HISTORIC AND DESIGN REVIEW COMMISSION
July 07, 2021

HDRC CASE NO:	**2021-309**
COMMON NAME:	515 N PALMETTO, 519 N PALMETTO
ADDRESS:	511 N PALMETTO
LEGAL DESCRIPTION:	NCB 1371 BLK 3 LOT 33 34 & 35
ZONING:	RM-4, H
CITY COUNCIL DIST.:	2
DISTRICT:	Dignowity Hill Historic District
APPLICANT:	Monica Naves/VERGEL CONSTRUCTION LLC
OWNER:	VERGEL CONSTRUCTION LLC
TYPE OF WORK:	Landscaping amendments, porch railing installation, fencing, walkway design amendments, front façade and roof form amendments
APPLICATION RECEIVED:	June 15, 2021
60-DAY REVIEW:	Not applicable due to City Council Emergency Orders
CASE MANAGER:	Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install front porch railing at each house.
2. Install front and rear yard, cattle panel fencing in the front and rear yards of each property.
3. Install side yard, solid fencing in the front and rear yard of each property.
4. Install landscaping elements, including gravel in the front yard of each property.
5. Amend the previously approved front walkway design at 511 and 519 N Palmetto to feature a curved design.
6. Install hot water heater closets on the side facades of each structure.
7. Amend the previously approved street facing façade and roof form of both 511 and 519 N Palmetto to feature front facing gabled roofs.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

2. Building Massing and Form

B. ROOF FORM
i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential
building types are more typically flat and screened by an ornamental parapet wall.
ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

4. Architectural Details

A. GENERAL
i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district.
Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

B. NEW FENCES AND WALLS
i. Design—New fences and walls should appear similar to those used historically within the district in terms of their scale,
transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
ii. Location—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
iii. Height—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
iv. Prohibited materials—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
v. Appropriate materials—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that
are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for
appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS
i. Historic Gardens— Maintain front yard gardens when appropriate within a specific historic district.
ii. Historic Lawns—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
iii. Native xeric plant materials—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
iv. Plant palettes—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
v. Maintenance—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE
i. Impervious surfaces —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
ii. Pervious and semi-pervious surfaces—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
iii. Rock mulch and gravel - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES
i. Preservation—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
ii. New Trees – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS
i. Maintenance—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
ii. Replacement materials—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
iii. Width and alignment—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
iv. Stamped concrete—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
v. ADA compliance—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

FINDINGS:

a. The recently constructed, single-family residential structures at 511, 515, and 519 N Palmetto received final approval from the Historic and Design Review Commission on August 19, 2020. At this time, the applicant is requesting a Certificate of Appropriateness for various items that are currently in violation.
b. VIOLATION – On April 5, 2021, OHP staff performed a site visit and found a number of unapproved scopes of work either underway or completed. At that time OHP staff notified the applicant that all unapproved work was to stop until Certificates of Appropriateness had been issued.
c. PORCH RAILING – The applicant is requesting approval to install porch railing at each house, 511, 515, and 519 N Palmetto. Generally, staff finds the installation of porch railing to be appropriate; however, it should be designed in a manner that is architecturally appropriate with both the design of each house and the Historic District. Staff has included an example of architecturally appropriate porch railing in the exhibits.
d. CATTLE PANEL FENCING – The applicant is requesting approval to install a cattle panel fence to feature four (4) feet in height in each front and rear yards to run parallel with the sidewalk and property line at the public right of way. Staff finds the proposed fencing to be appropriate and consistent with the Guidelines for Site Elements.
e. SOLID FENCING – The applicant has proposed to install solid fencing in the front and rear yards of each property. Generally, staff finds the proposed fencing to be appropriate; however, solid fencing within front yards shall not exceed three (3) feet in height. Rear privacy fencing shall not exceed six (6) feet in height.
f. LANDSCAPING – The applicant has proposed to install dark gray gravel in the front yard of each structure. Additionally, the applicant has proposed small landscaping beds and the installation of two trees, one of which will be located in the front yard of each property. Generally, staff finds xeric landscaping to be appropriate provided it does not remove or negatively impact historic landscaping elements. Staff finds the proposed landscaping to be appropriate; however, staff finds that additional front yard vegetation should be added.,
g. WALKWAYS – The applicant is requesting approval to amend a previously approved design for front yard walkways at each property. The previous approval included walkways with straight profiles; however, due to existing onsite utilities, the applicant has installed curved walkways. Staff does not find the installation of curved walkways to be consistent with the Guidelines and historic examples found throughout the Dignowity Hill Historic District. Staff recommends straight walkways be installed, as per the original approval.
h. HOT WATER HEATER CLOSETS – The applicant has proposed to install hot water heater closest on the side of each house. The proposed closets are prefabricated structures with faux siding. While staff finds the installation of hot water heater closets to be appropriate and common throughout the historic district, staff finds that a prefabricated structure is not appropriate and that hot water heater closets should feature materials that are consistent with that of the new construction.
i. FRONT FAÇADE, PORCH, AND ROOF FORMS – The applicant has proposed to amend the previously approved design for each structure. For 511 and 519 N Palmetto, the applicant has proposed to amend the

previously approved hipped roof and to construct front facing gabled roofs. Staff finds the proposed modifications to be appropriate and consistent with the Guidelines for New Construction.

RECOMMENDATION:

1. Staff does recommends approval of item #1, the installation of front porch railing as submitted. Staff recommends the applicant install porch railing with an appropriate profile, as noted in finding c. A detailed drawing has been included in the exhibits for reference.
2. Staff recommends approval of item #2, front and rear yard cattle panel fencing as submitted based on finding d.
3. Staff recommends approval of item #3, solid fencing in the front and rear yards based on finding d with the stipulation that solid front yard fencing does not exceed three (3) feet and that solid rear yard fencing does not exceed six (3) feet.
4. Staff recommends approval of item #4, landscaping, with the stipulation that additional natural ground covering (vegetation) be added within the front yards of each property. Use of rock mulch or gravel should be limited to small areas and should incorporate natural colors.
5. Staff does not recommend approval of item #5, the proposed amendment to the front walkway design, based on finding g. Staff recommends that straight walkways be installed as is the historic development pattern within the district.
6. Staff does not recommend approval of item #6, the installation of plastic hot water heater closets, based on finding h. Staff recommends that hot water heater closets be constructed to match the materials and profiles of the new construction.
7. Staff recommends approval of item #7, modifications to the front facades and roof forms based on finding i.

City of San Antonio One Stop

July 2, 2021

1:1,000

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km

Palmetto Ave.

LEGEND

- CONCRETE
- GRASS
- GRAVEL
- TRE TO REMAIN
- NEW LIVE OAK
- Bush

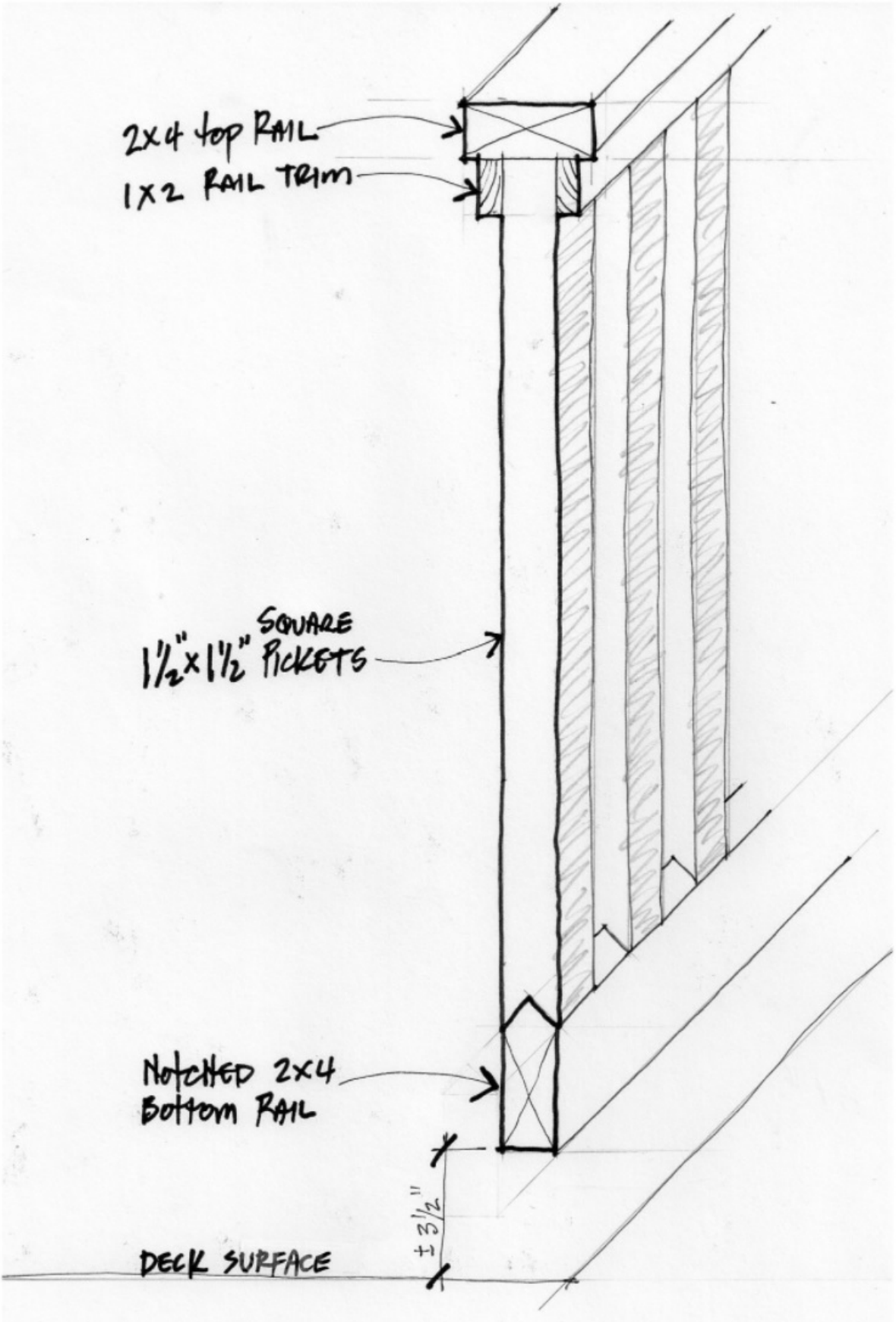
VERGEL
CONSTRUCTIONS

April 26, 2021 at 8:50 AM
509 N Palmetto St
San Antonio TX 78202
United States

April 26, 2021 at 8:52 AM
521 N Palmetto St
San Antonio TX 78202
United States

April 26, 2021 at 8:52 AM
521 N Palmetto St
San Antonio TX 78202
United States


April 26, 2021 at 8:50 AM
509 N Palmetto St
San Antonio TX 78202
United States


2x4 top RAIL
1x2 RAIL TRIM
SQUARE
1½"x1½" PICKETS
Notched 2x4
Bottom RAIL
±3½"
DECK SURFACE

PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS

THE NEW RESIDENCE

LOT 35, BLOCK 3, NCB. 1371,
515 PALMETTO ST.
SAN ANTONIO, TEXAS

GENERAL NOTES:
APPLICABLE CODES:
2018 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS
UNIFIED DEVELOPMENT CODE
2018 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS
2018 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10 (ELECTRICAL)
2018 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE.

