SHALL BE IN MID PLANE.
- E. CORNER REINFORCING BARS: TWO CORNER BARS AT EACH CORNER OF THE PERIMETER GRADE BEAM/WALL, AS PER DETAIL 17, AND FOUR CORNER BARS AT THE INTERSECTION OF ALL INTERIOR GRADE BEAMS WITH THE PERIMETER GRADE BEAM/WALL, AS PER DETAIL 18.
6. CONSTRUCTION:
- A. FOR ALL FOUNDATION DROPS IN EXCESS OF 3-FEET, THE CONTRACTOR SHALL CONSTRUCT A FRENCH DRAIN SYSTEM OF CAPACITY SUFFICIENT TO INTERCEPT AND TRANSPORT WATER FROM BENEATH THE FOUNDATION TO A POINT AWAY FROM THE FOUNDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE DIRECTION OF FLOW AND POINT OF DISCHARGE TO DAYLIGHT. THE DISCHARGE OUTLET IS TO BE A MINIMUM OF 5-FT AWAY FROM FOUNDATION. SOLID WALL PIPE SHALL BE USED OUTSIDE OF FOUNDATION. WRAP ALL PERFORATED PIPE AND FILTER GRAVEL WITH MIRAFI N-SERIES OR EQUAL FILTER FABRIC. REFER TO DETAIL 20.
- B. ALL FOUNDATIONS THAT ARE TO HAVE A FILL DEPTH GREATER THAN 2-FEET BELOW BOTTOM OF INTERIOR GRADE BEAMS SHALL MEET ONE OF THE FOLLOWING:
1. INTERIOR GRADE BEAMS MAY BE DEEPENED TO MAINTAIN 2-FEET MAXIMUM DEPTH OF FILL BELOW BOTTOM OF BEAM. INTERMEDIATE BARS PER NOTE 4-B SHALL BE ADDED IF REQUIRED.
 2. IF BEARING OVER SOLID ROCK - 14-INCHES DIA. PIERS, FORMED WITH SONO-TUBES, SHALL BE PLACED AT ALL INTERIOR GRADE BEAM INTERSECTIONS. PIERS ARE TO BE REINFORCED WITH A MINIMUM OF FOUR-#4 VERTICAL BARS WITH #3 TIES @ 12-INCHES O.C. VERTICALLY; REFER TO DETAIL 13.
 3. IF EARTH SUPPORTED - SELECT FILL EQUAL TO TxDOT NO. 2 BASE, 15 P.I. MAX., SHALL BE PLACED IN 8-INCH LOOSE LIFTS AND CONSOLIDATED USING VIBRATORY METHOD.
 4. ALTERNATIVELY, IF EARTH SUPPORTED - CRUSHED LIMESTONE BASE FILL WITH 100% PASSING A 1 1/2-INCH SIEVE, AND 0% PASSING NO. 4 SIEVE, 15 P.I. MAX., CAN BE PLACED WITHOUT COMPACTION.
- C. WHERE PIPES PASS THROUGH BEAMS, INCREASE BEAM SIZE AT PIPE PENETRATIONS TO MAINTAIN MINIMUM BEAM WIDTH AND HEIGHT. PLACEMENT OF OVERSIZED DIAMETER SLEEVES IS ALSO RECOMMENDED.
- D. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE SLAB PERIMETER DURING CONSTRUCTION.
- E. CONCRETE SHALL NOT BE PLACED ON SOILS THAT HAVE BEEN DISTURBED BY RAINFALL OR SEEPAGE, AND ALL BEARING SURFACES SHALL BE FREE OF LOOSE SOIL, PONDED WATER, AND DEBRIS PRIOR TO PLACING THE CONCRETE.
7. CONCRETE SILL ANCHORS:
- A. PLACE 1/2" X 7" EMBEDMENT ANCHOR BOLTS FOR ALL SILL PLATES ON EXTERIOR WALLS. NOT EXCEEDING 4'-0" O.C. AND A MINIMUM OF 2 ANCHOR BOLTS PER WALL. BOLT PLACEMENT SHALL COMMENCE AT 12-INCHES FROM ALL EXTERIOR CORNERS. MAY USE WSA/MASAP MUDSILL ANCHORS PER MANUFACTURER'S GUIDELINES; ALL IN ACCORDANCE WITH IRC SECTION 403.1.6.

