HISTORIC AND DESIGN REVIEW COMMISSION

July 07, 2021

HDRC CASE NO:	**2021-289**
ADDRESS:	318 W MISTLETOE
LEGAL DESCRIPTION:	NCB 1839 BLK 13 LOT 6
ZONING:	R-4, H
CITY COUNCIL DIST.:	1
DISTRICT:	Monte Vista Historic District
APPLICANT:	Precision Contracting
OWNER:	AHN CORPORATION
TYPE OF WORK:	Fenestration modifications
APPLICATION RECEIVED:	June 16, 2021
60-DAY REVIEW:	Not applicable due to City Council Emergency Orders
CASE MANAGER:	Rachel Rettaliata

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Relocate the existing windows on the west elevation to the east and south (rear) elevations.
2. Install 2 new window openings with vinyl windows on the west elevation.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

1. Materials: Woodwork
A. MAINTENANCE (PRESERVATION)
i. *Inspections*—Conduct semi-annual inspections of all exterior wood elements to verify condition and determine maintenance needs.
ii. *Cleaning*—Clean exterior surfaces annually with mild household cleaners and water. Avoid using high pressure power washing and any abrasive cleaning or striping methods that can damage the historic wood siding and detailing.
iii. *Paint preparation*—Remove peeling, flaking, or failing paint surfaces from historic woodwork using the gentlest means possible to protect the integrity of the historic wood surface. Acceptable methods for paint removal include scraping and sanding, thermal removal, and when necessary, mild chemical strippers. Sand blasting and water blasting should never be used to remove paint from any surface. Sand only to the next sound level of paint, not all the way to the wood, and address any moisture and deterioration issues before repainting.
iv. *Repainting*—Paint once the surface is clean and dry using a paint type that will adhere to the surface properly. See *General Paint Type Recommendations* in Preservation Brief #10 listed under Additional Resources for more information.
v. *Repair*—Repair deteriorated areas or refasten loose elements with an exterior wood filler, epoxy, or glue.
B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)
i. *Façade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

6. Architectural Features: Doors, Windows, and Screens
A. MAINTENANCE (PRESERVATION)

i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
iv. *Screens and shutters*—Preserve historic window screens and shutters.
v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)
i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
viii. *Security bars*—Install security bars only on the interior of windows and doors.
ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

Standard Specifications for Original Wood Window Replacement

- SCOPE OF REPAIR: When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- MISSING OR PREVIOUSLY-REPLACED WINDOWS: Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- MATERIAL: If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- SASH: Meeting rails must be no taller than 1.25”. Stiles must be no wider than 2.25”. Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2” in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track

components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.

- GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

a. The primary structure located at 318 W Mistletoe is a 2-story single family residence constructed circa 1910. The structure first appears on the Sanborn Maps in 1912. The property features a T-shaped plan with a composition shingle cross gable roof, wood shingle and horizontal wood cladding, swooped porch awnings, one-over-one windows, and functional shutters. The property is contributing to the Monte Vista Historic District.
b. CASE HISTORY – A request for replacement of the second-floor windows on the west elevation was heard by the HDRC in November 2016. At that time, the previous applicant requested to replace 7 original one-over-one wood windows on the west and east elevations with vinyl windows. The request was denied. The windows proposed for replacement on the west elevation were retained following the HDRC decision and the interior of the windows were sheet rocked.
c. SITE VISIT – Staff conducted a site visit on June 29, 2021, and observed that the existing wood windows proposed for replacement are in good condition and are not deteriorated beyond repair.
d. FENESTRATION MODIFICATIONS: WINDOW RELOCATION – The applicant has requested to remove and enclose the openings of 3 existing wood windows on the west elevation. The applicant has requested to relocate 2 of the existing windows to the east elevation and the south (rear) elevation. The small existing window on the west elevation is proposed to replace a bank of aluminum windows on the south (rear) elevation and will match the existing small second-story window on the rear elevation. One of the 2 traditional sized windows on the west elevation is requested to be removed and used to replace the existing fixed second-story window on the east elevation. Guideline 6.A.i for Exterior Maintenance and Alterations states that existing window openings should be preserved. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Staff finds that the fenestration pattern and windows on the second story of the west elevation are original and should be retained. Staff finds the proposal inconsistent with the Guidelines.
e. FENESTRATION MODIFICATIONS: NEW WINDOW INSTALLATION – The applicant has proposed to install 2 new window openings of nontraditional proportions on the west elevation in place of the existing windows to accommodate a bathroom. The applicant has proposed to install a vinyl window product in the new window openings. Guideline 6.A.i for Exterior Maintenance and Alterations states that applicants should avoid enlarging or diminishing to fit stock sizes. According to Guideline 6.B.iv for Exterior Maintenance and Alterations, new windows should be installed to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair. The original windows are not deteriorated beyond repair. Staff does not find the proposal appropriate.

RECOMMENDATION:

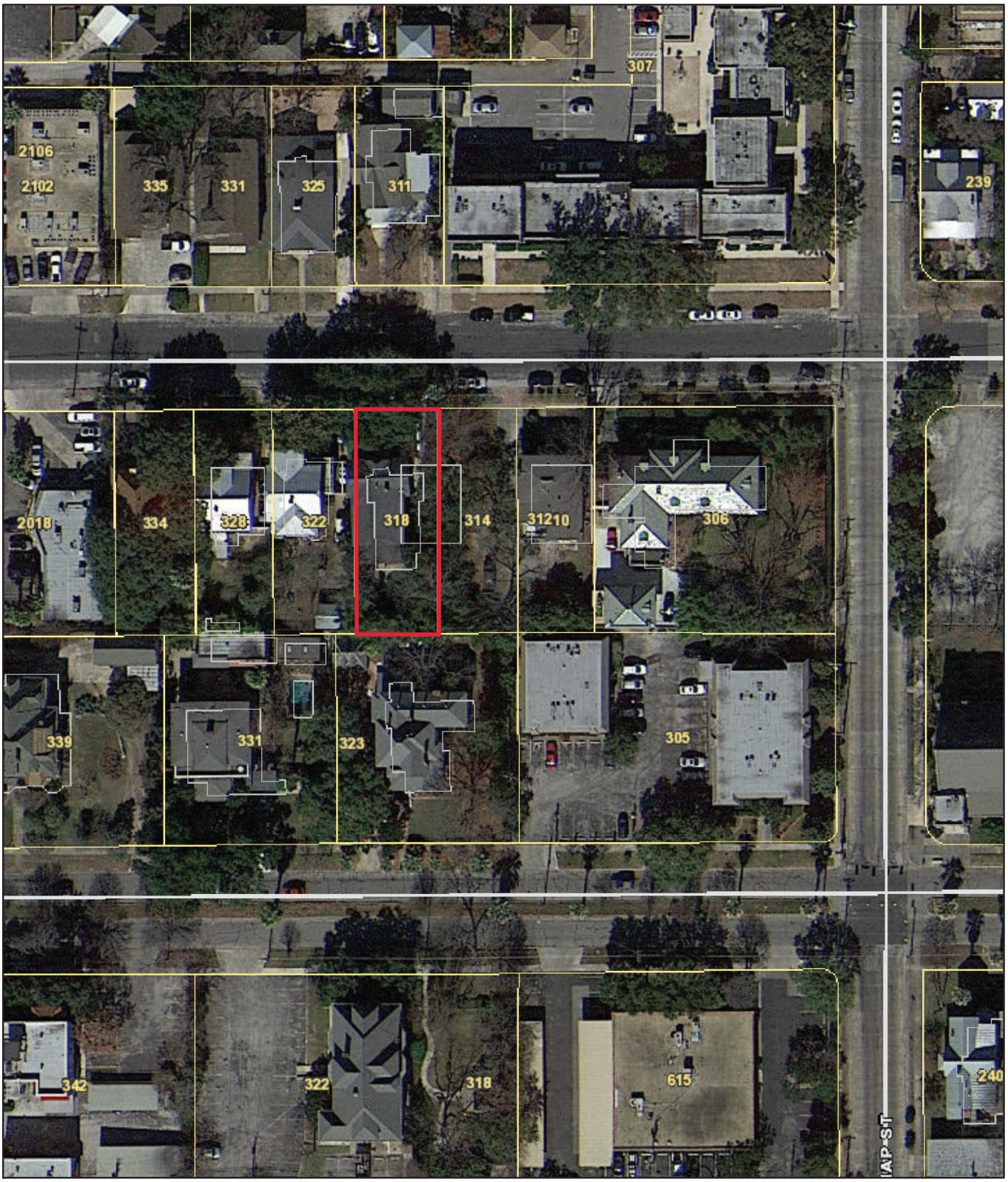
Item 1, staff does not recommend approval of the window removal and relocation based on findings a through d. Staff recommends that the existing windows and window openings are retained. Any necessary window repairs are eligible for administrative approval.

Item 2, staff does not recommend approval of the new window installation based on finding e.

If the HDRC is compelled to approve items 1 & 2, staff recommends the following stipulation:

i. That the applicant installs fully wood replacement windows. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. The applicant is required to submit final material specifications to staff for review and approval prior to the issuance of a Certificate of Appropriateness.

City of San Antonio One Stop



June 23, 2021

User drawn lines

1:1,000

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km

City of San Antonio GIS
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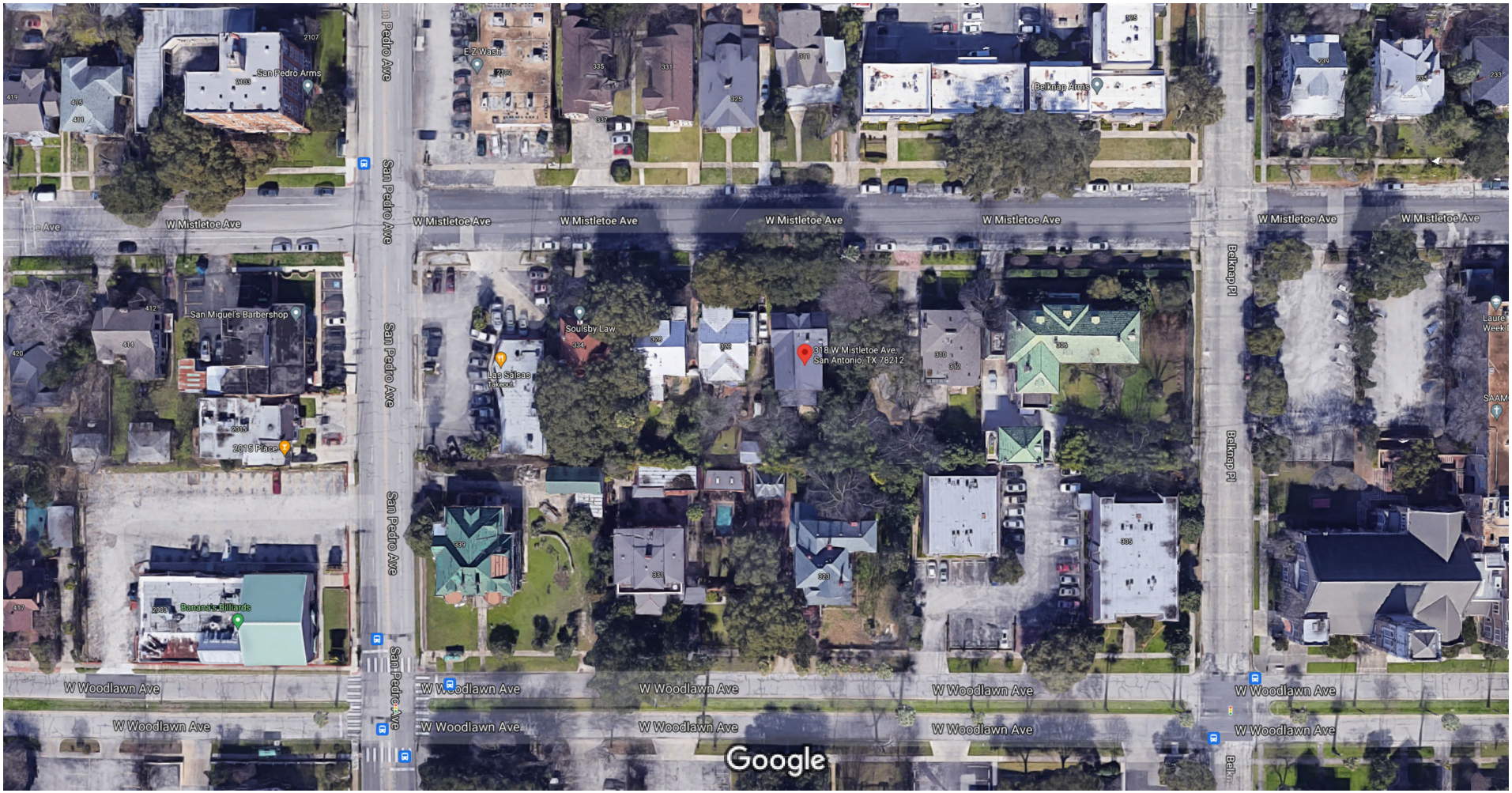
Google Maps 318 W Mistletoe Ave



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Google Maps 318 W Mistletoe Ave