1. ATTIC ACCESS - MINIMUM 22"X30" IRC SECTION 1305.1
2. BEDROOM WINDOWS - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW WITH A NET CLEAR OPENING OF 5.7 SQUARE FEET (MINIMUM DIMENSIONAL REQUIREMENTS WIDTH 20", HEIGHT 24"). MAXIMUM HEIGHT OF SILL TO FLOOR 44". IRC SECTION 310.4
3. ELECTRICAL - TO COMPLY WITH NATIONAL ELECTRICAL CODE(NEC)/CITY CODE 2018. GROUND FAULT INTERRUPTERS REQUIRED ON EXTERIOR FRONT/REAR OUTLETS, ALSO, IN BATHROOM LAVATORIES, APPLIANCES AT KITCHEN COUNTER TOPS, INCLUSIVE OF ISLAND COUNTERS. ELECTRICAL CONVENIENCE OUTLETS SERVING KITCHEN ARTICLE 210-52(c) OF THE 2018 NEC. ACCESS DOORS SHALL BE PROVIDED FOR HYDRO MASSAGE TUB MOTORS. NEC 430-14.
4. FRAMING - ALL FRAMING MEMBERS TO COMPLY WITH IRC CHAPTER 23 FOR SPANS AND MATERIALS, ALSO FOR LOADS AND WEIGHTS. BRICK LINTELS, HEADER BEAMS OVER GARAGES, AND ROOF AND FLOOR TRUSSES TO BE ENGINEERED. STRUCTURE SPANS EXCEEDING 24' REQUIRE ENGINEERING OF SUCH MEMBERS AND ALL SUPPORTING MEMBERS, AT THE TIME OF FRAMING INSPECTION, PROVIDE A COMPLETE SET OF ENGINEERED TRUSS LOADING DESIGN PLANS AND TRUSS LAYOUT PLANS FOR ALL TRUSS APPLICATIONS.
5. GARAGE VENTS - PRIVATE GARAGES WHICH ARE CONSTRUCTED IN CONJUNCTION WITH ANY GROUP R DIVISION 1 AND 2 OCCUPANCY AND WHICH HAVE OPENINGS INTO SUCH BUILDINGS SHALL BE EQUIPPED WITH FIXED LOUVERS OF SCREENED OPENINGS OR EXHAUST VENTILATION TO THE OUTSIDE WITH EXHAUST OPENINGS LOCATED WITHIN 6' OF THE FLOOR. THE CLEAR AREA OF THE LOUVER OPENING OR OF THE OPENINGS INTO THE EXHAUST DUCTS SHALL BE NOT LESS THAN 60 SQUARE INCHES PER CAR STORED IN SUCH PRIVATE GARAGE. IRC AMENDMENTS SECTION 312.2.4
6. GLASS - SAFETY GLAZING REQUIRED IN INGRESS AND EGRESS DOORS, SLIDING DOORS, STORM DOORS, AND DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATH ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. GLAZING FIXED OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4. GLAZING IN WALLS ENCLOSING A STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4(2)
7. PLUMBING, GAS AND SEWER - TO COMPLY WITH THE 2018 UNIFORM PLUMBING CODE AND LOCAL AMENDMENTS. WATER SAVING FIXTURES SHALL BE USED. NO WATER HEATER REGUARDLESS OF THE HEAT SOURCE SHALL BE INSTALLED UNDER ANY STAIRWAY OR LANDING. AMENDMENTS SECTION 508, WATER HEATERS GENERATING A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED N A GARAGE PROVIDED THE PILOTS, BURNERS, OR HEATING ELEMENTS AND SWITCHES ARE AT LEAST 18" ABOVE THE FINISH FLOOR. UPC SECTION 5108
8. SMOKE DETECTORS - DWELLING UNITS SHALL BE PROVIDED WITH A SMOKE DETECTOR IN ALL SLEEPING AREAS AND AT A POINT CENTRALL LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. IRC SECTION 310.9.1 AND AMENDMENTS.

CONTRACTOR NOTES:

WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND DETAILS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES OR OMISSIONS FROM THE WORKING DRAWINGS. DETAILS AND DRAWINGS ARE BUILDER'S TYPE AND THE DESIGNER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR, THAT HE, THE "DESIGNER" RELIVES HIMSELF OF LIABILITIES TO SAID WORKING DRAWINGS.
ALL OF THE DESIGN CONCEPTS, WORKING DRAWINGS AND DETAILED PLANS CONTAIN HERIN REMAIN THE SOLE AND EXCLISIVE PROPERTY OF RICARDO McCULLOUGH, WHO EXPRESSLY RESERVES AND RETAINS THE RIGHT TO DUPLICATE CONSTRUCTION OF THIS PLANS IN WHOLE OR IN PART TO IT'S SOLE DISCRETION.
IT IS THE RESPONSABILITY OF THE GENERAL CONTRACTOR TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT MEETS ALL LOCAL CODES.

NOTES:

1. PLATE AT 10'-0" AFF

2. A/C UNIT IN ATTIC, PROVIDE 220v AND GAS, PROVIDE LIGHT FIXTURE NEAR UNIT SWITCHED AT ATTIC ENTRANCE. PROVIDE METAL DRIP PAN WITH OUTSIDE DRAIN LINE. PROVIDE SUBFLOOR WALKWAY TO AND AROUND UNIT COMFORMING TO APPLICABLE CODE. VERIFY LOCATION OF UNIT WITH MECHANICAL AND GENERAL COMTRACTOR.

3. WINDOWS HEADER HT. AT 8'-0" AFF, UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:

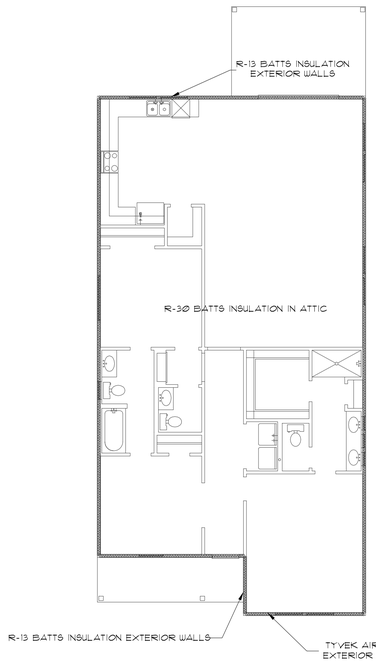
CLIMATE ZONE: 2 5 1/2 5 ACH @ 50 pascals

GLAZED FENESTRATION SHGC b, e: Ø.30

AREAS

TOTAL LIVING	1,836#
PORCH	182#
COV. PATIO	150#
TOTAL BUILDING	1,868#
TOTAL SLAB	1,863#

Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed.
The junction of the top plate and top of exterior walls shall be sealed.
Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Knee walls shall be sealed.
Service penetrations are sealed and air sealing is in place
behind or around shower/tub enclosures, electrical
boxes, switches, and outlets on exterior walls.
Space between window/door jambs and framing is sealed.



INSULATION ENVELOPE
N.T.S.

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

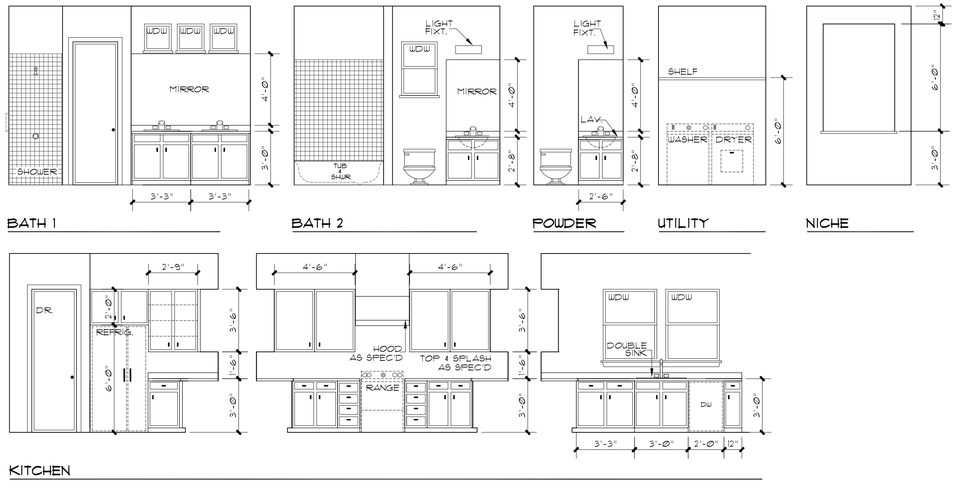
COMPONENT	CRITERIA
Air barrier and thermal barrier	A continuous air barrier shall be installed in the b envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air b shall be sealed. Air-permeable insulation shall no used as sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall b aligned with the insulation and any gaps in the air barrier sealed. Access opening, drop down stair o wall doors to unconditioned attic spaces shall be
Walls	Corners and the junction of the foundation and s shall be sealed. Exterior thermal envelope insulat framed walls shall be installed in substantial cont continuous alignment with the air barrier. Knee s shall be sealed.
Windows, skylights and doors	The space between window/door jambs and fram and skylights and framing shall be sealed.
Rim joists	Rim shall be sealed to prevent air leakage.
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permane contact with underside of subfloor decking. The a barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulat shall be permanently attached to the crawlspace

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

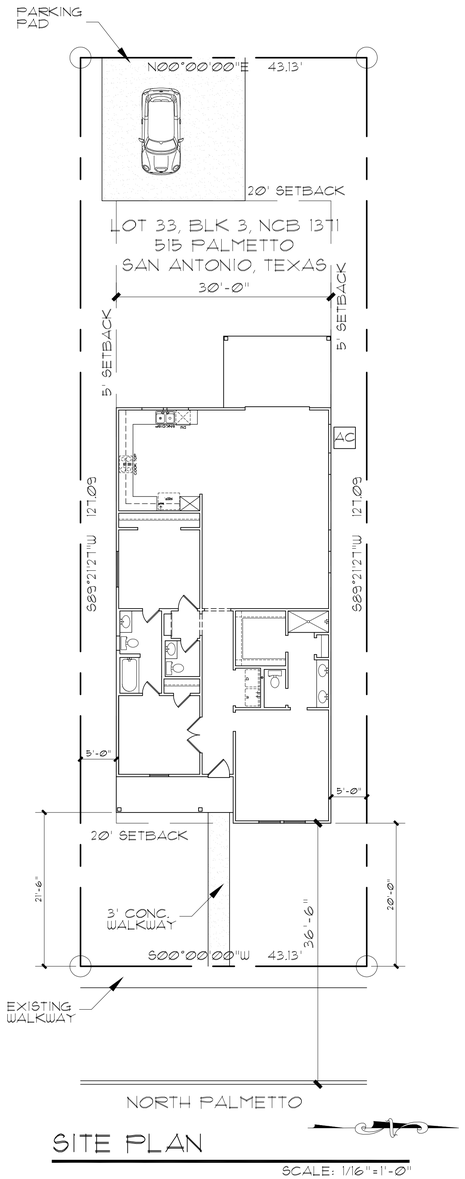
COMPONENT	CRITERIA
	Exposed earth in unvented crawl spaces shall b with a Class I vapor retarder with overlapping jo taped.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts to exterior or unconditioned space shall be seal
Narrow cavities	Batts in narrow cavities shall be cut to fit, or nar cavities shall be filled by insulation that on insta readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garag conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building t envelope shall be air tight, IC rated, and sealed t drywall.
Plumbing and wiring	Batt insulation shall be cut neatly to fit around w and plumbing in exterior walls, or insulation tha installation readily conforms to available space extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs sha insulated and the air barrier installed separating from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrica communications boxes or air-sealed boxes shall installed.
HVAC register boots	HVAC register boots that penetrate building the envelope shall be sealed to the sub floor or dys
Fireplace	An air barrier shall be installed on fireplace wall

LOCATION MAP
N.T.S.