SOILS INFORMATION

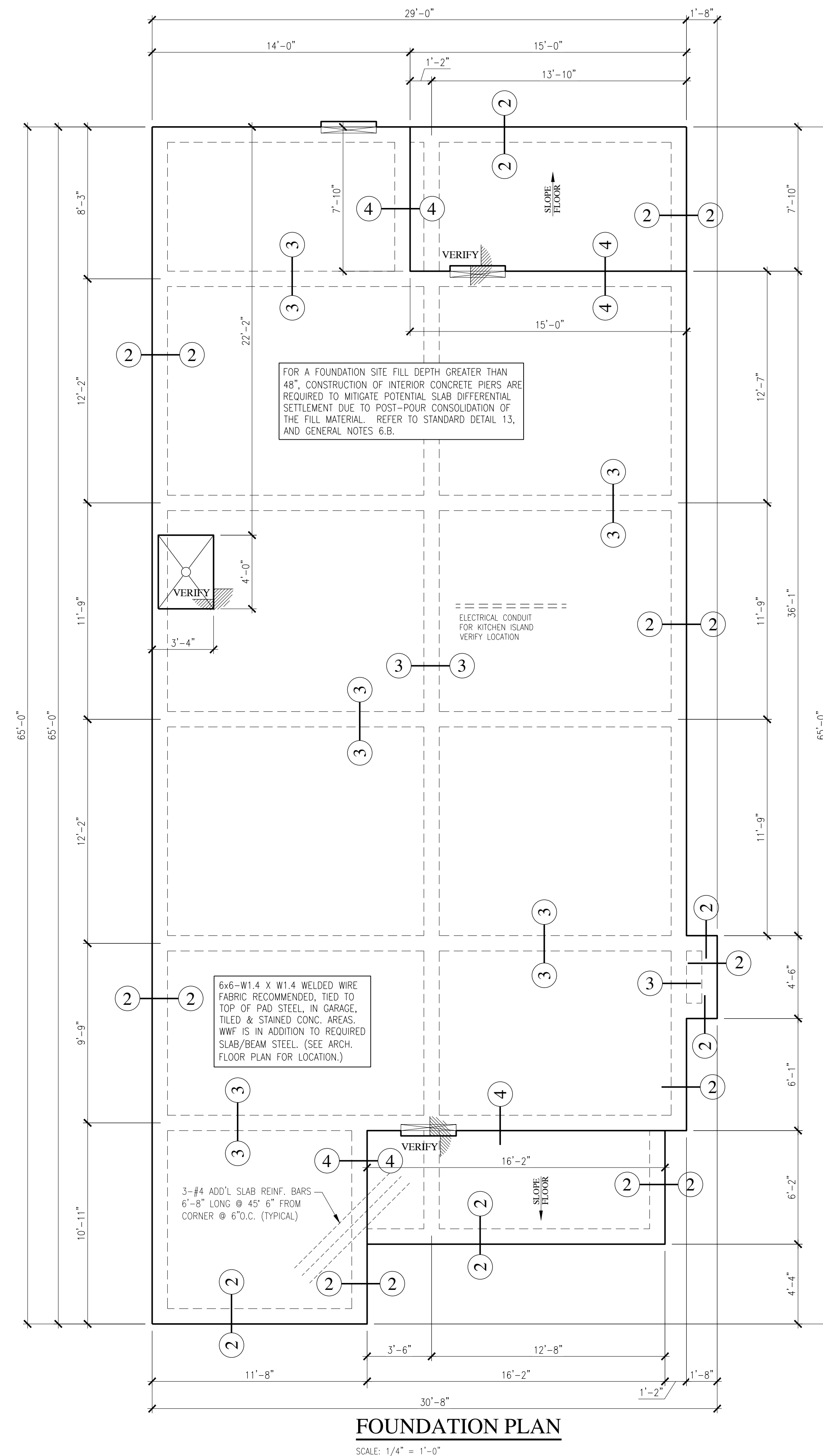
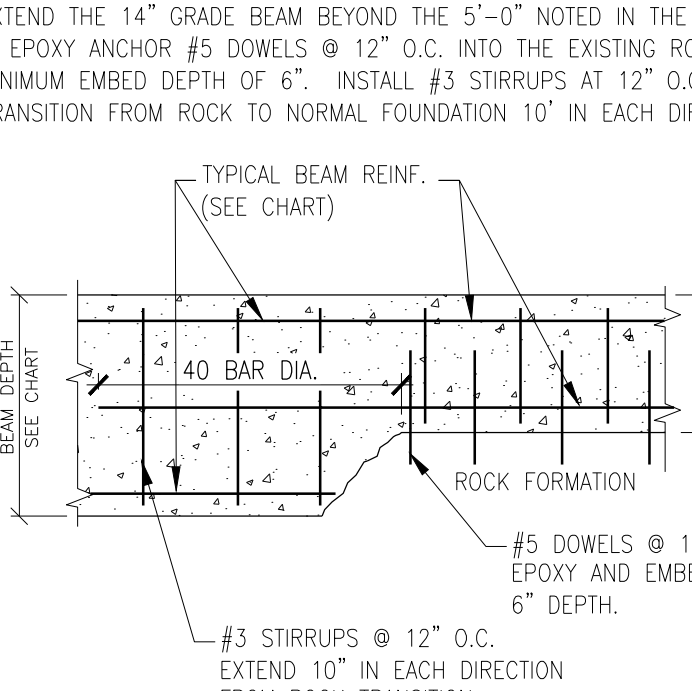
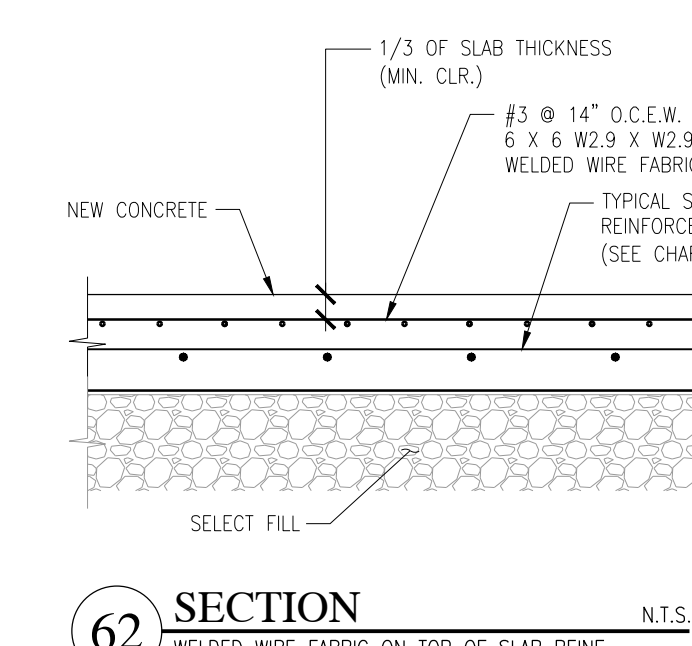
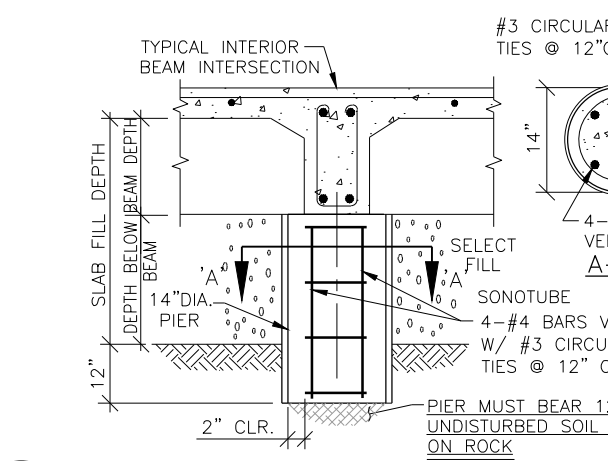
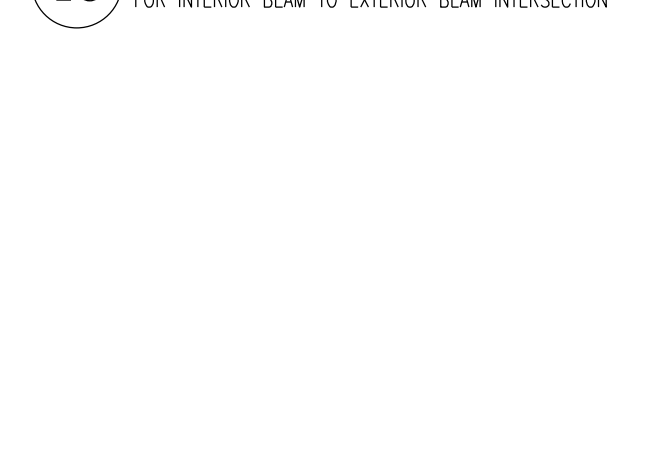
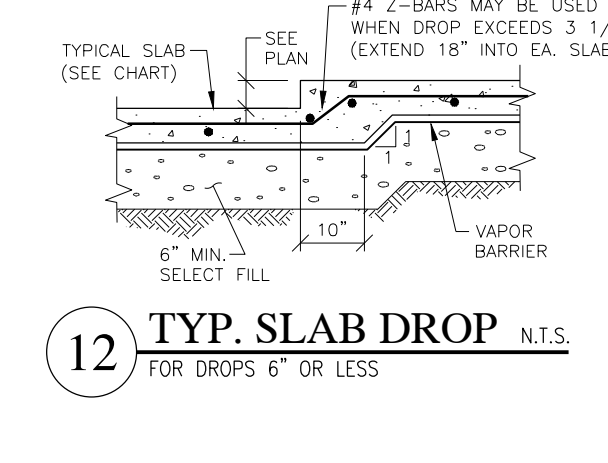
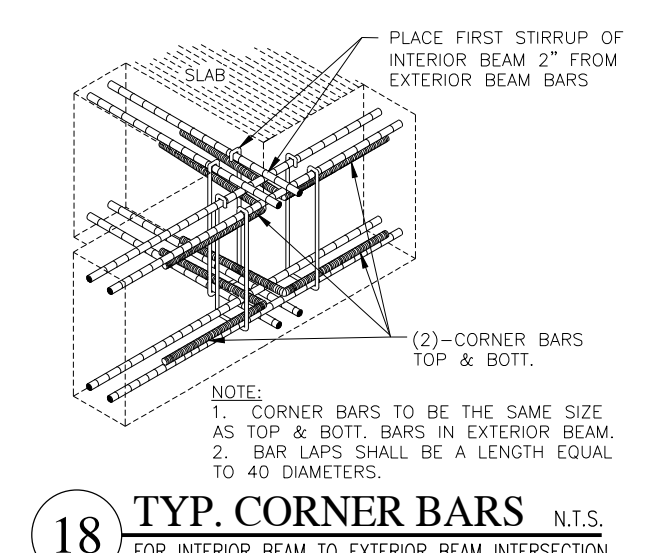
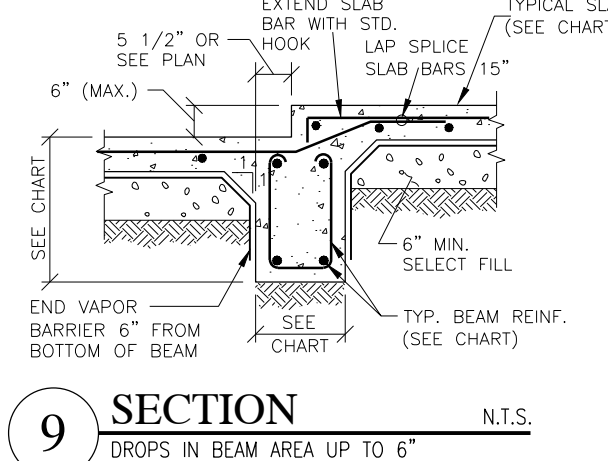
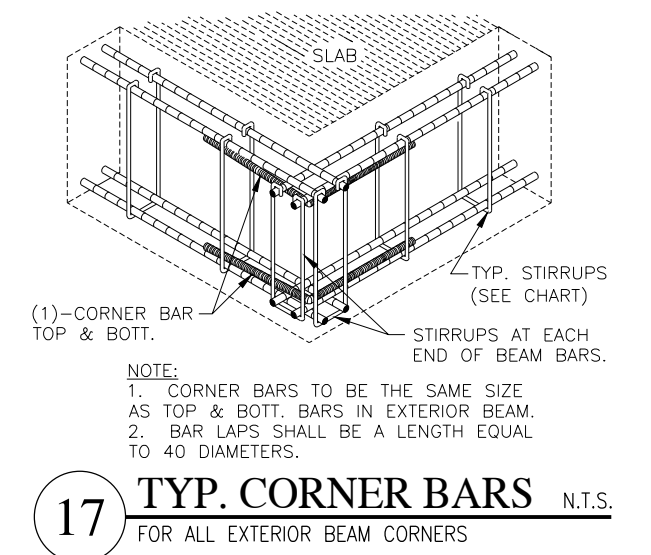