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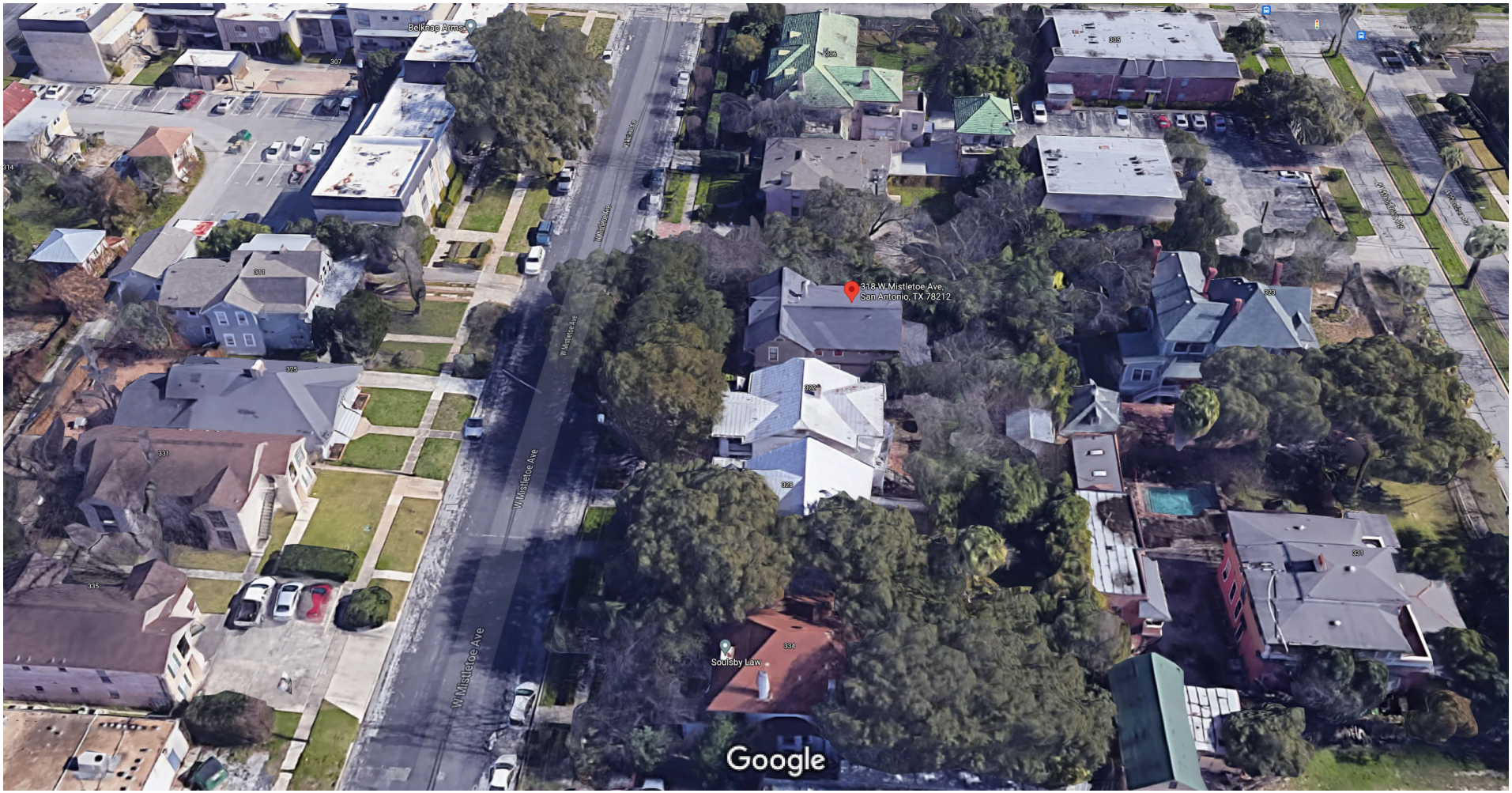
Google Maps 318 W Mistletoe Ave



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Google Maps 318 W Mistletoe Ave

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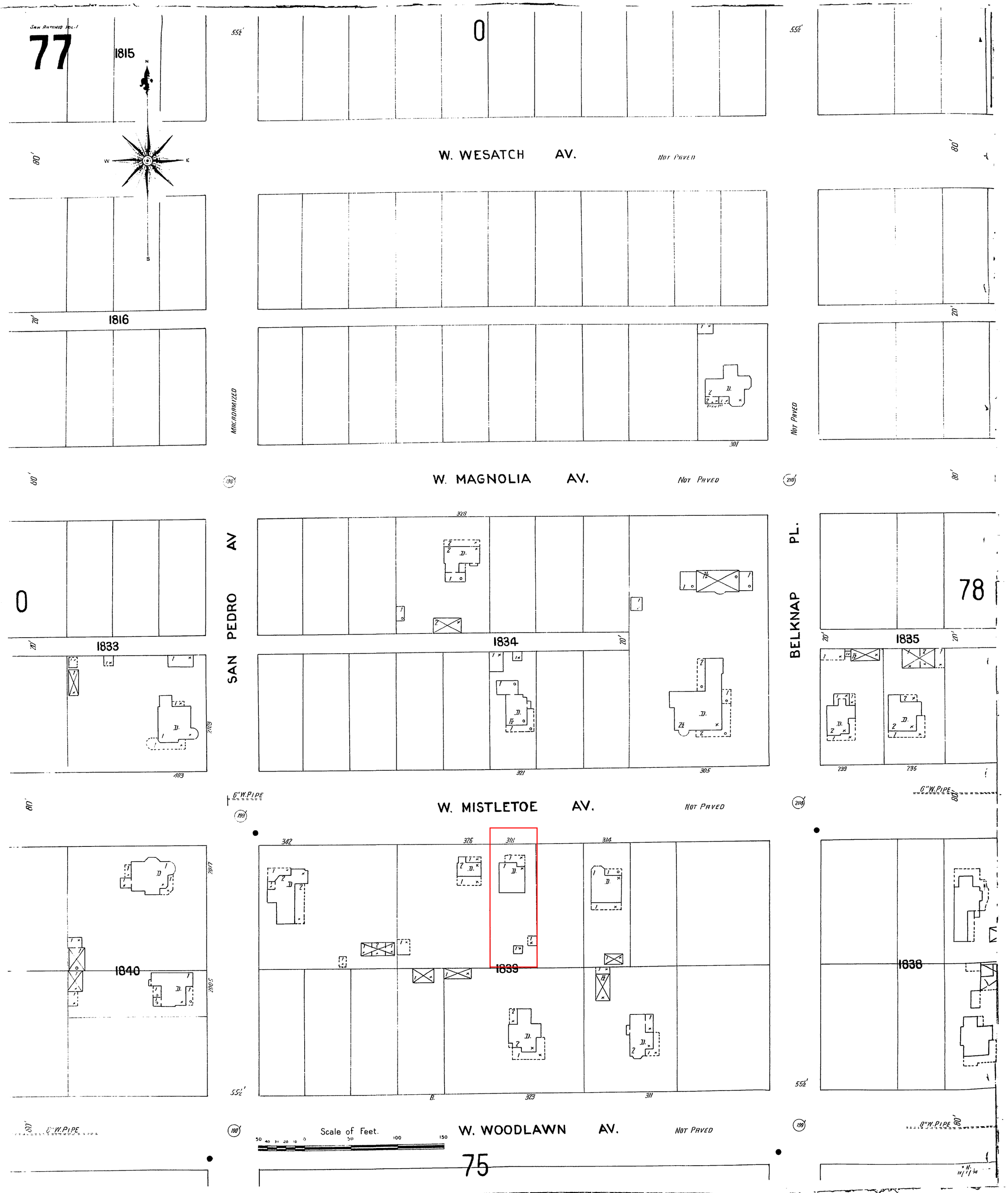
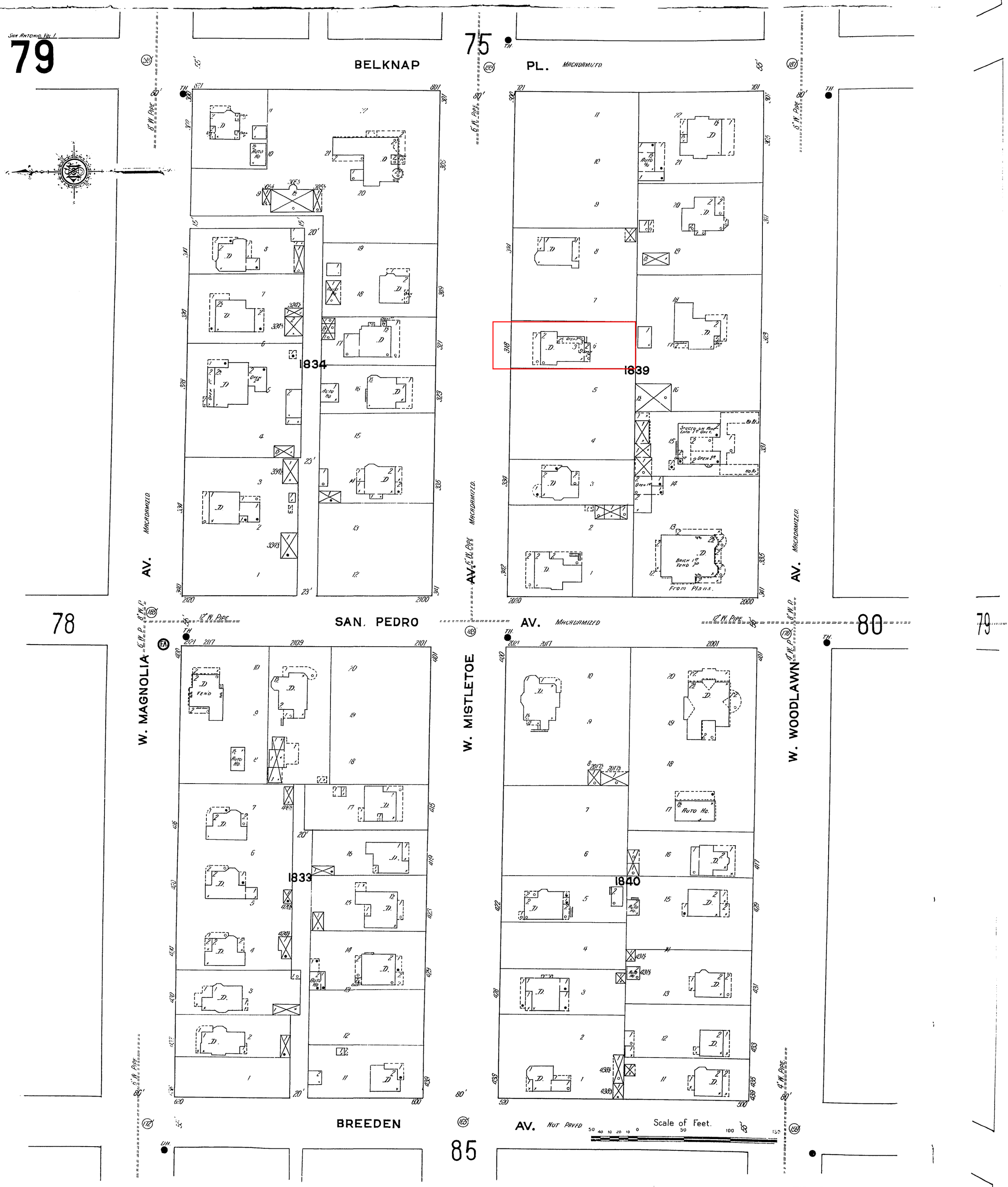

San Antonio Vol. 1
77
1815
0
W. WESATCH AV.
Not Paved
1816
Macadamized
W. MAGNOLIA AV.
Not Paved
Not Paved
0
1833
SAN PEDRO AV
1834
BELKNAP PL.
78
1835
6" W. Pipe
W. MISTLETOE AV.
Not Paved
1840
1839
1838
6" W. Pipe
8" W. Pipe
Scale of Feet.
W. WOODLAWN AV.
Not Paved
75


San Antonio Vol. 1
79
75
BELKNAP
PL.
MACADAMIZED
8" W. PIPE
6" W. PIPE
4" W. PIPE
AV.
MACADAMIZED
1834
1839
78
SAN. PEDRO
AV.
MACADAMIZED
12" W. PIPE
80
W. MAGNOLIA
W. MISTLETOE
W. WOODLAWN
1833
1840
BREEDEN
AV.
NOT PAVED
Scale of Feet.
85

FLOOR PLAN GENERAL NOTES:

1. ALL NEW BASE TO MATCH EXISTING. VERIFY IN FIELD.
2. ALL NEW INTERIOR WALLS TO BE 5/0 GAS PAINTED. COORDINATE COLORS W/ OWNER. COORDINATE FINAL TEXTURE W/ OWNER.
3. REFINISH ALL EXISTING HARDWOOD FLOORS FOR LIKE NEW APPEARANCE.
4. COORDINATE REPLACEMENT OF EXISTING DOORS W/ OWNER PRIOR TO ORDERING.
5. STYLE AND SIZES OF ALL NEW DOORS ARE TO BE COORDINATED W/ OWNER PRIOR TO ORDERING.
6. AT ACCESSORY LOCATIONS (I.E. TOWEL BARS, MIRRORS, COAT HOOKS, ETC.) PROVIDE IN WALL BLOCKING FOR ADEQUATE SUPPORT FOR ITEM. COORDINATE ALL LOCATIONS W/ OWNER.

FRAMING GENERAL NOTES:

HEADERS ARE TO BE (2) 2X12 ABOVE ALL EXTERIOR WINDOWS AND DOOR OPENINGS. AT INTERIOR OPENINGS ALL HEADERS ARE TO BE (2) 2X6. AT NEW ADDITION BETWEEN DINING RM AND LIVING ROOM PROVIDE LVL 5-1/4" X 11-1/4" FOR 14'-6"SPAN OR PER MANUFACTURE'S REQUIREMENTS. (RE: FLOOR PLAN FOR LOCATION). ALL FRAMING LUMBER TO BE 2X4 OR 2X6 KILN DRIED SOUTHERN YELLOW PINE #2 OR BETTER WOOD FRAMING. ALL CEILING JOISTS & RAFTERS ARE TO BE 2X6 FRAMING AT 16" O.C.

WALL LEGEND

- EXISTING PARTITION TO BE
- E — EXISTING PARTITION TO
- A — NEW INTERIOR PARTITION. 2X4 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE
- A1 — NEW INTERIOR PARTITION. 2X6 STUDS @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE
- B — NEW EXTERIOR 3 COAT STUCCO O/VER METAL LATH WALL. 2X6 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @16" O.C. INTERIOR FINISH TO BE 5/8" TYPE 'X' GYP. BD. FINISH & PAINT TO MATCH. EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER AS REQUIRED. EXTERIOR FINISH TO MATCH EXISTING.

NOTE:: PROVIDE SUBMITTAL TO OWNER FOR ALL ITEMS SPECIFIED PRIOR TO ORDERING FOR OWNER APPROVAL.