AERIAL VIEW
N.T.S.



INTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"



SITE PLAN
SCALE: 1/16"=1'-0"

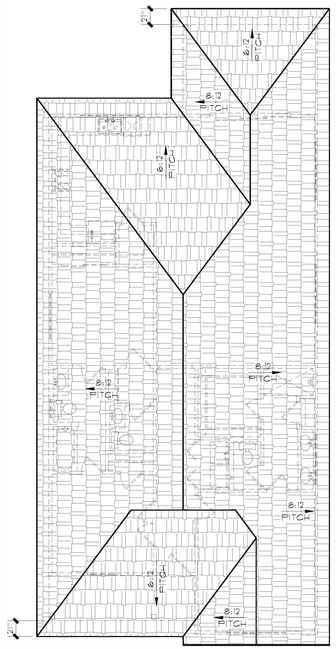
McCULLOUGH DESIGN ASSOCIATES
85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullughda.com

THE NEW RESIDENCE
LOT 35, BLOCK 3, NCB. 1371,
515 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 1 of	3

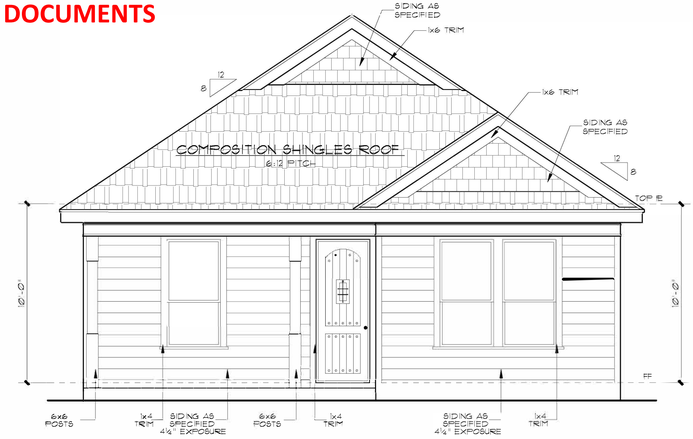
PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS



ROOF PLAN

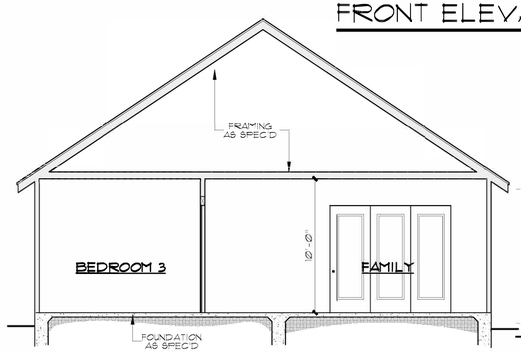
SCALE: 1/8" = 1'-0"

NOTE: ALL ROOF OVERHANGS 16" FROM



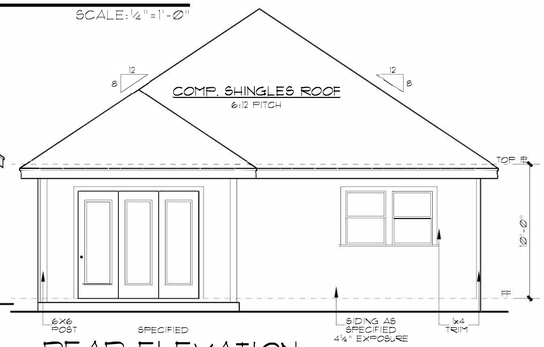
FRONT ELEVATION

SCALE: ¼" = 1'-0"



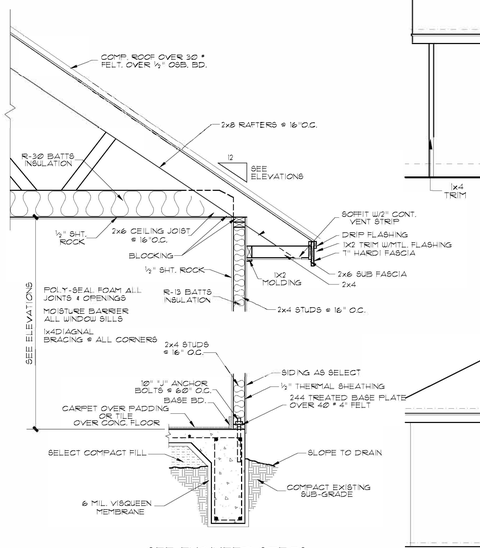
SECTION A-A

SCALE: 3/16" = 1'-0"



REAR ELEVATION

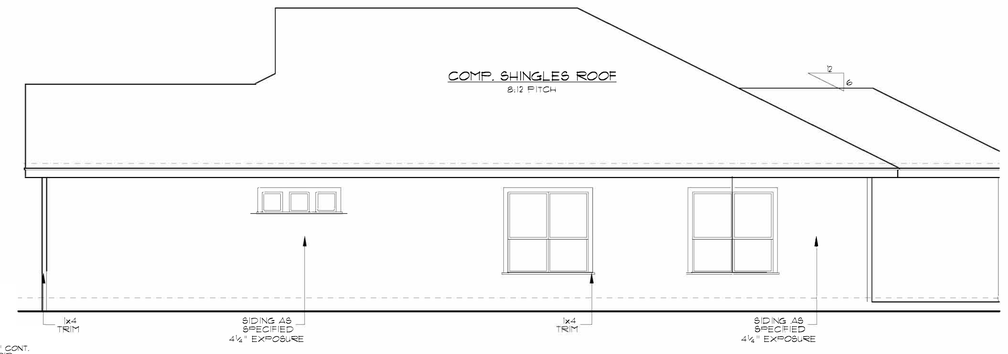
SCALE: 3/16" = 1'-0"



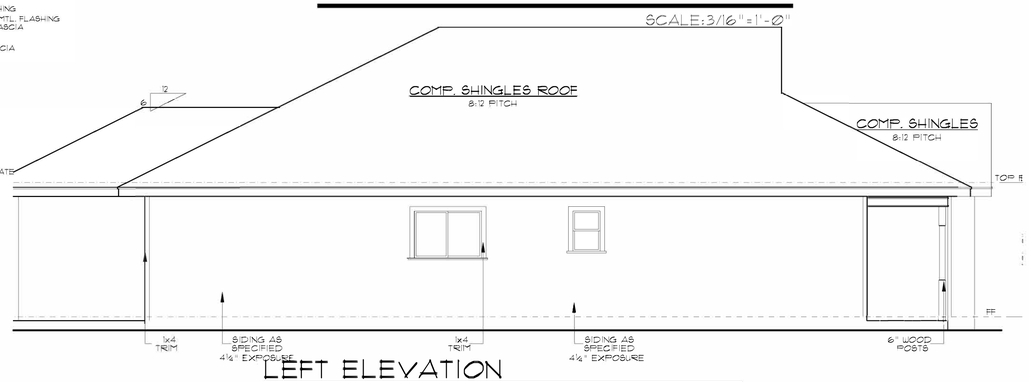
SEE ENGINEER SPECS FOR FOUNDATION DETAILS

WALL SECTION

SCALE: ½" = 1'-0"

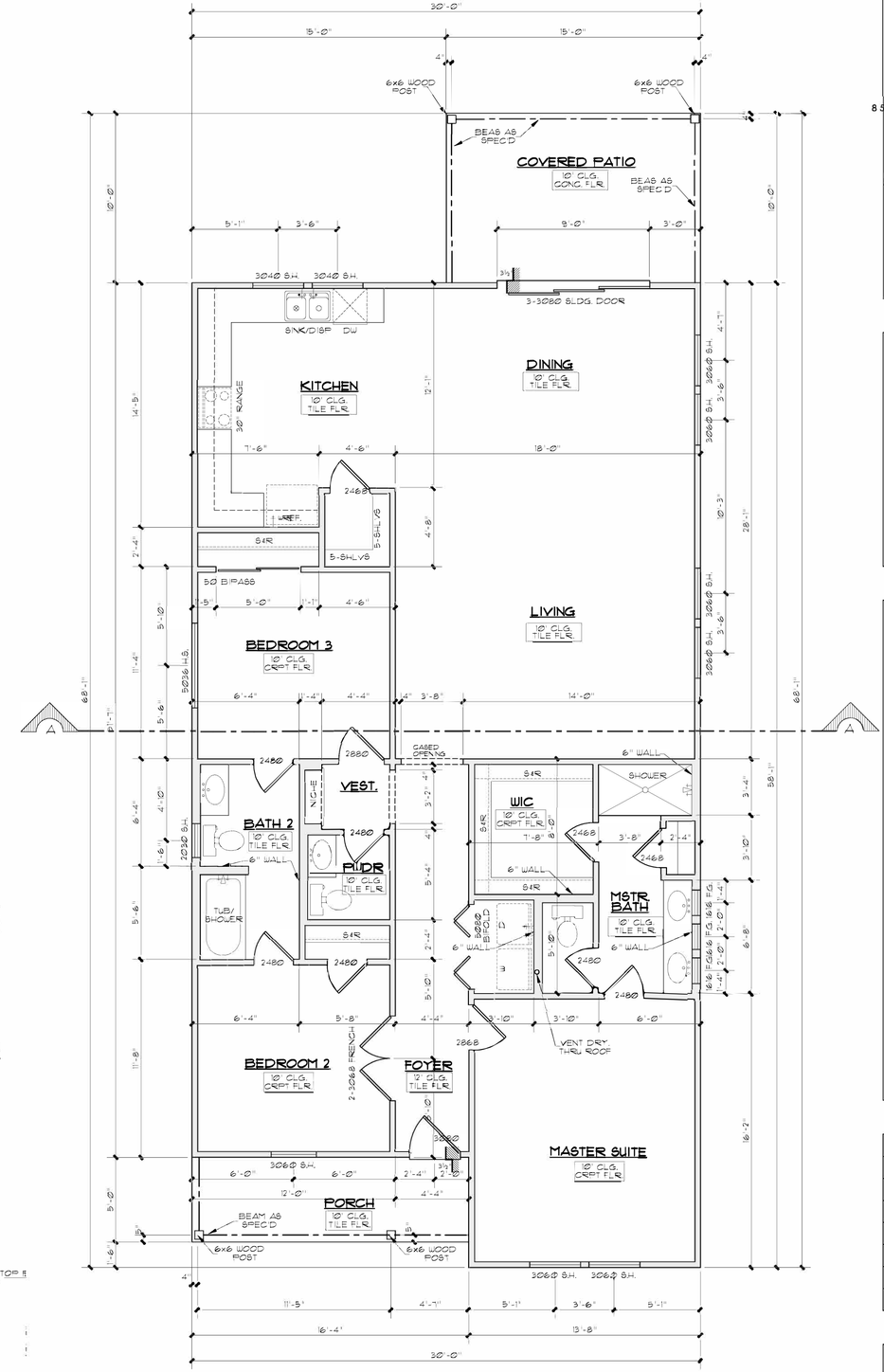


SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



FLOOR PLAN

SCALE: ¼" = 1'-0"