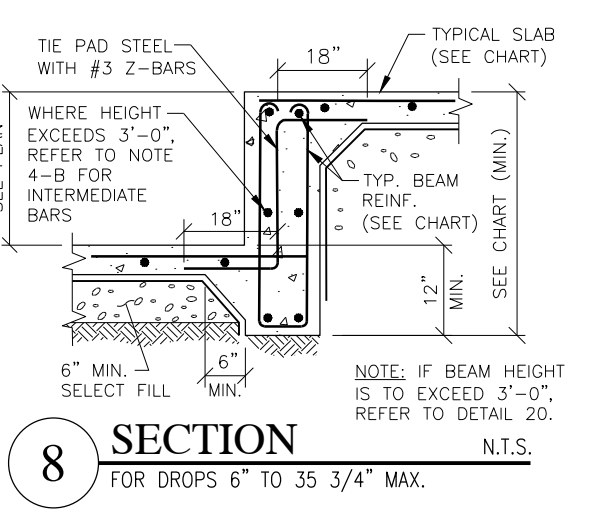
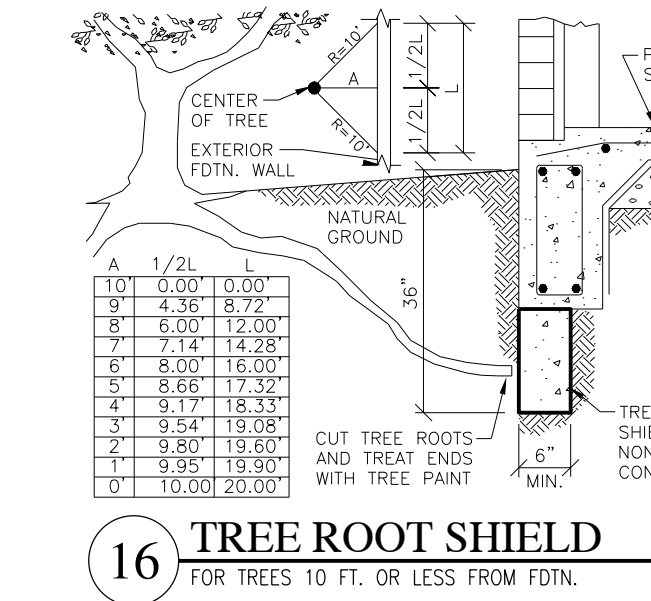
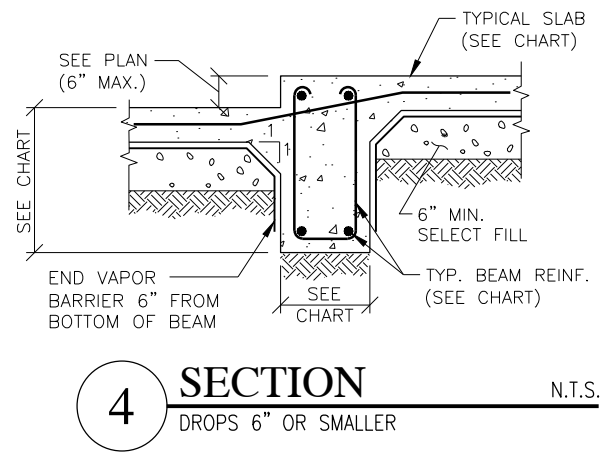
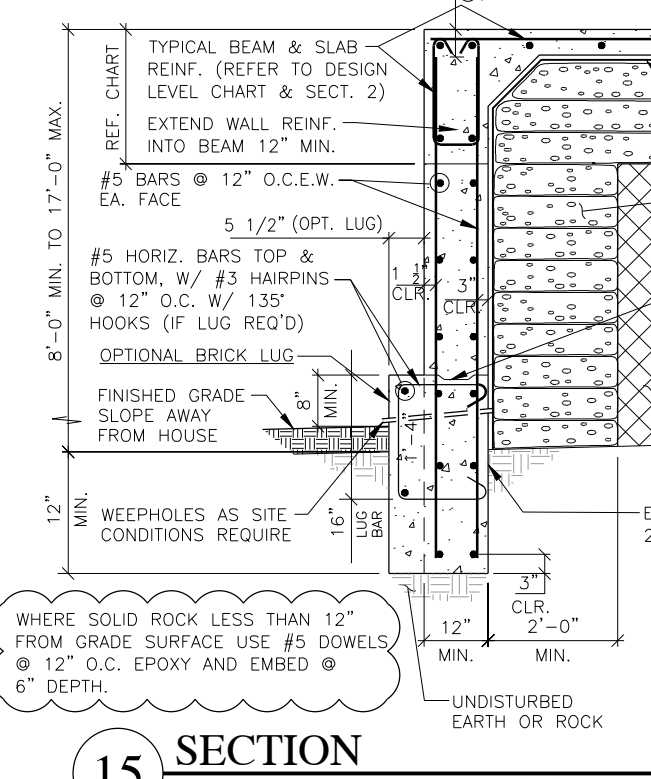
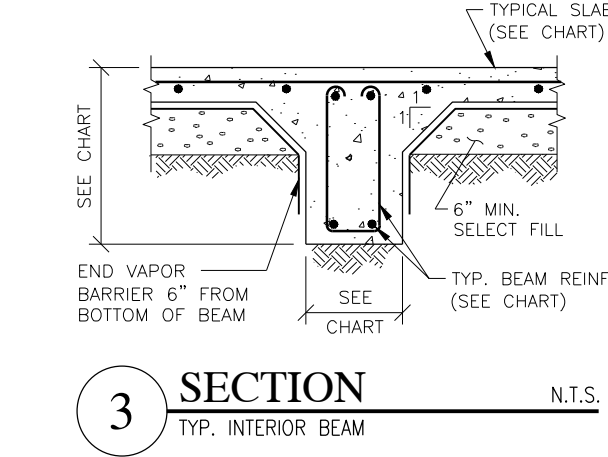
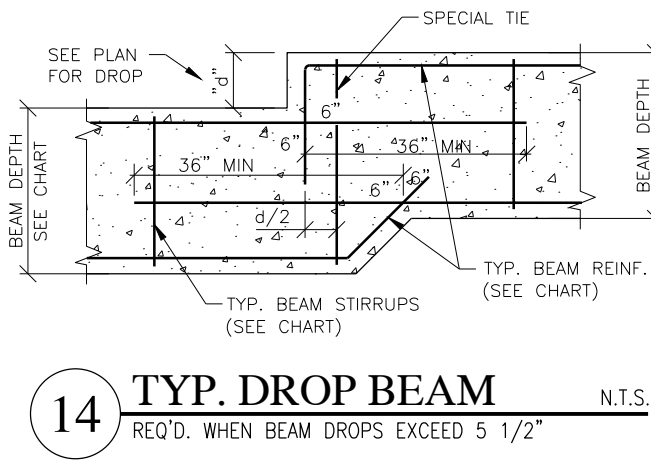
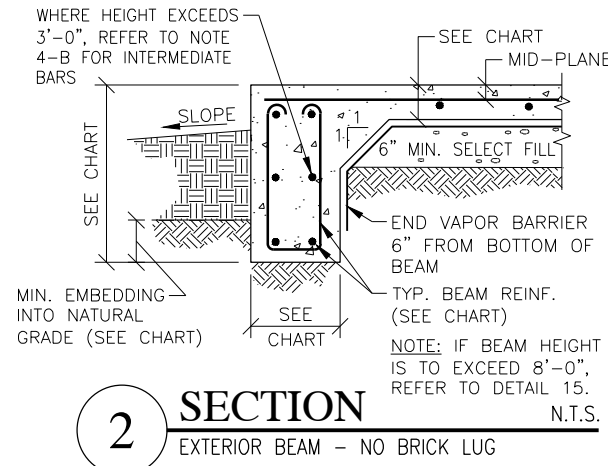
DESIGN LEVEL	SOIL TYPE	P.I.	BY	DATE
B	GRAY BROWN, SILTY CLAY MOIST	35	GEOTECHNICAL SOLUTIONS	MARCH 27, 2021