FLOOR PLAN KEYED NOTES

1. EXISTING DOOR TO REMAIN. COORDINATE EXACT SCOPE WITH OWNER.
2. NEW 3/4" THICK WOOD W/ DOVETAIL ASSEMBLY. BASE / UPPER CABINETS WHERE SPECIFIED. RE: INTERIOR ELEVATIONS. PROVIDE SOFT CLOSE DRAWERS (BLUM SOFT HINES / SLIDES) RE: ELEVATIONS FOR CONFIGURATIONS. PROVIDE FOR QUARTZ OR HONED COUNTERTOPS BY WILSONART OR EQUAL. COORDINATE FINAL DESIGN & SELECTIONS W/ OWNER. PROVIDE WATERFALL EDGE WHERE NOTED.
3. NEW SINK AND FAUCET AS SPECIFIED.
4. WATERFALL EDGE PROFILE AT COUNTERTOP.
5. TOILET AS SPECIFIED.
6. NEW VANITY AND SINK AS SPECIFIED.
7. SHOWER CONTROL LOCATION.
8. APPLIANCE AS SPECIFIED.
9. EXISTING BEAMS TO REMAIN & REFINISH. COORDINATE W/ OWNER EXACT SCOPE.
10. INSTALL AND PROVIDE WATER LINE AS REQUIRED FOR OWNER PROVIDED POT FILLER.
11. EXISTING AREA NOT IN CONTRACT. PROTECT THRU DURATION OF CONSTRUCTION.
12. NEW LVL BEAM. VERIFY DISTANCE REQUIREMENTS. ADJUSTING WALLS TO ACCOMMODATE REQUIREMENTS. COORDINATE W/ DESIGNER / OWNER.
13. LINE OF WALL BELOW.
14. SHELVING FLOOR TO CEILING. RE: ELEVS.
15. TILE AS SCHEDULED.
16. EXISTING TOILET TO REMAIN.
17. PROVIDE WATER OR GAS LINE AS REQUIRED PER APPLIANCE SPECIFICATIONS.
18. SHOWER CONTROLS.
19. OWNER PROVIDED CLOSET STORAGE. COORDINATE W/ OWNER.
20. 30" DEEP MILLWORK LINEN CLOSET.
21. EXISTING SOLID SURFACE TOP TO REMAIN. MODIFY AS REQUIRED FOR NEW CONFIGURATION. COORDINATE W/ DESIGNER / OWNER.
22. EXISTING MIRROR TO REMAIN.
23. NEW LOCATION OF EXISTING IRONING BOARD. COORDINATE EXACT LOCATION W/ DESIGNER / OWNER.
24. MILLWORK VANITY BY O.C. COORDINATE W/ OWNER DETAILS.

PLUMBING FIXTURE SCHEDULE

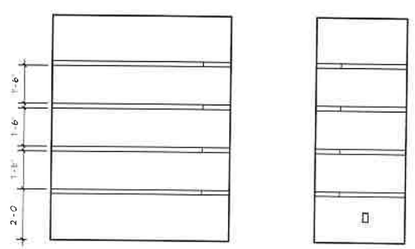
- P1 POT FILLER BY HAVEN FOLDING STRETCHABLE DOUBLE JOINT SWING ARM, STYLE A 3206 BRUSHED GOLD
- P2 KITCHEN FAUCET BY KRAUS KPF-1690SFACE BRITT COMMERCIAL STYLE KITCHEN FAUCET SPOT FREE ANTIQUE CHAMPAGNE BRONZE
- P3 KITCHEN DOUBLE BOWL UNDERMOUNT STAINLESS STEEL RECTANGULAR IN SATIN BY KRAUS #KHU103-32
- P4 BATHROOM UNDERMOUNT SINK BY PROFLO 12X12 OH #PFI1212WH "NORRIS WHITE"
- P5 BATHROOM 8" WIDESPREAD LAVATORY FAUCET BY DELTA 3559 BLMPUDST
- P6 SHOWER FAUCET AND CONTROLS DELTA TRINSIAC MONITOR #T14259-BLLHD WITH MULTI FUNCTION HAND SHOWER IN MATTE BLACK #D5044BL
- P7 4" SQUARE DRAIN EE4400 & EE4411
- P8 LAVATORY FAUCET 8" WIDESPREAD FAUCETS K14406-4-BSD BY KOHLER PURIST 1.2 GPM WITH POP-UP DRAIN ASSEMBLY
- P9 BATH TUB BY SIGNATURE HARDWARE 54" HIDEOUS OVAL ACRYLIC FREESTANDING #M3057
- P10 BATH TUB FILLER BY KOHLER PURIST SINGLE HANDLE LEVER FLOOR MOUNT #K-97322-4-CP WITH BRASS AND METAL MOUNTING BLOCK # K97339
- P11 SHOWER FAUCET AND CONTROLS TRIM KIT BY KOHLER PURIST #K-T914422-4-BSD AND # KT144491-4-BSD SHOWER SLIDE BAR BY KOHLER TRADITIONAL 30" # K-9524-BSD
- P12 SHOWER DRAIN BY SIGNATURE HARDWARE COHEN 2-1/2" TAPERED POLISHED BRASS 24" LIN. #SH443573
- P13 TOILET BY TOTO AQUIA IV COLLECTION #CT4460UG#01 COTTON FINISH. TOILET TANK BY TOTO AQUIA IV COLLECTION DUAL FLUSH TANK #ST4446EMA#01. BIDET SEAT BY TOTO WASHLET COLLECTION #SW3056AT40#01
- P14 BATHROOM UNDERMOUNT SINK BY PROFLO 23X15 NORRIS WHITE #PFI1212WH
- P15 UTILITY UNDERMOUNT LAUNDRY SINK BY PROFLO 23X15 WHITE #PFAL52522WH

APPLIANCE SCHEDULE

- AP-1 30" DOUBLE WALL OVEN 500 SERIES STAINLESS STEEL BY BOSCH - #HBL5551UC
- AP-2 FRENCH DOOR REFRIGERATOR BY LG #LRFVC2406
- AP-3 36" GAS COOKTOP BY SAMSUNG #NA36N6555TS
- AP-4 RANGE HOOD TO BE SELECTED BY OWNER
- AP-5 GARBAGE DISPOSAL WITH AIR SWITCH TO BE SELECTED BY OWNER
- AP-6 WASHER AND DRYER. COORDINATE W/ OWNER
- AP-7 MICROWAVE COORDINATE W/ OWNER
- AP-8 DISHWASHER. COORDINATE W/ OWNER

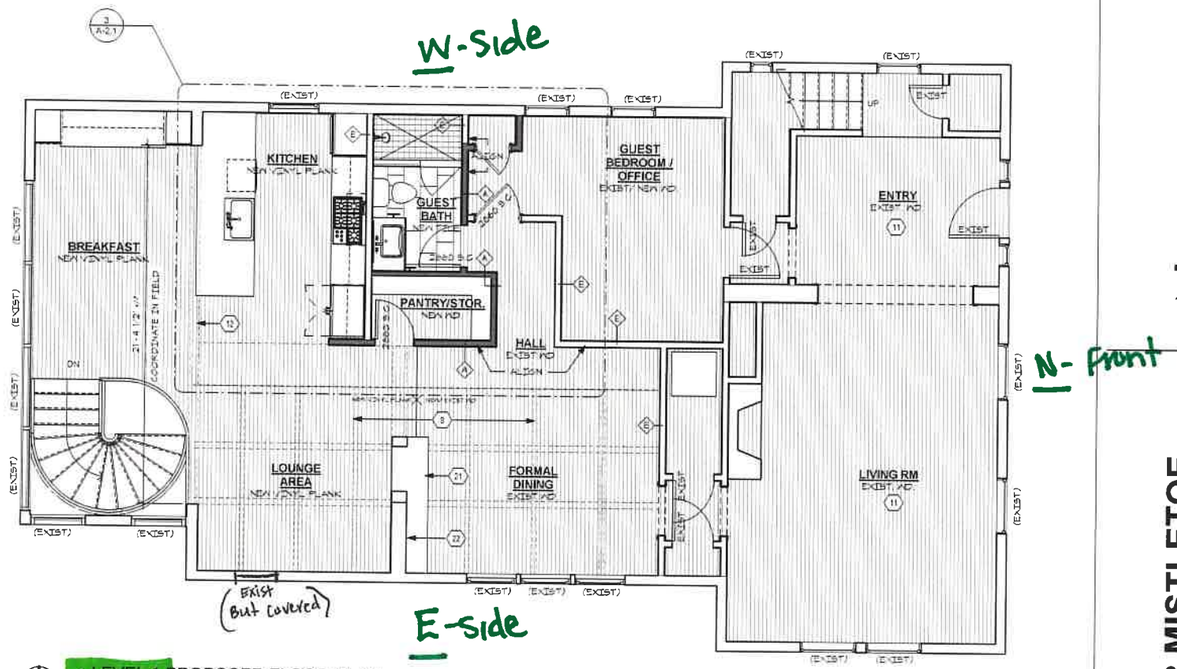
FINISH SCHEDULE

- T1 CERAMIC TILE
- T2 HENSLEY 12" X 12" TEXTURED MARBLE FLOOR TILE
- T3 UNPOLISHED DARK CERAMIC TILE
- T4 CEMENT TILE BY ZIA TILE: ZELLIGE ABSINTHE 2X6
- T5 CEMENT TILE BY ZIA TILE: ZELLIGE ABSINTHE 4"X4"
- MT1 PEBBLE MOSAIC TILE
- SS1 SOLID SURFACE 20M THICK CALACATTA QUARTZ



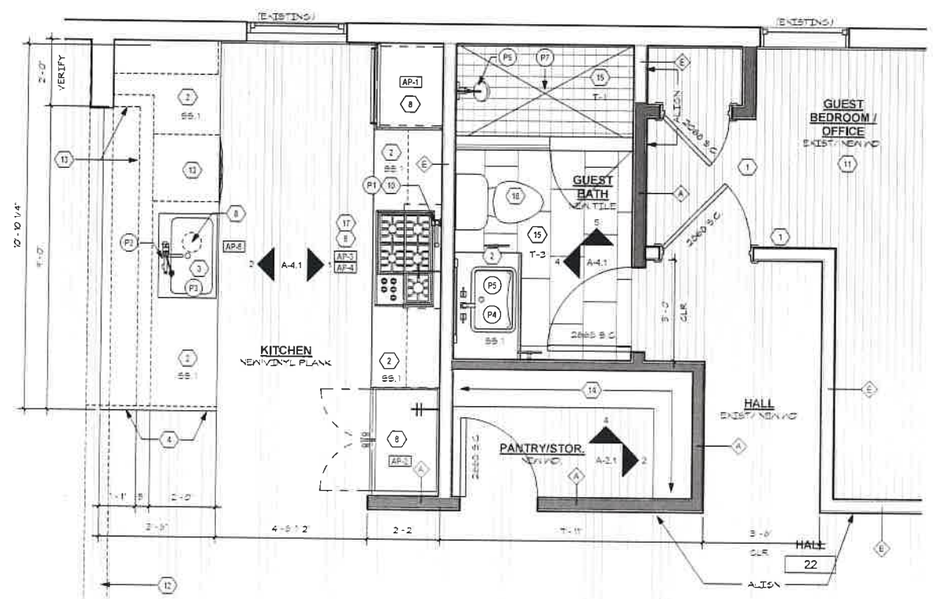
4 ELEV AT PANTRY 3/8" = 1'-0"

2 ELEV AT PANTRY 3/8" = 1'-0"



1 LEVEL 1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

NORTH



3 ENLARGED FLOOR PLAN - LEVEL 1
1/2" = 1'-0"

NORTH

JASON MORAN
COLLABORATIVE DESIGNER

318 MISTLETOE
SAN ANTONIO TX 78212

2021 JASON MORAN DESIGN
ALL RIGHTS RESERVED. THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF JASON MORAN. IT MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF JASON MORAN.

ISSUE:

REVIEW: 1.19.2020

Floor Plan Level 1

PROJECT NO: 202007

DRAWN BY: JM

A-2.1

FRAMING GENERAL NOTES:

HEADERS ARE TO BE (2) 2X12 ABOVE ALL EXTERIOR WINDOWS AND DOOR OPENINGS. AT INTERIOR OPENINGS ALL HEADERS ARE TO BE (2) 2X6. AT NEW ADDITION BETWEEN DINING RM AND LIVING ROOM PROVIDE LVL 5-1/4" X 11-1/4" FOR 14'-6"SPAN OR PER MANUFACTURE'S REQUIREMENTS. (RE: FLOOR PLAN FOR LOCATION). ALL FRAMING LUMBER TO BE 2X4 OR 2X6 KILN DRIED SOUTHERN YELLOW PINE #2 OR BETTER WOOD FRAMING. ALL CEILING JOISTS & RAFTERS ARE TO BE 2X6 FRAMING AT 16" O.C.

WALL LEGEND

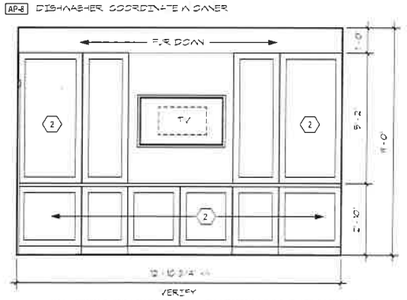
- EXISTING PARTITION TO BE
- E — EXISTING PARTITION TO
- A — NEW INTERIOR PARTITION 2X4 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @ 16" O.C WITH 5/8" TYPE GYP. BD EA SIDE
- A1 — NEW INTERIOR PARTITION 2X6 STUDS @ 16" O.C WITH 5/8" TYPE GYP. BD EA SIDE
- B — NEW EXTERIOR 3 COAT STUCCO OVER METAL LATH WALL 2X6 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @16" O.C INTERIOR FINISH TO BE 5/8" TYPE "X" GYP. BD FINISH & PAINT TO MATCH EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER AS REQUIRED EXTERIOR FINISH TO MATCH EXISTING.