McCULLOUGH DESIGN ASSOCIATES

85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullughda.com

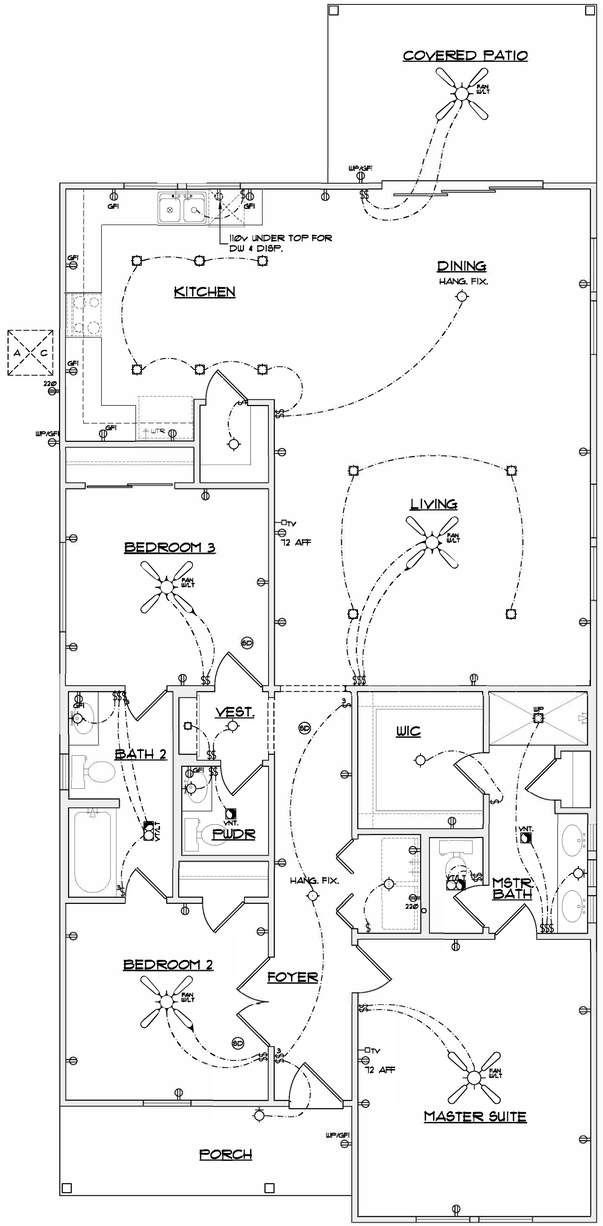
THE NEW RESIDENCE

LOT 35, BLOCK 3, NCB. 1371,
515 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 2 of	3

PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS



ELECTRICAL PLAN

SCALE: ¼" = 1'-0"

GRAPHIC SYMBOLS

ELECTRICAL

- SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DUPLEX OUTLET
- DUPLEX OUTLET & SWITCHED
- FLOOR OUTLET
- 30 VOLT 4-PLEX OUTLET
- CEILING OUTLET
- RADIUS OUTLET WITH GROUND FAULT INTERRUPTER
- 220 VOLT DUPLEX OUTLET
- DUPLEX OUTLET SPLICED TO THREE OTHER OUTLETS
- WATERPROOF DUPLEX OUTLET
- J-BOX DUPLEX OUTLET
- TELEPHONE OUTLET
- TELEPHONE FLOOR OUTLET
- TELEVISION OUTLET
- SATELLITE TELEVISION W/TELEPHONE LINE
- INTERCOM
- SPEAKER OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- ELECTRICAL PANEL BOX
- PUSH BUTTON SWITCH
- CHIMES
- KEY SWITCH
- SURFACE MOUNT CLG. FIXTURE
- WALL MOUNT FIXTURE
- PULL CHAIN LIGHT
- RECESSED CEILING FIXTURE
- RECESSED EYEBALL FIXTURE
- HALOGEN RECESSED CEILING FIXTURE
- HALOGEN WALL MOUNTED FIXTURE
- CEILING MOUNT SPOT LIGHT
- FLUORESCENT LIGHT FIXTURE
- WALL MOUNT FLOOR LT. FIXTURE
- TRACK-MOUNT FIXT.
- UNDER CABINET LIGHT
- CEILING MOUNT EXHAUST FAN
- WALL MOUNT EXHAUST FAN
- CEILING MOUNT HEAT LAMP
- WALL MOUNT HEAT LAMP
- COMBINATION FIXT. HEAT, VENT, LIGHT
- FLOOD LIGHT
- CEILING FAN W/LT

PLUMBING

- WATER HEATER
- WATER SOFTNER
- SHOWER HEAD
- HOSE BIB-FAUCET
- COLD WATER TO REF.
- HOT & COLD WATER
- FLOOR DRAIN
- GAS LINE
- GAS KEY (ON/OFF) VALVE

MISC.

- SECURITY SYSTEM PANEL
- VACUUM SYSTEM OUTLET
- VACUUM CLEANER TOOL
- VACUUM SYSTEM SWEEP OUTLET

McCULLOUGH DESIGN ASSOCIATES

85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullughda.com

THE NEW RESIDENCE

LOT 35, BLOCK 3, NCB. 1371,
515 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	I TEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 3 of	3

PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS

THE NEW RESIDENCE

LOT 36, BLOCK 3, NCB. 1371, 517 PALMETTO ST. SAN ANTONIO, TEXAS

GENERAL NOTES:
APPLICABLE CODES:
2018 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS
UNIFIED DEVELOPMENT CODE
2018 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS
2018 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10 (ELECTRICAL)
2018 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE.

1. ATTIC ACCESS - MINIMUM 22"X30". IRC SECTION 1305.1
2. BEDROOM WINDOWS - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW WITH A NET CLEAR OPENING OF 5.7 SQUARE FEET (MINIMUM DIMENSIONAL REQUIREMENTS WIDTH 20", HEIGHT 24"). MAXIMUM HEIGHT OF SILL TO FLOOR 44". IRC SECTION 310.4
3. ELECTRICAL - TO COMPLY WITH NATIONAL ELECTRICAL CODE/NEC)/CITY CODE 2018. GROUND FAULT INTERRUPTERS REQUIRED ON EXTERIOR FRONT/REAR OUTLETS. ALSO, IN BATHROOM LAVATORIES, APPLIANCES AT KITCHEN COUNTER TOPS, INCLUSIVE OF ISLAND COUNTERS. ELECTRICAL CONVENIENCE OUTLETS SERVING KITCHEN ARTICLE 210-52(c) OF THE 2018 NEC. ACCESS DOORS SHALL BE PROVIDED FOR HYDRO MASSAGE TUB MOTORS. NEC 430-14.
4. FRAMING - ALL FRAMING MEMBERS TO COMPLY WITH IRC CHAPTER 23 FOR SPANS AND MATERIALS, ALSO FOR LOADS AND WEIGHTS. BRICK LINTELS, HEADER BEAMS OVER GARAGES, AND ROOF AND FLOOR TRUSSES TO BE ENGINEERED. STRUCTURE SPANS EXCEEDING 24' REQUIRE ENGINEERING OF SUCH MEMBERS AND ALL SUPPORTING MEMBERS, AT THE TIME OF FRAMING INSPECTION, PROVIDE A COMPLETE SET OF ENGINEERED TRUSS LOADING DESIGN PLANS AND TRUSS LAYOUT PLANS FOR ALL TRUSS APPLICATIONS.
5. GARAGE VENTS - PRIVATE GARAGES WHICH ARE CONSTRUCTED IN CONJUNCTION WITH ANY GROUP R DIVISION 1 AND 2 OCCUPANCY AND WHICH HAVE OPENINGS INTO SUCH BUILDINGS SHALL BE EQUIPPED WITH FIXED LOUVERS OF SCREENED OPENINGS OR EXHAUST VENTILATION TO THE OUTSIDE WITH EXHAUST OPENINGS LOCATED WITHIN 6' OF THE FLOOR. THE CLEAR AREA OF THE LOUVER OPENING OR OF THE OPENINGS INTO THE EXHAUST DUCTS SHALL BE NOT LESS THAN 60 SQUARE INCHES PER CAR STORED IN SUCH PRIVATE GARAGE. IRC AMENDMENTS SECTION 312.2.4
6. GLASS - SAFETY GLAZING REQUIRED IN INGRESS AND EGRESS DOORS, SLIDING DOORS, STORM DOORS, AND DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATH ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. GLAZING FIXED OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4. GLAZING IN WALLS ENCLOSING A STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4.10
7. PLUMBING, GAS AND SEWER - TO COMPLY WITH THE 2018 UNIFORM PLUMBING CODE AND LOCAL AMENDMENTS. WATER SAVING FIXTURES SHALL BE USED. NO WATER HEATER REGARDLESS OF THE HEAT SOURCE SHALL BE INSTALLED UNDER ANY STAIRWAY OR LANDING. AMENDMENTS SECTION 508. WATER HEATERS GENERATING A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PILOTS, BURNERS, OR HEATING ELEMENTS AND SWITCHES ARE AT LEAST 18" ABOVE THE FINISH FLOOR. UPC SECTION 510.0
8. SMOKE DETECTORS - DWELLING UNITS SHALL BE PROVIDED WITH A SMOKE DETECTOR IN ALL SLEEPING AREAS AND AT A POINT CENTRALL LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWEELING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. IRC SECTION 310.9.1 AND AMENDMENTS.

CONTRACTOR NOTES:

WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND DETAILS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES OR OMISSIONS FROM THE WORKING DRAWINGS, DETAILS AND DRAWINGS ARE BUILDER'S TYPE AND THE DESIGNER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR, THAT HE, THE "DESIGNER" RELIVES HIMSELF OF LIABILITIES TO SAID WORKING DRAWINGS.
ALL OF THE DESIGN CONCEPTS, WORKING DRAWINGS AND DETAILED PLANS CONTAIN HERIN REMAIN THE SOLE AND EXCLISIVE PROPERTY OF RICARDO McCULLOUGH, WHO EXPRESSLY RESERVES AND RETAINS THE RIGHT TO DUPLICATE CONSTRUCTION OF THIS PLANS IN WHOLE OR IN PART TO IT'S SOLE DISCRETION.
IT IS THE RESPONSABILITY OF THE GENERAL CONTRACTOR TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT MEETS ALL LOCAL CODES.

NOTES:

1. PLATE AT 10'-0" AFF

2. A/C UNIT IN ATTIC. PROVIDE 220v AND GAS. PROVIDE LIGHT FIXTURE NEAR UNIT SWITCHED AT ATTIC ENTRANCE. PROVIDE METAL DRIP PAN WITH OUTSIDE DRAIN LINE. PROVIDE SUBFLOOR WALKWAY TO AND AROUND UNIT CONFORMING TO APPLICABLE CODE. VERIFY LOCATION OF UNIT WITH MECHANICAL AND GENERAL CONTRACTOR.

3. WINDOWS HEADER HT. AT 8'-0"AFF, UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:

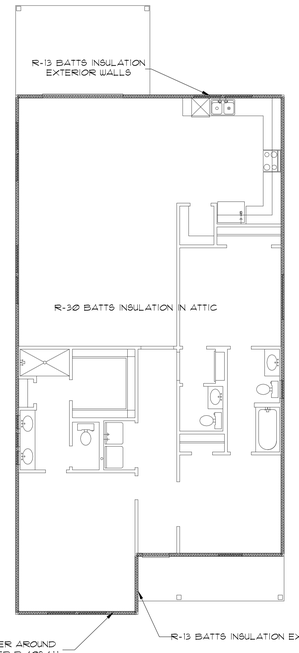
CLIMATE ZONE:: 2 @1/3 ACH @ 50 pascals

GLAZED FENESTRATION SHGC b, e: @30

AREAS

TOTAL LIVING	1,836#
PORCH	182#
COV. PATIO	150#
TOTAL BUILDING	1,868#
TOTAL SLAB	1,863#

Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed.
The junction of the top plate and top of exterior walls shall be sealed.
Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Knee walls shall be sealed.
Service penetrations are sealed and air sealing is in place
behind or around shower/tub enclosures, electrical boxes, switches, and outlets on exterior walls.
Space between window/door jambs and framing is sealed.