BEAM AND SLAB INFORMATION

BEAM WIDTH	EXT. BEAM DEPTH	EXT. BM. DEPTH IN GRADE	INT. BEAM DEPTH	BEAM BARS	STIRRUP EXT. BEAM	STIRRUP INT. BEAM	PAD BARS	SLAB THICKNESS
10" MIN.	27" MIN.	12" MIN.	24" MIN.	2-#6 TOP 2-#6 BOT.	#3 @ 21" O.C.	#3 @ 21" O.C.	#14" O.C.	4"

BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, FLOOR PENETRATIONS, DROP AREAS, AND BLOCKOUT LOCATIONS ON SITE.

SQUARE FOOTAGE
1810.19 sf
1-STORY



FOUNDATION PLAN

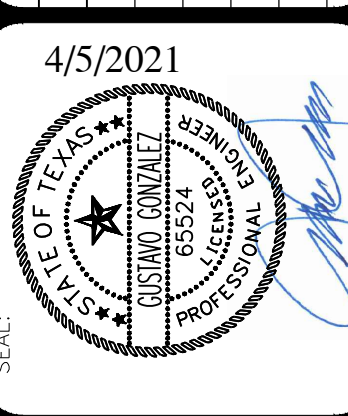
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BUILDER/CONTRACTOR TO VERIFY ALL DIMENSIONS, FLOOR PENETRATIONS, DROP AREAS, AND BLOCK-OUT LOCATIONS ON SITE.