FLOOR PLAN KEYED NOTES

1. EXISTING DOOR TO REMAIN COORDINATE EXACT SCOPE WITH OWNER.
2. NEW 3/4" THICK WOOD W DOVETAIL ASSEMBLY. BASE / UPPER CABINETS WHERE SPECIFIED RE: INTERIOR ELEVATIONS. PROVIDE SOFT CLOSE DRAWERS (BLUM SOFT HINES/ GUIDES)RE: ELEVATIONS FOR CONFIGURATIONS. PROVIDE FOR QUARTZ OR HONED COUNTERTOPS BY WILSONART OR EQUAL. COORDINATE FINAL DESIGN & SELECTIONS W/OWNER. PROVIDE WATERFALL EDGE WHERE NOTED
3. NEW SINK AND FAUCET AS SPECIFIED
4. WATERFALL EDGE PROFILE AT COUNTERTOP
5. TOILET AS SPECIFIED
6. NEW VANITY AND SINK AS SPECIFIED
7. SHOWER CONTROL LOCATION
8. APPLIANCE AS SPECIFIED
9. EXISTING BEAMS TO REMAIN & REFINISH. COORDINATE W OWNER EXACT SCOPE
10. INSTALL AND PROVIDE WATER LINE AS REQUIRED FOR OWNER PROVIDED POT FILLER
11. EXISTING AREA NOT IN CONTRACT. PROTECT THRU DURATION OF CONSTRUCTION
12. NEW LVL BEAM. VERIFY DISTANCE REQUIREMENTS. ADJUST NON WALLS TO ACCOMMODATE REQUIREMENTS. COORDINATE W DESIGNER/ OWNER
13. LINE OF WALL BELOW
14. SHELVING FLOOR TO CEILING. RE: ELE/S
15. TILE AS SCHEDULED
16. EXISTING TOILET TO REMAIN
17. PROVIDE WATER OR GAS LINE AS REQUIRED PER APPLIANCE SPECIFICATIONS
18. SHOWER CONTROLS
19. OWNER PROVIDED CLOSET STORAGE. COORDINATE W/ OWNER
20. 30" DEEP MILLWORK LINEN CLOSET
21. EXISTING SOLID SURFACE TOP TO REMAIN. MODIFY AS REQUIRED FOR NEW CONFIGURATION. COORDINATE W DESIGNER/ OWNER
22. EXISTING MIRROR TO REMAIN
23. NEW LOCATION OF EXISTING IRONING BOARD. COORDINATE EXACT LOCATION W DESIGNER/ OWNER
24. MILLWORK VANITY BY O.C. COORDINATE W OWNER DETAILS

APPLIANCE SCHEDULE

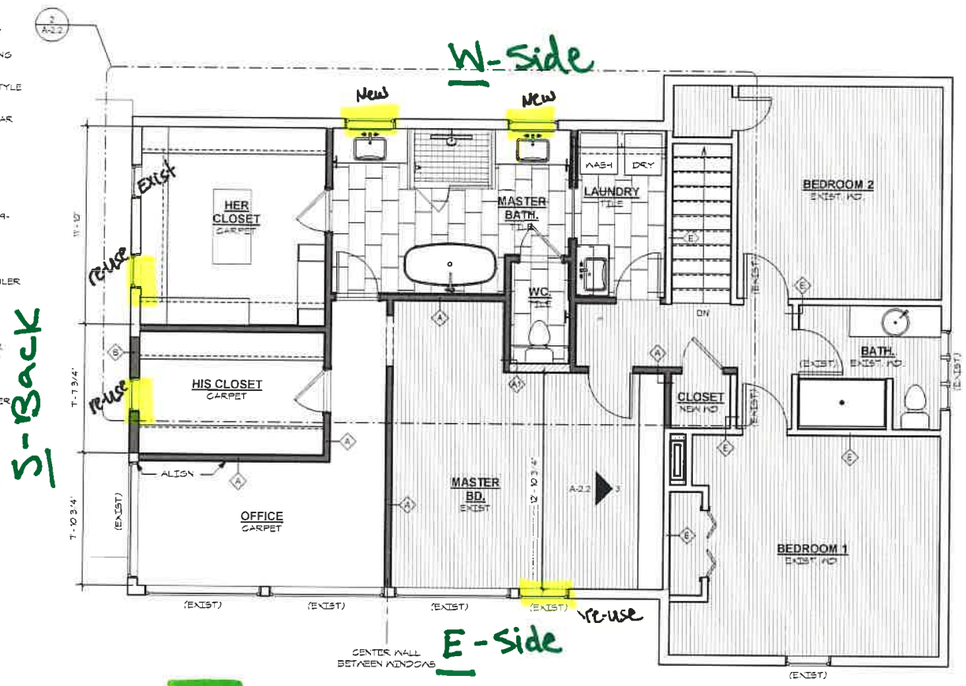
- AP-1 30" DOUBLE WALL OVEN 800 SERIES STAINLESS STEEL BY BOSCH - #HBL8551UC
- AP-2 FRENCH DOOR REFRIGERATOR BY LG #LRF/0C2406
- AP-3 36" GAS COOKTOP BY SAMSUNG #NA36N6555TS
- AP-4 RANGE HOOD TO BE SELECTED BY OWNER
- AP-5 GARBAGE DISPOSAL WITH AIR SWITCH TO BE SELECTED BY OWNER
- AP-6 WASHER AND DRYER. COORDINATE W OWNER
- AP-7 MICROWAVE. COORDINATE W OWNER
- AP-8 DISHWASHER. COORDINATE W OWNER



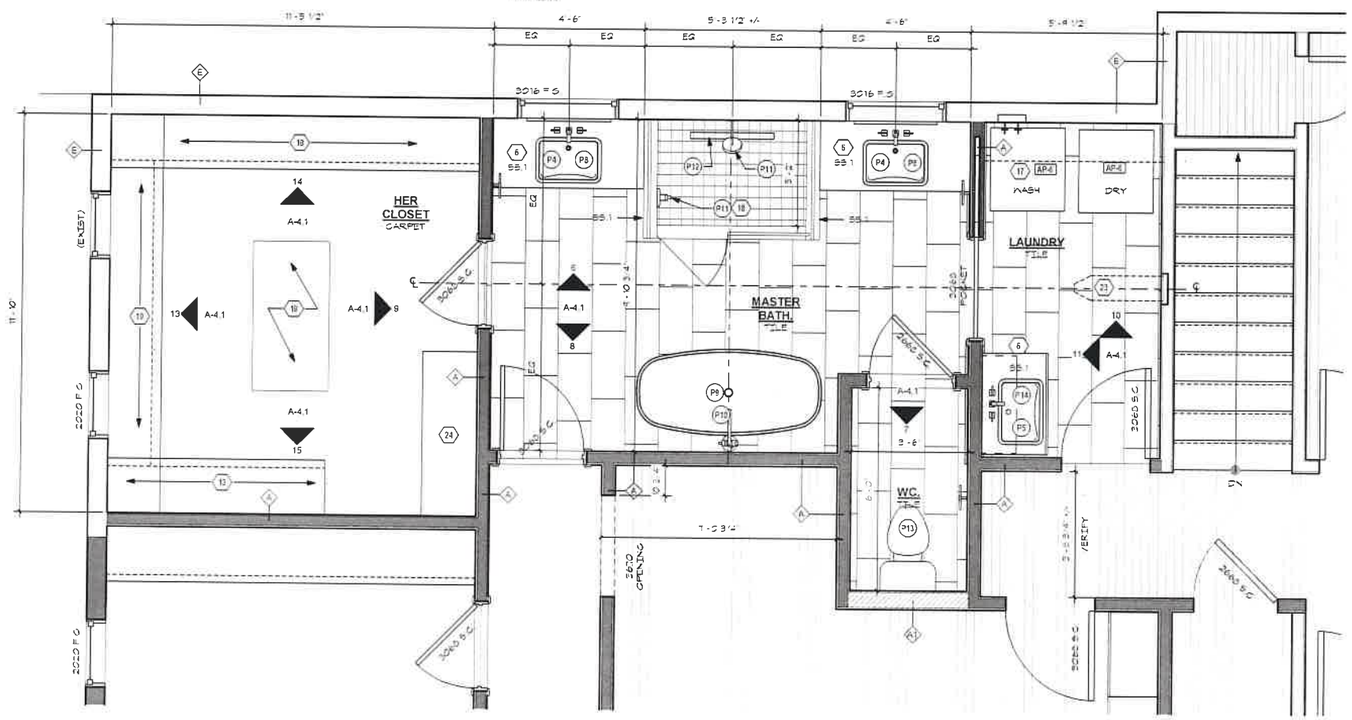
3 ELEVATION AT MASTER BEDROOM
3/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

- P1 POT FILLER BY HAVIN FOLDING STRETCHABLE DOUBLE JOINT SWING ARM STYLE A 3206 BRUSHED GOLD
- P2 KITCHEN FAUCET BY KRAUS KPF-1692SFACB BRITT COMMERCIAL STYLE KITCHEN FAUCET SPOT FREE ANTIQUE CHAMPAGNE BRONZE
- P3 KITCHEN DOUBLE BOWL UNDERMOUNT STAINLESS STEEL RECTANGULAR IN SATIN BY KRAUS #KHU103-32
- P4 BATHROOM UNDERMOUNT SINK BY PROFLO 15X12 OH #PF1512UWH NORRIS WHITE
- P5 BATHROOM 8" WIDESPREAD LAVATORY FAUCET BY DELTA 3559 BLMPUDST
- P6 SHOWER FAUCET AND CONTROLS DELTA TRINSIAC MONITOR #T14259-BLLHD WITH MULTI FUNCTION HAND SHOWER IN MATTE BLACK #75649BL
- P7 4" SQUARE DRAIN EE4400 & EE4411
- P8 LAVATORY FAUCET 8" WIDESPREAD FAUCETS K14406-4-BGD BY KOHLER PURIST 1.2 GPM WITH POP-UP DRAIN ASSEMBLY
- P9 BATH TUB BY SIGNATURE HARDWARE 54" HIBISCUS OVAL ACRYLIC FREESTANDING #940087
- P10 BATH TUB FILLER BY KOHLER PURIST SINGLE HANDLE LEVER FLOOR MOUNT #KT97322-4-CP WITH BRASS AND METAL MOUNTING BLOCK # KRT339
- P11 SHOWER FAUCET AND CONTROLS TRIM KIT BY KOHLER PURIST #K-T914422-4-BGD AND # KT144414-4-BGD 5-OWER SLIDE BAR BY KOHLER TRADITIONAL 30" # K-10524-BGD
- P12 SHOWER DRAIN BY SIGNATURE HARDWARE COHEN 24-1/8" TAPERED POLISHED BRASS 24" LIN. #944435-18
- P13 TOILET BY TOTO AQUIA IV COLLECTION #CST446CUSR01 COTTON FINISH. TOILET TANK BY TOTO AQUIA IV COLLECTION DUAL FLUSH TANK. #ST446EMAR01. BIDET SEAT BY TOTO, WASHLET COLLECTION #SN3036AT40#01
- P14 BATHROOM UNDERMOUNT SINK BY PROFLO 22X15 NORRIS WHITE #PF1512UWH
- P15 UTILITY UNDERMOUNT LAUNDRY SINK BY PROFLO 23X15 WHITE #PFALS2522WH



1 LEVEL 2 PROPOSED FLOOR PLAN
1/4" = 1'-0"



2 ENLARGED FLOOR PLAN LEVEL 2
1/2" = 1'-0"

JASON MORAN
COLLABORATIVE DESIGNER

318 MISTLETOE
SAN ANTONIO TX 78212

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REVIEW: 1.19.2020

Floor Plan Level 2

PROJECT NO: 202007

DRAWN BY: JM

A-2.2

318 MISTLETOE AVE.

SAN ANTONIO TX 78212

GENERAL

1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATERTIGHT AND WEATHER TIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT AND BY ENTERING INTO THIS CONSTRUCTION CONTRACT WARRANTS FOR ONE FULL YEAR THE ADEQUACY OF THESE DETAILS.

2. THE INTENT OF THE DRAWING IS TO PROVIDE FOR A PLUMB, LEVEL AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED.

3. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH CURRENT INTERNATIONAL RESIDENTIAL BUILDING CODE AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS.

4. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF OR HERSELF WITH EXISTING CONDITIONS, DRAWINGS AND SPECIFICATIONS.

5. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND SHOULD BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES.

6. DETAILS ARE MEANT TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF THE WORK.

7. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.

8. THE CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PADS AND PANELS AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT AND EQUIPMENT MANUFACTURERS.

9. ALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS (I.E. 6" = 5 1/2").

10. ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

11. CONTRACTOR TO PROVIDE DUMPSTER AND TEMPORARY TOILET. SITE SHOULD BE CLEANED REGULARLY.

12. ALL DIMENSIONS ARE TO FACE OF STUD OR WALL FACE UNLESS OTHERWISE NOTED.

13. INTERIOR WALLS TO BE 2X4 WOOD STUDS AT 16" O.C., UNLESS OTHERWISE NOTED FOR PLUMBING WALLS.

14. EXTERIOR WALLS SHALL MATCH EXISTING STRUCTURE. IF NEW CONSTRUCTION, SHALL BE 2X4 WOOD STUDS AT 16" O.C., UNLESS OTHERWISE NOTED

15. ALL RESIDENTIAL STRUCTURES SHALL USE 5/8" TYPE X SHEETROCK FOR ALL NEW STRUCTURE AND WHERE GREATER THAN 50% OF A WALL SURFACE IS REMOVED. CONCRETE BOARD OR HARDIE BACKER TYPE MATERIAL AT ALL "WET AREAS". USE CEMENT BACKER BOARD AT ALL TILED WALLS, OR FULL SET MORTAR BACKING AT TILED WALLS.

16. ELECTRICAL AND HVAC INSTALLER TO COORDINATE THEIR WORK.

17. A/C PLAN TO BE PROVIDED BY CONTRACTOR AND COORDINATED WITH DESIGNER AND OTHER TRADES. BUILDING CODES. PROVIDE COST ESTIMATE FOR HIGH EFFICIENCY VARIABLE SPEED ZONED SYSTEM WITH MAXIMUM EFFICIENCY FILTERING SYSTEM.

18. EXTERIOR WALL SHEATHING \" PLYWOOD OR ORIENTED STRAND BOARD WRAPPED WITH TYVEK EXTERIOR WATER RESISTANT BARRIER.

19. FOR WATER DISTRIBUTION PIPING ONLY TYPE L SHALL BE USED. TYPE M COPPER, CPVC & PEX NOT ALLOWED.

20. INTERIOR WALLS TO BE LIGHT TEXTURE FINISH WITH 3 COATS PAINT (SATIN). INTERIOR TRIM TO BE PREPARED FOR PAINTING - 3 COATS PAINT (SEMI-GLOSS) INTERIOR TRIM - ALL INTERIOR TRIM TO BE PAINTED WOOD.

21. ALL PLYWOOD AND HARDWOODS AT CABINETS AND SHELVING TO BE "PREMIUM GRADE" AND TO BE FORMALDEHYDE FREE.

22. PROVIDE SEWER CLEANOUTS AS REQUIRED TO SERVICE ALL PLUMBING. VERIFY LOCATIONS WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.

23. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS FOR BACKFLOW PREVENTION DEVICES ON ALL INDIVIDUAL PIECES OF EQUIPMENT AS INDICATED IN TCEQ REGULATIONS.