INSULATION ENVELOPE
N.T.S.

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access opening, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.
Walls	Corners and the junction of the foundation and sill plate shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.
Rim joists	Rim shall be sealed to prevent air leakage.
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls.

TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.
Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.
Plumbing and wiring	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the sub floor or drywall.
Fireplace	An air barrier shall be installed on fireplace walls.

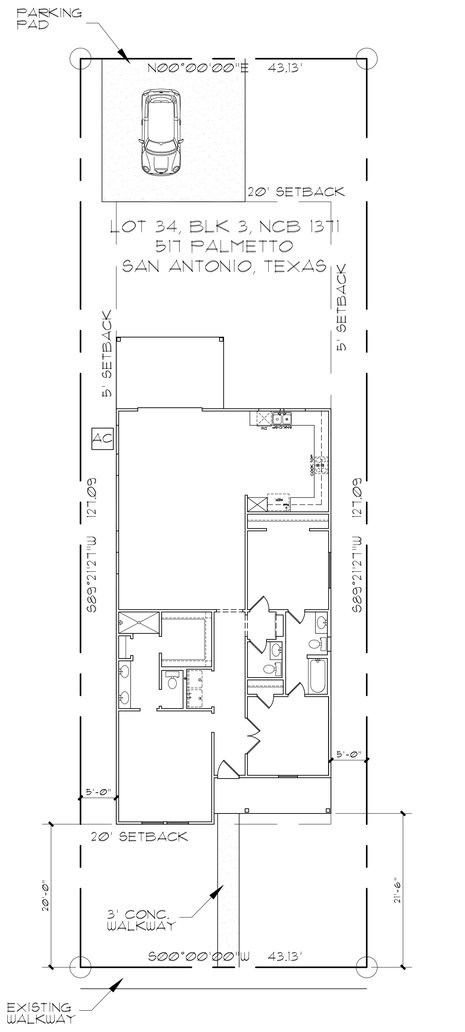
SUBJECT

LOCATION MAP
N.T.S.

AERIAL VIEW
N.T.S.

KITCHEN

INTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"



SITE PLAN
SCALE: 1/16"=1'-0"

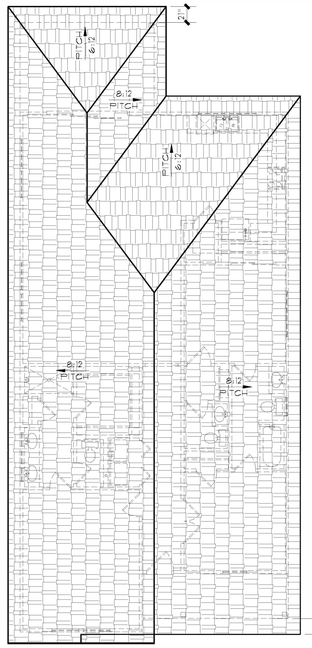
McCULLOUGHDESIGN ASSOCIATES
85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullughda.com

THE NEW RESIDENCE
LOT 36, BLOCK 3, NCB. 1371,
517 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 1 of	3

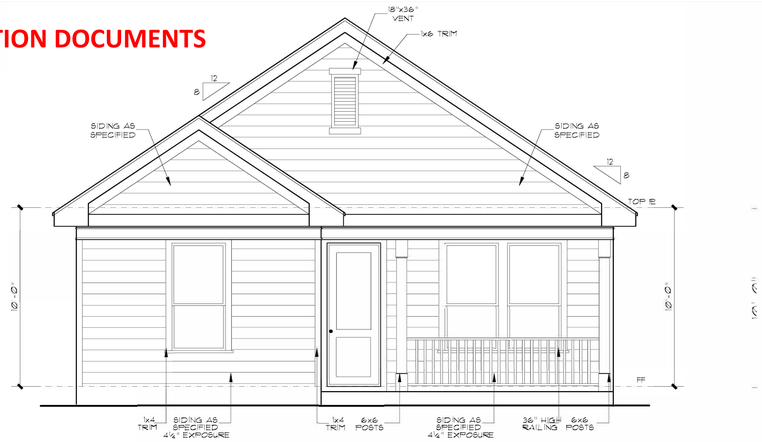
PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS



ROOF PLAN

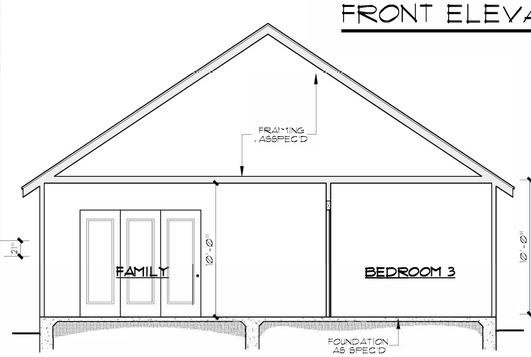
SCALE: 1/8" = 1'-0"

NOTE: ALL ROOF OVERHANGS 16" FROM



FRONT ELEVATION

SCALE: ¼" = 1'-0"

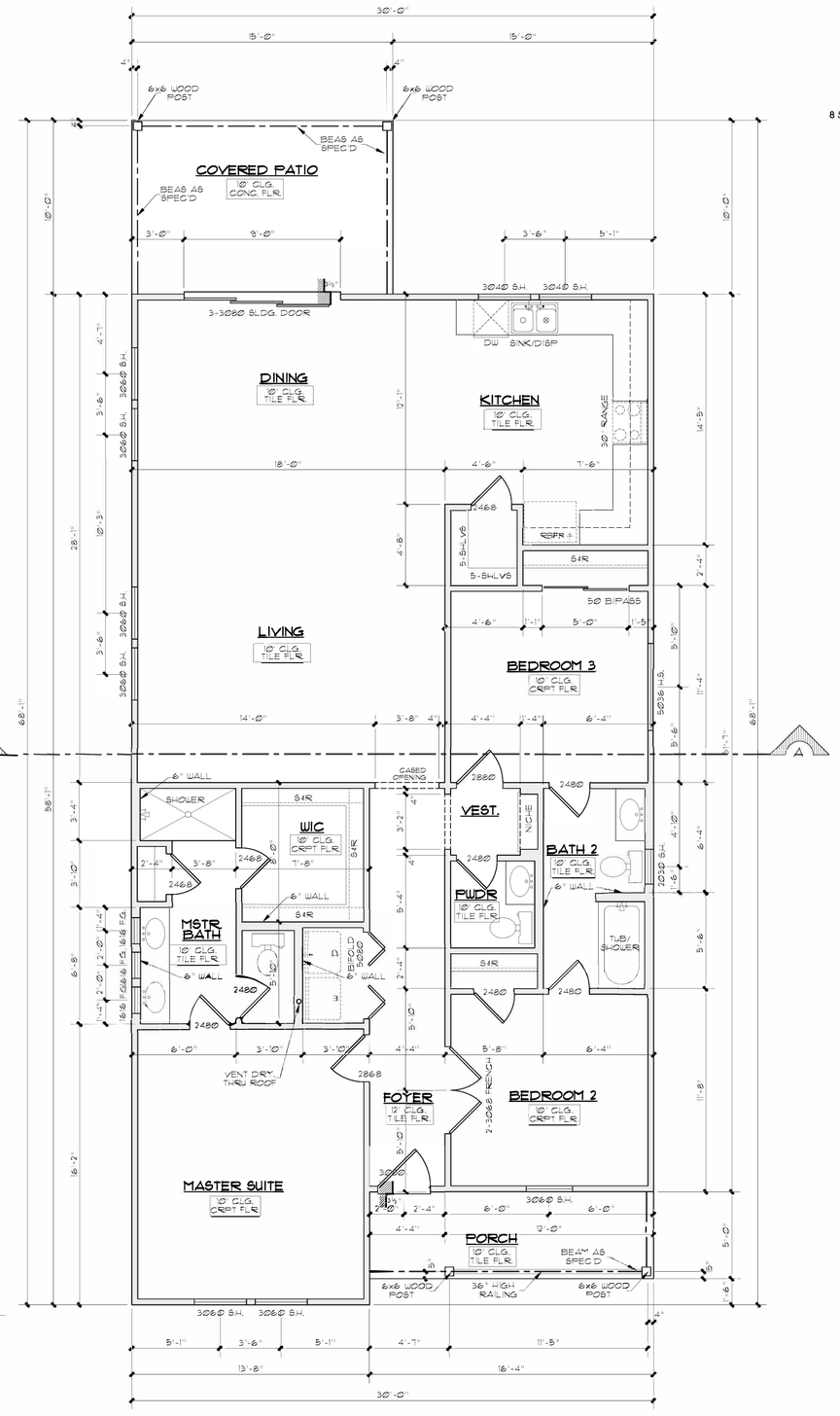


SECTION A-A

SCALE: 3/16" = 1'-0"

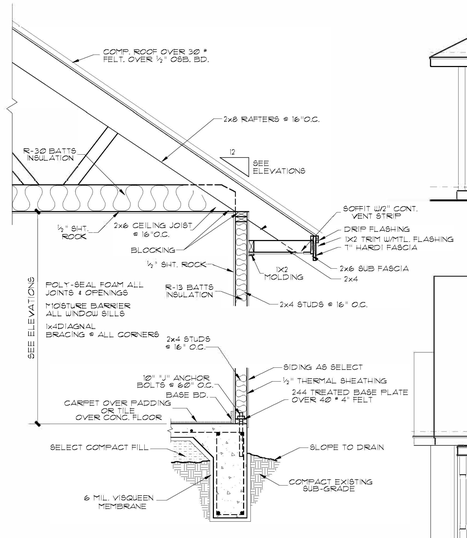
REAR ELEVATION

SCALE: 3/16" = 1'-0"



FLOOR PLAN

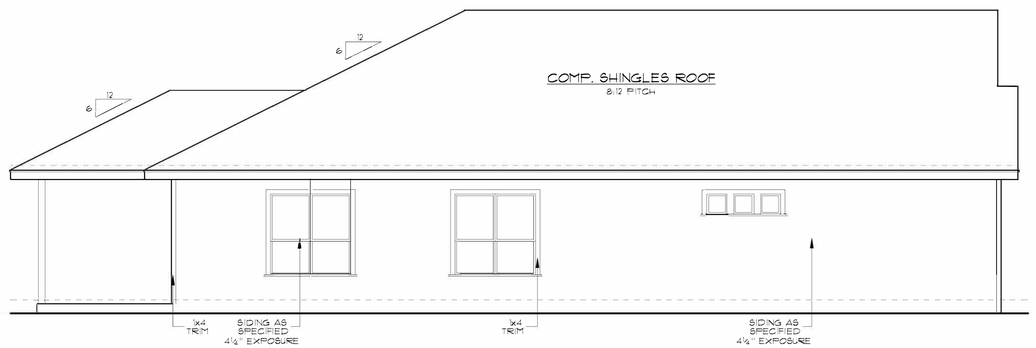
SCALE: ¼" = 1'-0"