THESE PLANS NOT INTENDED TO BE USED FOR FOUNDATION FORM SETTING. BUILDER/CONTRACTOR SHALL REFER TO THE ARCHITECTURAL FLOORPLAN FOR DIMENSIONS. NOTIFY GE REAVES ENGINEERING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY PHASE OF WORK.

CLIENT: R CHRISTIAN SIGNATURE BUILDERS

NO.	DESCRIPTION	DATE	APPROVED



GE Reaves Engineering
P.O. Box 791793
San Antonio, TX 78279-1793
Texas Registration: F-4861
www.ge-reaves.com

FOUNDATION DESIGN FOR R CHRISTIAN SIGNATURE BUILDERS

106 PARKVIEW DR
LONGORIA RESIDENCE

SHEET TITLE:	JOB NO:	21-0251-2
DATE:	DESIGNER:	4/1/2021 VAF/MBH
CHECKED:	DRAWN:	MER/LFR VAF/MBH
SHEET:		

S-1 OF 1

WOOD SIDING EXAMPLE

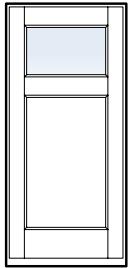




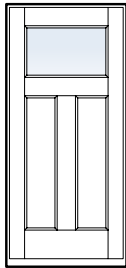
Rectangular

Most Arts & Crafts doors are available in an extensive variety of sizes, including industry-standard widths of 3'0" & 3'6" and heights of 6'8" & 8'0".

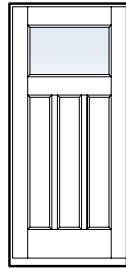
Arts & Crafts



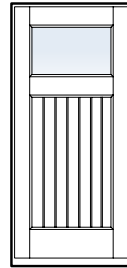
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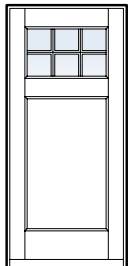
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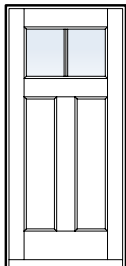
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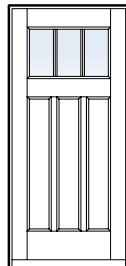
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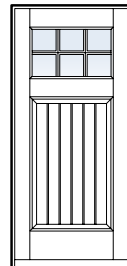
402
with optional
divided light



403
with optional
divided light



404
with optional
divided light



406
with optional
divided light

Arts & Crafts (404)

Shown in oak with Colonnade decorative glass and optional Arts & Crafts shelf. Hardware manufactured by others.

See page 33 for decorative glass patterns.

Arts & Crafts (403)

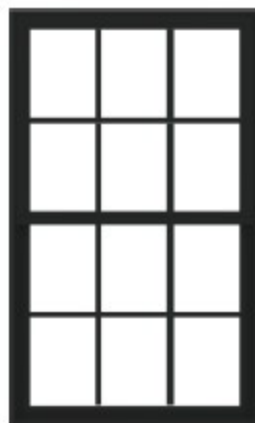
Shown in oak with sidelights (401) and Capri hardware (sold separately).



100 SERIES SINGLE-HUNG WINDOW



Interior



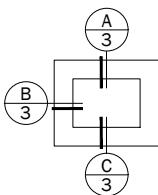
Exterior

Summary

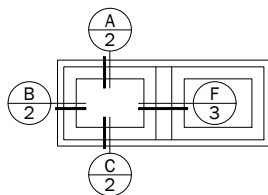
Product ID#	100SHS3050
Unit Width	35 1/2"
Unit Height	59 1/2"
Interior Color	Black
Glass	Low-E Glass
Hardware	Metal Slim Line Lock, Black
Grille Pattern	Colonial
Grille Width	3/4"
Exterior Color	Black

100 Series

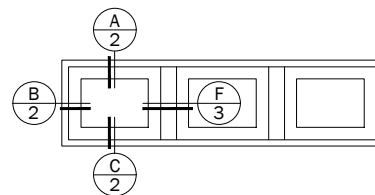
Single-Hung Windows Without Flange



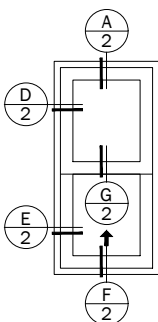
Single Transom



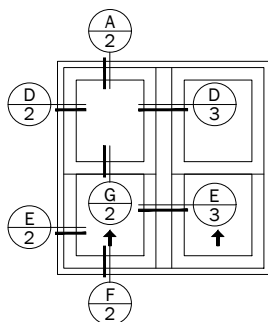
Twin Transom



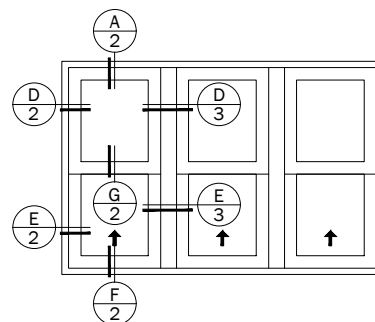
Triple Transom



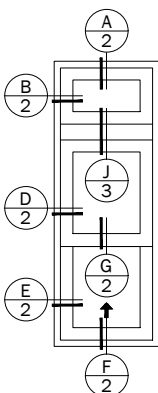
Single-Hung



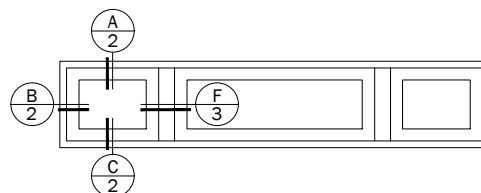
Twin Single-Hung



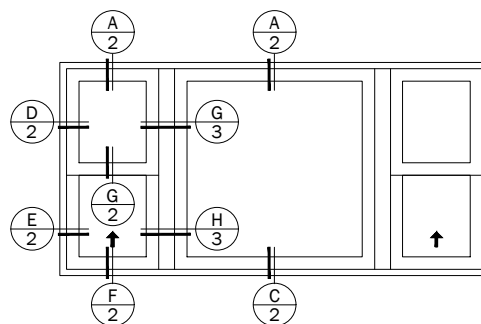
Triple Single-Hung



Transom over Single-Hung



Transom for Picture with Flankers



Picture Window with Flanking Single-Hungs

Notes:

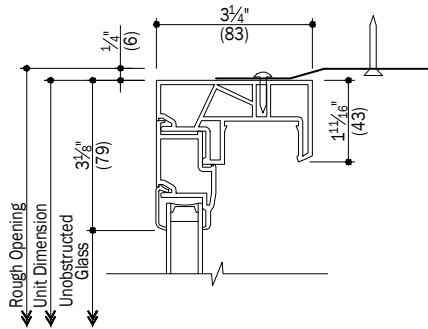
Details have been optimized for use in architectural software and do not match manufacturing specifications.
Dimensions in parentheses are in millimeters.