24. CONTRACTOR SHALL INSTALL VACUUM BREAKER DEVICES ON ALL EXTERIOR HOSE BIBS.

25. CONTRACTOR SHALL INSTALL ARC FAULT CIRCUIT INTERRUPTION PROTECTION ON ALL ELECTRICAL CIRCUITS PER NEC 210.12.

26. SMOKE DETECTORS ARE REQUIRED IN EACH BEDROOM ENTRY AND ADJOINING HALL CEILING. SMOKE DETECTORS SHALL BE ELECTRICALLY HARDWIRED WITH A BATTERY BACKUP. ALL SMOKE DETECTORS SHALL ALSO BE ELECTRICALLY INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM. DETECTORS SHALL MEET INTERNATIONAL RESIDENTIAL CODE SECTION 317.1.1.

27. COMPLIANCE WITH IRC R613.2 FOR WINDOW SILLS.

28. WATER RISER MUST BE METAL ABOVE GROUND. SCHEDULE 40 PVC MAY ONLY BE USED FOR EXTERIOR PIPING THAT IS UNDERGROUND.

29. ALL WALLS WITH DRAIN-WASTE-VENT PLUMBING SHALL BE 2X6 LUMBER.

30. ATTIC ACCESS. MINIMUM OPENING 25.5" X 54". SHALL SUPPORT 350 LBS WITH 20 MINUTES FIRE RESISTANCE.

31. ALL MECHANICAL EQUIPMENT EXHAUST MUST TERMINATE ON THE EXTERIOR OF THE STRUCTURE.

32. ALUMINUM WIRING IS PROHIBITED AND 12/2 WITH GROUND IS THE SMALLEST CONDUCTOR SIZE ALLOWED.

33. LOCATE ALL ROOF VENTS FROM STREET VIEW WHERE POSSIBLE. PAINT TO MATCH ROOF COLOR.

STANDARDS AND REGULATIONS
APPLICABLE STANDARDS OF CONSTRUCTION INDUSTRY AND BUILDING CODES HAVE THE SAME FORCE AND AFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS. GOVERNING REGULATIONS HAVE PRECEDENCE OVER NONREFERENCED STANDARDS. IN SO FAR AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS, COMPLY WITH LOCAL BUILDING CODES AND INDUSTRY STANDARDS. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE TO THESE STANDARDS AND REGULATIONS AND FOR THE CONSTRUCTION PERMITS. THE INSTALLATION SHALL MEET THE MINIMUM STANDARD PRESCRIBED IN THE LATEST EDITION AND AMENDMENTS OF THE FOLLOWING STANDARDS. THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL CODES AND THE NEC.:

1. BUILDING CODES.....2018 INT. RESIDENTIAL CODE
2. PLUMBING CODE.....2018 UNIFORM PLUMBING CODE
3. MECHANICAL .....2018 INTERNATIONAL MECHANICAL CODE
4. ELECTRICAL CODE.....2017 NATIONAL ELECTRICAL CODE

ALL MECHANICAL, ELECTRICAL, AND PLUMBING INDICATED ON DRAWINGS IS SIMPLY TO AID CONTRACTOR ON GENERAL LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL, PLUMBING AND MECHANICAL SIZING, AND SHALL ADHERE TO THESE CODES.

PROJECT TEAM

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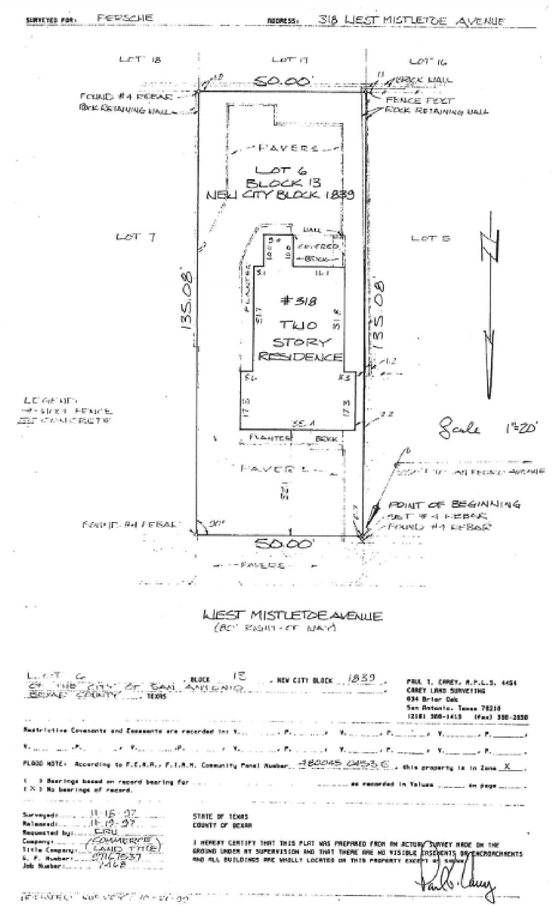
DRAWING LIST

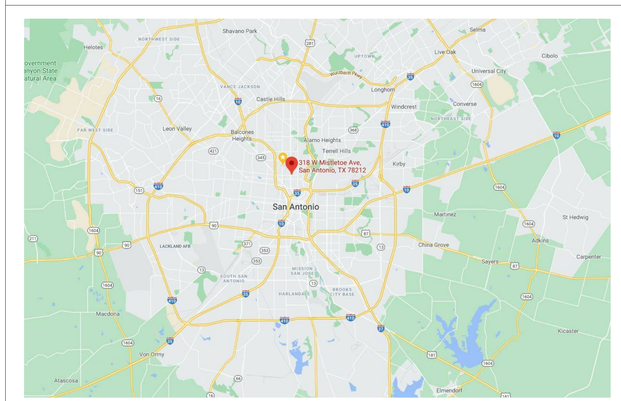
Sheet List	
Sheet Number	Sheet Name
A-1.0	Cover
A-1.1	Demo Floor Plan
A-2.1	Floor Plan Level 1
A-6.1	Power & Lighting
A-4.1	Interior Elevations
A-2.2	Floor Plan Level 2

SITE SURVEY



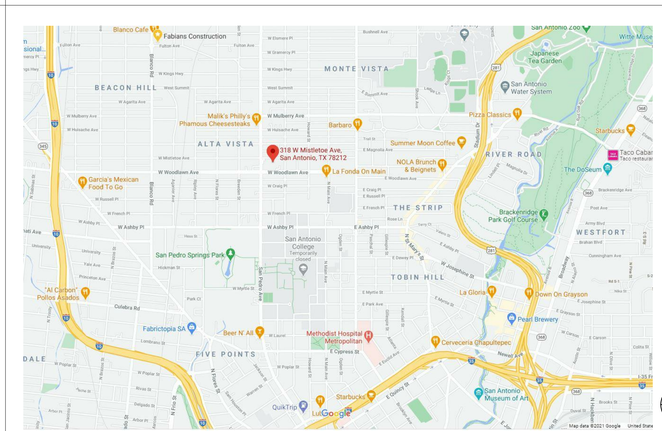
LOT 6 BLOCK 13
OF THE CITY OF SAN ANTONIO
BEXAR COUNTY TEXAS
NEW CITY BLOCK 1839
PAUL T. CAREY, R.P.L.S. 4454
CAREY LAND SURVEYING
934 Briar Oak
San Antonio, Texas 78216
(210) 308-1413 (Fax) 308-2838
Restrictive Covenants and Easements are recorded in: V. ___ P. ___ V. ___ P. ___ V. ___ P. ___
V. ___ P. ___ V. ___ P. ___ V. ___ P. ___ V. ___ P. ___ V. ___ P. ___
FLOOD NOTE: According to F.E.M.A., F.I.R.M. Community Panel Number 480045 0425 E this property is in Zone X.
( ) Bearings based on record bearing for ___ as recorded in Volume ___ on page ___.
(X) No bearings of record.
Surveyed: 11-15-97
Released: 11-19-97
Requested by: CPC
Company: COMMERCE
Title Company: LAND TITLE
G. F. Number: 97-16537
Job Number: 1468
STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE ESCHEMENTS OR ENCROACHMENTS AND ALL BUILDINGS ARE WHOLLY LOCATED ON THIS PROPERTY EXCEPT AS SHOWN.

LOCATION MAP



NORTH

VICINITY MAP



NORTH

JASON MORAN
COLLABORATIVE DESIGNER

318 MISTLETOE
SAN ANTONIO TX 78212

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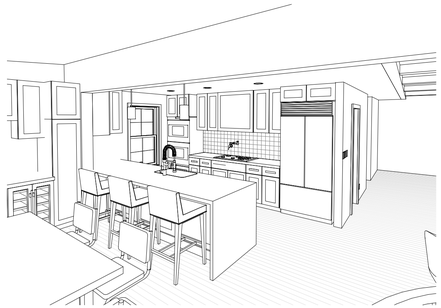
ISSUE:
REVIEW: 1.19.2020

Cover

PROJECT NO: 202007
DRAWN BY: JM

A-1.0



3 INTERIOR VIEW KITCHEN

4 INTERIOR VIEW KITCHEN

5 INTERIOR VIEW MASTER BATH

6 INTERIOR VIEW MASTER BATH

DEMOLITION NOTES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS

2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT

3. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRIGADES WHERE REQUIRED TO PROTECT THE PUBLIC.

4. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES. ANY ASBESTOS REMOVAL SHALL BE DONE PRIOR TO ANY DEMOLITION WORK, THIS WORK SHALL BE DONE BY A LICENSED ABATEMENT COMPANY.

5. IF THERE IS ANY CONCERN WHETHER A INTERIOR WALL IS BEARING OR NOT, CONTACT DESIGNER/ STRUCTURAL ENGINEER IMMEDIATELY TO SCHEDULE A VERIFICATION TIME. IF REQUIRED PROVIDE FRAMING & STRUCTURE DUE TO REMOVAL OF LOAD BEARING ELEMENTS.

6. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL / SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.

7. WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP & ROOF PENETRATION, REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS A PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW SLAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK SHALL BE DONE BY A LICENSED PLUMBER. NO DEAD WATER LEGS.

8. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.

9. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTING AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.

10. DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES,

11. LOCATIONS AND HEIGHTS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.

12. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER, AND DESIGNER PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.

13. DASHED LINES ON DEMOLITION PLAN INDICATED EXISTING MATERIALS TO BE REMOVED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.

14. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.

15. REPAIR SOFFIT, CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK.

16. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.

17. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION.

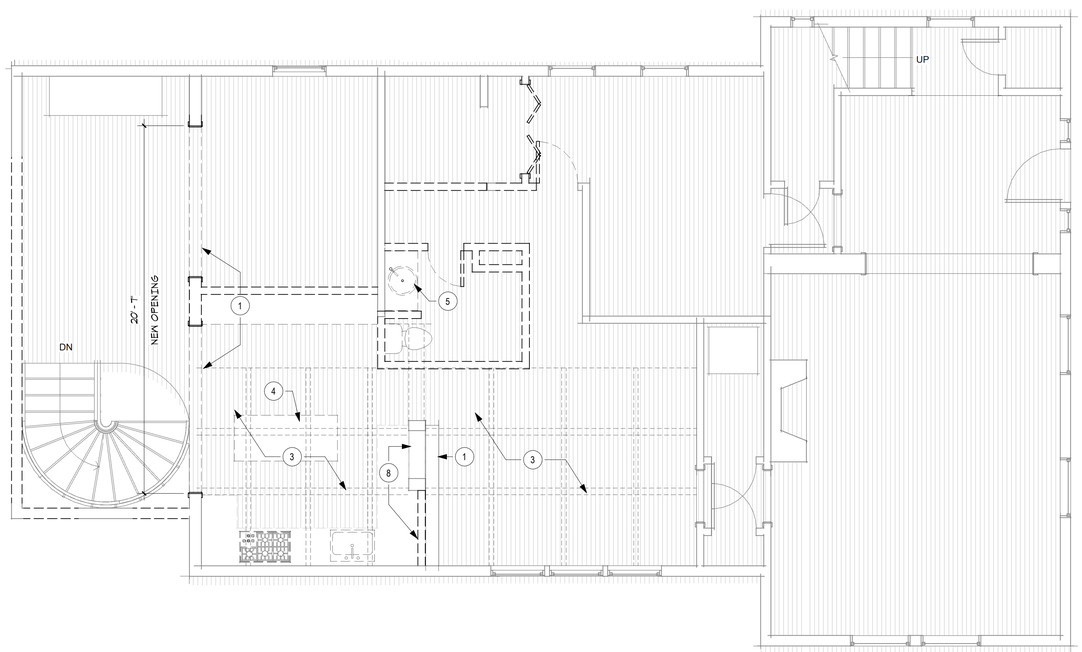
18. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE RESIDENCE.

19. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.

20. COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AS INDICATED IN PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS WHEN PRESENT. EXISTING MILLWORK, LIGHTING AND PLUMBING FIXTURES NOT TO BE REUSED.