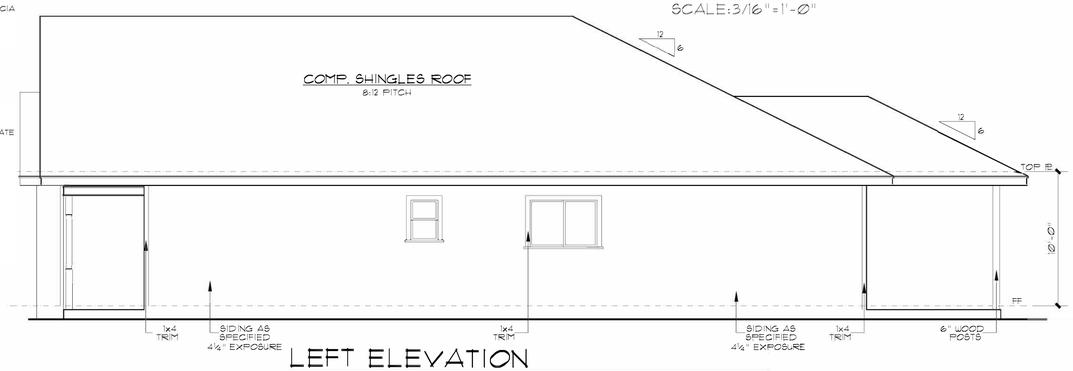
SEE ENGINEER SPECS FOR FOUNDATION DETAILS

WALL SECTION

SCALE: ½" = 1'-0"



SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

McCULLOUGH DESIGN ASSOCIATES

85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-11632
ricardo@mccullughda.com

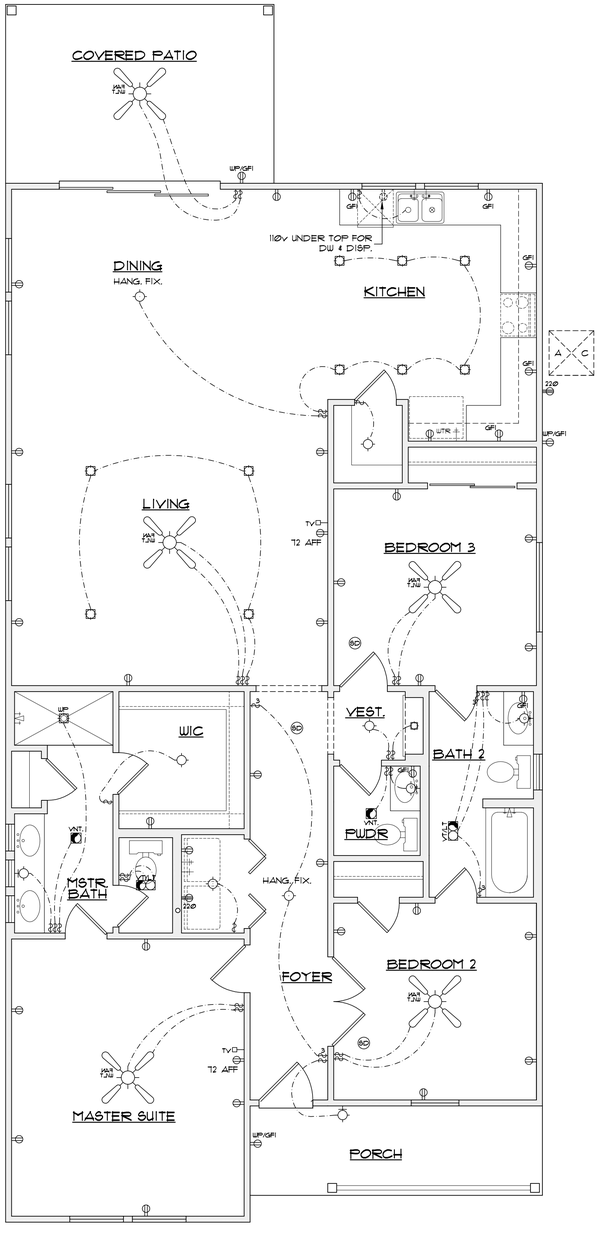
THE NEW RESIDENCE

LOT 36, BLOCK 3, NCB. 1371,
517 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 2 of	3

PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS



ELECTRICAL PLAN

SCALE: ¼" = 1'-0"

GRAPHIC SYMBOLS

ELECTRICAL

SWITCH	TELEVISION OUTLET	HALOGEN WALL MOUNTED FIXTURE
DIMMER SWITCH	SATELLITE TELEVISION W/TELEPHONE LINE	CEILING MOUNT DROP LIGHT
THREE WAY SWITCH	INTERCOM	FLUORESCENT LIGHT FIXTURE
FOUR WAY SWITCH	SPEAKER OUTLET	WALL MOUNT FLOUR. LT. FIXTURE
DUPLEX OUTLET	SMOKE DETECTOR	TRACK LT.
DUPLEX OUTLET ½ SWITCHED	THERMOSTAT	TRACK-MOUNT FIXT.
FLOOR OUTLET	ELECTRICAL PANEL BOX	UNDER CABINET LIGHT
20 VOLT G.F.C.I. DUPLEX OUTLET	PUSH BUTTON SWITCH	CEILING MOUNT EXHAUST FAN
CEILING OUTLET	CHIMES	WALL MOUNT EXHAUST FAN
DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER	KEY SWITCH	CEILING MOUNT HEAT LAMP
220 VOLT DUPLEX OUTLET	SURFACE MOUNT CLG. FIXTURE	WALL MOUNT HEAT LAMP
DUPLEX OUTLET RAISED 42" ABOVE FINISH FLOOR	WALL MOUNT FIXTURE	COMBINATION FIXT. HEAT, VENT, LIGHT
WATERPROOF DUPLEX OUTLET	PULL CHAIN LIGHT	FLOOD LIGHT
JBOX DUPLEX OUTLET	RECESSED CEILING FIXTURE	CEILING FAN W/LT
TELEPHONE OUTLET	RECESSED EYEBALL FIXTURE	
TELEPHONE FLOOR OUTLET	HALOGEN RECESSED CEILING FIXTURE	

PLUMBING

WATER HEATER
WATER SOFTNER
SHOWER HEAD
HOSE BIB-FAUCET
COLD WATER TO REF.
HOT & COLD WATER
FLOOR DRAIN
GAS LINE
GAS KEY (VALVE)

MISC.

SECURITY SYSTEM PANEL
VACUUM SYSTEM OUTLET
VACUUM CLEANER TANK
VACUUM SYSTEM SWEEP OUTLET

McCULLOUGH DESIGN ASSOCIATES

85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullughda.com

THE NEW RESIDENCE

LOT 36, BLOCK 3, NCB. 1371,
517 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 3 of	3

PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS

THE NEW RESIDENCE

LOT 37, BLOCK 3, NCB. 1371, 519 PALMETTO ST. SAN ANTONIO, TEXAS

GENERAL NOTES.
APPLICABLE CODES.
2018 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS
UNIFIED DEVELOPMENT CODE
2018 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS
2018 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10 (ELECTRICAL)
2018 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATION CODE.

1. ATTIC ACCESS - MINIMUM 22"X30". IRC SECTION 1505.1
2. BEDROOM WINDOWS - EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW WITH A NET CLEAR OPENING OF 5.7 SQUARE FEET (MINIMUM DIMENSIONAL REQUIREMENTS WIDTH 20", HEIGHT 24"). MAXIMUM HEIGHT OF SILL TO FLOOR 44". IRC SECTION 310.2
3. ELECTRICAL - TO COMPLY WITH NATIONAL ELECTRICAL CODE(NEC)/CITY CODE 2018. GROUND FAULT INTERRUPTERS REQUIRED ON EXTERIOR FRONT/REAR OUTLETS, ALSO, IN BATHROOM LAVATORIES, APPLIANCES AT KITCHEN COUNTER TOPS, INCLUSIVE OF ISLAND COUNTERS. ELECTRICAL CONVENIENCE OUTLETS SERVING KITCHEN ARTICLE 210-52(c) OF THE 2018 NEC. ACCESS DOORS SHALL BE PROVIDED FOR HYDRO MASSAGE TUB MOTORS. NEC 430-14.
4. FRAMING - ALL FRAMING MEMBERS TO COMPLY WITH IRC CHAPTER 23 FOR SPANS AND MATERIALS, ALSO FOR LOADS AND WEIGHTS. BRICK LINTELS, HEADER BEAMS OVER GARAGES, AND ROOF AND FLOOR TRUSSES TO BE ENGINEERED. STRUCTURE SPANS EXCEEDING 24' REQUIRE ENGINEERING OF SUCH MEMBERS AND ALL SUPPORTING MEMBERS, AT THE TIME OF FRAMING INSPECTION, PROVIDE A COMPLETE SET OF ENGINEERED TRUSS LOADING DESIGN PLANS AND TRUSS LAYOUT PLANS FOR ALL TRUSS APPLICATIONS.
5. GARAGE VENTS - PRIVATE GARAGES WHICH ARE CONSTRUCTED IN CONJUNCTION WITH ANY GROUP R DIVISION 1 AND 2 OCCUPANCY AND WHICH HAVE OPENINGS INTO SUCH BUILDINGS SHALL BE EQUIPPED WITH FIXED LOUVERS OF SCREENED OPENINGS OR EXHAUST VENTILATION TO THE OUTSIDE WITH EXHAUST OPENINGS LOCATED WITHIN 6" OF THE FLOOR. THE CLEAR AREA OF THE LOUVER OPENINGS OR OF THE OPENINGS INTO THE EXHAUST DUCTS SHALL BE NOT LESS THAN 60 SQUARE INCHES PER CAR STORED IN SUCH PRIVATE GARAGE. IRC AMENDMENTS SECTION 312.2
6. GLASS - SAFETY GLAZING REQUIRED IN INGRESS AND EGRESS DOORS, SLIDING DOORS, STORM DOORS, AND DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATH ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. GLAZING FIXED OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4. GLAZING IN WALLS ENCLOSING A STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4.10
7. PLUMBING, GAS AND SEWER - TO COMPLY WITH THE 2018 UNIFORM PLUMBING CODE AND LOCAL AMENDMENTS. WATER SAVING FIXTURES SHALL BE USED. NO WATER HEATER REGARDLESS OF THE HEAT SOURCE SHALL BE INSTALLED UNDER ANY STAIRWAY OR LANDING. AMENDMENTS SECTION 508. WATER HEATERS GENERATING A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PILOTS, BURNERS, OR HEATING ELEMENTS AND SWITCHES ARE AT LEAST 18" ABOVE THE FINISH FLOOR. UPC SECTION 5120
8. SMOKE DETECTORS - DWELLING UNITS SHALL BE PROVIDED WITH A SMOKE DETECTOR IN ALL SLEEPING AREAS AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS, A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. IRC SECTION 310.9.1 AND AMENDMENTS.

CONTRACTOR NOTES:

WORKING DRAWINGS SHALL NOT BE SCALED. BEFORE PROCEEDING WITH ANY WORK OR ORDERING MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND DETAILS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES OR OMISSIONS FROM THE WORKING DRAWINGS, DETAILS AND DRAWINGS ARE BUILDERS TYPE AND THE DESIGNER OF THIS SET OF PLANS, HEREBY NOTIFIES BOTH OWNER AND CONTRACTOR, THAT HE, THE "DESIGNER" RELIVES HIMSELF OF LIABILITIES TO SAID WORKING DRAWINGS.
ALL OF THE DESIGN CONCEPTS, WORKING DRAWINGS AND DETAILED PLANS CONTAIN HERIN REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF RICARDO McCULLOUGH, WHO EXPRESSLY RESERVES AND RETAINS THE RIGHT TO DUPLICATE CONSTRUCTION OF THIS PLANS IN WHOLE OR IN PART TO ITS SOLE DISCRETION.
IT IS THE RESPONSABILITY OF THE GENERAL CONTRACTOR TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT MEETS ALL LOCAL CODES.