See Page 4 for Accessories

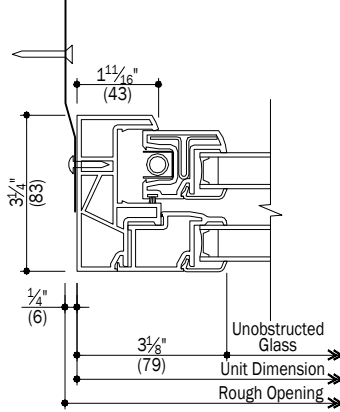
Date: 02/05/18
Scale: None

100 Series

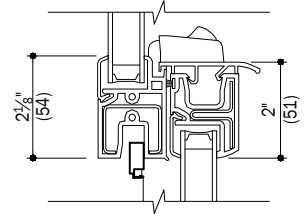
Single-Hung Windows Without Flange



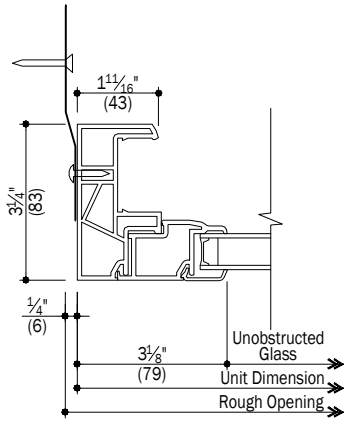
A Head
2 Operating & Stationary



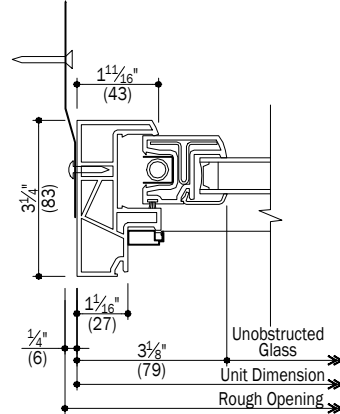
D Jamb
2 Operating Above Check Rail



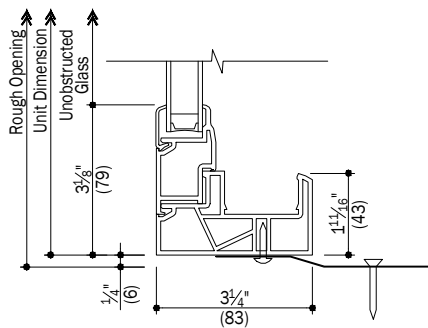
G Check Rail
2



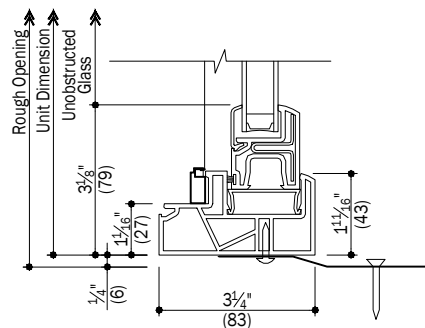
B Jamb
2 Stationary



E Jamb
2 Operating Below Check Rail



C Sill
2 Stationary



F Sill
2 Operating

Notes:

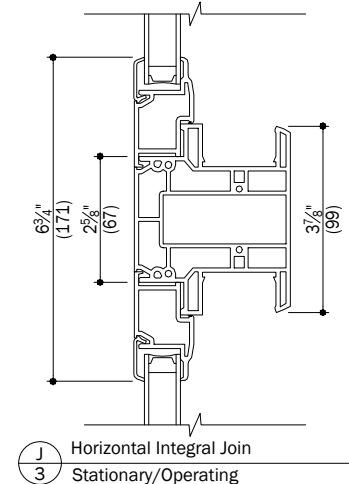
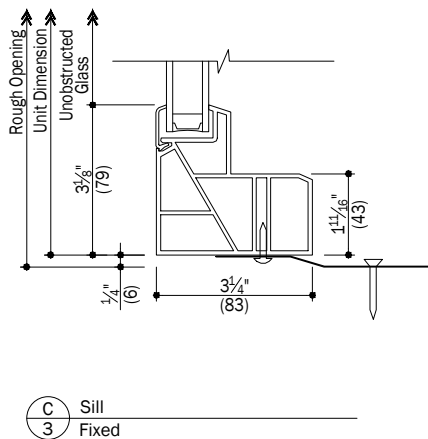
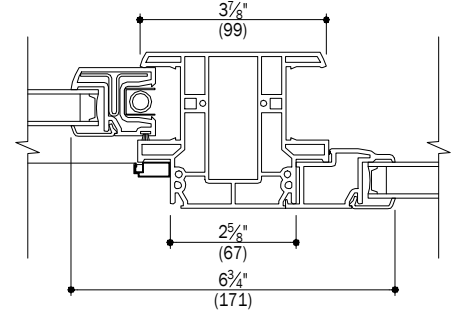
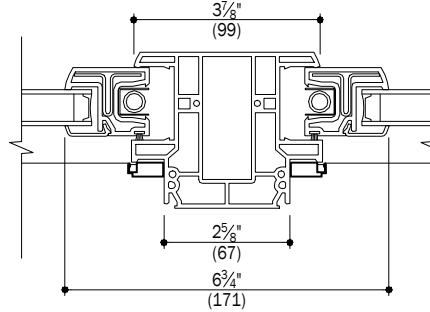
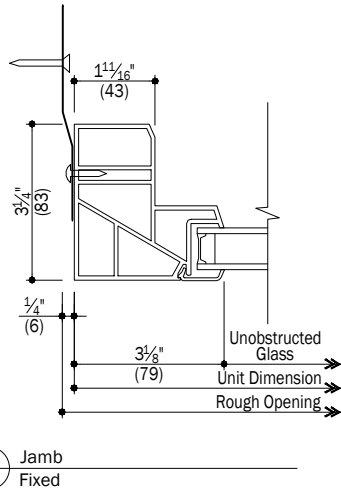
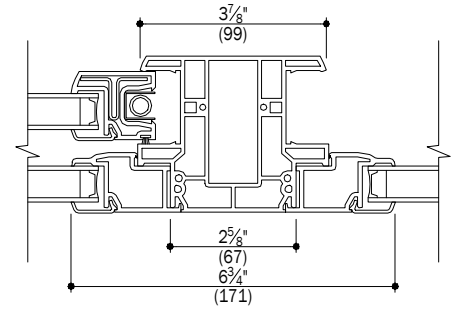
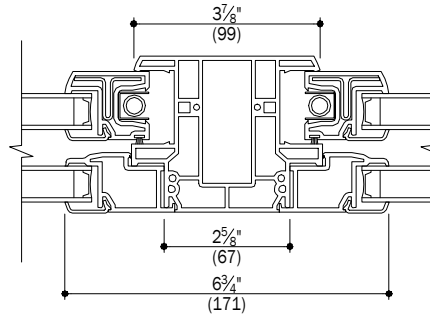
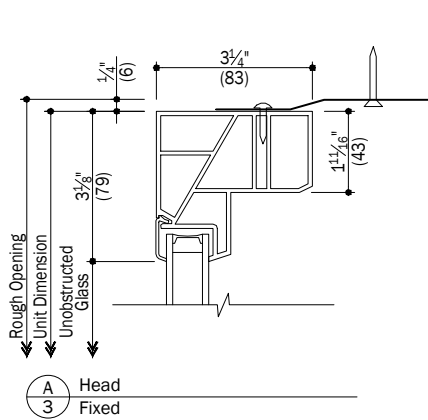
Details have been optimized for use in architectural software and do not match manufacturing specifications.
Dimensions in parentheses are in millimeters.