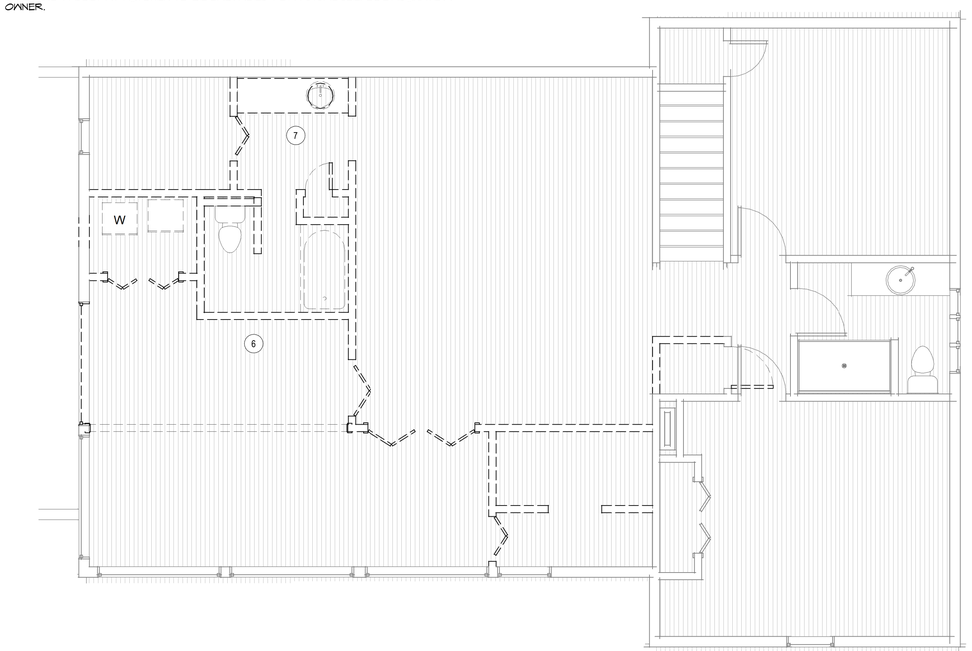
DEMO PLAN KEYED NOTES

1. EXISTING DOOR TO REMAIN. COORDINATE EXACT SCOPE WITH OWNER. EXISTING MILLWORK AND SOLID SURFACE TOP TO REMAIN.
2. AT NEW OPENING, COORDINATE OPENING LENGTH WITH NEW LVL DIMENSIONS. CONTACT DESIGNER WITH ANY QUESTIONS OR DISCREPANCIES.
3. EXISTING DECORATIVE WOOD BEAMS TO REMAIN. COORDINATE N EW SCOPE W OWNER.
4. EXISTING ISLAND TO BE SALVAGED FOR FUTURE USE BY OWNER COORDINATE W OWNER
5. EXISTING FAUCET AT KITCHEN TO BE SALVAGED FOR FUTURE USE. COORDINATE W OWNER.
6. SALVAGE FOLDING IRONING BEARD IN THIS ROOM FOR FUTURE USE NEW LAUNDRY
7. SALVAGE EXISTING MIRROR IN THIS ROOM FOR FUTURE USE. COORDINATE W OWNER
8. EXISTING WALL/ COLUMN/ OPENING TO REMAIN



NORTH

1 LEVEL 1 EXISTING/DEMO PLAN
1/4" = 1'-0"



NORTH

2 LEVEL 2 EXISTING/DEMO PLAN
1/4" = 1'-0"

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ISSUE:

REVIEW: 1.19.2020

Demo Floor Plan

PROJECT NO: 202007

DRAWN BY: JM

A-1.1

FLOOR PLAN GENERAL NOTES:

1. ALL NEW BASE TO MATCH EXISTING. VERIFY IN FIELD.
2. ALL NEW INTERIOR WALLS TO BE 5/8" GWB PAINTED. COORDINATE COLORS W OWNER. COORDINATE FINAL TEXTURE W OWNER.
3. REFINISH ALL EXISTING HARDWOOD FLOORS FOR "LIKE NEW" APPEARANCE..
4. COORDINATE REPLACEMENT OF EXISTING DOORS W OWNER PRIOR TO ORDERING.
5. STYLE AND SIZES OF ALL NEW DOORS ARE TO BE COORDINATED W/ OWNER PRIOR TO ORDERING.
6. AT ACCESSORY LOCATIONS (i.e.. TOWEL BARS, MIRRORS, COAT HOOKS, etc..) PROVIDE IN WALL BLOCKING FOR ADEQUATE SUPPORT FOR ITEM. COORDINATE ALL LOCATIONS W OWNER.

FRAMING GENERAL NOTES:

HEADERS ARE TO BE (2) 2X12 ABOVE ALL EXTERIOR WINDOWS AND DOOR OPENINGS. AT INTERIOR OPENINGS ALL HEADERS ARE TO BE (2) 2X6. AT NEW ADDITION BETWEEN DINING RM AND LIVING ROOM PROVIDE LVL 5-1/4" X 11-1/4" FOR 14'-6"SPAN OR PER MANUFACTURE'S REQUIREMENTS. (RE: FLOOR PLAN FOR LOCATION). ALL FRAMING LUMBER TO BE 2X4 OR 2X6 KILN DRIED SOUTHERN YELLOW PINE #2 OR BETTER WOOD FRAMING. ALL CEILING JOISTS & RAFTERS ARE TO BE 2X6 FRAMING AT 16" O.C.

WALL LEGEND

- EXISTING PARTITION TO BE
- E — EXISTING PARTITION TO
- A — NEW INTERIOR PARTITION. 2X4 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE.
- A1 — NEW INTERIOR PARTITION. 2X6 STUDS @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE.
- B — NEW EXTERIOR 3 COAT STUCCO OVER METAL LATH WALL. 2X6 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @16" O.C. INTERIOR FINISH TO BE 5/8" TYPE "X" GYP. BD. FINISH & PAINT TO MATCH EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER AS REQUIRED. EXTERIOR FINISH TO MATCH EXISTING.

NOTE:: PROVIDE SUBMITTAL TO OWNER FOR ALL ITEMS SPECIFIED PRIOR TO ORDERING FOR OWNER APPROVAL.

FLOOR PLAN KEYED NOTES

1. EXISTING DOOR TO REMAIN. COORDINATE EXACT SCOPE WITH OWNER.
2. NEW 3/4" THICK WOOD W DOVETAIL ASSEMBLY, BASE / UPPER CABINETS WHERE SPECIFIED. RE: INTERIOR ELEVATIONS. PROVIDE SOFT CLOSE DRAWERS (BLUM SOFT HINES/ GUIDES)RE: ELEVATIONS FOR CONFIGURATIONS. PROVIDE FOR QUARTZ OR HONED COUNTERTOPS BY WILSONART OR EQUAL. COORDINATE FINAL DESIGN & SELECTIONS W/OWNER. PROVIDE WATERFALL EDGE WHERE NOTED.
3. NEW SINK AND FAUCET AS SPECIFIED.
4. WATERFALL EDGE PROFILE AT COUNTERTOP
5. TOILET AS SPECIFIED.
6. NEW VANITY AND SINK AS SPECIFIED.
7. SHOWER CONTROL LOCATION
8. APPLIANCE AS SPECIFIED.
9. EXISTING BEAMS TO REMAIN & REFINISH. COORDINATE W OWNER EXACT SCOPE
10. INSTALL AND PROVIDE WATER LINE AS REQUIRED FOR OWNER PROVIDED POT FILLER
11. EXISTING AREA NOT IN CONTRACT. PROTECT THRU DURATION OF CONSTRUCTION
12. NEW LVL BEAM. VERIFY DISTANCE REQUIREMENTS. ADJUST WING WALLS TO ACCOMMODATE REQUIREMENTS. COORDINATE W DESIGNER/ OWNER.
13. LINE OF WALL BELOW
14. SHELVING FLOOR TO CEILING. RE: ELEVS.
15. TILE AS SCHEDULED
16. EXISTING TOILET TO REMAIN
17. PROVIDE WATER OR GAS LINE AS REQUIRED PER APPLIANCE SPECIFICATIONS
18. SHOWER CONTROLS
19. OWNER PROVIDED CLOSET STORAGE. COORDINATE W/ OWNER
20. 30" DEEP MILLWORK LINEN CLOSET
21. EXISTING SOLID SURFACE TOP TO REMAIN. MODIFY AS REQUIRED FOR NEW CONFIGURATION. COORDINATE W DESIGNER/ OWNER
22. EXISTING MIRROR TO REMAIN
23. NEW LOCATION OF EXISTING IRONING BOARD. COORDINATE EXACT LOCATION W DESIGNER/ OWNER
24. MILLWORK VANITY BY G.C. COORDINATE W OWNER DETAILS.

PLUMBING FIXTURE SCHEDULE

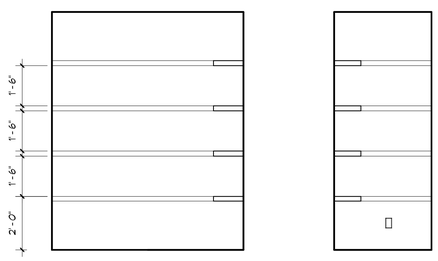
- P1 POT FILLER BY HAVIN FOLDING STRETCHABLE DOUBLE JOINT SWING ARM, STYLE A A206 BRUSHED GOLD
- P2 KITCHEN FAUCET BY KRAUS KPF-1690SFACB BRITT COMMERCIAL STYLE KITCHEN FAUCET, SPOT FREE ANTIQUE CHAMPAGNE BRONZE
- P3 KITCHEN DOUBLE BOWL UNDERMOUNT STAINLESS STEEL RECTANGULAR IN SATIN BY KRAUS #KHU103-32
- P4 BATHROOM UNDERMOUNT SINK BY PROFLO 18X12 OH #PF1812WH "NORRIS WHITE"
- P5 BATHROOM 8" WIDESPREAD LAVATORY FAUCET BY DELTA 3559 BLMPUDST
- P6 SHOWER FAUCET AND CONTROLS DELTA TRINSIAC MONITOR #T14259-BLLHD WITH MULTI FUNCTION HAND SHOWER IN MATTE BLACK #D58448BL
- P7 4" SQUARE DRAIN EE4400 & EE4411
- P8 LAVATORY FAUCET 8" WIDESPREAD FAUCETS K14406-4-BGD BY KOHLER PURIST 1.2 GPM WITH POP-UP DRAIN ASSEMBLY
- P9 BATH TUB BY SIGNATURE HARDWARE 59" HIBISCUS OVAL ACRYLIC FREESTANDING #948057
- P10 BATH TUB FILLER BY KOHLER PURIST SINGLE HANDLE LEVER FLOOR MOUNT #K-T97328-4-CP. WITH BRASS AND METAL MOUNTING BLOCK # K97339
- P11 SHOWER FAUCET AND CONTROLS TRIM KIT BY KOHLER PURIST #K-T514422-4-BGD AND # KT14491-4-BGD.SHOWER SLIDE BAR BY KOHLER TRADITIONAL 30" # K-0524-BGD.
- P12 SHOWER DRAIN BY SIGNATURE HARDWARE COHEN 2-1/8" TAPERED POLISHED BRASS 24" LIN. #SH443573
- P13 TOILET BY TOTO AQUIA IV COLLECTION #CT446CUG#01 COTTON FINISH. TOILET TANK BY TOTO AQUIA IV COLLECTION DUAL FLUSH TANK #ST4446EMA#01. BIDET SEAT BY TOTO, WASHLET COLLECTION #SW3056AT40#01
- P14 BATHROOM UNDERMOUNT SINK BY PROFLO 23X18 NORRIS WHITE #PF1812WH
- P15 UTILITY UNDERMOUNT LAUNDRY SINK BY PROFLO 23X18 WHITE #PFAL52522WH

APPLIANCE SCHEDULE

- AP-1 30" DOUBLE WALL OVEN 500 SERIES STAINLESS STEEL BY BOCH - #HBL5551UC
- AP-2 FRENCH DOOR REFRIGERATOR BY LG #LRFVC2406
- AP-3 36" GAS COOKTOP BY SAMSUNG #NA36N6555TS
- AP-4 RANGE HOOD TO BE SELECTED BY OWNER
- AP-5 GARBAGE DISPOSAL WITH AIR SWITCH TO BE SELECTED BY OWNER
- AP-6 WASHER AND DRYER. COORDINATE W OWNER
- AP-7 MICROWAVE. COORDINATE W OWNER
- AP-8 DISHWASHER. COORDINATE W OWNER

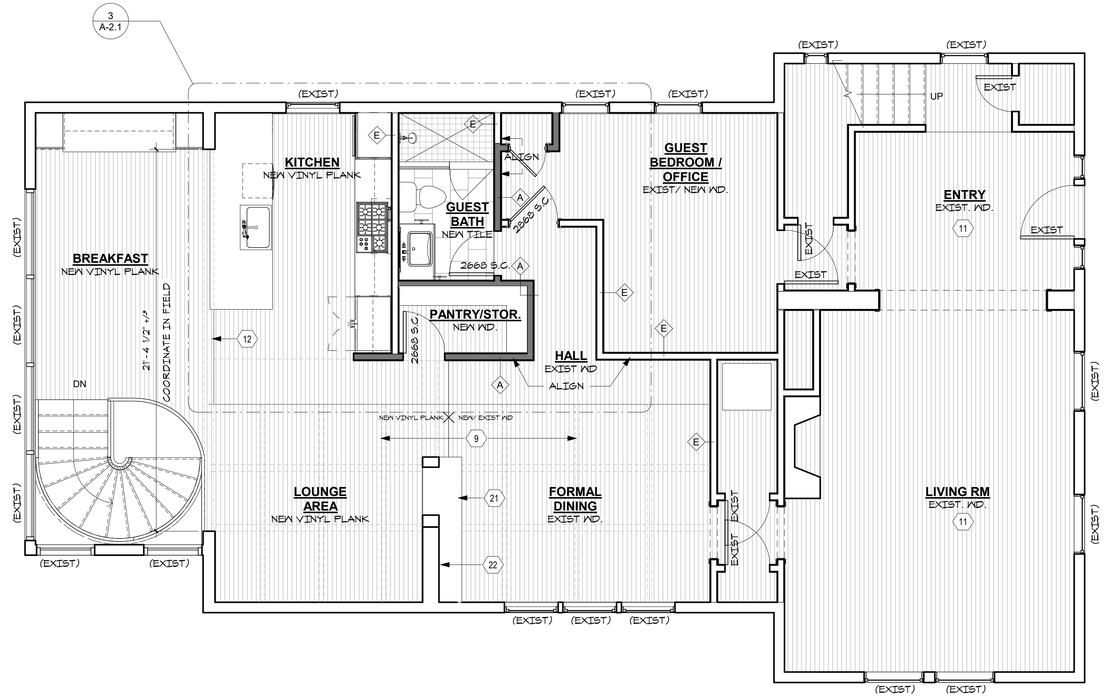
FINISH SCHEDULE

T.1	CERAMIC TILE
T.2	HENSLEY 12" X 12" TEXTURED MARBLE FLOOR TILE
T.3	UNPOLISHED DARK CERAMIC TILE
T.4	CEMENT TILE BY ZIA TILE; ZELLIGE ABSINTHE 2X6
T.5	CEMENT TILE BY ZIA TILE; ZELLIGE ABSINTHE 4"X4"
MT.1	PEBBLE MOSAIC TILE
SS.1	SOLID SURFACE 2CM THICK GALAGATTA QUARTZ