NOTES:

1. PLATE AT 10'-0" AFF

2. A/C UNIT IN ATTIC, PROVIDE 220v AND GAS. PROVIDE LIGHT FIXTURE NEAR UNIT SWITCHED AT ATTIC ENTRANCE. PROVIDE METAL DRIP PAN WITH OUTSIDE DRAIN LINE. PROVIDE SUBFLOOR WALKWAY TO AND AROUND UNIT CONFORMING TO APPLICABLE CODE. VERIFY LOCATION OF UNIT WITH MECHANICAL AND GENERAL CONTRACTOR.

3. WINDOWS HEADER HT. AT 8'-0" AFF, UNLESS OTHERWISE NOTED.

MECHANICAL NOTES:

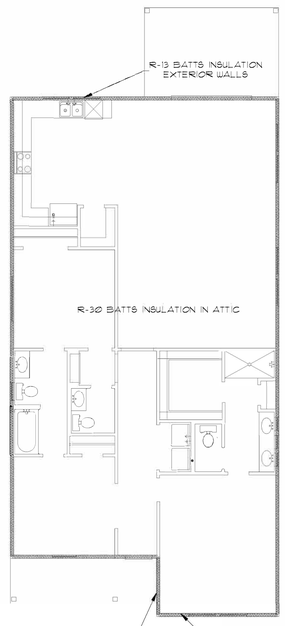
CLIMATE ZONE: 2 6½ ACH @ 50 pascals

GLAZED FENESTRATION SHGC 0, @: Ø30

AREAS

TOTAL LIVING	1,836#
PORCH	182#
COV. PATIO	150#
TOTAL BUILDING	1,868#
TOTAL SLAB	1,863#

Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed.
The junction of the top plate and top of exterior walls shall be sealed.
Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Knee walls shall be sealed.
Service penetrations are sealed and air sealing is in place
Behind or around shower/tub enclosures, electrical boxes, switches, and outlets on exterior walls.
Space between window/door jambs and framing is sealed.



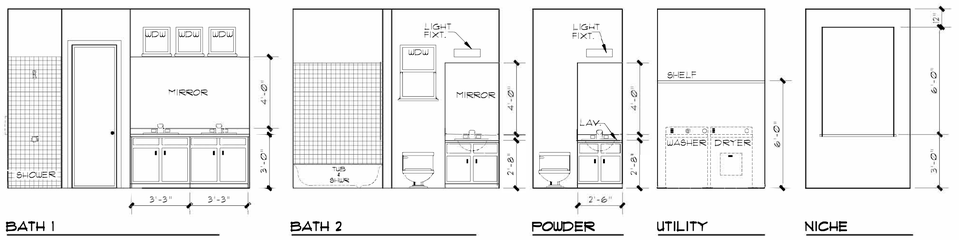
INSULATION ENVELOPE
N.T.S.

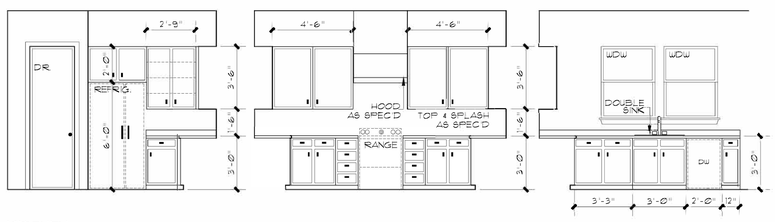
TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
Air barrier and thermal barrier	A continuous air barrier shall be installed in the b envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air b shall be sealed. Air permeable insulation shall no used as sealing material
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall l aligned with the insulation and any gaps in the air barrier sealed. Access opening, drop down stair o wall doors to unconditioned attic spaces shall be
Walls	Corners and the junction of the foundation and s shall be sealed. Exterior thermal envelope insulat framed walls shall be installed in substantial cont continuous alignment with the air barrier. Knee s shall be sealed.
Windows, skylights and doors	The space between window/door jambs and fram and skylights and framing shall be sealed.
Rim joists	Rim shall be sealed to prevent air leakage.
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanen contact with underside of subfloor decking. The a barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulat shall be permanently attached to the crawlspace

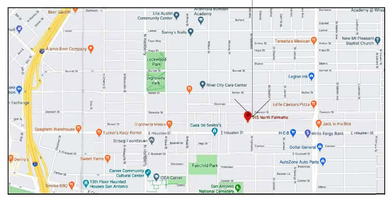
TABLE N1102.4.1.1 (R402.4.1.1)
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	CRITERIA
	Exposed earth in unvented crawl spaces shall b with a Class I vapor retarder with overlapping j taped.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts to exterior or unconditioned space shall be seal
Narrow cavities	Batts in narrow cavities shall be cut to fit, or nar cavities shall be filled by insulation that on insta readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garag conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building envelope shall be air tight, IC rated, and sealed drywall.
Plumbing and wiring	Batt insulation shall be cut neatly to fit around and plumbing in exterior walls, or insulation tha installation readily conforms to available space extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs sha insulated and the air barrier installed separately from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrica communication boxes or air sealed boxes shall installed.
HVAC register boots	HVAC register boots that penetrate building the envelope shall be sealed to the sub floor or dry
Fireplace	An air barrier shall be installed on fireplace wall



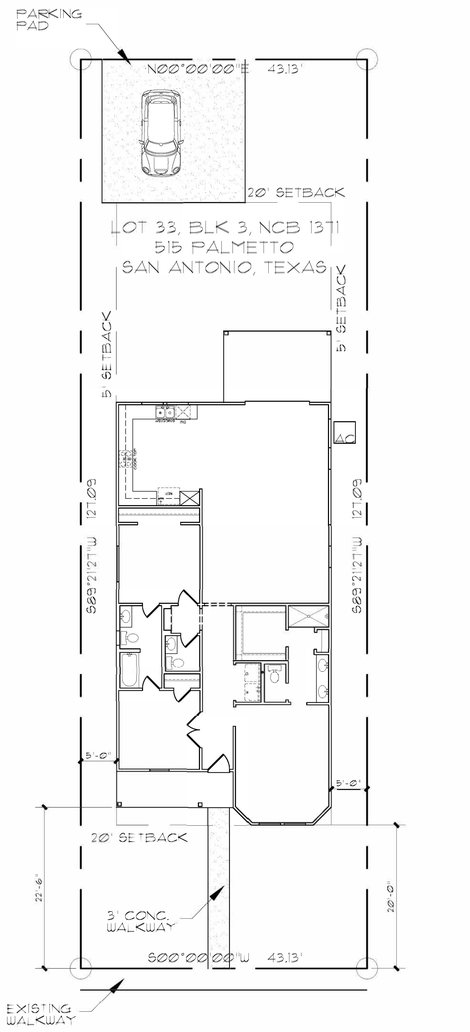


INTERIOR ELEVATIONS
SCALE: ¼"=1'-0"



LOCATION MAP
N.T.S.

AERIAL VIEW
N.T.S.



SITE PLAN
SCALE: 1/16"=1'-0"

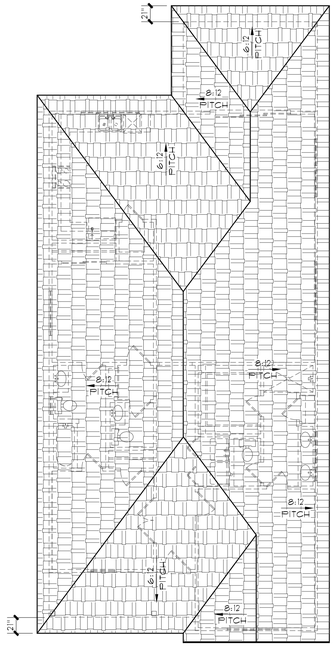
McCULLOUGH DESIGN ASSOCIATES
85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullooghda.com

THE NEW RESIDENCE
LOT 37, BLOCK 3, NCB. 1371,
519 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 1 of	3

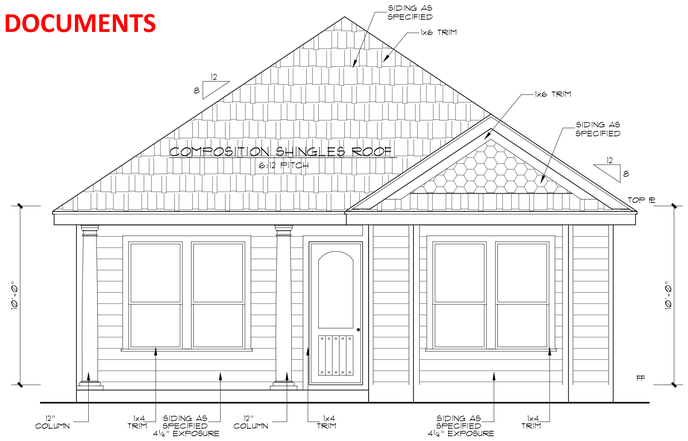
PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS



ROOF PLAN

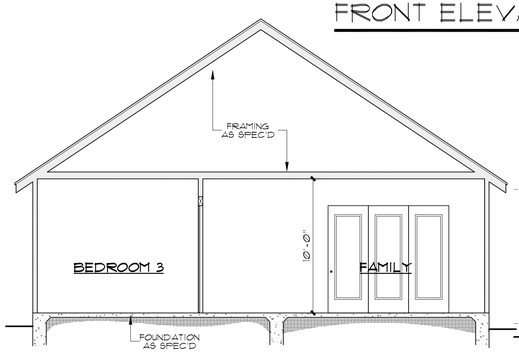
SCALE: 1/8" = 1'-0"

NOTE: ALL ROOF OVERHANGS 16" FROM



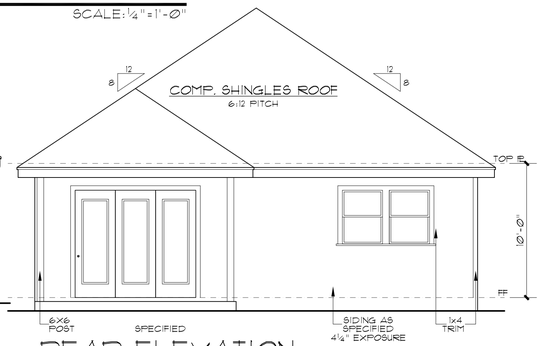
FRONT ELEVATION

SCALE: ¼" = 1'-0"



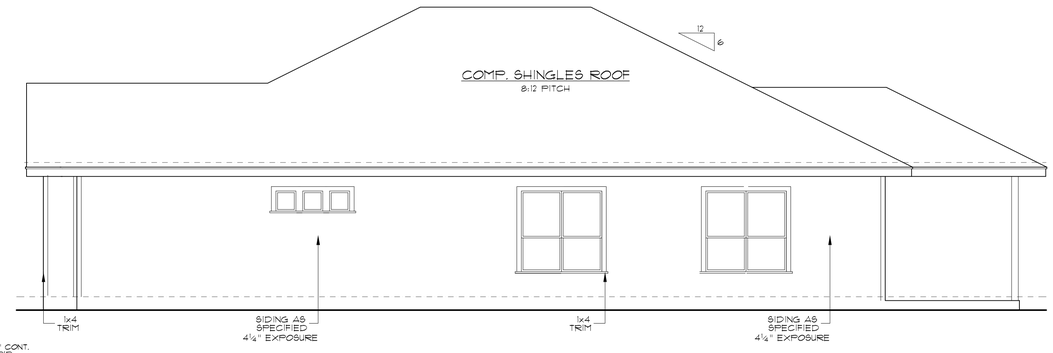
SECTION A-A

SCALE: 3/16" = 1'-0"