See Page 4 for Accessories

Date: 02/05/18
Scale: 3" (76) = 1' (305)

100 Series

Single-Hung Windows Without Flange



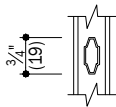
Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.
Dimensions in parentheses are in millimeters.

See Page 4 for Accessories

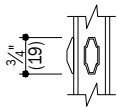
100 Series

Single-Hung Windows
Without Flange
Accessories



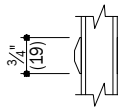
A
4

3/4" Finelight Grille



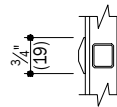
B
4

3/4" Finelight w/ Exterior Grilles



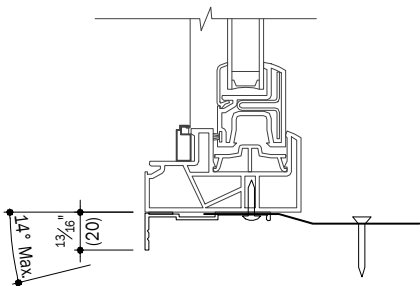
C
4

3/4" Simulated Divided Light Grille



D
4

3/4" Full Divided Light Grille



E
4

Sloped Sill Adapter
Field Applied Only

Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.
Dimensions in parentheses are in millimeters.

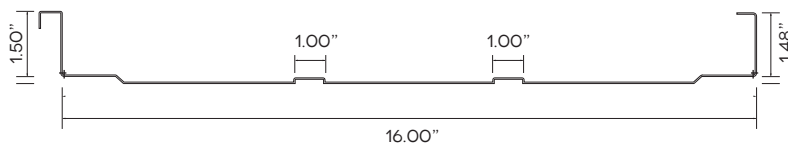


AIA

**ML-150****1.5" MECHANICAL LOCK**

ML-150 1.5" MECHANICAL LOCK

STANDING SEAM SYSTEMS



The **ML-150** Mechanical Lock (1.5" High Standing Seam) features structural performance as well as architectural aesthetics. **ML-150** Panels can be factory formed and/or fabricated, for all substrates, at project locations. Utilizes concealed fasteners with a fixed and/or floating clip system. The floating clip system reduces the effects of thermal stresses on the panels helping to maintain a beautifully smooth, and uniform appearance, despite fluctuations in temperature.

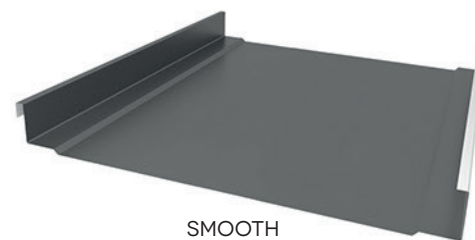
ML-150 Mechanical Lock Panel is a mechanically seamed, vertical leg, standing seam roof system that combines a 1.5 inch tall slim rib with exceptional uplift resistance. **ML-150** Panels are designed to withstand the most rigorous weather conditions. The **ML-150** Panel is available in a 16-inch width and allows for the installation directly over purlins and bar joists.

Features

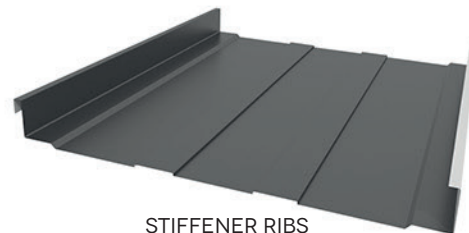
- 24 GA steel
- Colors available on standard, premium and metallic.
- Coverage 16".
- On site factory made.
- Available in smooth, striated and stiffener ribs.
- UL Construction Numbers: TGKX5549.
- Uplift resistance of prepared roof-covering materials is UL2218 Class 90.
- Impact resistance of prepared roof-covering materials UL2218 Class 4.
- Fire tests of roof coverings UL790. External fire exposure.
- TDI Texas approved.

Product Specifications

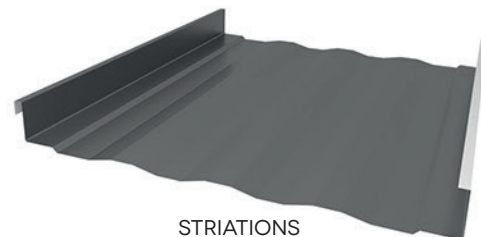
- **Applications:** Roof
- **Coverage Widths:** 16"
- **Minimum Slope:** 1/2:12
- **Panel Attachment:** Standing Seam System, Clip (fixed or floating).
- **Gauges:** 24 (standard); 22 and 26 (optional)
- **Finishes:** Smooth, Striated and Stiffener Ribs.
- **Coatings:** Galvalume®, Durapon 70®, Ceranamel®.