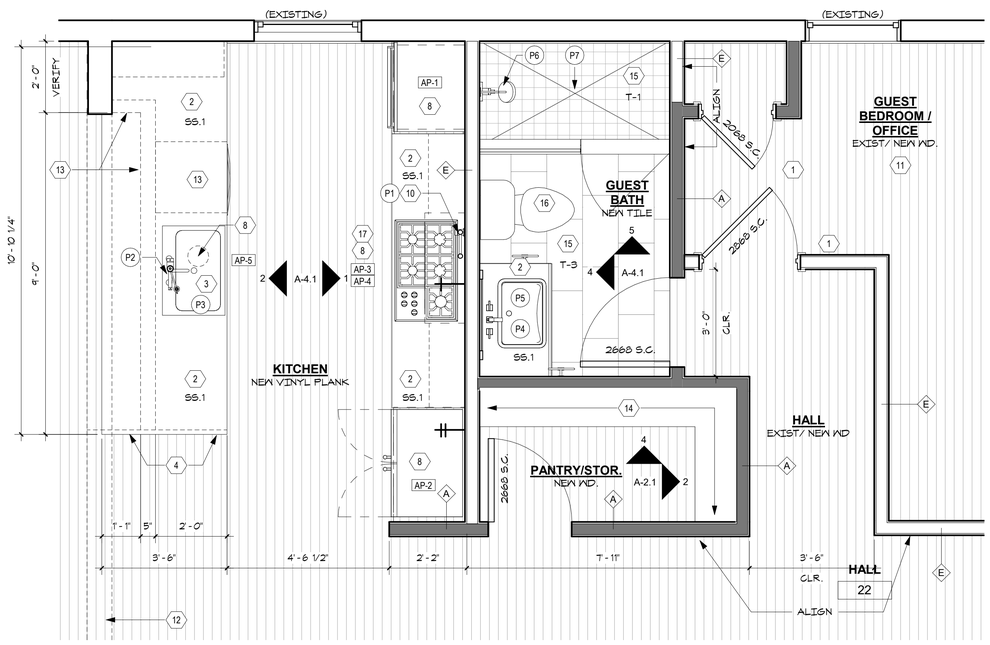
4 ELEV AT PANTRY
3/8" = 1'-0"

2 ELEV AT PANTRY
3/8" = 1'-0"



1 LEVEL 1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

NORTH



3 ENLARGED FLOOR PLAN - LEVEL 1
1/2" = 1'-0"

NORTH

JASON MORAN
COLLABORATIVE DESIGNER

318 MISTLETOE
SAN ANTONIO TX 78212

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ISSUE:

REVIEW: 1.19.2020

Floor Plan Level 1

PROJECT NO: 202007

DRAWN BY: JM

A-2.1

FRAMING GENERAL NOTES:

HEADERS ARE TO BE (2) 2X12 ABOVE ALL EXTERIOR WINDOWS AND DOOR OPENINGS. AT INTERIOR OPENINGS ALL HEADERS ARE TO BE (2) 2X6. AT NEW ADDITION BETWEEN DINING RM AND LIVING ROOM PROVIDE LVL 5-1/4" X 11-1/4" FOR 14'-6"SPAN OR PER MANUFACTURE'S REQUIREMENTS. (RE: FLOOR PLAN FOR LOCATION). ALL FRAMING LUMBER TO BE 2X4 OR 2X6 KILN DRIED SOUTHERN YELLOW PINE #2 OR BETTER WOOD FRAMING. ALL CEILING JOISTS & RAFTERS ARE TO BE 2X6 FRAMING AT 16" O.C.

WALL LEGEND

- EXISTING PARTITION TO BE
- E — EXISTING PARTITION TO
- A — NEW INTERIOR PARTITION. 2X4 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE.
- A1 — NEW INTERIOR PARTITION. 2X6 STUDS @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE.
- B — NEW EXTERIOR 3 COAT STUCCO OVER METAL LATH WALL. 2X6 STUDS KILN DRIED SOUTHER YELLOW PINE #2 OR BETTER @16" O.C. INTERIOR FINISH TO BE 5/8" TYPE "X" GYP. BD. FINISH & PAINT TO MATCH EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER AS REQUIRED. EXTERIOR FINISH TO MATCH EXISTING.

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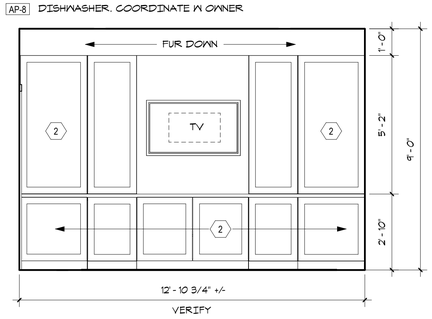
- AP-7 MICROWAVE. COORDINATE W OWNER
- AP-8 DISHWASHER. COORDINATE W OWNER



3 ELEVATION AT MASTER BEDROOM
3/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

- P1 POT FILLER BY HAVIN FOLDING STRETCHABLE DOUBLE JOINT SWING ARM, STYLE A A206 BRUSHED GOLD
- P2 KITCHEN FAUCET BY KRAUS KPF-1690SFACB BRITT COMMERCIAL STYLE KITCHEN FAUCET, SPOT FREE ANTIQUE CHAMPAGNE BRONZE
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- P9 BATH TUB BY SIGNATURE HARDWARE 54" HIBISCUS OVAL ACRYLIC FREESTANDING #948057
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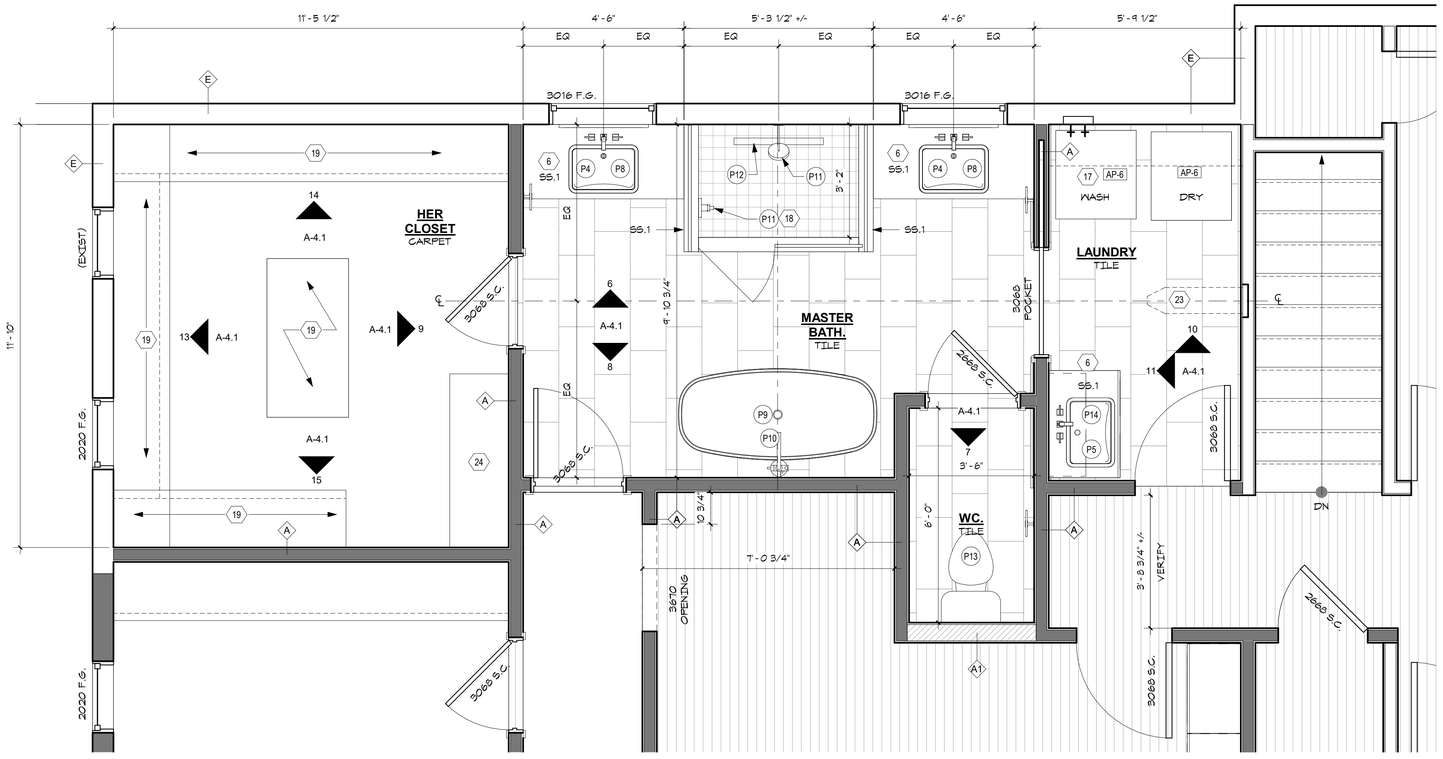
- P14 BATHROOM UNDERMOUNT SINK BY PROFLO 23X18 NORRIS WHITE #PF1812WH
- P15 UTILITY UNDERMOUNT LAUNDRY SINK BY PROFLO 23X18 WHITE #PFAL52522WH

TRUE NORTH PLAN NORTH

1 LEVEL 2 PROPOSED FLOOR PLAN
1/4" = 1'-0"



TRUE NORTH PLAN NORTH

2 ENLARGED FLOOR PLAN LEVEL 2
1/2" = 1'-0"

JASON MORAN
COLLABORATIVE DESIGNER

318 MISTLETOE
SAN ANTONIO TX 78212

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ISSUE:

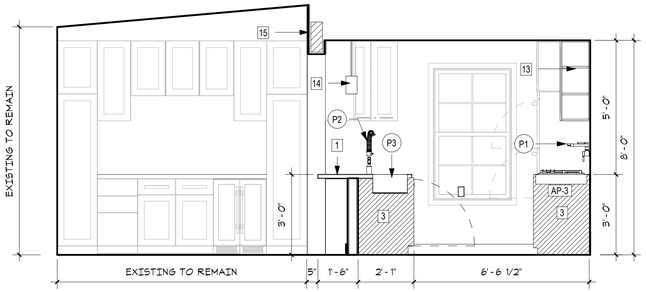
REVIEW: 1.19.2020

Floor Plan Level 2

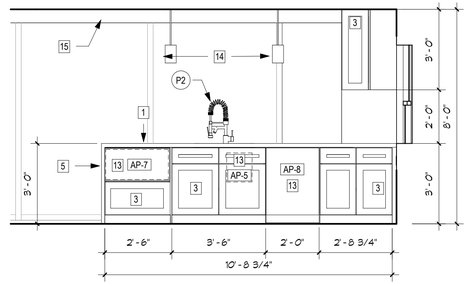
PROJECT NO: 202007

DRAWN BY: JM

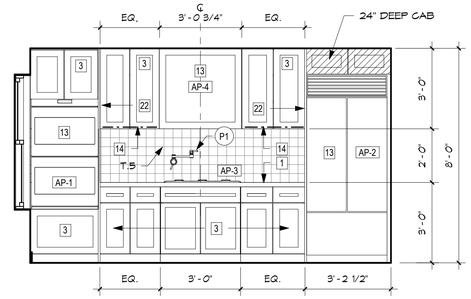
A-2.2



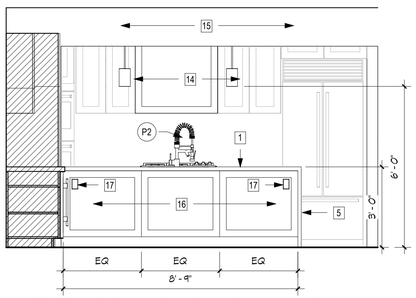
12 KITCHEN/ BAR
3/8" = 1'-0"



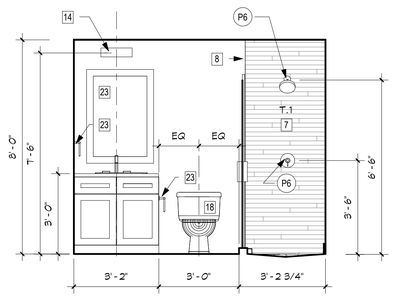
2 ELEVATION AT KITCHEN - B
3/8" = 1'-0"



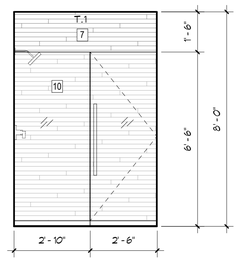
1 ELEVATION AT KITCHEN -A
3/8" = 1'-0"



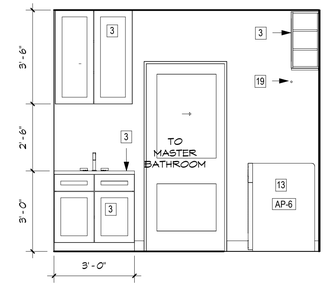
3 ELEVATION AT KITCHEN ISLAND
3/8" = 1'-0"



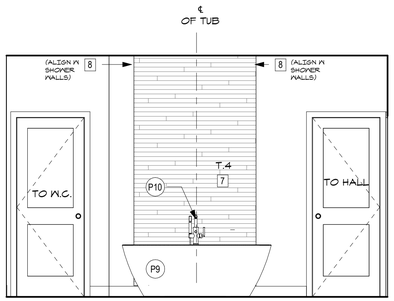
4 GUEST BATHROOM WET WALL
3/8" = 1'-0"



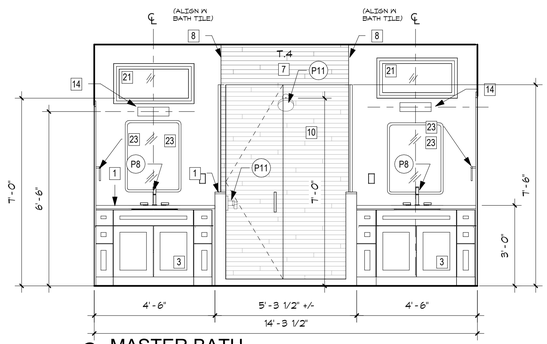
5 GUEST BATHROOM @ SHOWER
3/8" = 1'-0"



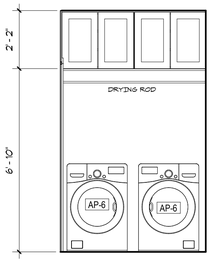
11 LAUNDRY ROOM
3/8" = 1'-0"



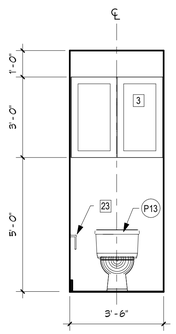
8 MASTER BATH. BATH TUB
3/8" = 1'-0"



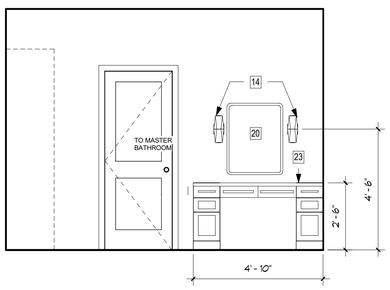
6 MASTER BATH
3/8" = 1'-0"