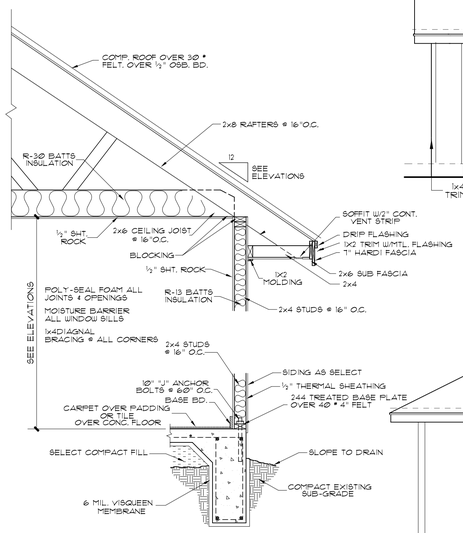


REAR ELEVATION

SCALE: 3/16" = 1'-0"



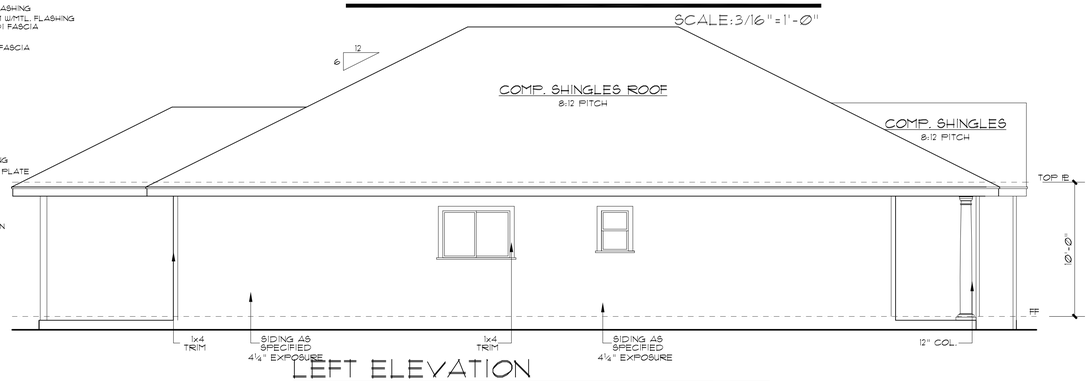
SCALE: 3/16" = 1'-0"



SEE ENGINEER SPECS FOR FOUNDATION DETAILS

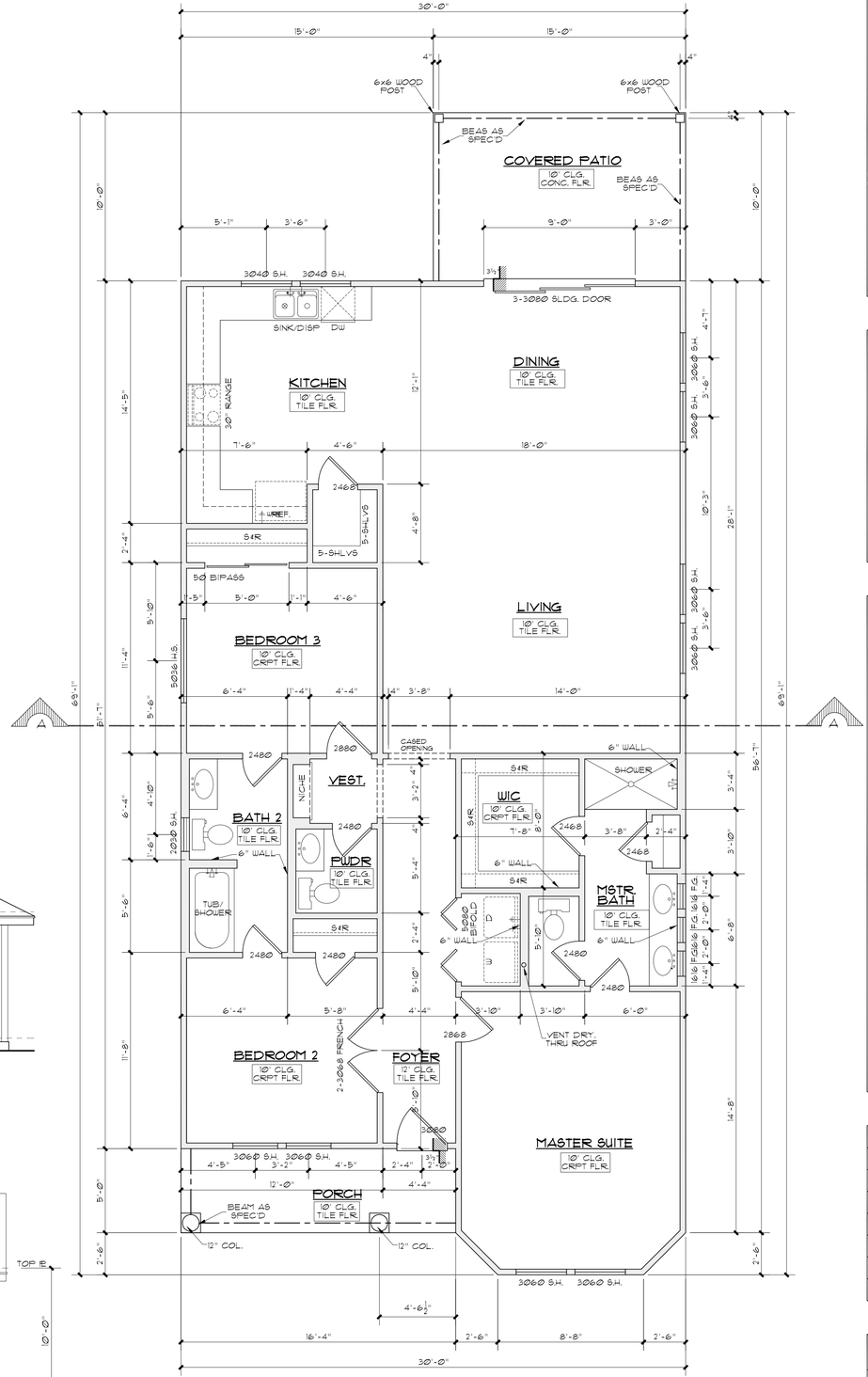
WALL SECTION

SCALE: ½" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



FLOOR PLAN

SCALE: ¼" = 1'-0"

McCULLOUGH DESIGN ASSOCIATES

85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccloughda.com

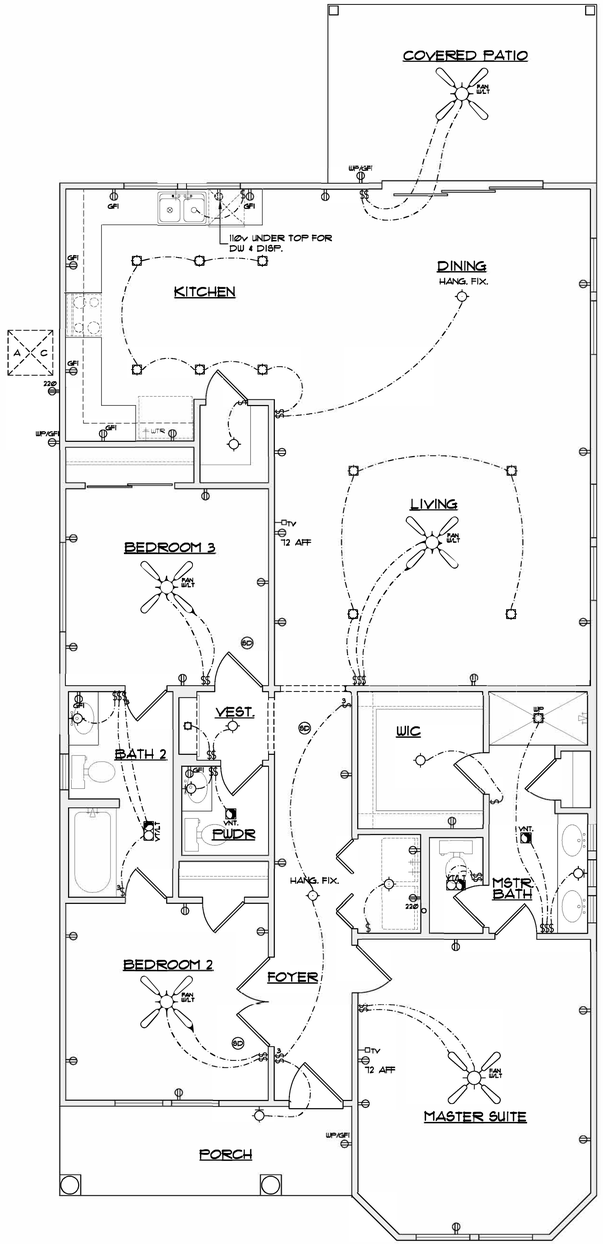
THE NEW RESIDENCE

LOT 37, BLOCK 3, NCB. 1371,
519 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 2 of	3

PREVIOUSLY APPROVED CONSTRUCTION DOCUMENTS



ELECTRICAL PLAN

SCALE: ¼" = 1'-0"

GRAPHIC SYMBOLS

ELECTRICAL

- SWITCH
- DIMMER SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DUPLEX OUTLET
- DUPLEX OUTLET & SWITCHED
- FLOOR OUTLET
- 30 VOLT 4-PLEX OUTLET
- CEILING OUTLET
- RADIUS OUTLET WITH GROUND FAULT INTERRUPTER
- 220 VOLT DUPLEX OUTLET
- DUPLEX OUTLET SPACED FOR TWIN HEIGHT CLEARANCE
- WATERPROOF DUPLEX OUTLET
- J-BOX DUPLEX OUTLET
- TELEPHONE OUTLET
- TELEPHONE FLOOR OUTLET
- TELEVISION OUTLET
- SATELLITE TELEVISION W/TELEPHONE LINE
- INTERCOM
- SPEAKER OUTLET
- SMOKE DETECTOR
- THERMOSTAT
- ELECTRICAL PANEL BOX
- PUSH BUTTON DOOR CHIME
- CHIMES
- KEY SWITCH
- SURFACE MOUNT CLG. FIXTURE
- WALL MOUNT FIXTURE
- PULL CHAIN LIGHT
- RECESSED CEILING FIXTURE
- RECESSED EYEBALL FIXTURE
- HALOGEN RECESSED CEILING FIXTURE
- HALOGEN WALL MOUNTED FIXTURE
- CEILING MOUNT SPOT LIGHT
- FLUORESCENT LIGHT FIXTURE
- WALL MOUNT FLOUR. LT. FIXTURE
- TRACK-MOUNT FIXT.
- UNDER CABINET LIGHT
- CEILING MOUNT EXHAUST FAN
- WALL MOUNT EXHAUST FAN
- CEILING MOUNT HEAT LAMP
- WALL MOUNT HEAT LAMP
- COMBINATION FIXT. HEAT, VENT, LIGHT
- FLOOD LIGHT
- CEILING FAN W/LT

PLUMBING

- WATER HEATER
- WATER SOFTNER
- SHOWER HEAD
- HOSE BIB/FAUCET
- COLD WATER TO REF.
- HOT & COLD WATER
- FLOOR DRAIN
- GAS LINE
- GAS KEY (ON/OFF) VALVE

MISC.

- SECURITY SYSTEM PANEL
- VACUM SYSTEM OUTLET
- VACUUM CLEANER LOCK
- VACUM SYSTEM SWEEP OUTLET

McCULLOUGH DESIGN ASSOCIATES

85 N. E. LOOP 410, STE. 301
SAN ANTONIO, TX 78216
PH. 843-1632
ricardo@mccullughda.com

THE NEW RESIDENCE

LOT 37, BLOCK 3, NCB. 1371,
519 PALMETTO ST.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 07.31.2020
	PROJECT No:
SHEET 3 of	3