SMOOTH



STIFFENER RIBS



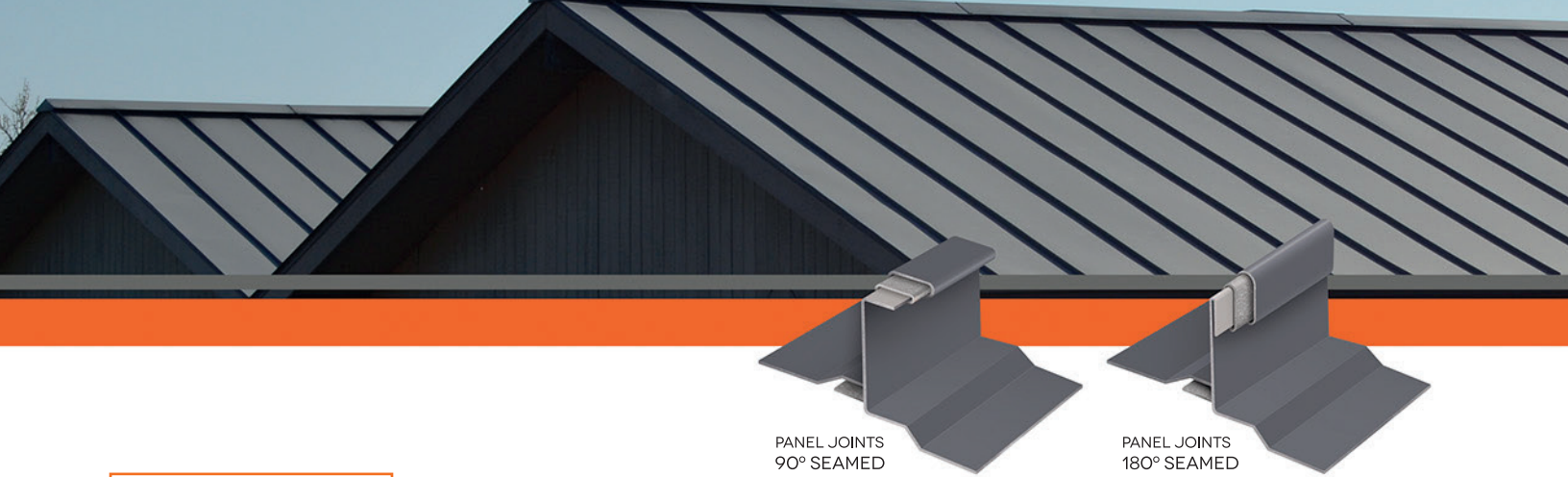
STRIATIONS



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PANEL JOINTS
90° SEAMED

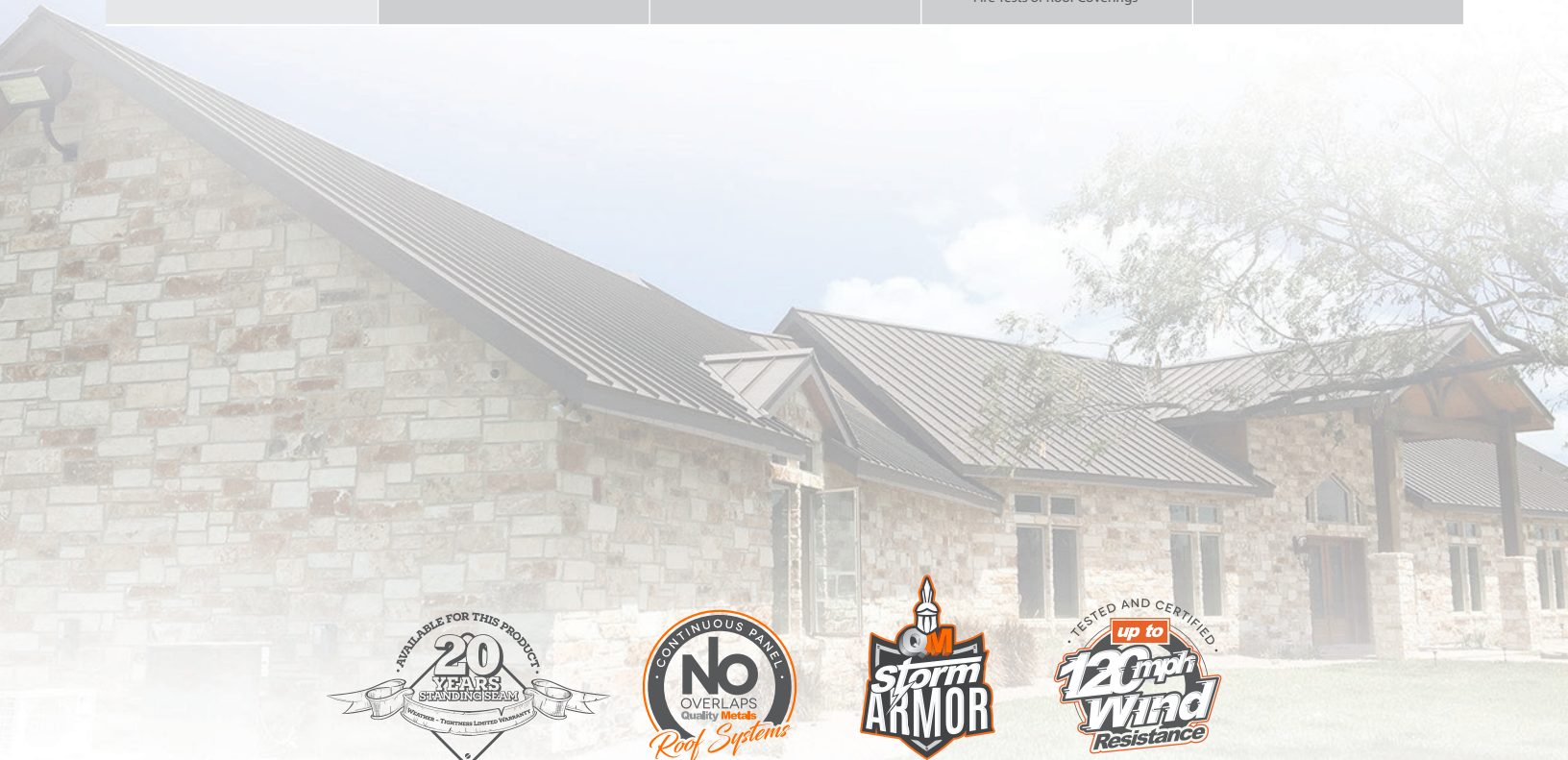
PANEL JOINTS
180° SEAMED

ML-150

1.5" MECHANICAL LOCK



CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
ENVIRONMENTAL	Impact Resistance	UL 2218	Determines Impact Resistance of prepared Roof Covering Materials	CLASS 4 RAITING
FIRE RESISTANCE	Room Fire Performance	UL 790	Standard for Standard Test Methods for Fire Tests of Roof Coverings	CLASS A FIRE RATING
	Room Fire Performance	UL 263	Standard for Standard Test Methods for Fire Tests of Roof Coverings	For use in Design Nos. TGKX554



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Porpoise
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