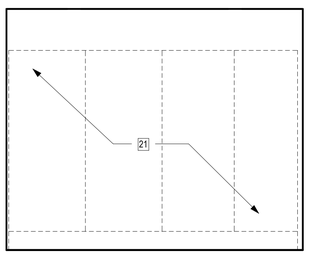
10 LAUNDRY ROOM
3/8" = 1'-0"



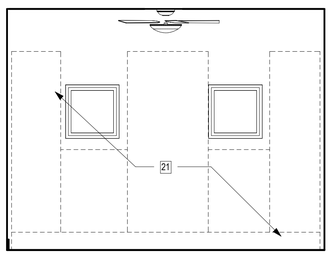
7 WATER CLOSET
3/8" = 1'-0"



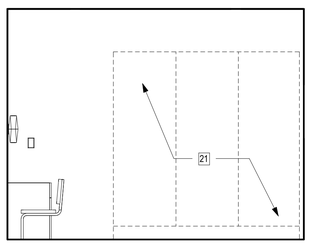
9 MASTER CLOSET
3/8" = 1'-0"



14 Elevation 1 - a
3/8" = 1'-0"



13 MASTER CLOSET
3/8" = 1'-0"



15 Elevation 2 - a
3/8" = 1'-0"

FINISH SCHEDULE

T.1	CERAMIC TILE
T.2	HENSLEY 12" X 12" TEXTURED MARBLE FLOOR TILE
T.3	UNPOLISHED DARK CERAMIC TILE
T.4	CEMENT TILE BY ZIA TILE; ZELLIGE ABSINTHE 2X6
T.5	CEMENT TILE BY ZIA TILE; ZELLIGE ABSINTHE 4"X4"
MT.1	PEBBLE MOSAIC TILE
SS.1	SOLID SURFACE 2CM THICK CALACATTA QUARTZ

ELEVATION KEYED NOTES

1. SOLID SURFACE COUNTERTOP
2. LED UNDERCABINET STRIP LIGHT
3. LAMINATE CABINETS, AS SPEC'D
4. PAINTED GWB. CEILING/FUR DOWN
5. WATERFALL EDGE COUNTERTOP
6. PAINTED GYP. BD. SURFACE PAINT AS SCHED.
7. WALL TILE AS SPEC'D.
8. SCHLUTER "JOLLY", OR EQUAL TRIM TILE TRANSITION.
9. SHOWER FLOOR TILE AS SPEC'D.
10. GLASS SHOWER PANEL / DOOR
11. RE-USE KITCHEN SINK AND RELOCATE TO LAUNDRY ROOM
12. NEW WINDOW AS SCHEDULED
13. APPLIANCE AS SCHEDULED
14. LIGHT FIXTURE AS SCHEDULED
15. NEW STRUCTURAL LVL BEAM
16. MILLWORK CLADDING OVER WALL
17. POWER OUTLET
18. EXISTING PLUMBING FIXTURE TO REMAIN
19. DRYING ROD
20. MILLWORK VANITY BY G.C. COORDINATE W OWNER DETAILS.
21. NEW CLOSET MILLWORK PROVIDED BY OWNER. COORDINATE ALL DETAILS W OWNER
22. MILLWORK END PANEL
23. ACCESSORY AS SCHEDULED. VERIFY W OWNER ITEM AND LOCATION.

APPLIANCE SCHEDULE

AP-1	30" DOUBLE WALL OVEN 500 SERIES STAINLESS STEEL BY BOCH - #HBL5551UC
AP-2	FRENCH DOOR REFRIGERATOR BY LG #LRFVC2406
AP-3	36" GAS COOKTOP BY SAMSUNG #NA36N6555TS
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AP-6	WASHER AND DRYER. COORDINATE W OWNER
AP-7	MICROWAVE. COORDINATE W OWNER
AP-8	DISHWASHER. COORDINATE W OWNER

ACCESSORIES SCHEDULE

AC-1 NEW MIRROR BY

AC-2 TOWEL BAR/ RING BY

PLUMBING FIXTURE SCHEDULE

- (P1) POT FILLER BY HAVIN FOLDING STRETCHABLE DOUBLE JOINT SWING ARM, STYLE A A206 BRUSHED GOLD
- (P2) KITCHEN FAUCET BY KRAUS KPF-16905FACB BRITT COMMERCIAL STYLE KITCHEN FAUCET, SPOT FREE ANTIQUE CHAMPAGNE BRONZE
- (P3) KITCHEN DOUBLE BOWL UNDERMOUNT STAINLESS STEEL RECTANGULAR IN SATIN BY KRAUS #KHU103-32
- (P4) BATHROOM UNDERMOUNT SINK BY PROFLO 18X12 OH #PF1812WH "NORRIS WHITE"
- (P5) BATHROOM 8" WIDESPREAD LAVATORY FAUCET BY DELTA 3559 BLMPUDST
- (P6) SHOWER FAUCET AND CONTROLS DELTA TRINSIAC MONITOR #T14254-BLLHD WITH MULTI FUNCTION HAND SHOWER IN MATTE BLACK #D58499BL
- (P7) 4" SQUARE DRAIN EE4400 & EE4411
- (P8) LAVATORY FAUCET 8" WIDESPREAD FAUCETS K14406-4-BGD BY KOHLER PURIST 1.2 GPM WITH POP-UP DRAIN ASSEMBLY
- (P9) BATH TUB BY SIGNATURE HARDWARE 59" HIBISCUS OVAL ACRYLIC FREESTANDING #948057
- (P10) BATH TUB FILLER BY KOHLER PURIST SINGLE HANDLE LEVER FLOOR MOUNT #KT97328-4-CP. WITH BRASS AND METAL MOUNTING BLOCK # K97339
- (P11) SHOWER FAUCET AND CONTROLS TRIM KIT BY KOHLER PURIST #K-TS14422-4-BGD AND # KT14491-4-BGD.SHOWER SLIDE BAR BY KOHLER TRADITIONAL 30" # K-8524-BGD.
- (P12) SHOWER DRAIN BY SIGNATURE HARDWARE COHEN 2-1/8" TAPERED POLISHED BRASS 24" LIN. #SH449513
- (P13) TOILET BY TOTO AQUIA IV COLLECTION #CT446CUG#01 COTTON FINISH. TOILET TANK BY TOTO AQUIA IV COLLECTION DUAL FLUSH TANK #ST446EMA#01. BIDET SEAT BY TOTO, WASHLET COLLECTION #SW3056AT40#01
- (P14) BATHROOM UNDERMOUNT SINK BY PROFLO 23X18 NORRIS WHITE #PF1812WH
- (P15) UTILITY UNDERMOUNT LAUNDRY SINK BY PROFLO 23X18 WHITE #PFAL52522WH

JASON MORAN
COLLABORATIVE DESIGNER

318 MISTLETOE
SAN ANTONIO TX 78212

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ISSUE:

REVIEW: 1.19.2020

Interior Elevations

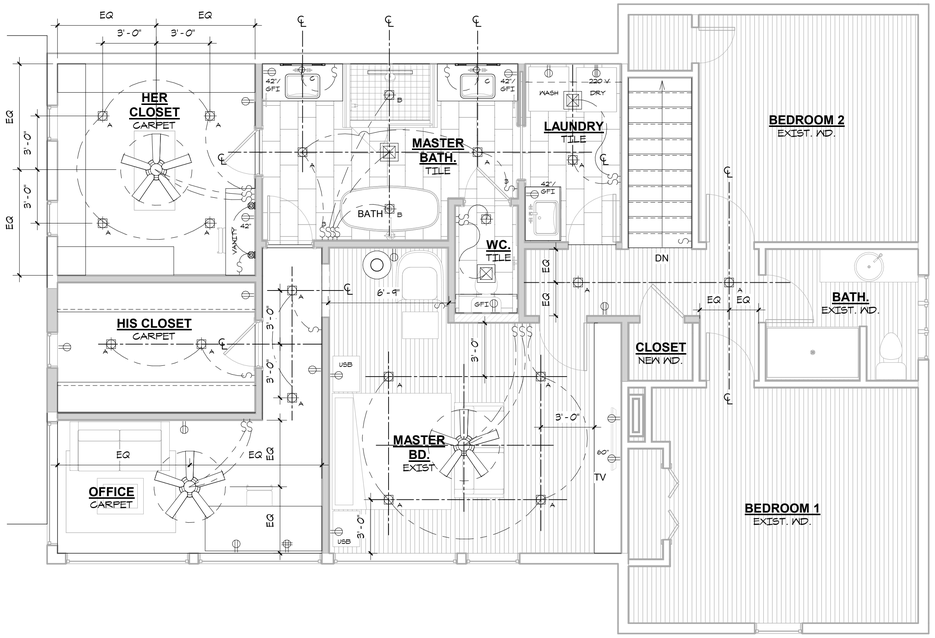
PROJECT NO: 202007

DRAWN BY: JM

A-4.1

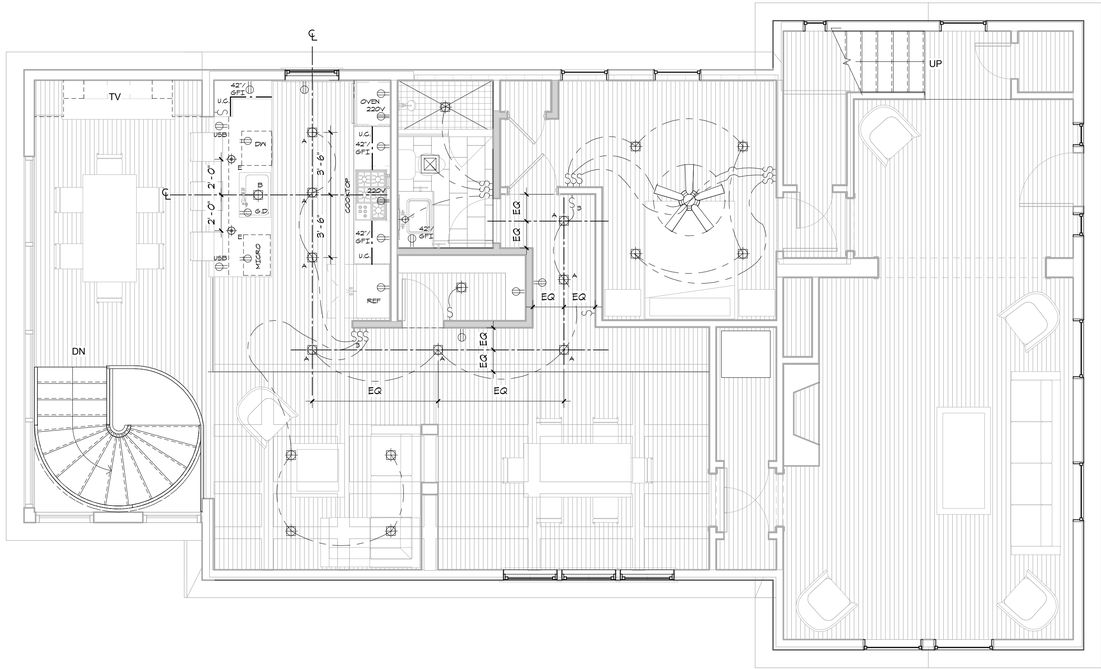
GENERAL NOTES:
-VERIFY ALL L IGHT FIXTURE HEIGHTS W OWNER PRIOR TO INSTALLATION'
-VERIFY ALL OUTLET LOCATIONS AND LAYOUT W OWNER PRIOR TO PULLING ELECT. WIRE
-NOTIFY OWNER/ DESIGNER OF ANY DISCREPANCIES IN COORDINATION OF ELECT
-ALL LIGHT FIXTURES TO BE SELECTED BY DESIGNER / OWNER. PROVIDE SUBMITTAL FOR APPROVAL

A	4" RECESSED CAN LIGHT		LIGHT PATH
B	RECESSED CAN AT SHOWER MOISTURE RESISTANT	S	LIGHT SWITCH
C	WALL MOUNTED LIGHT FIXTURE (INTERIOR)	U.C.	UNDER CAB LIGHT
D	DIMMER		DUPLEX OUTLET
E	OWNER PROVIDED, CONTRACTOR INSTALLED PENDANT LIGHT		DUPLEX OUTLET
S3	3 WAY LIGHT SWITCH		220V OUTLET
		GFI	GROUND FAULT INTERRUPTED
	BLADE CEILING FAN WITH REMOTE. SELECTED BY OWNER		HEATER / VENT
		USB	USB INTEGRATED OUTLET



TRUE NORTH PLAN NORTH

2 LEVEL 2 PROPOSED FLOOR PLAN
1/4" = 1'-0"



NORTH

1 LEVEL 1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

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COLLABORATIVE DESIGNER

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ISSUE:
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Power & Lighting

PROJECT NO: 202007
DRAWN BY: JM

A-6.1

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Scope of work; Interior

Precision Contracting:
Provide surface protection, install prefilters to A/C returns to help with dust control.
Provide new door & door frames
Installation of new passage hardware at new door locations.
All appliances, fixtures to be owner provided.
Tape, float, texture, prime all new walls.
Prep all existing walls, ceiling, trim, doors, and door frames for new paint.
Provide new cabinets at kitchen, "His" closet and "Her" closet and laundry room
P/I new carpet at upstairs closet and office
Install owner provided ceramic/porcelain tile at bathroom floors and walk-in shower walls.
Provide and install level 1 quartz at kitchen and bathrooms.
Install owner provided restroom accessories.

Framing/Millwork:
Per the floorplan provided by Mr. Jason Moran dated 10-19-2020.
Provide and install new 22' beam across kitchen and lounge ceiling.
Install new interior door & door frames at new door locations per drawing
Install new cabinets at kitchen, shelving in pantry and laundry room
Re-use existing windows on right side of home-relocate to back and left side of home

Plumbing:
Install owner provided hall bath tub, toilet and lavatory.
Relocate current washer and dryer.
Install new master bath tub, toilet, double lavatory and shower upstairs.

Mechanical:
Provide and install new complete 16 Seer HVAC system.

Electrician:
Supply and install (38) new recessed led lights.
Install (10) owner provided decorative fixtures.

1 Existing East Elevation
1/4" = 1'-0"

1 Existing South Elevation

1/4" = 1'-0"

3 Existing North Elevation
1/4" = 1'-0"